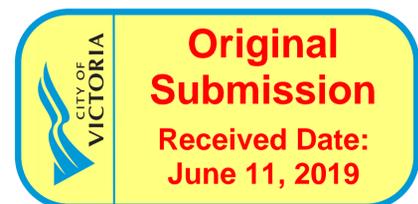
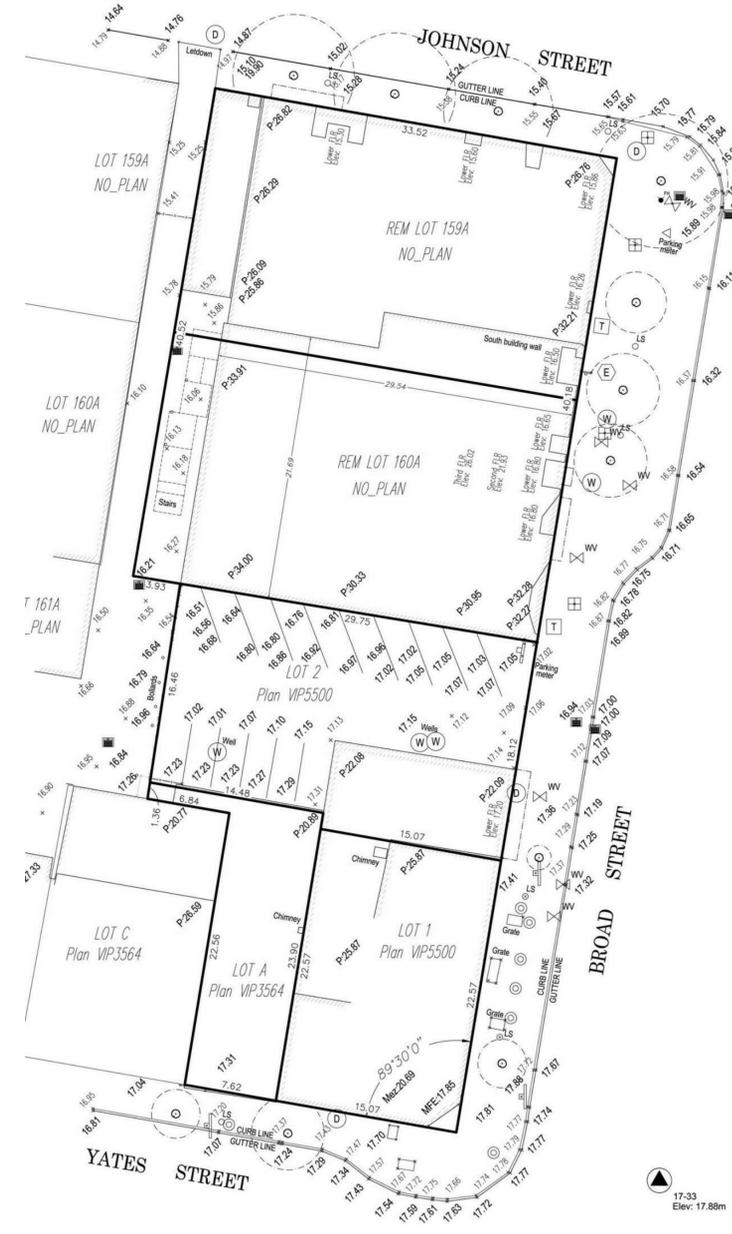




The Duck's Building Redevelopment

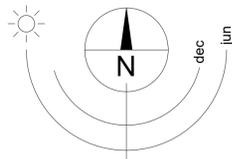
Rezoning and Heritage Alteration Permit
Application 19-06-11





1 Context Aerial
SCALE: N.T.S.

2 Context Survey Plan
SCALE: N.T.S.



PROJECT DESCRIPTION

CIVIC ADDRESS:
1312-1324 BROAD STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500, AND
REM. LOT 160A ABD REM. LOT 160A.
VICTORIA DISTRICT

REGISTERED OWNER
University of Victoria
3800 Finnerty Rd
P.O. Box 3040 STN. SCC
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V8W 3N7

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chris@charddevelopment.com

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Isabelle Maltais
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Kenneth Ng
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kpickwick@rjc.ca

VICTORIA ZONING

BUILDING DESCRIPTION:
6 STOREY HOTEL BUILDING

USES: RESIDENTIAL OCCUPANCY (HOTEL)

EXISTING ZONE: OTD-1 (2-18)

PROPOSED ZONE: SITE SPECIFIC

DEVELOPMENT PERMIT AREA: DPA1 (HC) HISTORIC CORE

Broad Street Redevelopment

Site 1	
Civic Address	1312-1324 Broad St, Victoria, BC.
Legal Address	Rem Lot 159A + Rem Lot 160A + Lot 2 Plan VIP5500 + Part Part Lot A Plan VIP3564
Final Site Area (sm)	1,889
Final Gross Floor Area (sm)	8,252
Final FAR	4.37
Duck's Building Current Floor Area	2346
Duck's Building Retained Floor Area	2346
Total Floor Area (@ ground)	1650
Commercial Floor Area	796
Building Area Over City Property	
Site Coverage	87%
Open Site Space	13%
Average Grade	16.30
Height of Building	18.81
Number of Storeys	6
Parking Stalls on Site (Req'd/Provided)	(34)/36
Bicycle Parking Long Term (Req'd/Provided)	(6)/6
Bicycle Parking Short Term (Req'd/Provided)	(4)/4
Building Setbacks	
Front Yard	0 M
Rear Yard	0 M
Side Yard	0 M
Side Yard	0 M
Combined Side Yard	0 M
Residential Use Details	
Total Number of Units	134
Unit Type	Hotel
Ground-Orientated Units	0
Min Unit Floor Area	24
Total Residential Floor Area	6600

LIST OF DRAWINGS

A001	Project Data	A303	East Elevation
A100	Site Survey	A304	West Elevations
A101	Site Plan	A401	Building Sections E-W
A201	P2 Parking Plan	A501	Site Context
A202	P1 Parking Plan	A502	Site Context
A203	Level 1	A503	Shadow Studies
A204	Level 2	A503A	Context Massing
A205	Level 2A	A504	Urban Context
A206	Level 3	A505	Urban Context
A207	Level 4	A506	Perspective Studies
A208	Level 5	A507	Perspective Studies
A209	Level 6	A508	Perspective Studies
A301	North Elevation	A509	Perspective Studies
A302	South Elevation	A510	Stone Wall

Date 1 Revision 1

Plot Date	Issue Date	Drawing File	
Drawn By	SWS	Checked By	crk
Scale	1 : 1	Project Number	1721

NOTE: All dimensions are shown in millimeters.

The Duck's Building
Redevelopment
1312-1324 Broad Street
Victoria, BC
Project Data



dHkA architects
Victoria
977 Fort Street V8V 3K3 T 1-250-685-3367
Nanaimo
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**B.C. LAND SURVEYOR'S
TOPOGRAPHIC SURVEY OF:
LOT A OF PLAN 3564, LOT 1
AND LOT 2 OF PLAN 5500,
REM LOT 159A AND REM LOT
160A, VICTORIA DISTRICT**

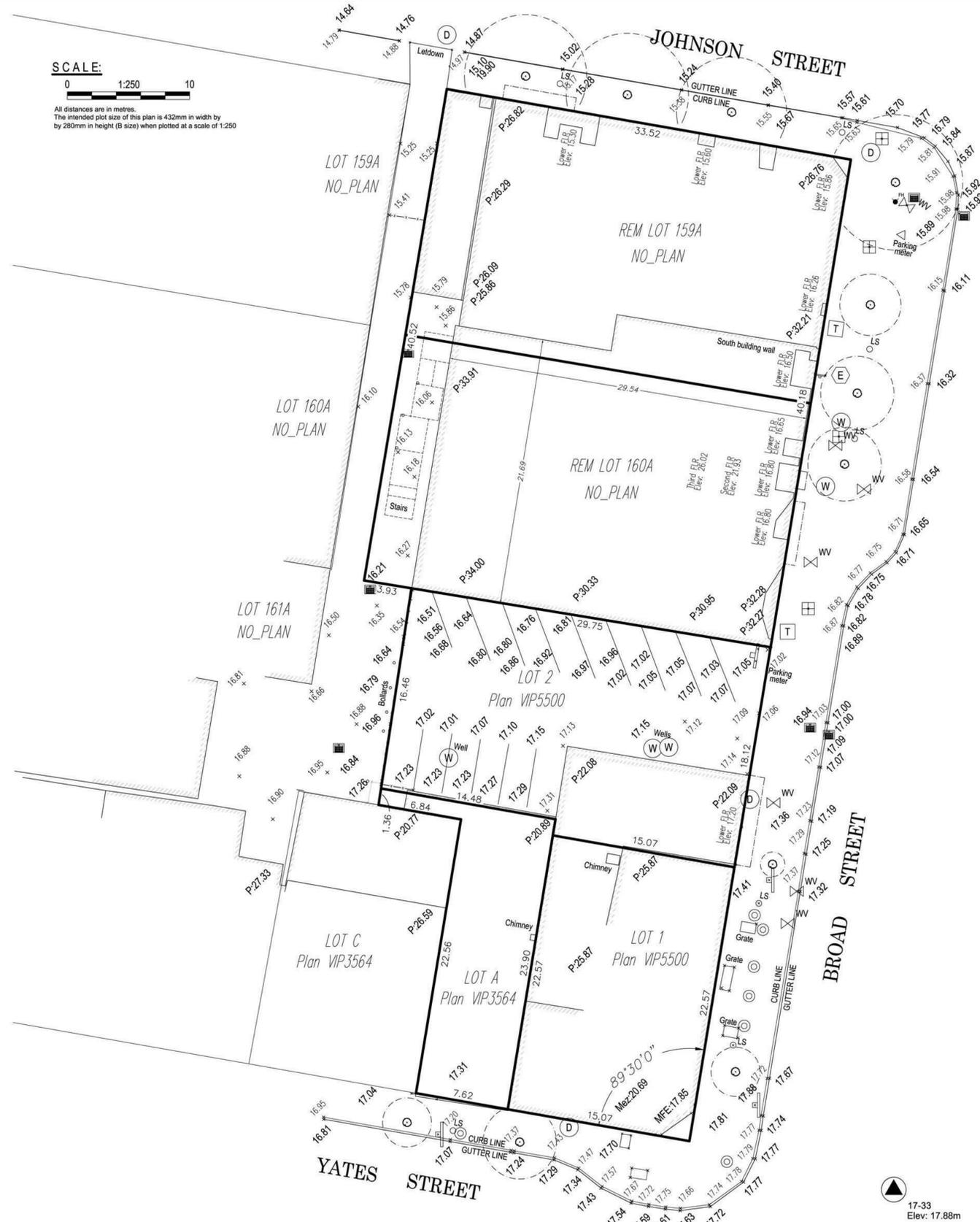
Parcel Identification Number (PID)
004-599-748, 004-599-772, 000-748-480, 001-668-277,
004-115-791

MUNICIPALITY
VICTORIA

CIVIC ADDRESS
BROAD STREET
VICTORIA, BC
ZONING
CA-3C

SCALE:
0 1:250 10

All distances are in metres.
The intended plot size of this plan is 432mm in width by
by 280mm in height (B size) when plotted at a scale of 1:250



LEGEND

Elevations are geodetic based on Integrated survey monument 17-33 in the City of Victoria at elevation 17.88m.

Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species
Grade shots are taken at the point marked X

- (D) - denotes storm manhole
- WV - denotes Water valve
- FD - denotes fire hydrant
- CB - denotes catch basin
- LS - denotes Lamp Standard
- T - denotes Cable box
- LB - denotes Light box
- E - denotes Hydro
- S - denotes Sign
- U - denotes Unmarked manhole
- MFE - denotes Main Floor Elevation (Door Sill)
- P:XX.XX - denotes Parapet Height
- (W) - denotes Water manhole

Measurements are taken from the exterior finishing of the buildings.

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This document was prepared for the exclusive use of our client, CHARD DEVELOPMENT LTD.

*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.

Explorer Land Surveying INC., accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.

FILE: 11373
DWGDATE: 11373-BROAD ST(2016-12-15)

Explorer
Land Surveying Inc
101 - 2610 Douglas Street,
Victoria, B. C. V8T 4M1
Tel: (250) 363-2227
email: kenneth@explorersurvey.com

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker	
Scale					Project Number	1721

NOTE: All dimensions are shown in millimeters.

**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Site Survey

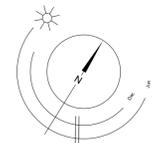
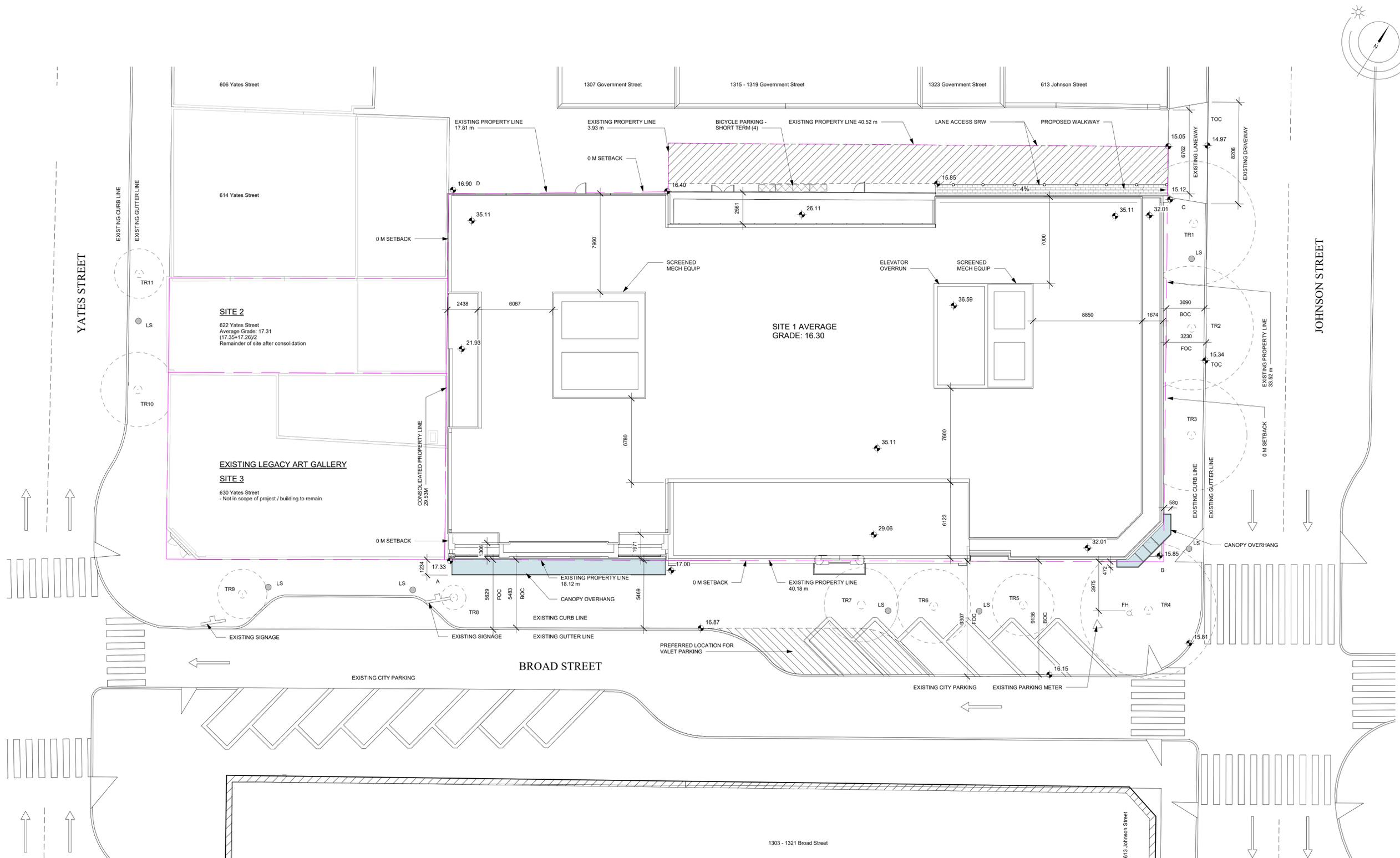
CERTIFIED CORRECT
Lot dimensions are correct according to Land Title Office records.

Kenneth KC Ng, BCLS
Field Survey - 15 December, 2016
Dated this 16th of December, 2016.

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Info: <https://www.juricert.com>



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Date 1 Revision 1

Plot Date	Issue Date	Drawing File
Drawn By	SWS	Checked By
Scale	1 : 150	Project Number
		1721

NOTE: All dimensions are shown in millimeters.

The Duck's Building Redevelopment
 1312-1324 Broad Street
 Victoria, BC
 Site Plan

Average Grade					
Point	Point Value	Grade Points	Average of Points	Distance	
The Duck's Building Redevelopment					
A	17.33	A+B	16.60	57.70	957.53
B	15.86	B+C	15.49	29.30	453.86
C	15.12	C+D	16.01	57.70	923.78
D	16.90	D+A	17.12	29.30	501.47
Average Grade	16.30			Perimeter	Sum
				174.00	2836.64
Existing Duck's Building					
A	17.02	A+B	16.44	40.31	662.70
B	15.86	B+C	15.49	29.30	453.86
C	15.12	C+D	15.74	40.31	634.48
D	16.36	D+A	16.69	29.30	489.02
Average Grade	16.09			Perimeter	Sum
				139.22	2240.05

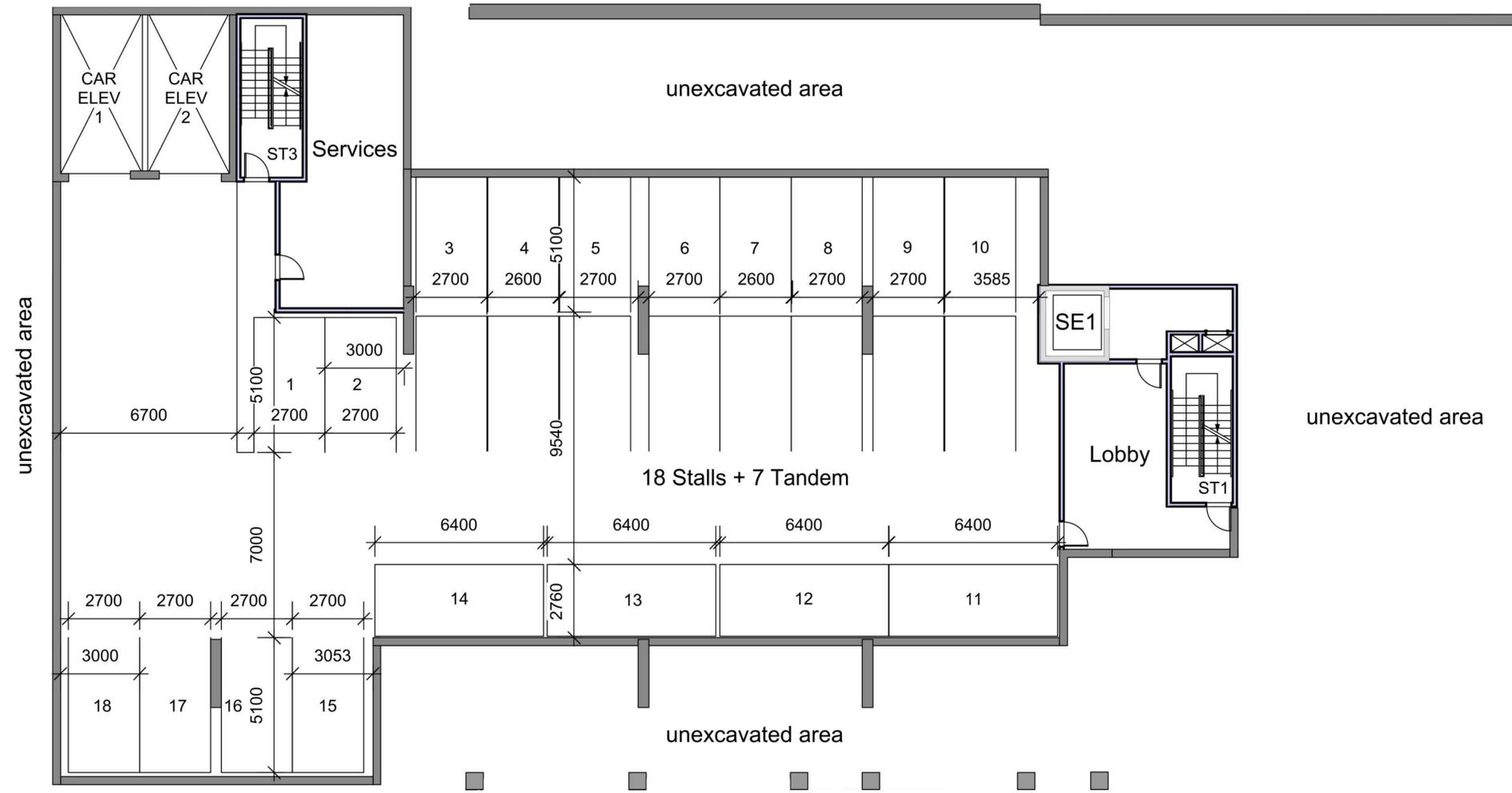
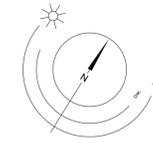
1 Site Plan
 A101 SCALE: 1 : 150



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Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number			1721

NOTE: All dimensions are shown in millimeters.

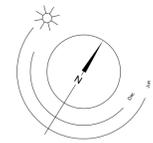
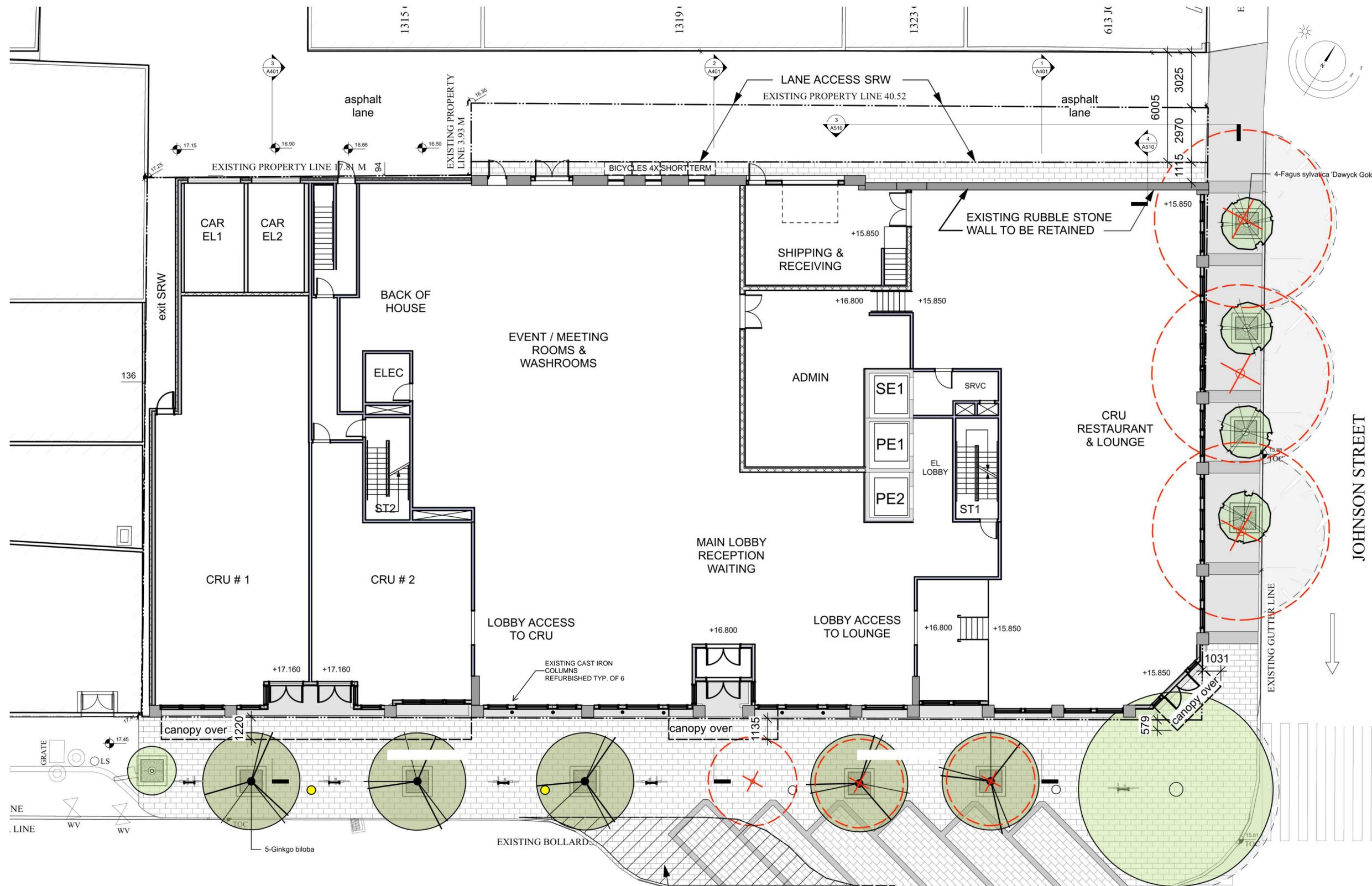
**The Duck's Building
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1312-1324 Broad Street
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P2 Parking Plan



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2019-05-10 2:32:34 PM

1 Parkade Lv 2
A201 SCALE: 1 : 100



JOHNSON STREET

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number	1721		

NOTE: All dimensions are shown in millimeters.

**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Level 1

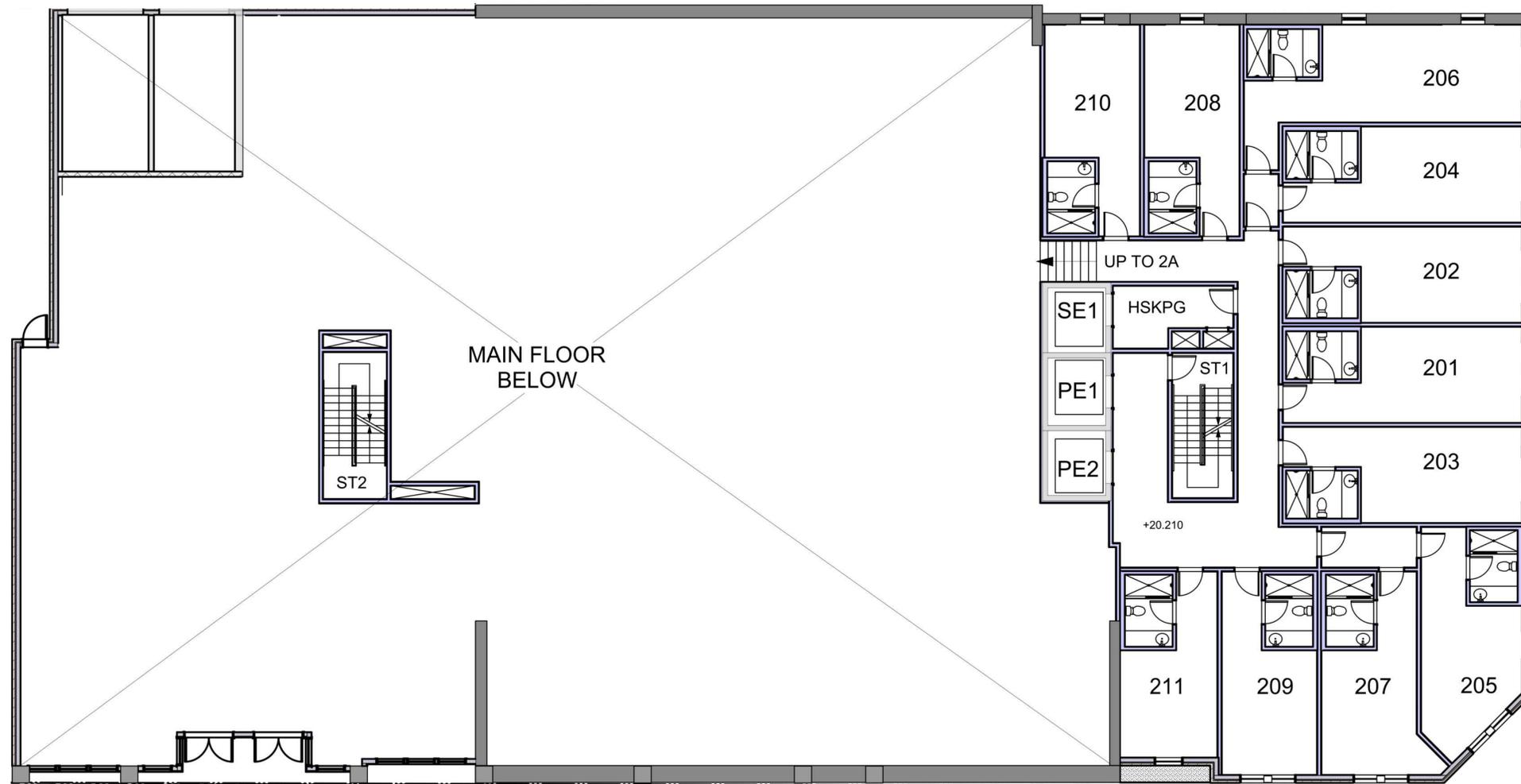
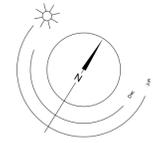
1 Level 1
A203 SCALE: 1 : 100

dHka A203

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Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number			1721

NOTE: All dimensions are shown in millimeters.

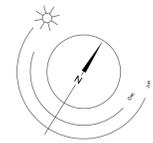
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Level 2



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1 Level 2
A204 SCALE: 1 : 100

2019-05-10 2:32:38 PM



Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number			1721

NOTE: All dimensions are shown in millimeters.

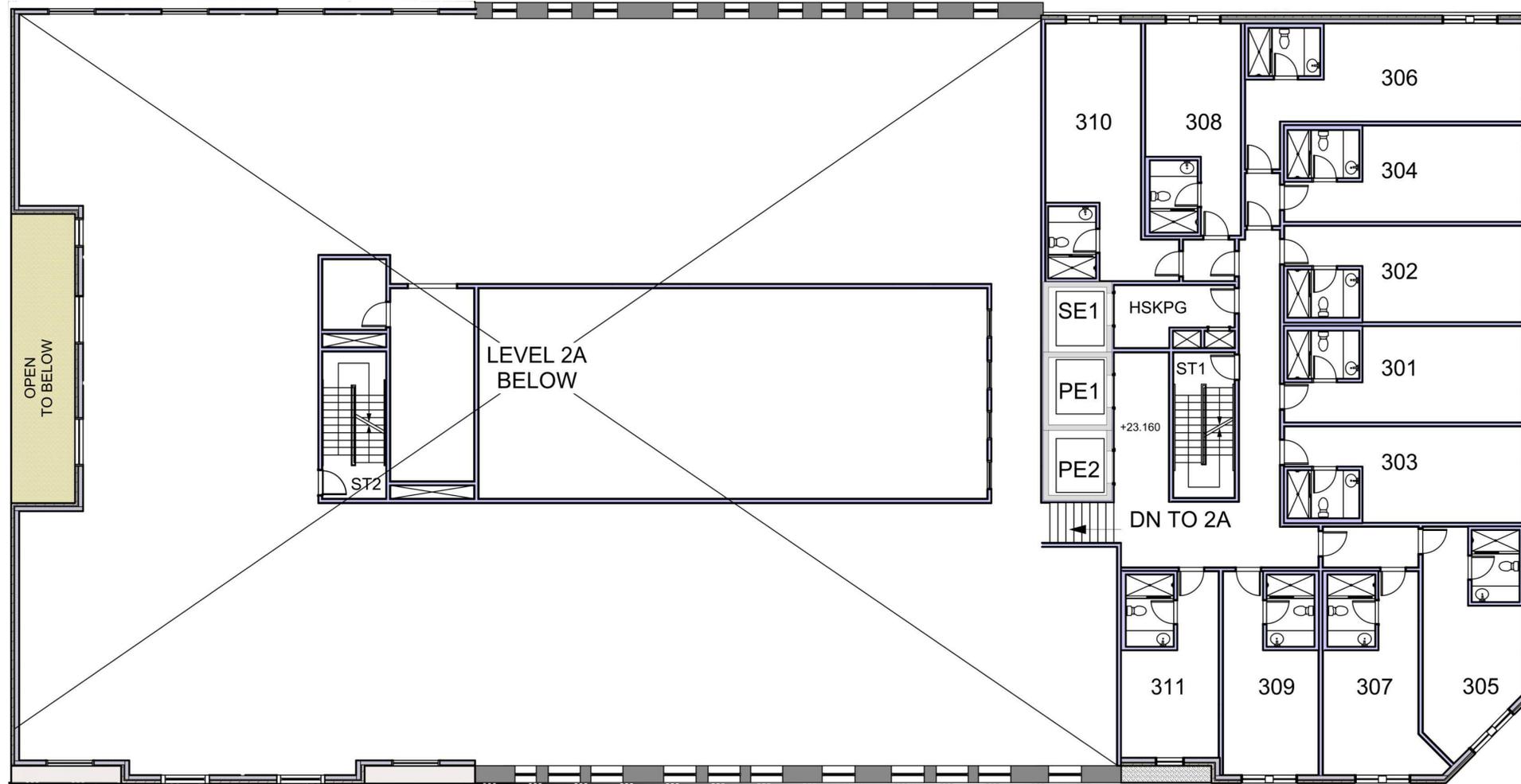
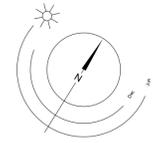
**The Duck's Building
Redevelopment**
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Victoria, BC
Level 2A



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1 Level 2A
A205 SCALE: 1 : 100

2019-05-10 2:32:40 PM



Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number			1721

NOTE: All dimensions are shown in millimeters.

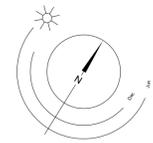
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Level 3



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1 Level 3
A206 SCALE: 1 : 100

2019-06-10 2:32:43 PM



Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number			1721

NOTE: All dimensions are shown in millimeters.

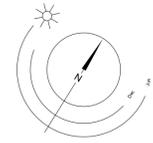
**The Duck's Building
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Level 4



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1 Level 4
A207 SCALE: 1 : 100

2019-05-10 2:32:46 PM



Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	1721

NOTE: All dimensions are shown in millimeters.

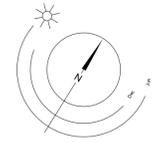
**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Level 5



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1 Level 5
A208 SCALE: 1 : 100

2019-05-10 2:32:49 PM



Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 100	Project Number	1721		

NOTE: All dimensions are shown in millimeters.

**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Level 6



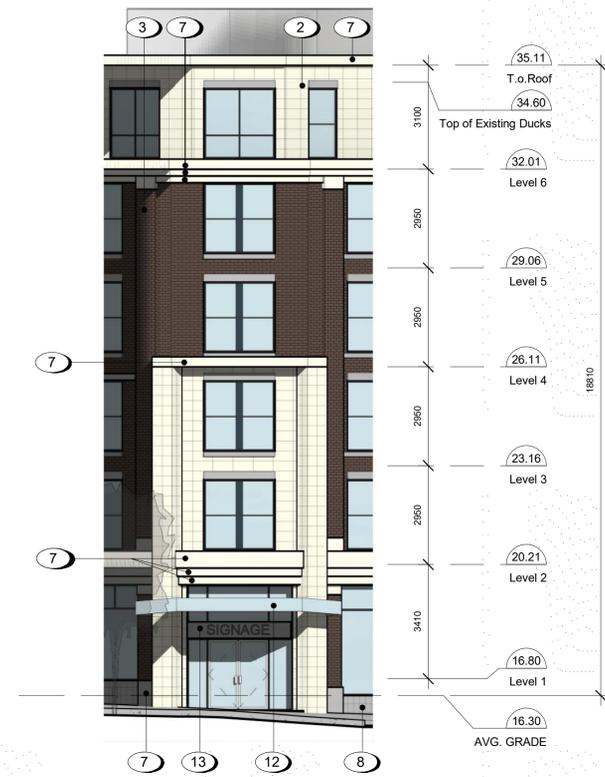
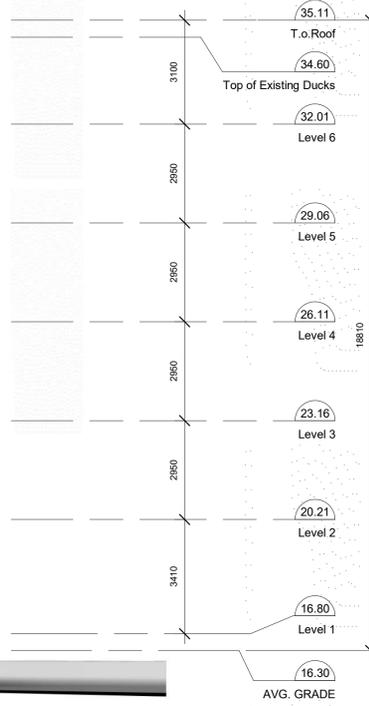
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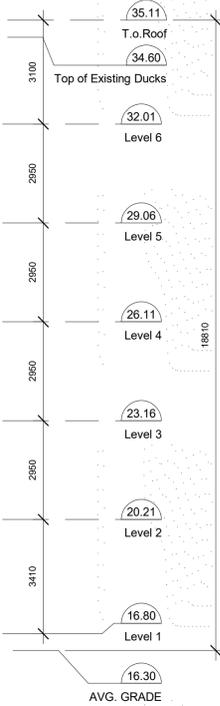
1 Level 6
A209 SCALE: 1 : 100



1 North Elevation
A301 SCALE: 1 : 100



2 North East Corner @ 45°
A301 SCALE: 1 : 100



Material Schedule North

- 1 Aluminum Flashing
- 2 Brick Masonry Veneer Cladding - Desert White
- 3 Brick Masonry Veneer Cladding - Brown
- 4 Brick Masonry Veneer Cladding - Tan
- 5 Metal Panel - Charcoal
- 6 Metal Panel - Lt Grey
- 7 Metal - Painted - Dk Grey
- 8 Pre-Cast Concrete
- 9 Tile
- 10 Curtain Wall Window System - Clear Anodized Aluminum
- 11 Prefinished Metal Window
- 12 Rehabilitated Historically Compatible Window
- 13 Signage
- 14 Steel Door
- 15 Sectional Overhead Door
- 16 Guard Rail

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker

Scale: As indicated Project Number: 1721

NOTE: All dimensions are shown in millimeters.

The Duck's Building
Redevelopment
1312-1324 Broad Street
Victoria, BC
North Elevation

BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING - DESERT WHITE		4 BRICK MASONRY VENEER CLADDING - TAN TERRA	
3 BRICK MASONRY VENEER CLADDING - MAUNA LOA		5 METAL PANEL - LT GREY	
		6 METAL PANEL - DK GREY	



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1 South Elevation
A302 SCALE: 1 : 100



Material Schedule South

- 1 - Aluminum Flashing
- 2 - Brick Masonry Veneer Cladding - Desert White
- 3 - Brick Masonry Veneer Cladding - Brown
- 4 - Brick Masonry Veneer Cladding - Tan
- 5 - Metal Panel - Charcoal
- 6 - Metal Panel - Lt Grey
- 7 - Metal - Painted - Dk Grey
- 8 - Pre-Cast Concrete
- 9 - Tile
- 10 - Curtain Wall Window System - Clear Anodized Aluminum
- 11 - Prefinished Metal Window
- 12 - Rehabilitated Historically Compatible Window
- 13 - Signage
- 14 - Steel Door
- 15 - Sectional Overhead Door
- 16 - Guard Rail

Plot Date	Issue Date	Drawing File	
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	1721

NOTE: All dimensions are shown in millimeters.

The Duck's Building
Redevelopment
1312-1324 Broad Street
Victoria, BC
South Elevation

BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING - DESERT WHITE		4 BRICK MASONRY VENEER CLADDING - TAN TERRA	
3 BRICK MASONRY VENEER CLADDING - MAUNA LOA		5 METAL PANEL - LT GREY	
		6 METAL PANEL - DK GREY	



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1 East Elevation
A303 SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule East

- 1 Aluminum Flashing
- 2 Brick Masonry Veneer Cladding - Desert White
- 3 Brick Masonry Veneer Cladding - Brown
- 4 Brick Masonry Veneer Cladding - Tan
- 5 Metal Panel - Charcoal
- 6 Metal Panel - Lt Grey
- 7 Metal - Painted - Dk Grey
- 8 Pre-Cast Concrete
- 9 Tile
- 10 Curtain Wall Window System - Clear Anodized Aluminum
- 11 Prefinished Metal Window
- 12 Rehabilitated Historically Compatible Window
- 13 Signage
- 14 Steel Door
- 15 Sectional Overhead Door
- 16 Guard Rail

BRICK AND TILE COLOUR

<p>2 BRICK MASONRY VENEER CLADDING - DESERT WHITE</p> 	<p>4 BRICK MASONRY VENEER CLADDING - TAN TERRA</p> 
<p>3 BRICK MASONRY VENEER CLADDING - MAUNA LOA</p> 	<p>5 METAL PANEL - LT GREY</p> 
	<p>6 METAL PANEL - DK GREY</p> 



Plot Date	Issue Date	Drawing File
Drawn By	Author	Checked By
Scale	As indicated	Project Number
		1721

NOTE: All dimensions are shown in millimeters.

**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
East Elevation



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1 West Elevation
A304 SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICHE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule West

- 1 Aluminum Flashing
- 2 Brick Masonry Veneer Cladding - Desert White
- 3 Brick Masonry Veneer Cladding - Brown
- 4 Brick Masonry Veneer Cladding - Tan
- 5 Metal Panel - Charcoal
- 6 Metal Panel - Lt Grey
- 7 Metal - Painted - Dk Grey
- 8 Pre-Cast Concrete
- 9 Tile
- 10 Curtain Wall Window System - Clear Anodized Aluminum
- 11 Prefinished Metal Window
- 12 Rehabilitated Historically Compatible Window
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- 14 Steel Door
- 15 Sectional Overhead Door
- 16 Guard Rail

Plot Date	Issue Date	Drawing File
	Author	Checked By
Scale	As indicated	Project Number
		1721

NOTE: All dimensions are shown in millimeters.

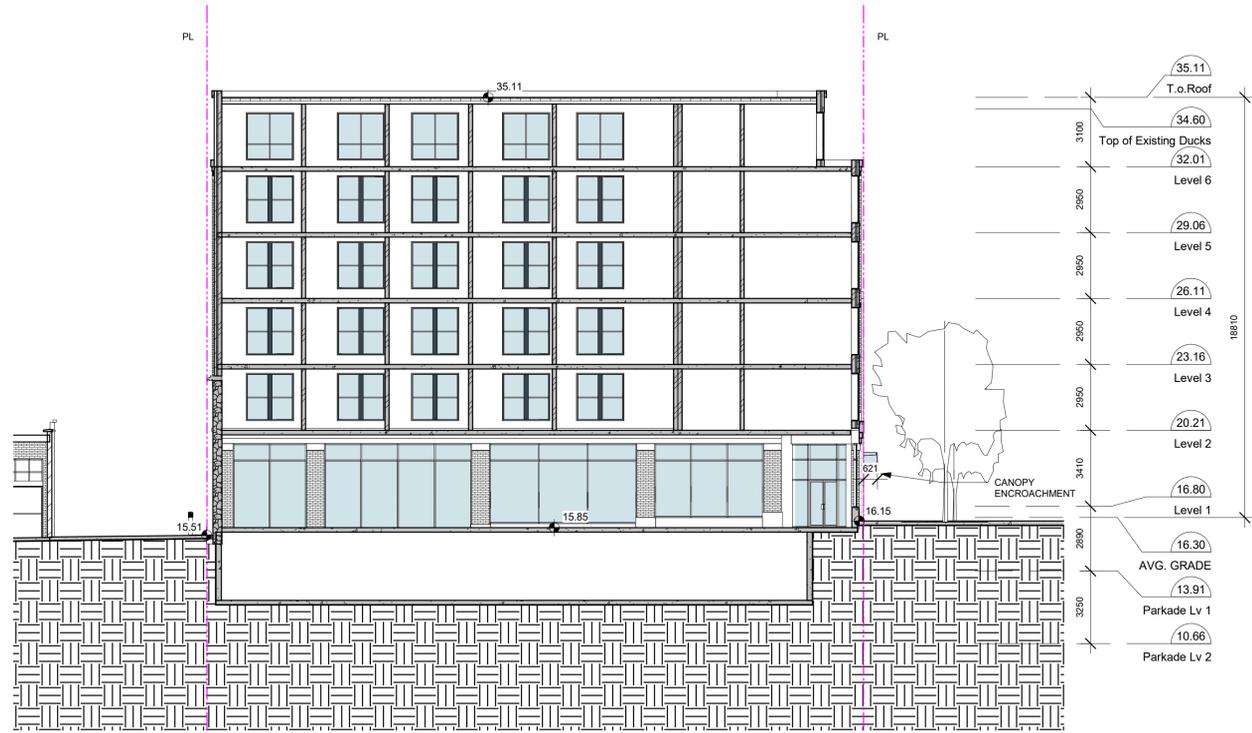
**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
West Elevations

BRICK AND TILE COLOUR

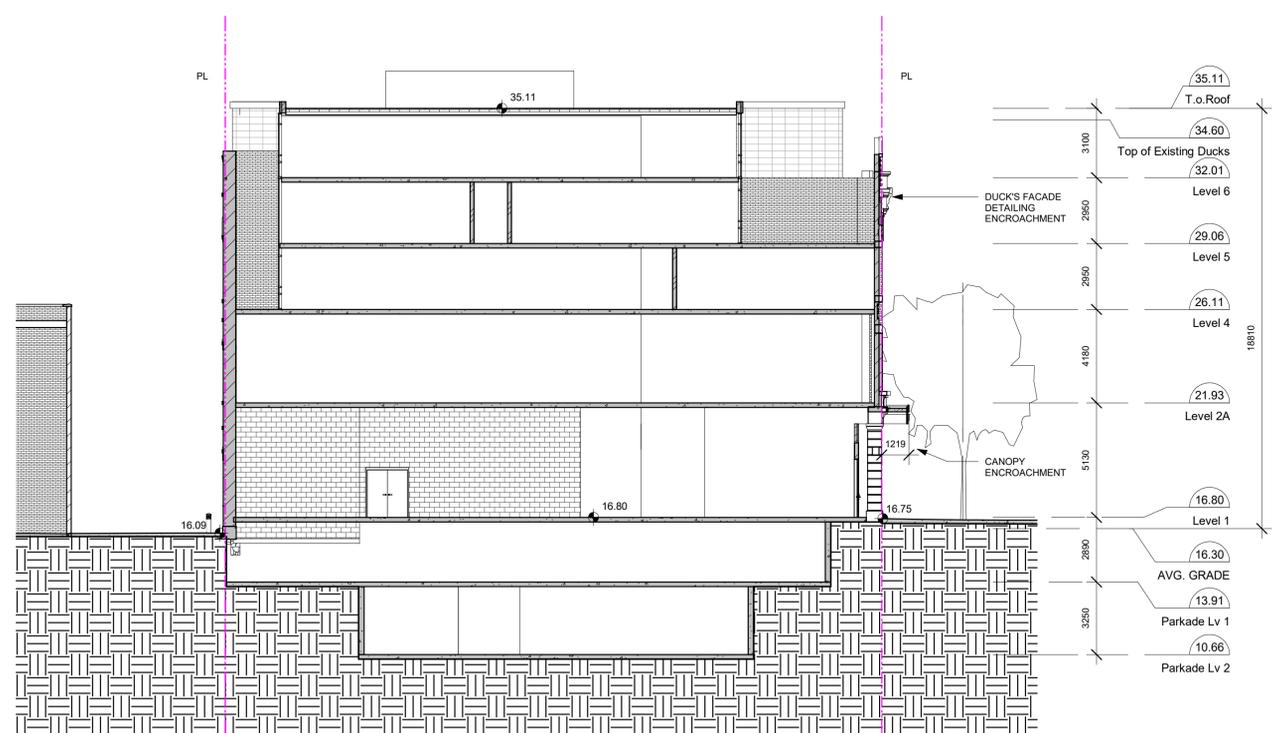
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3 BRICK MASONRY VENEER CLADDING - MAUNA LOA		5 METAL PANEL - LT GREY	
		6 METAL PANEL - DK GREY	



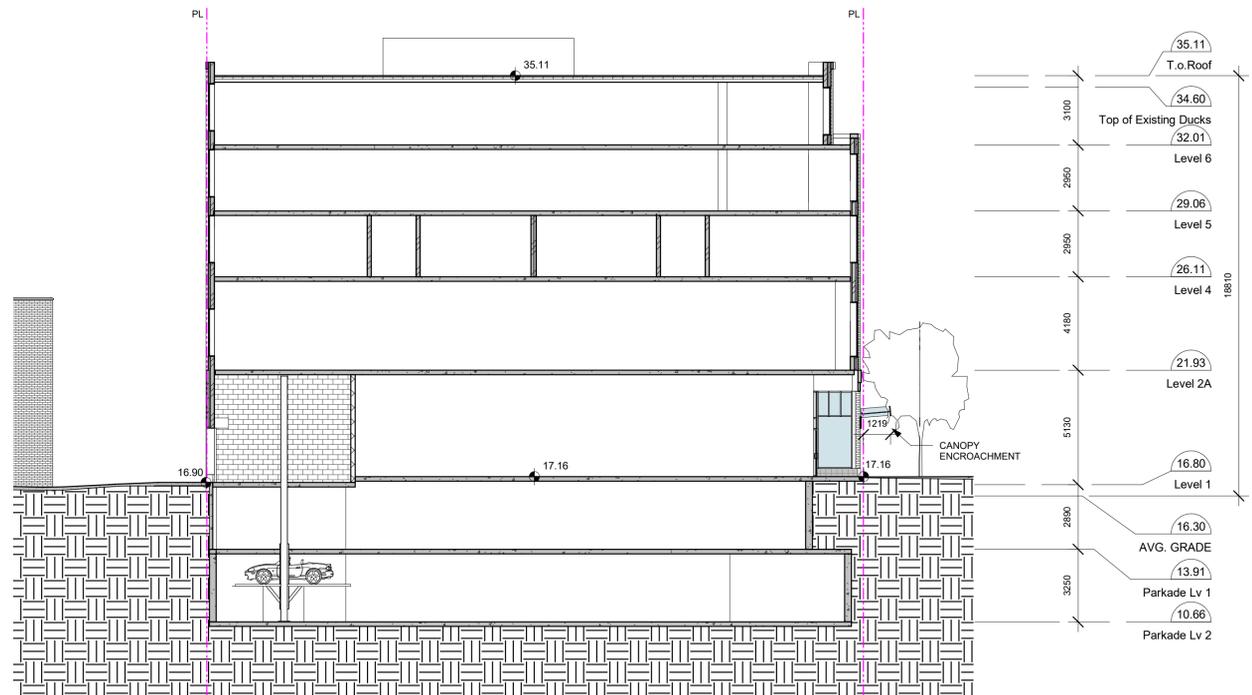
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1 Section E-W North
A401 SCALE: 1 : 150



2 Section E-W Ducks
A401 SCALE: 1 : 150



3 Section E-W South
A401 SCALE: 1 : 150

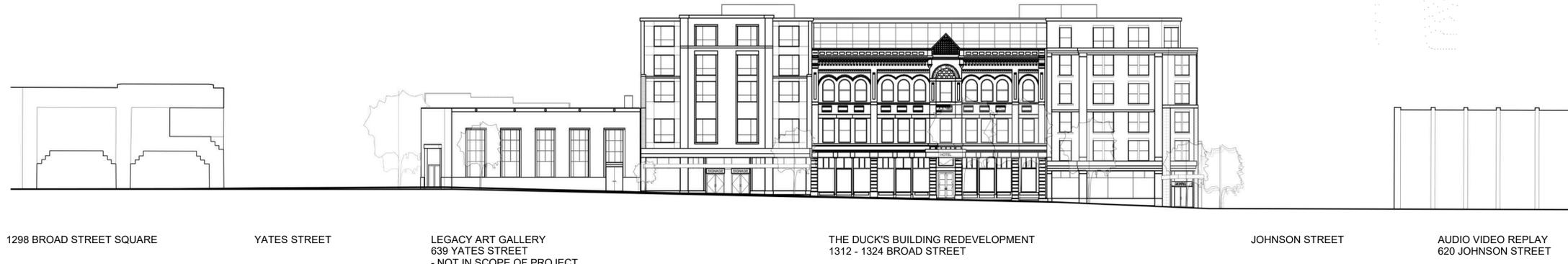
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Drawn By	Author	Checked By		
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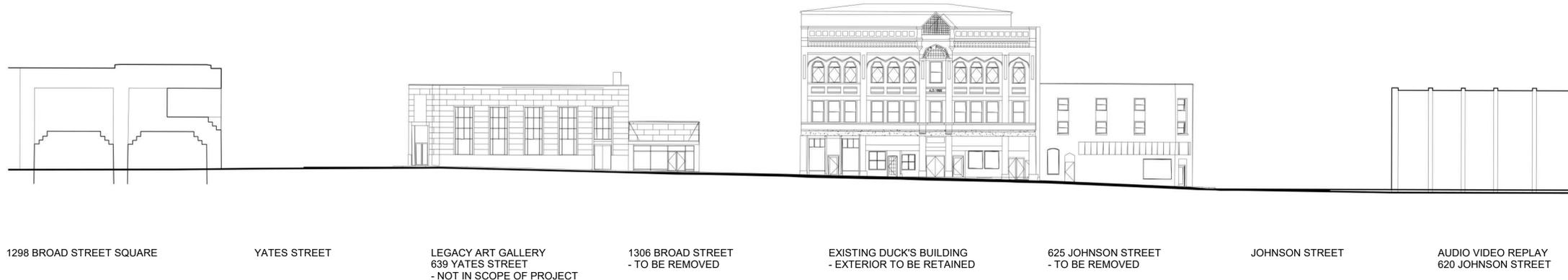
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Redevelopment
1312-1324 Broad Street
Victoria, BC
Building Sections
E-W



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1 East Elevation Context Proposed
A501



2 East Elevation Context Existing
A501



3 North Elevation Context Proposed
A501



4 North Elevation Context Existing
A501

Plot Date	Issue Date	Drawing File
Drawn By	Author	Checked By
Scale	1 : 250	Project Number
		1721

NOTE: All dimensions are shown in millimeters.

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Victoria, BC
Site Context



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JOHNSON STREET

LONDON FLATS
1313 BROAD STREET

ROBINSON'S OUTDOOR STORE
1307 STREET

METTA YOGA
1303 BROAD STREET

YATES STREET

1 Broad Street Context Facing East
A502



606 - 614 JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

BROAD STREET



BEST WESTERN
636 JOHNSON STREET

2 Johnson Street Context Facing North
A502



1298 BROAD STREET SQUARE



AUDIO VIDEO REPLAY
620 JOHNSON STREET



631 - 635 JOHNSON STREET



605 - 613 JOHNSON STREET

3 Broad Street Context Facing West
A502

4 Johnson Street Context Facing South
A502

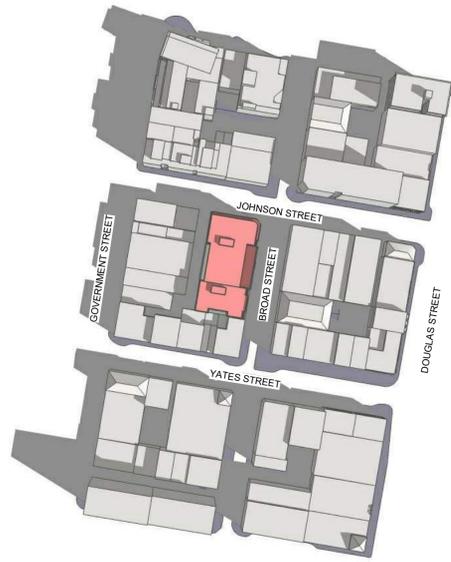
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Scale	1 : 250	Project Number	1721		

NOTE: All dimensions are shown in millimeters.

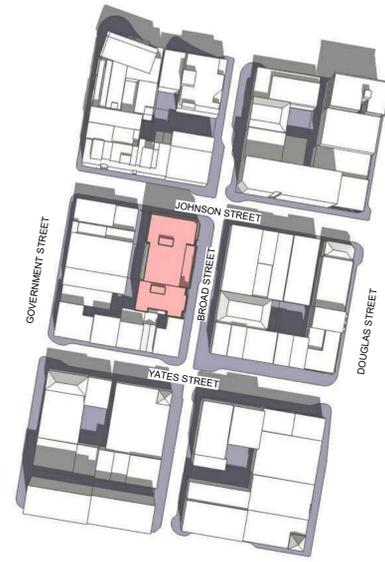
**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Site Context



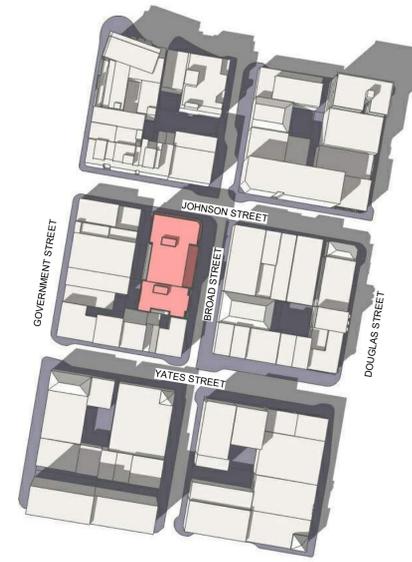
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Equinox 9am



Equinox Noon

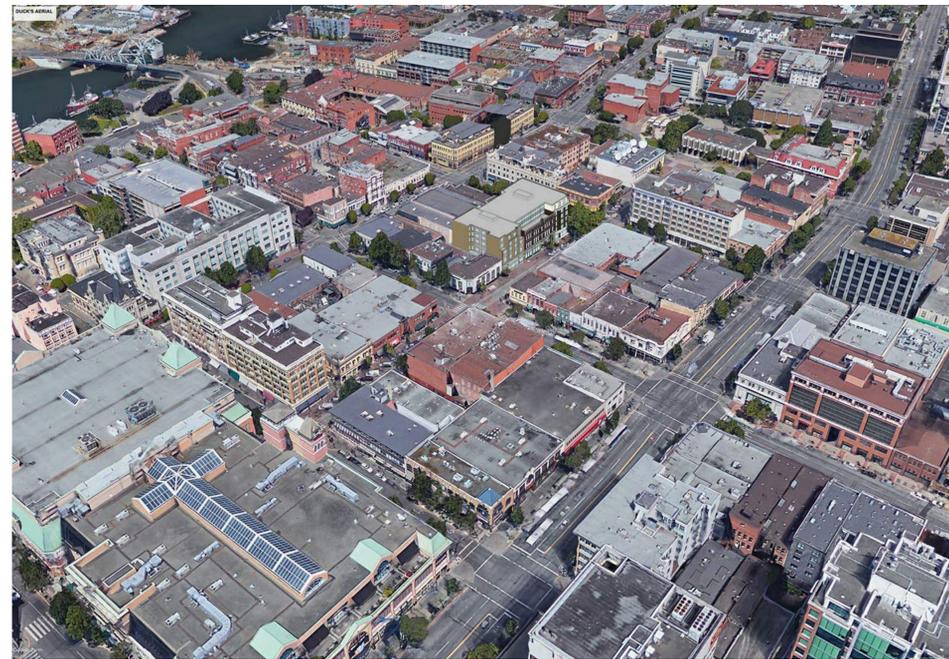


Equinox 3pm

1 Shadow Studies
A503



2 Harbour View from Laurel Point
A503



3 Aerial View
A503

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	As indicated	Project Number	1721		

NOTE: All dimensions are shown in millimeters.

**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Shadow Studies



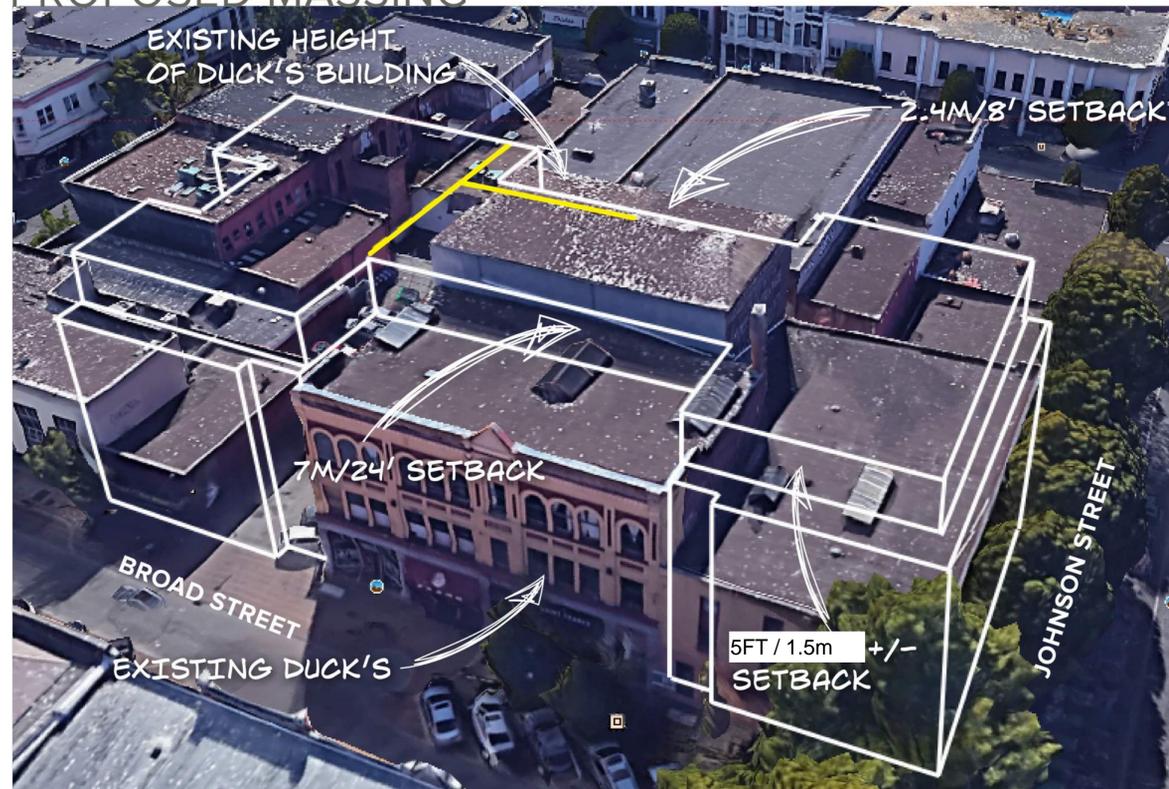
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CURRENT CONTEXT



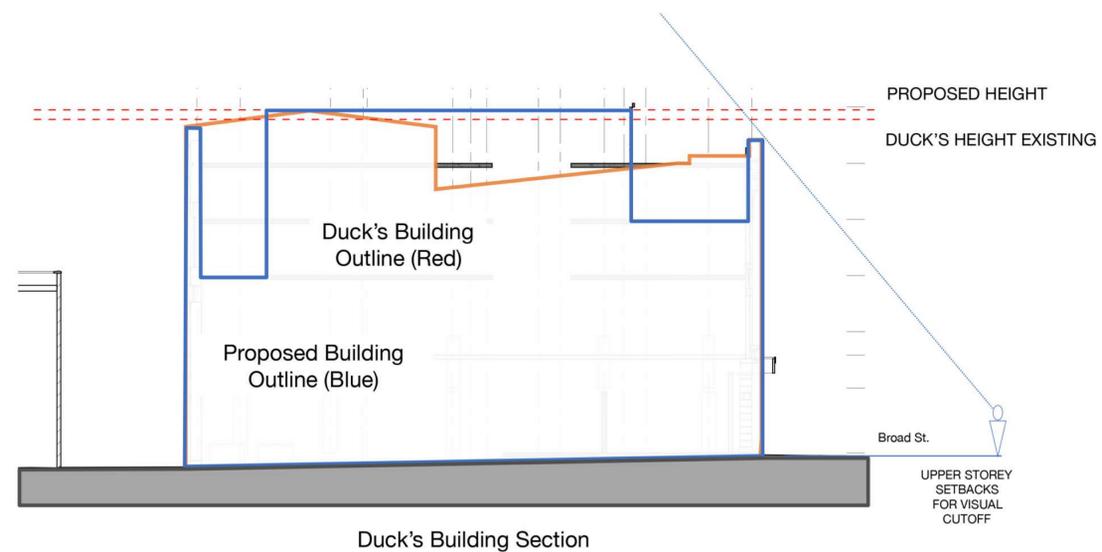
PROPOSED MASSING



ARCHITECTURAL DESIGN



Building Section Comparison - Existing and Proposed



Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	Project Number	1721			

NOTE: All dimensions are shown in millimeters.

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 Context Massing

dHka A503A

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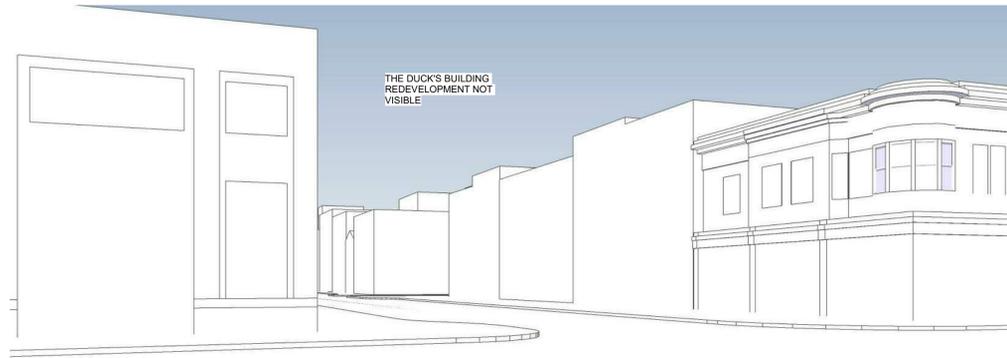
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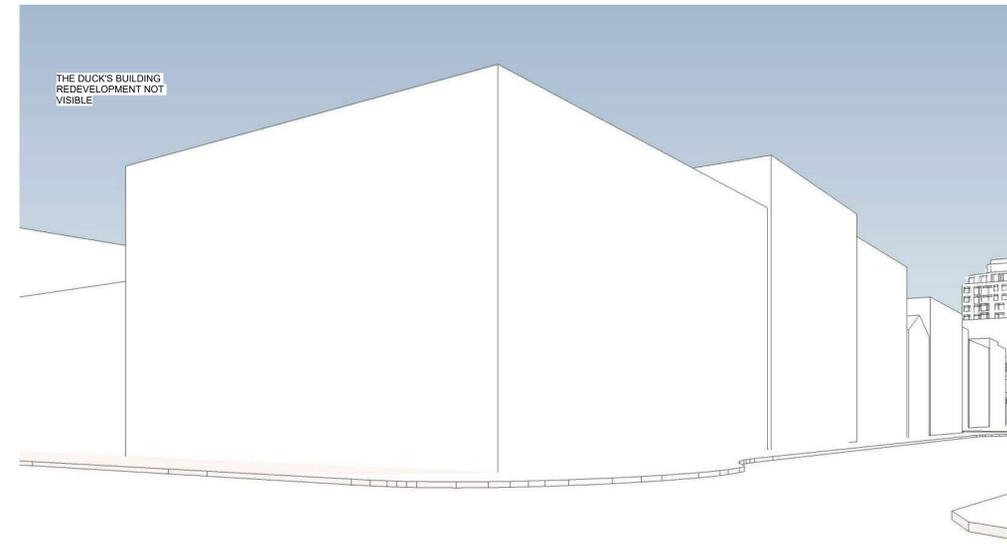
Douglas & Johnson



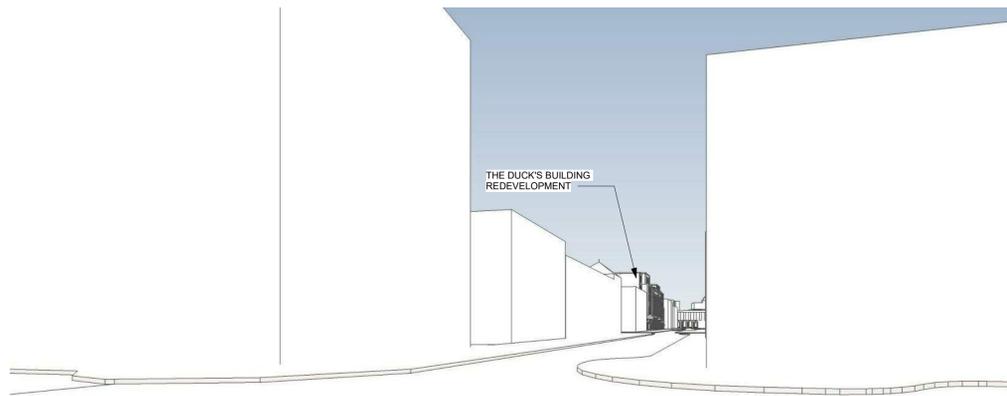
Government & Johnson



Douglas & Yates



Government & Yates



Broad & View



Broad & Yates

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 1	Project Number			1721

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 Urban Context



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Drawn By	Author	Checked By	Project Number
			1721
Scale			

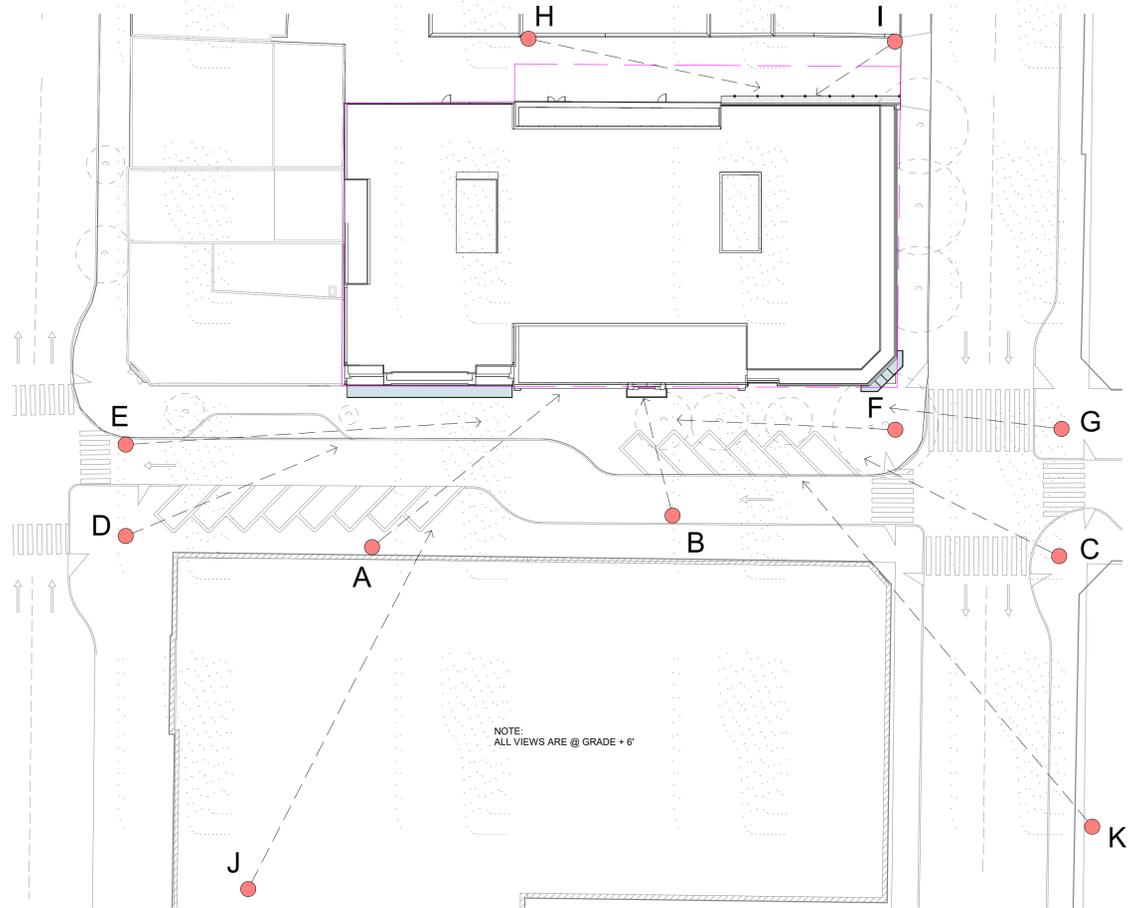
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Urban Context



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1 Key Plan Sheet View Images
A506 SCALE: 1 : 350



3 Broad Street - South Building & Ducks
A506 B



2 Yates to Johnson East
A506 A



4 Broad & Johnson
A506 C

Date 1 Revision 1

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 350	Project Number			1721

NOTE: All dimensions are shown in millimeters.

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Victoria, BC
Perspective Studies



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1 Yates & Broad A
A507
D



2 Yates & Broad B
A507
E



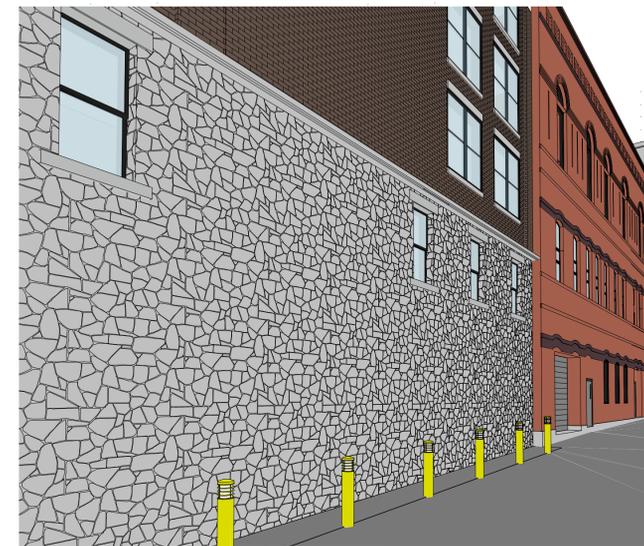
3 Broad & Johnson A
A507
F



4 Broad & Johnson B
A507
G



5 Laneway to Johnson
A507
H



6 Laneway Stonewall
A507
I

Plot Date	Issue Date	Drawing File	Checker
Drawn By	Author	Checked By	Project Number
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Scale	NOTE: All dimensions are shown in millimeters.		

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Perspective Studies



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Drawn By	Author	Checked By	Project Number
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Victoria, BC
Perspective Studies

1 Broad Street - Full
A508
J



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Scale		Project Number			1721

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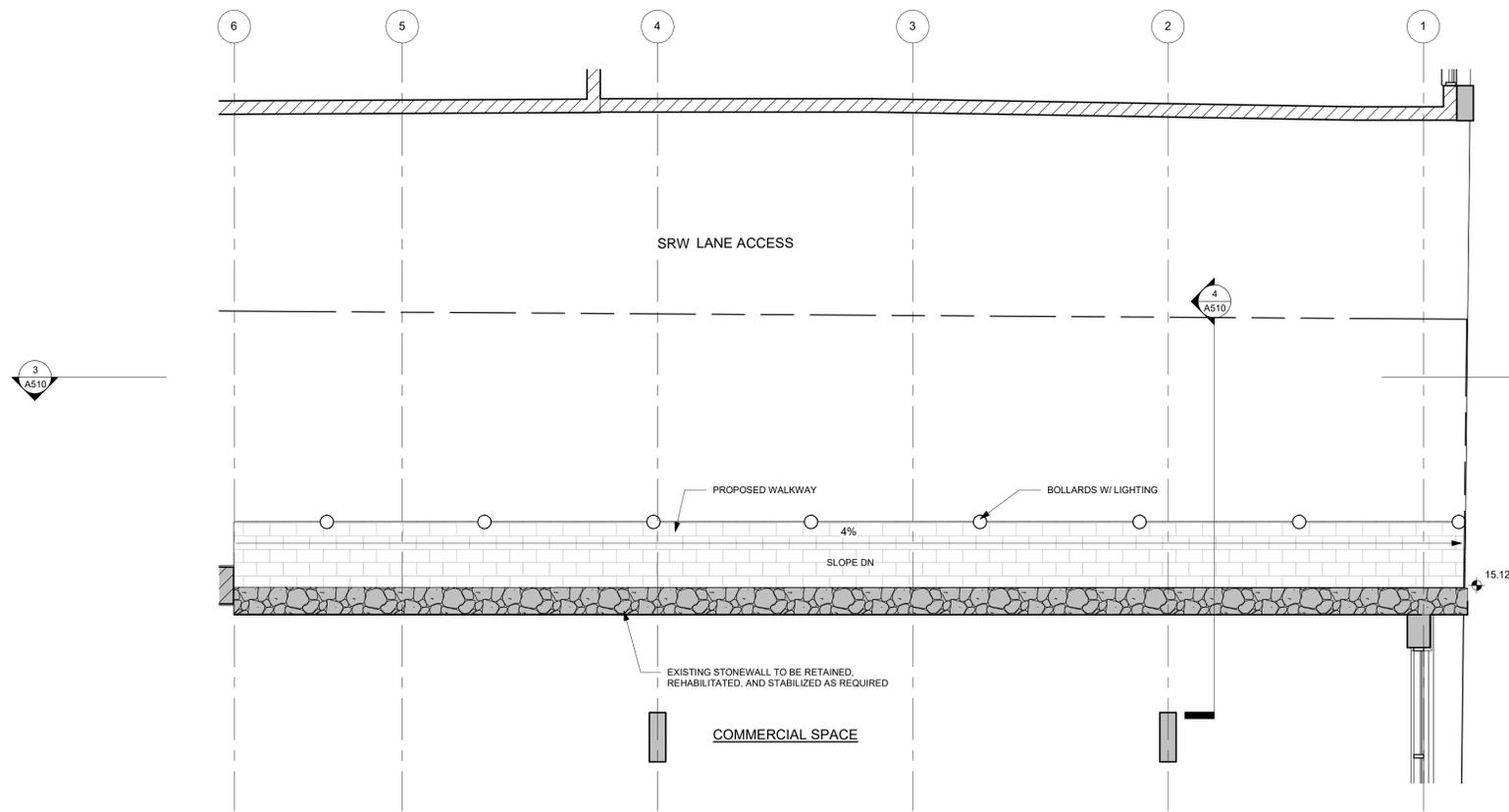
**The Duck's Building
Redevelopment**
1312-1324 Broad Street
Victoria, BC
Perspective Studies

1 Broad & Johnson - Full
A509 K



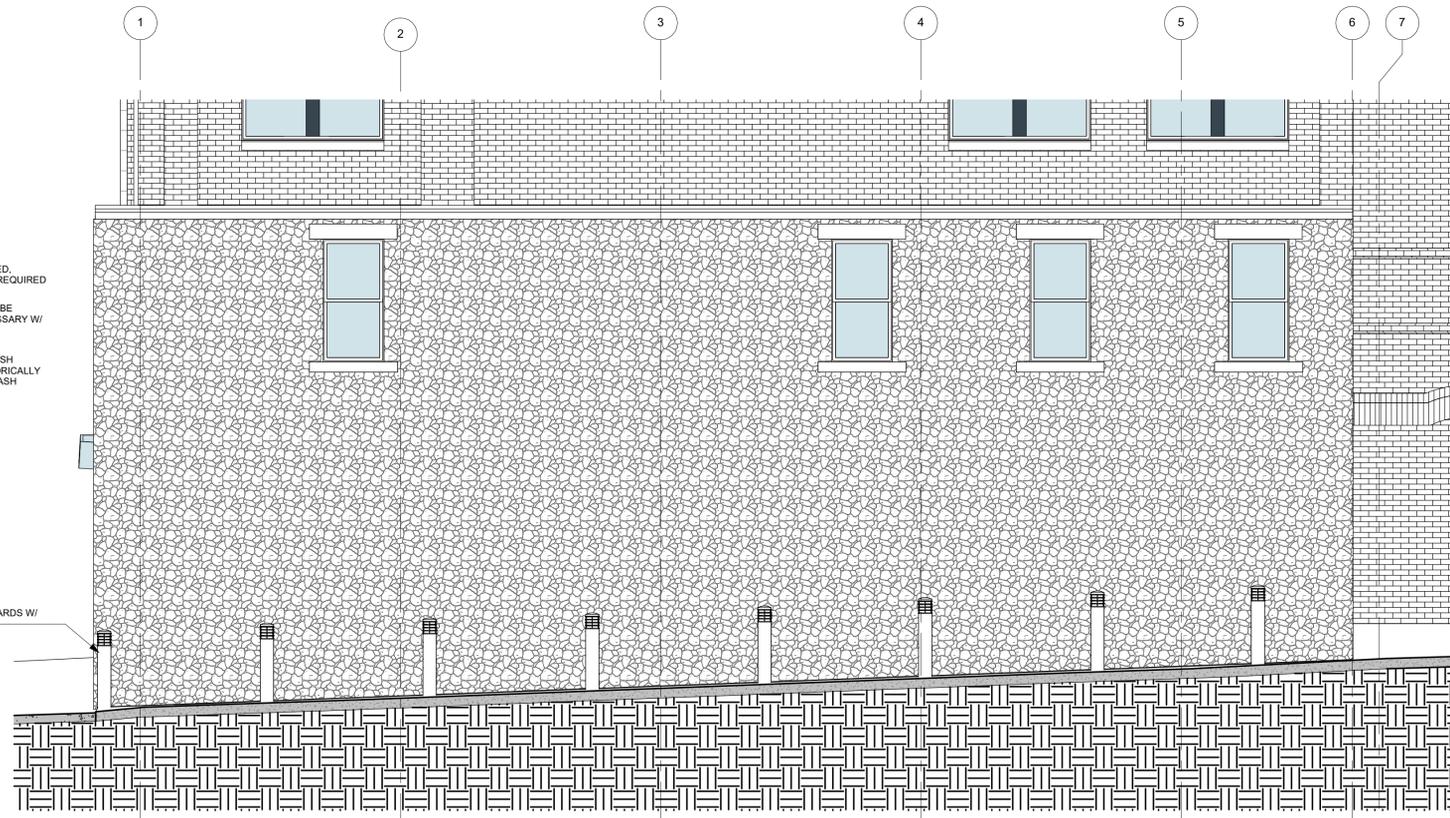
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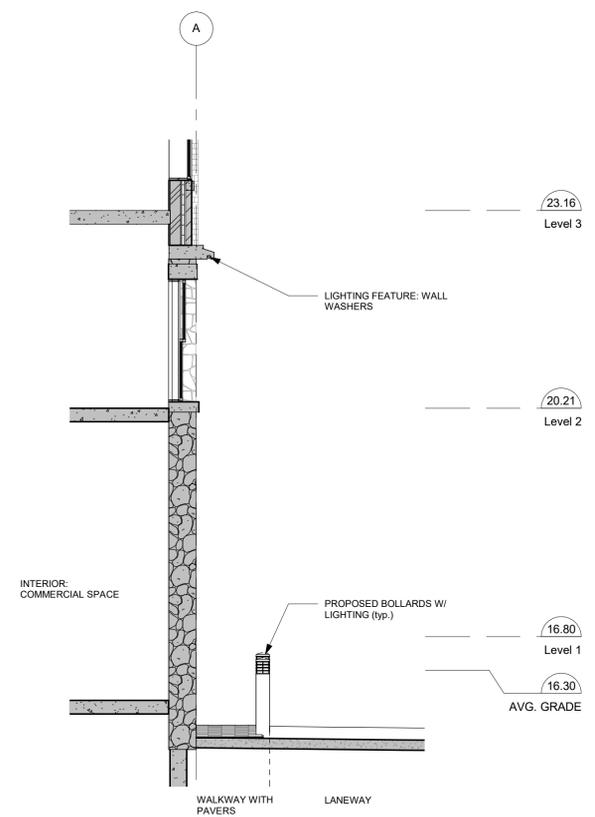


1 Stone Wall
A510 SCALE: 1 : 50

NOTES:
 EXISTING STONEWALL TO BE RETAINED, REHABILITATED, AND STABILIZED AS REQUIRED
 EXISTING SANDSTONE SURFACES TO BE REPAIRED AND RE-COATED AS NECESSARY W/ BREATHABLE KEIM MINERAL PAINT
 EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOOD SASH ASSEMBLIES (typ.)



3 Stone Wall - Elevation
A510 SCALE: 1 : 50



4 Stone Wall - Section
A510 SCALE: 1 : 50

Plot Date	Issue Date	Drawing File	Author	Checked By	Checker
Scale	1 : 50	Project Number	1721		

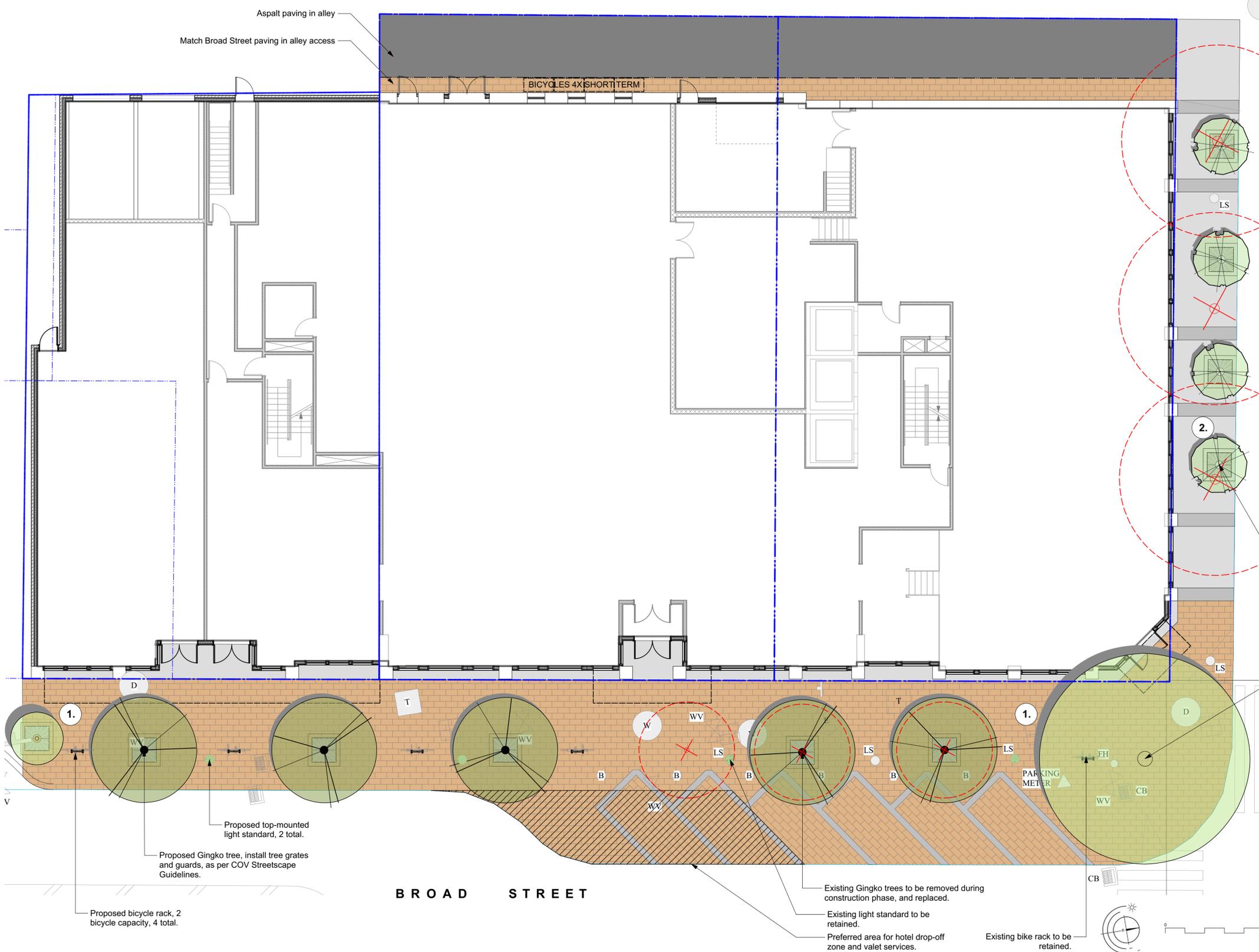
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**The Duck's Building
Redevelopment**
 1312-1324 Broad Street
 Victoria, BC
 Stone Wall



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LEGEND

- Property line

LANDSCAPE MATERIALS

- Broad Street Paving, to match existing paving on Broad Street (retained and reinstated as necessary on street frontage)
- Broad Street building entrances - Cast in Place Concrete Paving
- Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per COV Streetscape Guidelines.
- Asphalt paving (vehicular alley access)
- Bicycle rack, 2 bicycle capacity, to meet City of Victoria standards. 4 total.
- Top mounted light standard, to match existing Broad Street fixtures. 2 total.
- Existing Tree to be Retained
- Existing Tree to be Removed

LANDSCAPE ELEMENTS

- Broad Street Landscape. Existing Pin Oak to be retained, 5 - Gingko trees to be removed and 5 - Gingko trees to be replanted, install 2 - new top-mounted light standards, and 4 - new bike racks. All streetlighting and site furnishings to match existing, and meet City of Victoria Streetscape Guidelines.
- Johnson Street. Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines. Existing trees to be removed and replaced. Species to be confirmed, in consultation with City of Victoria Parks department.

Proposed Columnar Beech tree, install tree grates and guards, as per COV Streetscape Guidelines.

Existing Pin Oak tree to be retained. Tree protection measures to be determined by Project Arborist at time of Building Permit Application.

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch de Greeff INC
Landscape Planning & Design

200 - 524 Cultural Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

client
CHARD DEVELOPMENT

project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Landscape Materials Plan - At Grade

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

L1.01



LEGEND

--- Property line

LANDSCAPE MATERIALS

- Gravel pathway for maintenance access
- Green roof area, 100 mm depth growing medium

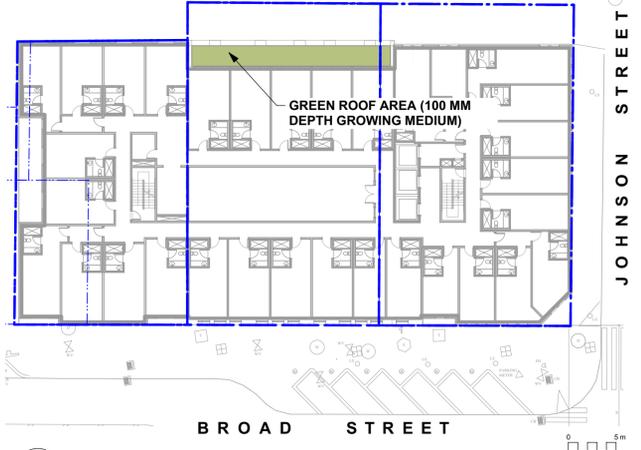
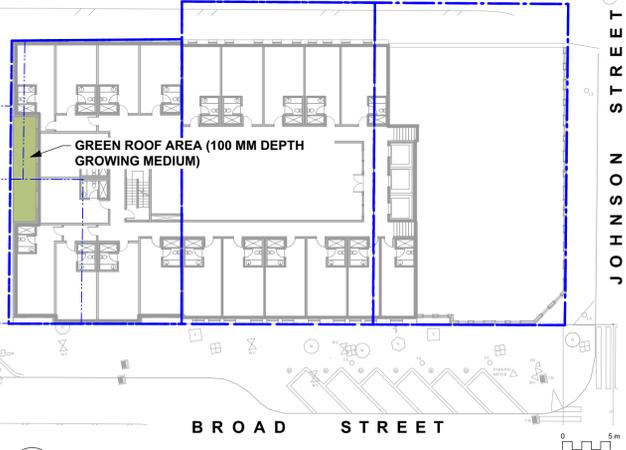
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rev no	description	date
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

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Landscape Planning & Design

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Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892



1 Level 2A Landscape Plan
Scale: 1:350

2 Level 4 Landscape Plan
Scale: 1:350

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

client
CHARD DEVELOPMENT

project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Landscape Materials Plan - Terrace Levels

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

2 **L1.02**



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2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07
rev no	description	date

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client
CHARD DEVELOPMENT

project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Planting Plan

project no. 117.33

scale 1:100 @ 24"x36"

drawn by ML

checked by SM/PdG

revision no. sheet no.

L3.01

PLANT LIST - LEVEL 1

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
4		Fagus sylvatica 'Dawyck Gold'	Columnar Golden European Be	6.0 cm cal, b&b
5		Ginkgo biloba	Maidenhair Tree	7.0cm cal, b&b
PLANT LIST - LEVEL 2A				
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 26.8 sq m				
20%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		
PLANT LIST - LEVEL 4				
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 44.4 sq m				
20%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		

PLANT LIST - LEVEL 5

CHEF'S GARDEN

72	Allium schoenoprasum	Chives	Sp3, 30cm o.c.
72	Artemisia dracunculus	French Tarragon	Sp3, 30cm o.c.
72	Mentha spicata	Spearmint	Sp3, 30cm o.c.
72	Origanum vulgare hirtum	Greek Oregano	Sp3, 30cm o.c.
72	Rosmarinus officinalis	Rosemary	Sp3, 30cm o.c.
72	Salvia officianalis 'Minimus'	Dwarf Sage	Sp3, 30cm o.c.
72	Thymus vulgaris	English Thyme	Sp3, 30cm o.c.
GREEN ROOF AREA - SUN			
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 44.2 sq m			
20%		Sedum acre	
20%		Sedum album 'Coral Carpet'	
20%		Sedum kamtschaticum	
20%		Sedum rupestre	
20%		Sedum spurium	
GREEN ROOF AREA - SHADE			
136	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
136	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
136	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
136	Gaultheria shallon	Salal	Sp3, 30cm o.c.
136	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
136	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - Final selection of boulevard trees to be determined through consultation with City of Victoria Parks staff.

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work