

235 RUSSELL STREET MIXED USE

Revisions
Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
March 12, 2026



BOULEVARD PLANTING & TREES NOT SHOWN - REFER TO CIVIL

26-03-09. RZ + DP RESUBMISSION 07 (RESPONSE TO ADP)



BC LAND SURVEYORS SITE PLAN OF:

Civic: 247 Russell Street

**Legal Lot A, Section 31,
Esquimalt District, Plan 29271
AND
Lot 39, Section 31,
Esquimalt District, Plan 549**

Parcel Identifier (Lot A) : 001-422-294 in the City of Victoria
Parcel Identifier (Lot 39): 003-391-426 in the City of Victoria



All distances are shown in metres.
The intended plot size of this plan is 609.6mm in width by 457.2mm in height (Arch C size) when plotted at a scale of 1:250.

LEGEND

- Elevations are to geodetic datum.
- ± - denotes - existing elevation
 - CB - denotes - Catch Basin
 - CO - denotes - Clean Out
 - UTP - denotes - Utility Pole with Transformer
 - WV - denotes - Water Valve
 - WM - denotes - Water Meter
 - SC - denotes - Service Cover

Lot A Area = 2008.0 m²
Lot 39 Area = 669.6 m²

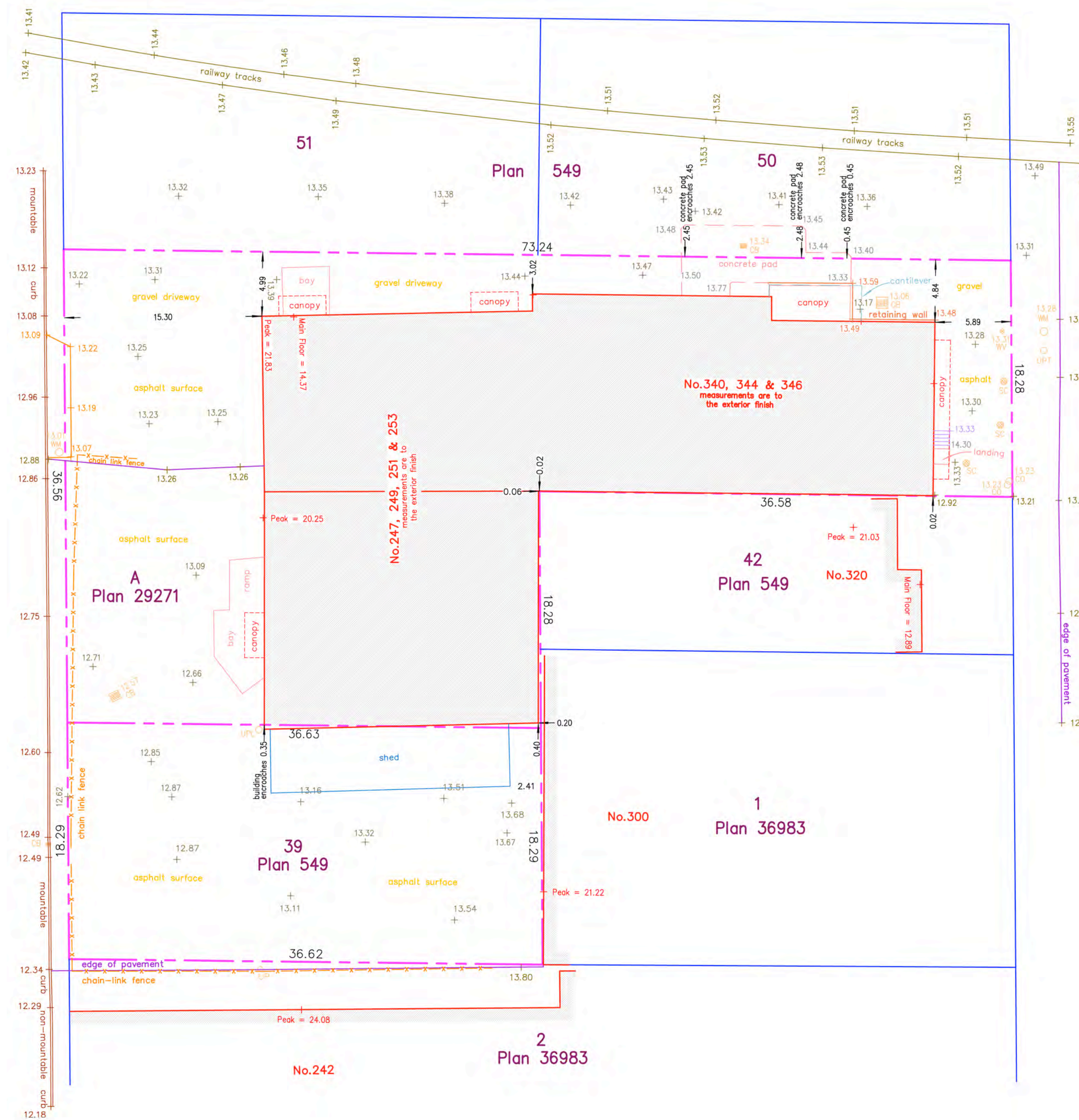
October 03, 2018

File : 12,843 - 18
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Russell Street

Esquimalt Road

Mary Street



The following non-financial charges are shown on the current title and may affect the property.
Lot A: M76300 - Exceptions and Reservations
Lot A: 318792G - Exceptions and Reservations
Lot 39: M76301 - Undersurface Rights

Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.
This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

ISSUED	26-03-09	RZ+DP RESUB 07
ISSUED	26-01-19	RZ+DP RESUB 06
ISSUED	25-10-21	RZ+DP RESUB 05
ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

Rev	Date	Description
plot date	26-01-19	drawing file
drawn by	CRK	checked by CRK
scale	1:100	project number 2017

NOTE: All dimensions are shown in millimeters. Room Dims are inside clear to G.W.B.

Russell MX
235 Russell Street
Victoria BC
Survey Plan



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Victoria
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102-5180 Dublin Way V9T 2K8 T 1-250-585-5810
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APPLICABLE BCBC	2024 PART 3 AND RELATED PARTS
MAJOR OCCUPANCY	F3 INDUSTRIAL (L1-L2) C RESIDENTIAL (L3-L6)
CONSTRUCTION REQMS	3.3.3.50 GROUP C 6 STOREYS SPRINKLERED COMBUSTIBLE OR NON-COMBUSTIBLE 1HR FIRE SEP FLOORS 1HR FIRE RESISTANCE ROOF 1HR FIRE RESISTANCE LOADBEARING APPLIED TO L3 AND ABOVE
EXITS	2 EXITS REQUIRED AND PROVIDED FROM ALL FLOOR AREAS

PROJECT DATA - ZONING	
ZONE	M-1
SITE AREA	669.50
INDUSTRIAL USE	1175.00
RESIDENTIAL USE	2020.00
TOTAL FLOOR AREA	3195.00
FSR	4.77
SITE COVERAGE	92%
BUILDING HEIGHT	19.805m
STOREYS	Six (6)
VEHICLE PARKING	7 stalls
BICYCLE PARKING	38 LT spaces incl 4 cargo 12 ST spaces
FRONT SB	0.00
REAR SB	0.00 (0.30 seismic gap)
NORTH SIDE SB	0.00 (0.25 seismic gap)
SOUTH SIDE SB	0.00

RESIDENTIAL SUITES	
STUDIO	30 total
1BR	4
2BR	16
3BR	8
3BR	2
SUITE AREAS	
STUDIO	m2
1BR	33.00
2BR	43.00
3BR	63.00
3BR	95.00

PROJECT DATA - LEGAL	
LEGAL	LOT 39 SECTION 31 ESQUIMALT DISTRICT PLAN 549
ADDRESS	235 RUSSELL STREET
OWNER	235 RUSSELL HOLDINGS LTD.
ARCHITECT	DHKARCHITECTS 977 FORT STREET VICTORIA BC V8V 3K3 250-658-3367
CIVIL	WESTBROOK CONSULTING LTD. 115-866 GOLDSTREAM AVENUE VICTORIA BC V9B 0J3 250-391-8592

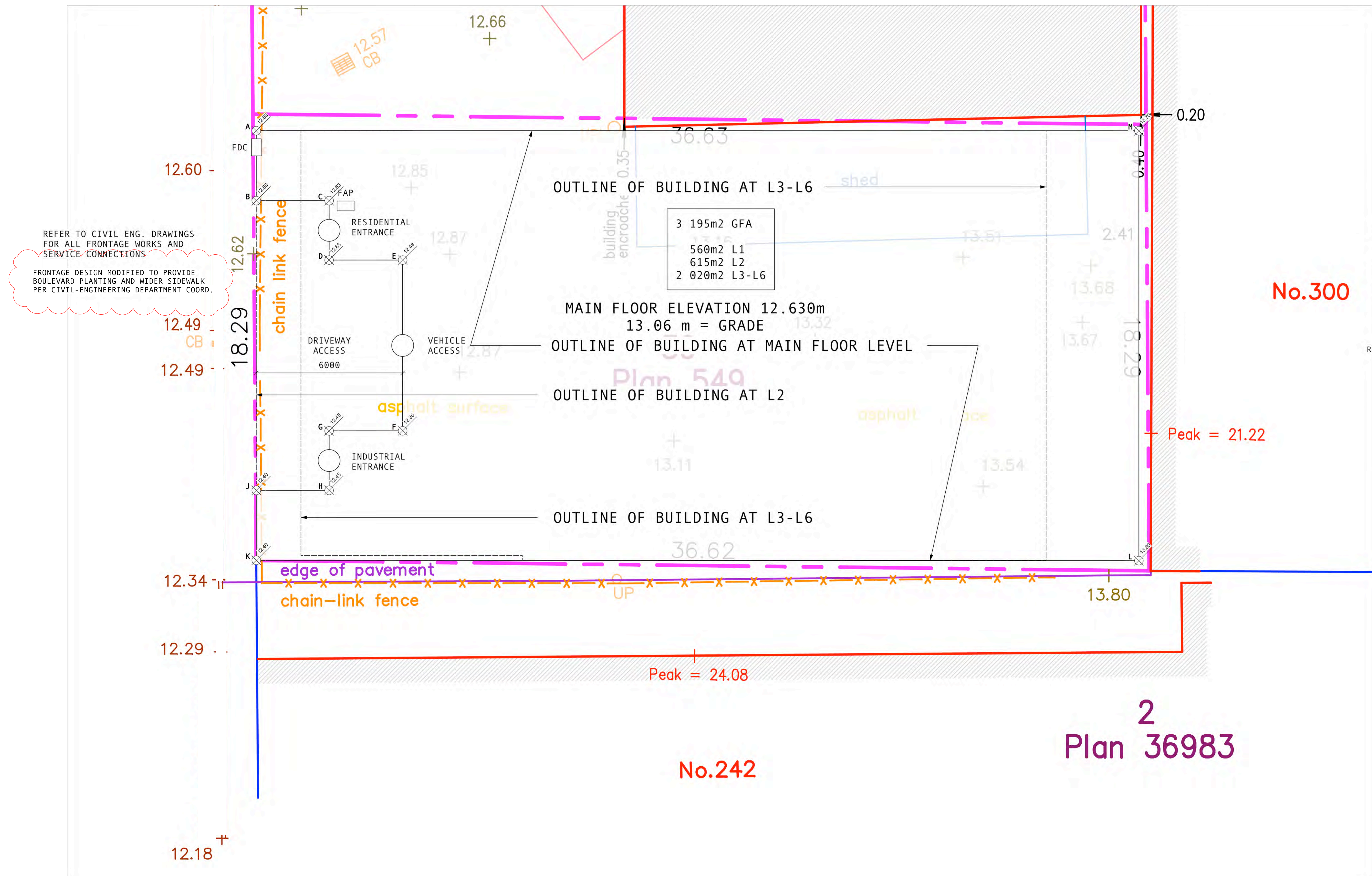
Issued	Date	Description
ISSUED	26-01-19	RZ+DP RESUB 06
ISSUED	25-10-21	RZ+DP RESUB 05
ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION
ISSUED	26-03-09	RZ+DP RESUB 07

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Site Plan & Project Data



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3 195m2 GFA
560m2 L1
615m2 L2
2 020m2 L3-L6

MAIN FLOOR ELEVATION 12.630m
13.06 m = GRADE

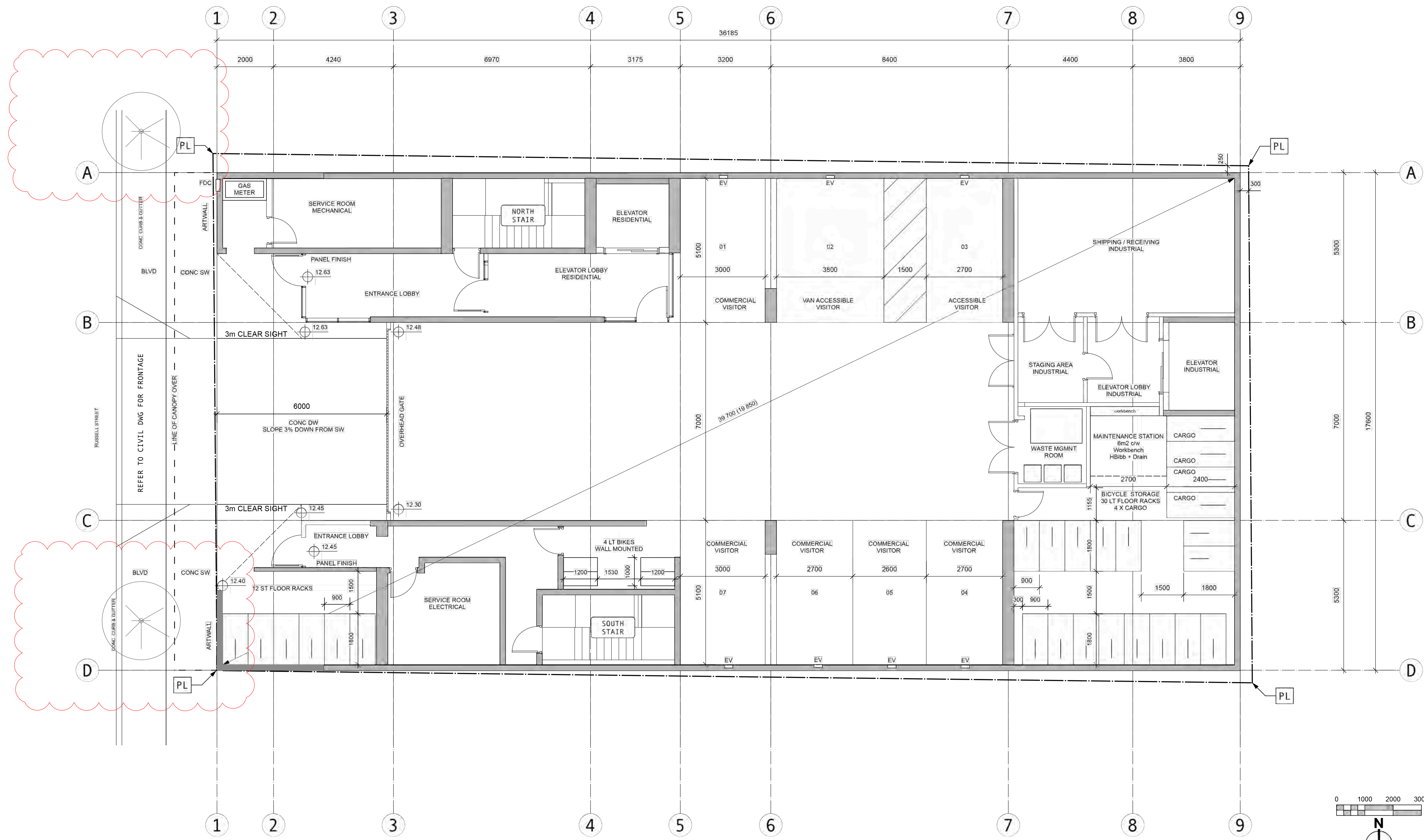
No.300

Peak = 21.22

Peak = 24.08

2
Plan 36983

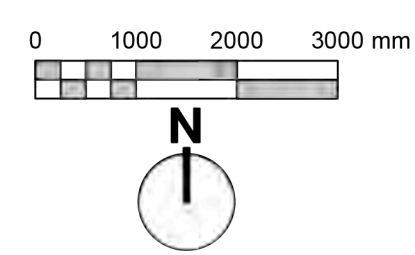
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ISSUED	26-01-19	RZ+DP RESUB 06
ISSUED	25-10-21	RZ+DP RESUB 05
ISSUED	25-07-21	RZ+DP RESUB 04
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ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

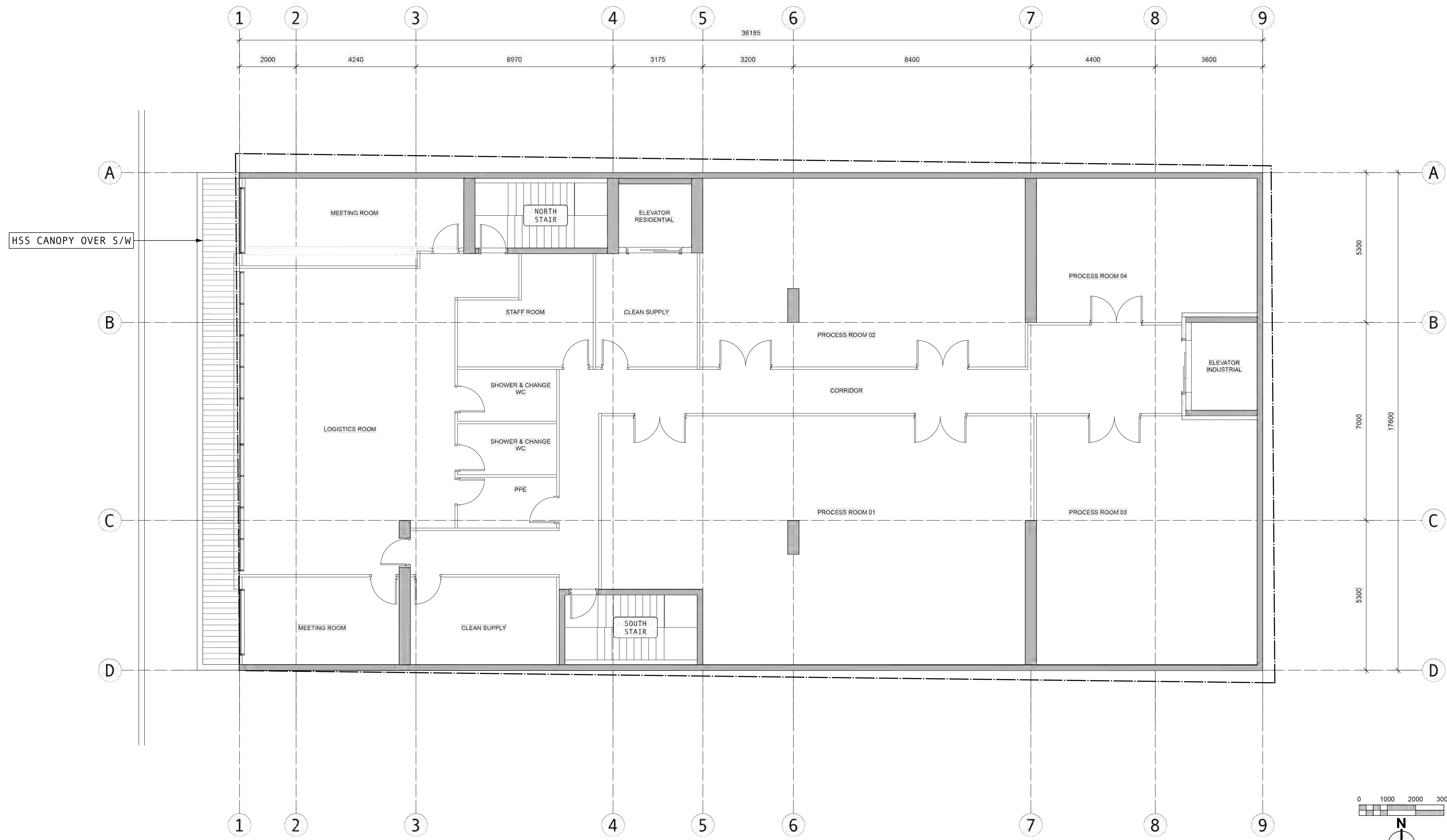
Rev	Date	Description
plot date	26-01-19	drawing file
drawn by	CRK	checked by CRK
scale	1:100	project number 2017

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L1 PLAN





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ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

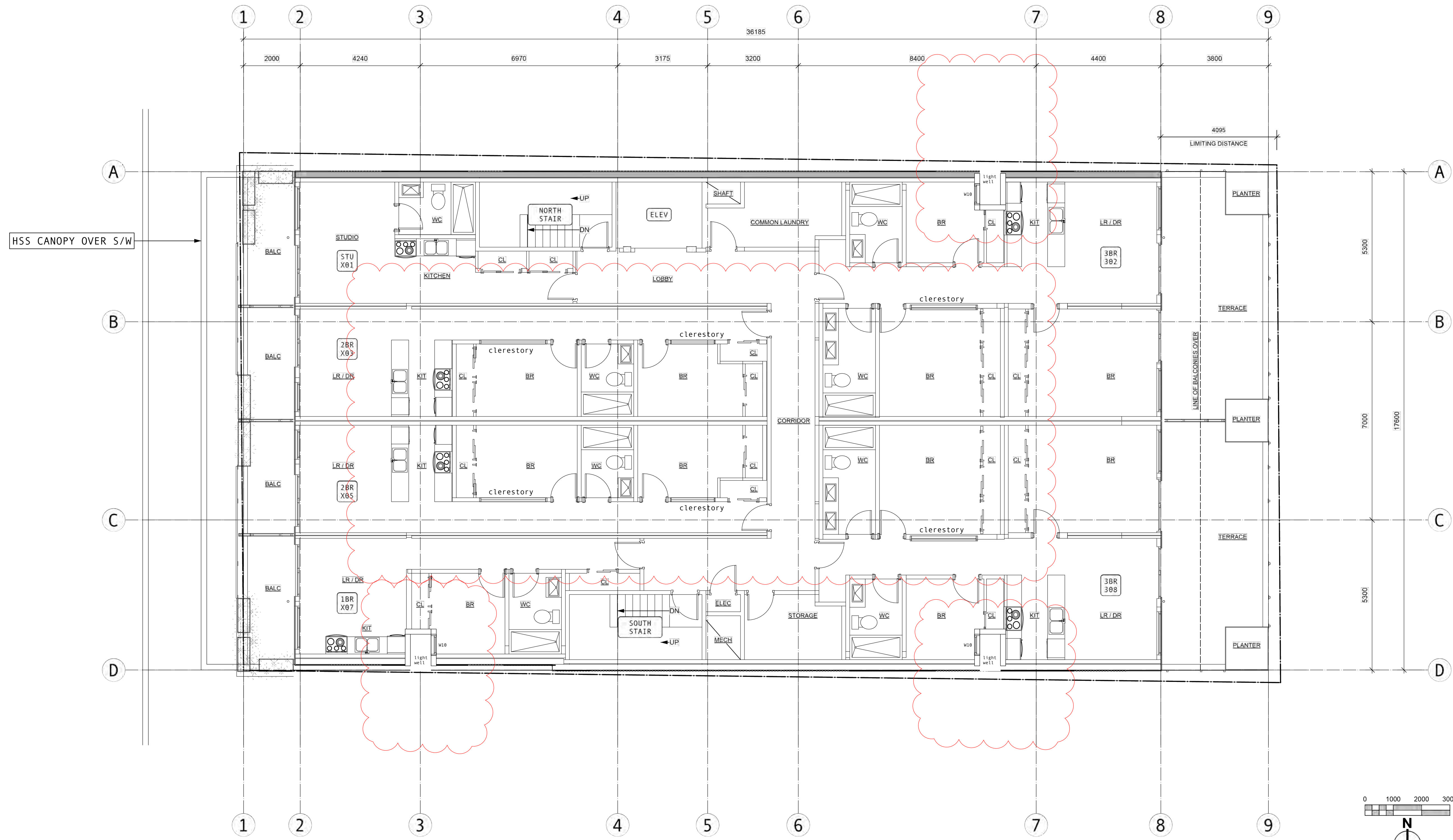
Rev	Date	Description
pkd date	26-01-19	drawing file
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L2 PLAN



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ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

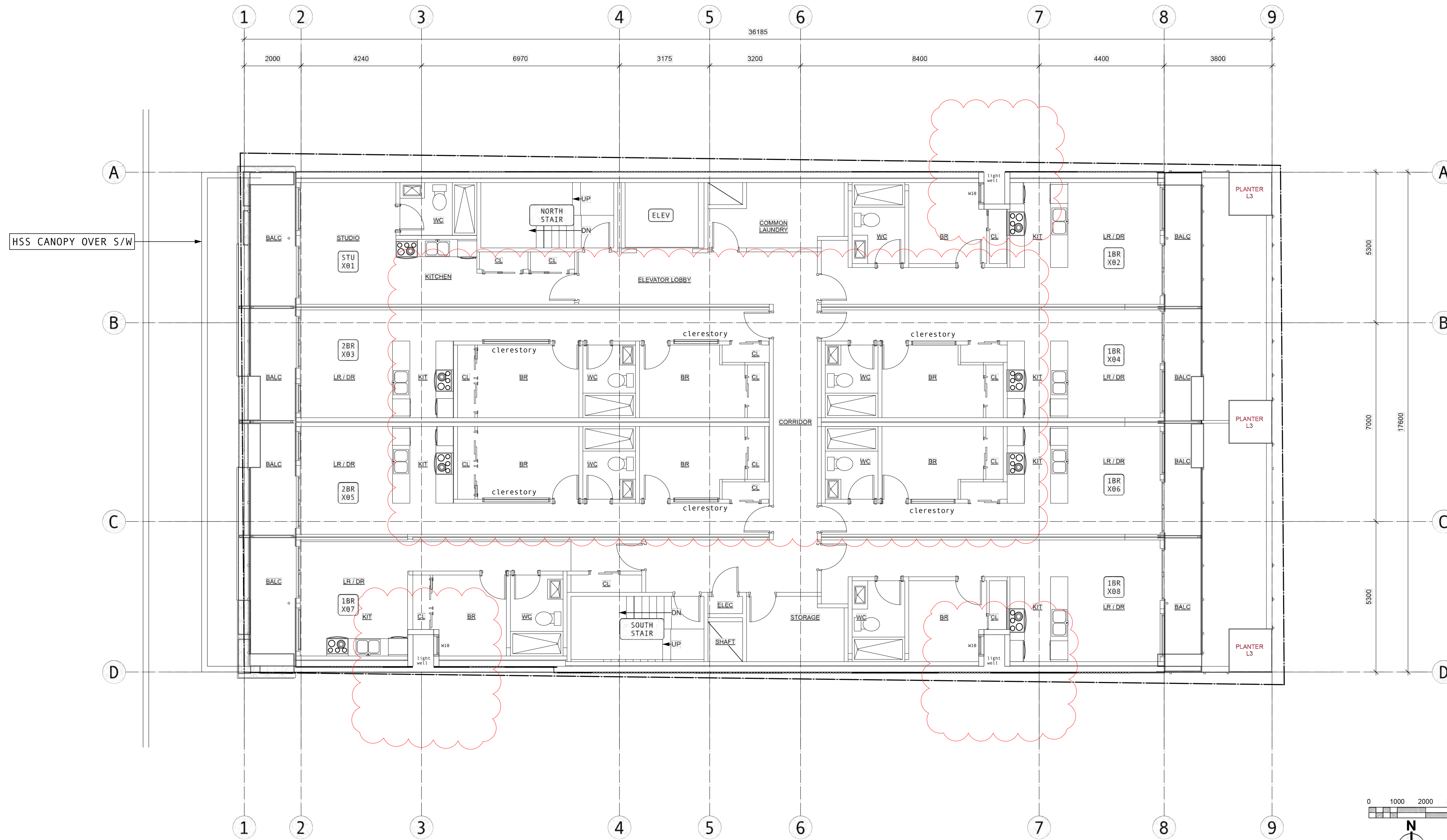
Rev	Date	Description
pkd date	26-01-19	drawing file
drawn by	CRK	checked by CRK
scale	1:75	project number 2017

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L3 PLAN



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ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

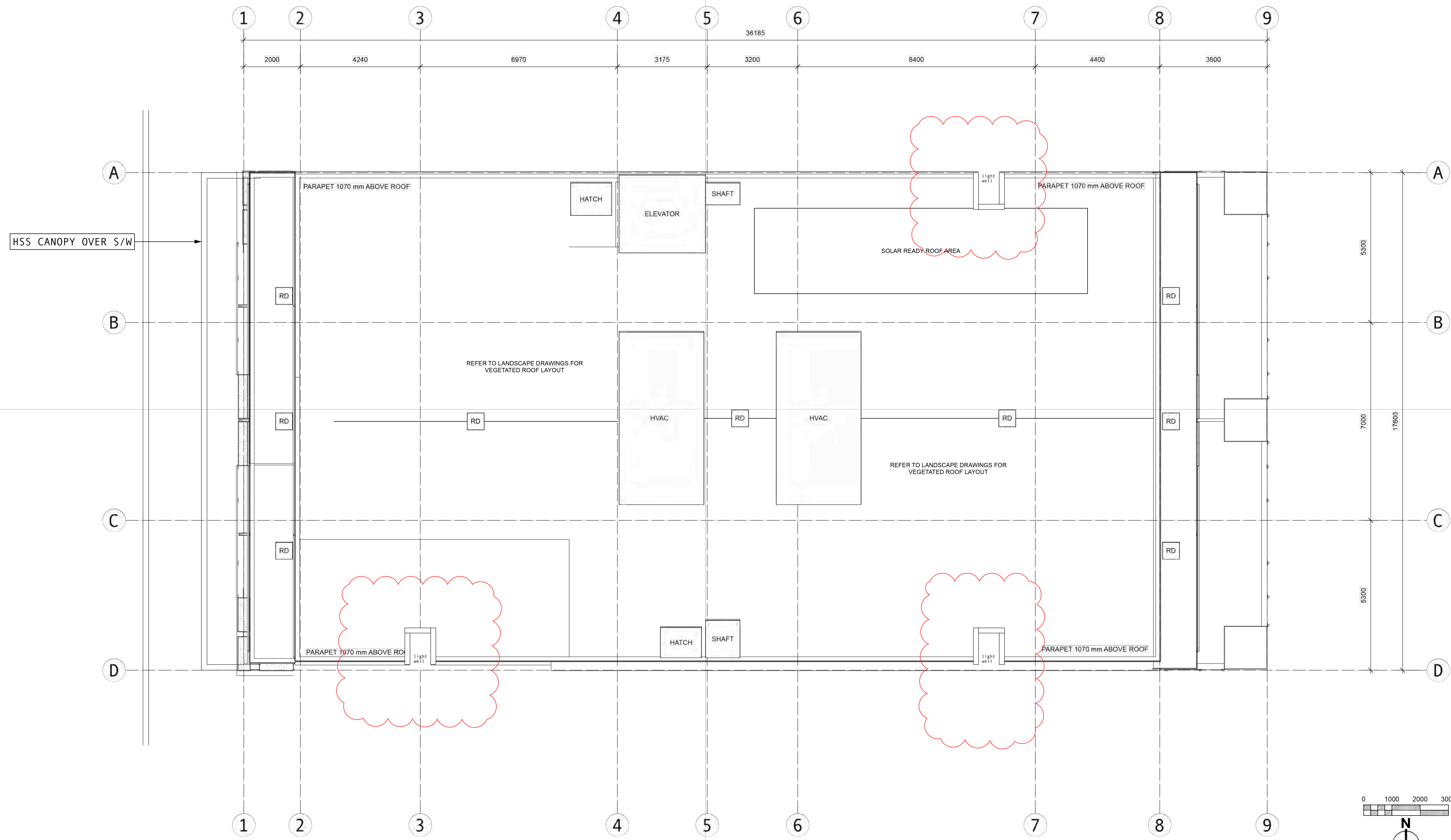
Rev	Date	Description
pkd date	26-01-19	drawing file
drawn by	CRK	checked by CRK
scale	1:75	project number 2017

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L4-6 PLAN



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ISSUED	24-06-25	RZDP SUBMISSION

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LR PLAN



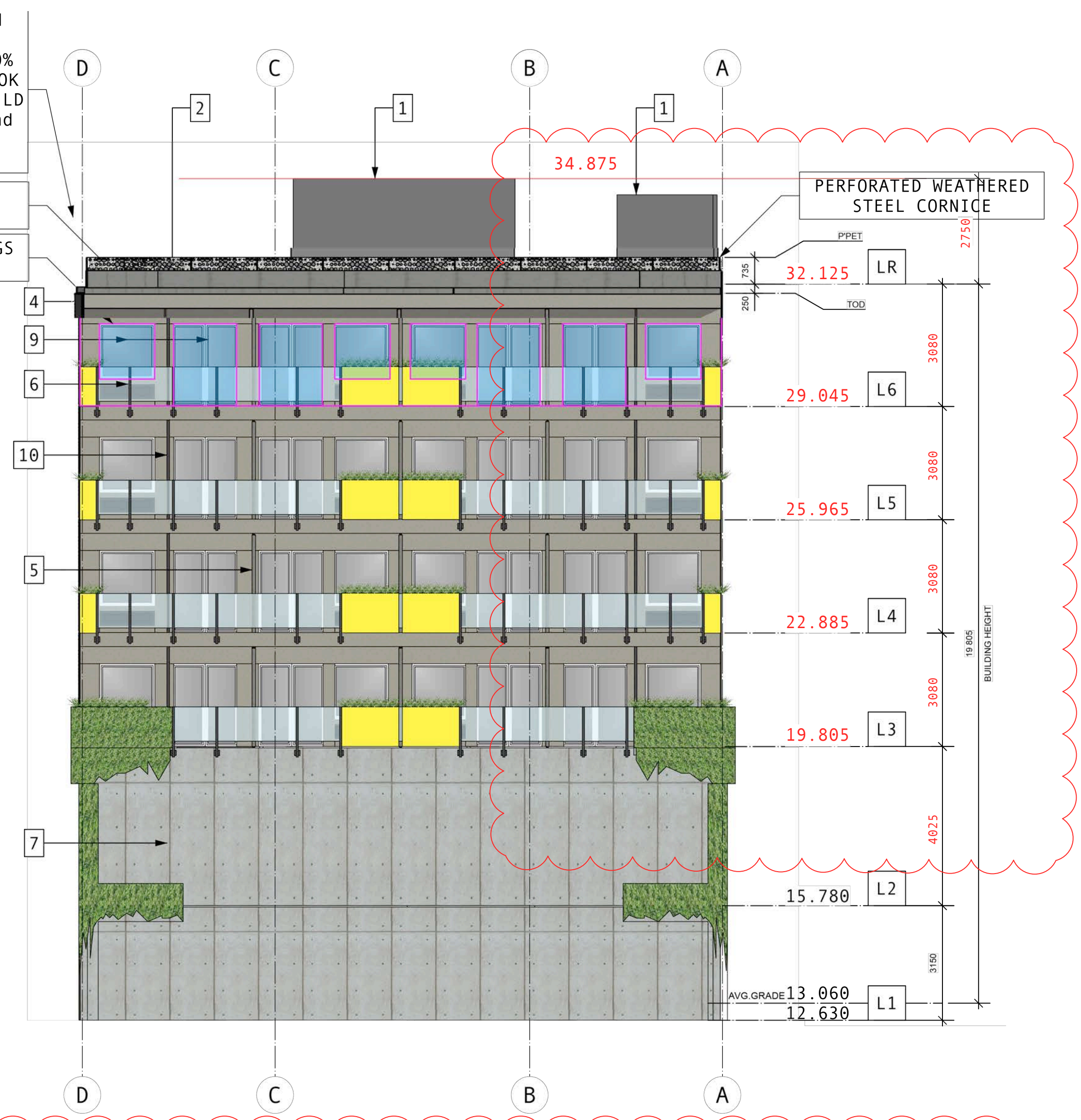
dHkA Architects
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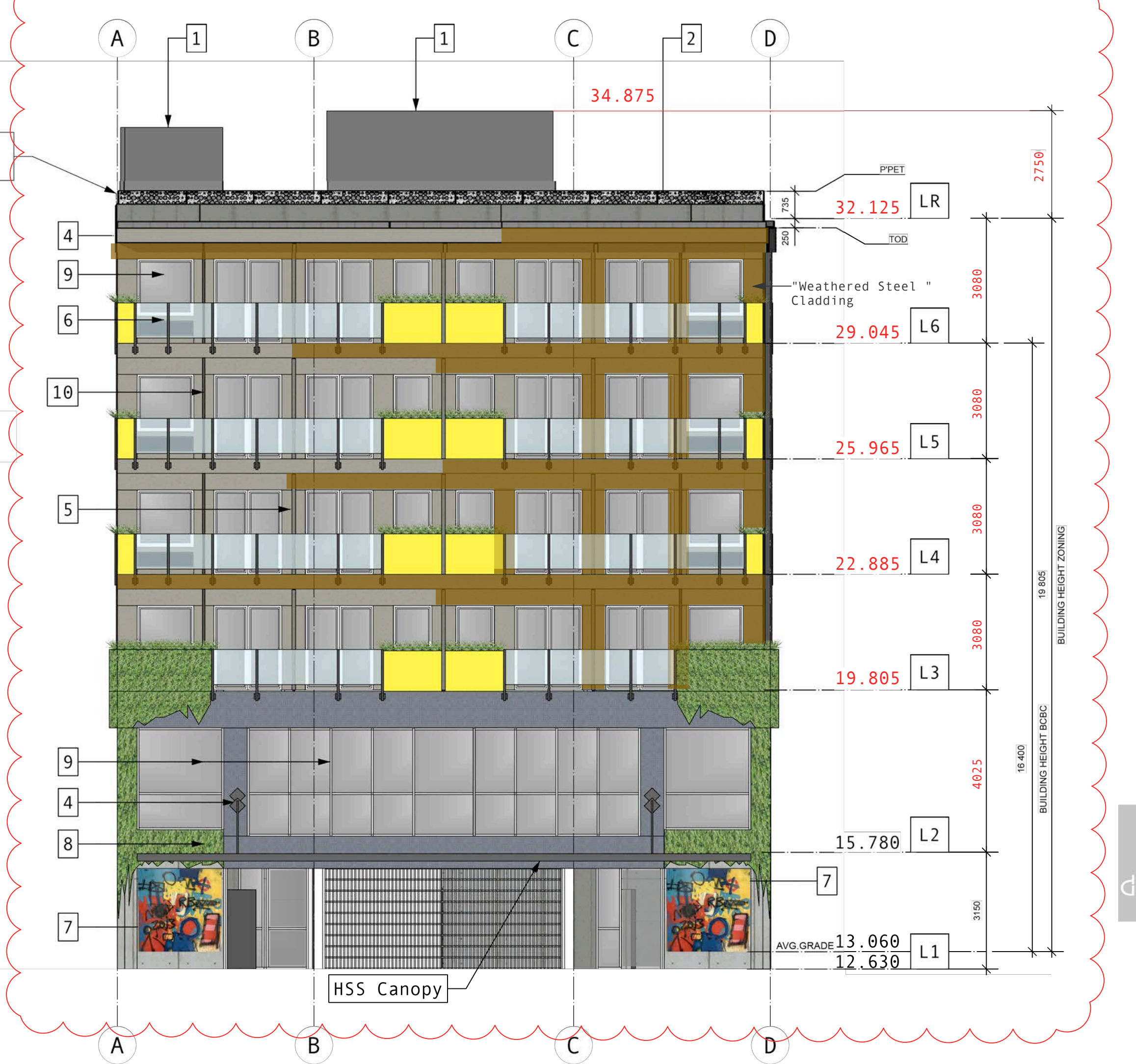
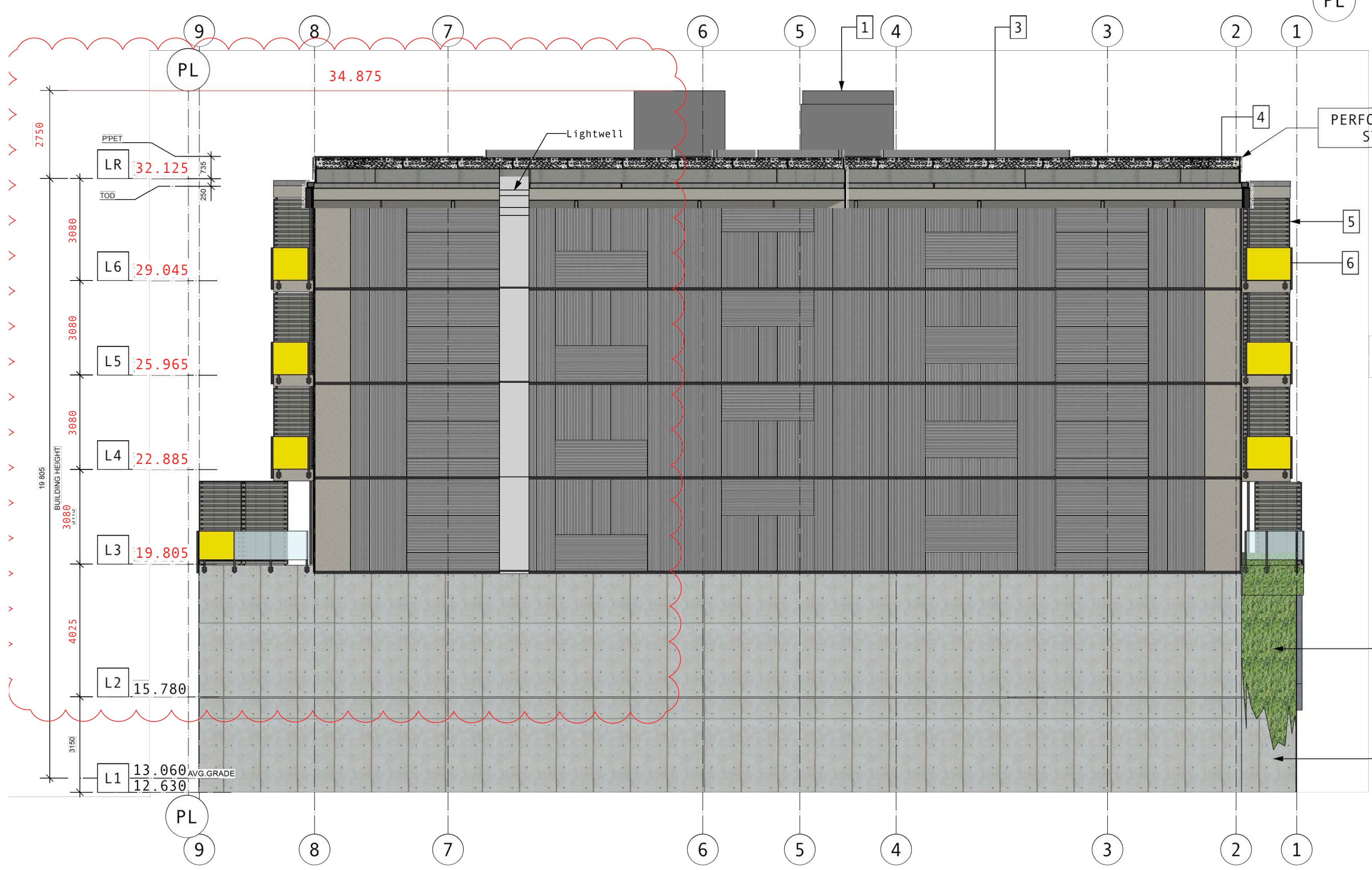
SPATIAL SEPARATION CALC
 % UPO SHOWN = 51.10%
 % UPO MAX. = 56% = OK
 3.2.3.2.D 50m2 @ 4m LD
 Comb or Non-Comb and cladding with 45 min FRR

FIRE COMPARTMENT
 48.525 m2

UNPROTECTED OPENINGS
 24.795 m2



- MATERIALS LEGEND**
1. FIBRE CEMENT CLADDING - CHARCOAL
 2. PREFINISHED METAL CLADDING / FLASHING
 3. CORRUGATED METAL CLADDING
 4. FIBRE CEMENT CLADDING
 5. ALUM + WOOD PRIVACY SCREEN
 6. ALUM AND GLASS GUARDS WITH PLANTER BOXES
 7. PAINTED CONCRETE
 8. TRAILING PLANTS
 9. HIGH PERFORMANCE WINDOWS AND DOORS
 10. RAIN WATER LEADERS



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ISSUED	25-05-13	RZDP RESUB 03
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-08-07	CALUC MTG
ISSUED	24-06-25	RZDP SUBMISSION

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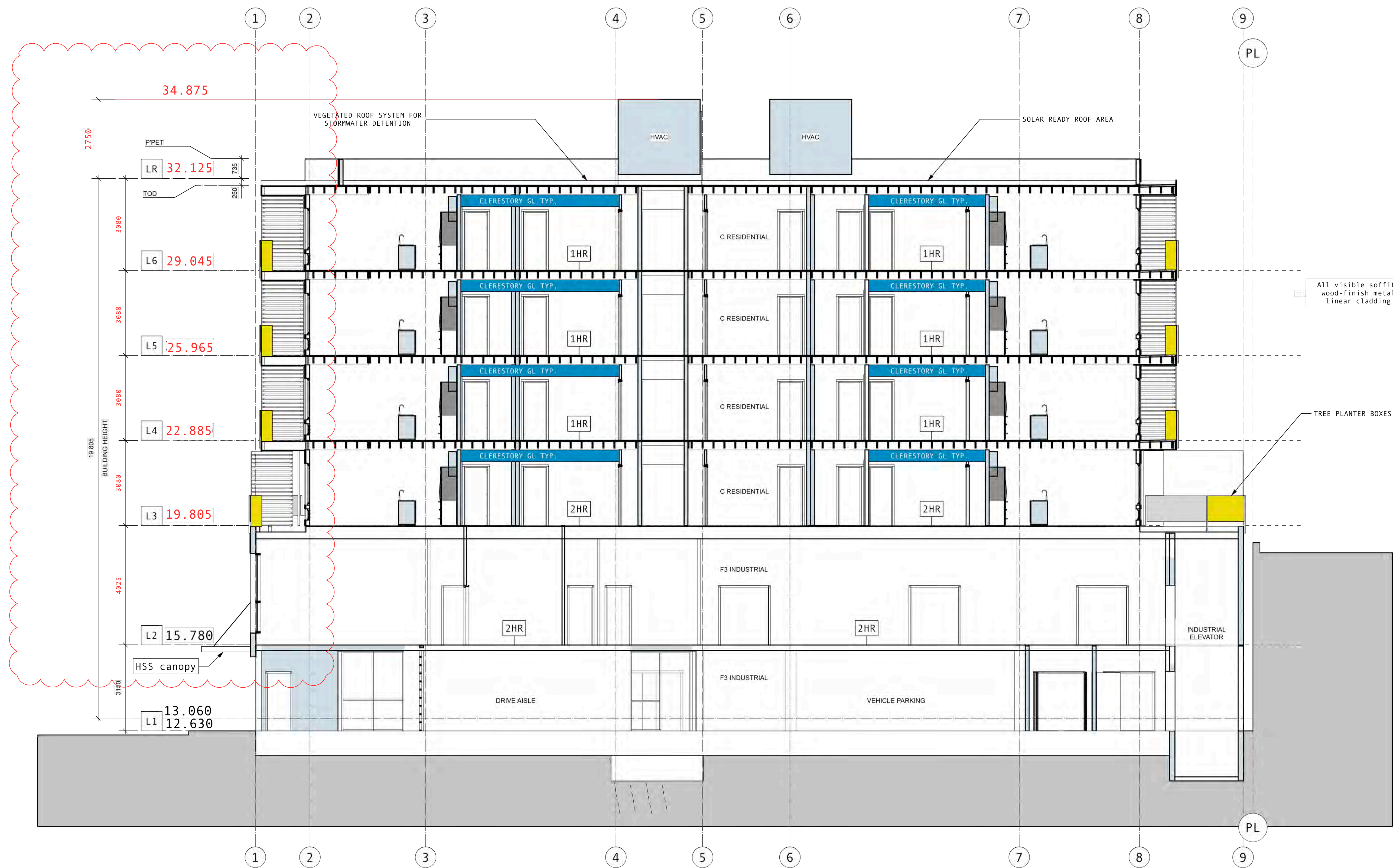
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 Victoria BC
 Elevations

dHka A301

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All visible soffits wood-finish metal linear cladding

TREE PLANTER BOXES

ISSUED	26-01-19	RZ+DP RESUB 06
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ISSUED	25-05-13	RZDP RESUB 03
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ISSUED	24-06-25	RZDP SUBMISSION

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 Victoria BC
SECTION



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ISSUED	24-08-07	CALUC MTG

Rev	Date	Description
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drawn by	sjj	checked by crk
scale	1:100	project number 2017

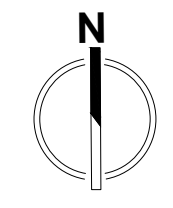
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Russell MX
 235 Russell Street
 Victoria BC
 Street View



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NOTES:
 1) DO NOT SCALE THE DRAWING. WORK TO FIGURED DIMENSIONS ONLY.
 2) CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 3) THIS DRAWING IS THE PROPERTY OF FORSITE LANDSCAPE ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.



project title:

issue / revisions:

No.	Issued / Revisions	Date
06	REVISED & RE-ISSUED FOR DP	10.23.2025
05	REVISED	07.14.2025
04	REVISED	07.08.2025
03	REVISED	07.07.2025
02	REVISED	03.04.2025
01	ISSUED FOR REVIEW	02.25.2025

scale:

project title:
235 RUSSELL STREET

drawing title:
LANDSCAPE CONCEPT & DETAIL PLANS

project no.: **1**

date: 23 OCT 2025 scale: 1:100

checked by: FORTH drawn by: BF, RF

sheet no.:

L1.00

PLANT LIST - LEVELS 2, 4, 5 & 6

KEY	QUANTITY (PER LEVEL)	QUANTITY (TOTAL)	COMMON NAME	BOTANICAL NAME	SIZE
SMALL SHRUBS	ILEX 20	80	False Holly	Ilex crenata convexa	#1 Pot
GROUND COVERS	COTO 24	96	Trailing Cotoneaster	Cotoneaster dammeri	SP5

PLANT LIST - LEVEL 3 DECK ONLY

KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
TREES	KOUS 3	Satomi Dogwood	Kousa Satomi	6cm Gal.
SMALL SHRUBS	EUOF 30	Creeping Euonymus	Euonymus fortunei var. 'Emerald & Gold'	#1 Pot
GROUND COVERS	CARX 96	Vanegated Sedge	Carex morrowii var. 'Aureoanegata'	SP5

SOFTSCAPE LEGEND

LARGE DECIDUOUS SHADE TREE
 LARGE AND SMALL CONIFEROUS TREES
 LARGE SHRUB
 MEDIUM SHRUB
 SMALL SHRUB
 GROUND COVER & PERENNIALS

SOIL VOLUME REQUIREMENTS*

ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

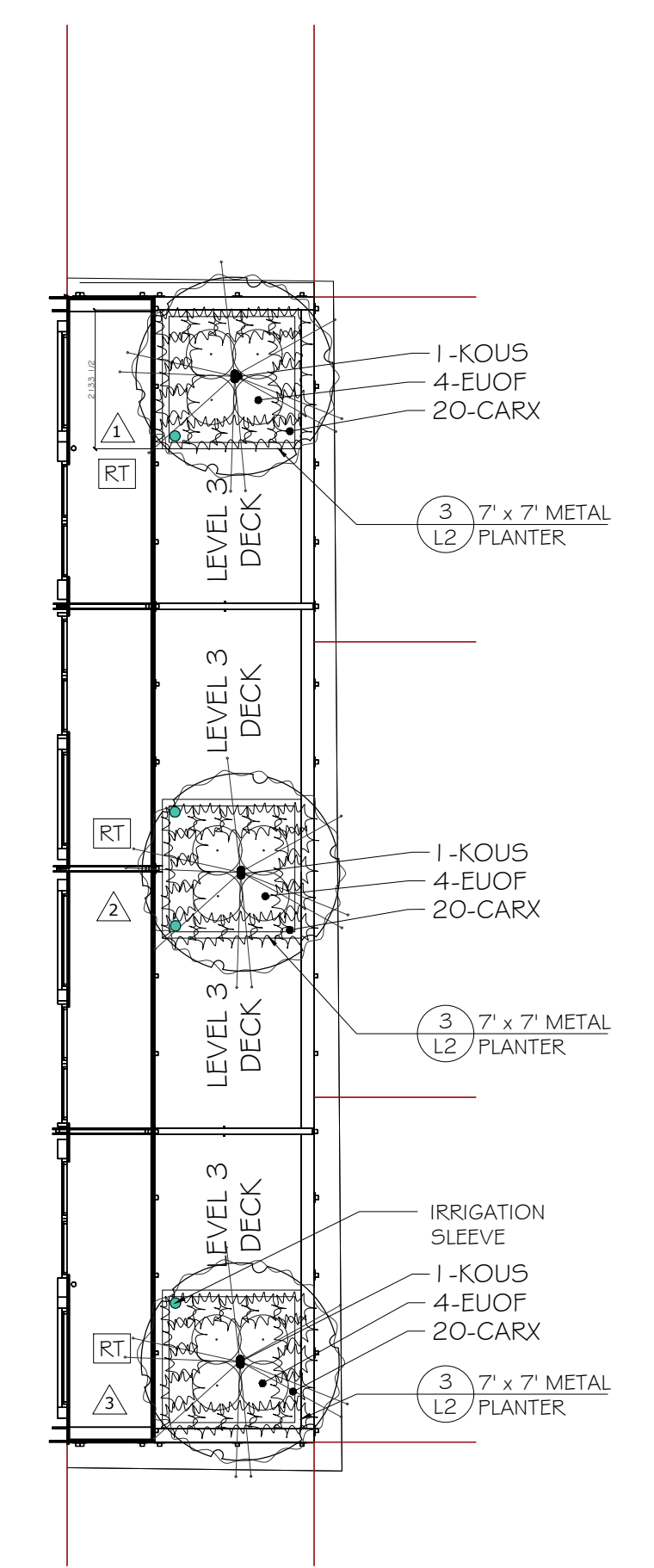
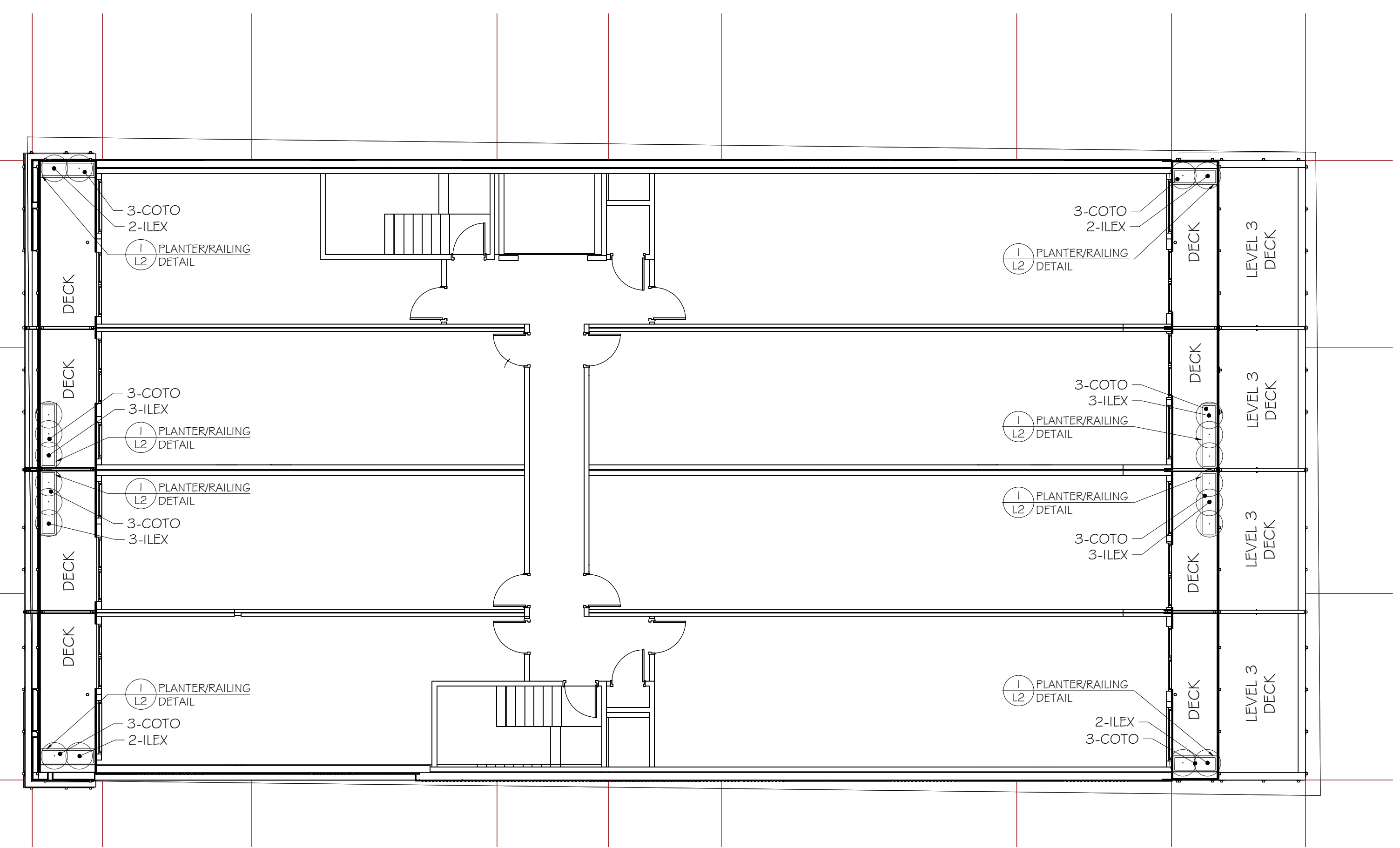
Planting Area ID	Area (m ²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m ³)	Replacement Trees Proposed			Soil Volume Required (m ³)			Total**
				B # Small	C # Medium	D # Large	# Small	# Medium	# Large	
ONSITE										
1	6.94	1.0M	6.94		1		6			6.0
2	6.94	1.0M	6.94			1	6			6.0
3	6.94	1.0M	6.94			1	6			6.0

Notes:
 (1) All soil volume calculations are for replacement trees only
 (2) All replacement trees are ONSITE
 (3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
 (4) All replacement trees meet soil volume requirements for this project.

IRRIGATION SLEEVE
 NOTE: ALL PLANTERS W/ TREES TO BE IRRIGATED

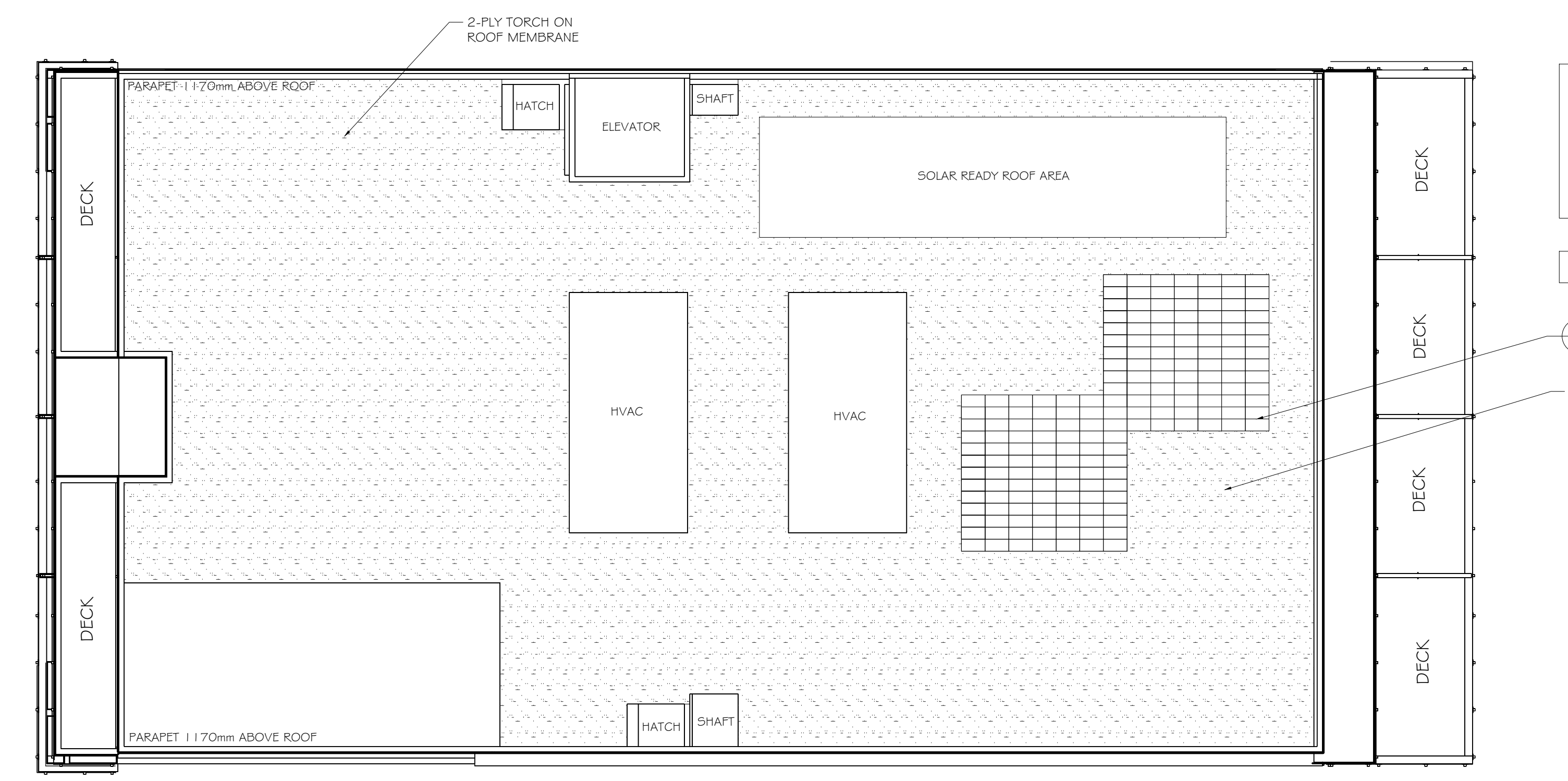
TREE REPLACEMENT PLAN:

- 3 REPLACEMENT TREES REQUIRED ON SITE
- 3 (2:1) REPLACEMENT TREES TOTAL SHOWN IN ROOF TOP PLANTERS. THIS COUNTS AS 1.5 REPLACEMENT TREES PROVIDED. CASH-IN-LIEU REQUIRED FOR 1.5 TREES.
- EACH PLANTER HAS A SOIL VOLUME OF OVER 6m³
- PLANTER SIZE (DECK 3 EAST): 2.13m (L) x 2.13m (W) x 1.52m (D)
- REPLACEMENT TREES FOR EACH PLANTER CHOSEN FROM THE CITY OF VICTORIA TREE REPLACEMENT REQUIREMENTS, SCHEDULE E, SECTION C, PART 2 FOR 2:1 REPLACEMENT TREES.



LEVELS 2, 4, 5 & 6

LEVEL 3 PLAN



GREEN ROOF PLANTINGS
 CONTACT:
 NATS NURSERY
 ADDRESS: 1712 FRASER HWY,
 SURREY BC V4N 0E5
 604-576-1300

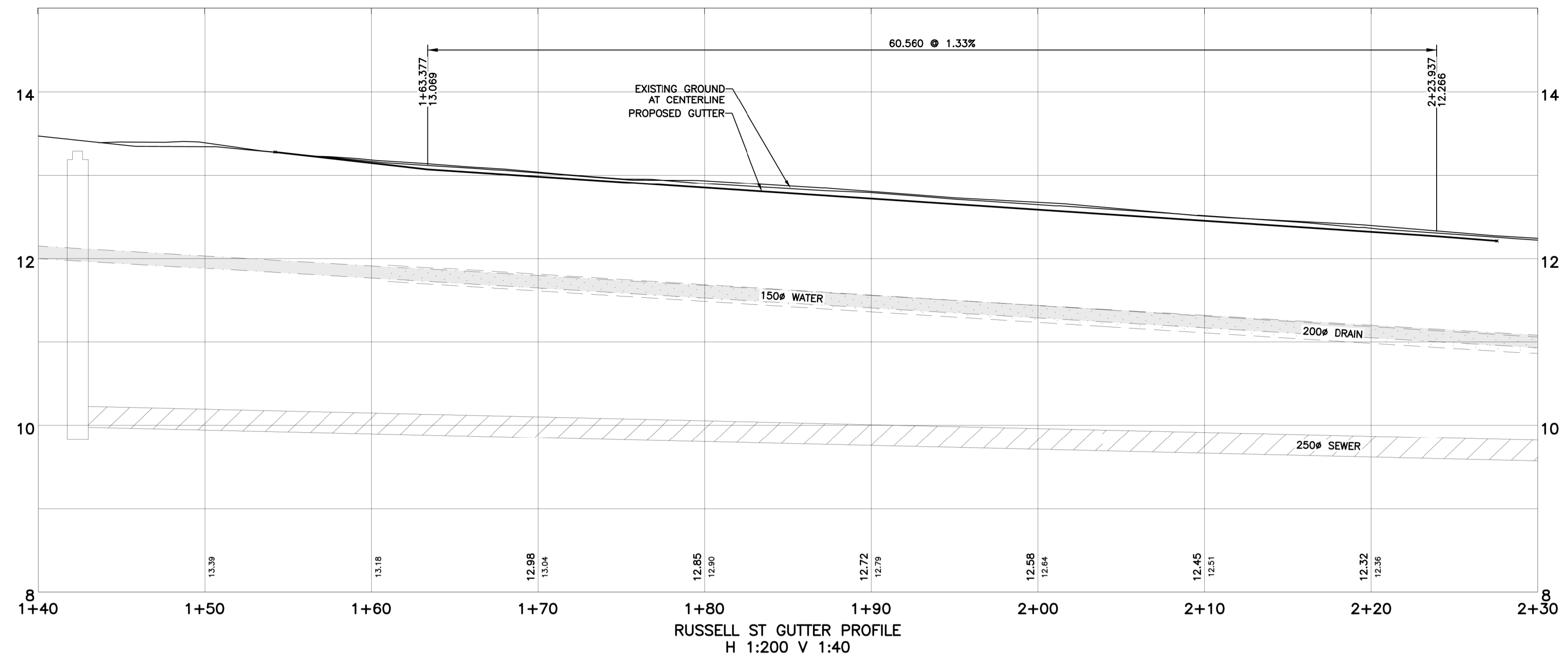
NUMBER OF 1' x 2' LIVEROOF TRAYS = 200

GREEN ROOF PLANTING

2-PLY TORCH ON ROOF MEMBRANE



GREENROOF PLAN



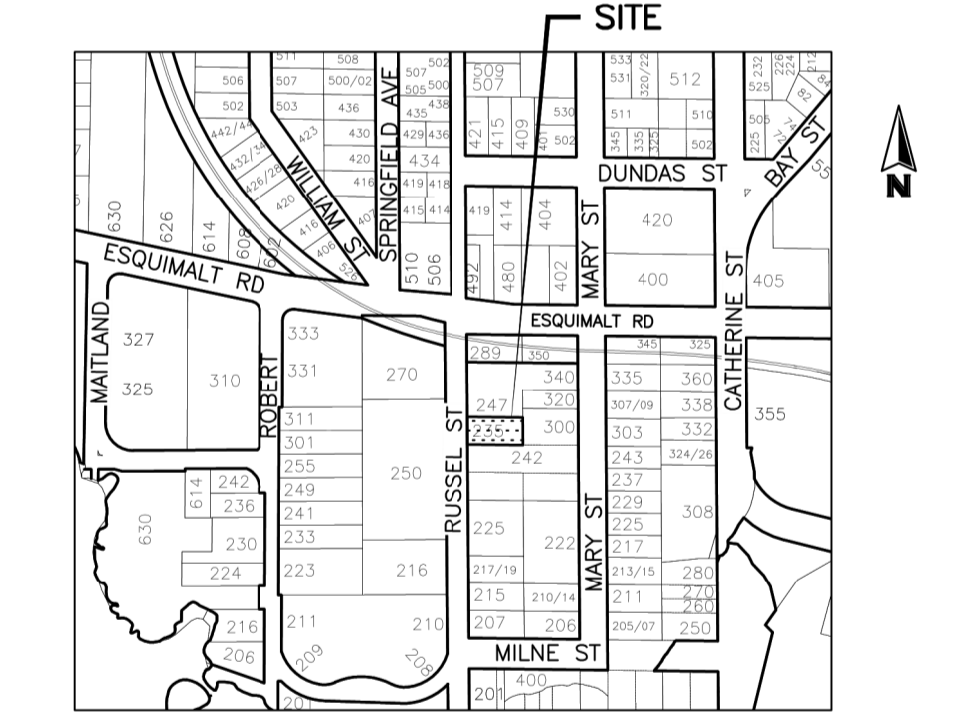
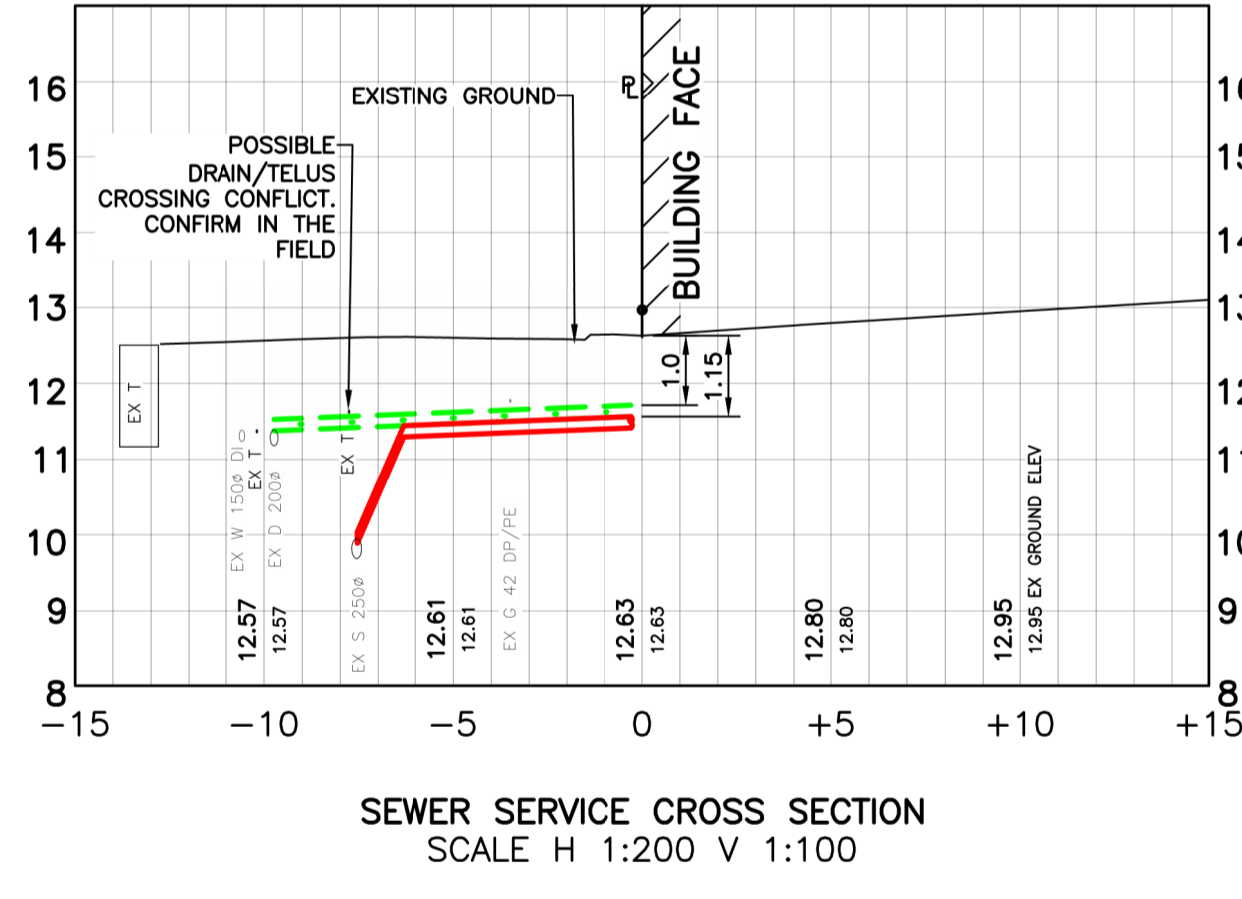
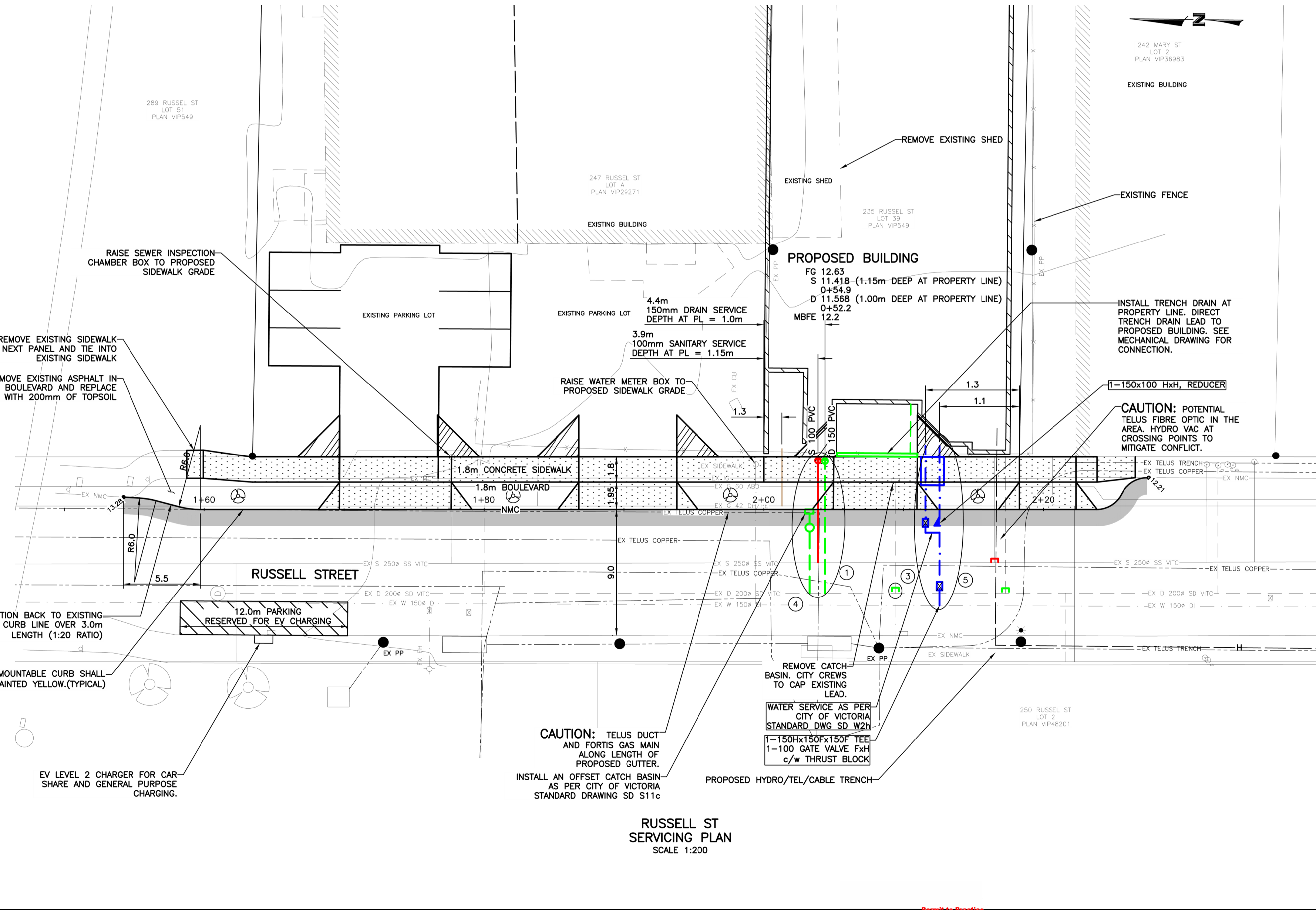
- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG RUSSELL STREET DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100mm PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 350mm PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- 1 THE CITY OF VICTORIA SHALL INSTALL 100mm SEWER AND 150mm DRAIN CONNECTIONS c/w INSPECTION CHAMBERS TO THE PROPERTY LINE OF THE LOT AT THE DEVELOPER'S EXPENSE.
 - 2 THE CITY OF VICTORIA SHALL CAP AND REMOVE EXISTING SEWER AND DRAIN SERVICES AT THE DEVELOPER'S EXPENSE.
 - 3 CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
 - 4 VIDEO INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.
 - 5 CITY OF VICTORIA FORCES SHALL CAP THE EXISTING CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.
 - 6 CITY OF VICTORIA FORCES SHALL SUPPLY AND INSTALL A 150mm CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.

- WATER**
- 5 THE CITY OF VICTORIA SHALL INSTALL THE PROVISIONAL 50mm DOMESTIC WATER c/w METER AND 100mm FIRE CONNECTIONS TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE AS PER CITY STANDARD #SDW2.
 - ENSURE A MINIMUM 300mm HORIZONTAL CLEARANCE AND A 150mm VERTICAL CLEARANCE FROM TELUS DUCTS AND GAS MAIN.

- ROAD**
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
 - DRIVEWAY CROSSING AS PER CITY STANDARD SDG7.

- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS**
- CONTACT 'B.C. ONE CALL' AT 1-800-474-8888 A MINIMUM OF THREE WORKING DAYS PRIOR TO PROPOSED BUILDING TO BE SERVICED UNDERGROUND.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.



LEGEND

- APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
- 100mm THICK CONCRETE SIDEWALK
- 200mm THICK ASPHALT DRIVEWAY CROSSING
- PROPOSED ELEVATION
- GU PROPOSED GUTTER ELEVATION
- TOC PROPOSED TOP OF CURB ELEVATION
- EXISTING GUTTER ELEVATION
- PROPOSED TREE

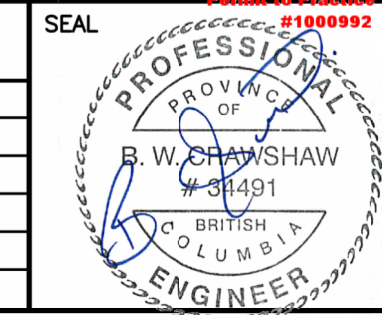
WORKS AND SERVICES CHECK TABLE

PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
HYDRO ELECTRIC CO.	Mike Dunham - BC Hydro	MB	Oct 19, 2018
TELEPHONE CO.	Wei Feng		Nov 14, 2018
GAS CO.	Arnold May		Nov 15, 2018
CABLE CO.			
FIBRE OPTIC CO.			
UNDERGROUND UTILITIES			
TRANSPORTATION DESIGN & INFRASTRUCTURE			
LAND DEVELOPMENT			

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND

WATER	GAS	EXISTING U/G UTL.	MANHOLE	HYDRANT	MONUMENT
— W —	— G —	— — —	⊙	⊕	⊕
— S —	— C —	— — —	⊙	⊕	⊕
— D —	— S/W —	— — —	⊙	⊕	⊕
— — —	— — —	— — —	⊙	⊕	⊕
— — —	— — —	— — —	⊙	⊕	⊕
— — —	— — —	— — —	⊙	⊕	⊕
— — —	— — —	— — —	⊙	⊕	⊕
— — —	— — —	— — —	⊙	⊕	⊕
— — —	— — —	— — —	⊙	⊕	⊕



REVISIONS

No.	DESCRIPTION	DATE	SIGN
10	REVISE GUTTER ALIGNMENT AND ELEVATION	25.07.07	PC
9	REVISE BUILDING ELEVATION ADD TRENCH DRAIN	24.05.03	PC
8	REISSUED FOR BUILDING PERMIT	24.02.26	PC
7	REVISED WATER SERVICE	23.04.03	PC
6	REVISED WATER SERVICE LOCATION	23.03.27	PC

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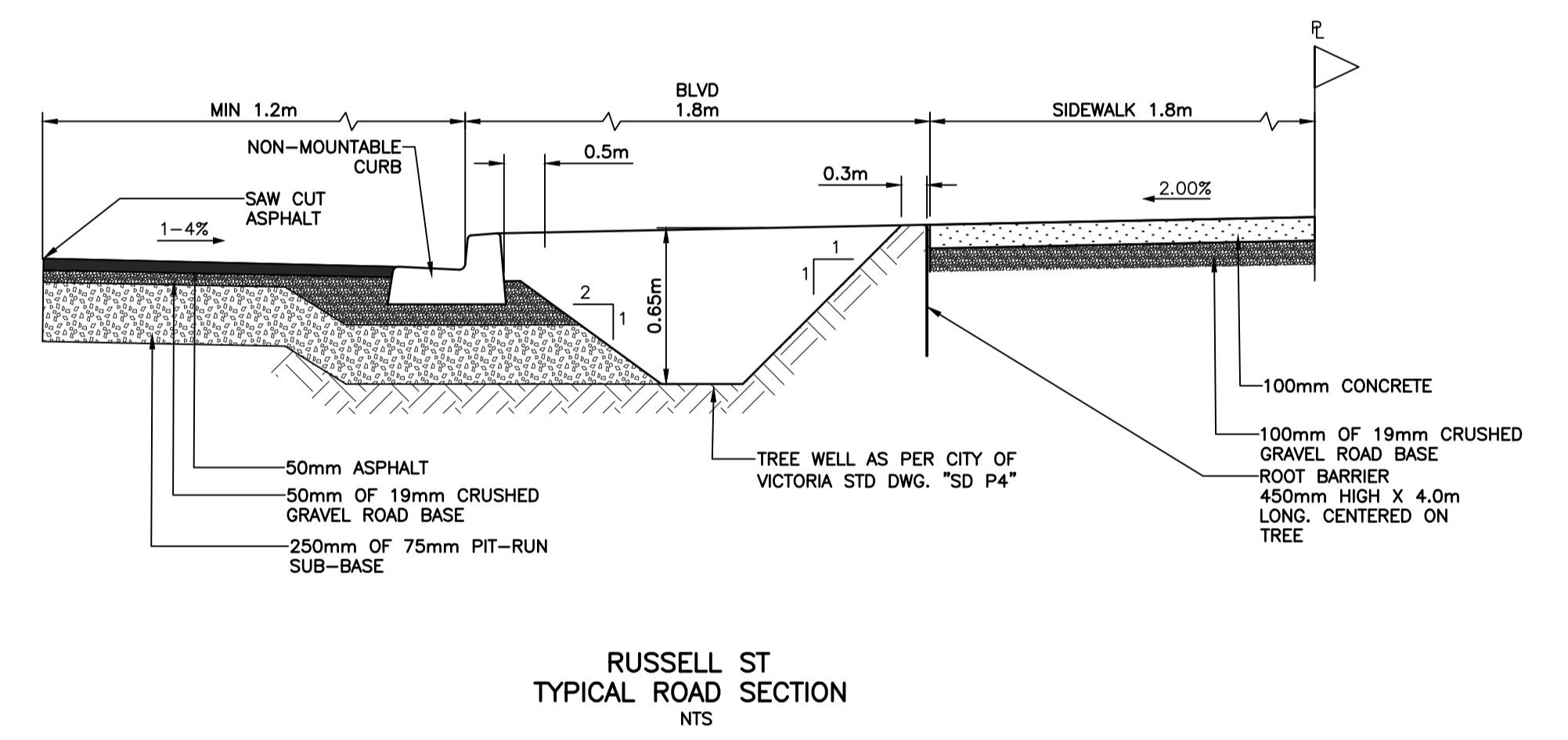
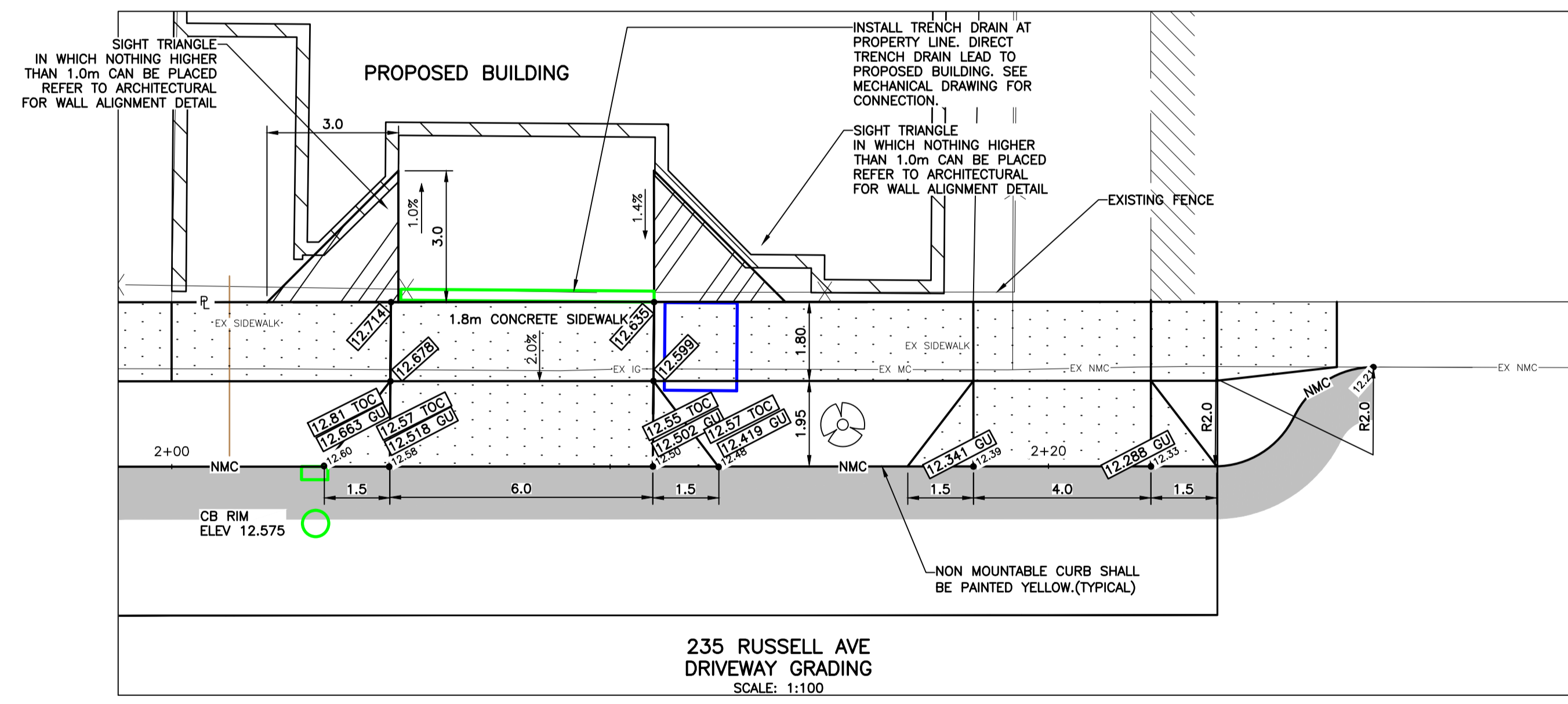
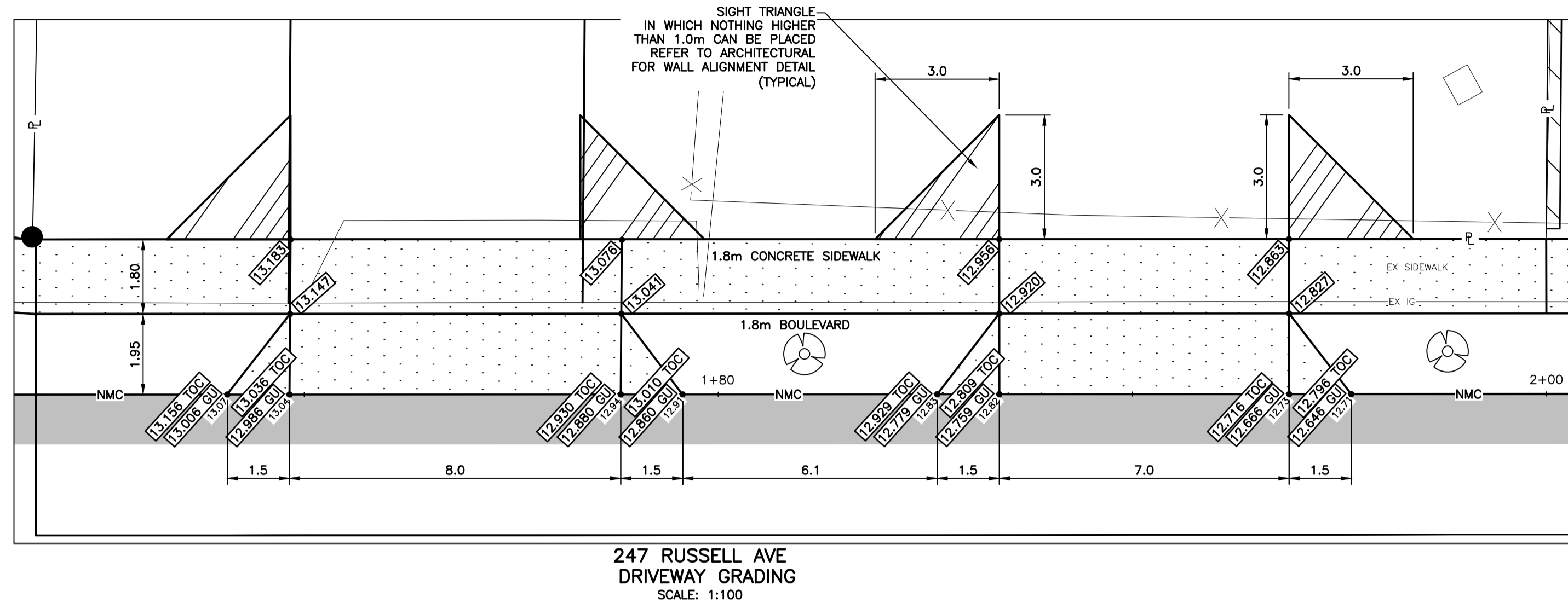
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT

235 RUSSELL STREET
SAKURA PROJECT MANAGEMENT

SITE SERVICING PLAN

WESTBROOK PROJECT No. 3340
GOVERNING AUTHORITY FILE No. 10
SHEET 1 OF 2 REV. 10
WESTBROOK DRAWING No. 334001



LEGEND

- APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
- 100mm THICK CONCRETE SIDEWALK 200mm THICK AT DRIVEWAY CROSSINGS
- xx.xx PROPOSED ELEVATION
- xx.xx GU PROPOSED GUTTER ELEVATION
- xx.xx TOC PROPOSED TOP OF CURB ELEVATION
- xx.xx EXISTING GUTTER ELEVATION
- PROPOSED TREE



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THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND		LEGEND		LEGEND	
WATER — W —	GAS — G —	EXISTING U/G UTL.	MANHOLE ⊙	HYDRANT ⊕	MONUMENT ⊕
SEWER — S —	CURB — C —	PROPOSED U/G UTL.	CLEANOUT ⊙	VALVE ⊕	LOT PIN •
DRAIN — D —	SIDEWALK S/W	LIGHT STANDARD	CATCHBASIN □	METER ⊕	LEAD PLUG ■
DITCH —>—>	EDGE PAVE.	POWER POLE	ROAD SIGN ⊕	REDUCER —>	
CULVERT —<—<	BUSHLINE	ANCHOR —>			
HEADWALL —<—<	TREE				

REVISIONS		DESIGNED BC	
No.	DESCRIPTION	DATE	SIGN
10	REVISE GUTTER ALIGNMENT AND ELEVATION	25.07.07	PC
9	REVISE BUILDING ELEVATION AND ELEVATION	24.05.03	PC
8	REISSUED FOR BUILDING PERMIT	24.02.26	PC
7	REVISED WATER SERVICE	23.04.03	PC
6	REVISED WATER SERVICE LOCATION	23.03.27	PC

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PROJECT
247 RUSSELL STREET
SAKURA PROJECT MANAGEMENT

OFFSITE SIDEWALK PLAN

WESTBROOK PROJECT No.		3340	
GOVERNING AUTHORITY FILE No.			
SHEET	OF	REV.	
2	2	10	
WESTBROOK DRAWING No.		3340-02	