




5		2021-10-15	CHARGE PLAN DIMENSIONS				
4		2021-10-13	REVISED TREE SYMBOLS	MLE	HC		
3		2021-09-30	PROPERTY DIMENSIONS	MLE	HC		
2		2021-08-09	ADDITIONAL SURVEY DATA	MLE	HC		
1		2020-10-21	ADDED CONTOURS	MLR	MLE		
0		2020-10-05	ORIGINAL PLAN PREPARED	CM	MLE		
ISSREV	YYYY-MM-DD		DESCRIPTION	DRN	CHK		

CLIENT:	RELIANCE PROPERTIES LTD.	CLIENT REF. NO:	
PROJECT:	CAPITAL IRON	PROJECT NO:	20-W0162
SCALE:	As-Noted	DISCIPLINE:	GEOMATICS
TITLE:	TOPOGRAPHIC SURVEY	DRAWING NO:	20R-00233-00-MTSP001-R5
		SHEET NO:	1 OF 2




301-3600 Uptown Boulevard
Victoria, BC V8Z 0B9
t: 250-384-5510 • www.geoverra.com

Printed: 15/10/2021 7:23 AM User: Mike Evans



5	2021-10-15	CHARGE PLAN DIMENSIONS			
4	2021-10-13	REVISED TREE SYMBOLS	MLE	HC	
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ISSREV	YYYY-MM-DD	DESCRIPTION	DRN	CHK	

CLIENT:	RELIANCE PROPERTIES LTD.	CLIENT REF. NO:	
PROJECT:	CAPITAL IRON	PROJECT NO:	20-W0162
SCALE:	As-Noted	DISCIPLINE:	GEOMATICS
TITLE:	TOPOGRAPHIC SURVEY	DRAWING NO:	20R-00233-00-MTPS1001-R5
		SHEET NO:	2 OF 2



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General Note:
The illustrated design and data are based on preliminary programming of use, functional area and height. The buildings and data in the enclosed study are conceptual in nature and do not constitute detailed design for each building. Site architecture and servicing programming, and design parameters must be determined as the basis for a full design process for each building.

Plan Notes:

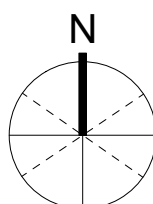
Streetscapes have been updated and are illustrated in the Rezoning Application Book.

Placement of all new trees to consider required BC Hydro clearances. Further review required at the time of Development Permit.

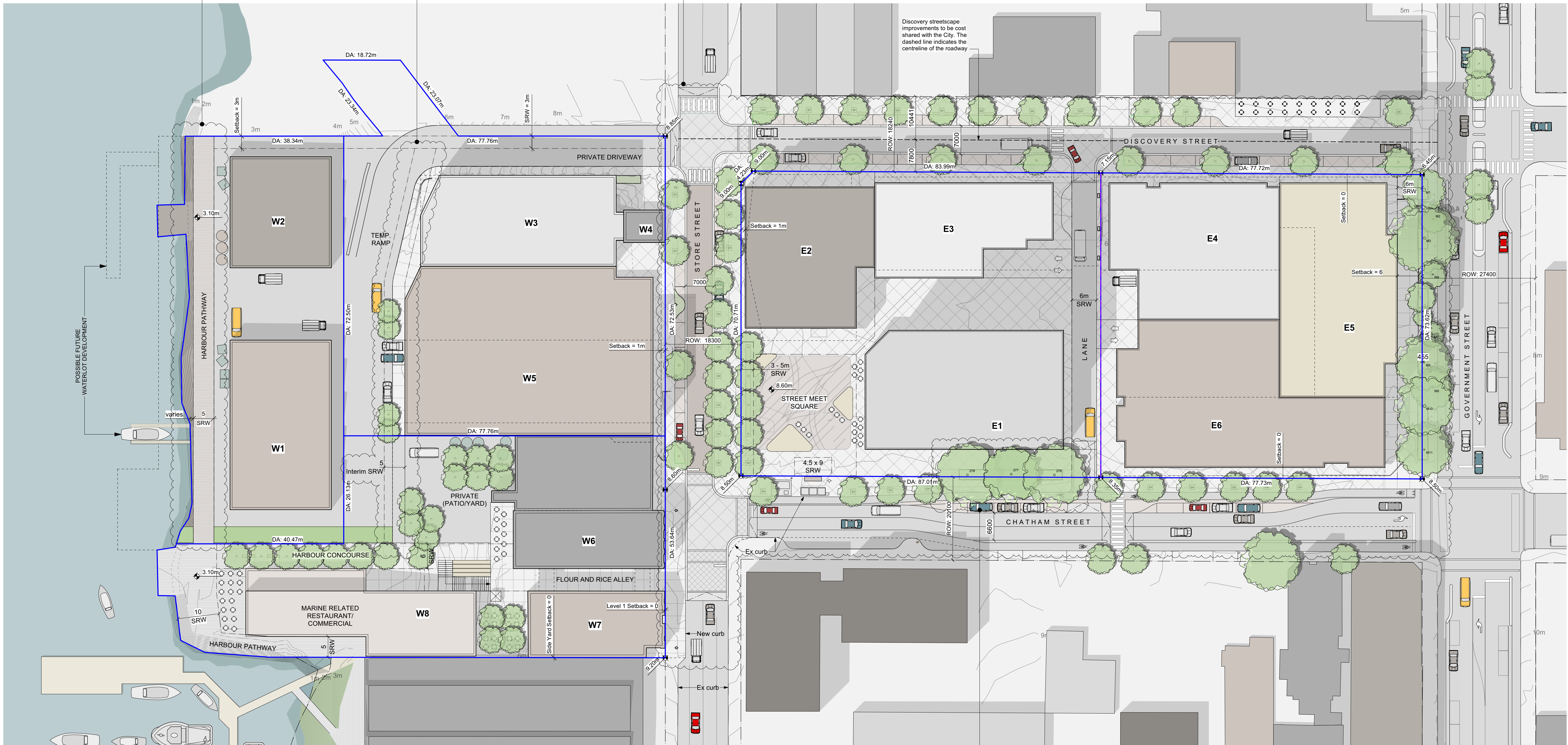
¹ The Harbour Pathway is shown constructed at the water's edge in place of the existing rip rap. An alternative alignment is to set the Pathway back from the existing rip rap. The final construction method will be evaluated at the Development Permit phase and may vary between DA-1 and DA-2. Alterations will be in agreement with the Certificate of Compliance. Phasing scenarios for the Harbour Pathway are outlined in Appendix E of the Rezoning Application.

² The Interim Harbour Pathway will provide a temporary public access route while the Harbour Pathway is closed for marine industrial or other incompatible uses. Refer to the Rezoning Application Book for additional information.

³ Per City of Victoria direction, height will be measured as follows:
DA-1: from average grade of Store Street
DA-2: from average grade of the private driveway
DA-3: from average grade of Store Street
DA-4: from average grade of the site
DA-5: from average grade of the site

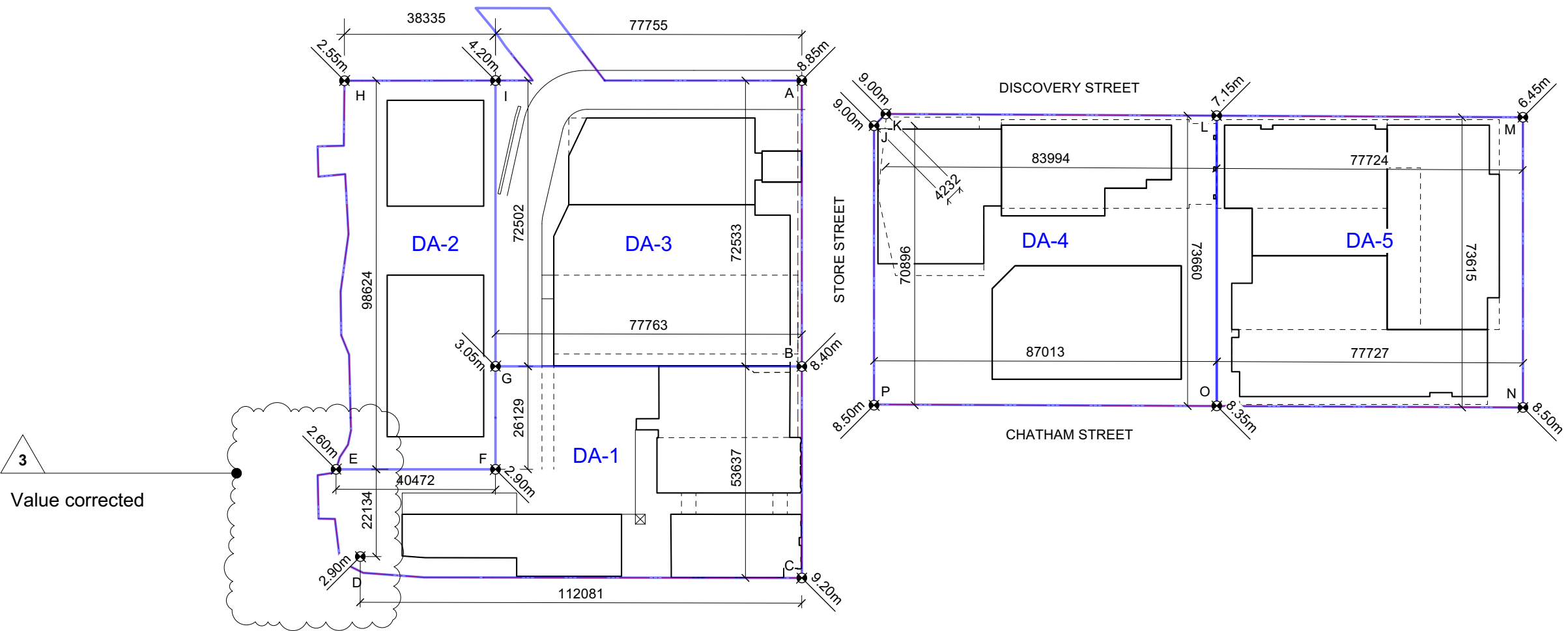


0 25m
1:500
scale in metres



Tree retention on Chatham Street

1 Site Plan
Scale: 1:500



Development Area 1 Average Grade at Store Street				
Grade Points (m Geodetic)	Interval	Average Grade	Subtotal	
B 8.40	B-C	8.80		8.80
C 9.20				
TOTAL:				8.80
AVERAGE GRADE: 8.80 m				

Development Area 2 Average Grade at Private Driveway				
Grade Points (m Geodetic)	Interval	Average Grade	Subtotal	
I 4.20	I-G	3.63		3.63
G 3.05				
TOTAL:				3.63
AVERAGE GRADE: 3.63 m				

Development Area 3 Average Grade at Store Street				
Grade Points (m Geodetic)	Interval	Average Grade	Subtotal	
A 8.85	A-B	8.63		8.63
B 8.40				
TOTAL:				8.63
AVERAGE GRADE: 8.63 m				

Development Area 4 Average Grade at Store Street				
Grade Points (m Geodetic)	Interval	Average Grade	Subtotal	
J 9.00	J-P	8.75		8.75
P 8.50				
TOTAL:				8.75
AVERAGE GRADE: 8.75 m				

Development Area 5 Average Grade at Government Street				
Grade Points (m Geodetic)	Interval	Average Grade	Subtotal	
M 6.45	M-P	7.48		7.48
P 8.50				
TOTAL:				7.48
AVERAGE GRADE: 7.48 m				

Development Area 1 Average Grade Calculation (Schedule A)				
Grade Points (m Geodetic)	Interval	Average Grade	Distance (m)	Subtotal
B 8.40	B-C	8.80	53.64	472.03
C 9.20	C-D	6.05	112.08	678.09
D 2.90	D-E	2.75	22.13	60.87
E 2.60	E-F	2.75	40.47	111.30
F 2.90	F-G	2.98	26.13	77.73
G 3.05	G-H	2.98	77.76	445.19
TOTAL:				228.32 1,322.26
AVERAGE GRADE: 5.79 m				

Development Area 2 Average Grade Calculation (Schedule A)				
Grade Points (m Geodetic)	Interval	Average Grade	Distance (m)	Subtotal
H 2.55	H-I	3.38	38.34	129.38
I 4.20	I-F	3.55	98.63	350.14
F 2.90	F-E	5.73	77.76	445.19
E 2.60	E-H	1.30	98.62	253.96
TOTAL:				276.06 844.78
AVERAGE GRADE: 3.06 m				

Development Area 3 Average Grade Calculation (Schedule A)				
Grade Points (m Geodetic)	Interval	Average Grade	Distance (m)	Subtotal
I 4.20	I-A	6.53	77.76	507.35
A 8.85	A-B	8.63	72.53	625.60
B 8.40	B-G	1.53	77.76	445.19
G 3.05	G-I	1.53	72.50	262.82
TOTAL:				300.55 1,840.96
AVERAGE GRADE: 6.13 m				

Development Area 4 Average Grade Calculation (Schedule A)				
Grade Points (m Geodetic)	Interval	Average Grade	Distance (m)	Subtotal
J 9.00	J-K	9.00	4.23	38.09
K 9.00	K-L	8.08	83.99	678.25
L 7.15	L-O	7.75	73.66	570.87
O 8.35	O-P	8.43	87.01	733.08
P 8.50	P-J	8.75	76.90	620.34
TOTAL:				319.80 2,640.63
AVERAGE GRADE: 8.26 m				

Development Area 5 Average Grade Calculation (Schedule A)				
Grade Points (m Geodetic)	Interval	Average Grade	Distance (m)	Subtotal
L 7.15	L-M	6.80	40.65	276.40
M 6.45	M-N	7.48	117.19	875.98
N 8.50	N-O	8.43	40.65	342.45
O 8.35	O-L	7.75	117.19	908.21
TOTAL:				315.67 2,403.04
AVERAGE GRADE: 7.61 m				

2 Average Grade by Development Area
Scale: n/a

3	Rezoning Resubmission	13/11/2024
2	Rezoning Resubmission	05/06/2023
1	Rezoning Resubmission	03/06/2022
1	Issued for Rezoning	25/10/2021

rev no	description	date
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project name

Capital Culture District

1824, 1900, 1907, 1908, 1924, 2010 Store Street and 530 Chatham Street

sheet title

Site Plan
Average Grade Calc.

project no. 1931

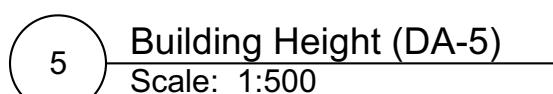
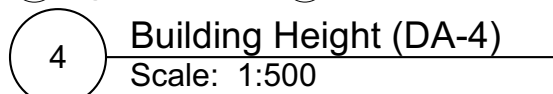
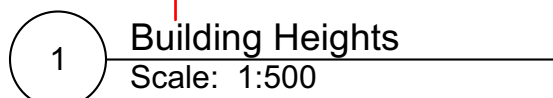
drawing file Comprehensive Plan

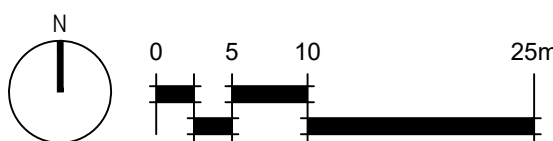
scale As Noted

drawn by JB/JH

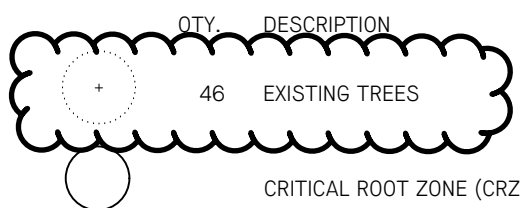
date issued sheet no.

Nov. 13, 2024 A2.1



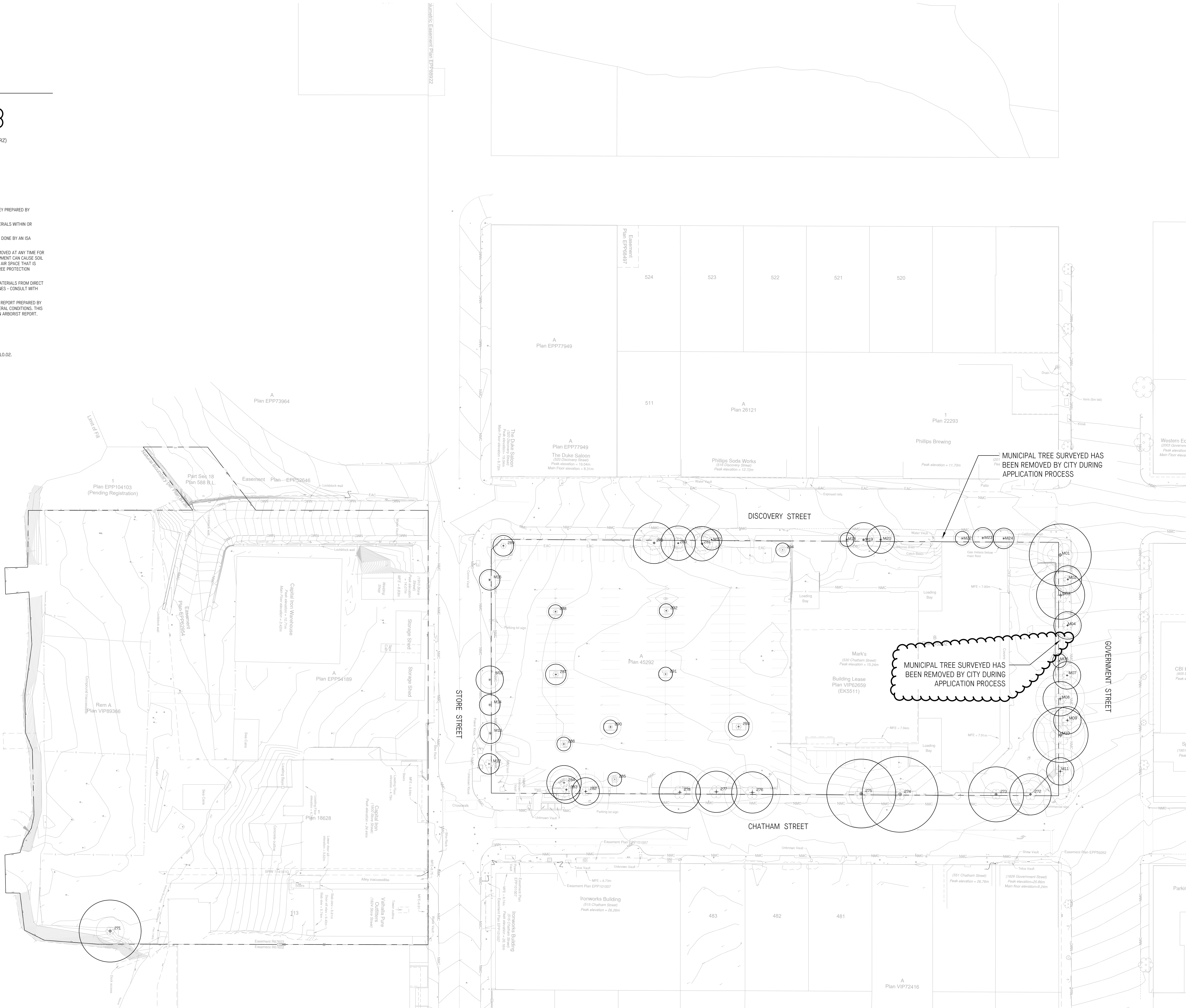


TREE SURVEY LEGEND



- NOTES
1. THE TREE SURVEY PLAN REFERENCES THE SURVEY PREPARED BY GEOVERRA ON AUGUST 9, 2021.
 2. NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
 3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
 4. PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH. REFER TO TREE PROTECTION SPECIFICATIONS.
 5. WHEN REMOVING ASPHALT, PAVING OR OTHER MATERIALS FROM DIRECT CONTACT WITH TREE ROOTS OR PROTECTION ZONES - CONSULT WITH ARBORIST ON SITE.
 6. REFER TO ARBORIST'S INVENTORY/ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND GENERAL CONDITIONS. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH AN ARBORIST REPORT.

NOTES
FOR TREE INVENTORY AND RELATED NOTES REFER TO L0.02.



4	Reissued for Rezoning	Oct. 29/24
3	Reissued for Rezoning	May. 23/23
2	Reissued for Rezoning	Jun. 6/22
1	Issued for Rezoning	Oct. 22/21

No.	Description	Date
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Capital Culture District

1824, 1900, 1907, 1908, 1924, 2010 Store St, 530 Chatham St

Tree Survey

Date	Oct. 01/21	Drawing Number
Project No.	2114	
Scale	1:500	
Drawn/Checked	KW JF	

L0.01

REE I.D. (Municipal I.D.)	Common Name	DBH (cm)	Crown (m) Spread	CRZ (m)	Structure	Health	Bylaw Status	Recommended Action
M01	London Plane	76	10	9	Good	Good	Municipal	Protect & Retain
M02	European Hornbeam	33	7	4	Good	Good	Municipal	Protect & Retain
M03	London Plane	59	18	7	Good	Good	Municipal	Protect & Retain
M04	European Hornbeam	32	7	4	Good	Good	Municipal	Protect & Retain
M06	Tulip Tree	17	5	4	Fair	Poor	Municipal	Protect & Retain
M07	European Hornbeam	32	8	4	Good	Good	Municipal	Protect & Retain
M08	London Plane	40	14	5	Good	Good	Municipal	Protect & Retain
M09	European Hornbeam	35	10	4	Good	Good	Municipal	Protect & Retain
M10	London Plane	68	14	8	Good	Good	Municipal	Protect & Retain
M11	Tulip Tree	36	13	4	Good	Fair	Municipal	Protect & Retain
M12	Higan Cherry	28	6	3	Fair	Poor	Municipal	Remove
M13	Higan Cherry	30	7	4	Fair	Fair	Municipal	Remove
M14	Higan Cherry	26	6	3	Fair	Fair	Municipal	Remove
M15	Higan Cherry	32	5	4	Fair	Good	Municipal	Remove
M16	Higan Cherry	21	5	3	Fair	Poor	Municipal	Remove
M17	Norway Maple	24	5	3	Poor	Good	Municipal	Remove
M18	Cherry Plum	18	5	2	Good	Fair	Municipal	Remove
M19	Cherry Plum	47	6	6	Poor	Fair	Municipal	Remove
M20	Cherry Plum	36	8	4	Good	Good	Municipal	Remove
M22	Cherry Plum	15	5	2	Good	Fair	Municipal	Remove
M23	Cherry Plum	24	5	3	Fair	Good	Municipal	Remove
M24	Cherry Plum	19	5	2	Fair	Good	Municipal	Remove
271	Pacific Madrone	75	9	9	Good	Fair	Bylaw-protected	Remove
272	European Hornbeam	81	11	10	Good	Good	Bylaw-protected	Remove
273	European Hornbeam	48	6	6	Good	Good	Bylaw-protected	Remove
274	European Hornbeam	81	10	10	Good	Good	Bylaw-protected	Remove
275	European Hornbeam	77	7	9	Good	Good	Bylaw-protected	Remove
276	Pin Oak	50	16	6	Fair	Fair	Bylaw-protected	Protect & Retain
277	Pin Oak	48	14	6	Good	Good	Bylaw-protected	Protect & Retain
278	Pin Oak	46	15	6	Good	Fair	Bylaw-protected	Protect & Retain
279	Western Red Cedar	76	7	9	Good	Good	Bylaw-protected	Remove
280	Western Red Cedar	43	5	5	Good	Fair	Bylaw-protected	Remove
281	Western Red Cedar	52	7	6	Good	Good	Bylaw-protected	Remove
282	Cherry Plum	38	8	5	Fair	Fair	Bylaw-protected	Remove
283	Cherry Plum	36	7	4	Fair	Fair	Bylaw-protected	Remove
284	Cherry Plum	43	8	5	Fair	Fair	Bylaw-protected	Remove
285	London Plane	15	3	2	Fair	Fair	Not protected	Remove
286	London Plane	18	5	2	Good	Fair	Not protected	Remove
287	London Plane	26	8	3	Good	Good	Not protected	Remove
288	London Plane	18	4	2	Fair	Good	Not protected	Remove
289	Pin Oak	26	7	3	Fair	Poor	Not protected	Remove
290	London Plane	22	5	3	Fair	Good	Not protected	Remove
291	London Plane	15	4	2	Good	Good	Not protected	Remove
292	London Plane	18	5	2	Fair	Good	Not protected	Remove
293	London Plane	23	7	3	Good	Good	Not protected	Remove
294	Sugar Maple	14	2	2	N/A	Dead	Not protected	Remove

QTY.	DESCRIPTION
13	EXISTING MUNICIPAL TREES TO REMAIN
33	EXISTING TREES TO REMOVE
	TREE PROTECTION FENCING
	CRITICAL ROOT ZONE (CRZ)

1. THE TREE PROTECTION AND MANAGEMENT PLAN REFERENCES THE SURVEY PREPARED BY GEOVERRA ON AUGUST 9, 2021.
2. NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
3. ANY PRUNING OF BRANCHES OR ROOTS MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
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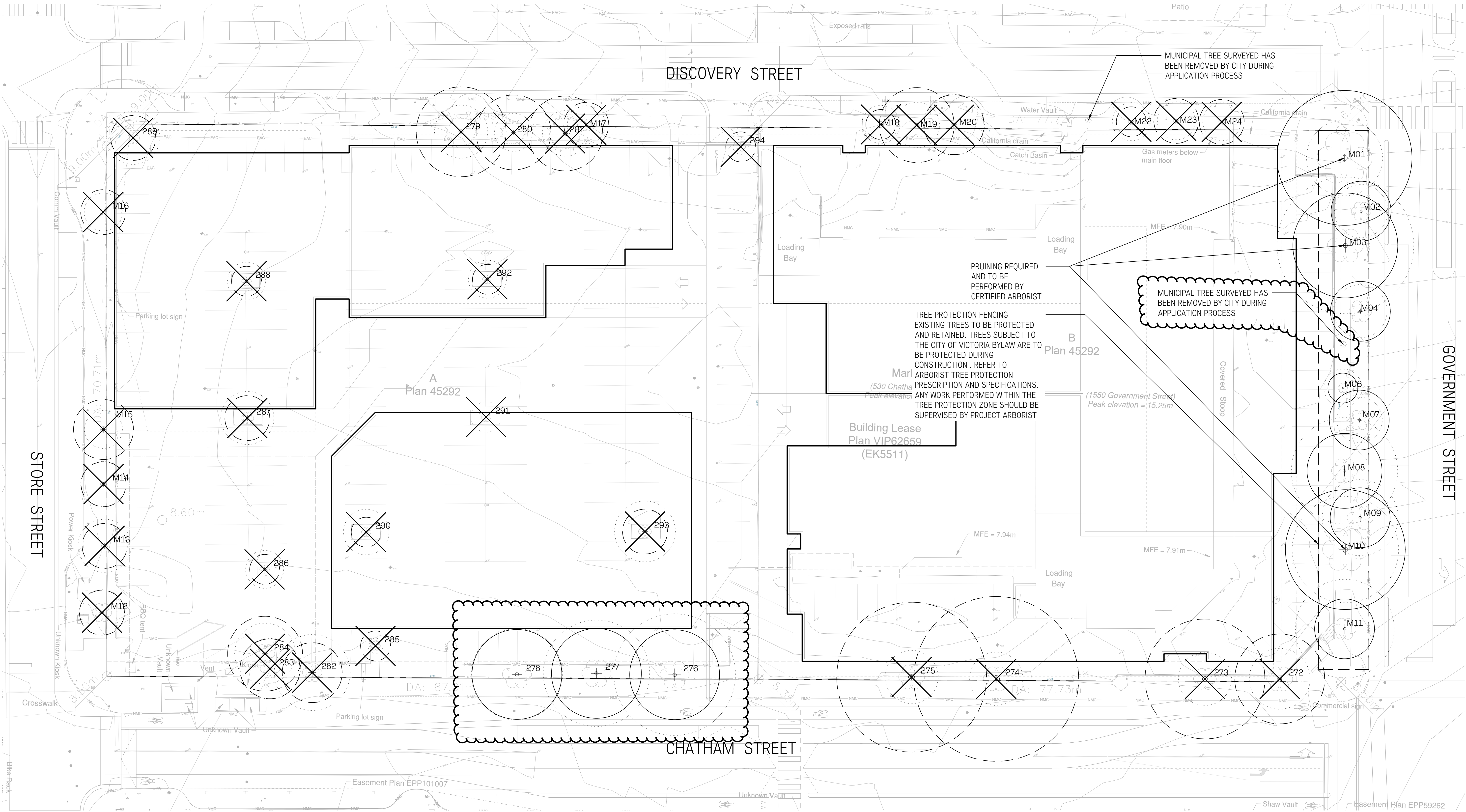


Landscape Architecture
Urban Design
403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6

No.	Description	Date
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1824, 1900, 1907, 1908, 1924,
2010 Store St, 530 Chatham S

Date	Oct. 01/21	Drawing Number
Project No.	2114	L0.02
Scale	1:250	
Drawn Checked	KW JF	



TREE PROTECTION & MANAGEMENT LEGEND

QTY.	DESCRIPTION
13	EXISTING MUNICIPAL TREES TO REMAIN
33	EXISTING TREES TO REMOVE
	TREE PROTECTION FENCING
	CRITICAL ROOT ZONE (CRZ)

NOTES

FOR TREE INVENTORY AND RELATED NOTES REFER TO L0.02.



4	Reissued for Rezoning	Oct. 29/24
3	Reissued for Rezoning	May. 23/23
2	Reissued for Rezoning	Jun. 6/22
1	Issued for Rezoning	Oct. 22/21
No.	Description	Date

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Capital Culture District

1824, 1900, 1907, 1908, 1924, 2010 Store St, 530 Chatham St

Tree Management Plan

Date	Oct. 01/21	Drawing Number
Project No.	2114	
Scale	1:250	L0.03
Drawn/Checked	KW JF	

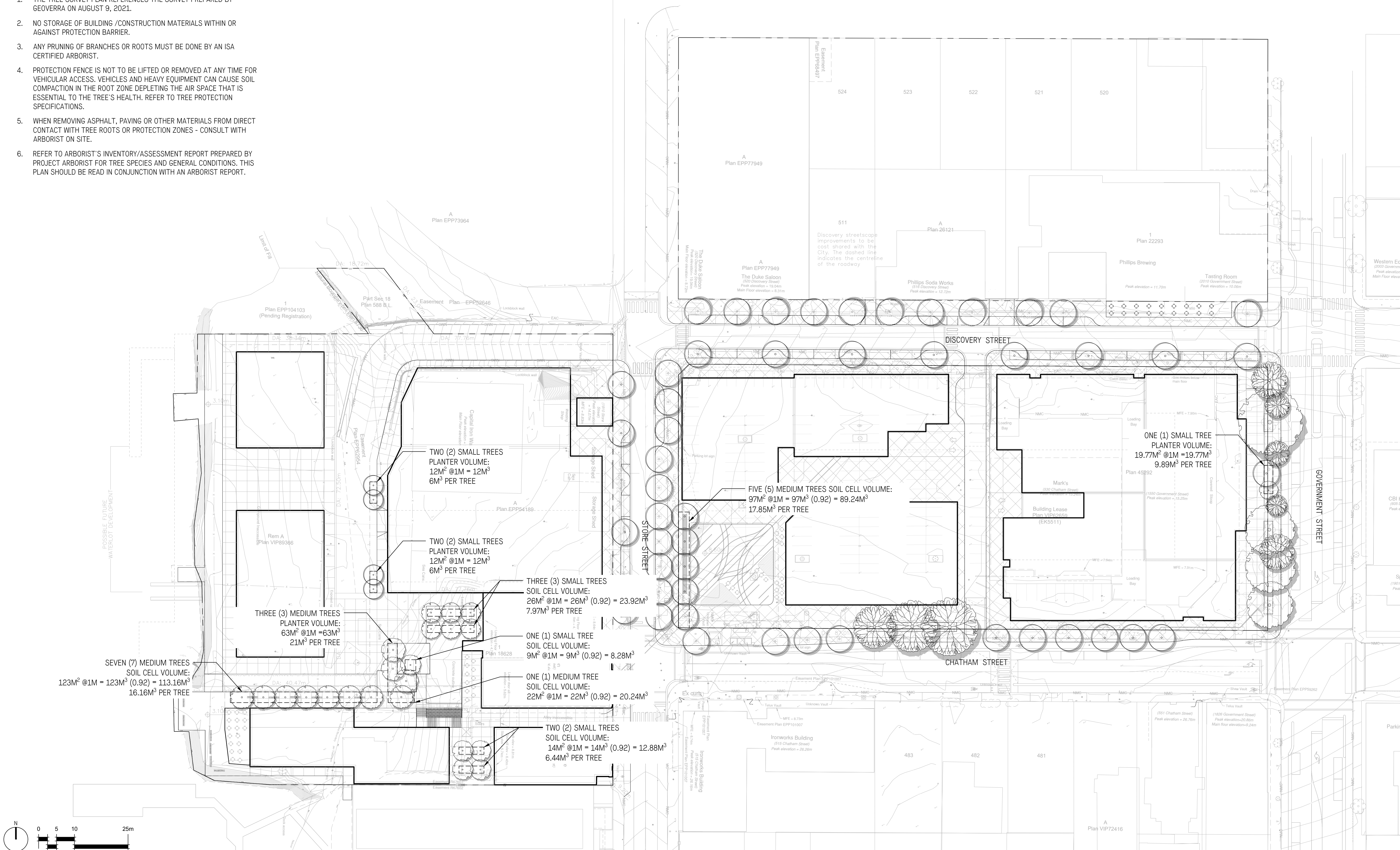
ELEVEN (11) BY-LAW PROTECTED TREES TO BE REMOVED

15 SMALL TREES (REPLACEMENT @ 2:1)

16 MEDIUM TREES (REPLACEMENT @ 1:1)

SOIL VOLUME AREA

1. THE TREE SURVEY PLAN REFERENCES THE SURVEY PREPARED BY GEOVERRA ON AUGUST 9, 2021.
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No.	Description	Date
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Capital Culture District

1824, 1900, 1907, 1908, 1924,
2010 Store St, 530 Chatham S

Tree Replacement Plan

Date	Oct. 01/21	Drawing Number
Project No.	2114	L0.04
Scale	1:500	
Drawn/Checked	KW JF	

PLOT DATE: 2024-11-01 9:43:38 AM
FILE: 2243-00-C-001.dwg
DWG PATH: 4/2021/2243-00-C-001.dwg

IF NOT 50 mm ADJUST SCALES
50 mm

SCALE(S) SHOWN ARE INTENDED FOR ANSI D (22X34) SIZE DRAWINGS, TABLOID (11X17) SIZE DRAWINGS ARE 1/2 OF SCALE(S) SHOWN UNLESS NOTED OTHERWISE

EXISTING	DESIGN	ROAD
		CONTROL LINE
		GRAVEL ROAD
		EDGE OF PAVEMENT
		CURB (ACTUAL WIDTH)
		SIDEWALK (ACTUAL WIDTH)
		CURB DEPRESSION
		MARKING 1-1-1
		MARKING 3-3-3
		MARKING 3-6-3
		MARKING 5-8-5
		MARKING 6-3-6
		GUIDE RAIL
EXISTING	DESIGN	MISCELLANEOUS
		FENCE
		SILT FENCE
		ABANDONED PIPE
		RAILWAY
		BOTTOM OF BANK
		TOP OF BANK
		EDGE OF WATER
		HEDGE
		BUILDING
		DITCH
		DITCH (HIGH POINT)
		DITCH (LOW POINT)
		STREAM (LESS THAN 3 m WIDE)
		CREEK (OVER 3 m WIDE) (WIDTH OF CREEK SHOWN TO SCALE)
EXISTING	DESIGN	CONTOUR
		MAJOR
		MINOR
EXISTING	DESIGN	PROPERTY
		PARCEL / LOT LINE
		EASEMENT
		STATUTORY ROW
		ROAD ROW
EXISTING	DESIGN	PROFILE VIEW
		GROUND
		WATER MAIN
		SANITARY SEWER
		STORM SEWER

HATCH PATTERNS	
GRAVEL	TOP SOIL & SOD
ASPHALT	WATER
CONCRETE	EARTH / NATIVE MATERIAL
	INTERLOCK STONE

EXISTING	SANITARY SEWER
	SANITARY SEWER
	SANITARY FORCEMAIN
	SANITARY COMBINED SEWER
	MANHOLE
	COMBINED MANHOLE
	VALVE CHAMBER
	CLEANOUT
	VALVE BOX
	FLOW DIRECTION
	LIFT / PUMP STATION

EXISTING	ELECTRICAL / POWER
	POWER / COMM / CONDUIT
	OVERHEAD POWER
	UNDERGROUND POWER
	VAULT / HYDRO BOX
	PULL BOX
	JUNCTION BOX
	TRANSFORMER VAULT MANHOLE
	TRANSFORMER PAD
	METER
	MANHOLE
	LIGHT / LAMP STANDARD
	HYDRO / UTILITY POLE
	GUY WIRE
	SIGNAL
	SIGNAL WITH OVERHEAD ARM

EXISTING	COMMUNICATIONS / TELEPHONE
	CABLE
	FIBRE OPTIC CABLE
	TELEPHONE / LINE
	UNDERGROUND TELEPHONE
	COMMUNICATIONS VAULT BOX
	TELEPHONE MANHOLE
	TELEPHONE VAULT BOX
	COMMUNICATIONS MANHOLE
	TELEPHONE PEDESTAL

EXISTING	GAS
	GAS
	VALVE BOX
	MANHOLE
	METER

EXISTING	SURVEY
	SURVEY HUB
	MONUMENT
	IRON PIN
	IRON PIN (FOUND)
	LEAD PLUG
	UNIDENTIFIED MANHOLE
	MONITORING WELL
	PIEZOMETER
	OBSERVATION WELL

EXISTING	MISCELLANEOUS
	TEST PIT
	BORE HOLE
	FLAG POLE
	PARKING METER
	MAILBOX
	BOULDER
	RAILWAY SIGNAL LIGHT
	POST/BOLLARD (ANNOTATE AS REQUIRED)
	NO POST BARRIER / JERSEY BARRIER (SCALE AS REQUIRED)
	SIGN
	GATE
	BUSH
	TREE (DECIDUOUS) (SCALE AS REQUIRED)

EXISTING	DESIGN	WATER
		WATER MAIN
		IRRIGATION
		RAW WATER
		POTABLE WATER
		VAULT BOX
		IRRIGATION BOX
		FIRE HYDRANT
		MANHOLE
		METER CHAMBER
		CROSS FLANGE
		TEE FLANGE
		END CAP / PLUG
		GATE VALVE
		THRUST BLOCK
		45 DEGREE ELBOW
		90 DEGREE ELBOW
		WYE
		ENCASEMENT
		WATER LEVEL
		COUPLING
		REDUCER
		WELL
		CURB STOP / CURB BOX

EXISTING	DESIGN	STORM DRAINAGE
		CULVERT (Ø AND TYPE)
		STORM SEWER
		CATCH BASIN
		DOUBLE CATCH BASIN
		DITCH INLET CATCH BASIN
		CATCH BASIN / MANHOLE
		LAWN BASIN
		MANHOLE
		STORMCEPTOR
		OIL INTERCEPTOR
		VALVE BOX
		CULVERT INLET
		CULVERT OUTLET
		HEADWALL
		DITCH FLOW

SURFACE FINISH LEGEND	
	SPECIALITY PAVING 1 - CONCRETE UNIT PAVERS
	SPECIALITY PAVING 2 - CIP SCORED CONCRETE
	SPECIALITY PAVING 3 - (SP1 OR SP2 WITH CORTEN STEEL RAIL LINE DETAIL ELEMENTS)
	SPECIALITY PAVING 4 - HARBOUR PATHWAY (WOOD OR CONCRETE SURFACE)
	ASPHALT
	COLOURED CONCRETE (ON STREET PARKING)
	POSSIBLE STORMWATER TREATMENT AREA

REV	DATE	DESIGN	DRAWN	DESCRIPTION
B	2024NOV1	A. STEPHENSON	B. WEBSTER	ISSUED FOR REVIEW
A	2023MAY29	A. STEPHENSON	B. WEBSTER	ISSUED FOR REZONING

RELIANCE PROPERTIES

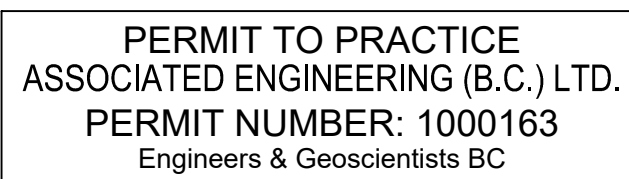
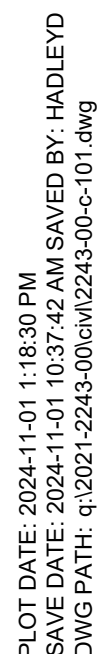
CAPITAL CULTURE DISTRICT

20212243-00

SCALE: AS SHOWN

CIVIL
LEGEND

DRAWING	REVISION	SHEET
2243-00-C-001	B	----



RELIANCE PROPERTIES

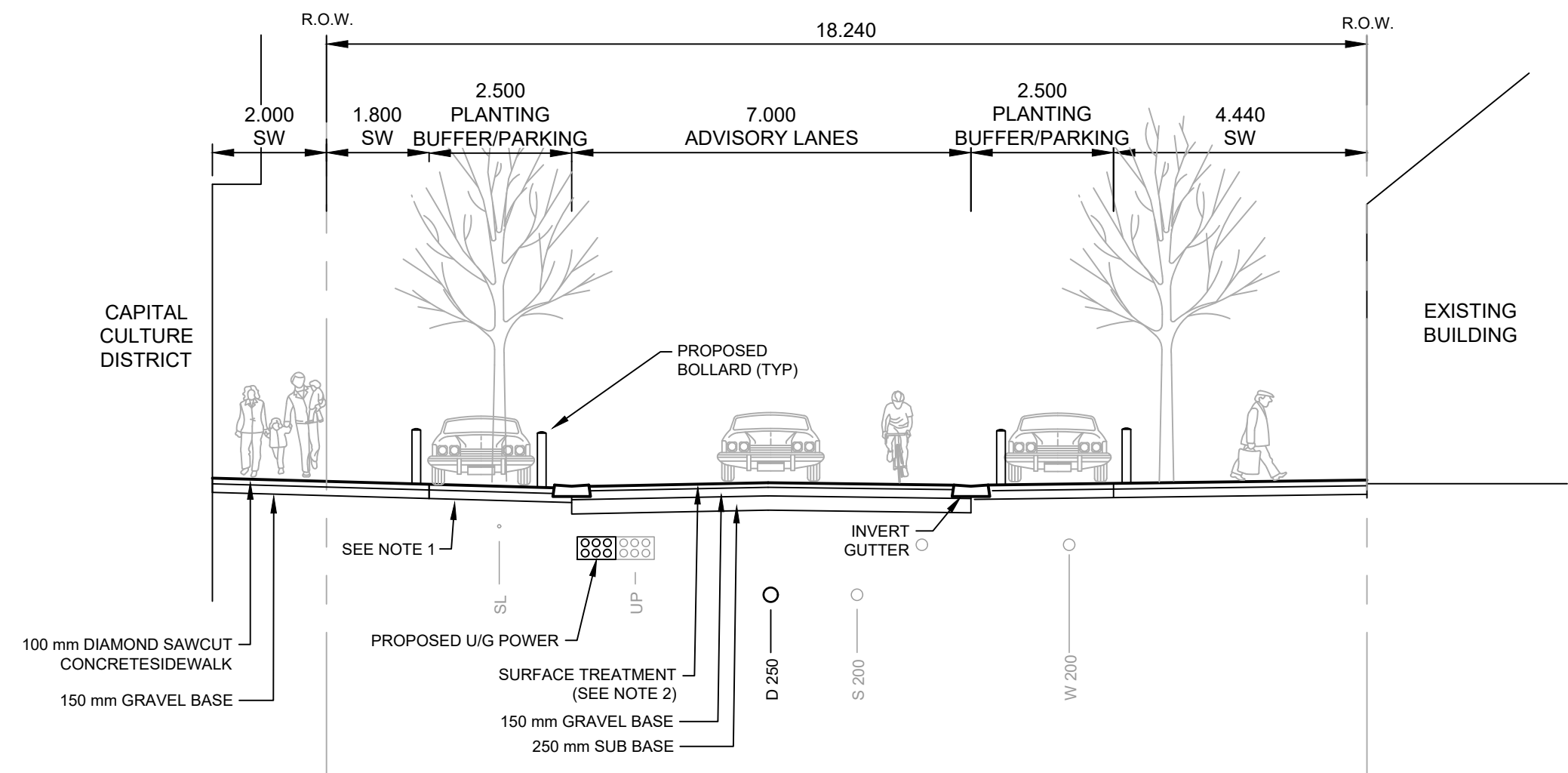
CAPITAL CULTURE DISTRICT

20212243-00

SCALE: 1:500

CIVIL
CONCEPTUAL SERVICING PLAN
PROPOSED WORKS

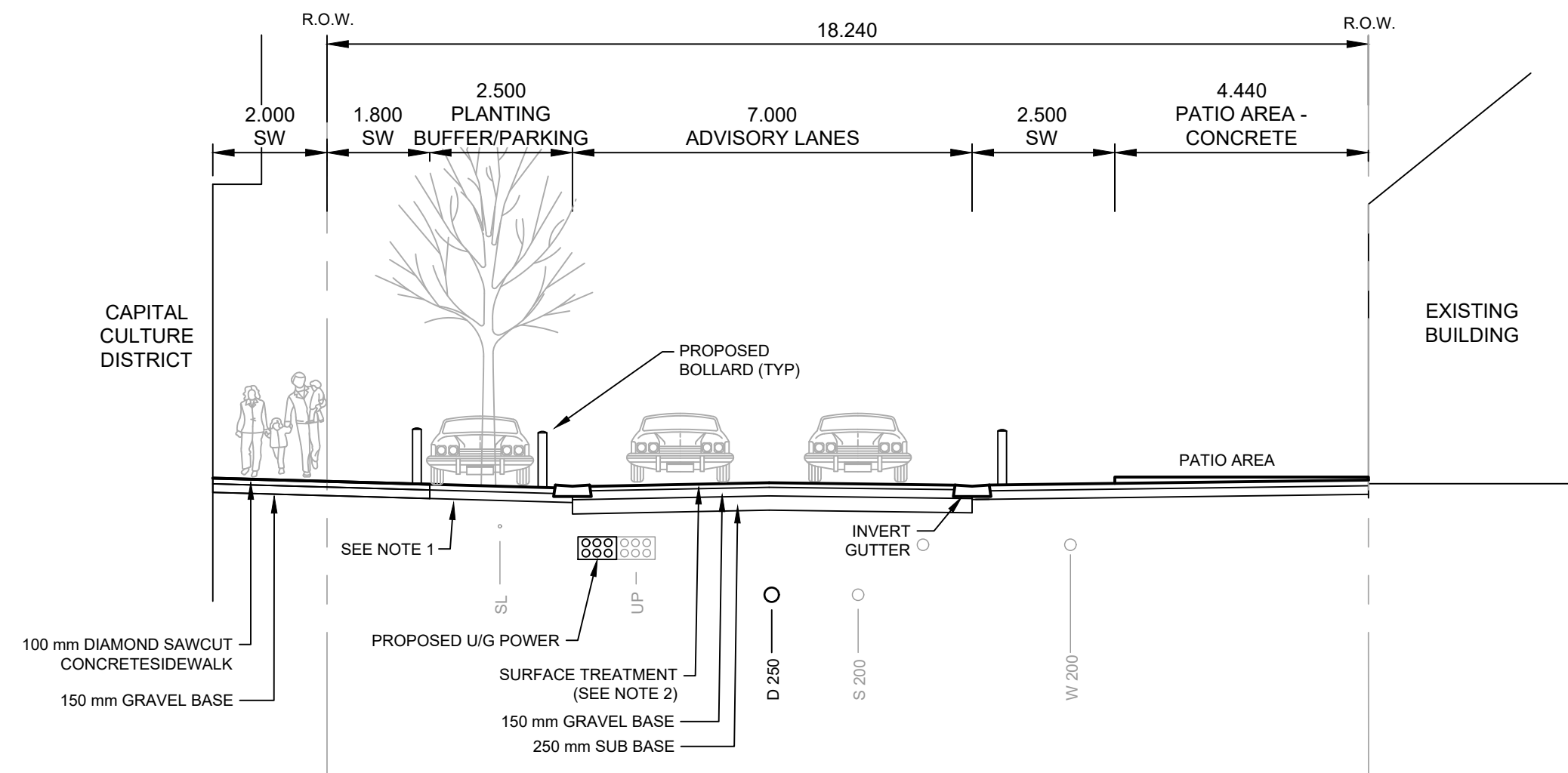
DRAWING	REVISION	SHEET
2243-00-C-101	E	



NOTES:

1. SURFACE TREATMENT UNDER PARKING AREAS (~80% OF FRONTAGE) TO MATCH ROADWAY BASE GRAVELS, IDENTIFIED IN NOTE 2 BELOW.
2. SURFACE TREATMENT OPTIONS FOR ROADWAY AND PARKING AREAS :
 - 2.1. 100 mm THICK UNIT PAVERS, 50 mm BEDDING SAND, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
 - 2.2. 80 mm THICK STAMPED COLOURED ASPHALT (2 LIFTS), 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
 - 2.3. 150 mm THICK MESH REINFORCED, DIAMOND SAWCUT, COLOURED CONCRETE, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
3. BOLLARDS TO BE PLACED MIN. 450 MM FROM CENTRE OF INVERT GUTTER/FACE OF CURB, MEASURED TO THE EDGE OF BOLLARD.

1 TYPICAL SECTION 1:100
DISCOVERY STREET

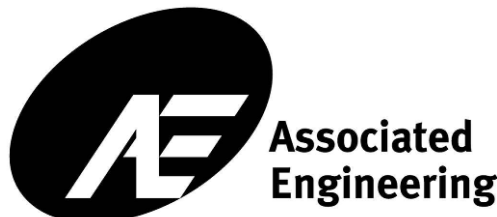


NOTES:

1. SURFACE TREATMENT UNDER PARKING AREAS (~80% OF FRONTAGE) TO MATCH ROADWAY BASE GRAVELS, IDENTIFIED IN NOTE 2 BELOW.
2. SURFACE TREATMENT FOR ROADWAY:
 - 2.1. 80 mm THICK ASPHALT (2 LIFTS), 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
 - 2.2. AT INTERSECTIONS (WHERE SHOWN ON PLAN) 150 mm THICK MESH REINFORCED, DIAMOND SAWCUT, CONCRETE, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
3. SURFACE TREATMENT FOR PARKING AREAS :
 - 3.1. 150 mm THICK MESH REINFORCED, COLOURED CONCRETE, 150 mm GRANULAR BASE, 250 mm GRANULAR SUBBASE.
4. BOLLARDS TO BE PLACED MIN. 450 mm FROM CENTRE OF INVERT GUTTER/FACE OF CURB, MEASURED TO THE EDGE OF BOLLARD.

2 TYPICAL SECTION 1:100
DISCOVERY STREET

PLOT DATE: 2024-11-01 9:44:25 AM
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DWG PATH: 4120212243-00-C-501.dwg



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FOR DISCUSSION
NOT FOR CONSTRUCTION

DRAFT

B	2024NOV1	A. STEPHENSON	B. WEBSTER	ISSUED FOR REVIEW
A	2024AUG02	A. STEPHENSON	B. WEBSTER	ISSUED FOR REVIEW
REV	DATE	DESIGN	DRAWN	DESCRIPTION

RELIANCE PROPERTIES

CAPITAL CULTURE DISTRICT

20212243-00

SCALE: AS SHOWN

CIVIL
TYPICAL DETAILS

DRAWING	REVISION	SHEET
2243-00-C-501	B	----