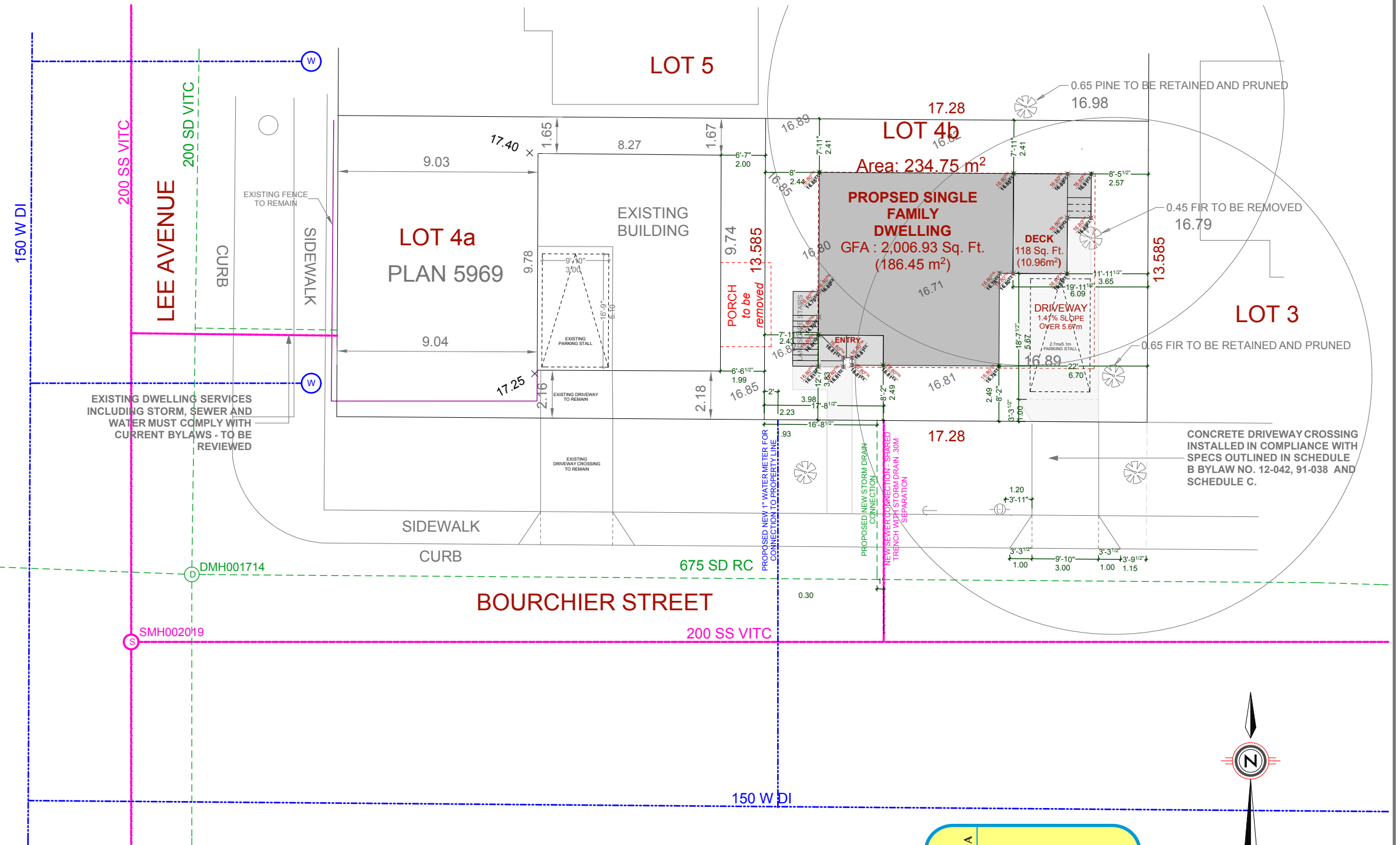


PROJECT DATATABLE - SINGLE FAMILY DWELLING RENOVATION			
Address	1905 Lee Avenue LOT 4 PLAN 5969 SECTION 76 VICTORIA		
Lot Size	234.75m ² (2526.83 ft ²)		
Zoning	SITE SPECIFIC		
	Proposed	R1-S2	Specialized
Floor Area of the Principal Building			
Upper Floor Area	65.01m ² (699.75 ft ²)	-	-
Main Floor Area	64.84m ² (697.93 ft ²)	-	-
Basement Floor Area	56.53m ² (608.48 ft ²)	-	-
Floor area, for the first and second storeys combined (maximum)	129.85m²* (1,397.68 ft²)	190 m ² (2,054.14ft ²)	-
Height, Storeys			
Average grade	16.80m Geo.	-	-
Residential building* (maximum)	7.46m (24.48 ft)	7.60m (24.93 ft)	-
Storeys*	2 Storeys*	2 Storeys	-
Setbacks, Projections			
Front yard setback (minimum)	2.49m (8.17ft)	6.00m (19.69 ft)	2.4m (7.87 ft)
Maximum projections into front setback: * steps less than 1.7m in height	N/A	2.50m (8.20 ft)	-
Maximum projections into front setback: * roof	N/A	1.60m (5.25 ft)	-
Rear yard setback* (minimum)	2.41m (7.91 ft)	6.00m (19.69 ft)	2.4m (7.87 ft)
Interior side yard setback (minimum) (East)	6.09m (19.98 ft)	2.4m (7.87 ft)	-
Interior side yard setback (minimum) (West)	2.43m (7.97 ft)	2.4m (7.87 ft)	-
Lot area			
Site area (minimum)	234.75m ² (2526.83 ft ²)	260m ² (2798.62ft ²)	234.75m ² (2526.83 ft ²)
Floor space ratio			
Floor space ratio (minimum)	0.55 129.85m ² (1,397.68 ft ²)	0.6 (140.85m ²) (1516.10 ft ²)	-
Site Coverage, Parking			
Site coverage (maximum)	36.90% 86.62m ² (932.37ft ²)	40.0% 93.9m ² (1010.73ft ²)	-
Bicycle Storage			
• Long Term Storage Spaces	N/A	N/A	N/A
• Short Term Storage Spaces			
Parking	1	1	-

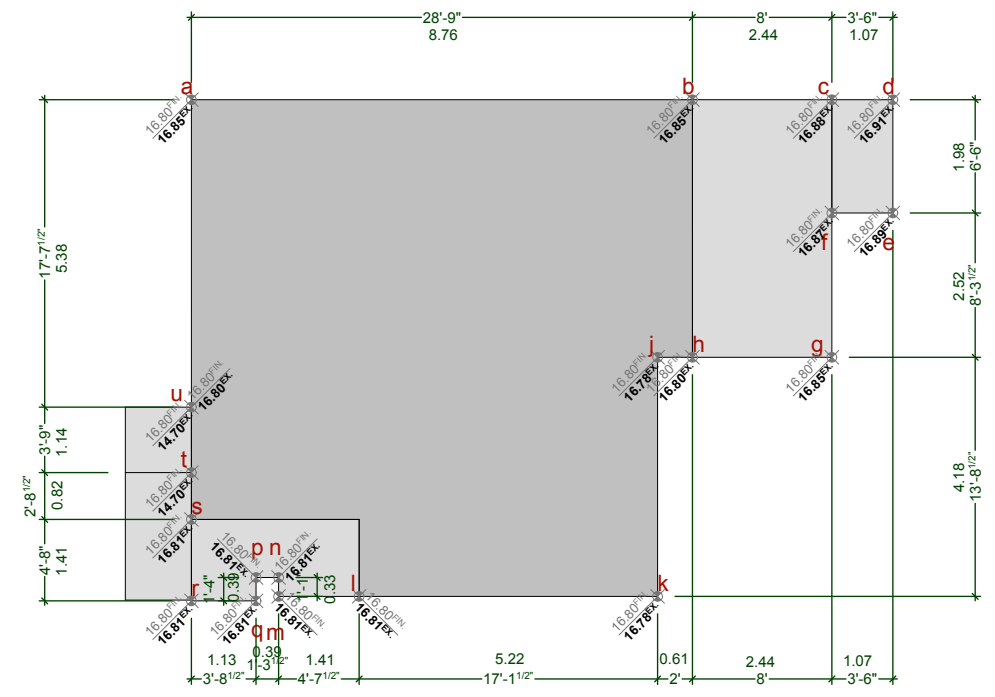
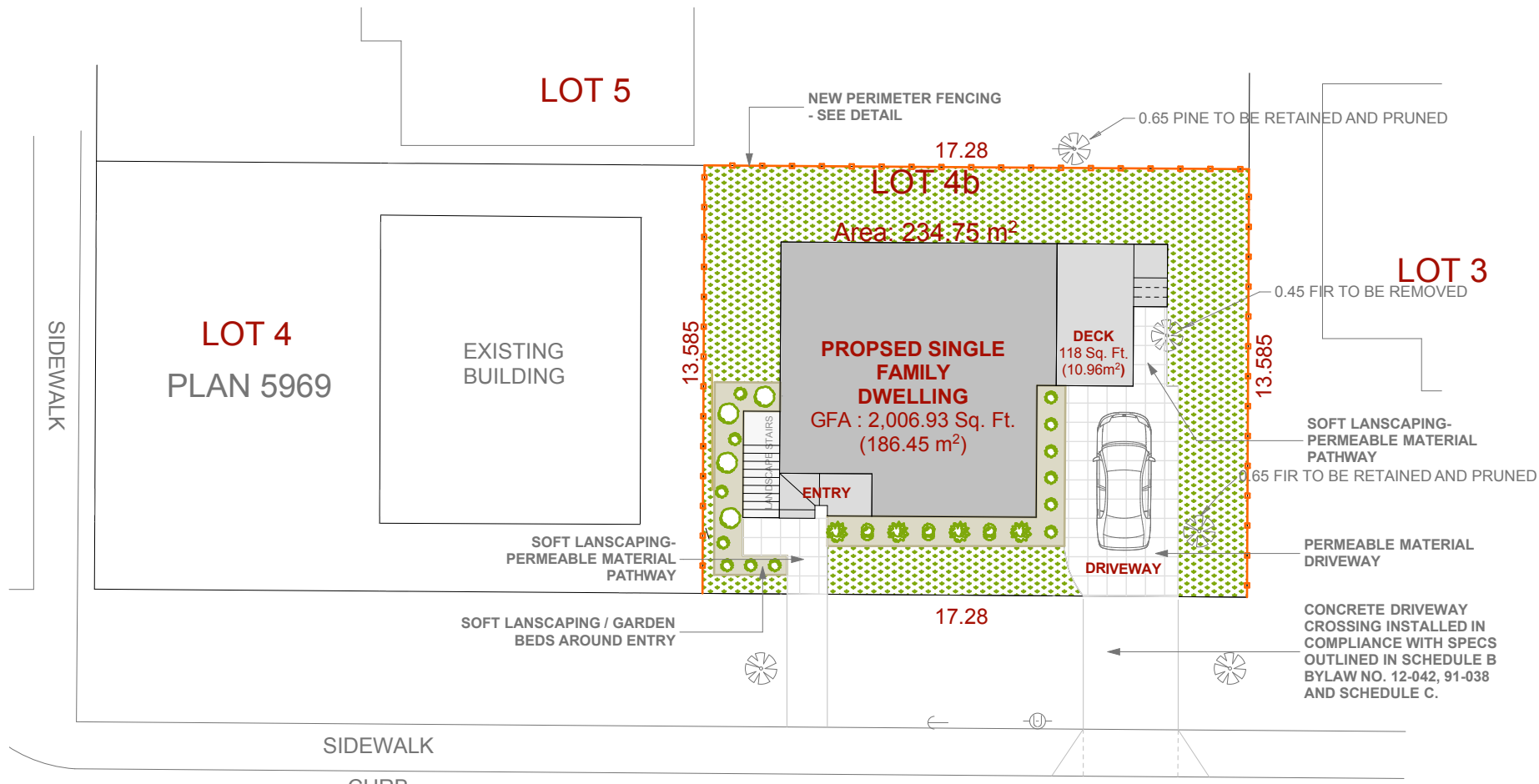


SITE PLAN
SCALE: 1 : 200

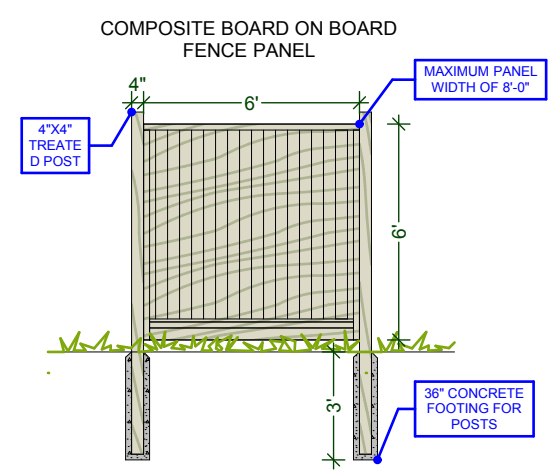
Revisions
Received Date:
February 06, 2020

ISSUE DATE: JAN. 30, 2020	DRAWN BY: KYLE LEGGETT	DRAWING NAME: SITE PLAN AND DATA BOX	CUSTOMER: MARIA WEEKS	ADDRESS: 1905 LEE AVE. LOT 4 PLAN 5969 SECTION 76 VICTORIA
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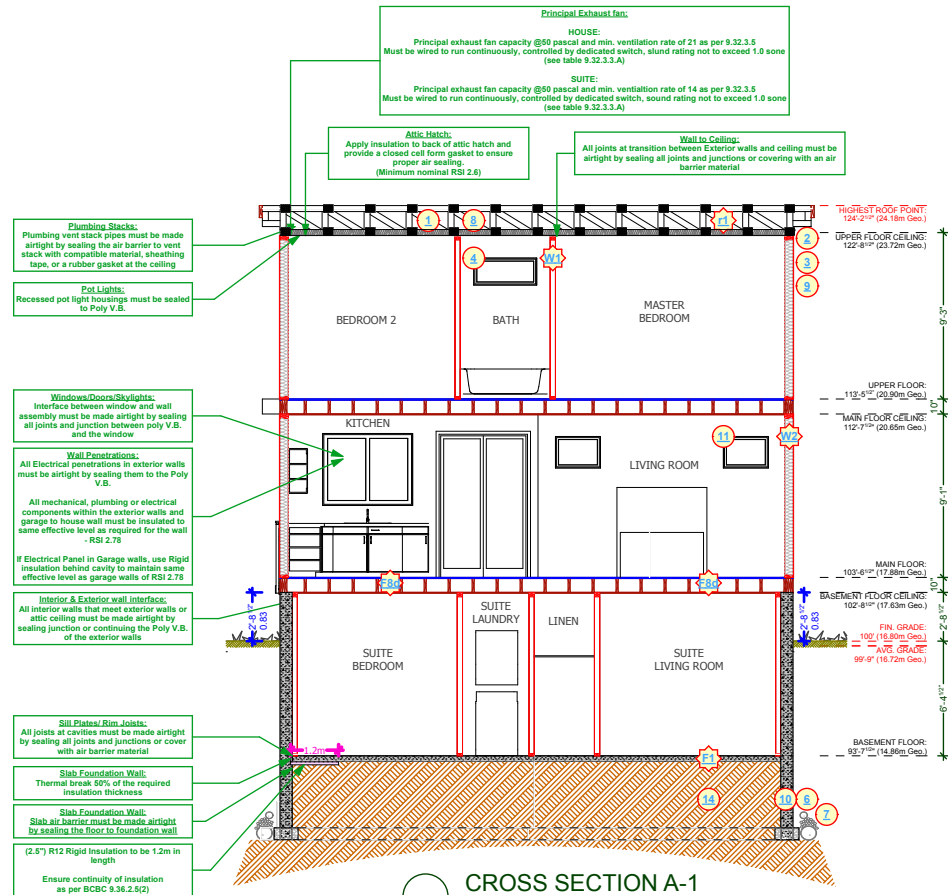
LANDSCAPE PLAN
SCALE: 1 : 200



FENCE DETAIL
NOT TO SCALE



STREETSCAPE - BOURCHIER ST
SCALE: 1/16" = 1' - 0"



CROSS SECTION A-1

SCALE: 3/32" = 1' - 0"

HOUSE HEAT SOURCE TO BE: DUCTLESS HEAT PUMP WITH HRV
 SUITE HEAT SOURCE TO BE: BASEBOARD

EFFECTIVE R-VALUE FOR EXTERIOR WALLS AGAINST LOWER ROOF:

Exterior Air Film	0.03
7/16" OSB Sheathing	0.11
R-22 Batt insulation	13.00
2x6 Wood studs @ 16" O.C.	RSIP=100/((23'1.19)+(77/3.87)) = 2.55
8 MIL Poly V.B.	0.08
1/2" Gypsum Board	0.08
Interior Air Film	0.11
RSI=2.88	

Values from Table A-9.36.2.4.(1)D

EFFECTIVE R-VALUE FOR EXTERIOR WALLS ABOVE GRADE:

Exterior Air Film	0.03
Fibre-Cement Siding	0.02
1/2" Rain Screen Air Cavity	0.15
Building Paper	0
7/16" OSB Sheathing	0.11
R-20 Batt insulation	13.00
2x6 Wood studs @ 16" O.C.	RSIP=100/((23'1.19)+(77/3.34)) = 2.36
8 MIL Poly V.B.	0
1/2" Gypsum Board	0.08
Interior Air Film	0.11
RSI=2.86	

Values from Table A-9.36.2.4.(1)D

EFFECTIVE R-VALUE FOR FOUNDATION WALLS:

Damp proofing	0
8" poured-in place concrete	2.11
(2.5") R12 Rigid Insulation	2.11
RSI=2.11	

Values from Table A-9.36.2.4.(1)D

EFFECTIVE R-VALUE FLOOR OVER UNHEATED SPACE (OUTSIDE):

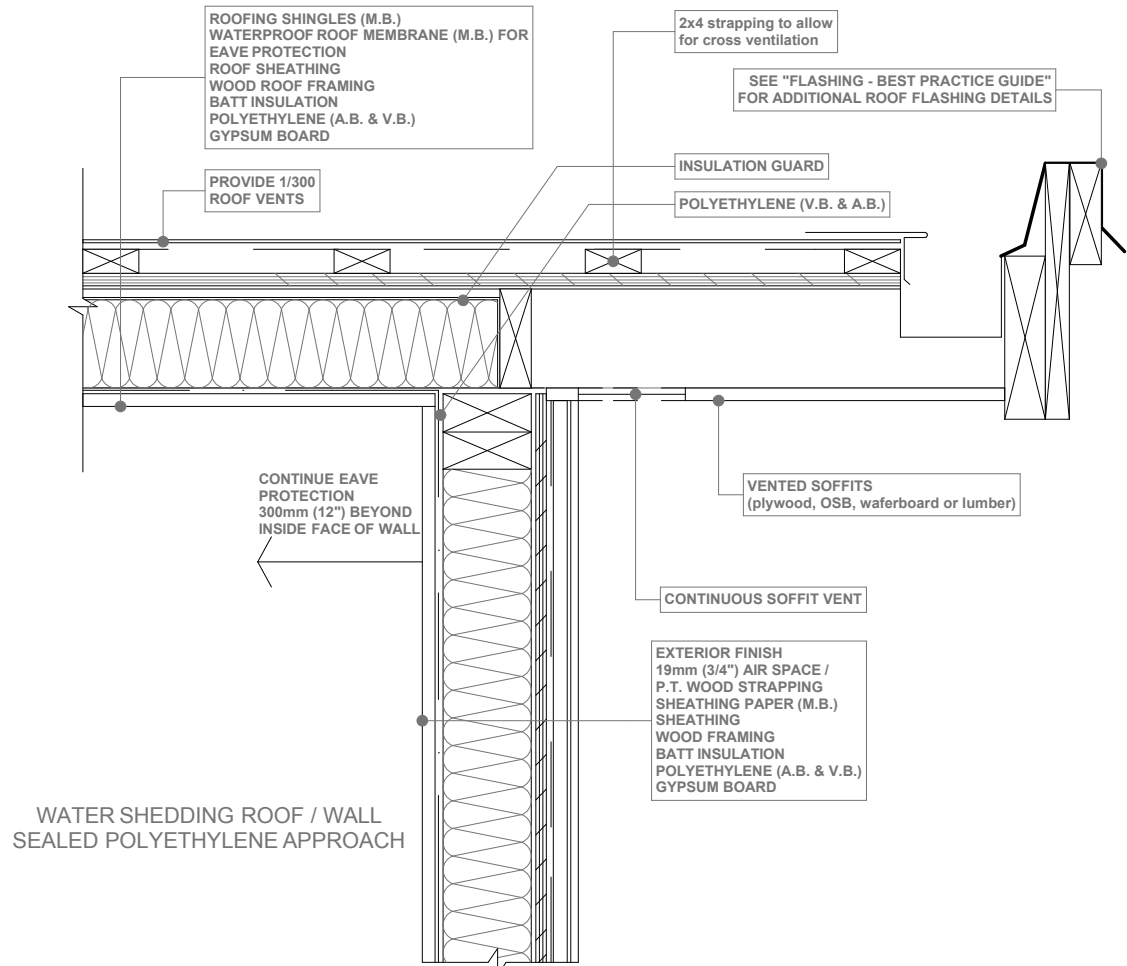
Exterior Air Film	0.03
Aluminum Soffit	0.00
3/4" Sheathing	0.161
R28 Batt insulation	13.00
2x10 Wood Joists @ 16" O.C.	RSIP=100/((132.0)+(87/4.93)) = 4.16
3/4" Sheathing	0.161
Interior Air Film	0.16
RSI=4.67	

Values from Table A-9.36.2.4.(1)D

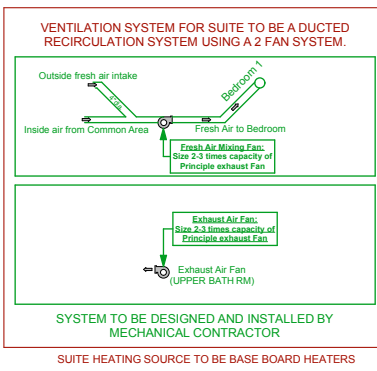
EFFECTIVE R-VALUE CEILING BELOW ATTIC (TRUSSES):

Built-up Torch-on Roofing	0.06
1/2" Sheathing	0.03
Attic air film	0.03
R40 blown fiberglass insulation above truss cord	5.38
Wood trusses @ 24" O.C.	RSIP=100/((110.76)+(89/1.67)) = 1.47
8 MIL Poly V.B.	0
1/2" Gypsum Board	0.08
Interior Air Film	0.12
RSI=7.14	

Values from Table A-9.36.2.4.(1)D



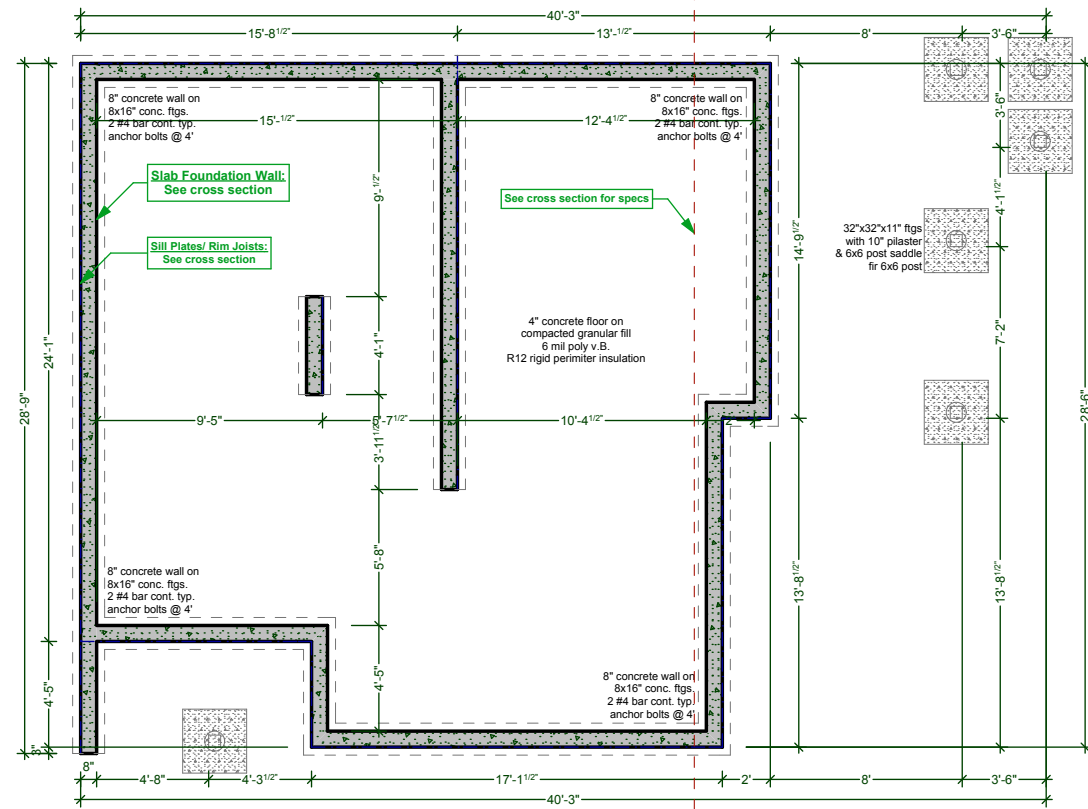
SOFFIT DETAIL
 SCALE: 1" = 1' - 0"



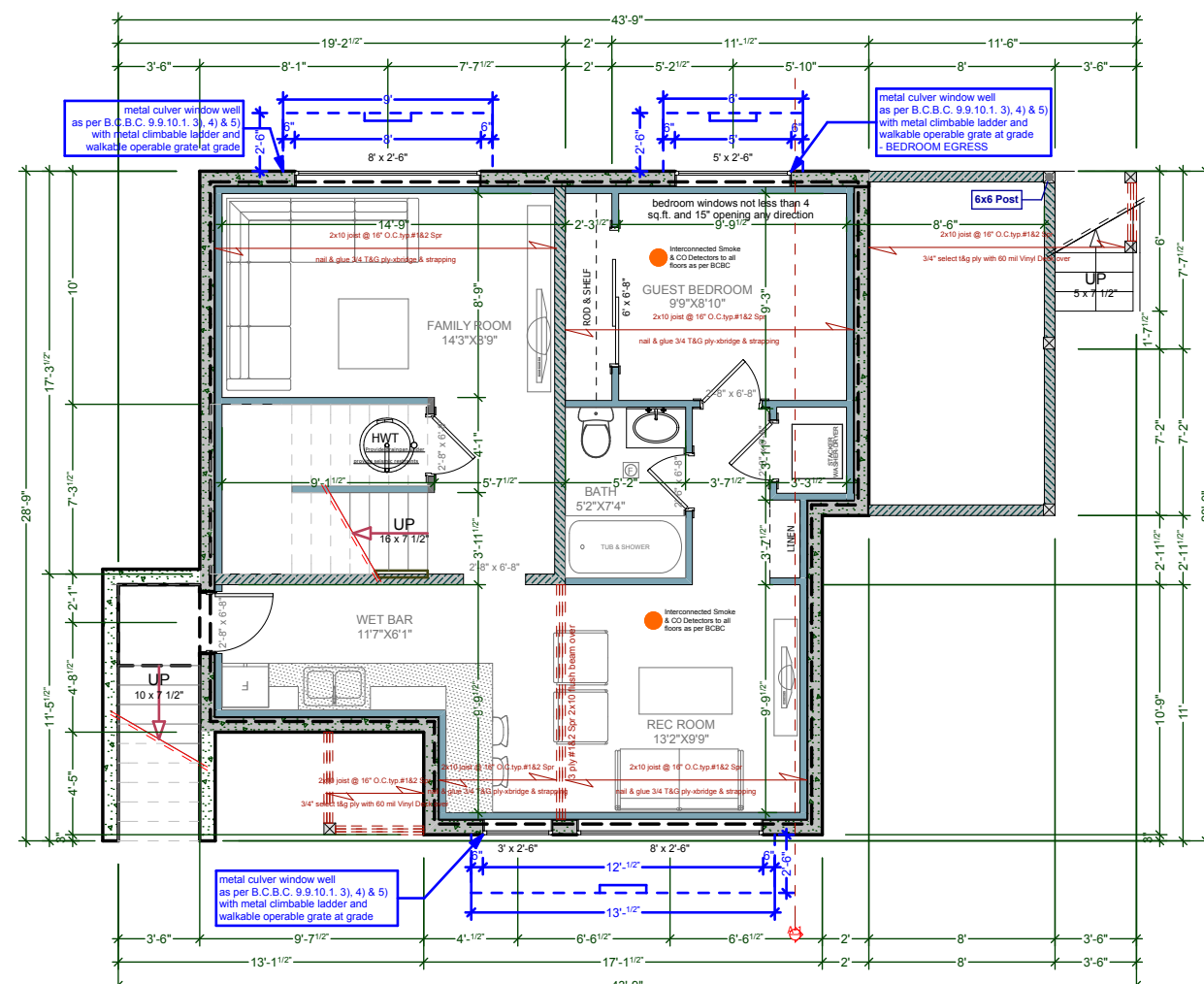
- CONSTRUCTION NOTES:**
- R40 insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
 - Continuous gutters
 - Aluminum gutters and non-vented soffits - roof overhangs as per plans
 - All windows vinyl, supply rain pan under, rainscreen as per BCBC. Windows in doors to be safety glass.
 - Stairs: 7/8" riser, 10.54" tread, 1" nosing with continuous handrail. NOT SHOWN
 - Provide drains to perimeter system
 - 4" drain tile with 6" rock over
 - Provide roof vents: vent 1/16" using Shinglevent 8 Ridge Vent
 - Eave protection to 12" beyond heated wall
 - 8" concrete wall on 8"x16" concrete footings - 24 bar continuous - R12 rigid insulation - 2 coats damp proofing
 - Caulk over and around all exterior openings
 - 10" X 10" post saddle on 8" plaster 2"x4" concrete footing. NOT SHOWN
 - 4" non climbable continuous handrail. NOT SHOWN
 - Undisturbed non-organic soil

- CONSTRUCTION ASSEMBLIES:**
- 4" concrete floor on 6 mil poly V.B. compacted granular fill
 - 2x10 floor joist 16" O.C. typ. nail and glue 3/4" T&G plywood X sheathing @ 8" O.C. typ.
 - Ply torch-on roofing, 7/16" O.S.B. (or 1/2" plywood), 2x4 strapping to allow cross ventilation, 2x12 roof joists @ 24" O.C. typ. R28 insulation, 6 mil poly V.B. 1/2" GWB
 - 2x4 framing 16" O.C. typ. 1/2" GWB finish throughout
 - Exterior finish, 3/4" air space, pressure treated strapping, 2 layers 30 min. building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 batt insulation, 6 mil. poly V.B., 1/2" GWB. (See elevations)
 - DEMISING FLOOR: 120min as per EBC, Table A.8.10.3.1 (b) SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER + WOOD JOISTS OR WOOD JOISTS SPACED MAX. OF 600mm O.C. + ABSORPTIVE MATERIAL IN CAVITY + RESILIENT METAL CHANNELS SPACED 600mm + 15.5mm TYPE "X" GYPSUM WALL BOARD
 - DEMISING WALL: 45min as per EBC, Table A.8.10.3.1 (a) + 2 LAYERS OF 12.7mm TYPE "X" GYPSUM WALL BOARD TO ONE SIDE ON COMMON 38mm x 89mm PLATE + 89mm THICK ABSORPTIVE MATERIAL ON ONE SIDE + 12.7mm TYPE "X" GYPSUM WALL BOARD ON OTHER SIDE (NOT SHOWN)
- ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. DWELLING UNITS TO BE SEPARATED FROM EACH OTHER BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min. AS PER 9.37.2.15 (b)
- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS, ... IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

"ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS"
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION - ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST HAVE U-VALUE LESS THAN 1.80 (AS PER TABLE 9.36.2.7 A) - GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



FOUNDATION PLAN (ON SLAB)
SCALE: 1/8" = 1' - 0"



BASEMENT FLOOR PLAN (9'-0 3/4" WALLS)
SCALE: 1/8" = 1' - 0"
BASEMENT FLOOR AREA: 608.48 Sq Ft (56.53 SQ. M)

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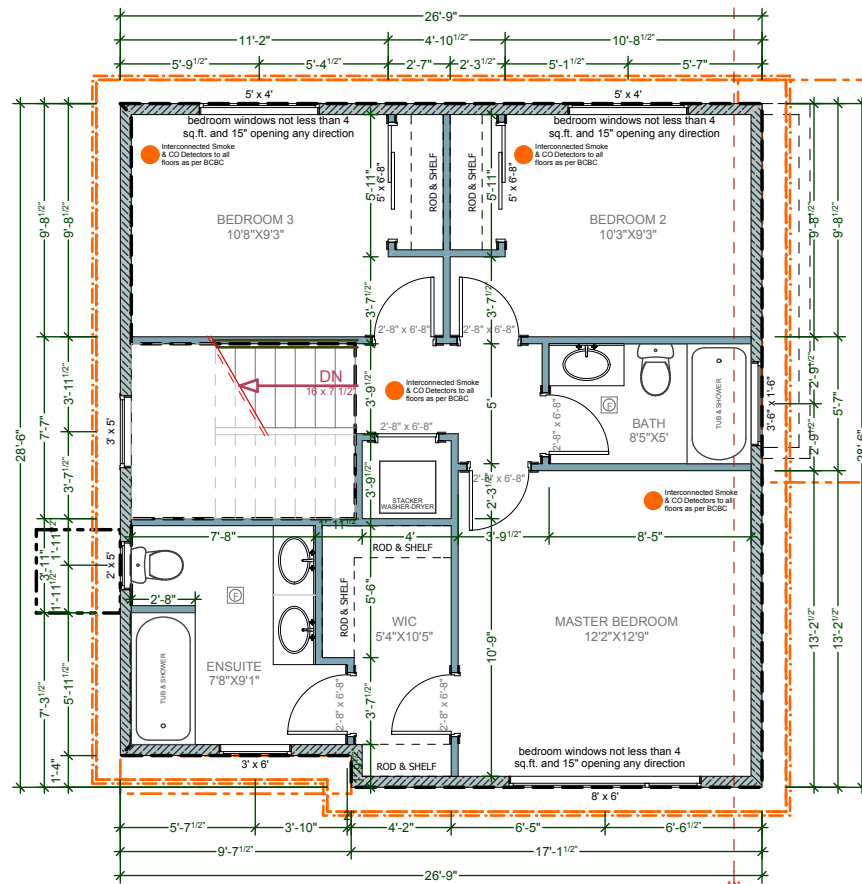
DRAWN BY:
KYLE LEGGETT

DRAWING NAME:
FOUNDATION PLAN AND LOWER FLOOR PLAN

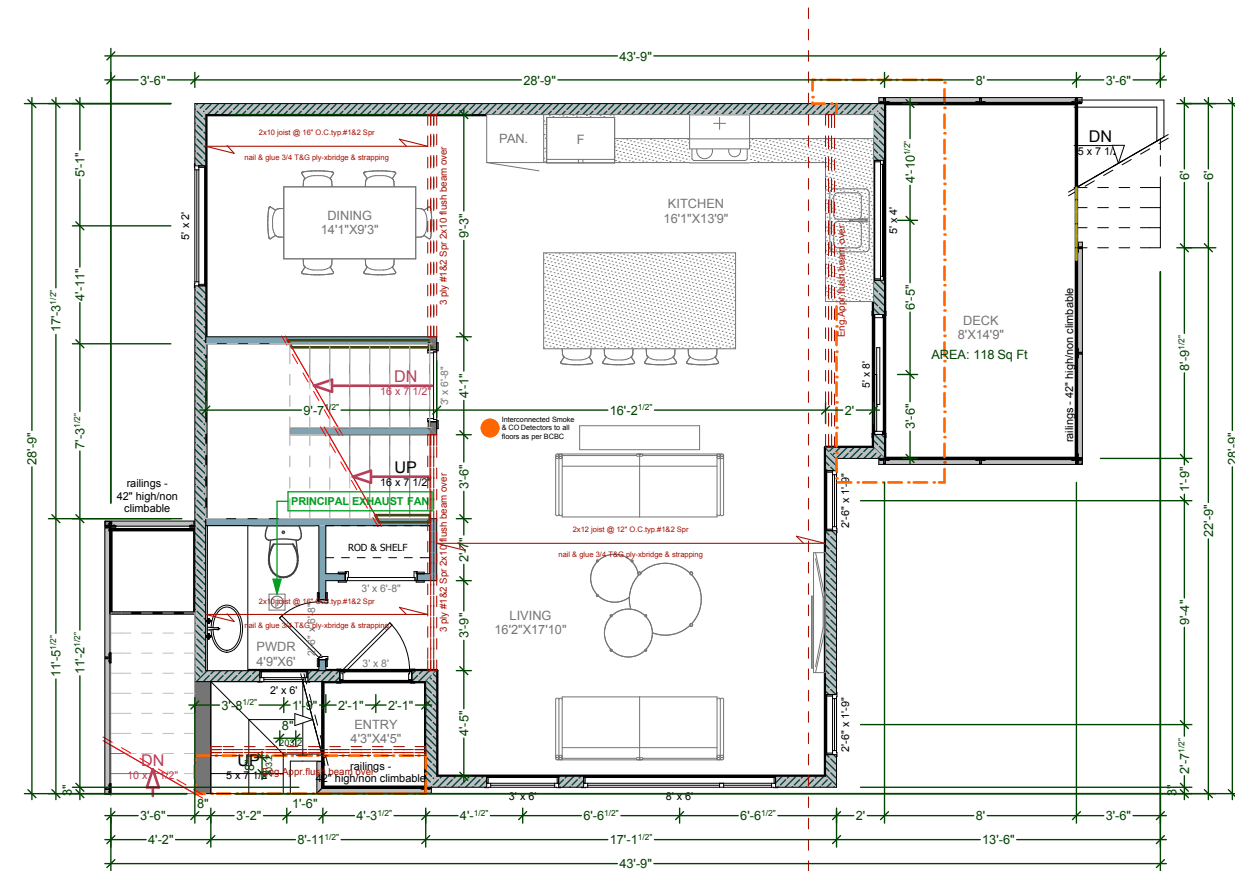
CUSTOMER:
MARIA WEEKS

ADDRESS:
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○ UPPER FLOOR PLAN (9'-0 3/4" WALLS)
 SCALE: 1/8" = 1' - 0"
 UPPER FLOOR AREA: 699.85 Sq Ft (65.02 SQ. M)



○ MAIN FLOOR PLAN (9'-0 3/4" WALLS)
 SCALE: 1/8" = 1' - 0"
 MAIN FLOOR AREA: 697.93 Sq Ft (64.84 SQ. M)

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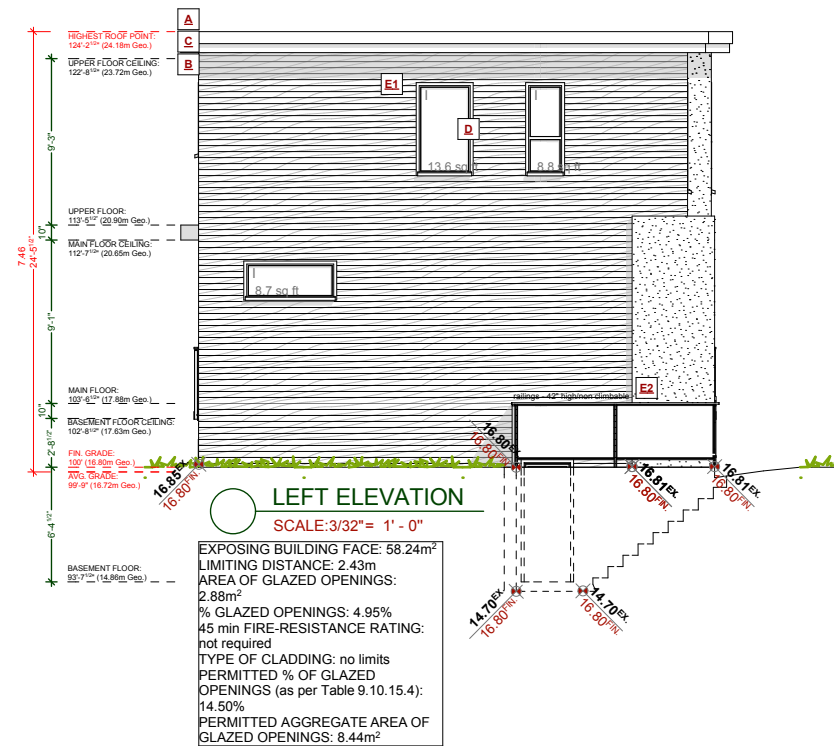
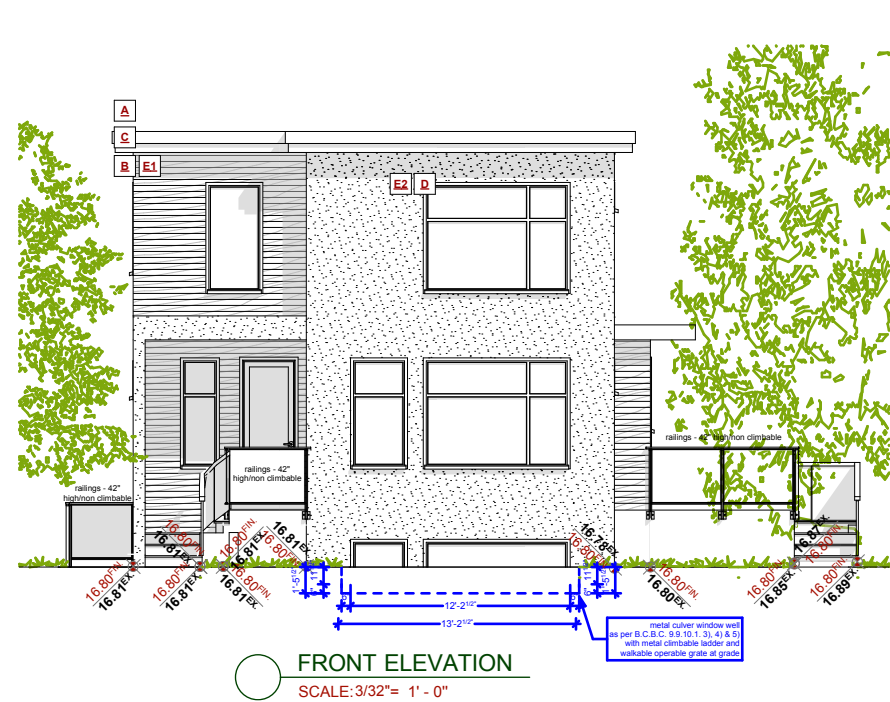
DRAWN BY:
 KYLE LEGGETT

DRAWING NAME:
 MAIN FLOOR PLAN AND UPPER FLOOR PLAN

CUSTOMER:
 MARIA WEEKS

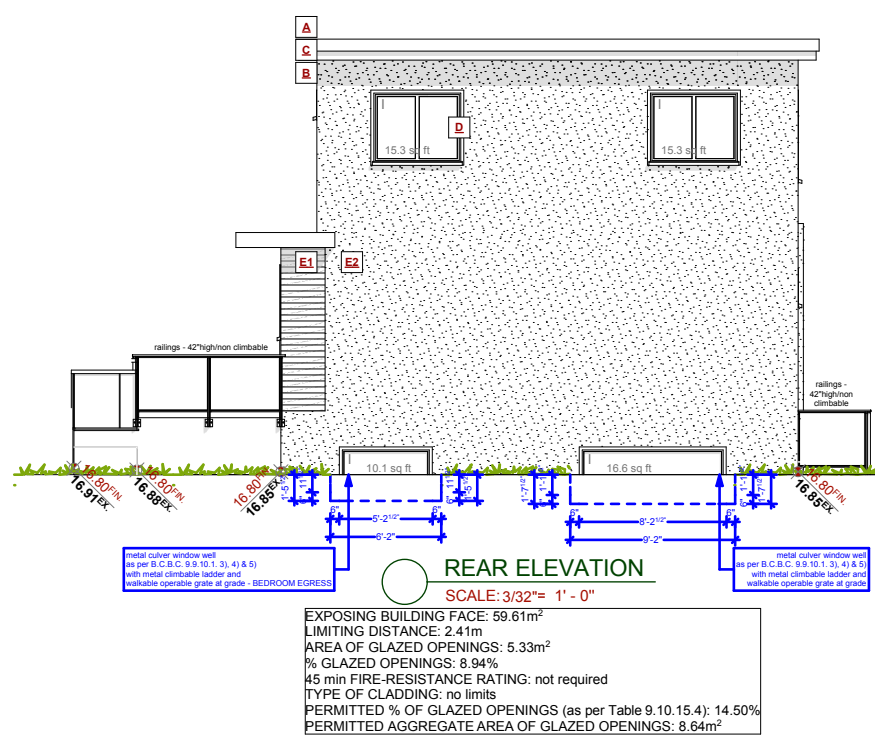
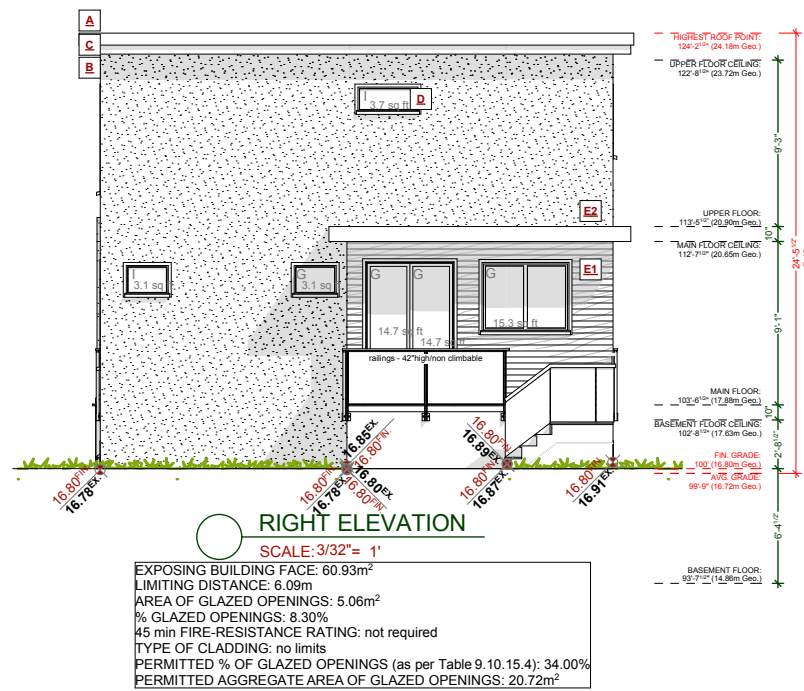
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EXTERIOR FINISHES SCHEDULE	
A	ROOFING: BUILT UP TORCH-ON/ METAL STANDING SEAM ROOFS AS PER CONTRACTORS SPECS
B	GUTTER & SOFFIT: ALUMINIUM GUTTER AND NON-VENTED SOFFIT
C	BARGE BOARD: 2x10 WITH 1x4 DOUBLE BARGE BOARD, PAINTED TRIM COLOUR
D	WINDOW & DOOR TRIM: 1x4 TRIM BOARDS - PAINTED/ STAINED
E1	WALL FINISH: HORIZONTAL CEDAR SIDING LAPPED TO 4" EXPOSURE - COLOUR AS PER BUILDERS SPECS
E2	WALL FINISH: STUCCO - SEE OWNER FOR TEXTURE FINISH - RAIN SCREEN AS PER BCBC

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



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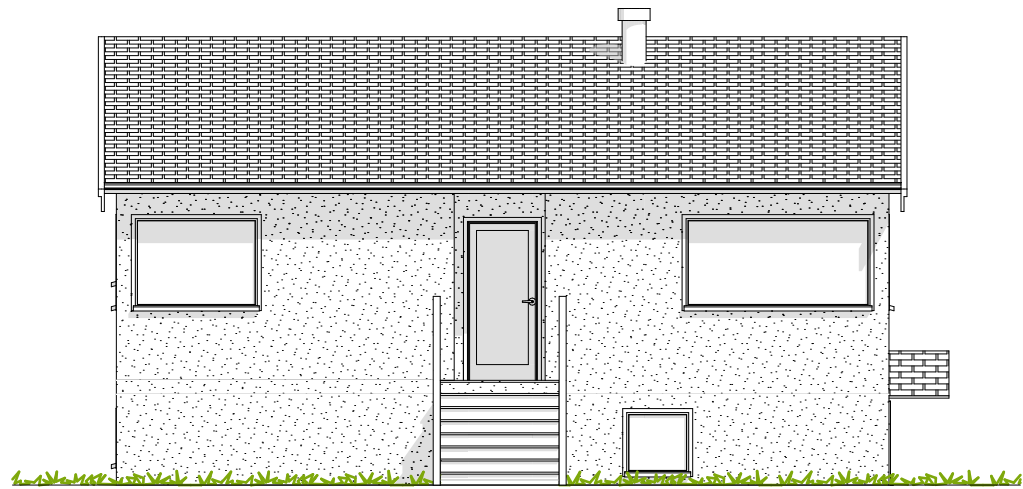
DRAWN BY:
KYLE LEGGETT

DRAWING NAME:
ELEVATIONS

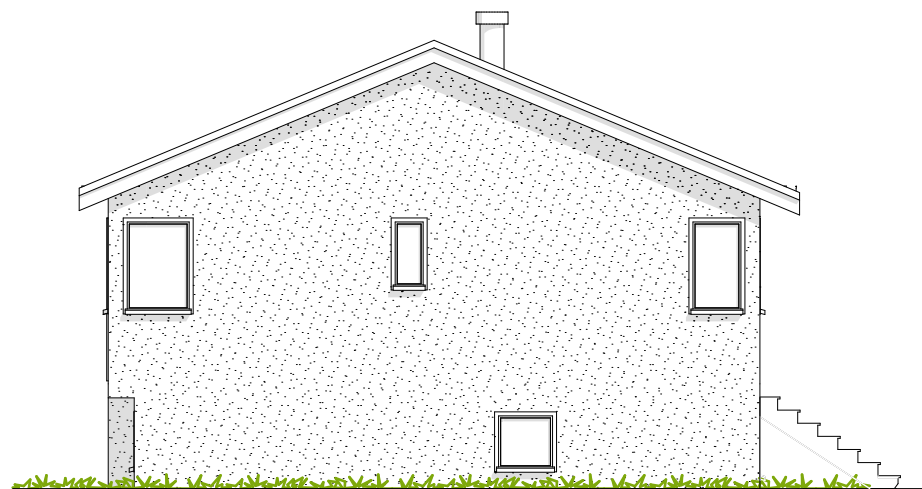
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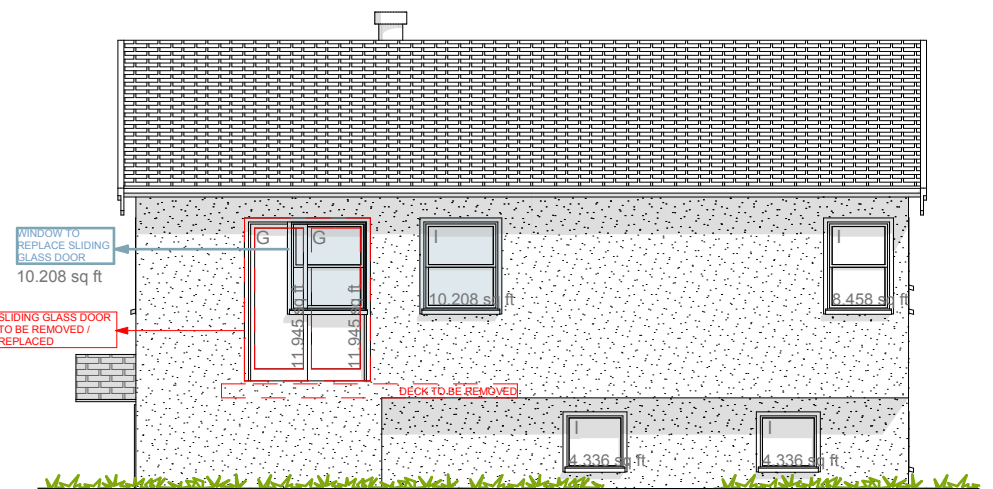
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EXISTING DWELLING FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



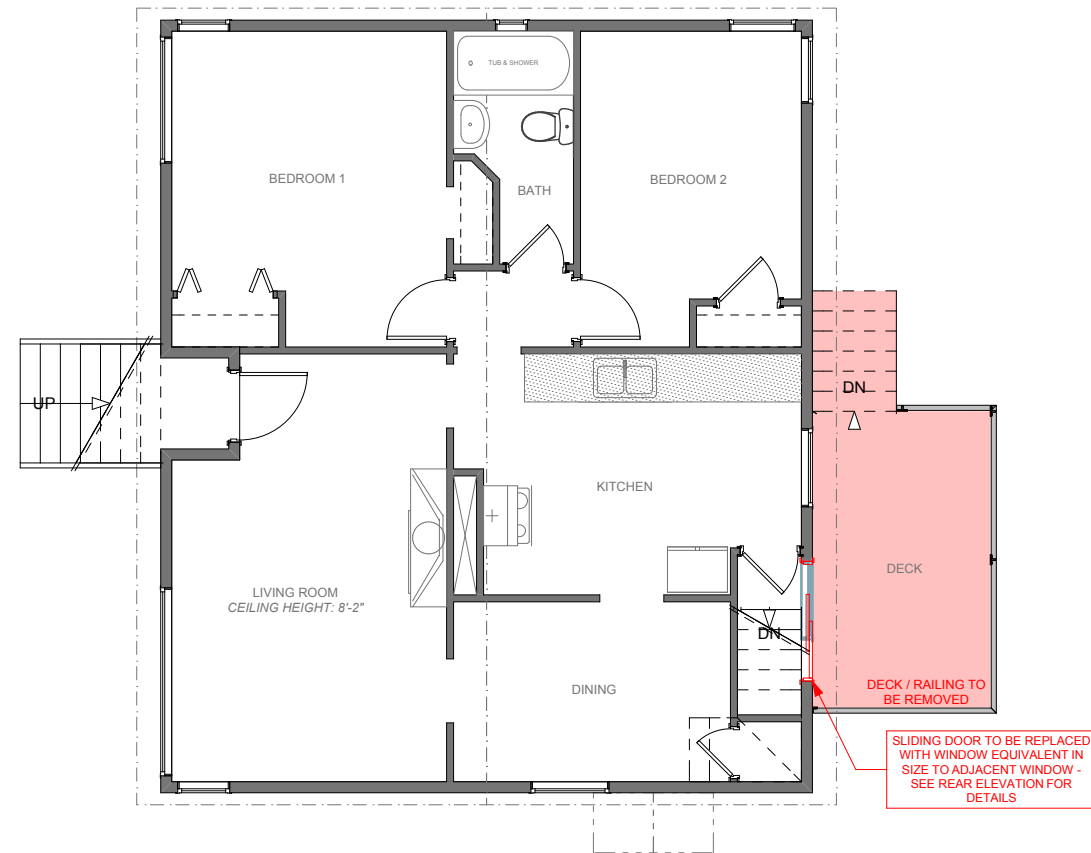
EXISTING DWELLING LEFT ELEVATION
SCALE: 1/4" = 1' - 0"



EXISTING DWELLING REAR ELEVATION
SCALE: 1/4" = 1' - 0"

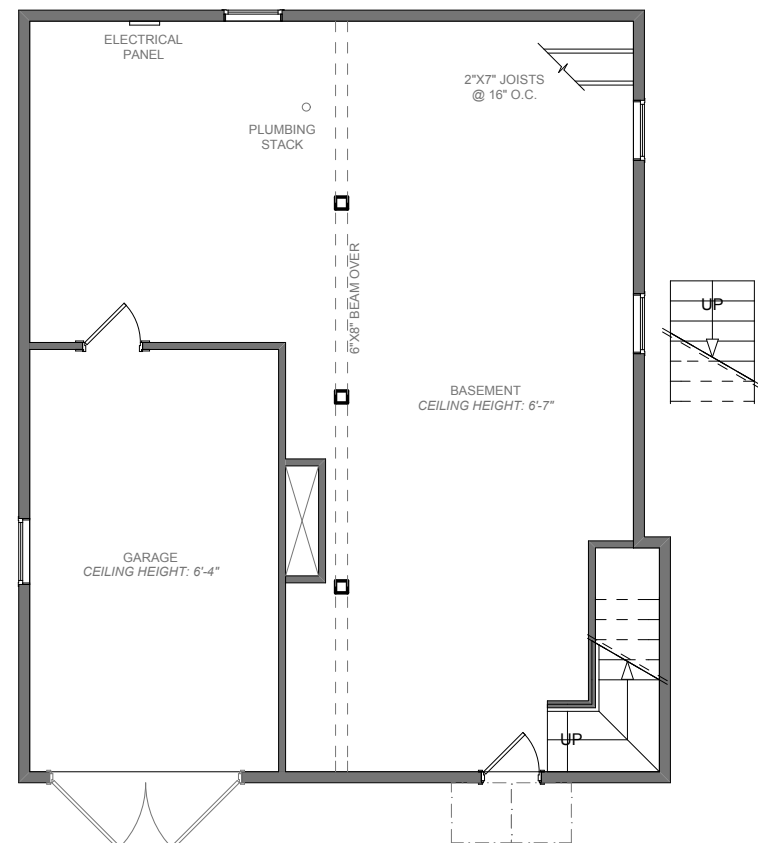
EXISTING
 EXPOSING BUILDING FACE: 37.32m²
 LIMITING DISTANCE: 1.99m
 AREA OF GLAZED OPENINGS: 4.76m²
 % GLAZED OPENINGS: 12.76%
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 11.50%
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 4.29m²

PROPOSED
 EXPOSING BUILDING FACE: 37.32m²
 LIMITING DISTANCE: 1.99m
 AREA OF GLAZED OPENINGS: 3.49m²
 % GLAZED OPENINGS: 9.35%
 45 min FIRE-RESISTANCE RATING: not required
 TYPE OF CLADDING: no limits
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 11.50%
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 4.29m²

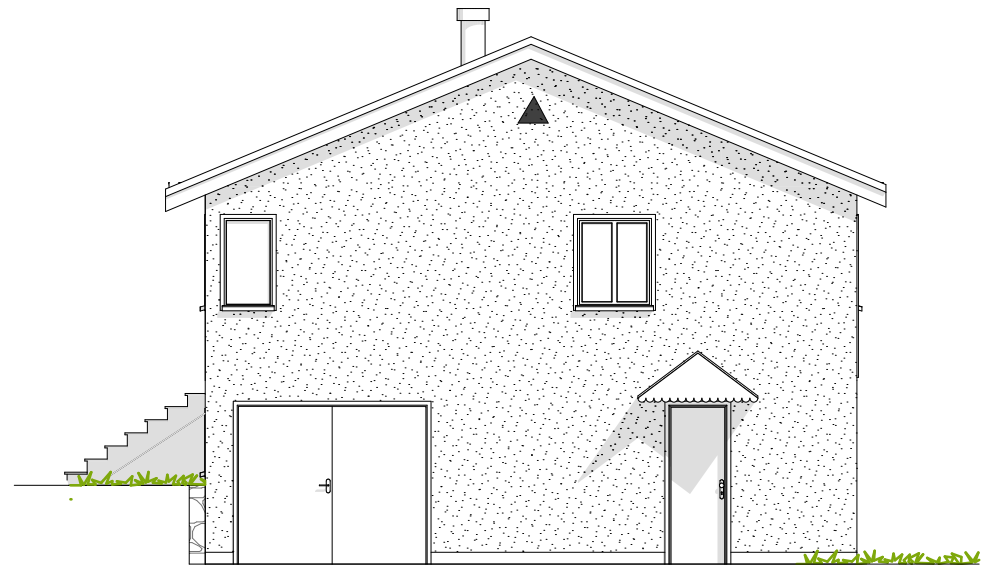


EXISTING DWELLING MAIN FLOOR PLAN
SCALE: 1/4" = 1' - 0"
MAIN FLOOR AREA: 808.06 Sq Ft

SLIDING DOOR TO BE REPLACED WITH WINDOW EQUIVALENT IN SIZE TO ADJACENT WINDOW - SEE REAR ELEVATION FOR DETAILS



EXISTING DWELLING LOWER FLOOR PLAN
SCALE: 1/4" = 1' - 0"



EXISTING DWELLING RIGHT ELEVATION
SCALE: 1/4" = 1' - 0"