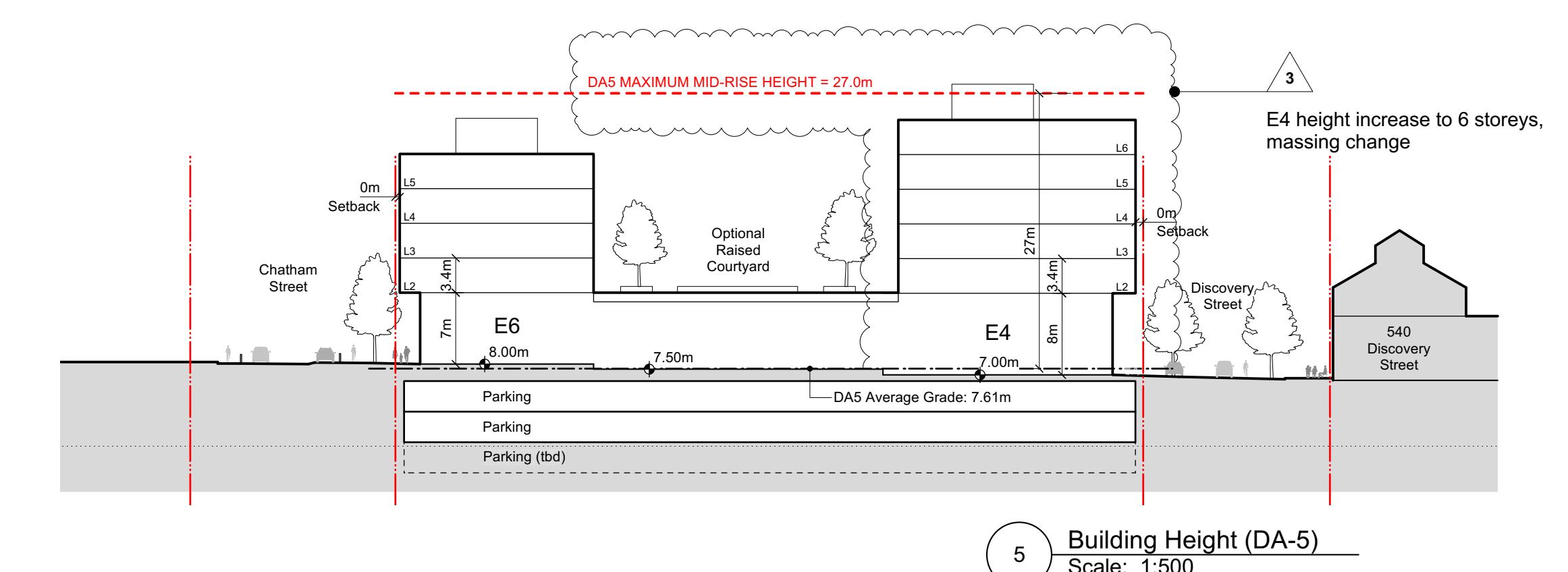
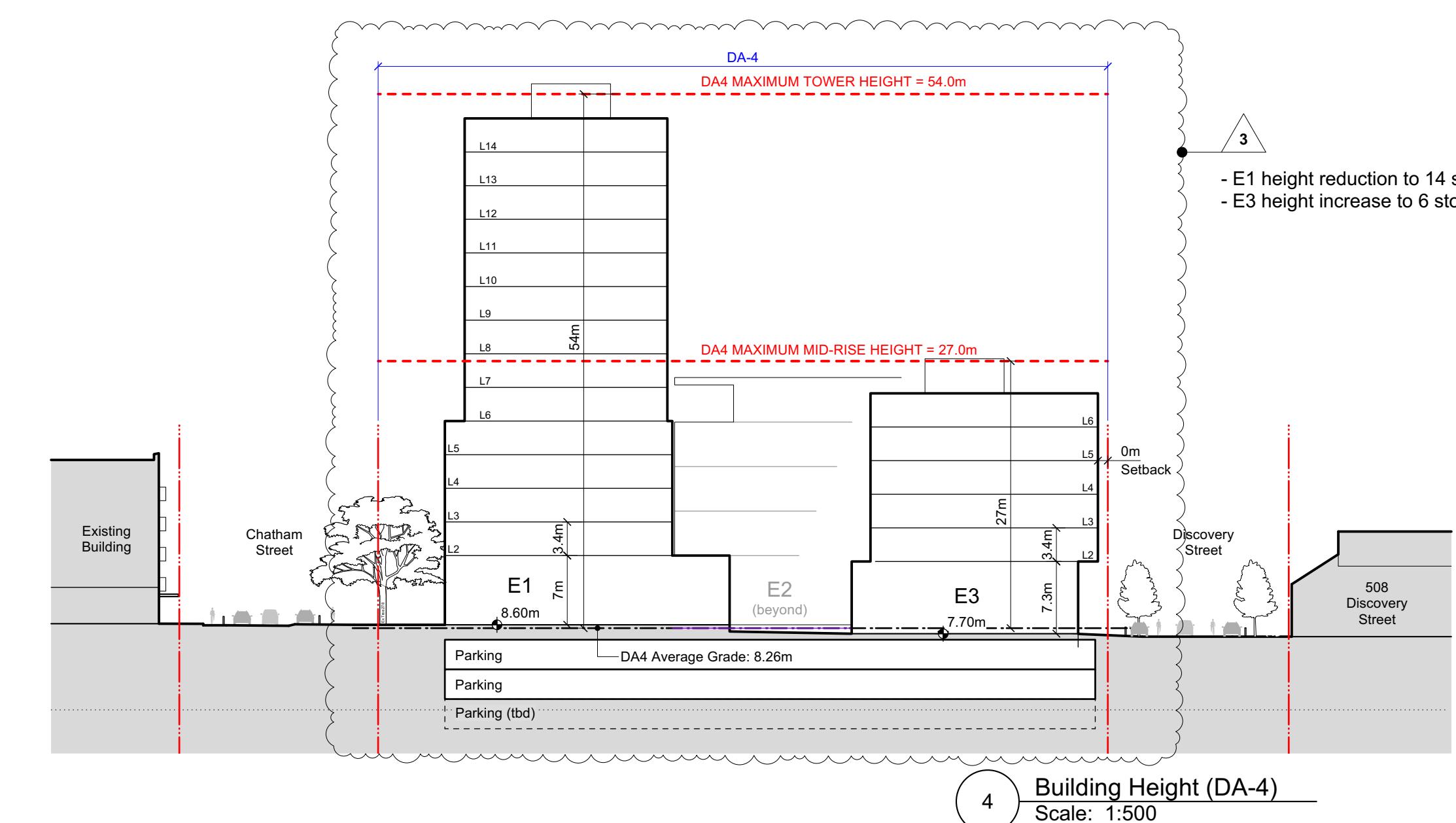
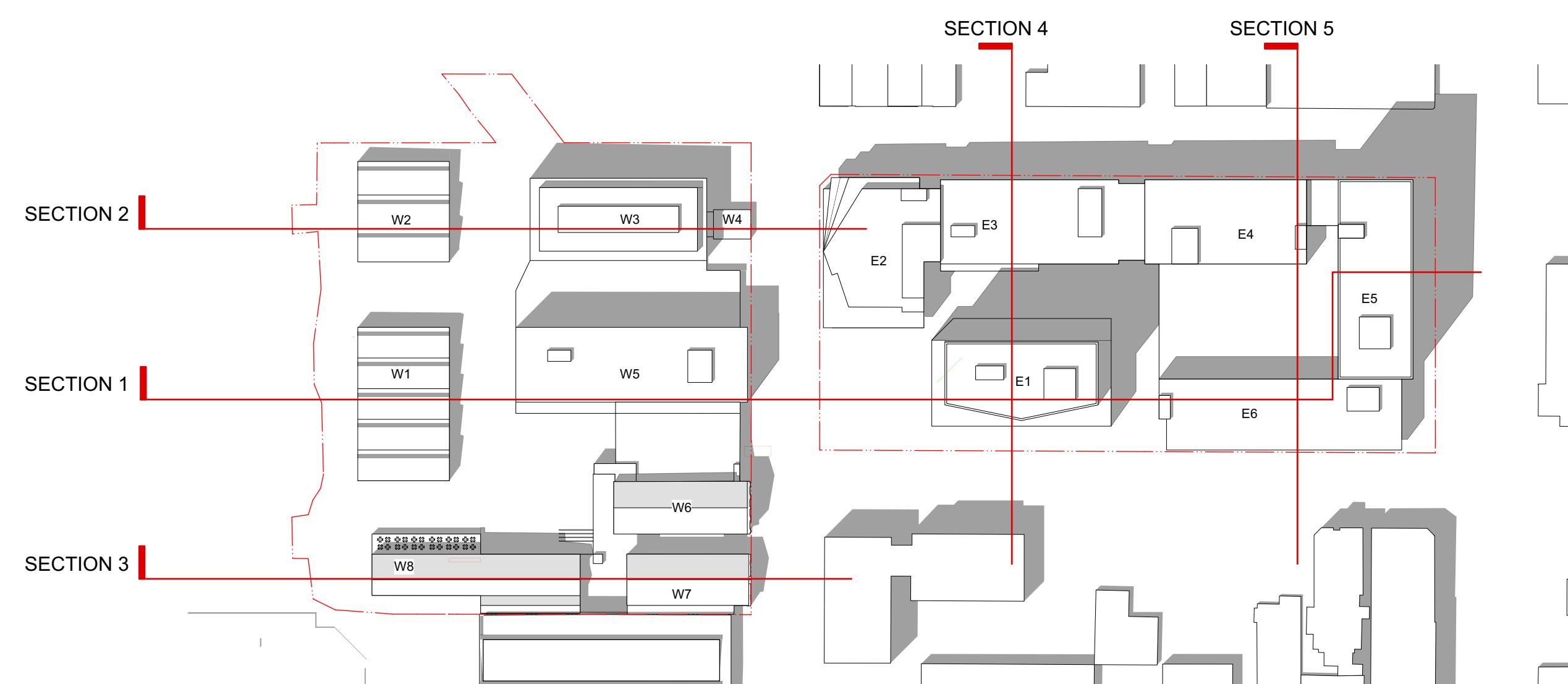
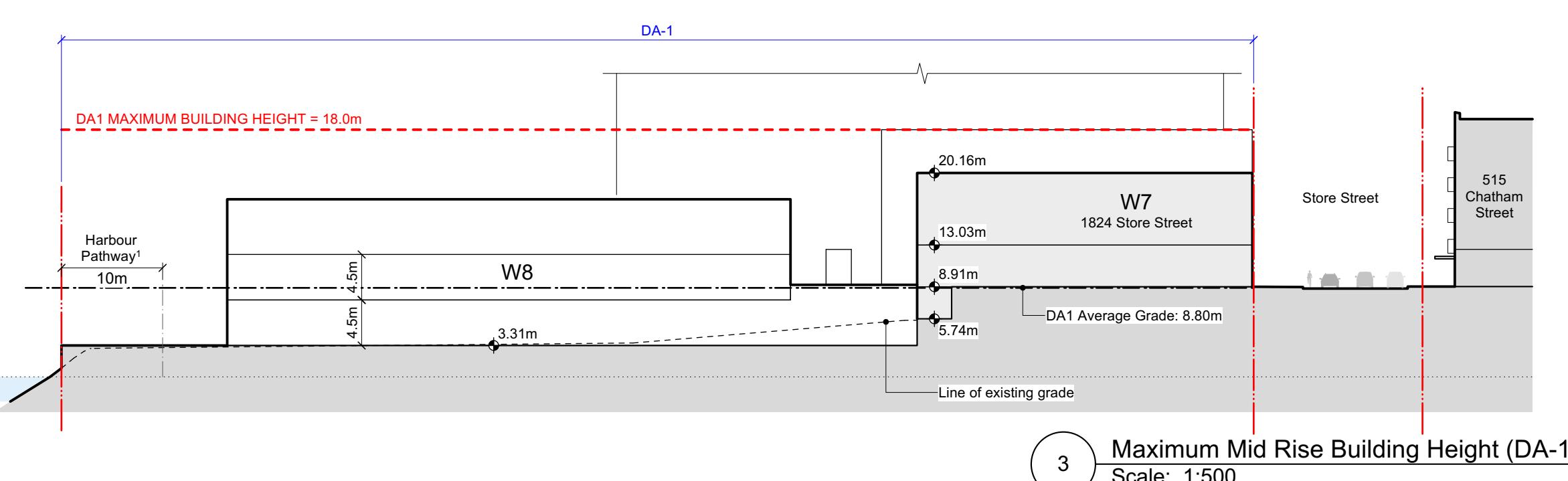
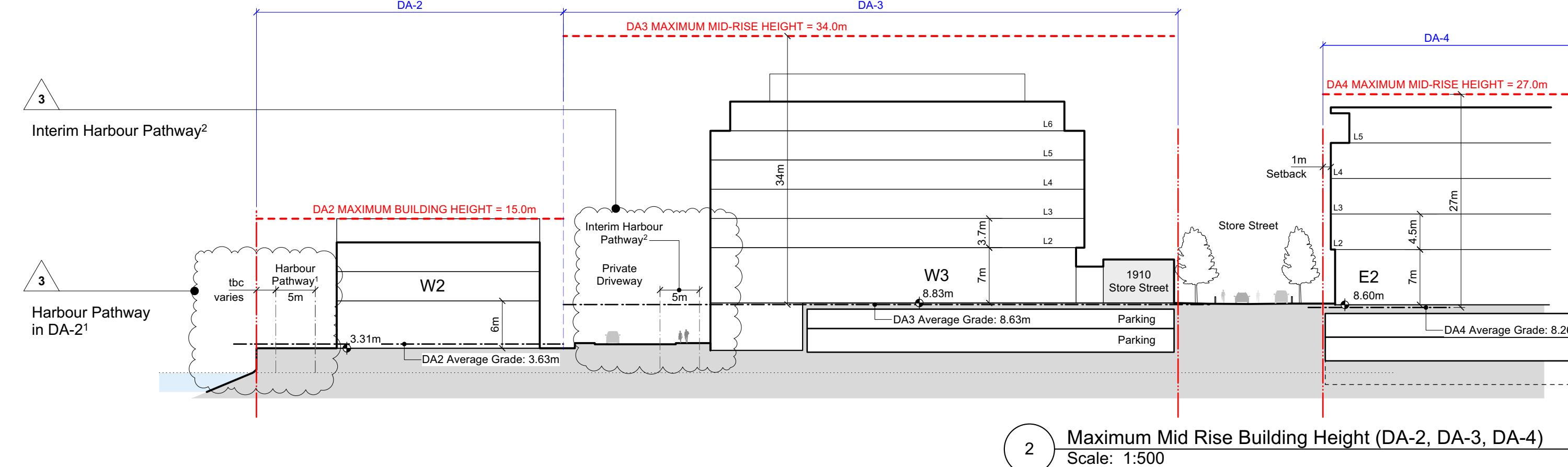
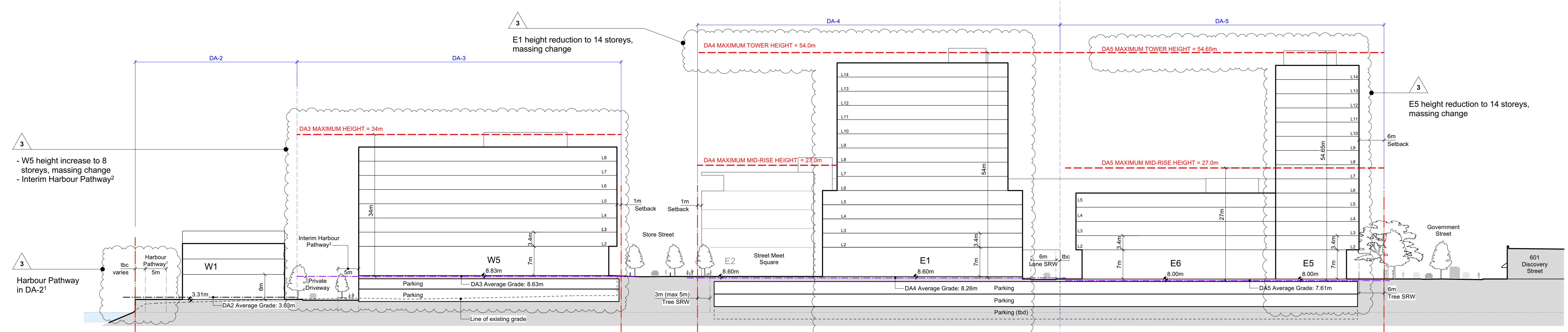


Plotted: 10/15/2021 7:23 AM User: Mike.Evans					
5	2021-10-15	CHARGE PLAN DIMENSIONS			
4	2021-10-13	REVISED TREE SYMBOLS		MLE	H
3	2021-09-30	PROPERTY DIMENSIONS		MLE	H
2	2021-08-09	ADDITIONAL SURVEY DATA		MLE	H
1	2020-10-21	ADDED CONTOURS		MLR	M
0	2020-10-05	ORIGINAL PLAN PREPARED		CM	M
ISS/REV	YYYY-MM-DD	DESCRIPTION		DRN	CL

Printed: 10/15/2021 7:23 AM || user: Mike Evans

	CLIENT:
	RELIANCE PROPERTIES LTD.
	CLIENT REF. NO:

PROJECT:	CAPITAL IRON	TITLE:	TOPOGRAPHIC SURVEY
PROJECT NO.:	20-W0162	DRAWING NO.:	
SCALE:	As-Noted	20R-00233-00-MTPSI001-R5	
DISCIPLINE:	GEOMATICS	SHEET NO.:	2 OF 2



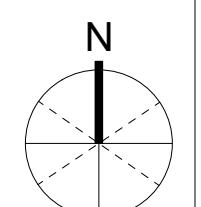
General Note: The site design and data are based on preliminary programming of use, functional area and height. The buildings and data in the enclosed study are conceptual in nature and do not constitute detailed design for each building. Site architecture and servicing programming, and design parameters must be determined as the basis for a full design process for each building.

Section Notes: Building outlines shown in the adjacent sections are those of the illustrated plan. Building heights shown in the adjacent sections are measured from the average grade of Store Street for DA-1, DA-3, from average grade of the private drive for DA-2, and from average grade of the site for DA-4 and DA-5.

Streetscapes have been updated and are illustrated in the Rezoning Application Book.

¹ The Harbour Pathway is shown constructed at the water's edge in place of the existing rip rap. An alternative alignment is to let the Pathway back from the water's edge. The final construction method will be evaluated at the Development Permit phase and may vary between DA-1 and DA-5. Alignments will be in keeping with the City's Code of Compliance. Phasing scenarios for the Harbour Pathway are outlined in Appendix E of the Rezoning Application.

² The Interim Harbour Pathway will provide a temporary public access route while the Harbour Pathway is closed for marine industrial or other incompatible uses. Refer to the Rezoning Application Book for additional information.



0 1:500 25m
scale in metres

Rezoning Resubmission 13/11/2024
Rezoning Resubmission 05/06/2023
Rezoning Resubmission 03/06/2022
Issued for Rezoning 25/10/2021
rev no. description date

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project name Capital Culture District

1824, 1900, 1907, 1908, 1924, 2010 Store Street

sheet title Site Sections

project no. 1931

drawing file Comprehensive Plan

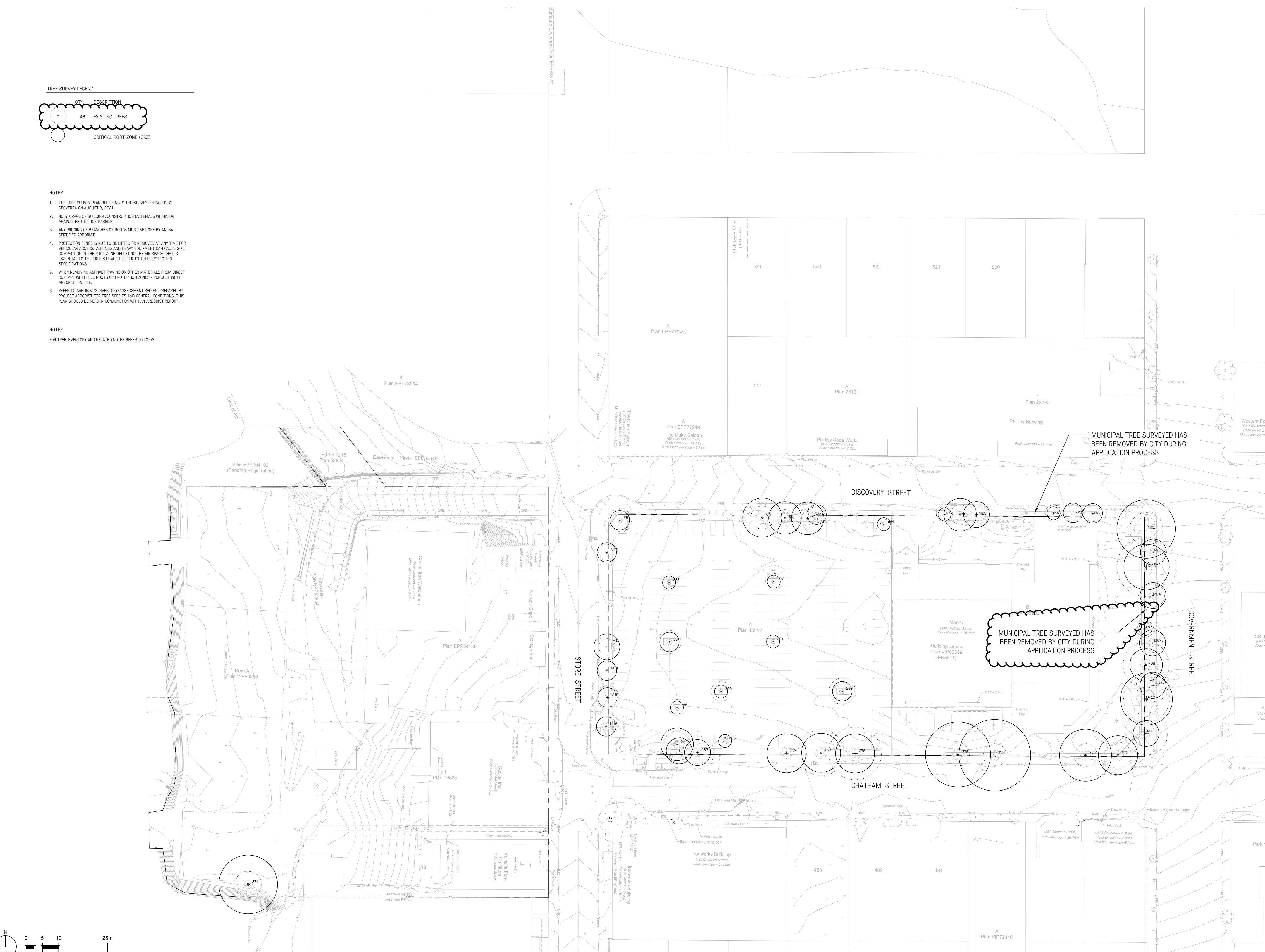
scale As Noted

drawn by JB/JH

date issued Nov. 13, 2024

sheet no. A3.1

HAPA COLLABORATIVE



HADA COLLABORATIVE

664091410
hardcode.com

408 - 35th Street Avenue

Vancouver, BC V6Y 1G6

Landscape Architecture

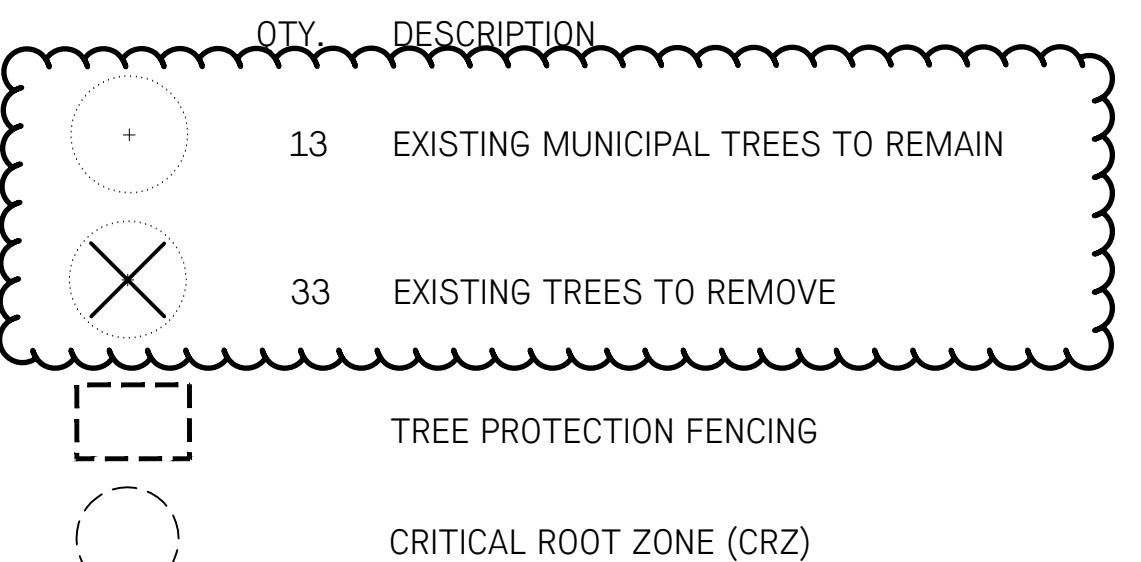
Urban Design

Hardcode.com

TREE INVENTORY

TREE I.D. (Municipal I.D.)	Common Name	DBH (cm)	Crown (m) Spread	CRZ (m)	Structure	Health	Bylaw Status	Recommended Action
M01	London Plane	76	10	9	Good	Good	Municipal	Protect & Retain
M02	European Hornbeam	33	7	4	Good	Good	Municipal	Protect & Retain
M03	London Plane	59	18	7	Good	Good	Municipal	Protect & Retain
M04	European Hornbeam	32	7	4	Good	Good	Municipal	Protect & Retain
M06	Tulip Tree	17	5	2	Fair	Poor	Municipal	Protect & Retain
M09	European Hornbeam	32	7	4	Good	Good	Municipal	Protect & Retain
M08	London Plane	40	14	5	Good	Good	Municipal	Protect & Retain
M09	European Hornbeam	35	10	4	Good	Good	Municipal	Protect & Retain
M10	London Plane	68	14	8	Good	Good	Municipal	Protect & Retain
M11	Tulip Tree	36	13	4	Good	Fair	Municipal	Protect & Retain
M12	Higan Cherry	28	6	3	Fair	Poor	Municipal	Remove
M13	Higan Cherry	30	7	4	Fair	Fair	Municipal	Remove
M14	Higan Cherry	26	6	3	Fair	Fair	Municipal	Remove
M15	Higan Cherry	32	5	4	Fair	Good	Municipal	Remove
M16	Higan Cherry	21	5	3	Fair	Poor	Municipal	Remove
M17	Norway Maple	24	5	3	Poor	Good	Municipal	Remove
M18	Cherry Plum	18	5	2	Good	Fair	Municipal	Remove
M19	Cherry Plum	47	6	6	Poor	Fair	Municipal	Remove
M20	Cherry Plum	36	8	4	Good	Good	Municipal	Remove
M22	Cherry Plum	15	5	2	Good	Fair	Municipal	Remove
M23	Cherry Plum	24	5	3	Fair	Good	Municipal	Remove
M24	Cherry Plum	19	5	2	Fair	Good	Municipal	Remove
271	Pacific Madrone	75	9	9	Good	Fair	Bylaw-protected	Remove
272	European Hornbeam	81	11	10	Good	Good	Bylaw-protected	Remove
273	European Hornbeam	48	6	6	Good	Good	Bylaw-protected	Remove
274	European Hornbeam	81	10	10	Good	Good	Bylaw-protected	Remove
275	European Hornbeam	77	7	9	Good	Good	Bylaw-protected	Remove
276	Pin Oak	50	16	6	Fair	Fair	Bylaw-protected	Protect & Retain
277	Pin Oak	48	14	6	Good	Good	Bylaw-protected	Protect & Retain
278	Pin Oak	46	15	6	Good	Fair	Bylaw-protected	Protect & Retain
279	Western Red Cedar	76	7	9	Good	Good	Bylaw-protected	Remove
280	Western Red Cedar	43	5	5	Good	Fair	Bylaw-protected	Remove
281	Western Red Cedar	52	7	6	Good	Good	Bylaw-protected	Remove
282	Cherry Plum	38	8	5	Fair	Fair	Bylaw-protected	Remove
283	Cherry Plum	36	7	4	Fair	Fair	Bylaw-protected	Remove
284	Cherry Plum	43	8	5	Fair	Fair	Bylaw-protected	Remove
285	London Plane	15	3	2	Fair	Fair	Not protected	Remove
286	London Plane	18	5	2	Good	Fair	Not protected	Remove
287	London Plane	26	8	3	Good	Good	Not protected	Remove
288	London Plane	18	4	2	Fair	Good	Not protected	Remove
289	Pin Oak	26	7	3	Fair	Poor	Not protected	Remove
290	London Plane	22	5	3	Fair	Good	Not protected	Remove
291	London Plane	15	4	2	Good	Good	Not protected	Remove
292	London Plane	18	5	2	Fair	Good	Not protected	Remove
293	London Plane	23	7	3	Good	Good	Not protected	Remove
294	Sugar Maple	14	2	N/A	Dead	Not protected	Remove	

TREE PROTECTION & MANAGEMENT LEGEND



NOTES

- THE TREE PROTECTION AND MANAGEMENT PLAN REFERENCES THE SURVEY PREPARED BY GEOVERRA ON AUGUST 9, 2021.
- NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
- ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH. REFER TO TREE PROTECTION SPECIFICATIONS.
- WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
- REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.



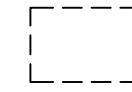
TREE REPLACEMENT LEGEND

ELEVEN (11) BY-LAW PROTECTED TREES TO BE REMOVED

QTY. REPLACEMENT TREES

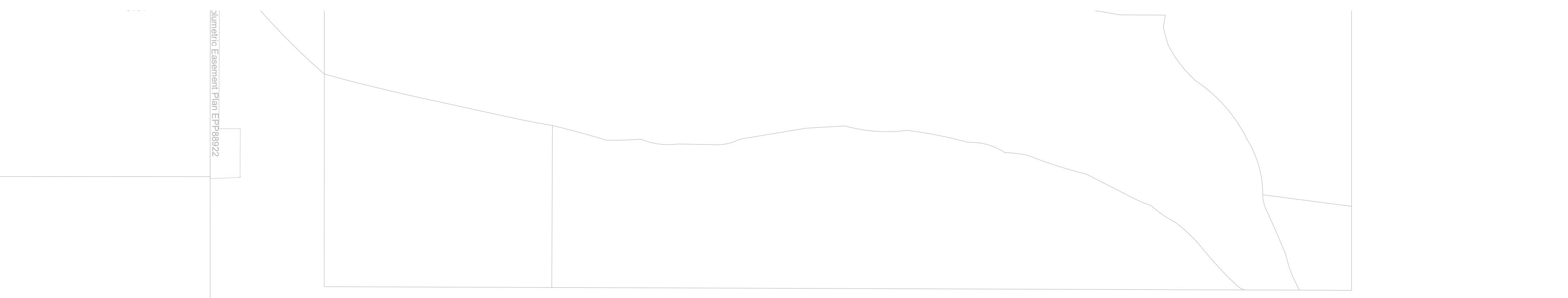
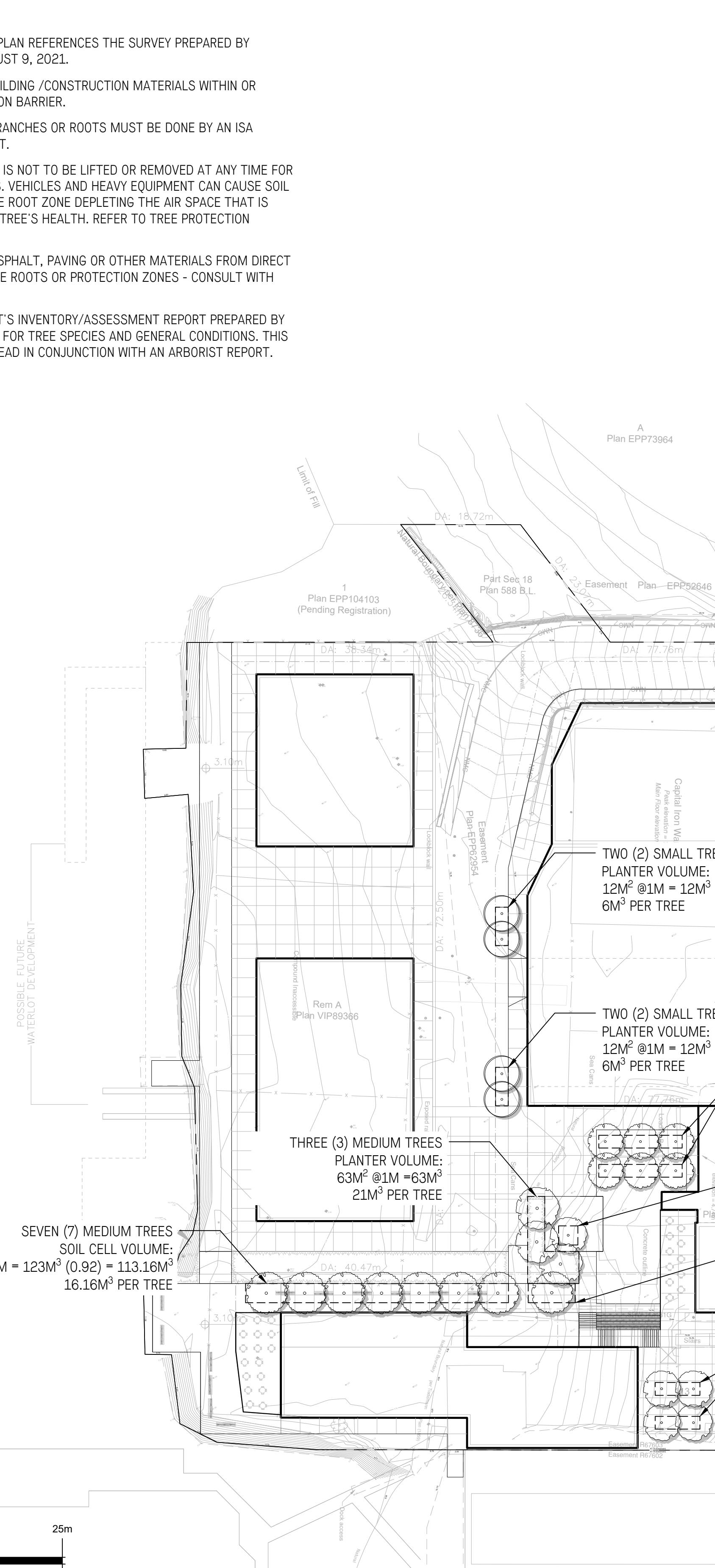
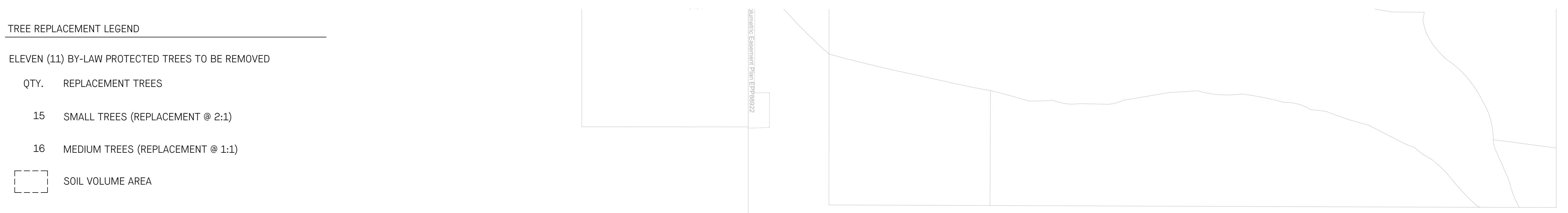
15 SMALL TREES (REPLACEMENT @ 2:1)

16 MEDIUM TREES (REPLACEMENT @ 1:1)

 SOIL VOLUME AREA

NOTES

1. THE TREE SURVEY PLAN REFERENCES THE SURVEY PREPARED BY GEOVERRA ON AUGUST 9, 2021.
2. NO STORAGE OF BUILDING / CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
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5. WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
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HAPA COLLABORATIVE

403 - 375 West Fifth Avenue
Vancouver BC, V6Y 1G6

Landscape Architecture
Urban Design

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4	Reissued for Rezoning	Oct. 29/24
3	Reissued for Rezoning	May. 23/23
2	Reissued for Rezoning	Jun. 6/22
1	Issued for Rezoning	Oct. 22/21

No. Description Date

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Capital Culture District

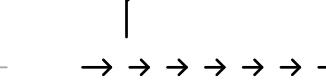
1824, 1900, 1907, 1908, 1924,
2010 Store St, 530 Chatham St

Tree Replacement Plan

Date Oct. 01/21 Drawing Number
Project No. 2114
Scale 1:500
Drawn/Checked KW | JF
L0.04

EXISTING	DESIGN	ROAD
100-000		CONTROL LINE
		GRAVEL ROAD
		EDGE OF PAVEMENT
		CURB (ACTUAL WIDTH)
		SIDEWALK (ACTUAL WIDTH)
		CURB DEPRESSION
		MARKING 1-1-1
		MARKING 3-3-3
		MARKING 3-6-3
		MARKING 5-8-5
		MARKING 6-3-6
		GUIDE RAIL

EXISTING DESIGN MISCELLANEOUS

— X — X —	— X — X —	FENCE
— O — O —	— O — O —	SILT FENCE
— ABN —		ABANDONED PIPE
— + + + + + + +		RAILWAY
— - - - - - -		BOTTOM OF BANK
— + + + + + + +		TOP OF BANK
— EW —		EDGE OF WATER
		HEDGE
		BUILDING
→ → → → → → → →	→ → → → → → → →	DITCH
- < - < + > - > -	- < - < + > - > -	DITCH (HIGH POINT)
→ → - + - < - < -	→ → - + - < - < -	DITCH (LOW POINT)
MAXIMUS STREAM		STREAM (LESS THAN 3 m WIDE)
MAXIMUS CREEK		CREEK (OVER 3 m WIDE) (WIDTH OF CREEK SHOWN TO SCALE)

EXISTING DESIGN CONTOUR

MAJOR
MINOR

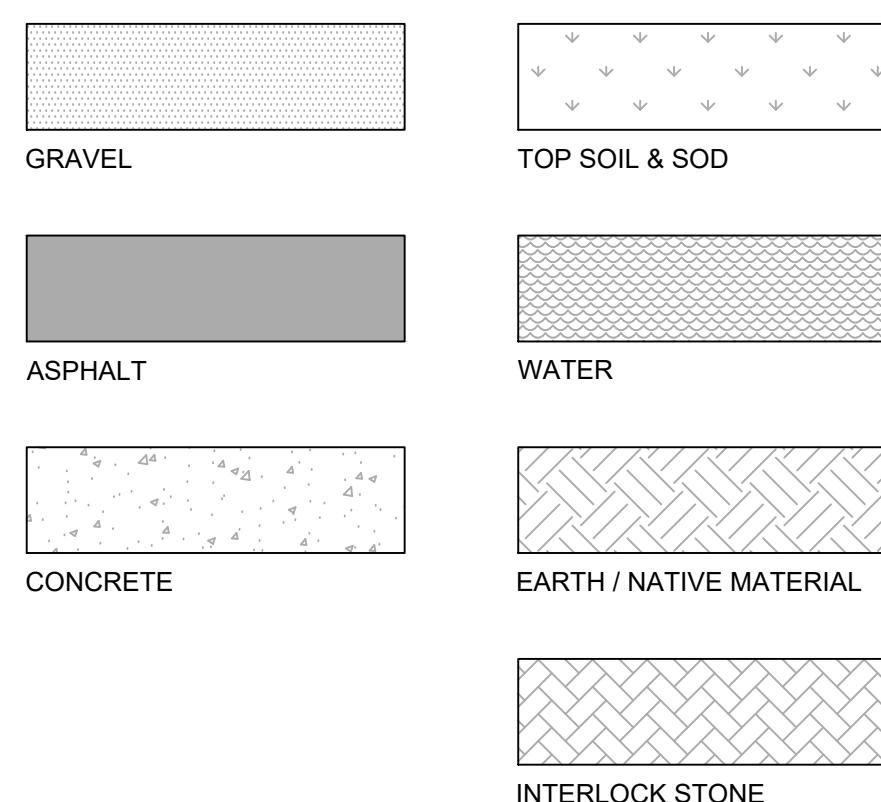
EXISTING DESIGN PROPERTY

PARCEL / LOT LINE
EASEMENT
STATUTORY ROW
ROAD ROW

EXISTING DESIGN PROFILE VIEW

GROUND
WATER MAIN
SANITARY SEWER
STORM SEWER

HATCH PATTERNS



COMMUNICATIONS / TELEPHONE

EXISTING	DESIGN	WATER
CATV	CABLE	WATER MAIN
FO	FIBRE OPTIC CABLE	IRRIGATION
T	TELEPHONE / LINE	RAW WATER
UT	UNDERGROUND TELEPHONE	POTABLE WATER
⌚	COMMUNICATIONS VAULT BOX	VAULT BOX
⌚	TELEPHONE MANHOLE	IRRIGATION BOX
⌚	TELEPHONE VAULT BOX	FIRE HYDRANT
⌚	COMMUNICATIONS MANHOLE	MANHOLE
⌚	TELEPHONE PEDESTAL	METER CHAMBER
		CROSS FLANGE
		TEE FLANGE
		END CAP / PLUG
		GATE VALVE
		THRUST BLOCK
		45 DEGREE ELBOW
		90 DEGREE ELBOW
		WYE
		ENCASING
		WATER LEVEL
		COUPLING
		REDUCER
		WELL
		CURB STOP / CURB BOX

EXISTING GAS

EXISTING	DESIGN	WATER
G	GAS	CULVERT (Ø AND TYPE)
⌚	VALVE BOX	STORM SEWER
⌚	MANHOLE	CATCH BASIN
⌚	METER	DOUBLE CATCH BASIN
		DITCH INLET CATCH BASIN
		CATCH BASIN / MANHOLE
		LAWN BASIN
		MANHOLE
		STORMCEPTOR
		OIL INTERCEPTOR
		VALVE BOX
		CULVERT INLET
		CULVERT OUTLET
		HEADWALL
		DITCH FLOW

EXISTING SURVEY

EXISTING	DESIGN	WATER
△ HUB	SURVEY HUB	MONITORING WELL
⌚ MON	MONUMENT	PIEZOMETER
⌚ IP	IRON PIN	OBSERVATION WELL
⌚ IPP	IRON PIN (FOUND)	
■ LP	LEAD PLUG	
⌚ MW	UNIDENTIFIED MANHOLE	
⌚ PZ	MONITORING WELL	
⌚ OW	PIEZOMETER	
		TEST PIT
		BORE HOLE
		FLAG POLE
		PARKING METER
		MAILBOX
		BOULDER
		RAILWAY SIGNAL LIGHT
		POST/BOLLARD (ANNOTATE AS REQUIRED)
		NO POST BARRIER / JERSEY BARRIER (SCALE AS REQUIRED)
		SIGN
		GATE
		BUSH
		TREE (DECIDUOUS) (SCALE AS REQUIRED)

EXISTING MISCELLANEOUS

EXISTING	DESIGN	WATER
⌚ TP	TEST PIT	
⌚ BH	BORE HOLE	
⌚ FP	FLAG POLE	
⌚ PM	PARKING METER	
■ MB	MAILBOX	
⌚ OB	BOULDER	
⌚ CO	RAILWAY SIGNAL LIGHT	
⌚ CO	POST/BOLLARD (ANNOTATE AS REQUIRED)	
⌚ CO	NO POST BARRIER / JERSEY BARRIER (SCALE AS REQUIRED)	
⌚ CO	SIGN	
⌚ CO	GATE	
⌚ CO	BUSH	

DRAFT

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RELIANCE PROPERTIES

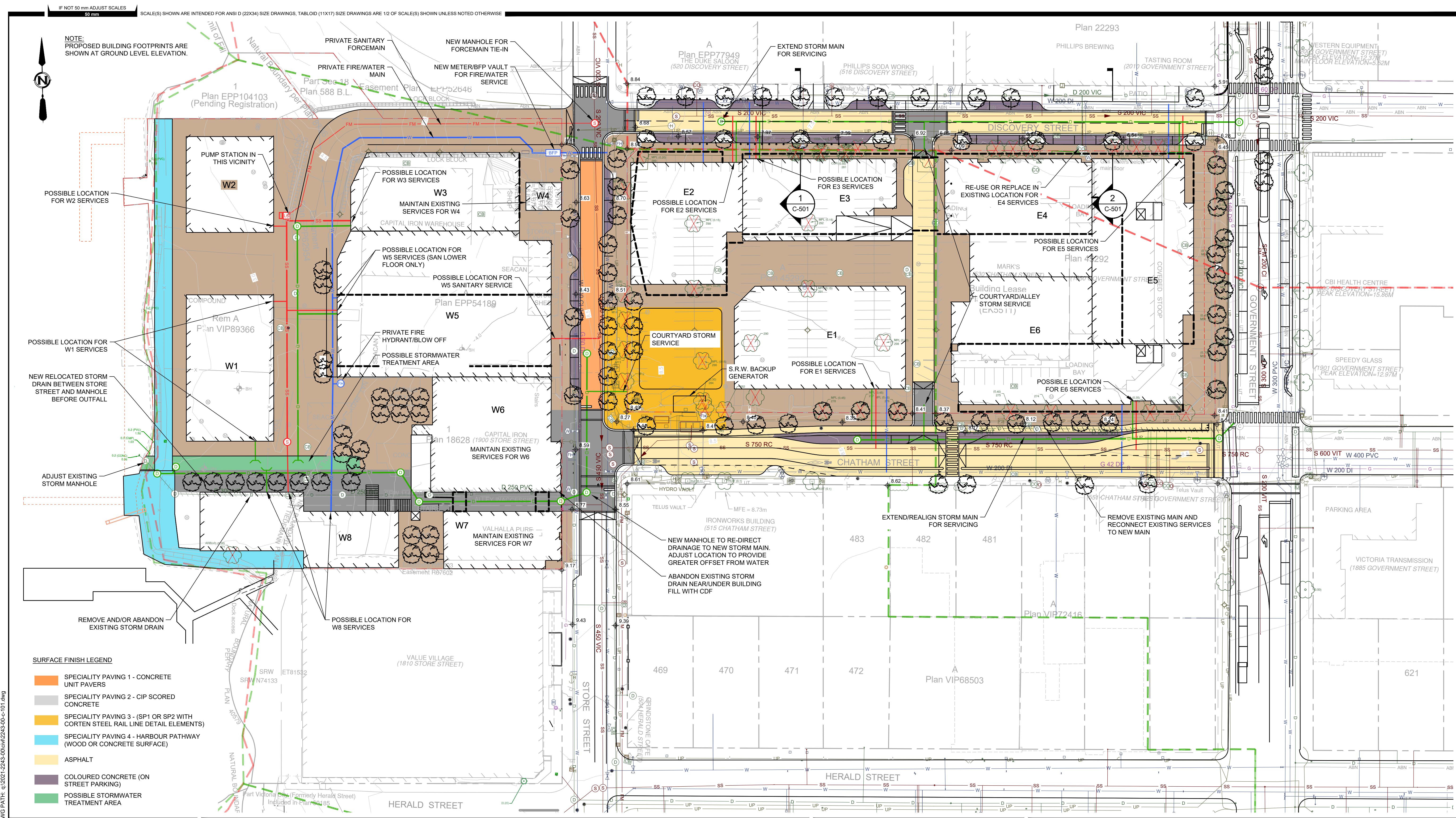
CAPITAL CULTURE DISTRICT

CIVIL
LEGEND

20212243-00

SCALE: AS SHOWN

DRAWING	REVISION	HEET
2243-00-C-001	B	---



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RELIANCE PROPERTIES

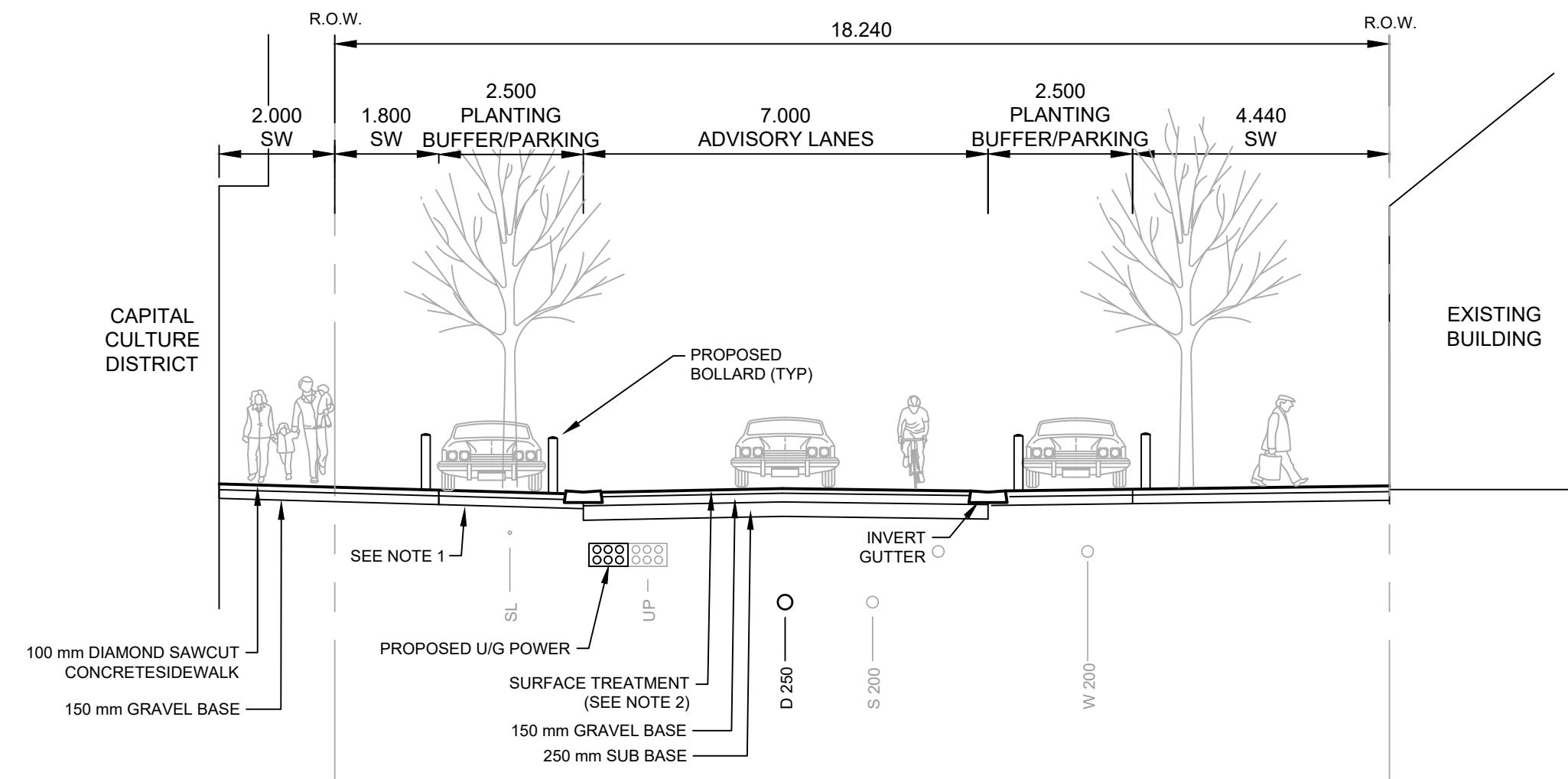
CAPITAL CULTURE DISTRICT

20212243-00

CIVIL CONCEPTUAL SERVICING PLAN PROPOSED WORKS

REV	DATE	DESIGN	DRAWN	DESCRIPTION
E	2024NOV1	A. STEPHENSON	B. WEBSTER	ISSUED FOR REVIEW
D	2023MAY29	A. STEPHENSON	B. WEBSTER	ISSUED FOR REZONING
C	2023MAR29	A. STEPHENSON	B. WEBSTER	RE-ISSUED FOR INFORMATION
B	2022APR27	A. STEPHENSON	B. WEBSTER	RE-ISSUED FOR INFORMATION
A	2022MAR03	A. STEPHENSON	B. WEBSTER	ISSUED FOR INFORMATION

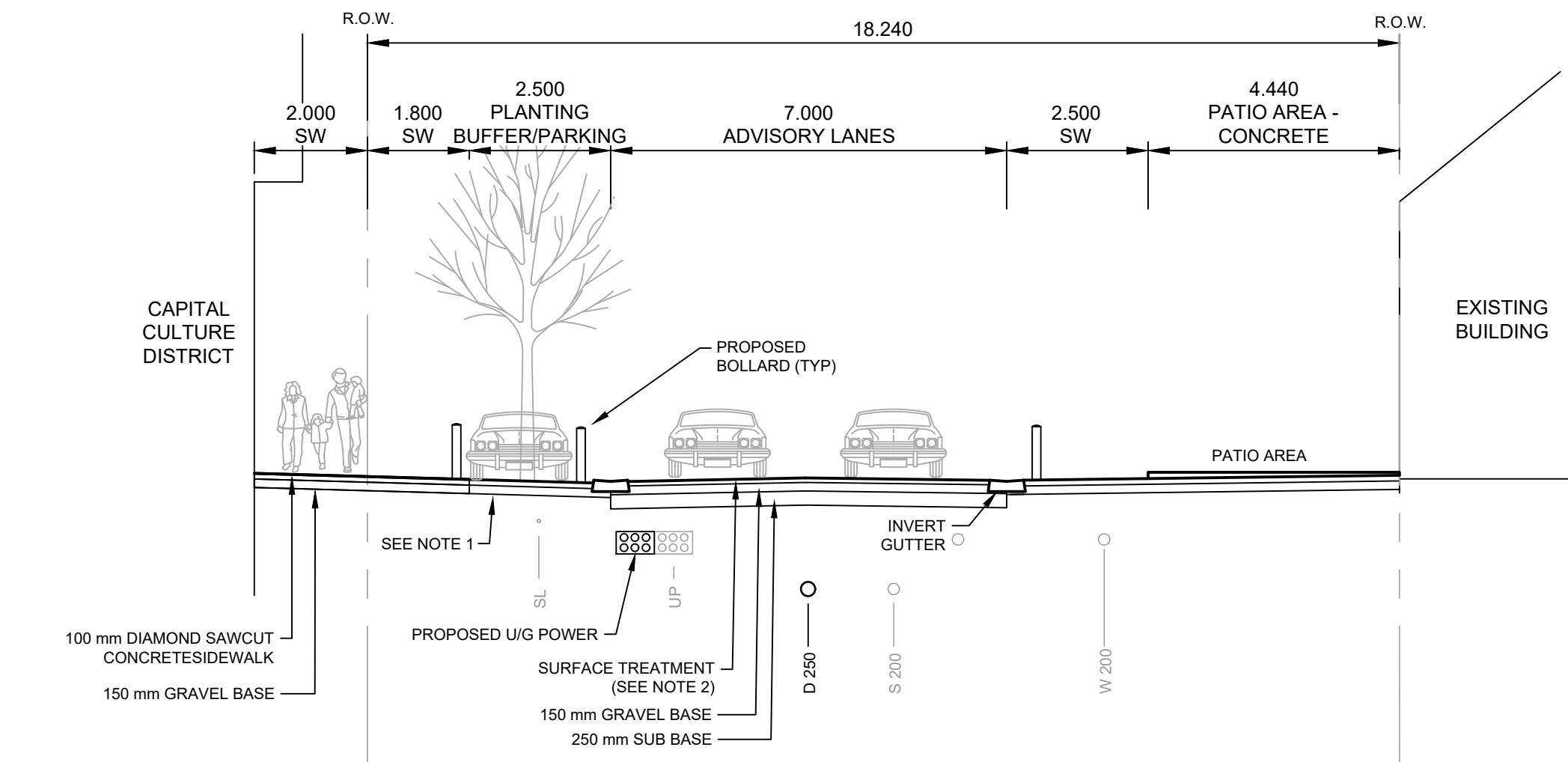
DRAWING	REVISION	SHEET
2243-00-C-101	E	



NOTES:

1. SURFACE TREATMENT UNDER PARKING AREAS (~80% OF FRONTAGE) TO MATCH ROADWAY BASE GRAVELS, IDENTIFIED IN NOTE 2 BELOW.
2. SURFACE TREATMENT OPTIONS FOR ROADWAY AND PARKING AREAS:
 - 2.1. 100 mm THICK UNIT PAVERS, 50 mm BEDDING SAND, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
 - 2.2. 80 mm THICK STAMPED COLOURED ASPHALT (2 LIFTS), 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
 - 2.3. 150 mm THICK MESH REINFORCED, DIAMOND SAWCUT, COLOURED CONCRETE, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
3. BOLLARDS TO BE PLACED MIN. 450 MM FROM CENTRE OF INVERT GUTTER/FACE OF CURB, MEASURED TO THE EDGE OF BOLLARD.

1 TYPICAL SECTION 1:100
DISCOVERY STREET



NOTES:

1. SURFACE TREATMENT UNDER PARKING AREAS (~80% OF FRONTAGE) TO MATCH ROADWAY BASE GRAVELS, IDENTIFIED IN NOTE 2 BELOW.
2. SURFACE TREATMENT FOR ROADWAY:
 - 2.1. 80 mm THICK ASPHALT (2 LIFTS), 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
 - 2.2. AT INTERSECTIONS (WHERE SHOWN ON PLAN) 150 mm THICK MESH REINFORCED, DIAMOND SAWCUT, CONCRETE, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
3. SURFACE TREATMENT FOR PARKING AREAS:
 - 3.1. 150 mm THICK MESH REINFORCED, COLOURED CONCRETE, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
4. BOLLARDS TO BE PLACED MIN. 450 MM FROM CENTRE OF INVERT GUTTER/FACE OF CURB, MEASURED TO THE EDGE OF BOLLARD.

2 TYPICAL SECTION 1:100
DISCOVERY STREET