



# 780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

HAV00034 CONCURRENT WITH REZ00825

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 35B

## PROJECT TEAM

OWNER	ARCHITECTURAL	LANDSCAPE	STRUCTURAL	TRANSPORTATION
Reliance Properties	office of mcfarlane biggar architects + designers	Gauthier + Associates Landscape Architects	Read Jones Christoffersen Ltd.	WATT Consulting Group
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GEOTECHNICAL	MECHANICAL	ELECTRICAL	ARBORIST	CIVIL
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Contact Cameron Schellenberg cschellenberg@ryzuk.com	Contact Andy Chong achong@integralgroup.com	Contact Jay Singh jay.singh@e2eng.ca	Contact Daryl Clark dclarkarbor@gmail.com	Contact Jeff Somerville Jeff.Somerville@wsp.com

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## LANDSCAPE DRAWINGS:

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L0.3	DEMOLITION PLAN
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L2.0	LEVEL 5: MATERIALS AND LAYOUT PLAN
L3.0	PRECEDENT IMAGES
L4.0	SECTIONS
L4.1	SECTIONS

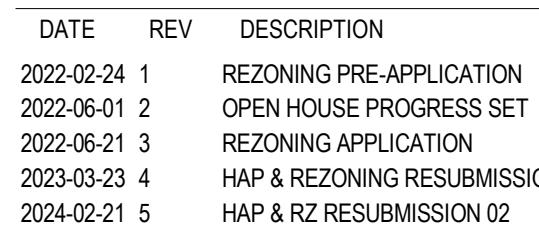
## CIVIL DRAWINGS:

C01	CONCEPTUAL CIVIL PLAN
C02	CONCEPTUAL SURFACE WORKS & SITE GRADING
C03	CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING
C04	SECTION AND SECTION

## SURVEY:

TOPOGRAPHIC SURVEY

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & R2 RESUBMISSION 02





1 AERIAL VIEW



2 BLANSHARD STREET ENTRY PLAZA



3 PENWILL GREEN PARK

omb

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architects + designers

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 RELIANCE  
PROPERTIES

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780 Blanshard Street, Victoria, BC  
2019-039

3D VIEWS

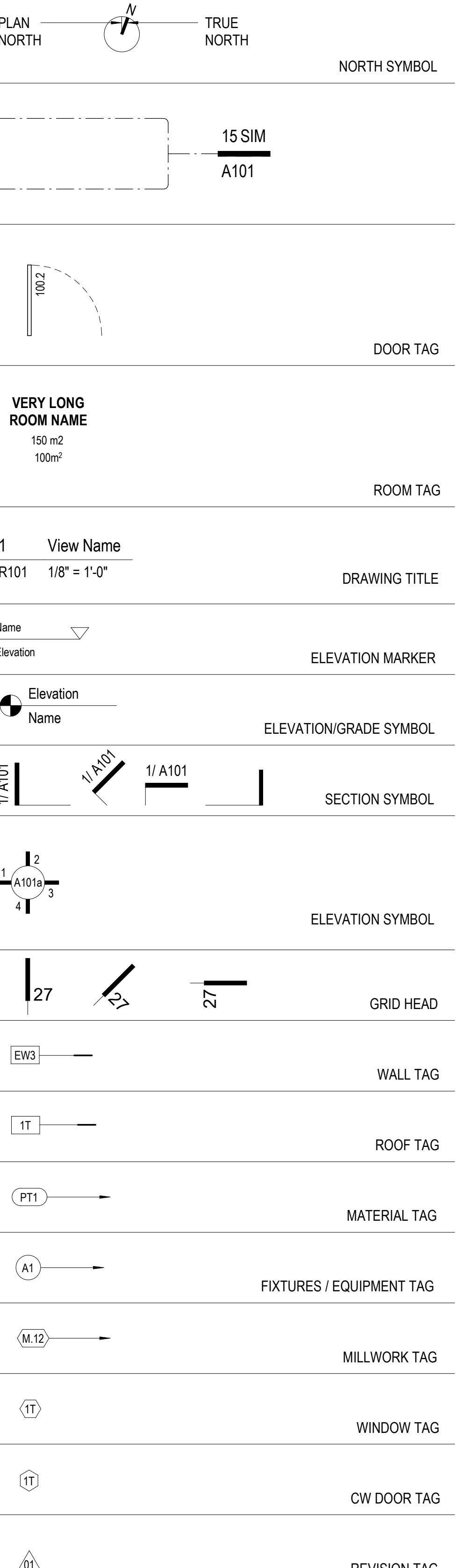
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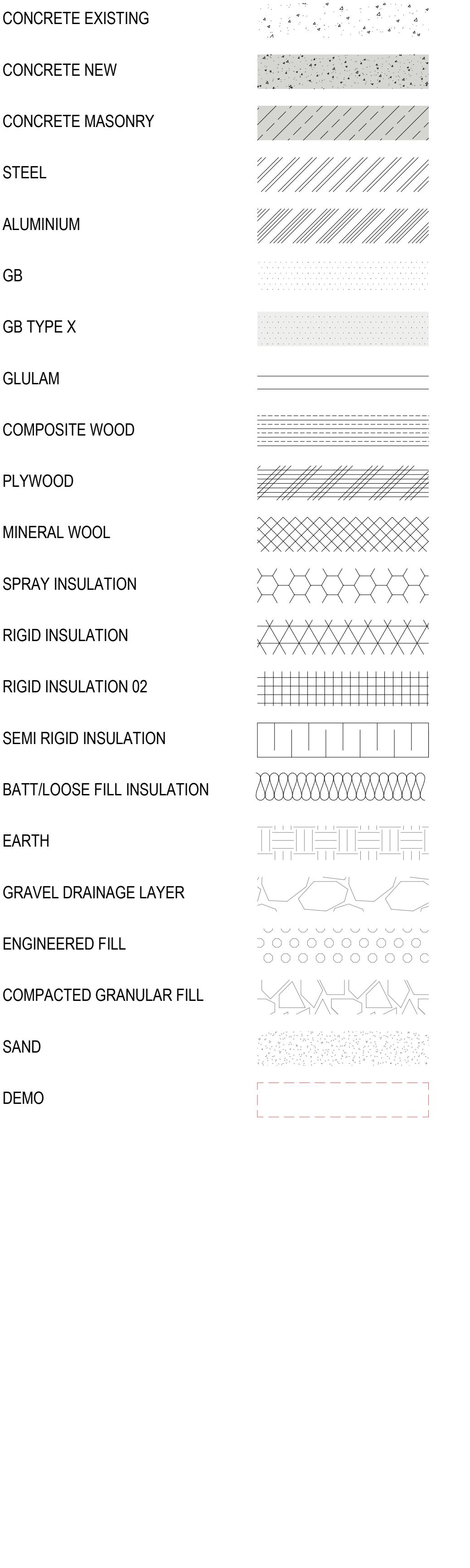
## GENERAL NOTES

- THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.
- ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.
- ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.
- ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES."
- ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED. CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
- CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.
- PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.
- GLAZING IN DOORS, SIDELIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
- GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.
- ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY, ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750mm, MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.
- PLAN DETAILS SUPERCEDE WALL TYPE DEFINITION.
- ALL DIMENSIONS ARE TO GRIDLINE, FACE OF CONCRETE, FACE OF NEW STUD WALL, FACE OF FINISHED STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.
- UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.
- ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
- ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.
- PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILLWORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.
- CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED BLOCKING IN WALLS AND CEILING REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.
- THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HAND EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.
- THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATIC UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.

## SYMBOLS LEGEND



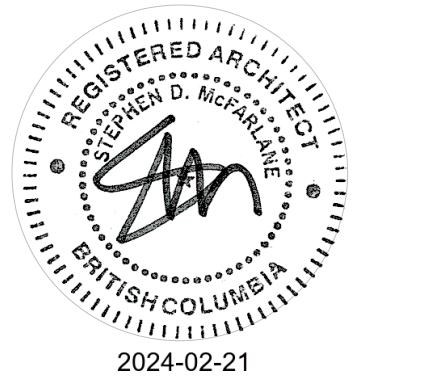
## HATCHES



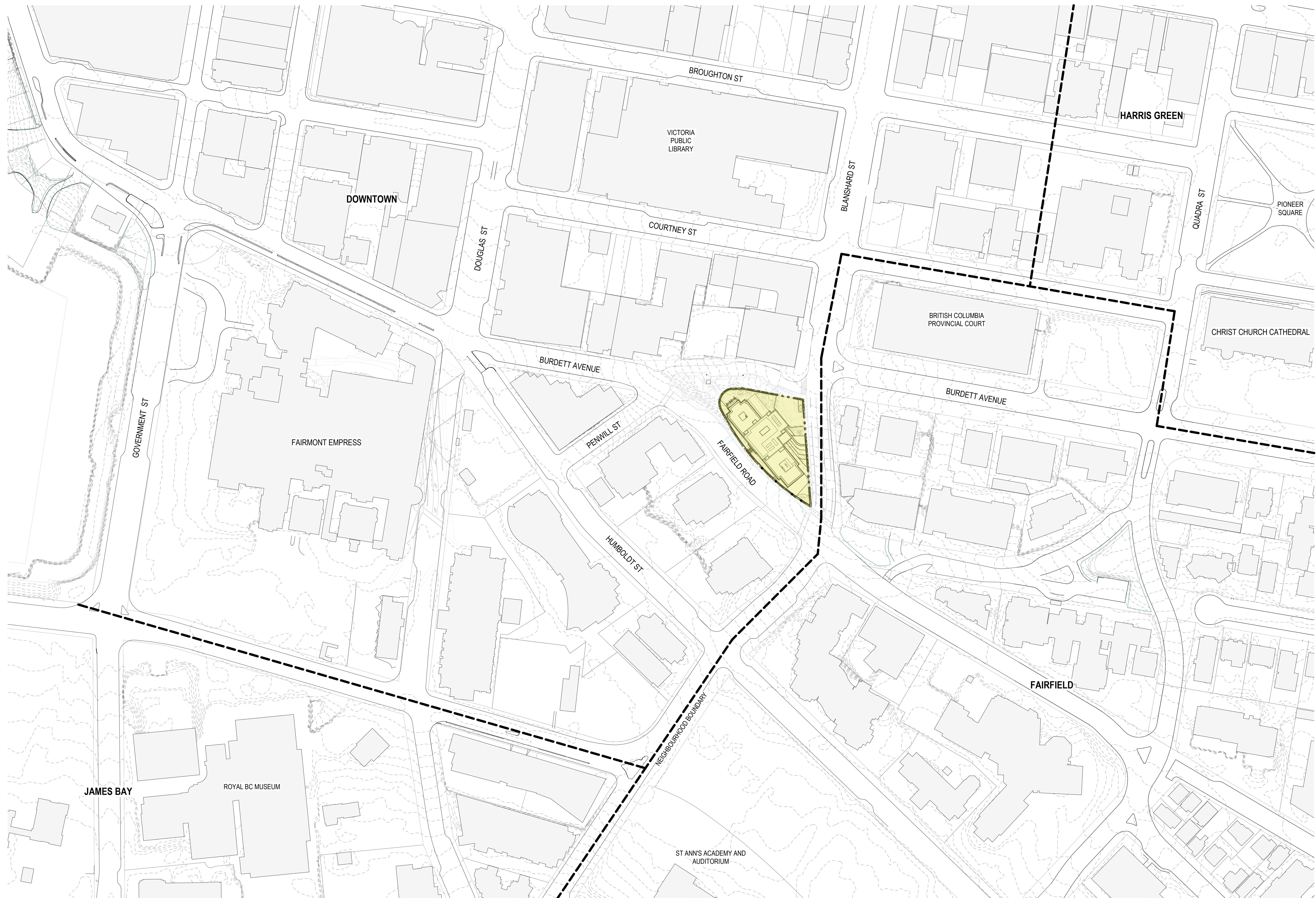
## ABBREVIATIONS

& / + AND	OC ON CENTRE
@ AT	OD OUTSIDE DIMENSION
# NUMBER	OH OVER HEAD
± PLUS/MINUS	OP OPERABLE PARTITION
	OPP OPPOSITE
	OV OVEN
AFF ABOVE FINISHED FLOOR	PA PUBLIC ADDRESS SPEAKER
AL/ALUM ALUMINUM	PLY PLYWOOD
APPROX/APPROMATE(LY)	PL PROPERTY LINE
ARCH ARCHITECTURAL	PT PAINT
BCBC BRITISH COLUMBIA BUILDING CODE	PTD PAINTED
BLDG BUILDING	PTN PARTITION
BO BOTTOM OF	
BOH BACK OF HOUSE	
C/W COMPLETE WITH	RD ROOF DRAIN
CB CATCH BASIN	REQD REQUIRED
CIP CAST IN PLACE	REV REVISION OR REVERSE
CJ CONTROL JOINT	RM ROOM
CL CENTRE LINE	RO ROUGH OPENING
CO CLEAN OUT	RVL REVEAL
COMM COMMUNICATION	RWL RAIN WATER LEADER
CON CONCRETE	SC SIAMESE CONNECTION
CONT CONTINUOUS	SCHED SCHEDULE
CPT CARPET	SCWD SOLID CORE WOOD DOOR
CTR CENTRE	SECT SECTION
DBL DOUBLE	SH SHELF
DET DETAIL	SP SPRINKLER
DEMO DEMOLITION	SPEC SPECIFICATION
DF DRINKING FOUNTAIN	SQ SQUARE
DIA DIAMETER	SQ FT SQUARE FEET
DIM DIMENSION	SQ M SQUARE METRES
DN DOWN	SS STAINLESS STEEL
DWG DRAWING	SSG STRUCTURALSILICONE GLASS
DR DOOR	ST STAIR
DRW DRAWER	STD STANDARD
DW DISHWASHER	STL STEEL
	STOR STORAGE
	STRU STRUCTURAL
	SUSP SUSPENDED
EA EACH	TBC TO BE CONFIRMED
EJ EXPANSION JOINT	TBD TO BE DETERMINED
EL ELEVATION	TD TRENCH DRAIN
ELEC ELECTRICAL	T&G TONGUE AND GROOVE
EMER EMERGENCY	TL TILE
ELEV ELEVATOR	TO TOP OF
ENCL ENCLOSURE	TOC TOP OF CURB/CONCRETE
EQ EQUAL	TOF TOP OF FINISH
EQUIP EQUIPMENT	TOFF TOP OF FINISHED FLOOR
EXIST EXISTING	TOS TOP OF STRUCTURE
EXP EXPOSED	TOW TOP OF WALL
EXT EXTERIOR	TYP TYPICAL
FA FIRE ALARM	UNO UNLESS NOTED OTHERWISE
FD FLOOR DRAIN	U/S UNDERSIDE
FF FINISHED FLOOR	UH UTILITY HOLE
FHC FIRE HOSE CABINET	VBBL VANCOUVER BUILDING BYLAW
FIN FINISHED(ED)	VERT VERTICAL
FLR FLOOR	VEST VESTIBULE
FND FOUNDATION	VIF VERIFY IN FIELD
FO FACE OF	WC WATER CLOSET
FP FALL PROTECTION	WD WOOD
FR FRIDGE	WRHS WAREHOUSE
FRR FIRE RESISTANCE RATING	WH WAREHOUSE
FT FOOT or FEET	WV WOOD VENEER
	W/ WITH
	W/O WITHOUT
G/L GRIDLINE	
G1S GOOD ONE SIDE	
G2S GOOD TWO SIDES	
GA GAUGE	
GALV GALVANIZED	
GL GLASS or GLAZED	
GR GRADE	
GRND GROUND	
GB GYPSUM BOARD	
HB HOSE BIB	
HCWD HOLLOW CORE WOOD DOOR	
HDWR HARDWARE	
HPDL HIGH PRESSURE DECORATIVE LAMINATE	
HORIZ HORIZONTAL	
HT HEIGHT	
INSUL INSULATION	
INT INTERIOR	
JC JANITOR CLOSET	
JT JOINT	
LAM LAMINATE / LAMINATED	
LS LAMP STANDARD	
LT LIGHT	
MAT MATERIAL	
MAX MAXIMUM	
MC METAL CLADDING	
MECH MECHANICAL	
MET METAL	
MFR MANUFACTURER	
MIN MINIMUM	
MIR MIRROR	
MISC MISCELLANEOUS	
MTD MOUNTED	
MUL MULLION	
MW MICROWAVE	
N/A NOT APPLICABLE	
NBC NATIONAL BUILDING CODE	
NIC NOT IN CONTRACT	
NOM NOMINAL	
NTS NOT TO SCALE	





DATE REV DESCRIPTION  
2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02



A010

## PROJECT INFORMATION TABLE

	Existing	Permitted / Required	Proposed	Notes
<b>Zone</b>	CBD-1	-	New Zone	
<b>Site Area</b>	2,272 m <sup>2</sup> / 24,460 ft <sup>2</sup>	-	-	
<b>Site Coverage</b>	46%	-	45%	
<b>Open Site Space</b>	43%	-	51%	
<b>Height of building</b>	15.01 m	43 m	64.18 m	
<b>Number of Storeys</b>	4	-	20 (4 Existing + 16 Addition)	
<b>Parking Stalls</b>	6	99 stalls	2 on-site + 25 off-site stalls	See detail tables and Parking & TDM Study and Traffic Impact Assessment from WATT Consulting Group for details on traffic impacts, vehicle parking demand management, transit improvements, and active transportation measures.
<b>Bicycle parking number (class 1)</b>	0	111	161	
<b>Bicycle parking number (class 2)</b>	8	14	29	
<b>Building Setbacks</b>				
			<b>L01 - L04</b>	<b>L06 - L20</b>
Front Yard - Blanshard Street	1.19 m	-	2.33 m	9.73 m
Side/Rear Yard - Burdett Avenue	6.65 m	-	6.65 m	8.90 m
Side/Rear Yard - Fairfield Road	1.11 m	-	1.11 m	3.25 m
<b>Residential Use Details</b>				
Total Number of Units	No existing residential use	-	98	
Unit type, e.g. 1 bedroom	-	-	Studio: 23 1-Bed: 38   1-Bed + Den: 16 2-Bed: 16   2-Bed + Den: 3 3-Bed: 3	See tables for additional detail.
Ground oriented units	-	-	0	
Minimum Unit Floor Area	-	-	36.6 m <sup>2</sup>	
Total Residential Floor Area	-	-	6,906.7 m <sup>2</sup>	
<b>Area and Floor Space Ratio</b>				
Commercial	1.67		1.5	
Residential - Strata	-		3.0	See tables for additional detail.
<b>Total</b>	<b>1.67</b>	CBD-1: 3.0   DCAP: 6.0 (3.0 max residential)	<b>4.5</b>	

## VEHICLE PARKING

FOR MORE DETAILED INFORMATION ON VEHICLE PARKING AND TRANSPORTATION DEMAND MANAGEMENT MEASURES, SEE PARKING & TDM STUDY FROM WATT CONSULTING GROUP

ID	FORMULA	UNITS		REQUIREMENT	
		A	B	C	D
				=A*B	
		UNITS or AREA	SPACES / UNIT (Condominium use)*	REQUIREMENT	ROUNDED TOTAL
UNITS <45m <sup>2</sup>		59	0.65	38.4	
UNITS >=45m <sup>2</sup> and <=70m <sup>2</sup>		33	0.80	26.4	
UNITS >70m <sup>2</sup>		6	1.20	7.2	
					72
Visitor (Total # Units)		98	0.10	9.8	
					10
Hotel (Rooms)		96	0.25	24.0	
Café (m <sup>2</sup> )		136	-	-	
					24
				total	106
PROPOSED					
On-Site Stalls					2
Off-Site Stalls					25
				total	27

## BICYCLE PARKING

FOR MORE DETAILED INFORMATION ON BICYCLE PARKING AND TRANSPORTATION DEMAND MANAGEMENT MEASURES, SEE PARKING & TDM STUDY FROM WATT CONSULTING GROUP

ID FORMULA	USE	UNIT COUNT	REQUIREMENT		NUMBER REQUIRED	
			A	B	C $= A * B$	D
RESIDENTIAL USE	Units <45m <sup>2</sup>	59 Suites	1 per Suite	59.0	0.1 per Suite	6
	Units >=45m <sup>2</sup> <70m <sup>2</sup>	33 Suites	1.25 per Suite	41.3	0.1 per Suite	3
	Units >70m <sup>2</sup>	6 Suites	1.25 per Suite	7.5	0.1 per Suite	0.6
HOTEL	Rooms	96 Rooms	1 per 25 rooms	3.8	1 per 40 rooms	2.4
FOOD + BEVERAGE	Floor Area	136 m <sup>2</sup>	1 per 400 m2	0.3	1 per 100 m2	1.4
			Residential total†	108	Residential total†	10
			Hotel + F&B total†	4	Hotel + F&B total†	4
			Total	112	Total	14

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2024-02-2

Stacked Stall (Lower Tier)	26	
Stacked Stall (Upper Tier)	39	
<b>Total Residential</b>	<b>145</b>	
 <b>HOTEL + CAFÉ USE</b>		
Horizontal Stall (Standard Size)	4	
Horizontal Stall (Cargo Size)	1	
<b>Total Hotel + Café</b>	<b>5</b>	
 <b>SHARED USE</b>		
Building Ebikes	11	
Horizontal Stall (Standard Size)‡		16
Horizontal Stall (Cargo Size)‡		3
<b>Total Shared</b>	<b>11</b>	
		<b>Total 161</b>
		<b>Total 199</b>

**NOTES**

- \* From Victoria Zoning Bylaw 2018, Part 5 Requirements for Motor Vehicle and Bicycle Parking
- † Rounded to nearest full stall
- ‡ All long-term stalls to have access to outlets for ebike charging
- § Some stalls electrified for ebike charging; see A100 for details

700 Bluestreaks, 700 Bluewings, 4000

780 Blanshard Street, Victoria,  
2019-039

## PROJECT INFO



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2023-02-17	1	ISSUED FOR COORDINATION
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The proposal as seen from View 1: Laurel Point to Downtown Core Area.

In View 1 from Laurel Point, the proposal helps to establish the anticipated CBD backdrop articulated in the DCAP at the boundary between the Historic Commercial District and the Inner Harbour Causeway area, creating a multilayered and tiered urban profile. It contributes to this backdrop with a reserved material palette and regular fenestration pattern, allowing the richly detailed facades of the historic building stock to maintain prominence. The slim massing of the tower maximizes the sky view and preserves the legibility of the Empress Hotel's roofline. By preserving the scale and character of the existing BC Power Commission Building as a podium, the proposal also helps maintain a massing and proportion that is compatible with the surrounding context at street level.



The proposal as seen from View 2: Inner Harbour from Songhees Point.

In View 2 from Songhees Point, the proposal is visible at the northern extent of this view as a backdrop to the Empress Hotel and the Customs House in a cluster of other tall contemporary buildings. It contributes to the anticipated stepped urban backdrop that helps frame the historic buildings along the Inner Harbour Causeway. The profile of the proposal is simple and quiet, allowing the variegated roofline of the Empress Hotel to remain legible and prominent. The facade is crafted from high quality materials that complement the surrounding context while remaining distinguishable and contemporary. The slim massing creates a unique fixture in the skyline, while the refined fenestration and balcony pattern does not detract from the prominence of the many important landmarks along the Inner Harbour Causeway.

#### Public External Views

The proposed addition appears in two of the public external views of downtown identified in DCAP Appendix 2. Visualizations of the proposal from the View 1: Laurel Point to Downtown Core Area and View 2: Inner Harbour from Songhees Point are shown below.

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780 Blanshard Street, Victoria, BC  
2019-039

PUBLIC EXTERNAL VIEWS

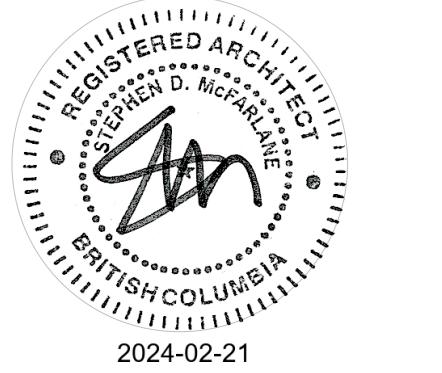
Additional visualizations and analysis of shadowing, near and distant perspective views, and the impact of the proposed addition on the existing views from two nearby high rise residential developments are included in the Large Project Supplementary Information Booklet.



1 STREETSCAPE ALONG BLANSHARD STREET

A013 N.T.S.

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2 STREETSCAPE ALONG FAIRFIELD ROAD

A013 N.T.S.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

CONTEXT STREETSCAPES

2024-02-21 14:53:35 PM N.T.S.

A013



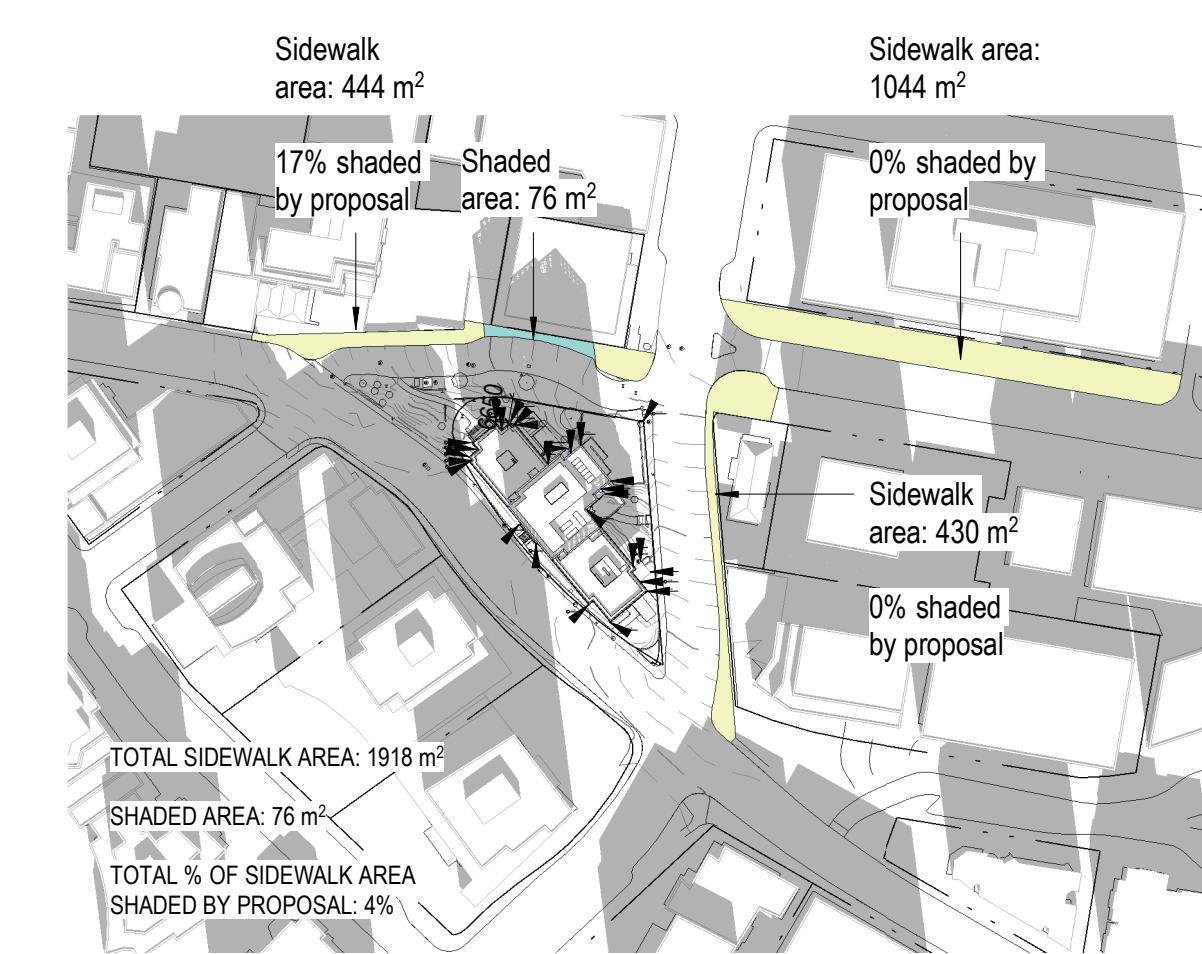
1 Shadow Analysis - Proposed - Equinox 10am



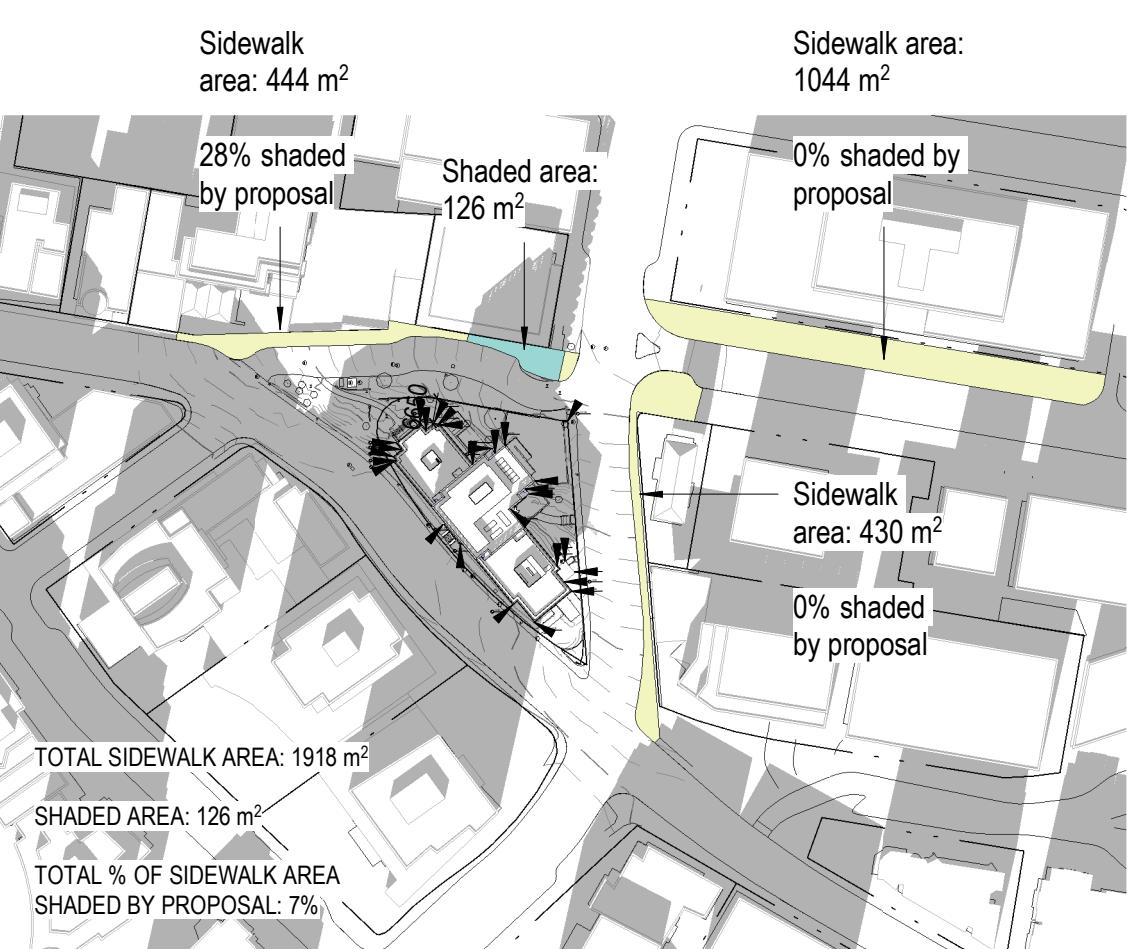
2 Shadow Analysis - Proposed - Equinox 11am



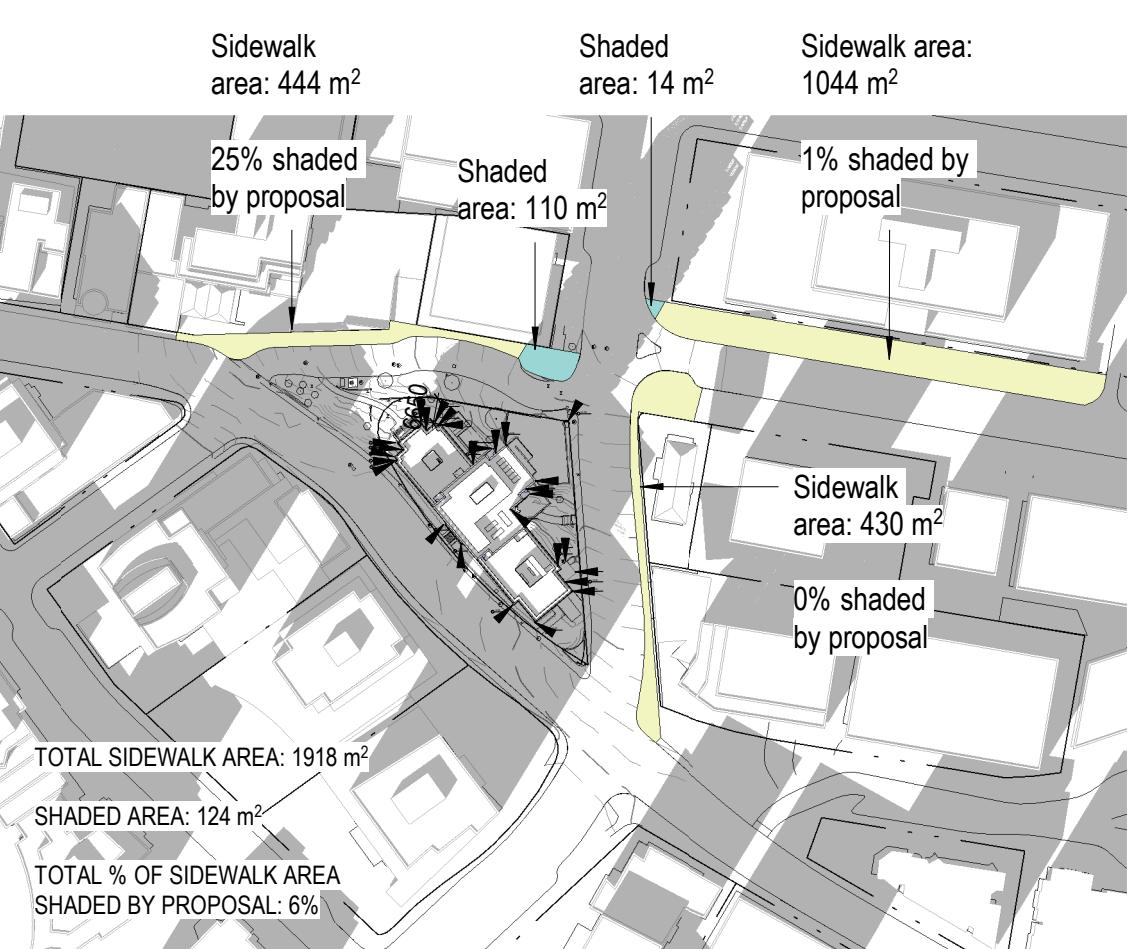
3 Shadow Analysis - Proposed - Equinox 12pm



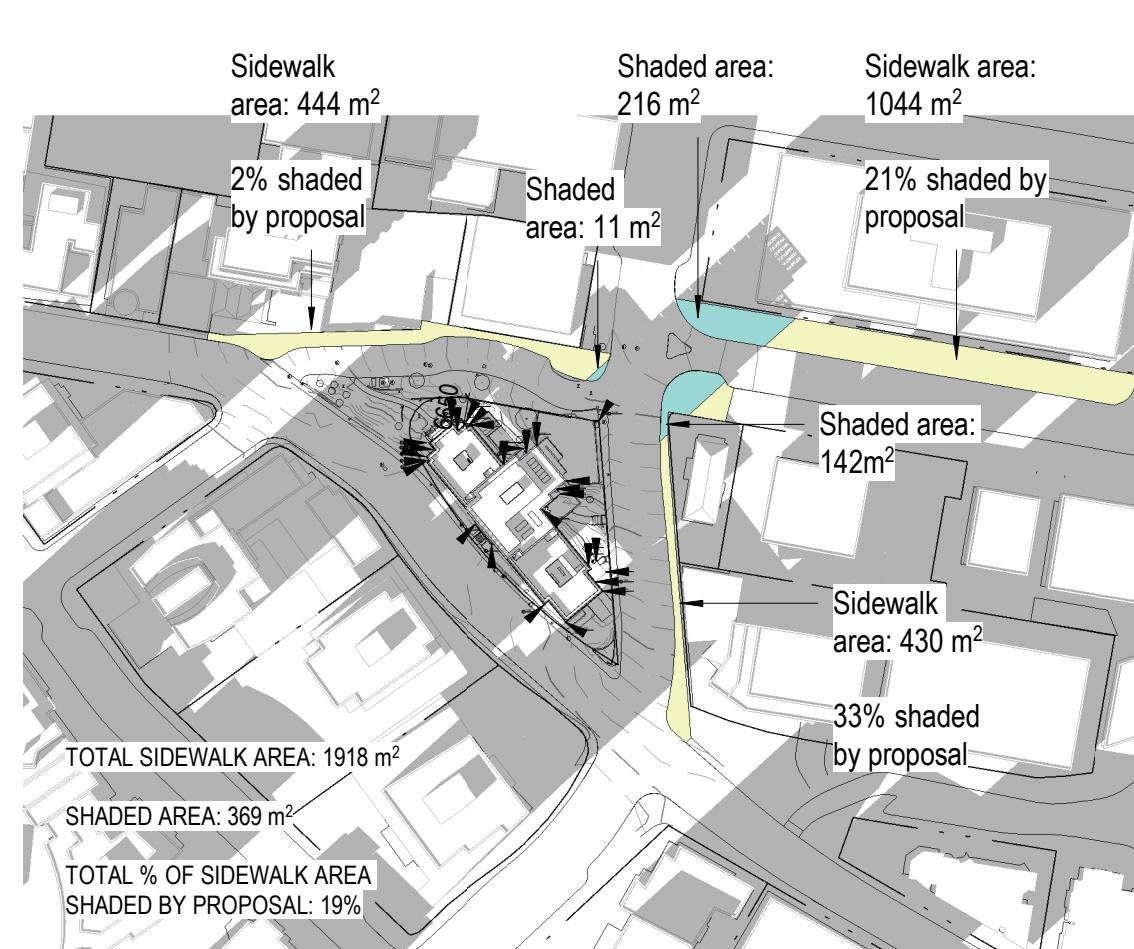
4 Shadow Analysis - Proposed - Equinox 1pm



5 Shadow Analysis - Proposed - Equinox 2pm



6 Shadow Analysis - Proposed - Equinox 3pm



7 Shadow Analysis - Proposed - Equinox 4pm

DATE	REV	DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION
2024-02-21	2	HAP & RZ RESUBMISSION 02

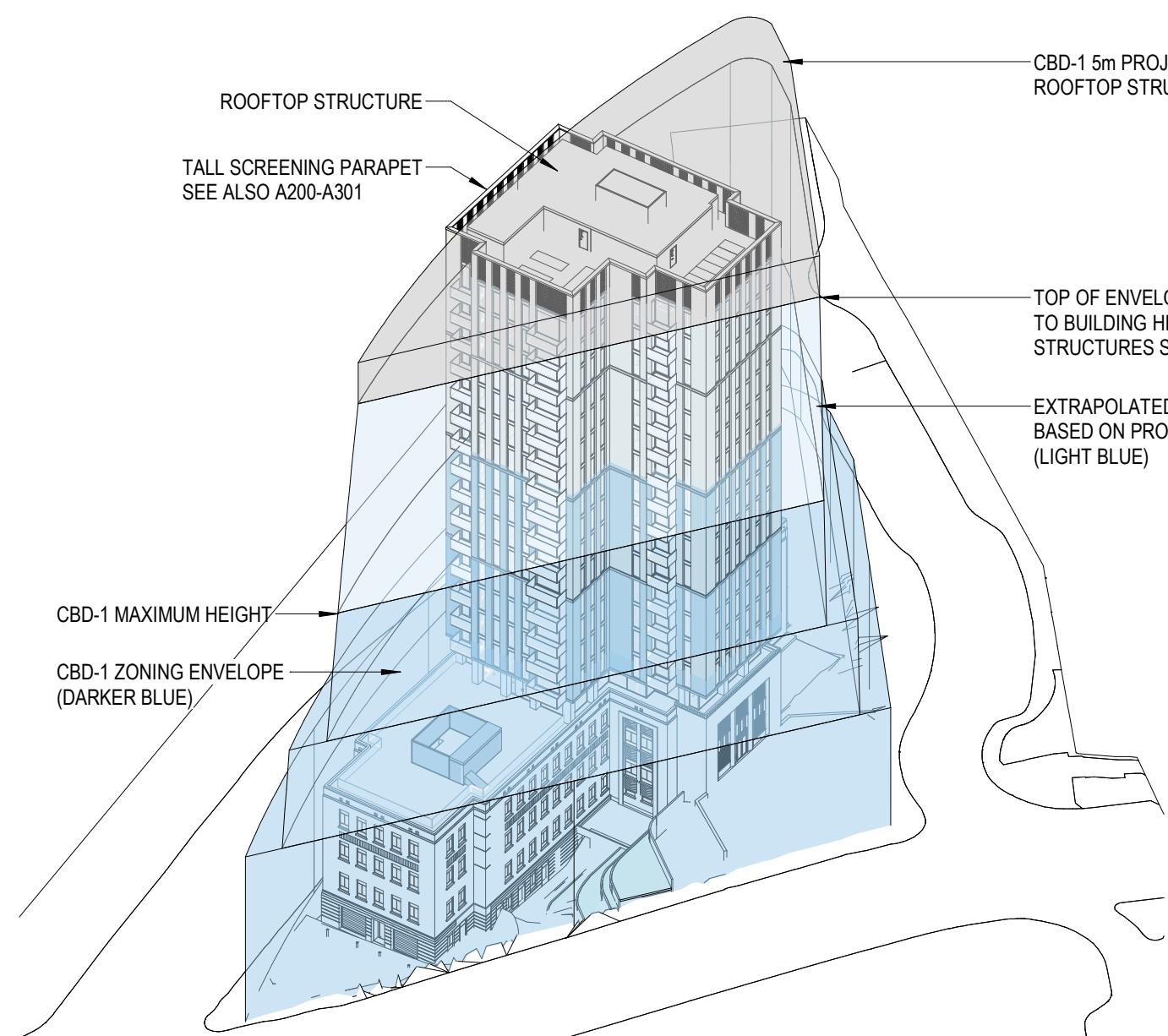
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780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

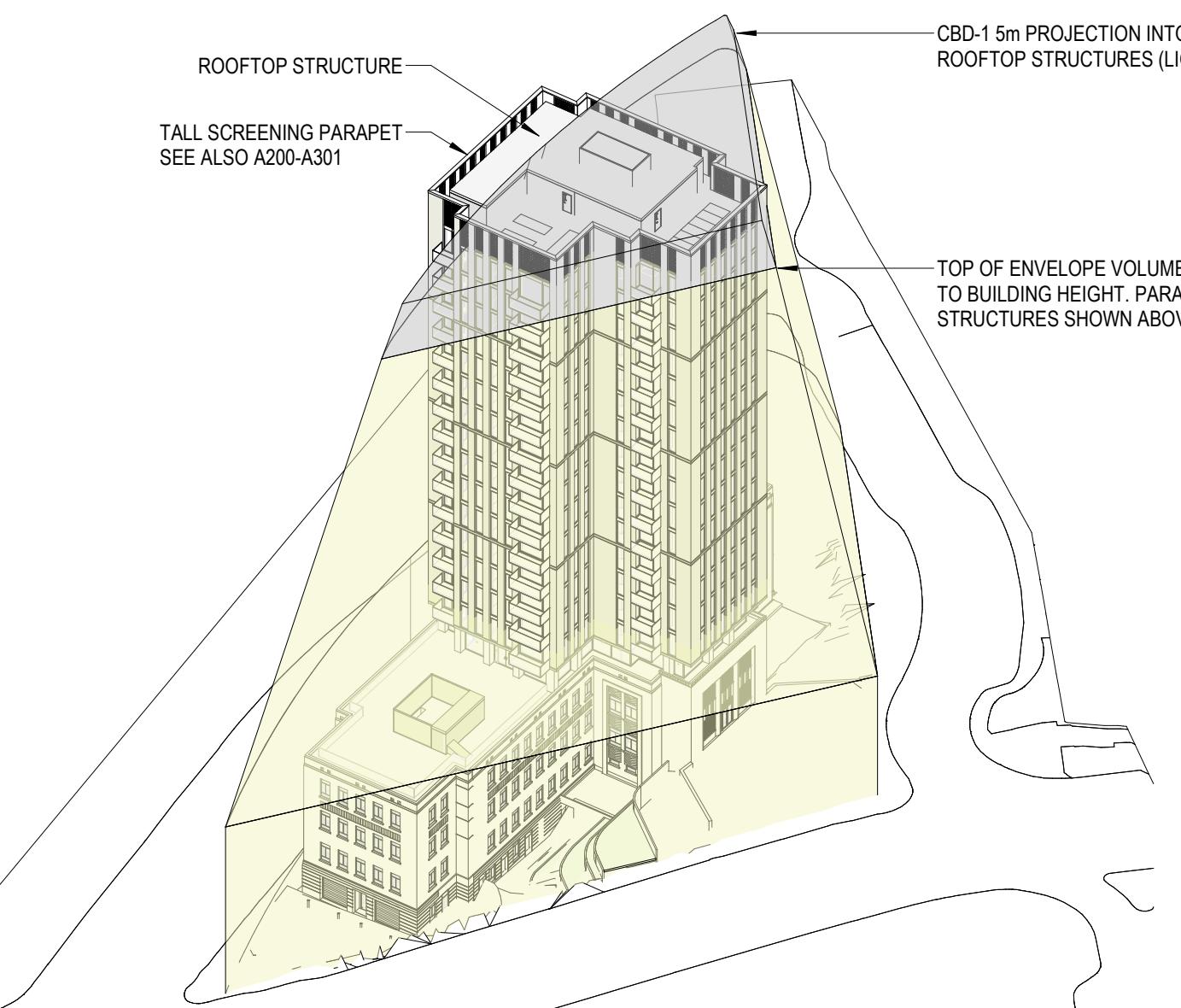
SHADOW ANALYSIS - EQUINOX

2024-02-21 14:57:30 PM  
1 : 2000  
A014



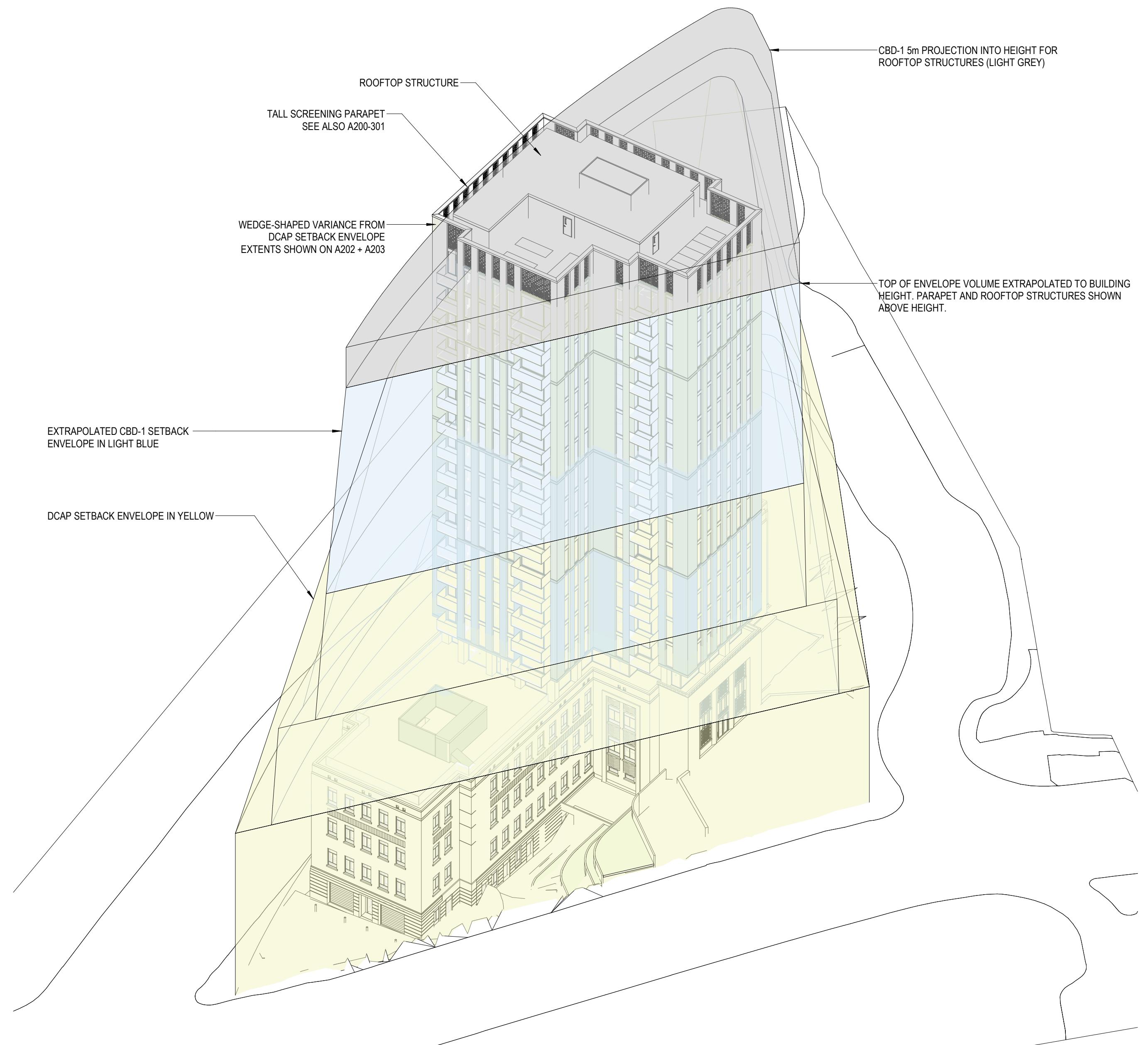
3 Axonometric View of CBD-1 Setback Envelope

A015



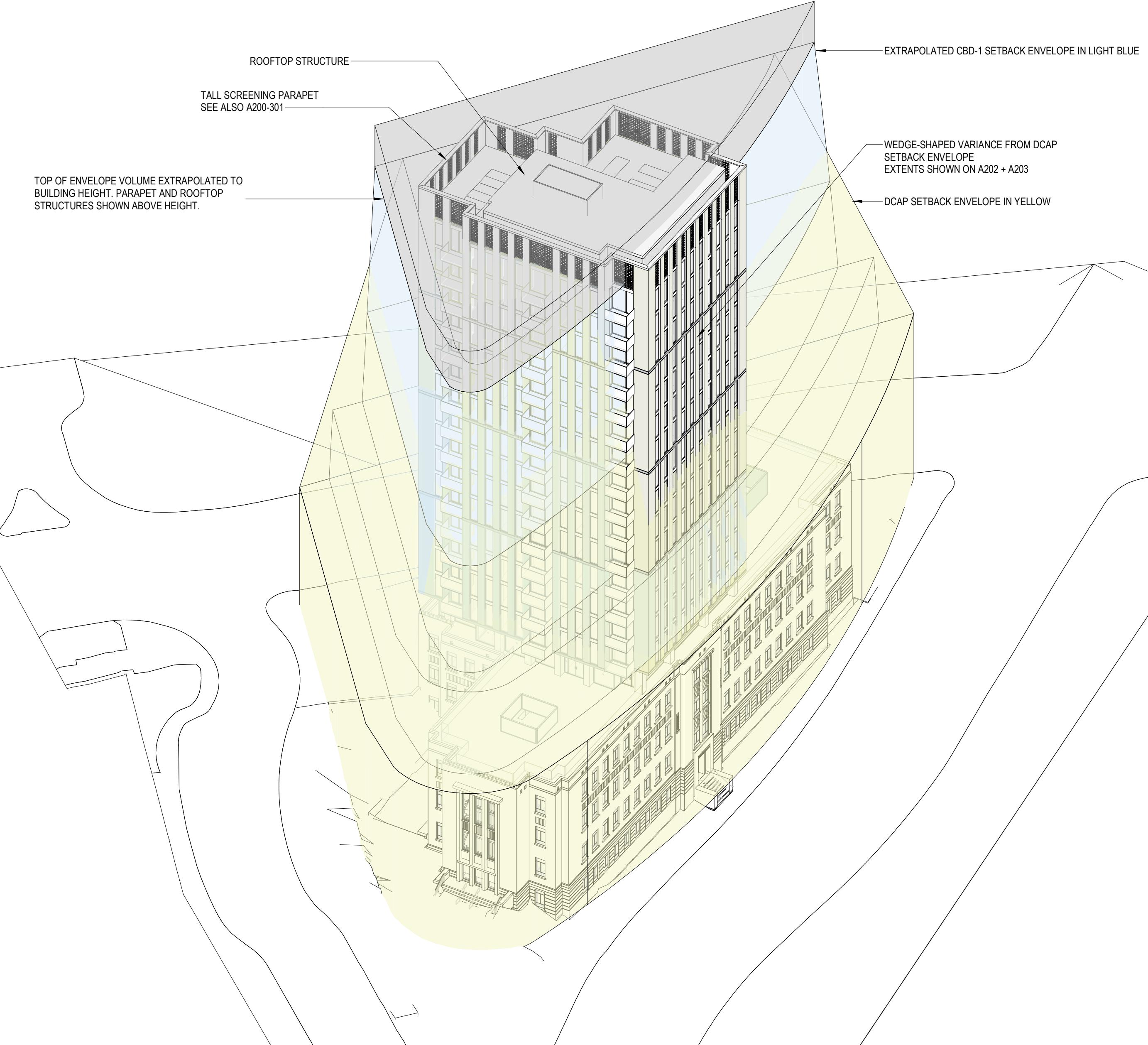
4 Axonometric View of DCAP Setback Envelope

A015



1 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (East)

A015



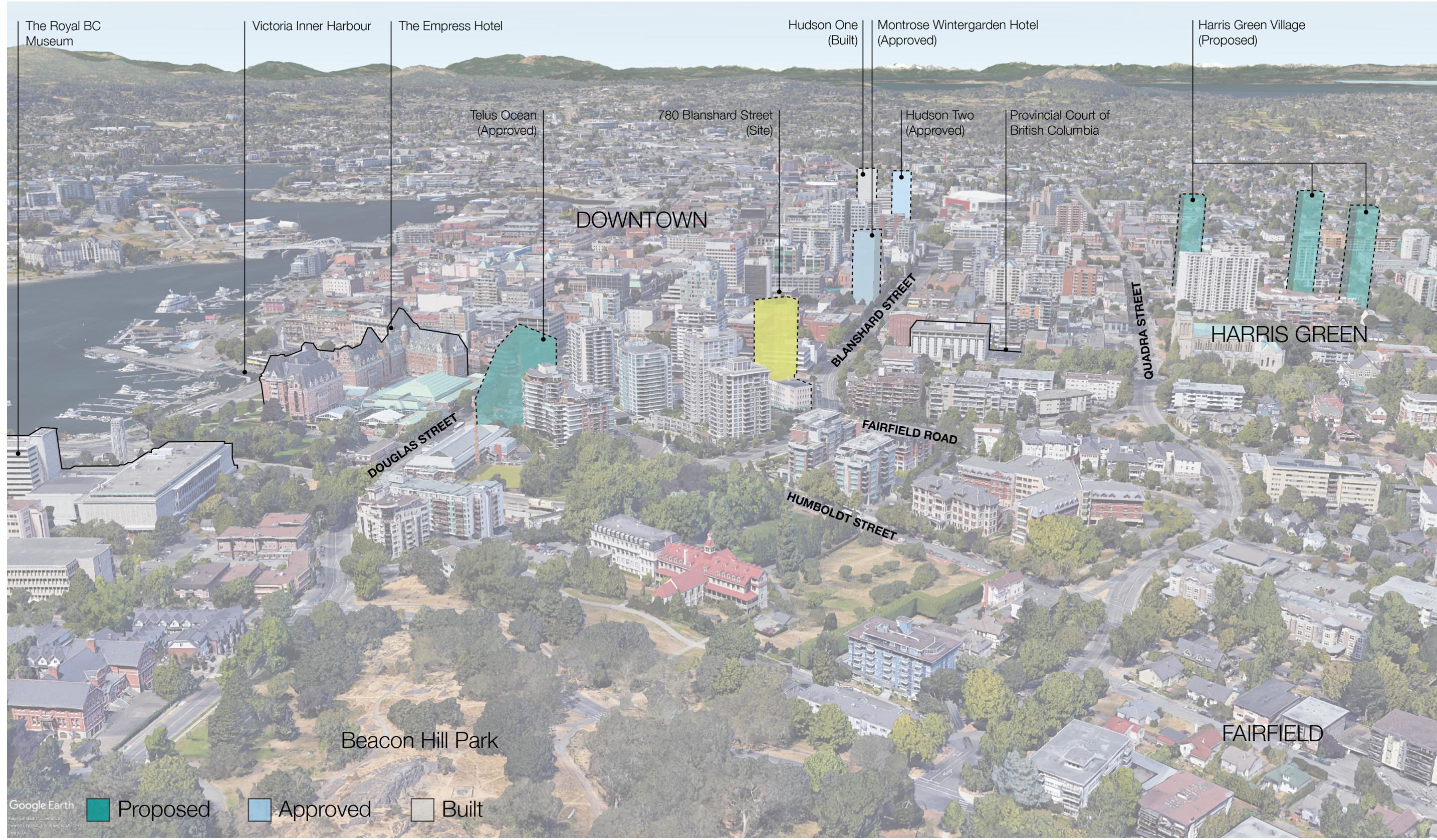
2 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (West)

A015

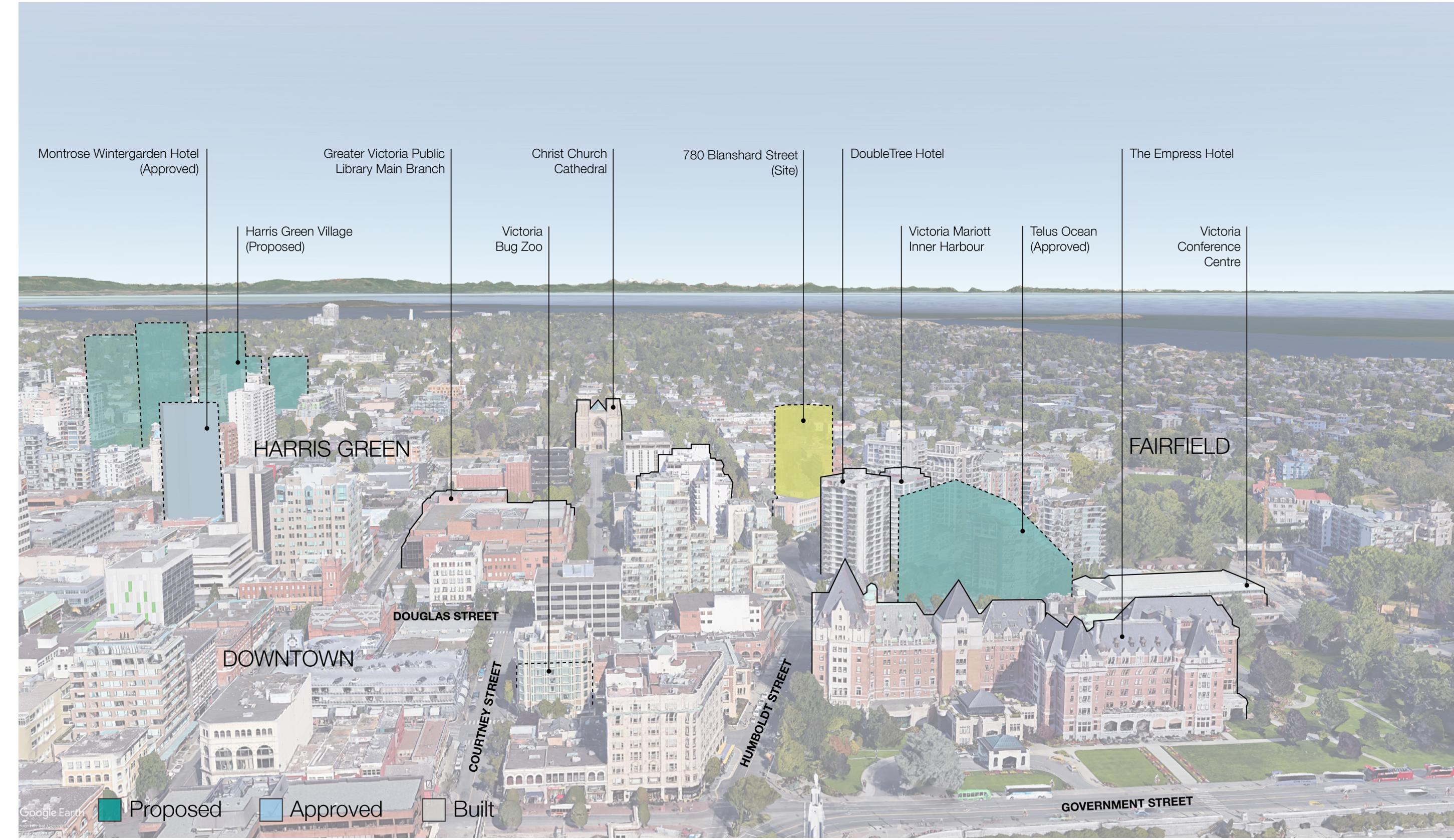
DATE	REV	DESCRIPTION
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780 Blanshard - Rehabilitation + Addition

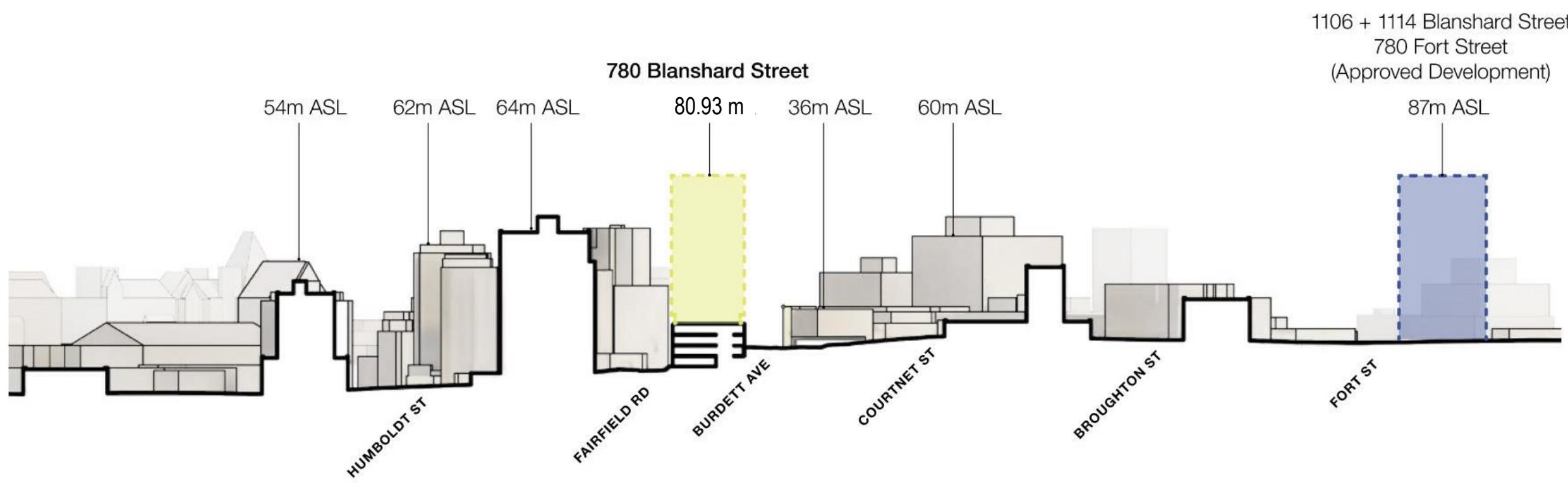
780 Blanshard Street, Victoria, BC  
2019-039BUILDING FORM - ZONING  
ENVELOPE



1 VIEW TO SITE ABOVE BEACON HILL



2 VIEW TO SITE LOOKING EAST ABOVE HARBOUR



3 CONTEXT SECTION - SOUTH TO NORTH FACING WEST

omb

office of mcfarlane biggar  
architects + designers

408D-535 Yates Street Victoria BC  
T 604 558 6344 E info@officemb.ca

RELIANCE  
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780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

CONTEXT SCHEMATIC VIEWS  
AND SECTION

As indicated

2024-02-21 145729 PM  
A016

## PROJECT INFORMATION

Project Type	Renovation and Addition	Reference	Notes
Governing Building Code	BC Building Code 2018		
Major Occupancies	Group C	3.1.2.1	Hotel and residential tower share a major occupancy. Dining, fitness centre, and amenity spaces are subsidiary occupancies which are integral to the principal occupancy.
Building Area	1038 m <sup>2</sup>	1.4.1.2	Outside face of exterior walls (existing heritage building)
Grade	14.86 m	1.4.1.2	BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Fairfield Road). (14.88 m + 14.84 m) / 2 = 14.86 m
Building Height	20 storeys	1.4.1.2	
High Building	Yes	3.2.6.1	

BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION

Classification	Group C, Any Height, Any Area, Sprinklered	3.2.2.47	
Maximum Building Area	Unlimited	3.2.2.47	
Number of Streets Facing	3	3.2.2.10	
Construction Types Permitted	Noncombustible	3.2.2.47	
Interconnected Floor Space	Yes	3.2.8	

## EXITS FROM FLOOR AREAS

Number of Exits Required	2	3.4.2.1	
Separation of Exits (Min.)	One half of diagonal floor area, but need not be more than 9 m	3.4.2.3	All floor areas served by public corridors
Maximum Travel Distance Allowed	45 m	3.4.2.5	Measured from suite egress door into public corridor (3.4.2.4)

## **FIRE RESISTANCE RATINGS**

Floor Assemblies	2 h	3.2.2.47	
Roofs	N/A	3.2.2.47	
Occupied Roofs	2 h	3.2.2.13	
Mezzanines	1 h	3.2.2.47	
Exits	2 h	3.4.4.1	
Between Suites	1 h	3.3.1.1, 3.3.4.2	
Between Suites and Public Corridors	1 h	3.3.4.2, 3.2.6.5	Elevator access directly to corridor
Elevator Hoistways	2 h	3.5.3.1	
Service Spaces Containing Emergency Equipment	1 h	3.2.7.10	
Rooms Containing Fire Alarm Equipment	1 h	3.2.7.10	
Generator Room and Fuel Tank	2 h	3.6.2.8	
Electrical Equipment Room (sprinklered)	1 h	3.6.2.1	
Electrical Equipment Vault (unsprinklered)	2 h	NFPA 13	
Vertical Service Spaces	1 h	3.6.3.1	

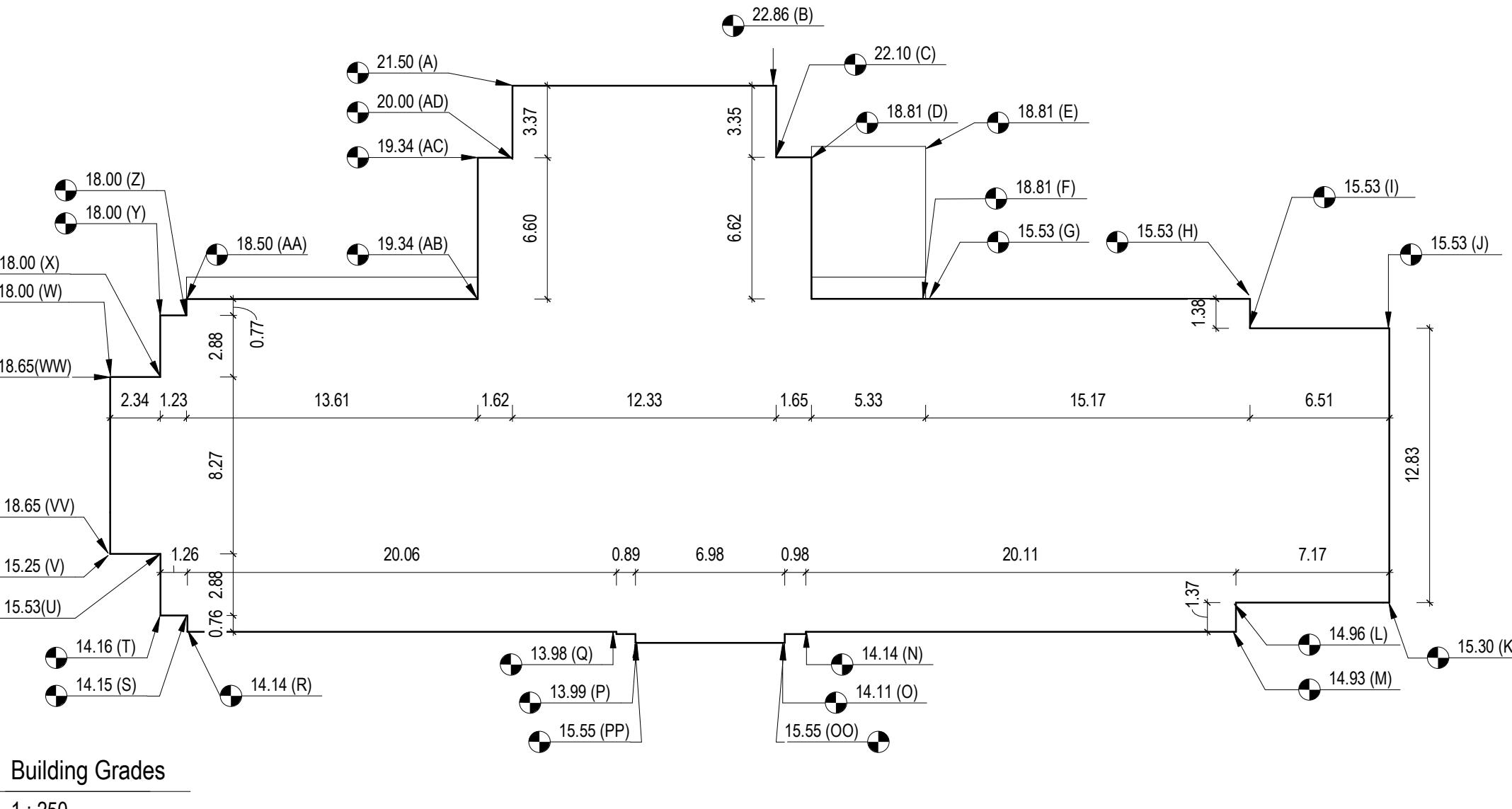
## SPATIAL SEPARATION

**Table 3.2.3.1.-D**  
**Building or Fire Compartment that is Sprinklered Throughout**  
**Forming Part of Article 3.2.3.1.**

Exposing Building Face	Area of Unprotected Opening for Groups A, B, C, D and F, Division 3 Occupancies, %											
	Limiting Distance, m											
Max. Area, m <sup>2</sup>	0	1.2	1.5	2.0	2.5	3	4	5	6	7	8	9
	10	0	16	24	42	66	100					
15	0	16	20	34	50	74	100					
20	0	16	20	30	42	60	100					
25	0	16	18	26	38	52	90	100				
30	0	14	18	24	34	46	78	100				
40	0	14	16	22	30	40	64	96	100			
50	0	14	16	20	28	36	56	82	100			
60	0	14	16	20	26	32	50	72	98	100		
80	0	14	16	18	22	28	42	58	80	100		
100	0	14	16	18	22	26	36	50	68	88	100	
150 or more	0	14	14	16	20	22	30	40	52	66	82	100

**NOTE:**

THE EXISTING BUILDING AND PROPOSED ADDITION WILL CONTAIN GROUP A AND C OCCUPANCIES AND WILL BE SPRINKLERED THROUGHOUT. AS SUCH, SPATIAL SEPARATION REQUIREMENTS WILL BE GOVERNED BY BCBC 2018 TABLE 3.2.3.1-D UNPROTECTED OPENING LIMITS FOR A BUILDING OR FIRE COMPARTMENT THAT IS SPRINKLERED THROUGHOUT. ACCORDING TO THE TABLE, AT A LIMITING DISTANCE OF 9 M OR GREATER, THE AREA OF UNPROTECTED OPENINGS IS PERMITTED TO BE 100%. THIS UNIQUE SITE FACES THREE STREETS AND IN ALL CASES HAS LIMITING DISTANCES THAT ARE AT LEAST 9 M. THEREFORE, ALL ELEVATIONS OF THE BUILDING WILL BE PERMITTED TO HAVE AN AREA OF UNPROTECTED OPENINGS OF 100%. THE ACTUAL PERCENTAGE OF UNPROTECTED OPENINGS AT THE EXISTING BUILDING AND THE PROPOSED ADDITION ARE SUBSTANTIALLY LOWER AND WILL BE IN COMPLIANCE WITH SPATIAL SEPARATION REQUIREMENTS.



## AVERAGE GRADE CALCULATION

Trade Points		Distance Btw Points		Average Grade Calculation					
Point	Elev (m)	Point Pair	(m)	Point Pair	Point 1	Point 2	Average	Distance	Total
	21.50	A & B	12.33	A & B	21.50	22.86	22.18	12.33	273.48
	22.86	B & C	3.35	B & C	22.86	22.10	22.48	3.35	75.31
	22.10	C & D	1.65	C & D	22.10	18.81	20.46	1.65	33.75
	18.81	D & E	5.33	D & E	18.81	18.81	18.81	5.33	100.26
	18.81	E & F	6.62	E & F	18.81	18.81	18.81	6.62	124.52
	18.81	F & G	0.00	F & G	18.81	15.53	17.17	0.00	0.00
	15.53	G & H	15.17	G & H	15.53	15.53	15.53	15.17	235.59
	15.53	H & I	1.38	H & I	15.53	15.53	15.53	1.38	21.43
	15.53	I & J	6.51	I & J	15.53	15.53	15.53	6.51	101.10
	15.53	J & K	12.83	J & K	15.53	15.30	15.42	12.83	197.77
	15.30	K & L	7.17	K & L	15.30	14.96	15.13	7.17	108.48
	14.96	L & M	1.37	L & M	14.96	14.93	14.95	1.37	20.47
	14.93	M & N	20.11	M & N	14.93	14.14	14.54	20.11	292.30
	14.14	N & O	0.98	N & O	14.14	14.11	14.13	0.98	13.84
O	14.11	O & OO	1.44	O & OO	14.11	15.55	14.83	1.44	21.36
O	15.55	OO & PP	7.98	OO & PP	15.55	15.55	15.55	7.98	124.09
P	15.55	PP & P	1.56	PP & P	15.55	13.99	14.77	1.56	23.04
	13.99	P & Q	0.89	P & Q	13.99	13.98	13.99	0.89	12.45
	13.98	Q & R	20.06	Q & R	13.98	14.14	14.06	20.06	282.04
	14.14	R & S	0.76	R & S	14.14	14.15	14.15	0.76	10.75
	14.15	S & T	1.26	S & T	14.15	14.16	14.16	1.26	17.84
	14.16	T & U	2.88	T & U	14.16	15.53	14.85	2.88	42.75
	15.53	U & V	2.34	U & V	15.53	15.25	15.39	2.34	36.01
	15.25	V & VV	3.40	V & VV	15.25	18.65	16.95	3.40	57.63
V	18.65	VV & WW	8.27	VV & WW	18.65	18.65	18.65	8.27	154.24
W	18.65	WW & W	0.65	WW & W	18.65	18.00	18.33	0.65	11.91
/	18.00	W & X	2.34	W & X	18.00	18.00	18.00	2.34	42.12
	18.00	X & Y	2.88	X & Y	18.00	18.00	18.00	2.88	51.84
	18.00	Y & Z	1.23	Y & Z	18.00	18.00	18.00	1.23	22.14
	18.00	Z & AA	0.77	Z & AA	18.00	18.50	18.25	0.77	14.05
A	18.50	AA & AB	13.61	AA & AB	18.50	19.34	18.92	13.61	257.50
B	19.34	AB & AC	6.60	AB & AC	19.34	19.34	19.34	6.60	127.64
C	19.34	AC & AD	1.62	AC & AD	19.34	0.00	9.67	1.62	15.67
D	20.00	AD & A	3.37	AD & A	20.00	21.50	20.75	3.37	69.93
Total		Perimeter	178.71	Total				178.71	2,993.31

## AVERAGE GRADE 16.75

700 Bluestone Rd., Suite 100 • Austin, TX 78743

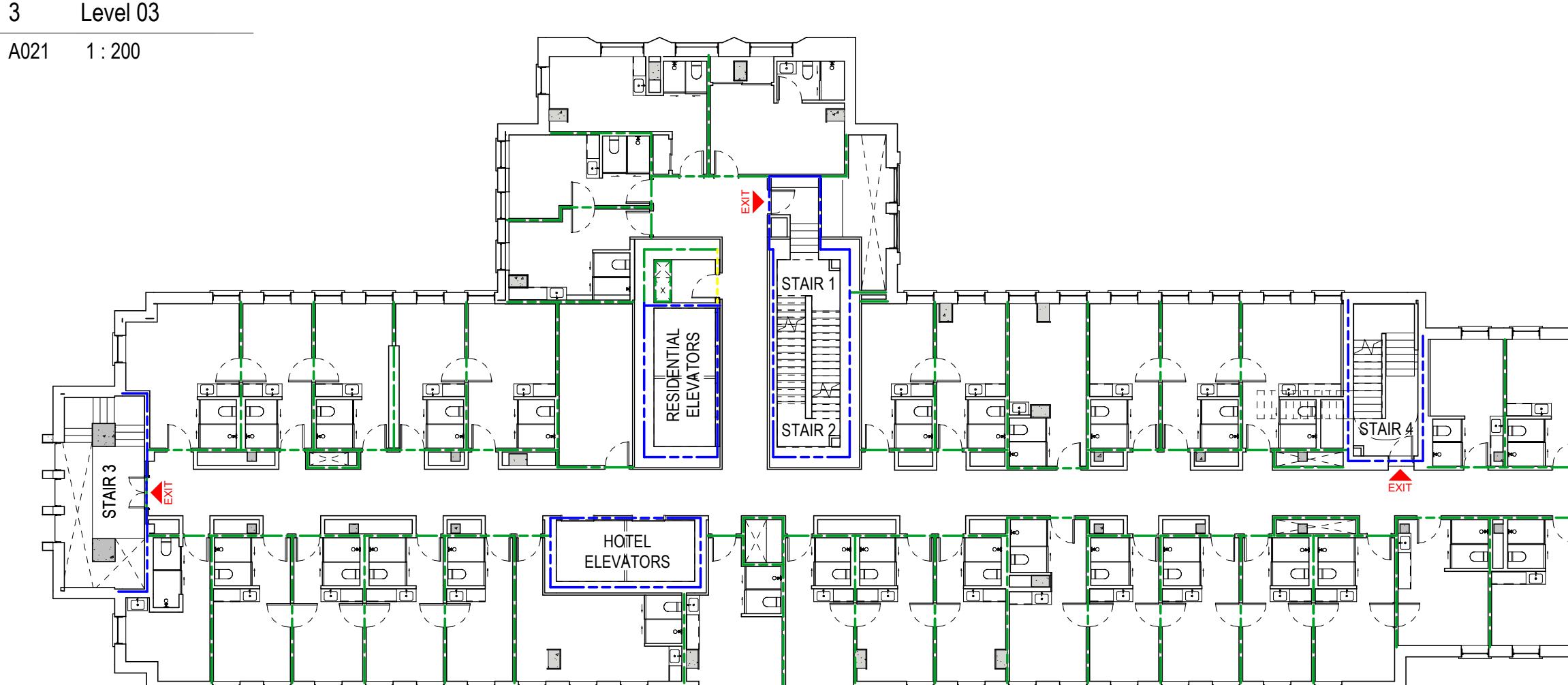
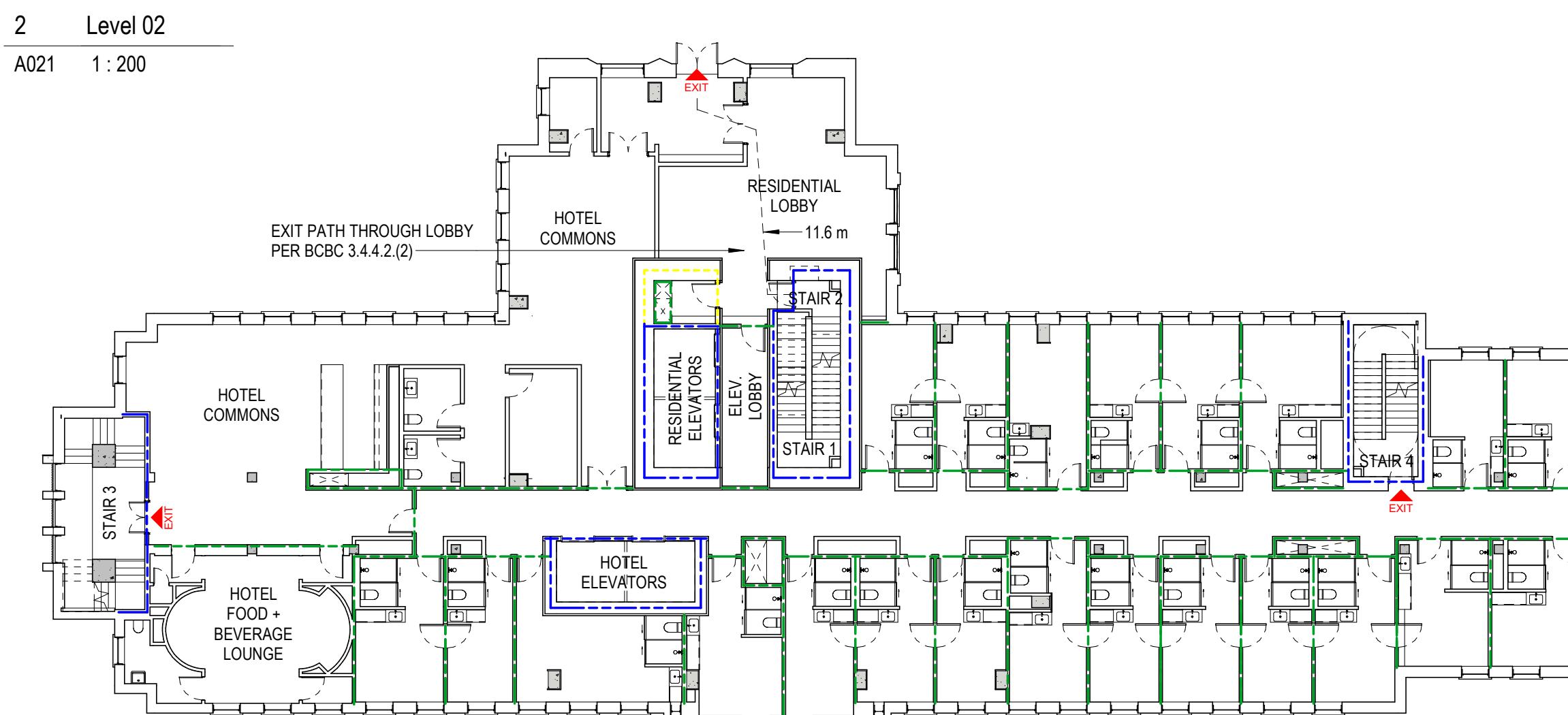
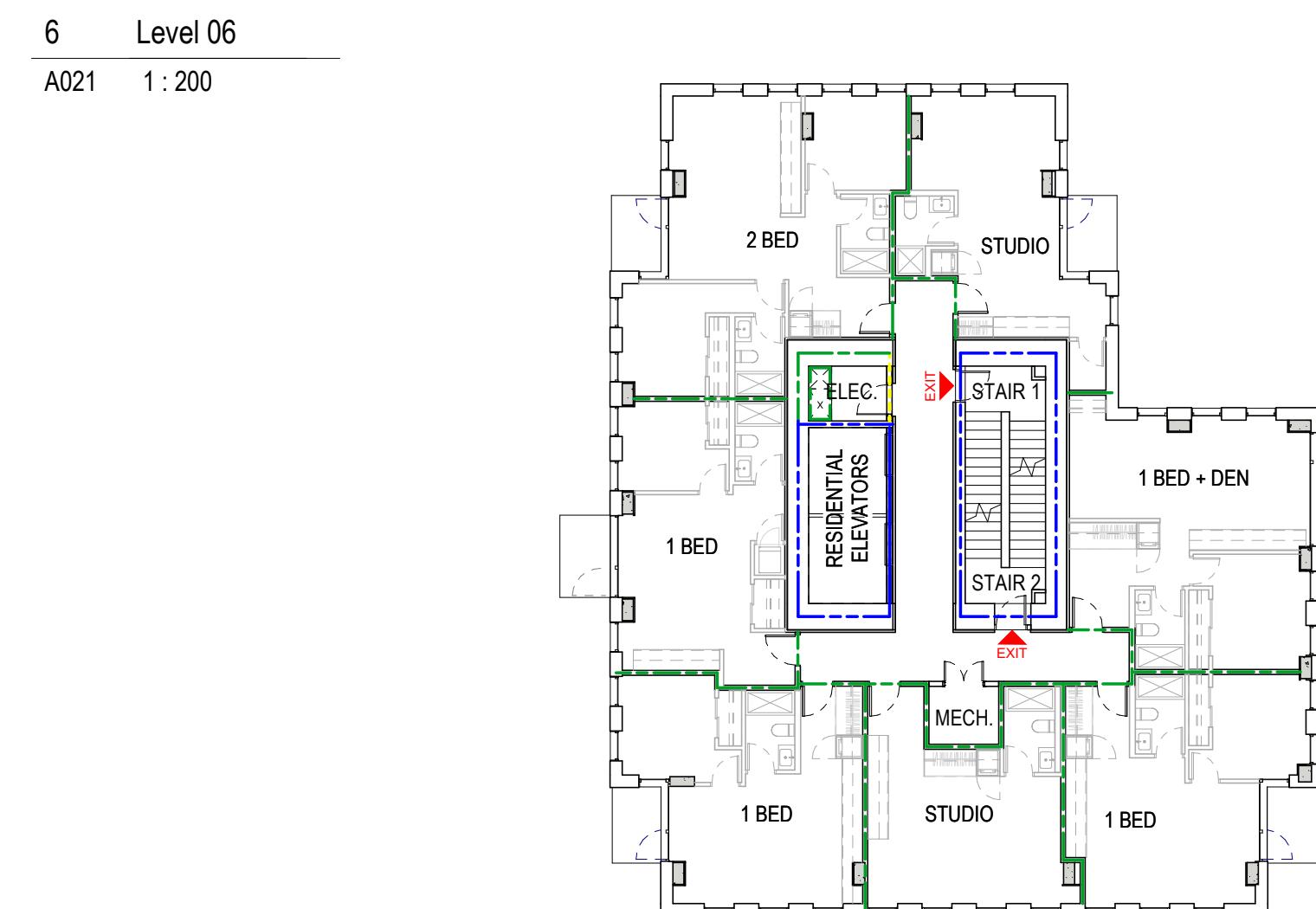
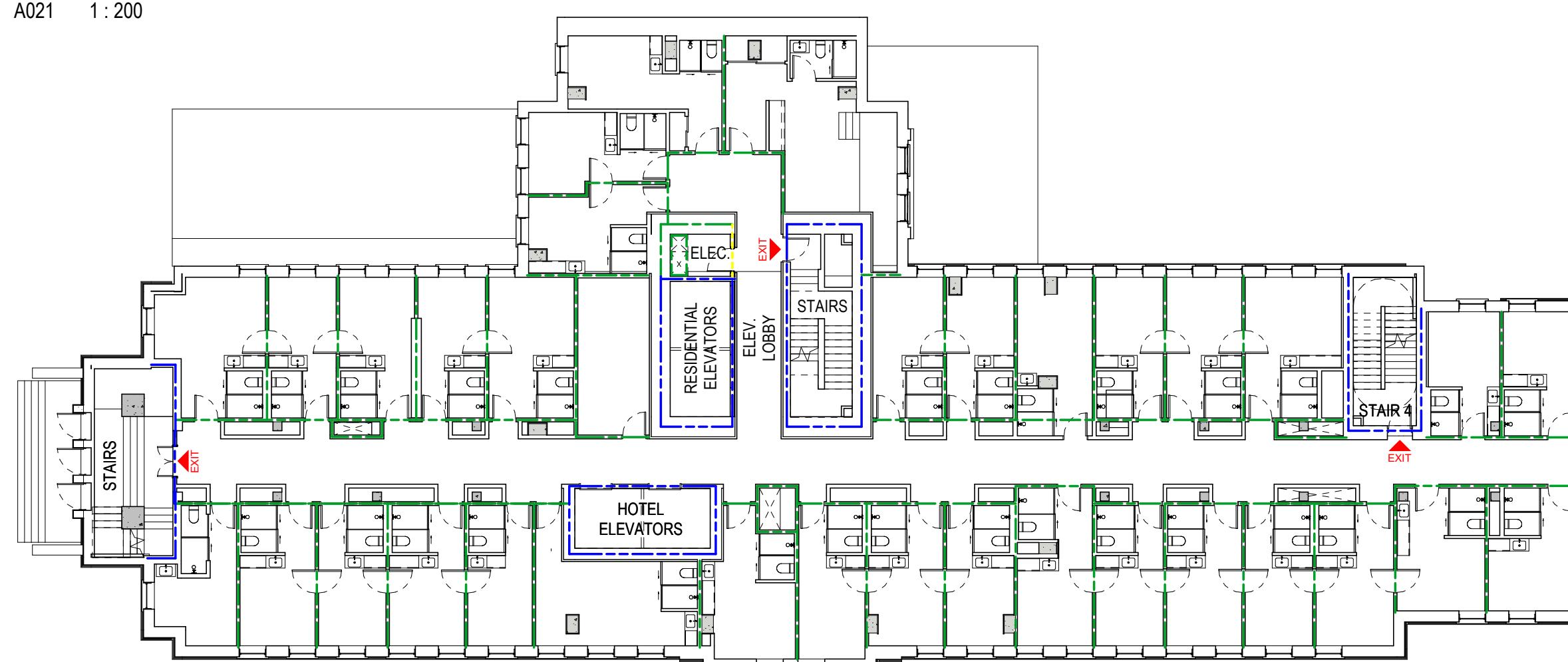
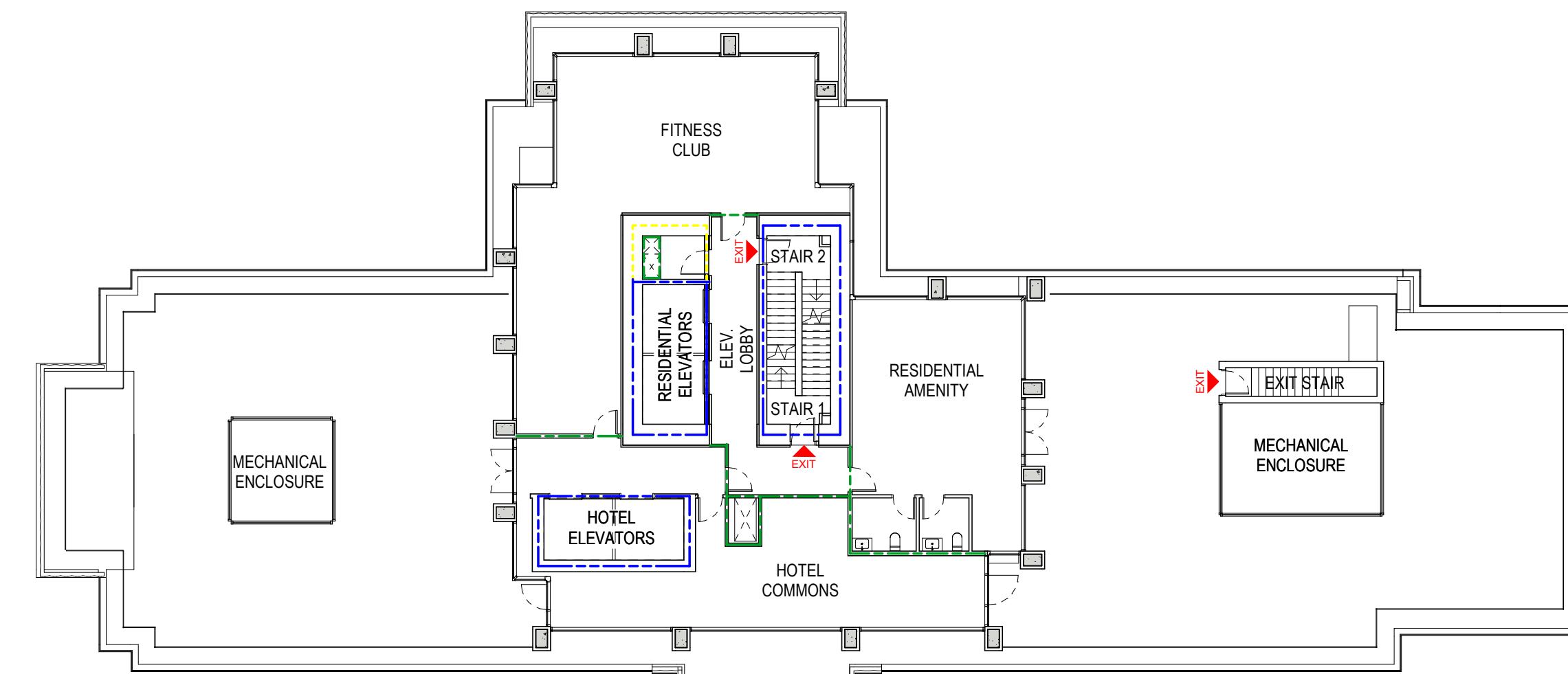
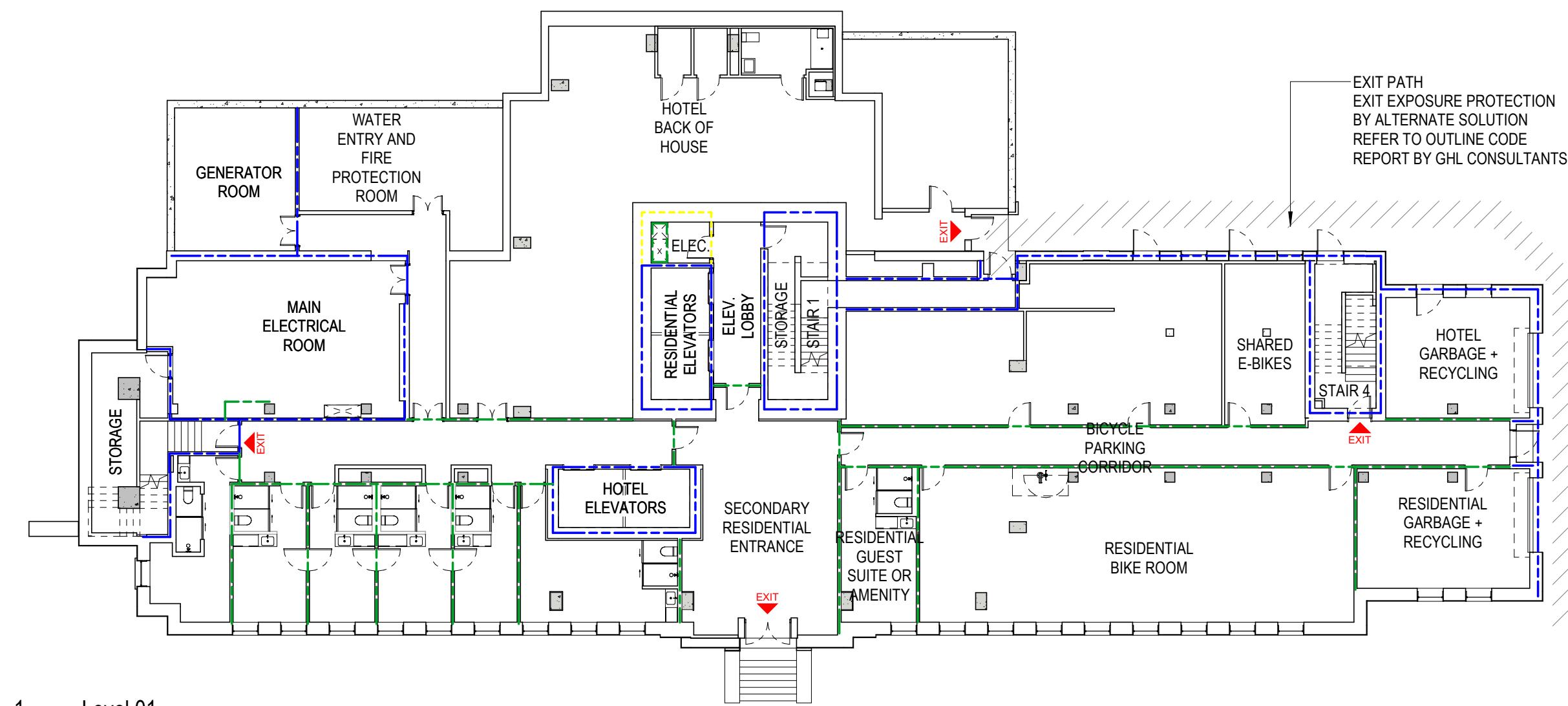
780 Blanshard Street, Victoria,  
2019-039

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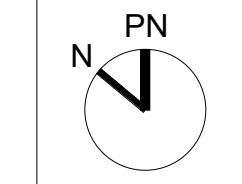
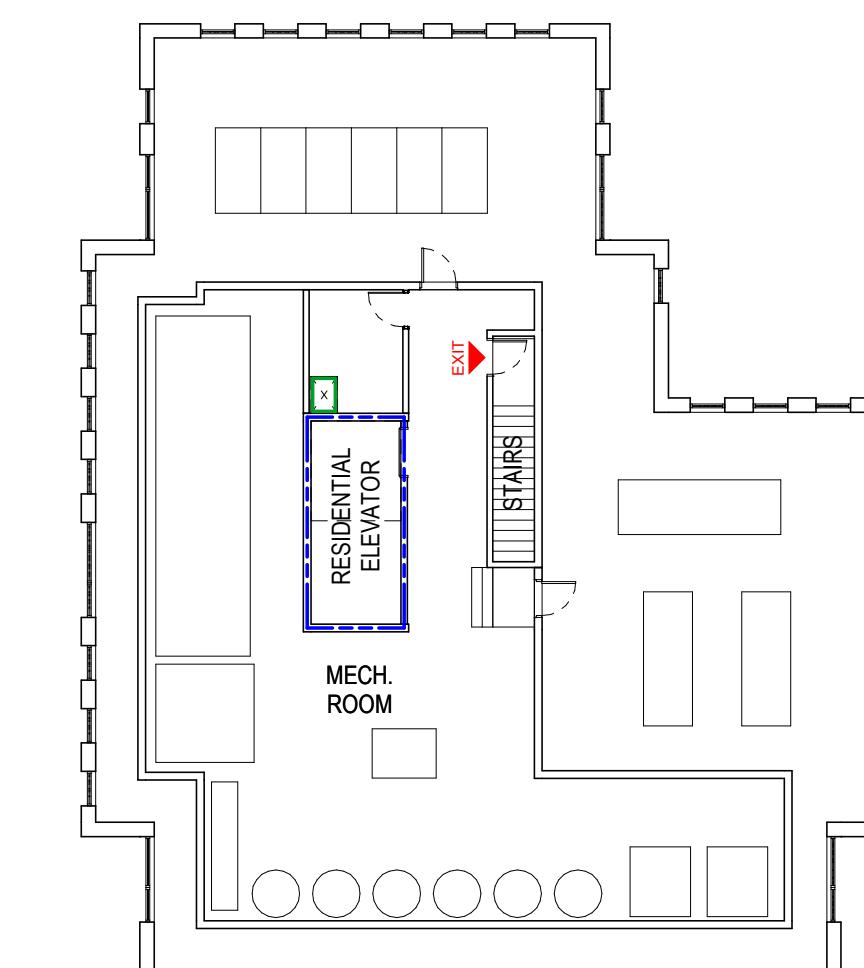
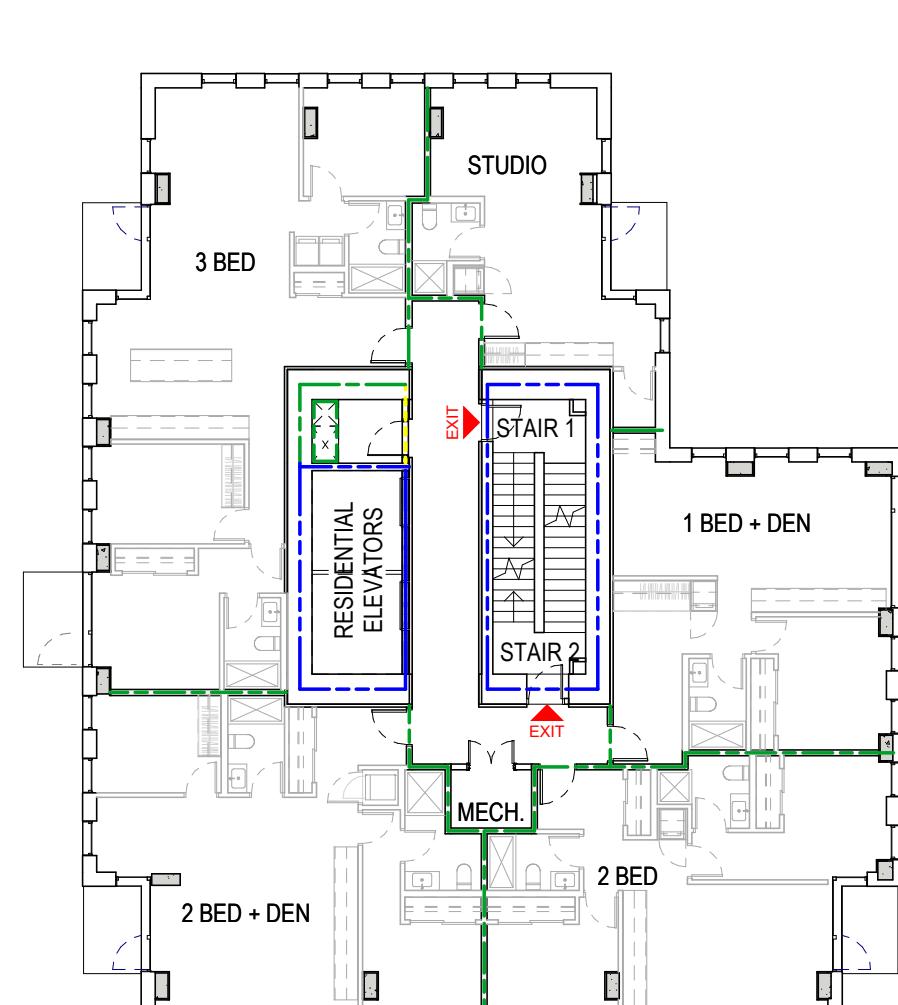
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2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02



7 Level 07-17  
A021 1:200



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

CODE ANALYSIS - PLANS

LEGEND

- 0 MINUTES F.R.R. (Yellow line)
- 45 MINUTE F.R.R. (Orange line)
- 60 MINUTE F.R.R. (Green line)
- 90 MINUTE F.R.R. (Pink line)
- 120 MINUTE F.R.R. (Blue line)

NOTE:  
1. DRAWING TO BE READ IN COLOUR.  
2. DRAWING TO BE READ IN CONJUNCTION WITH OUTLINE CODE COMPLIANCE REPORT PROVIDED BY GHL CONSULTANTS.

As indicated  
2024-02-21 14:57:41 PM

A021



CHATEAU VICTORIA  
ELEVATOR CORE ELEV = 69.53  
PARAPET ELEV = 61.49

PARKADE  
PARKING SURFACE ELEV = 20.3  
TOP OF WALL ELEV = 22.26

'ROBERT KER BUILDING  
PARAPET ELEV = 37.65

'LAW COURTS'  
LOWER PARAPET ELEV = 33.93  
UPPER PARAPET ELEV = 53.82

# omb

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 RELIANCE  
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A circular registration stamp. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "BRITISH COLUMBIA" at the bottom, both in a stylized font. The inner circle contains the name "STEPHEN D. MCFARLANE" above a large, handwritten-style signature. At the bottom of the inner circle is the date "2024-02-21".

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N

## 780 Blanshard - Rehabilitation + Addition

## SITE PLAN EXISTING

788 HUMBOLT ST  
ELEVATOR CORE ELEV = 60.  
PARAPET ELEV = 55.32

This architectural site plan details the layout of 780 Blanshard Street, a building situated at the corner of Blanshard Street and Fairfield Road. The plan includes the following key features and dimensions:

- Building Footprints:** The building footprint is 2,272.4 m<sup>2</sup> (24,460 ft<sup>2</sup>). The roof peak elevation is 34.20.
- Streets and Roads:** The building is located at the corner of Blanshard Street and Fairfield Road. Other nearby streets include Penwill Street, Burdett Avenue, and Humboldt Street.
- Access and Entrances:** The building has multiple access points, including:
  - Entry at Level 2 (Blanshard Street side)
  - Entry at Level 3 (Blanshard Street side)
  - Entry at Level 1 (Fairfield Road side)
  - Entry at Level 2 (Fairfield Road side)
  - Entry at Level 1 (Fairfield Road side)
  - Driveway access (Blanshard Street side)
- Parking:** The building includes:
  - Street parking for 3 stalls on Blanshard Street
  - Street parking for 5 stalls on Fairfield Road
  - Asphalt parking lot
- Landscaping and Infrastructure:** The plan shows:
  - Existing curb edges and retaining walls.
  - Existing paths and transit layby areas.
  - Existing catch basins and vaults.
  - BC Hydro infrastructure.
  - Streetlights and traffic signal poles.
  - Existing fire hydrants.
- Building Details:** The plan includes elevation data for various parts of the building, such as:
  - Victoria Marriott Hotel parapet elevation = 52.67
  - 751 Fairfield Rd parapet elevation = 65.48
  - 788 Humboldt St elevator core elevation = 60.76
  - 788 Humboldt St parapet elevation = 55.32
  - 810 Burdett roof peak elevation = 34.20
  - The Savoy elevator core elevation = 49.73
  - Upper parapet elevation = 45.16
- Dimensions and Setbacks:** The plan shows various setbacks and dimensions, including:
  - MIN. EXISTING SETBACK: 1106, 6650, 6650, 1193, 1614, 14.0, 14.5, 14.0, 12.5, 13.0, 13.5, 15.0, 15.5, 16.0, 16.5, 17.0, 17.5, 18.0, 18.5, 19.0, 19.5, 20.0, 20.5, 21.0, 21.5, 22.0, 22.5, 23.0, 23.5, 24.0, 24.5.
  - FRONT PROPERTY LINE: 23.185, 23.69.
  - EXISTING EXIT FROM LEVEL 2: 18.69.
  - EXISTING EXIT FROM LEVEL 1: 14.02, 14.88.

2024-02-21 4:58:05 PM 1 : 200

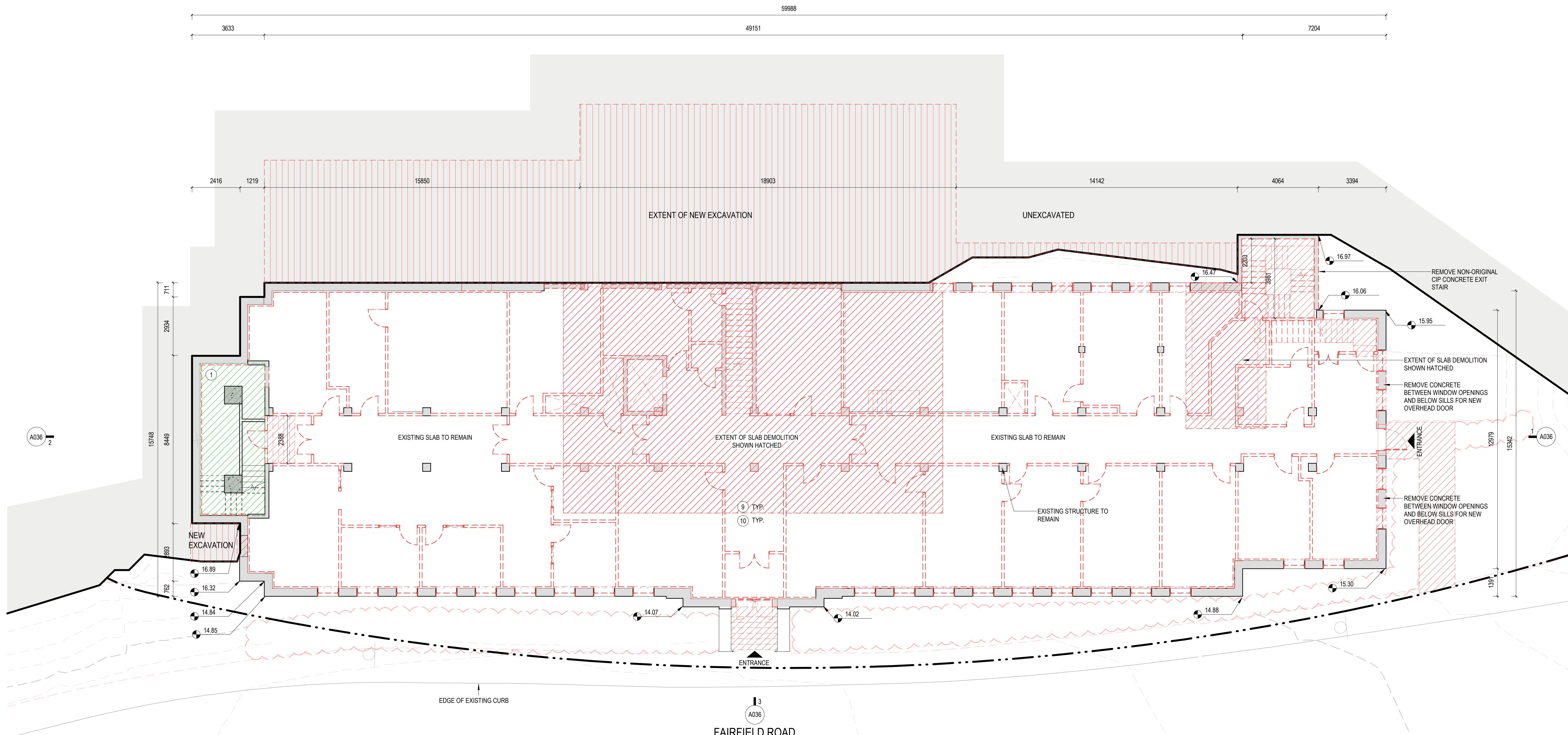
2024-02-21 4:58:11

- PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLING RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- RETAIN AND POTENTIALLY REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
- RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE LIBRARY ON THE FOURTH FLOOR.
- RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.



2024-02-21

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DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

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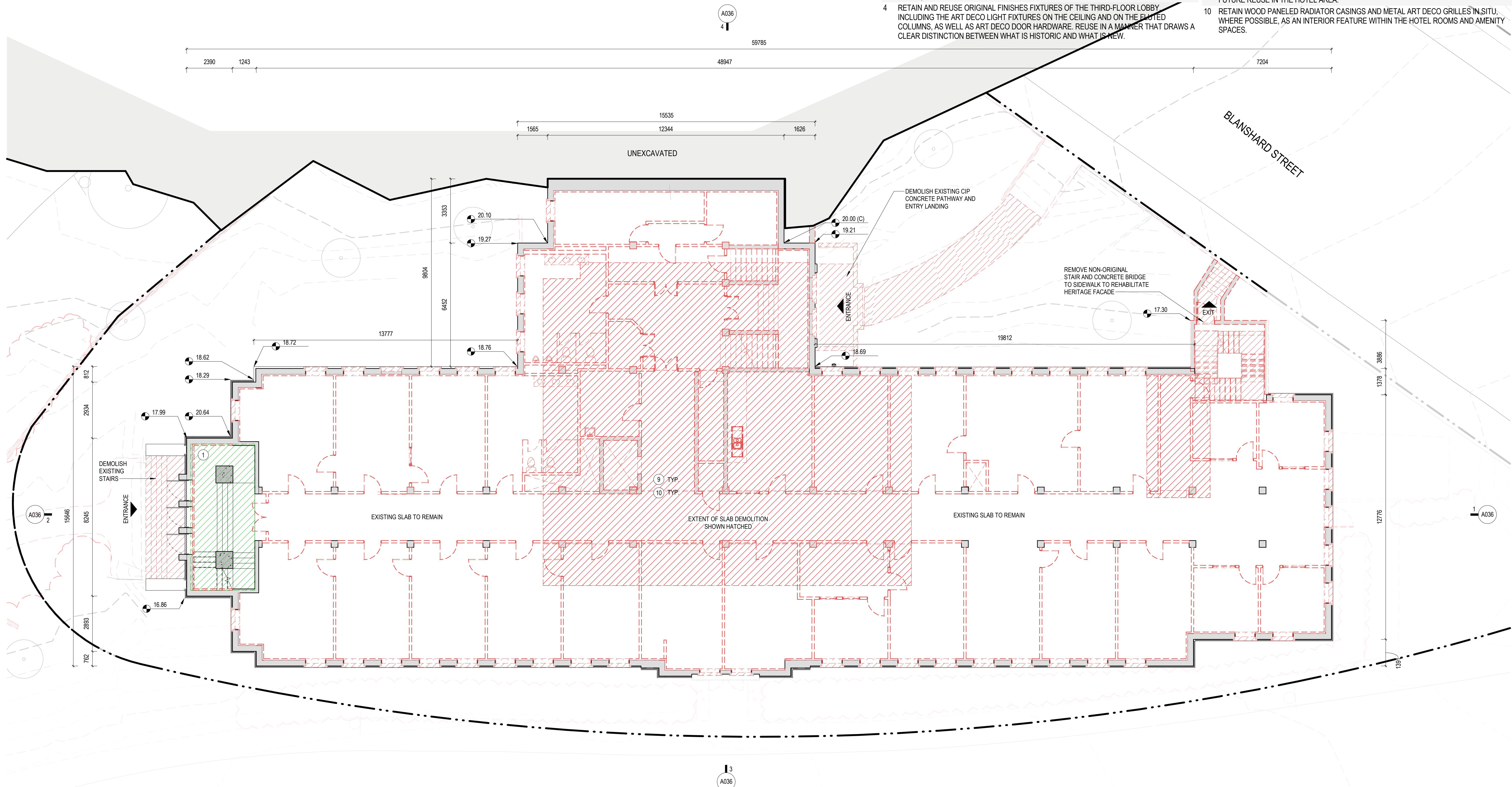
DEMOLITION LEGEND

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

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REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

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  -  EXISTING AREA TO BE REMOVED
  -  EXISTING AREA TO BE RETAINED + REUSED
  -  EXISTING AREA TO BE PRESERVED + RESTORED
  -  EXISTING ELEMENT TO BE PRESERVED + RESTORED

## LEVEL 2 DEMOLITION/RETENTION PLAN

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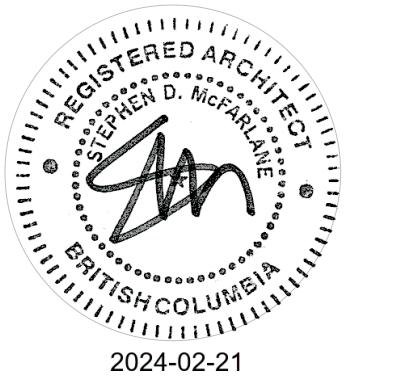
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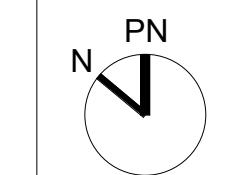
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DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2023-10-26	5	PRE-COTW REVISIONS
2024-02-21	6	HAP & RZ RESUBMISSION 02



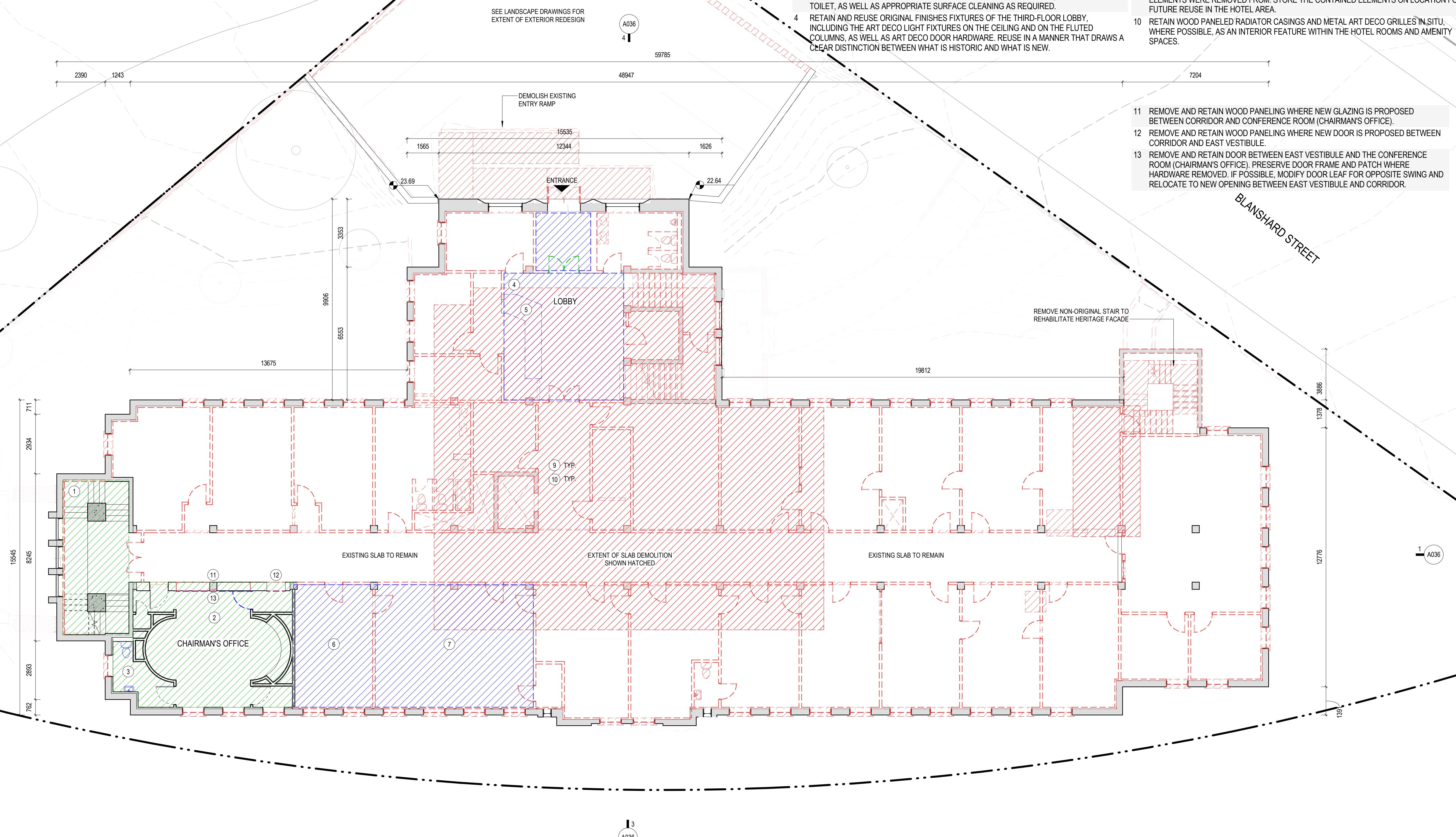
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039LEVEL 3  
DEMOLITION/RETENTION PLAN

1 : 100

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A033HERITAGE CONSERVATION NOTES  
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- REMOVE AND RETAIN WOOD PANELING WHERE NEW DOOR IS PROPOSED BETWEEN CORRIDOR AND EAST VESTIBULE.
- REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.



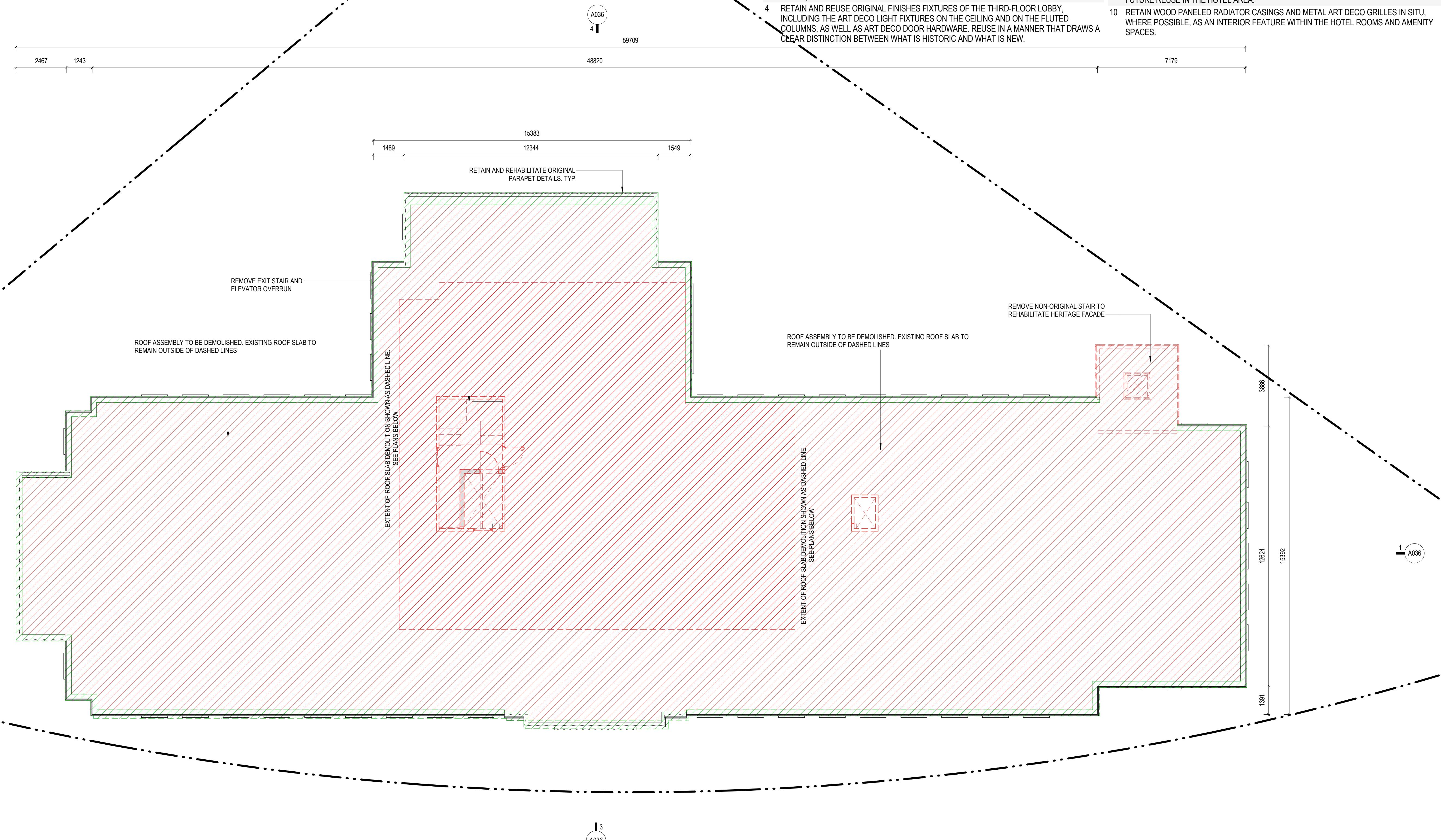




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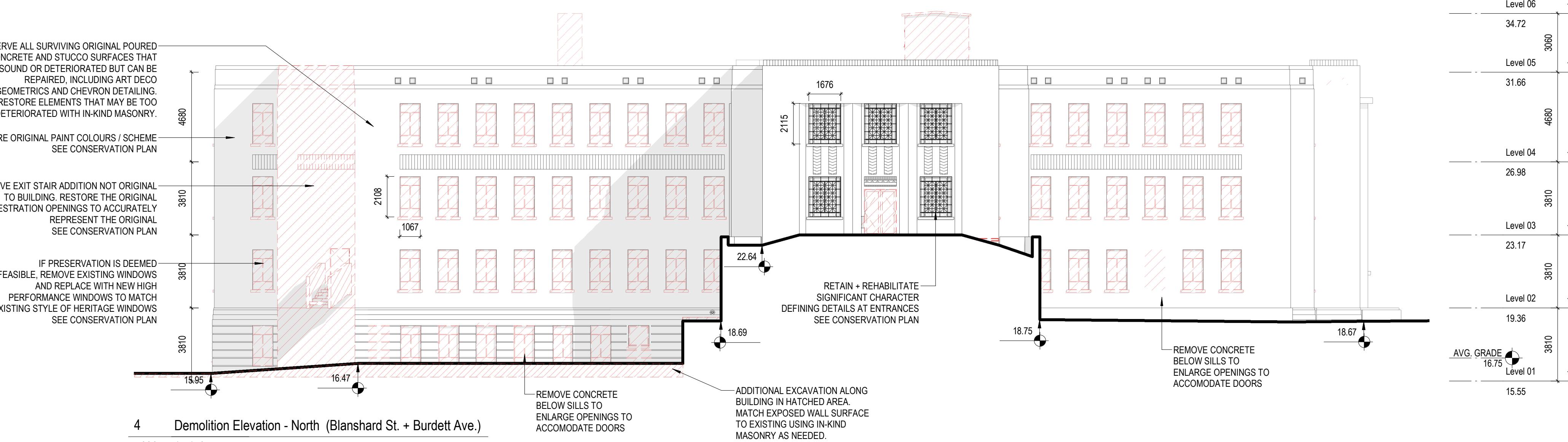
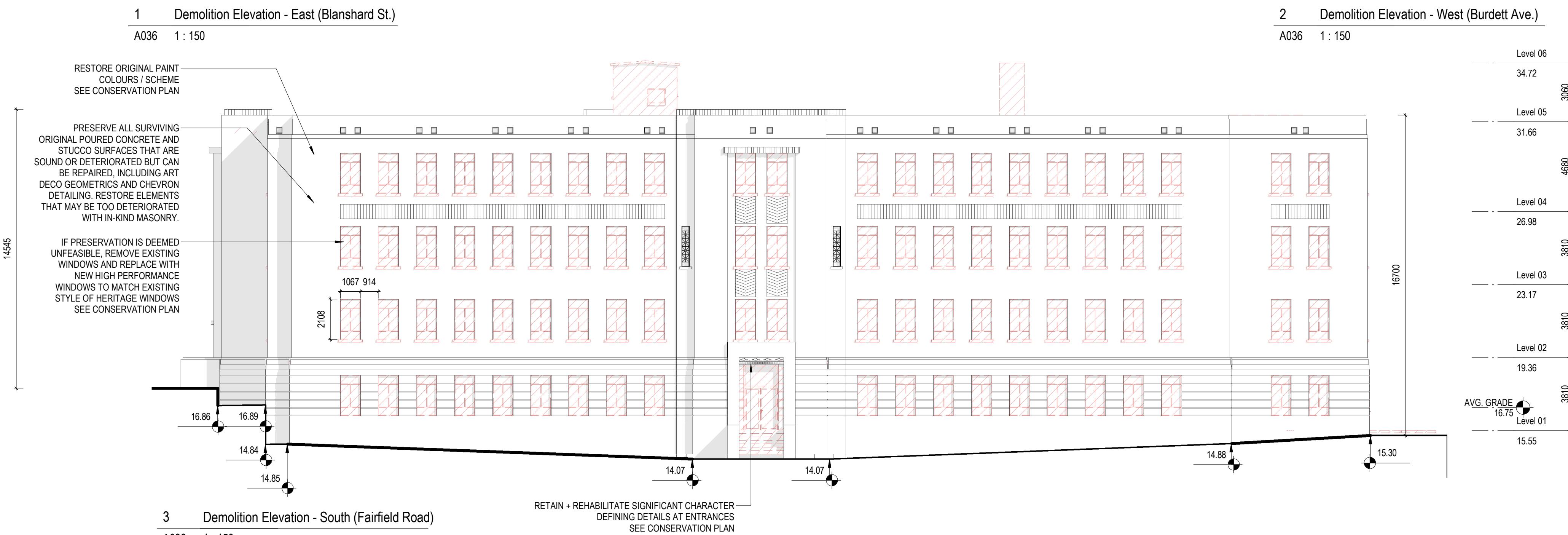
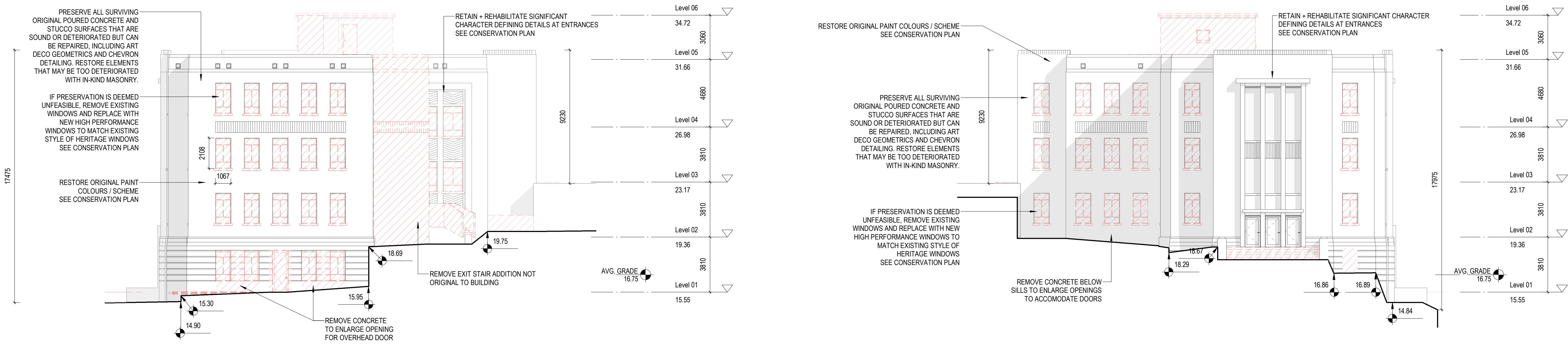
LEVEL 5 ROOF  
DEMOLITION/RETENTION PLAN

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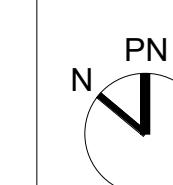
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**DEMOLITION/RETENTION ELEVATIONS**

As indicated

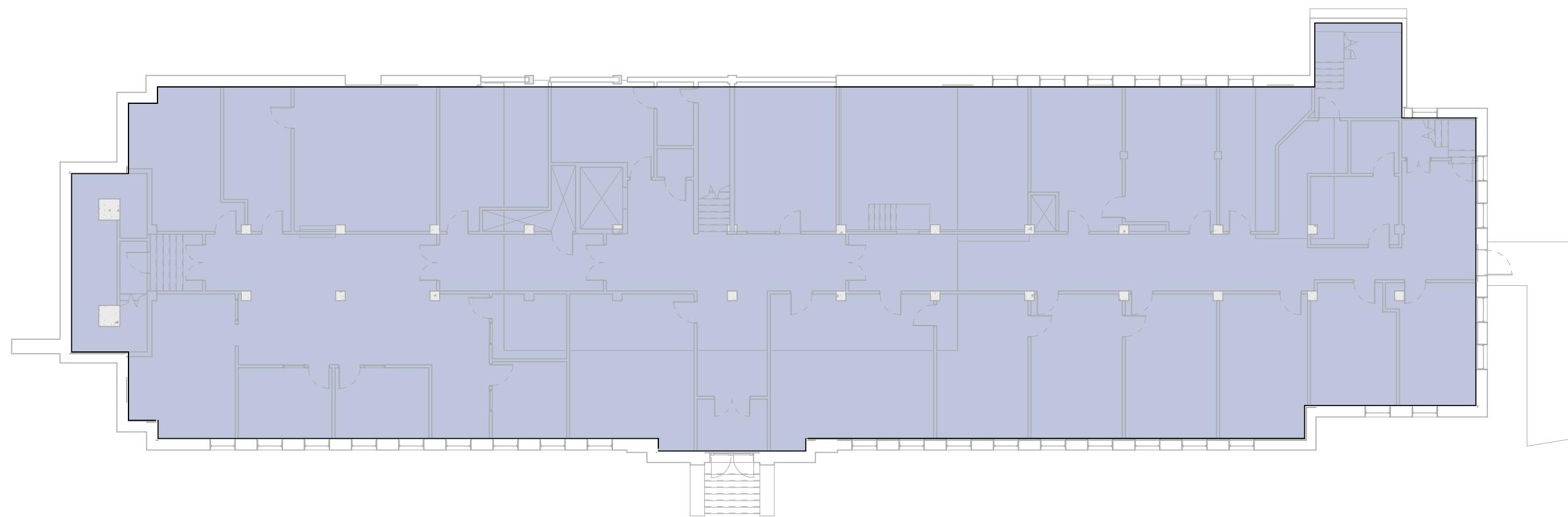
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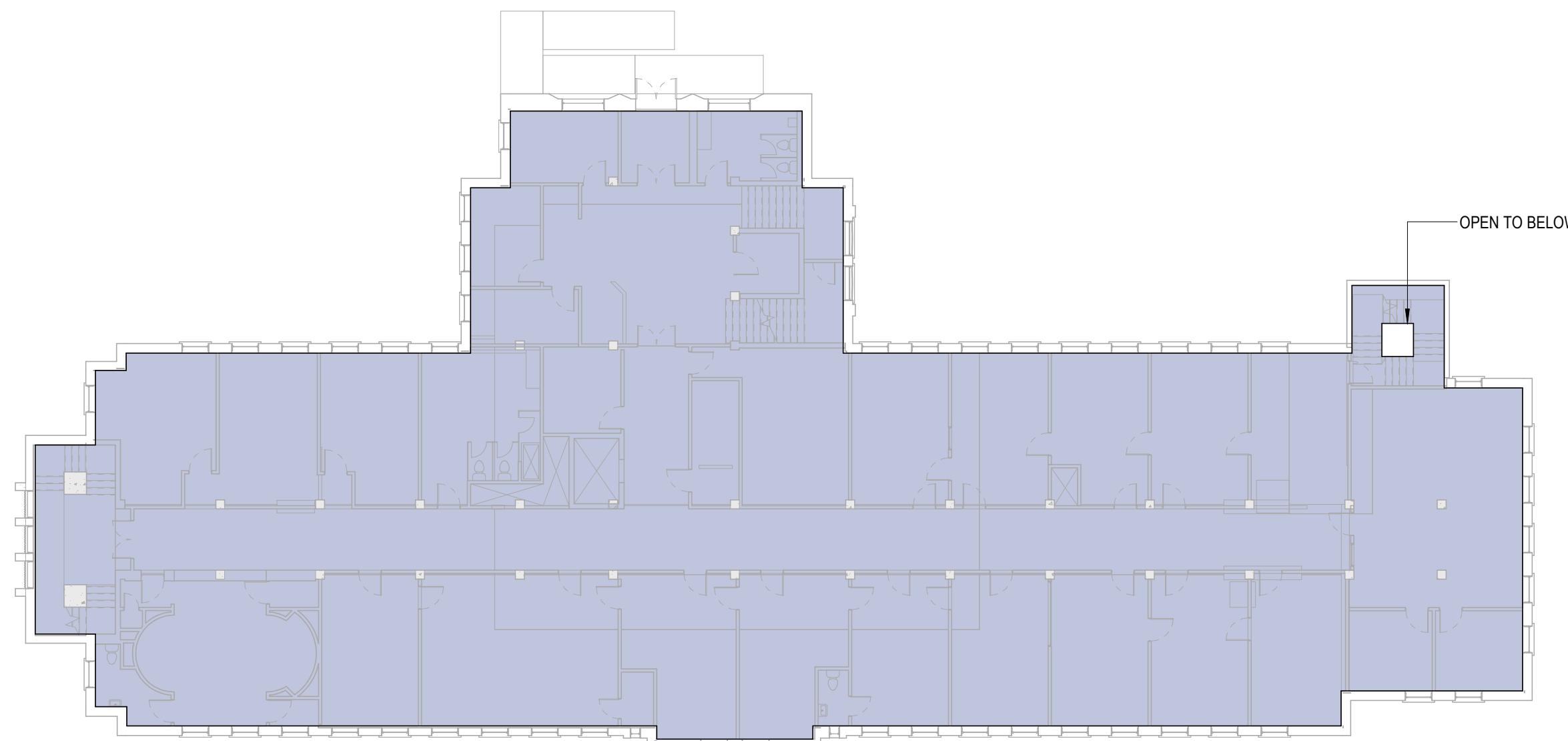

 780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039



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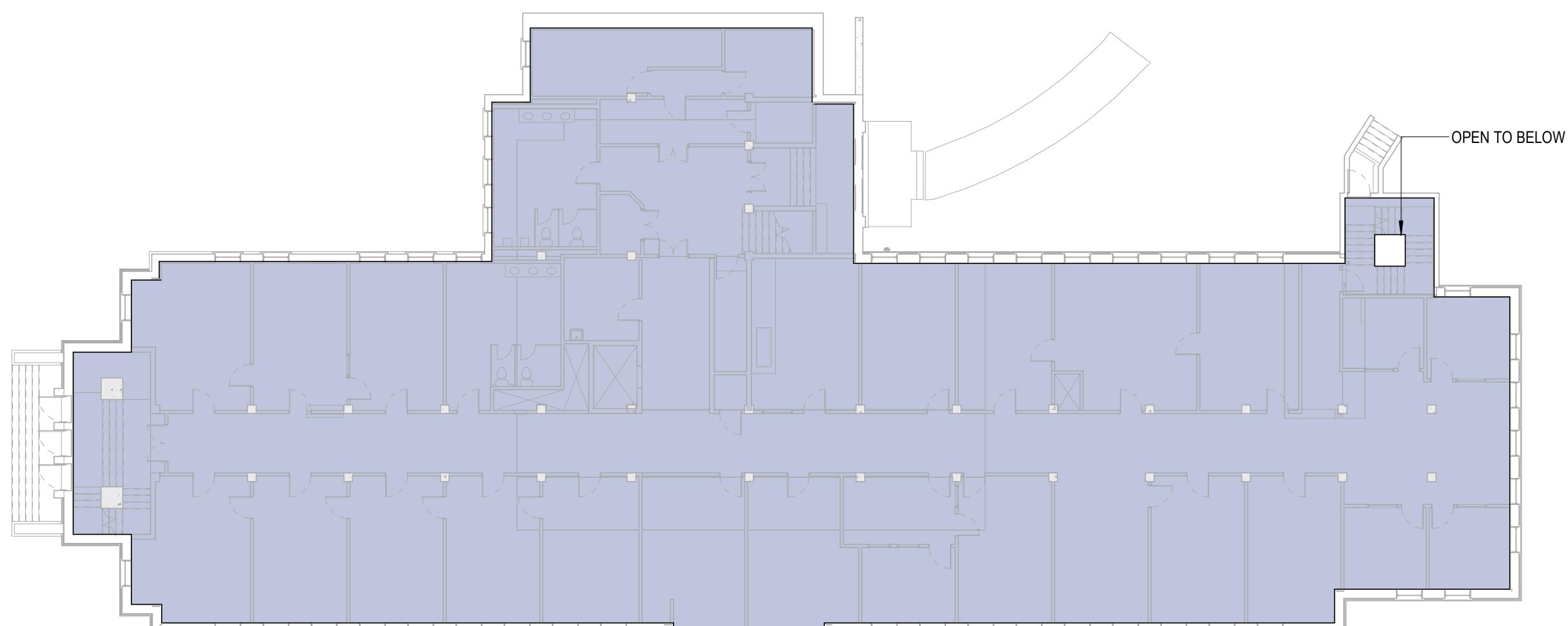


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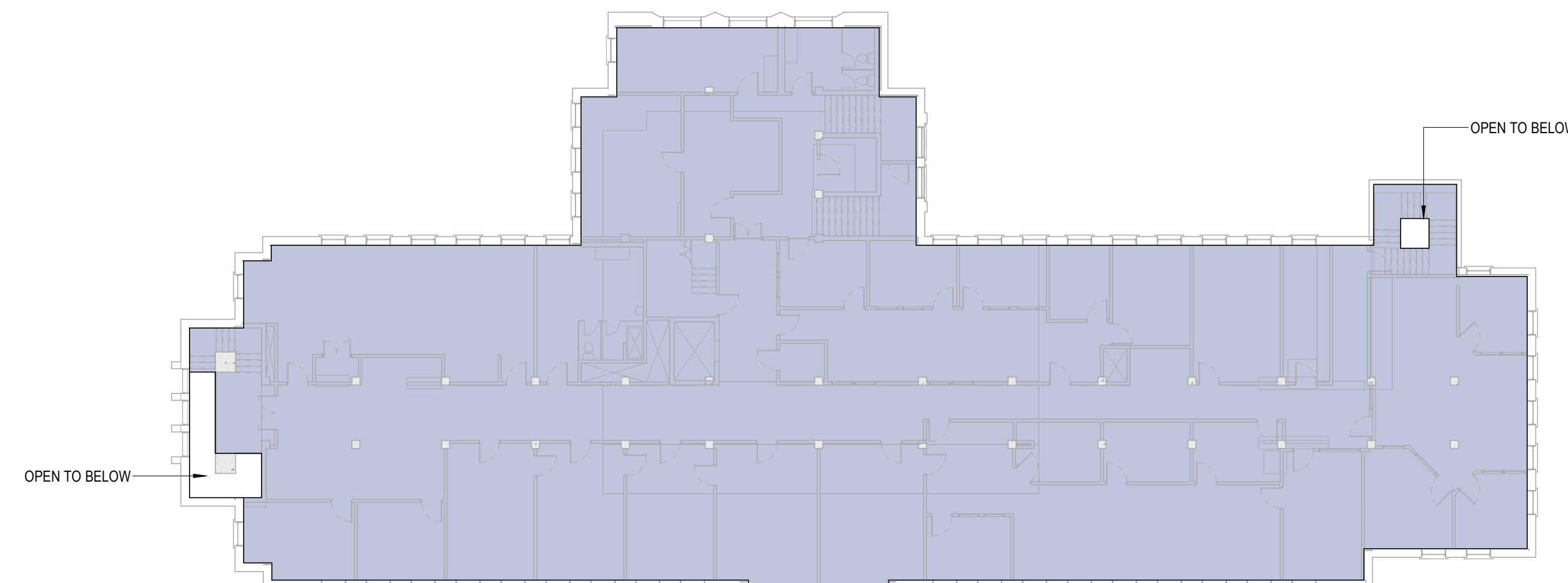


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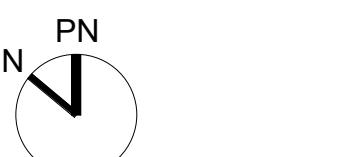
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2024-02-21 2 HAP & RZ RESUBMISSION 02



2 Level 2  
A041 1:200



4 Level 4  
A041 1:200



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

FSR OVERLAYS EXISTING

EXISTING FLOOR AREA	
Level 01	852.3 m <sup>2</sup>
Level 02	985.2 m <sup>2</sup>
Level 03	982.6 m <sup>2</sup>
Level 04	972.3 m <sup>2</sup>
	3792.5 m <sup>2</sup>

2024-02-21 145833 PM 1:200  
A041



DATE REV DESCRIPTION  
2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02



1 Level 01 Floor Area Overlay  
A042 1 : 200



2 Level 02 Floor Area Overlay  
A042 1 : 200



3 Level 03 Floor Area Overlay  
A042 1 : 200



4 Level 04 Floor Area Overlay  
A042 1 : 200

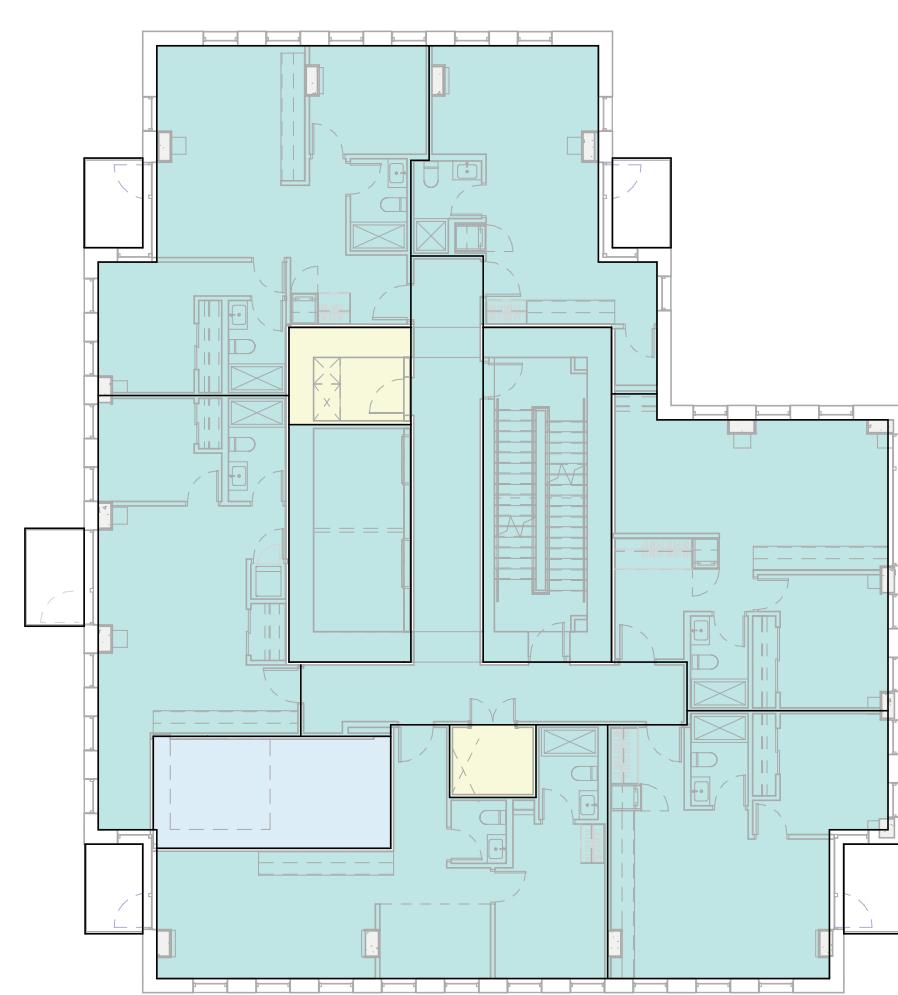
FLOOR AREA - LEVEL 1

Commercial 391.0 m<sup>2</sup>  
Excluded 436.2 m<sup>2</sup>  
Residential 150.8 m<sup>2</sup>  
Shared 117.3 m<sup>2</sup>

5 Level 5 Floor Area Overlay  
A042 1 : 200

FLOOR AREA - LEVEL 5

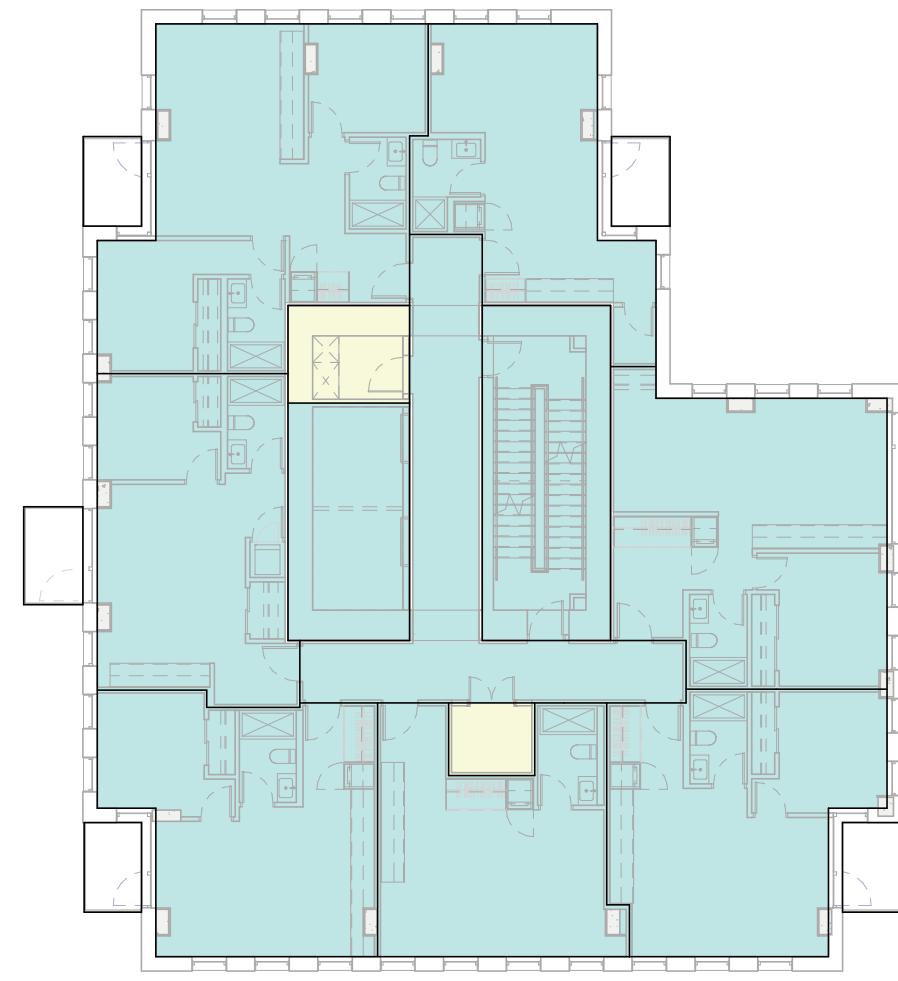
Level 05  
Commercial 191.0 m<sup>2</sup>  
Residential 91.7 m<sup>2</sup>  
Shared 68.4 m<sup>2</sup>



FLOOR AREA - LEVEL 6

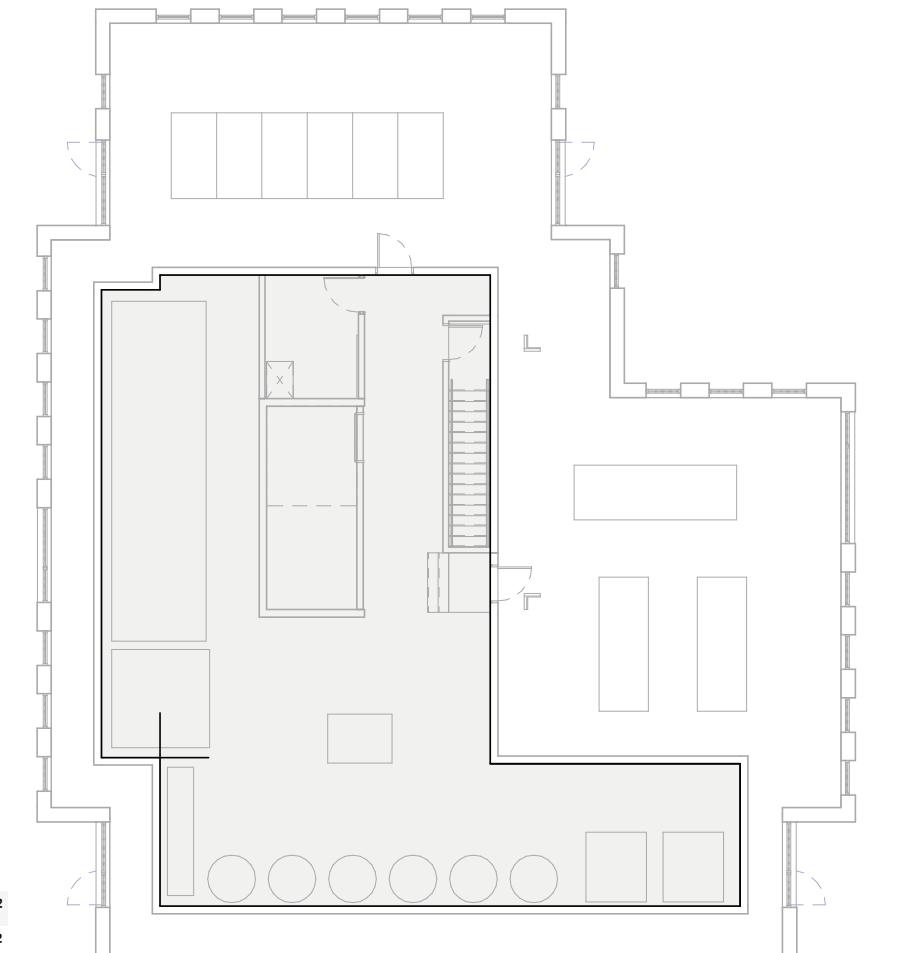
Commercial 18.6 m<sup>2</sup>  
Residential 394.5 m<sup>2</sup>  
Shared 12.7 m<sup>2</sup>

6 Level 6-17 Floor Area Overlay  
A042 1 : 200



FLOOR AREA - Level 7-17

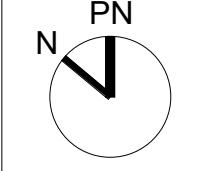
Residential 413.1 m<sup>2</sup>  
Shared 12.7 m<sup>2</sup>



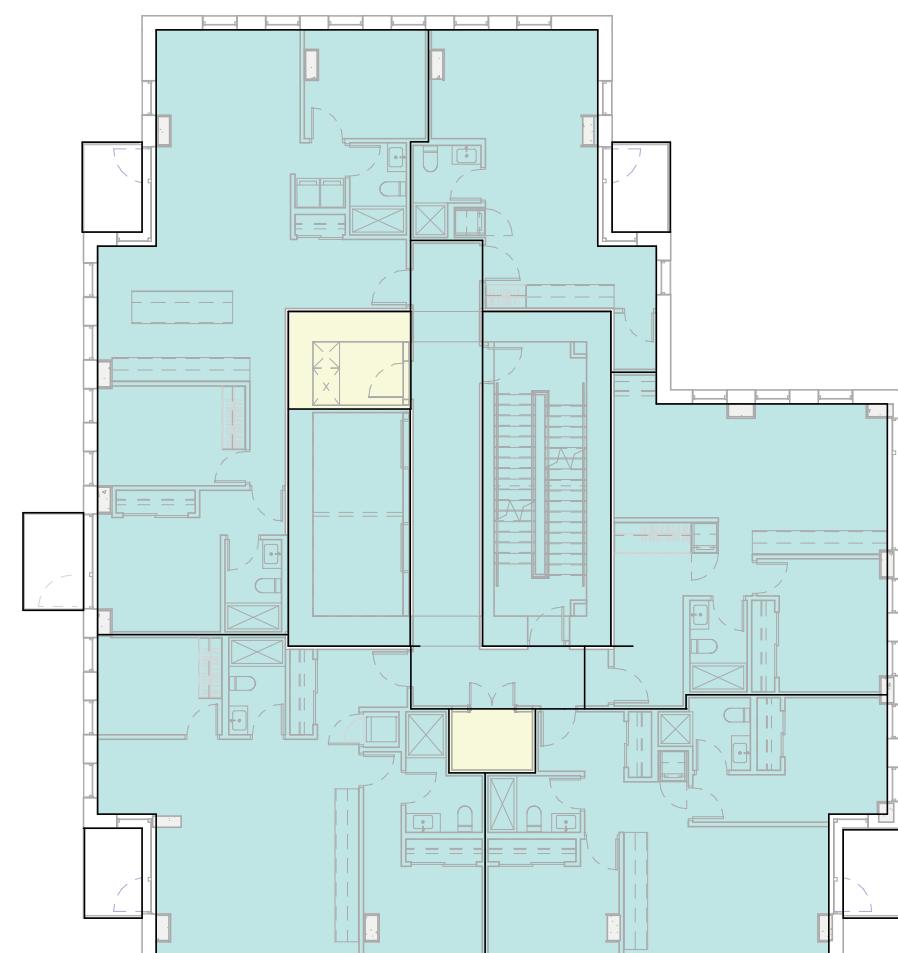
9 Roof Floor Area Overlay  
A042 1 : 200

FLOOR AREA - ROOF

Excluded 190.4 m<sup>2</sup>



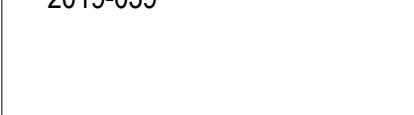
780 Blanshard - Rehabilitation + Addition



FLOOR AREA - Level 18-20

Residential 413.6 m<sup>2</sup>  
Shared 12.2 m<sup>2</sup>

FSR by Use  
Commercial (blue)  
Excluded (grey)  
Residential (teal)  
Shared (yellow)



780 Blanshard Street, Victoria, BC  
2019-039

FSR OVERLAYS PROPOSED

1 : 200  
2024-02-21 145851 PM

A042

CHATEAU VICTORIA  
ELEVATOR CORE ELEV = 69.53  
PARAPET ELEV = 61.49

PARKADE  
PARKING SURFACE ELEV = 20.38  
TOP OF WALL ELEV = 22.26

'ROBERT KER BUILDING'  
PARAPET ELEV = 37.65

'LAW COURTS'  
LOWER PARAPET ELEV = 33.93  
UPPER PARAPET ELEV = 53.82

**omb**  
office of mcfarlane biggar  
architects + designers  
408D-535 Yates Street Victoria BC  
T 604 558 6344 E info@officemb.ca

**RELIANCE**  
PROPERTIES

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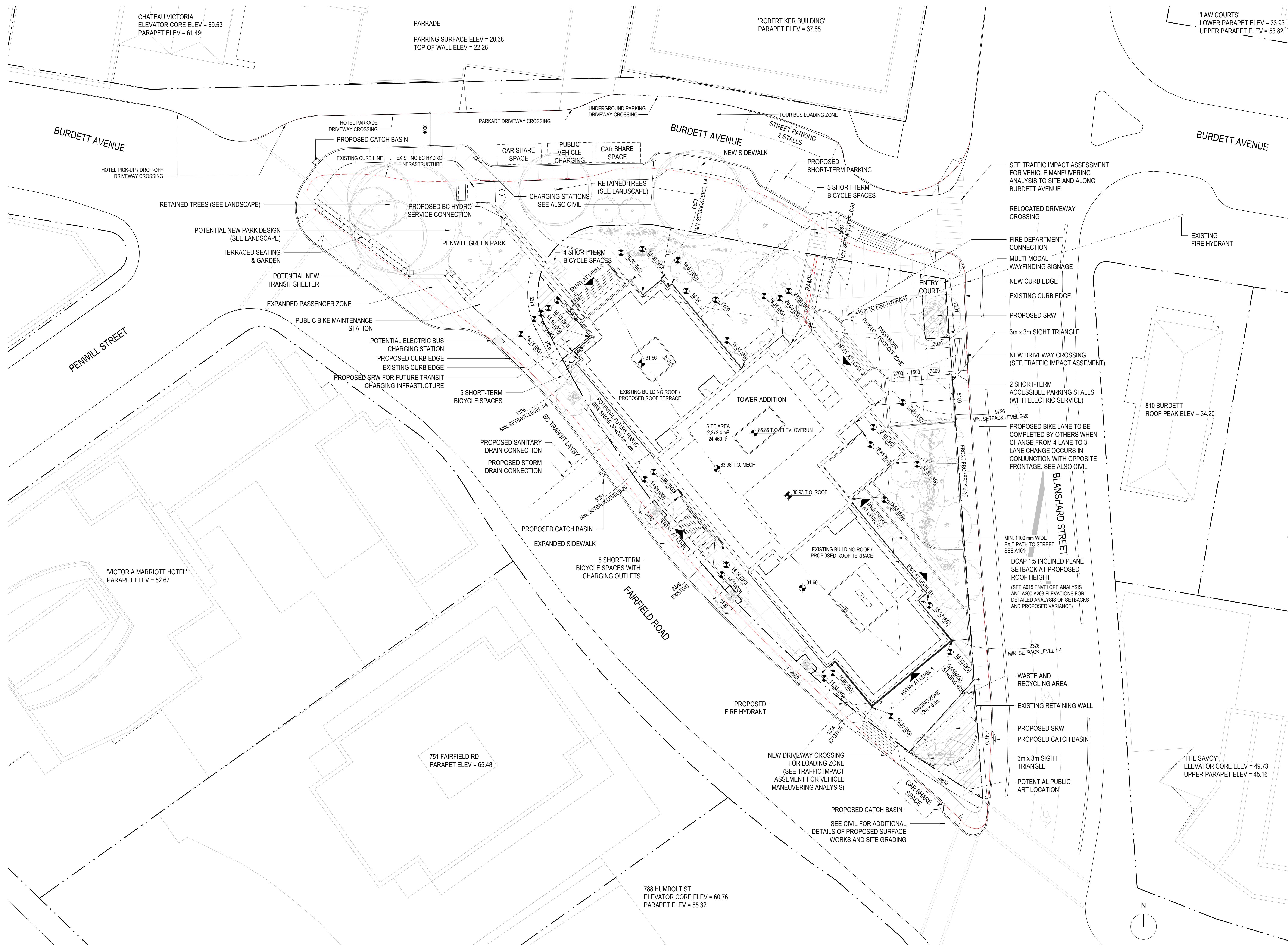
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2022-02-24 1 REZONING PRE-APPLICATION  
2022-06-01 2 OPEN HOUSE PROGRESS SET  
2022-06-21 3 REZONING APPLICATION  
2023-03-23 4 HAP & REZONING RESUBMISSION  
2024-02-21 5 HAP & RZ RESUBMISSION 02

780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

SITE PLAN PROPOSED

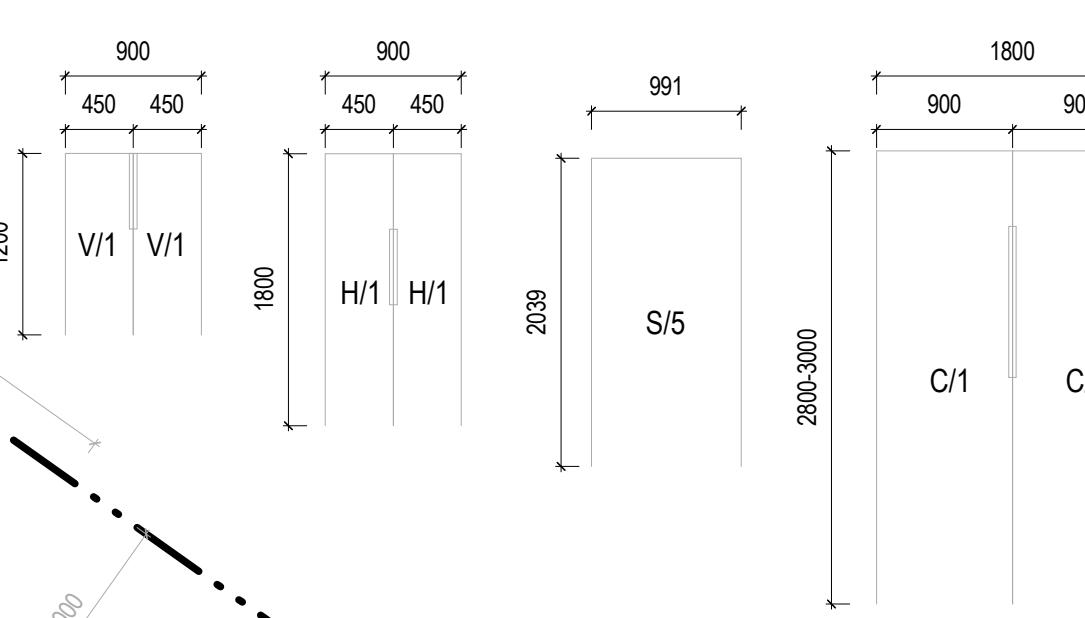
1: 200

2024-02-21 14:55:53 PM  
**A100**





## BICYCLE SPACES



## LONG TERM BICYCLE SPACES

LE

H/1  
↑  
↑  
TYPE — NUMBER OF SPACES

TY

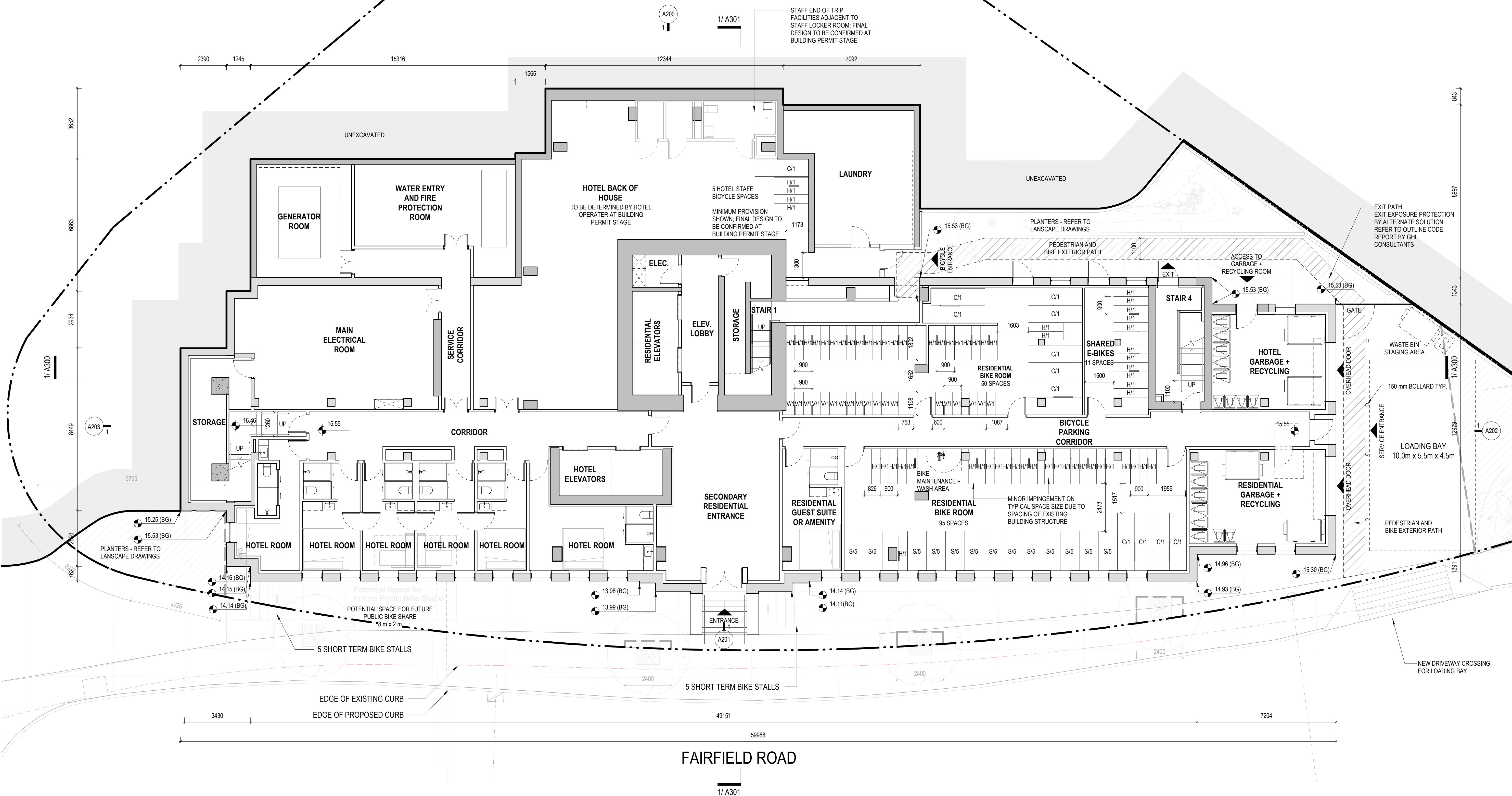
H = HORIZONTAL  
V = VERTICAL  
C = EXTRA-LARGE SPACE (e.g. CARGO BIKE)  
S = STACKED

SEE SUMMARY OF REQUIREMENT AND PROPOSED ON A011 AND FURTHER DETAIL IN PARKING & TDM STUDY.

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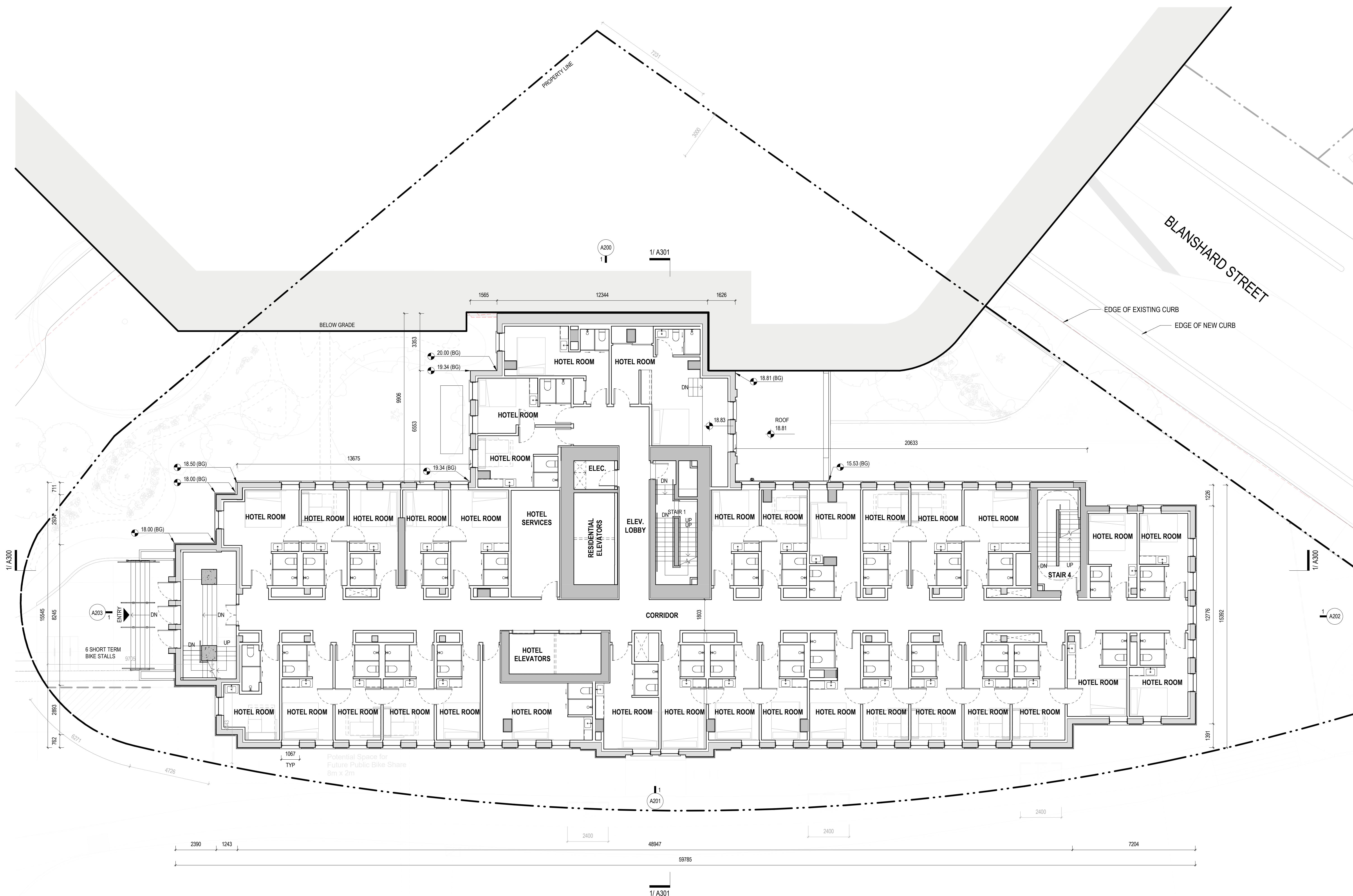
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2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & RZ RESUBMISSION 02

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & RZ RESUBMISSION 02



as indicated

A101





DATE	REV	DESCRIPTION
02-24	1	REZONING PRE-APPLICATION
06-01	2	OPEN HOUSE PROGRESS SET
06-21	3	REZONING APPLICATION
03-23	4	HAP & REZONING RESUBMISSION
10-26	5	PRE-COTW REVISIONS
02-21	6	HAP & RZ RESUBMISSION 02

## 780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

## LEVEL 3 FLOOR PLAN

≤ 1 : 100

A103

This detailed architectural drawing provides a site plan and floor plan for a building complex situated between Burdett Avenue and Blanshard Street. The site plan at the top shows the building's footprint, setbacks, and various curb configurations (existing, proposed, and new). It also indicates a passenger pick-up/drop-off zone, a fire department connection, and short-term accessible parking. The floor plan below shows the internal layout, including the hotel lobby, residential lobby, check-in area, luggage room, and various hotel rooms. It also depicts the hotel commons, office areas, and a food and beverage lounge. Stairwells, elevators, and an annunciation panel are also shown. The drawing includes numerous dimensions, labels for specific rooms and areas, and various notes and instructions for construction and preservation.

**Site Plan Labels:**

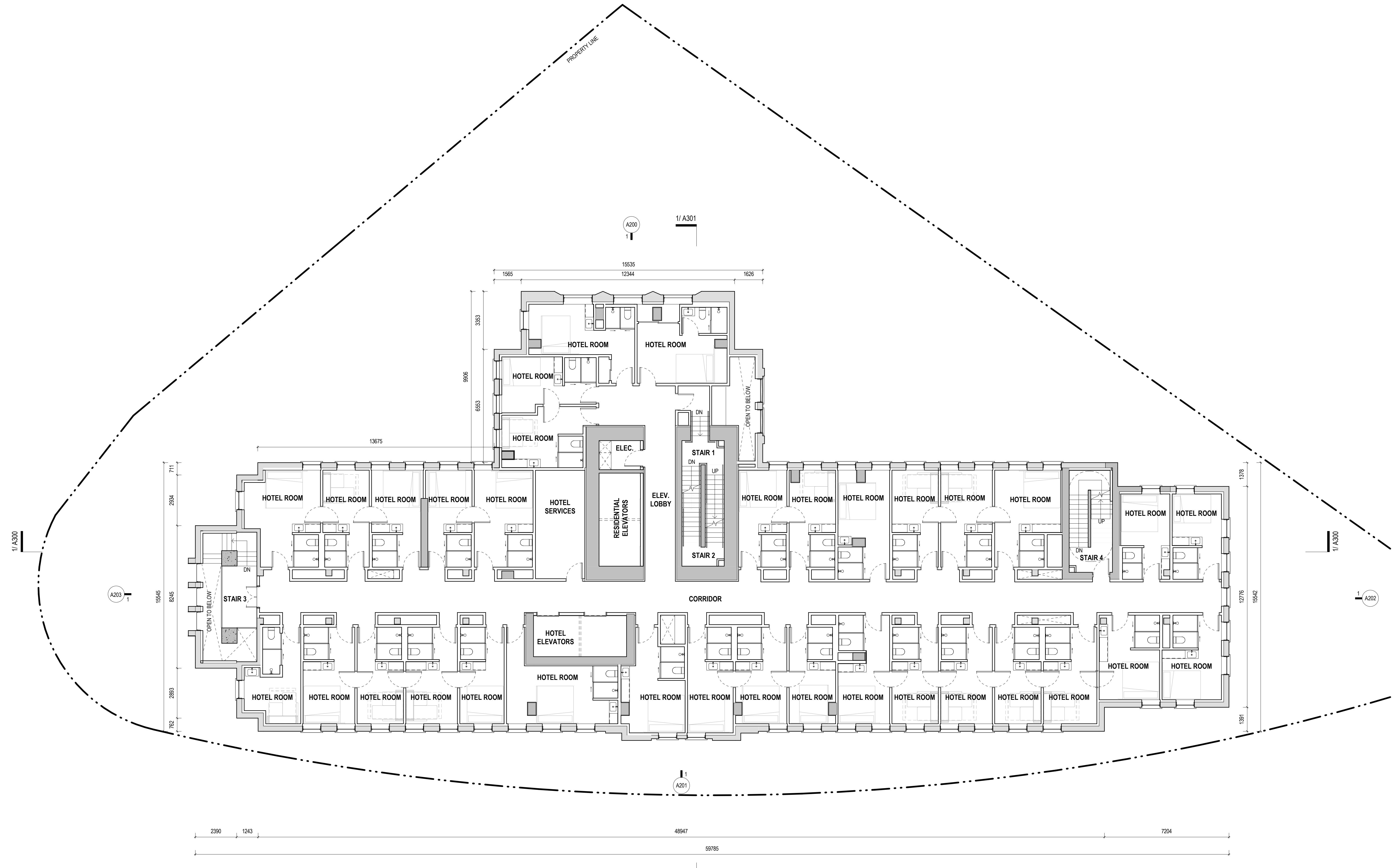
- BURDETT AVENUE
- BLANSHARD STREET
- EDGE OF PROPOSED CURB
- EDGE OF EXISTING CURB
- NEW SIDEWALK
- PROPERTY LINE
- ENTRY COURT
- 5 SHORT-TERM BICYCLE SPACES
- PASSENGER PICK UP + DROP OFF ZONE
- FIRE DEPARTMENT CONNECTION
- 14120
- 1415
- EDGE OF EXISTING CURB
- EDGE OF NEW CURB
- 1/ A301
- 1/ A200
- 1/ A203
- 1/ A202
- 1/ A300
- 1/ A201

**Floor Plan Labels:**

- EDGE OF PROPOSED CURB
- EDGE OF EXISTING CURB
- NEW SIDEWALK
- PROPERTY LINE
- ENTRY COURT
- 5 SHORT-TERM BICYCLE SPACES
- PASSENGER PICK UP + DROP OFF ZONE
- FIRE DEPARTMENT CONNECTION
- 14120
- 1415
- EDGE OF EXISTING CURB
- EDGE OF NEW CURB
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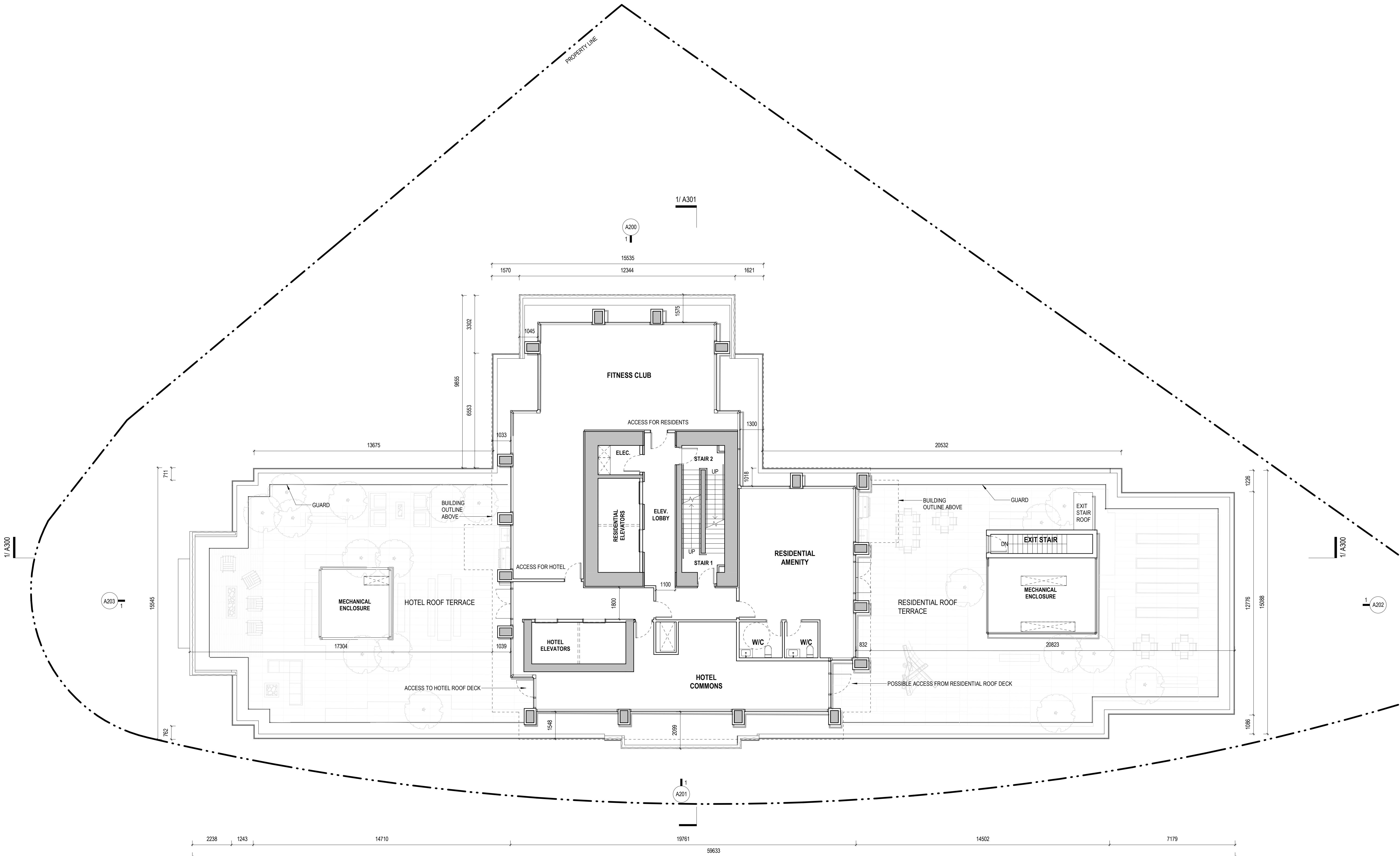
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2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & R2 RESUBMISSION 02





2024-02-21

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & R2 RESUBMISSION 02



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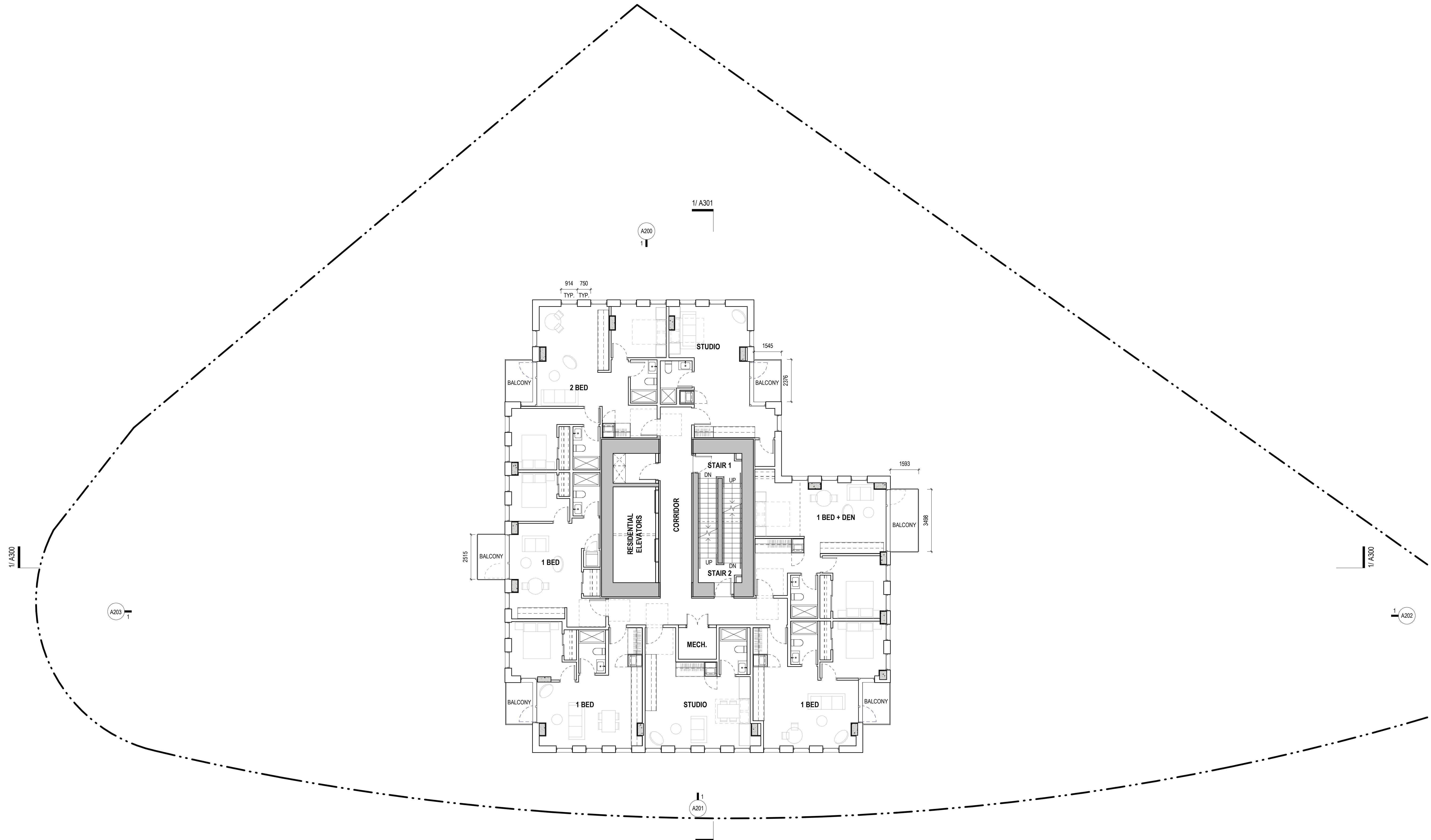
DATE	REV	DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION
2024-02-21	2	HAP & RZ RESUBMISSION 02

## 80 Blanshard - Rehabilitation + Addition

## LEVEL 6 FLOOR PLAN

1 : 100

# office of mcfarlane biggar architects + designers



LEVEL 7-17 FLOOR PLAN



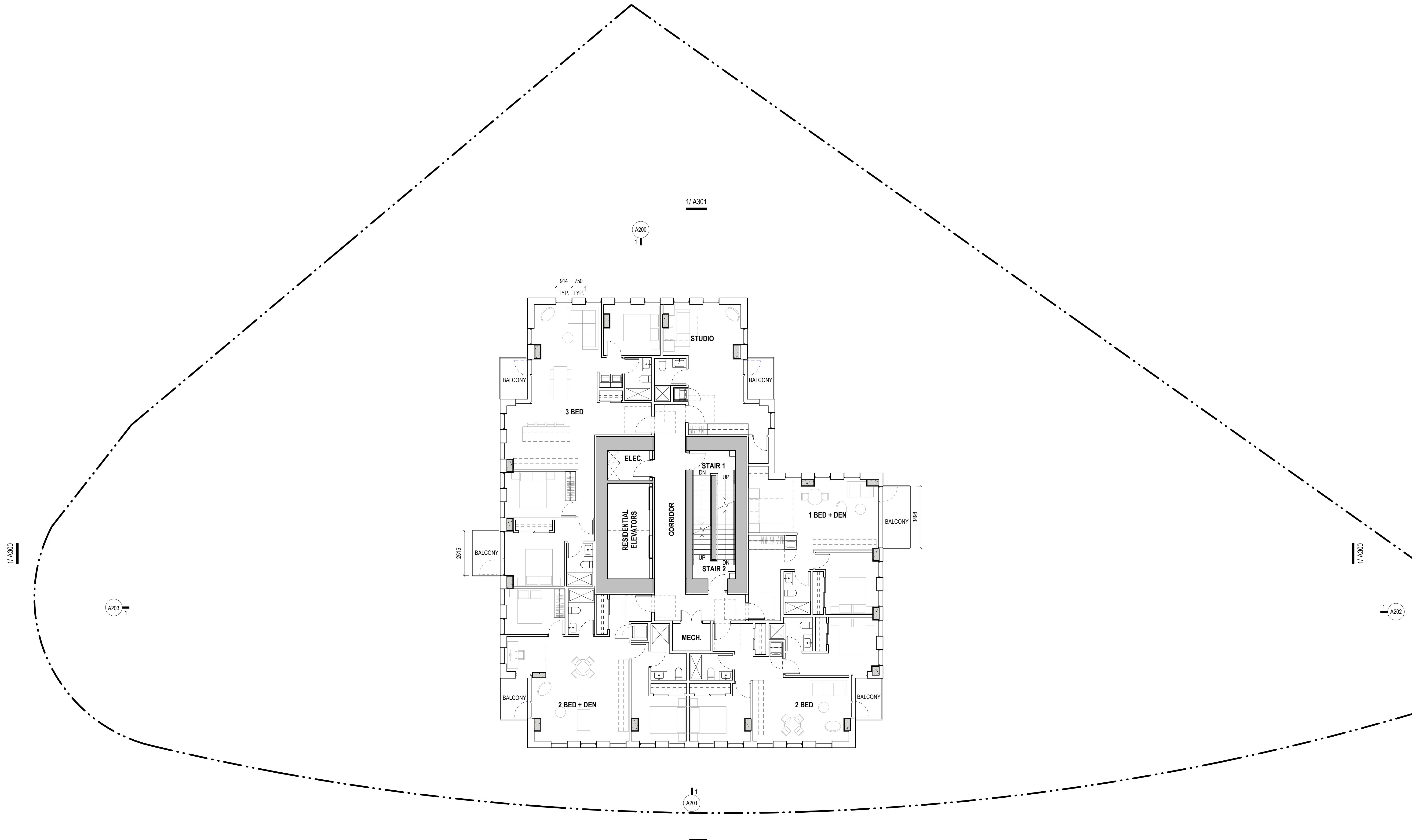
DATE REV DESCRIPTION  
2023-03-23 1 HAP & REZONING RESUBMISSION  
2024-02-21 2 HAP & RZ RESUBMISSION 02

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

LEVEL 18-20 FLOOR PLAN

1:100  
2024-02-21 14:53:41 PM  
A108





DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & R2 RESUBMISSION 02

780 Blanshard - Rehabilitation + Addition

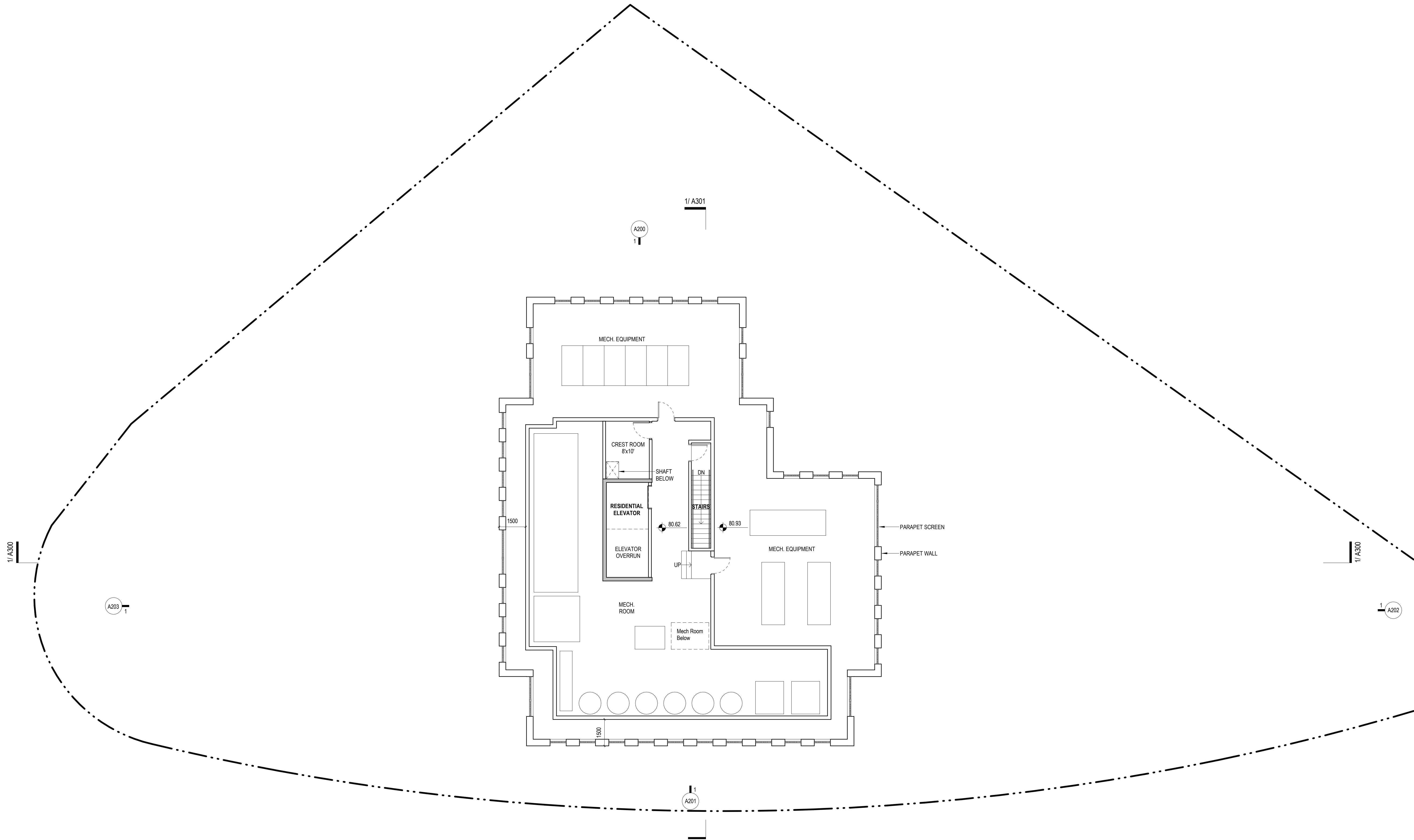
780 Blanshard Street, Victoria, BC  
2019-039

MECHANICAL ROOFTOP PLAN

1 : 100

2024-02-21 14:53:33 PM

**A109**



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DATE	REV	DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION
2024-02-21	2	HAP & RZ RESUBMISSION 02

## 80 Blanshard - Rehabilitation + Addition

## ROOF PLAN

1 : 100

A110

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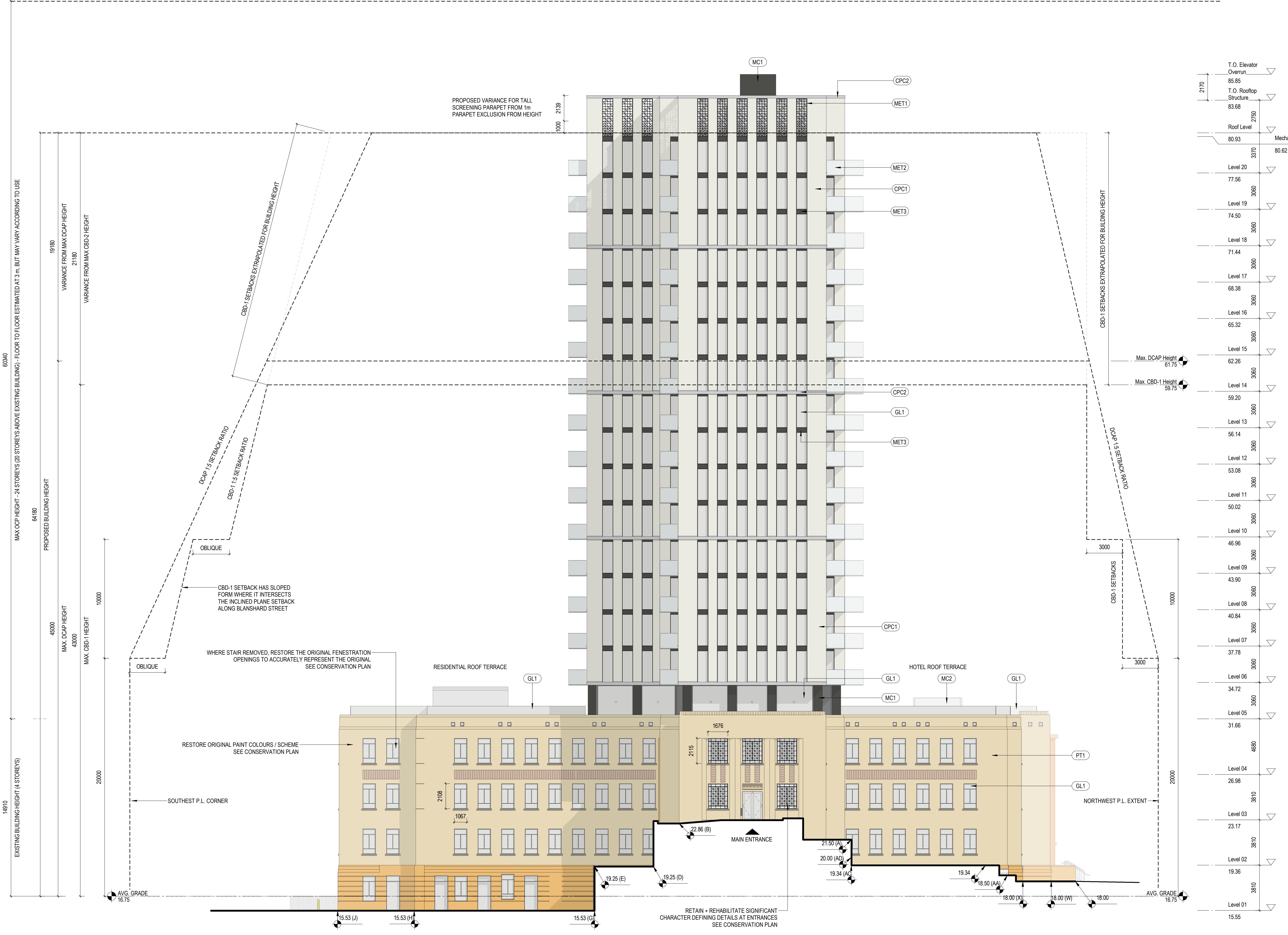
DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
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2024-02-21	5	HAP & RZ RESUBMISSION 02

## 80 Blanshard - Rehabilitation + Addition

ELEVATION NORTH

1 : 150

A200



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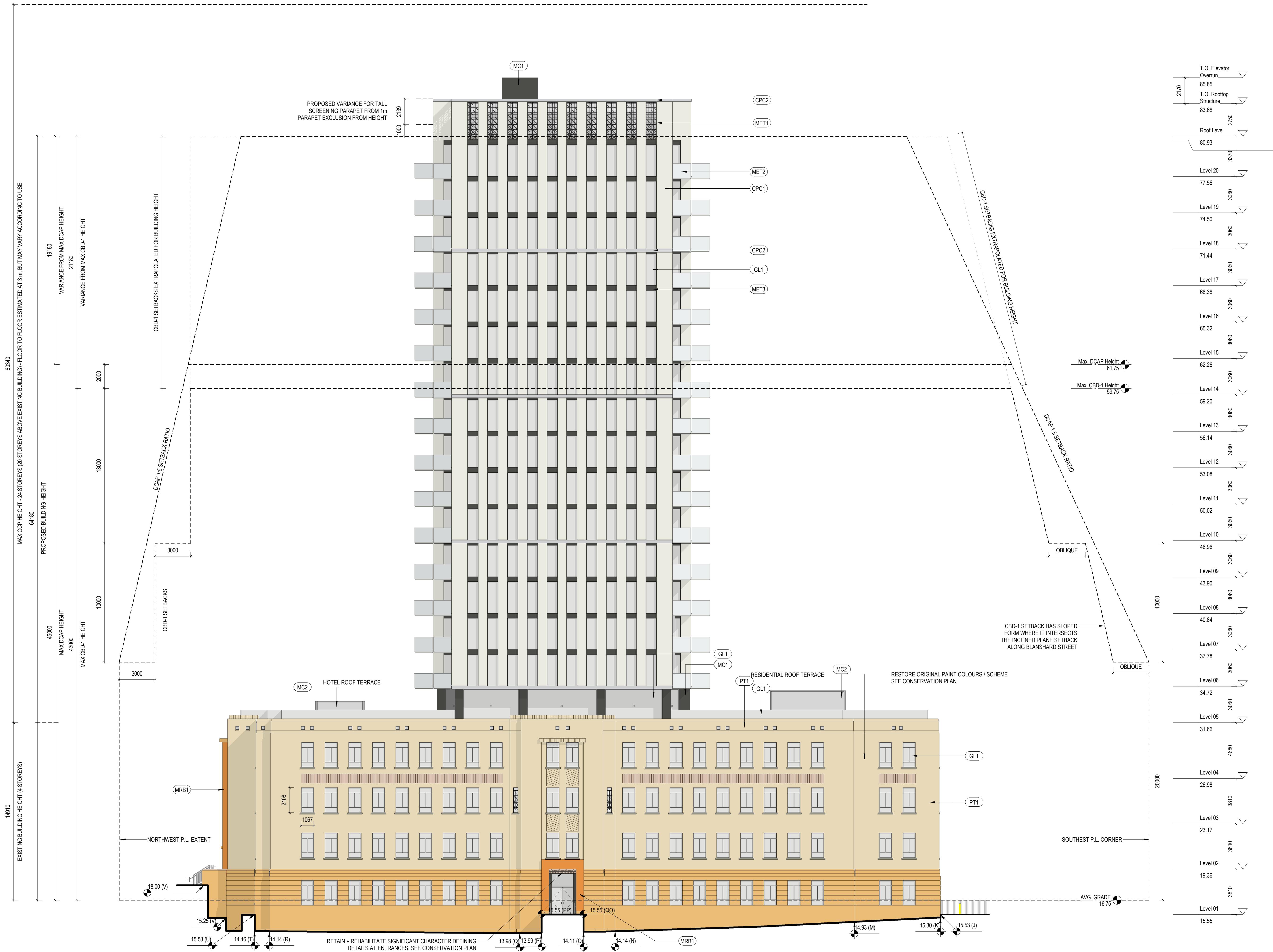
STEPHEN D. MCFARLANE  
REGISTERED ARCHITECT  
BRITISH COLUMBIA  
2024-02-21

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
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2024-02-21	5	HAP & RZ RESUBMISSION 02

## 80 Blanshard - Rehabilitation + Addition

## EL E V A T I O N S O U T H

: 150



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2024-02-2

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & RZ RESUBMISSION 02

## MATERIAL PALETTE

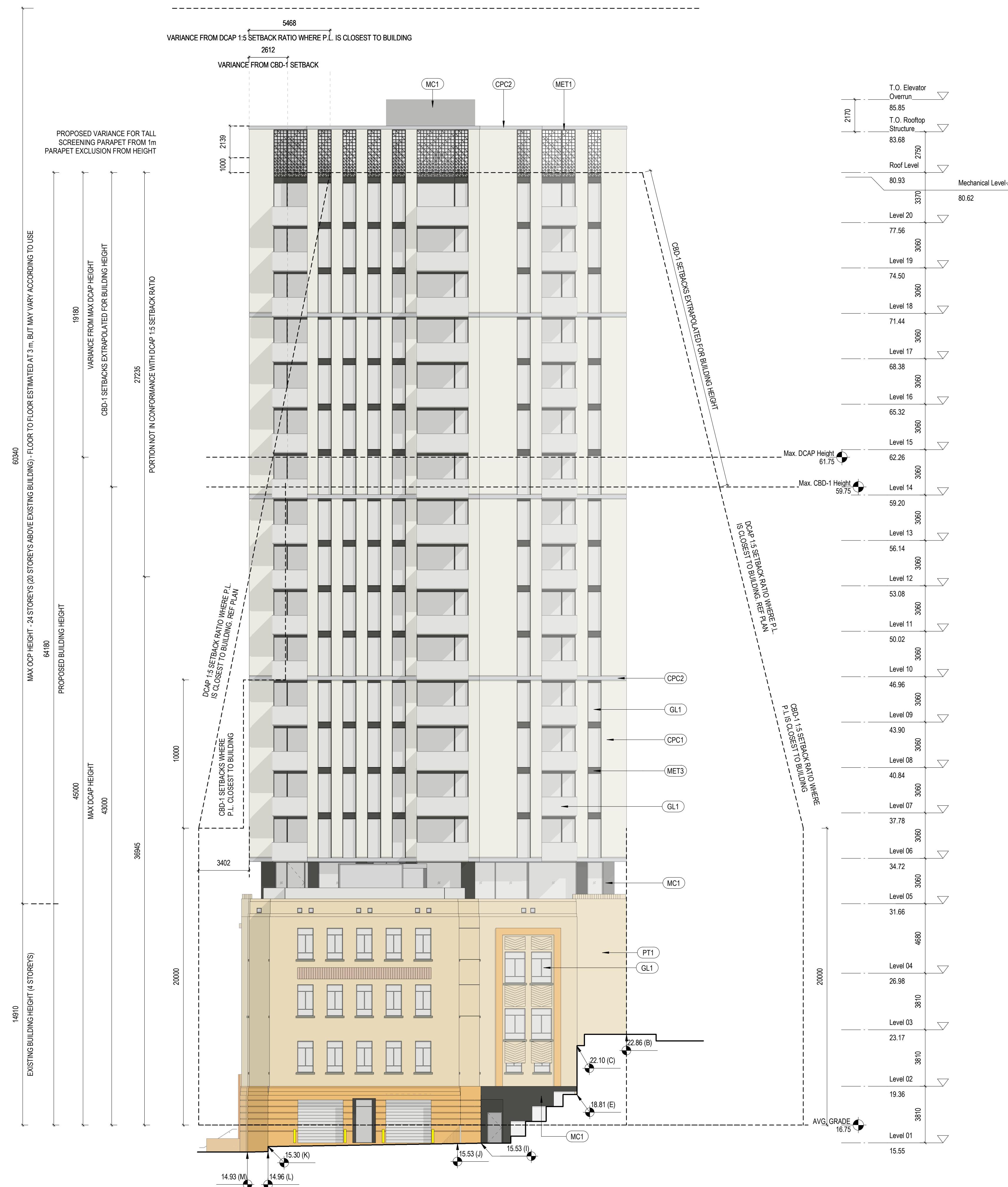
	CPC1 CEMENTITIOUS PANEL CLADDING
	CPC2 CEMENTITIOUS PANEL CLADDING
	GL1 CLEAR GLASS
	MC1 METAL CLADDING
	MC2 PERFORATED METAL CLADDING
	MET1 DARK METAL SCREEN
	MET2 POLISHED METAL
	MET3 DARK METAL SPANDREL PANEL
	PT1 PAINTED HERITAGE COLOUR SCHEME
	PT2 PAINTED HERITAGE COLOUR SCHEME

## MATERIAL LEGEND

CPC1	CEMENTITIOUS PANEL CLADDING
CPC2	PRECAST CONCRETE
GL1	CLEAR GLASS
MC1	METAL CLADDING
MC2	PERFORATED METAL CLADDING
MET1	DARK METAL SCREEN
MET2	POLISHED METAL
MET3	DARK METAL SPANDREL PANEL
MRB1	MARBLE CLADDING: RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN: SEE CONSERVATION PLAN
PT1	PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN
PT2	PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN

80 Blanshard Street, Victoria, BC  
019-039

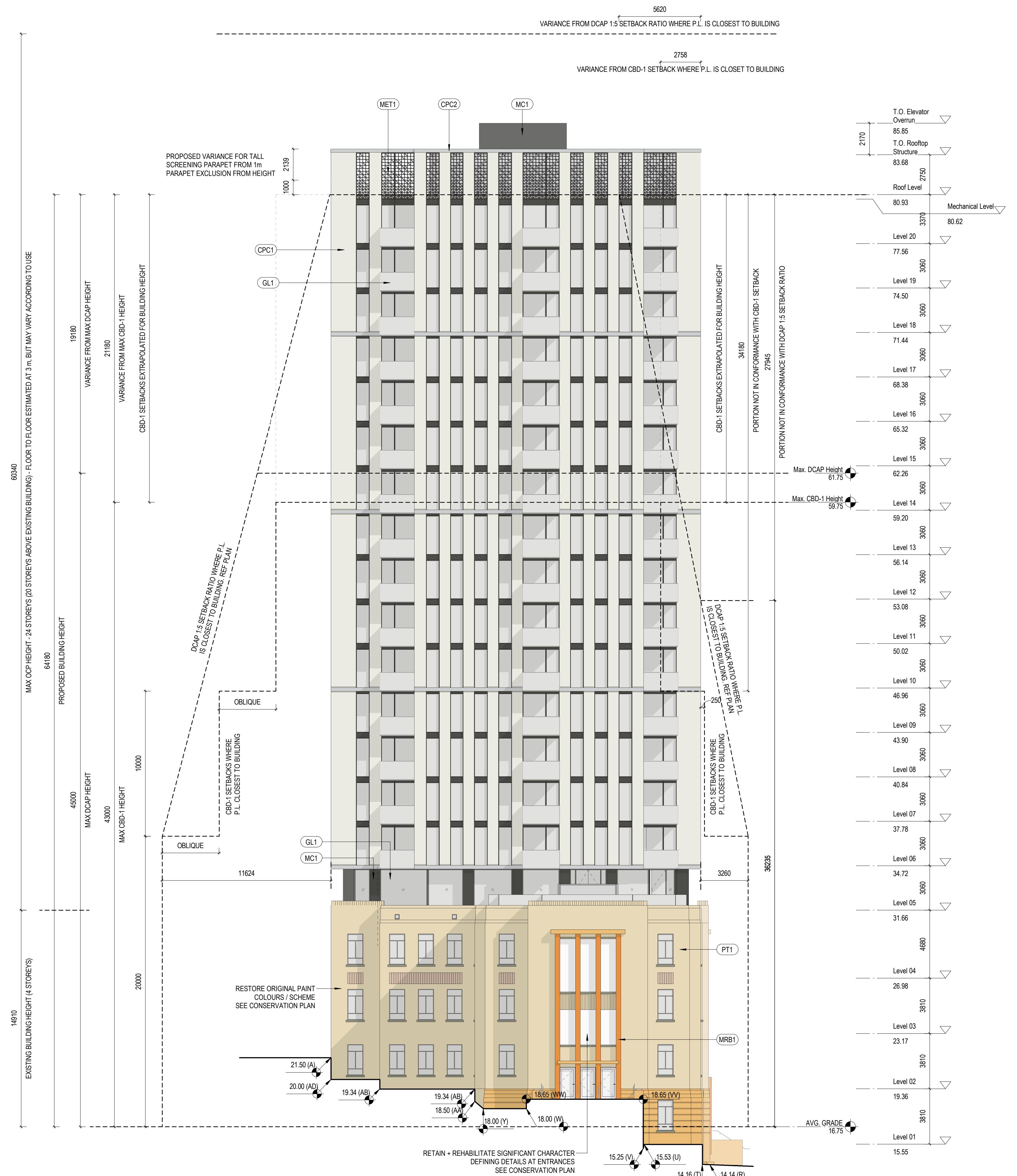
## EAST ELEVATION



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A circular registration stamp for Stephen D. McFarlane, Registered Architect, British Columbia. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "BRITISH COLUMBIA" at the bottom. The inner circle contains "STEPHEN D. MCFARLANE" and a large, stylized signature of the name. The date "2024-02-21" is at the bottom.

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## MATERIAL PALETTE



MET1 DARK METAL SCREEN

MET2 POLISHED METAL



A vertical color swatch book titled 'PAINTED HERITAGE COLOUR SCHEMES'. The book is open to two pages: 'PT1 PAINTED HERITAGE COLOUR SCHEME' and 'PT2 PAINTED HERITAGE COLOUR SCHEME'. Each page features a large, solid color swatch on the left and the title text on the right.

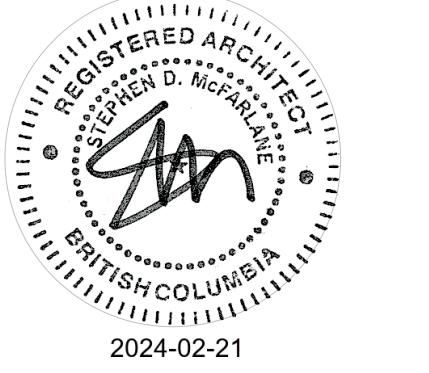
## 780 Blanshard - Rehabilitation + Addition

## MATERIAL LEGEND

CPC1	CEMENTITIOUS PANEL CLADDING
CPC2	PRECAST CONCRETE
GL1	CLEAR GLASS
MC1	METAL CLADDING
MC2	PERFORATED METAL CLADDING
MET1	DARK METAL SCREEN
MET2	POLISHED METAL
MET3	DARK METAL SPANDREL PANEL
MRB1	MARBLE CLADDING: RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN: SEE CONSERVATION PLAN
PT1	PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN
PT2	PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN

1 : 150

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780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, B.C.  
2019-039

## BUILDING SECTION EAST-WEST

W 1 : 150

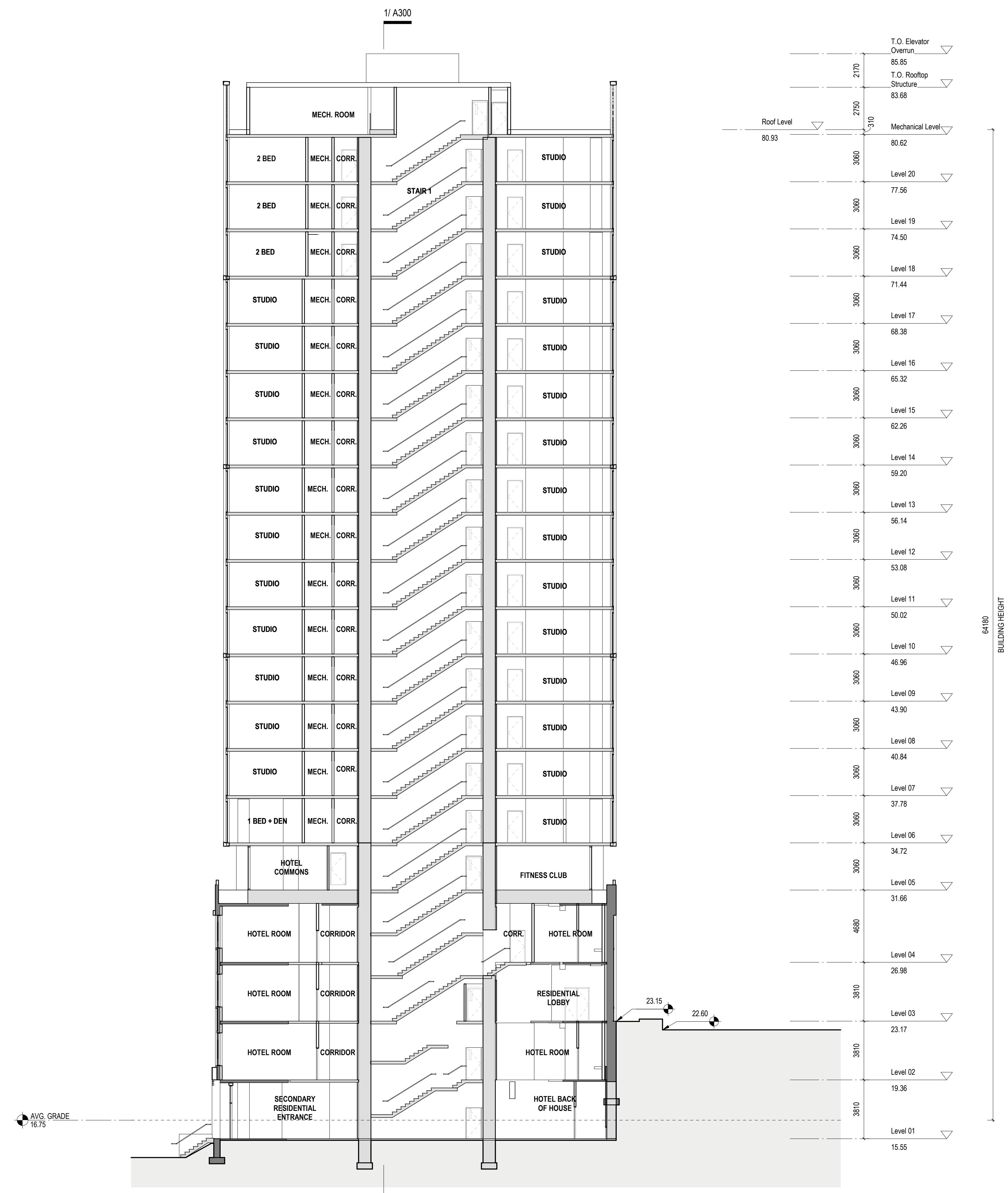
2024-02-21 5:00  
**A300**

This architectural cross-section diagram illustrates the layout and dimensions of a building. The structure features a central vertical stack of rooms, including multiple '1 BED + DEN' and '3 BED' units, along with 'MECH. ROOM' and 'FITNESS CLUB' areas. To the left, a 'HOTEL BACK OF HOUSE' section contains 'MAIN ELECTRICAL ROOM' and 'STORAGE' areas. On the right, a 'HOTEL SERVICES' section includes 'HOTEL OFFICE' and 'HOTEL COMMONS' rooms. The building is organized into 20 levels, with specific floor heights labeled on the right. Key dimensions include a total width of 1500 MIN. and a total height of 4920. The diagram also shows the height of the parapet extension (339) and the height of the rooftop structure (4920). A legend on the right identifies symbols for T.O. Elevator Overrun, T.O. Rooftop Structure, and Mechanical Level. A north arrow is located in the top left corner.



2024-02-21

DATE	REV	DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
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2023-03-23	4	HAP & REZONING RESUBMISSION
2024-02-21	5	HAP & RZ RESUBMISSION 02



# 780 BLANSHARD STREET

ISSUED FOR REZONING AND HERITAGE ALTERATION PERMIT

**CLIENT:**

**RELIANCE PROPERTIES LTD.**

JUAN PEREIRA  
juanp@reliancproperties.ca  
604.694.8680

**ARCHITECTS:**

**OFFICE OF MCFARLANE BIGGAR ARCHITECTS +  
DESIGNERS INC.**

MATTHEW BEALL  
MBeall@officemb.ca  
604.558.6371

**LANDSCAPE ARCHITECT:**

**GJALA GAUTHIER + ASSOCIATES LANDSCAPE  
ARCHITECTS INC.**

BRYCE GAUTHIER  
bryce@gauthierla.com  
604.317.9682

RODRIGO RODRIGUES  
rodrigo@gauthierla.com  
778.714.0123

**LANDSCAPE DRAWING INDEX PERMIT**

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE SURVEY
L0.2	TREE MANAGEMENT PLAN
L0.3	DEMOLITION PLAN
L0.4	OVERALL IMPERMEABLE SURFACES OVERLAY
L1.0	OVERALL SITE PLAN
L1.1	WEST ENLARGEMENT PLAN
L1.2	NORTH ENLARGEMENT PLAN
L1.3	SOUTH ENLARGEMENT PLAN
L1.4	PENWILL GREEN PARK ENLARGEMENT PLAN
L1.5	OVERALL PLANTING PLAN
L1.6	OVERALL IRRIGATION PLAN
L1.7	PRECEDENT IMAGES
L2.0	LEVEL 5: MATERIALS AND LAYOUT PLAN
L3.0	PRECEDENT IMAGES
L4.0	SECTIONS
L4.1	SECTIONS

**G | ALA**

Gauthier + Associates Landscape Architects Inc.

 **RELIANCE**  
PROPERTIES

 **omb** office of mcfarlane biggar  
architects + designers

N Issued for Rezoning & Heritage Alteration Permit

24-02-21

780 Blanshard Street  
Victoria, BC

Reliance Properties  
2148

**L0.0**  
COVER SHEET

## TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
18. A SIGNIFICANT TREE;
19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
20. A TREE ON A STEEP SLOPE;
21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.



## TYPICAL TREE PROTECTION FOR VICTORIA

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2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
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7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
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18. A SIGNIFICANT TREE;
19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
20. A TREE ON A STEEP SLOPE;
21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
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24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.



## TREE SURVEY

SYMBOL	DESCRIPTION
Red circle with a red 'X'	EXISTING TREE TO BE REMOVED
Green circle	EXISTING TREE TO BE RETAINED:
Blue line	EXISTING CURB LINE
Cyan line	PROPOSED UTILITIES. REFER TO CIVIL
Dashed line	EXISTING RETAINING WALL TO REMAIN
Blue dashed line	EXISTING CONDITIONS
Orange dashed line	TREE PROTECTION FENCE

## GENERAL DEMOLITION NOTES:

1. VEHICLES SHALL NOT BE PARKED OR PARKED TEMPORARILY STANDING IDLE WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE SAVED. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE SAVED.
2. THE CONTRACTOR SHALL SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
3. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
4. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. INITIATE BC ONE CALL PRIOR TO EXCAVATION; IDENTIFY AND PROTECT ALL EXISTING UTILITIES.
6. INSTALL TREE PROTECTION FENCING PRIOR TO EXCAVATION; PROTECT AND PRESERVE DRIP LINES OF TREES TO REMAIN AT ALL TIMES.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. EXISTING PLANTS MAY BE REMOVED, PROTECTED AND REPLANTED AT THE LANDSCAPE ARCHITECT'S DESCRETION.
9. ALL NEW CONCRETE MUST DRAIN TO EXISTING CATCH BASINS.
10. REFER TO CITY OF VICTORIA TREE PROTECTION GUIDELINE FOR TREE PROTECTION FENCING.
11. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
12. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
13. THE LAYOUT OF ALL PROPOSED HARDCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
15. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
16. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
17. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY CONTRACTOR. PROVIDE DUST CONTROL, AS APPROVED BY LANDSCAPE ARCHITECT.
18. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
19. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS AND TURF DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

## DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXTENT OF DEMOLITION
	PARTLY DEMOLISHED/PROTECTED



## IMPERMEABLE X ABSORBENT SURFACES LEGEND

TOTAL AREA: 2272.36 m<sup>2</sup>



IMPERMEABLE SURFACES AND BUILDINGS  
1661.36 m<sup>2</sup> (73.11%)



ABSORBENT SURFACES  
611 m<sup>2</sup> (26.89%)



**G | ALA**

Gauthier + Associates Landscape Architects Inc.

**RELIANCE**  
PROPERTIES

**omb** office of mcfarlane biggar  
architects + designers

N Issued for Rezoning & Heritage Alteration Permit



780 Blanshard Street  
Victoria, BC

Reliance Properties  
2148

**L0.4**

OVERALL IMPERMEABLE SURFACES  
OVERLAY

**LEGEND**

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		SITE FURNISHING Bollard as per New Town Public Realm design.
		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x48"
		SITE FURNISHING Bike Repair Station
		EXISTING RETAINING WALL TO REMAIN
		PROPOSED RETAINING WALL, BY OTHERS
		PROPOSED LANDSCAPE WALL
		CIP CONCRETE SEAT WALL WITH WOOD TOP
		STAIRS





## LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth

## GRADING LEGEND

SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
EL 0.00	EXISTING ELEVATION
TW 0.00	TOP OF WALL ELEVATION
BW 0.00	BOTTOM OF WALL ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
TB 0.00	TOP OF BENCH ELEVATION
TR 0.00	TOP OF RAMP ELEVATION
BR 0.00	BOTTOM OF RAMP ELEVATION
BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1% →	SLOPE AND DIRECTION





#### LEGEND

SYMBOL	QTY	DESCRIPTION
- - -		EXISTING CURB LINE
■		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
■		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
■		PLANTING TYPE 1 Garry Oak Ecosystem
■		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
●		SITE FURNISHING Bollard as per New Town Public Realm design.
●		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
●		SITE FURNISHING Moveable Cafe Table + Chairs
●		SITE FURNISHING Public Art Feature
●		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
■		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x48"
■		SITE FURNISHING Bike Repair Station
- - -		EXISTING RETAINING WALL TO REMAIN
- - -		PROPOSED RETAINING WALL, BY OTHERS
■		PROPOSED LANDSCAPE WALL
■		CIP CONCRETE SEAT WALL WITH WOOD TOP
■		STAIRS

#### GRADING LEGEND

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1% →	SLOPE AND DIRECTION







#### LEGEND

SYMBOL	QTY	DESCRIPTION
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		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48"x48"

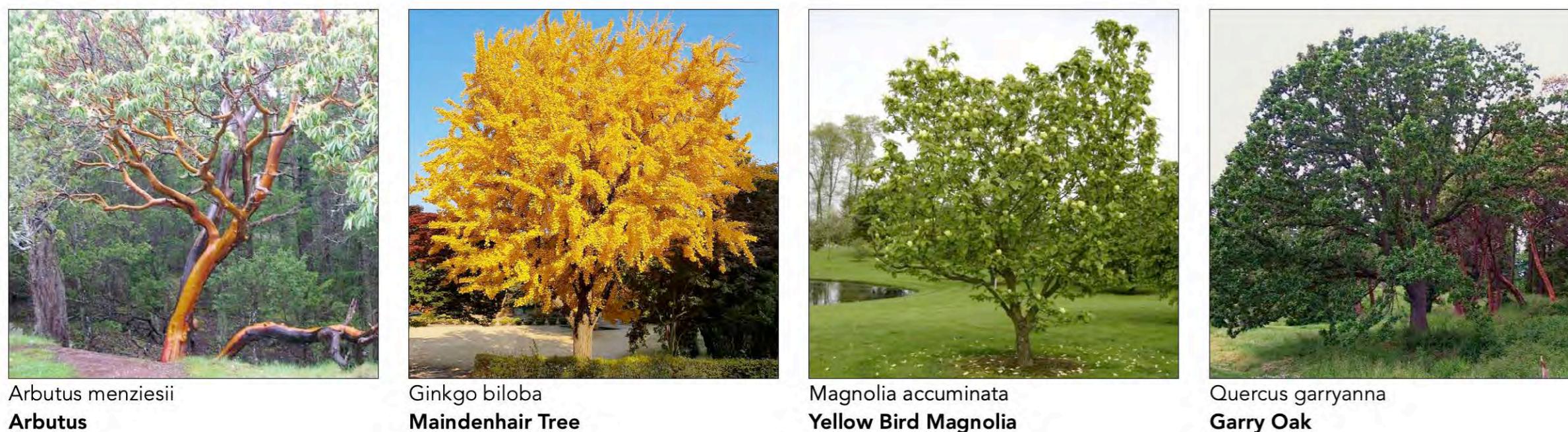
#### GRADING LEGEND

SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
EL 0.00	EXISTING ELEVATION
TW 0.00	TOP OF WALL ELEVATION
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BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1%	SLOPE AND DIRECTION



# PLANT IMAGES

## TREES



## SHRUBS



## PERENNIALS, GRASSES, GROUNDCOVER



NOTE: 30% OF PLANTS TO BE COMPOSED OF NATIVE PLANTS.

P13

## GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED. INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.

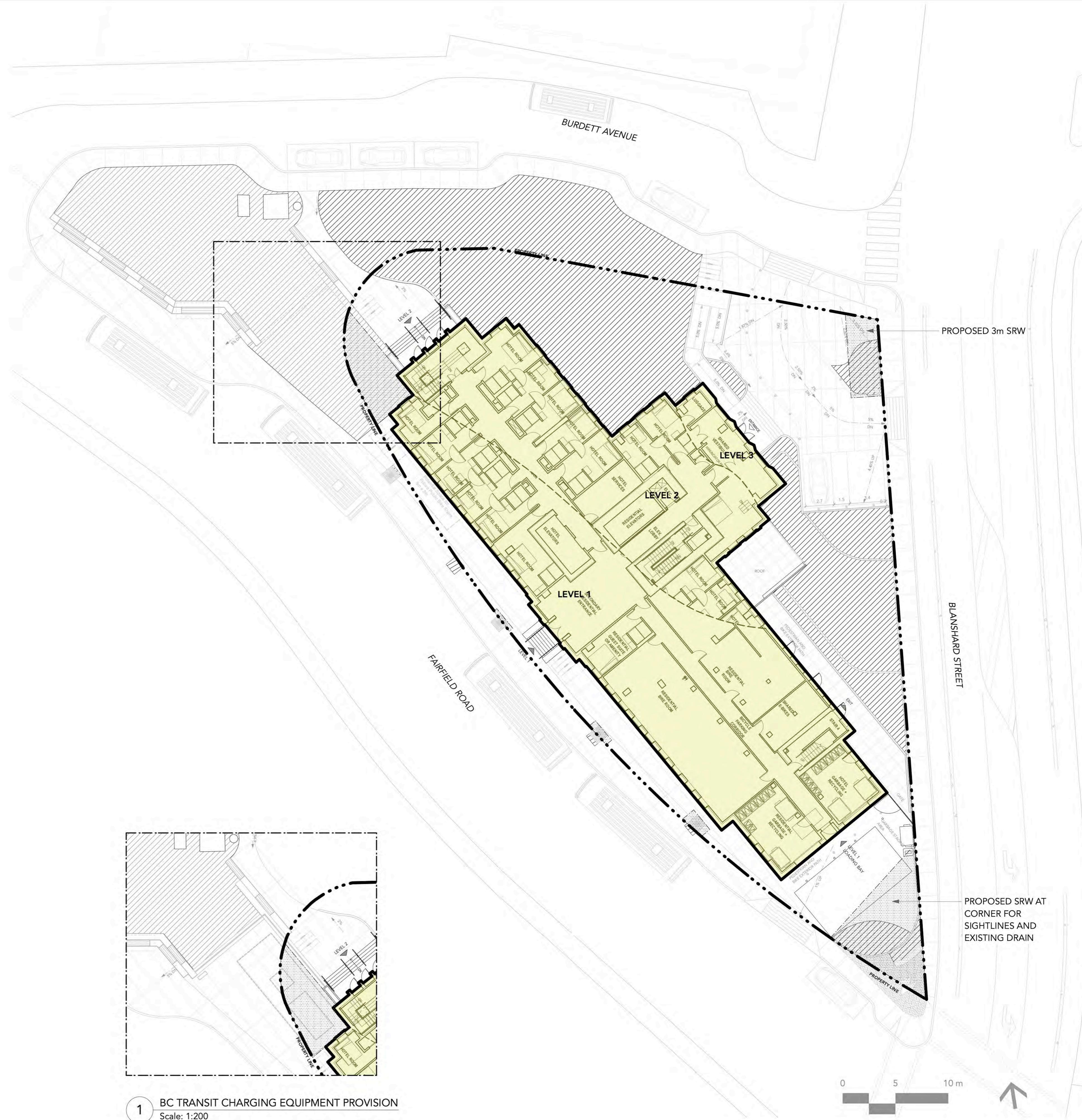


## GENERAL IRRIGATION NOTES

1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
  2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
  3. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
  4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
  5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
  6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
  7. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLTION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
  8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
  9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
  10. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
  11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET. THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE CONSULTANT'S SPECIFICATIONS. THE LANDSCAPE OR GENERAL CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS A SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST BE COMPLIANT WITH ALL MUNICIPAL BYLAWS AND PROVINCIAL HEALTH AND BUILDING CODES.
  12. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
  13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
  14. ALL PIPE TO BE SCHEDULE 40.
  15. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
  16. INSTALL PRECISION SOIL SENSOR ON SYSTEM
  17. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.
  18. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 65PSI AND 18GPM.
  19. THE SYSTEM SHALL INCLUDE A RAIN SENSOR.
  20. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR.
  21. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
  22. IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT).
  23. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION

## IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	IRRIGATION SLEEVE FOR IRRIGATION CONDUIT
	RAISED / RECESSED PLANTER AREA TO BE IRRIGATED



# RELIANCE PROPERTIES

om

hb office of mcfarlane biggar  
architects + designers

1

Issued for Rezoning & Heritage Alteration Permit

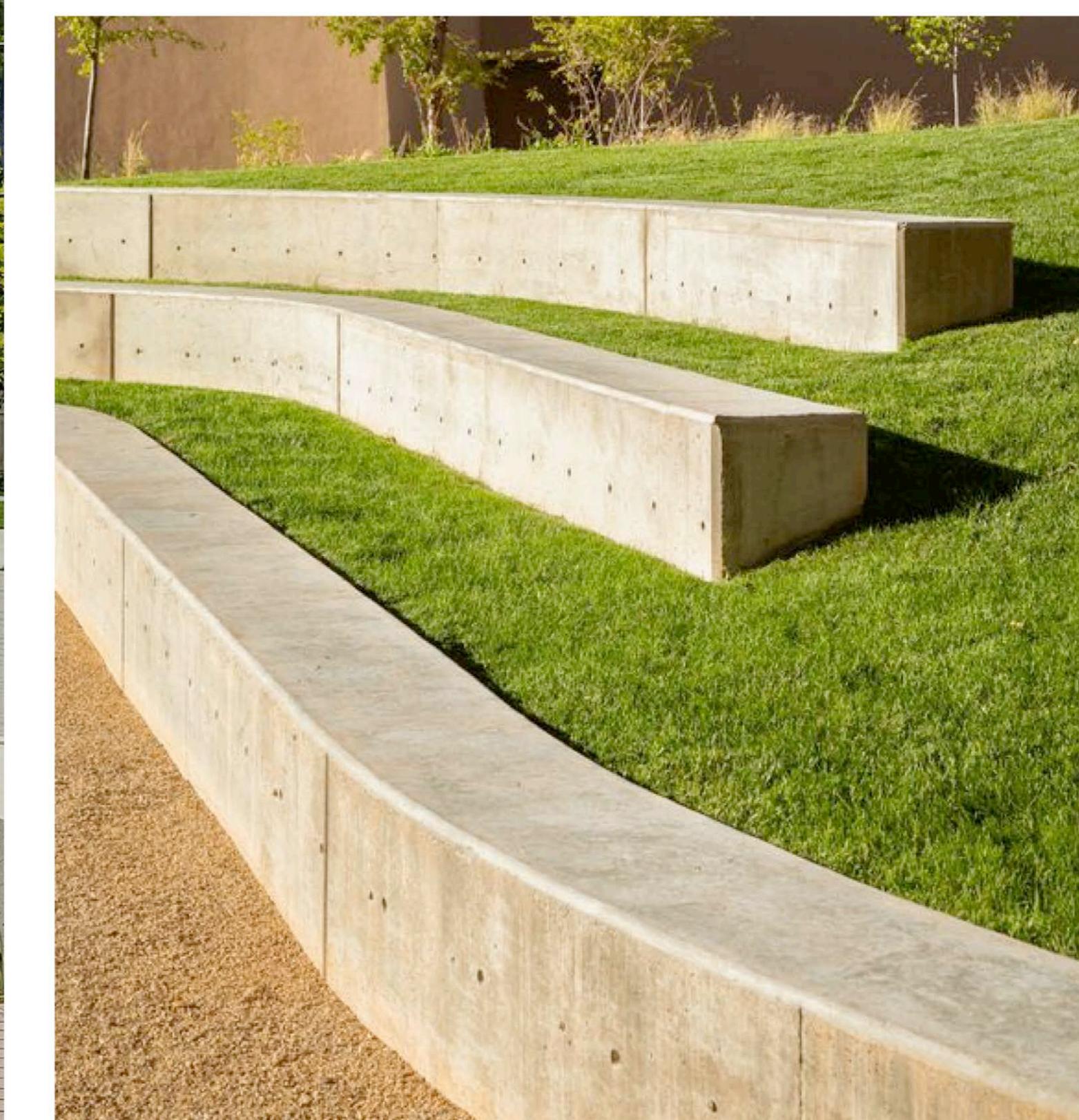


780 Blanshard Street  
Victoria, B.C.

Reliance Properties  
2148

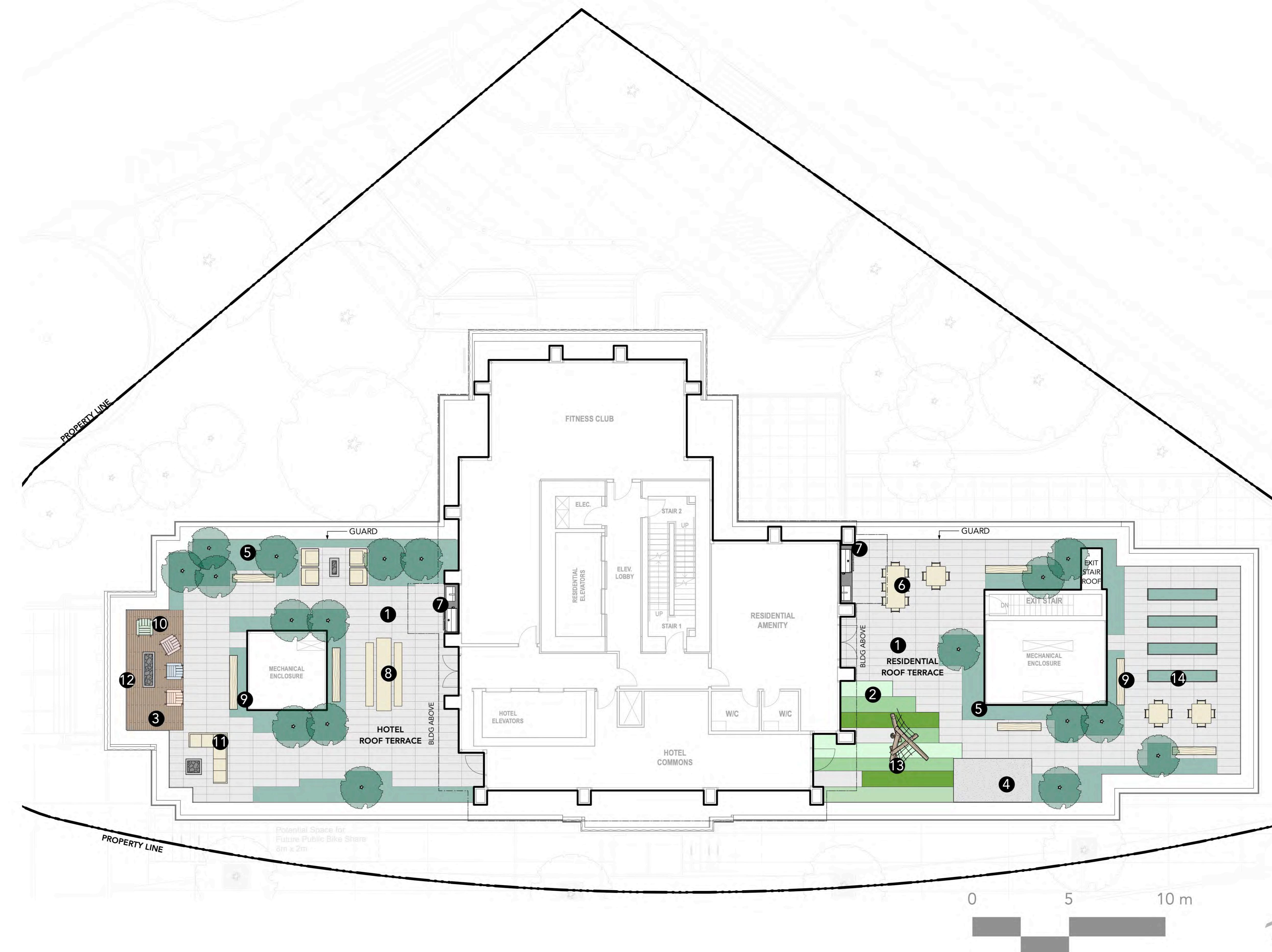
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## OVERALL IRRIGATION PLAN



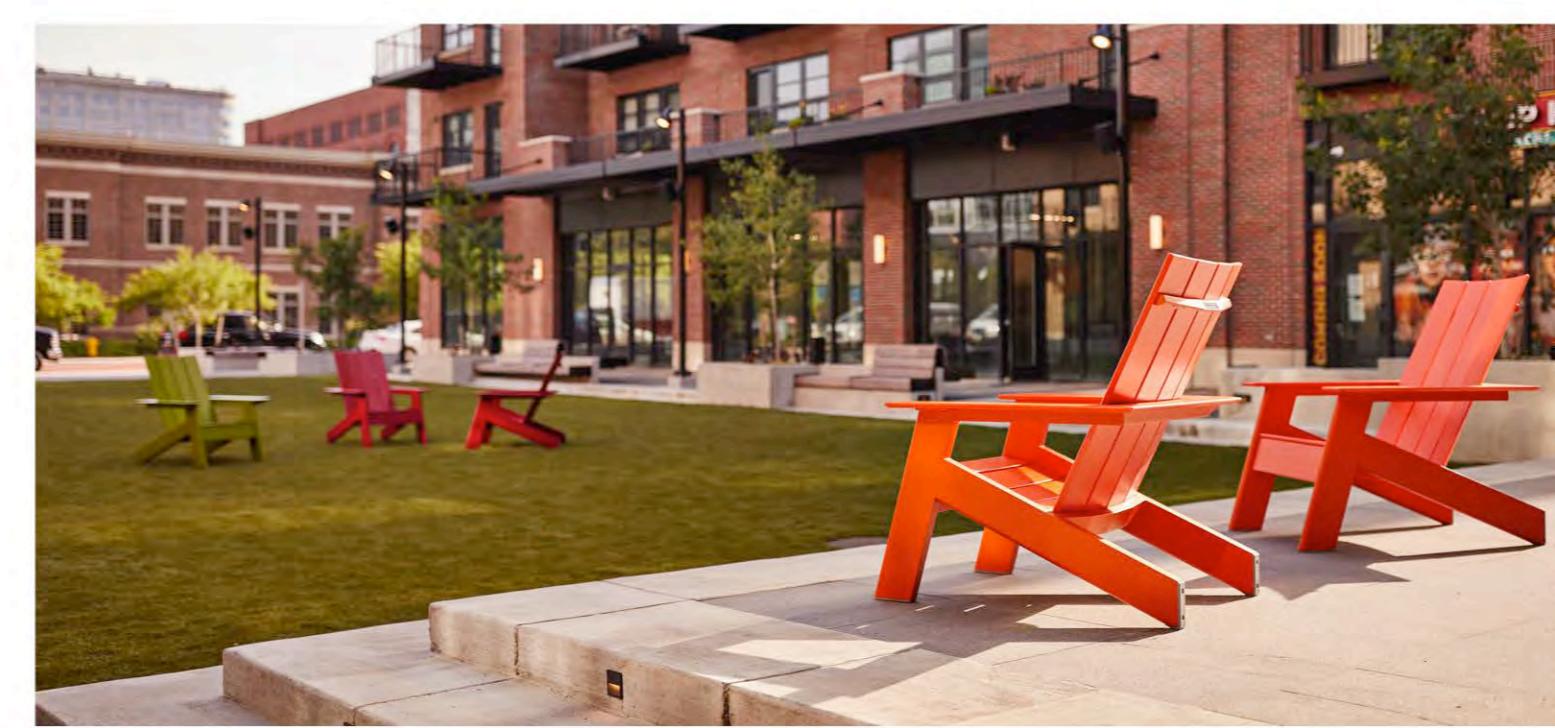
## LEGEND

SYMBOL	DESCRIPTION
1	PAVING TYPE 3 Unit Pavers
2	PAVING TYPE 4 PIP Rubber Surface
3	PAVING TYPE 5 Thermally Modified Wood Decking
4	PAVING TYPE 6 Play Sand
5	PLANTING TYPE 1 Garry Oak Ecosystem
6	MOVEABLE FURNITURE
7	BBQ AND OUTDOOR FOOD SERVICE COUNTER
8	HARVEST TABLE
9	SEATING TYPE 1 Timber Bench
10	SEATING TYPE 2 Coloured Americana Outdoor Chair
11	SEATING TYPE 3 Outdoor Patio Furniture
12	FIRE PIT Product TBD
13	PLAY STRUCTURE
14	URBAN AGRICULTURE PLOTS Product TBD

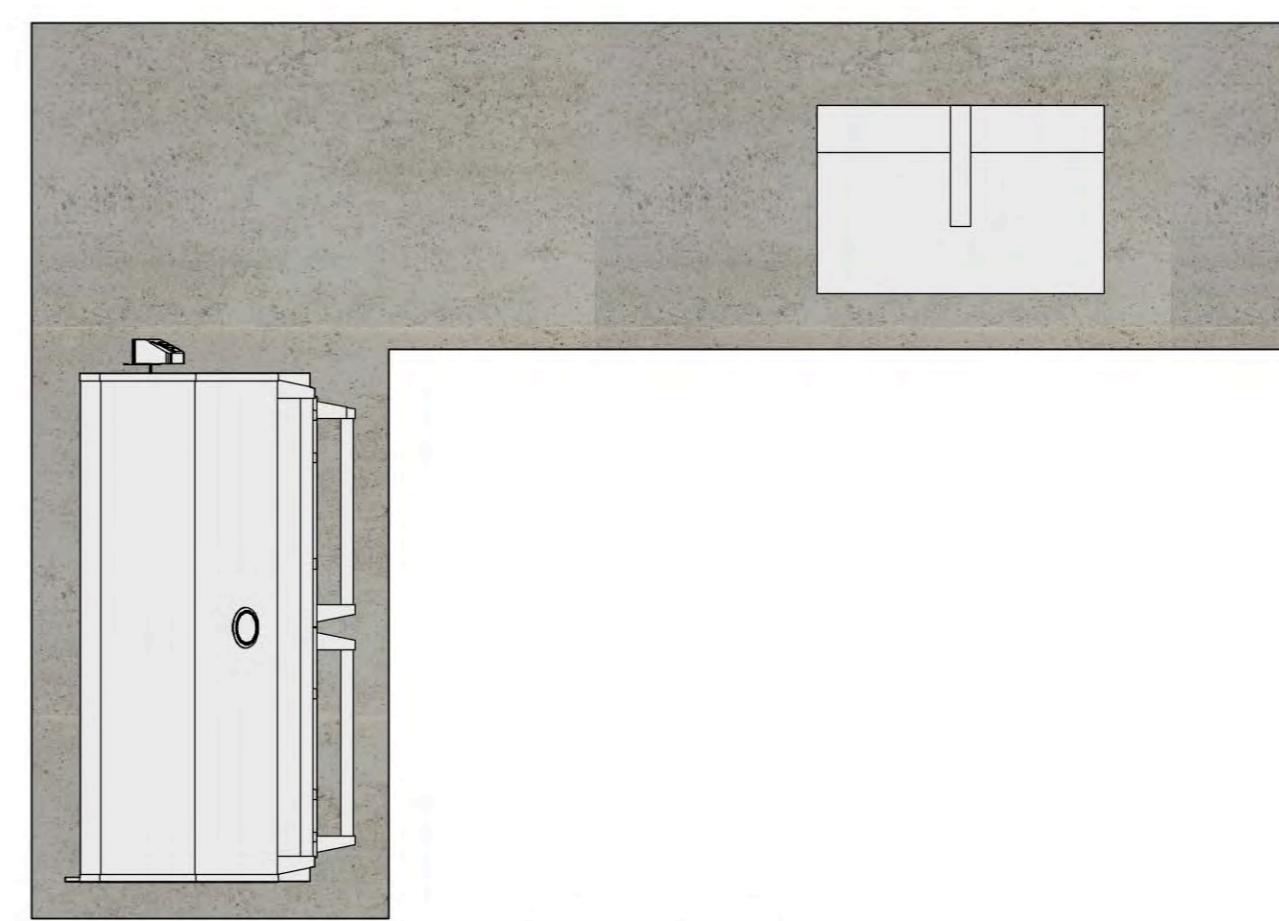




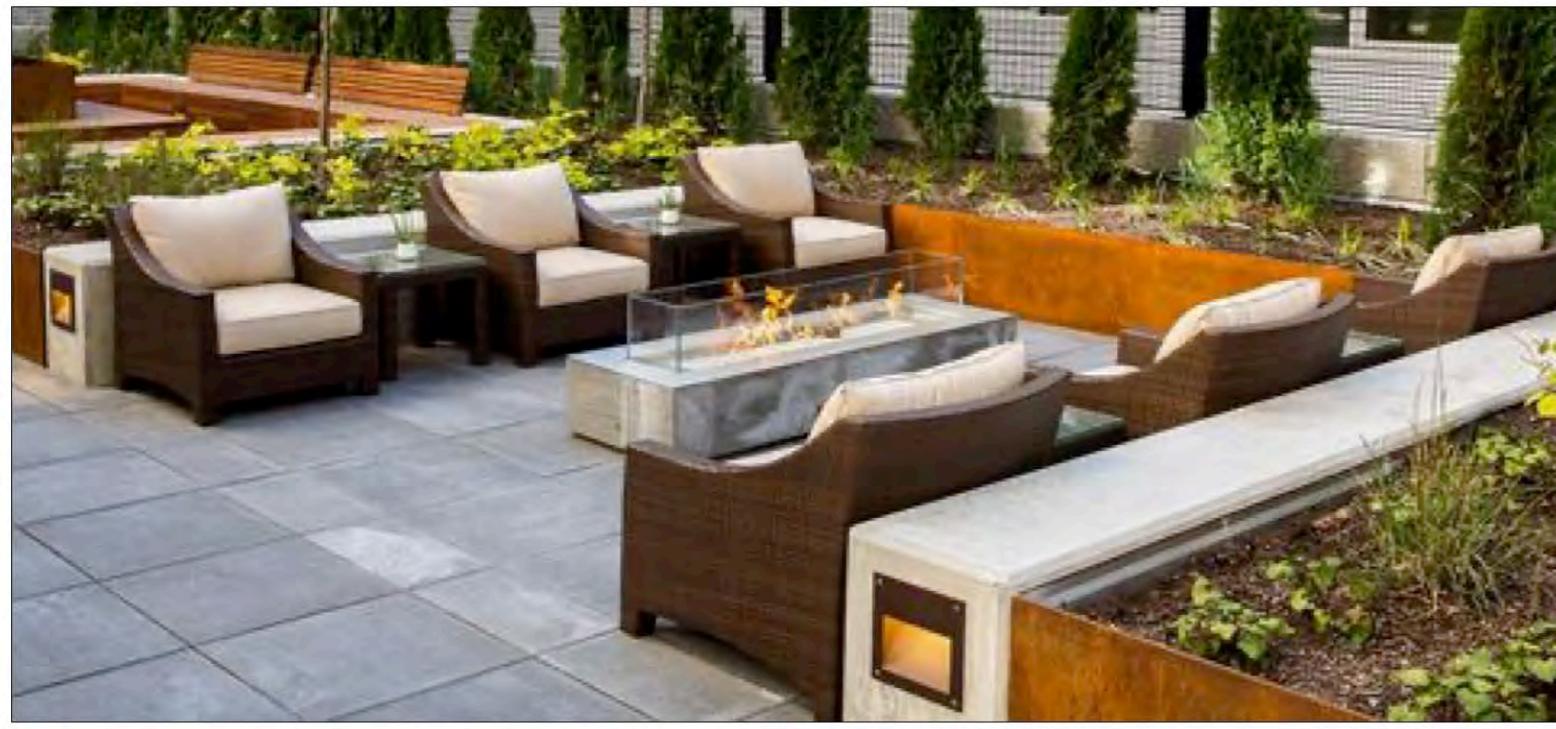
1) PRE-CAST CONCRETE PAVERS INTEGRATED WITH PLANTING



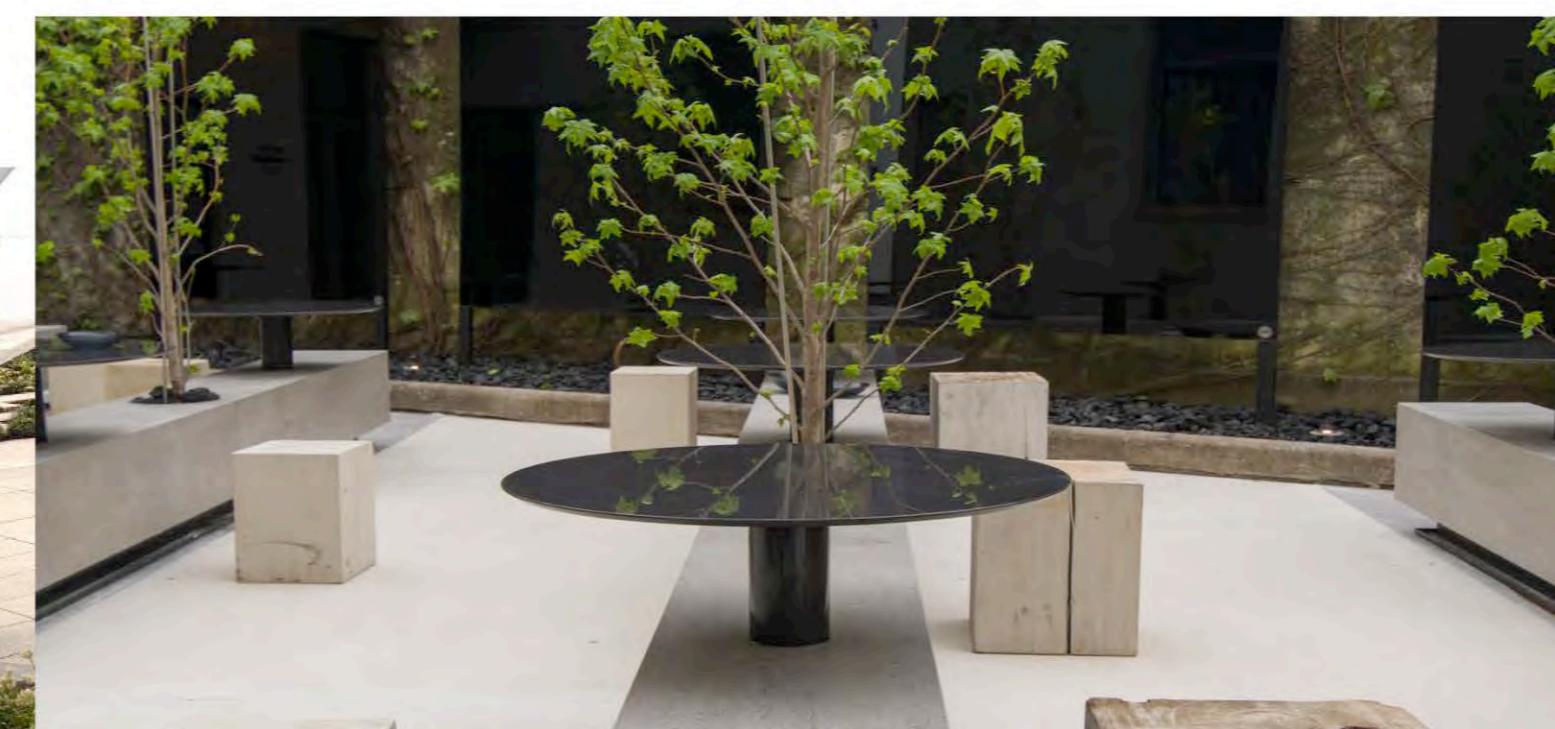
7) MOVEABLE OUTDOOR CHAIRS



4) BBQ AND OUTDOOR FOOD SERVICE COUNTER



8) OUTDOOR PATIO FURNITURE



KEON - TECH COLLECTION BY DEKTON  
USED AS COUNTER TOP FOR OUTDOOR KITCHEN



2) PIP RUBBER SURFACE / SANDPLAY AREA



5) HARVEST TABLE



DOMOOS - SOLID COLLECTION BY DEKTON  
USED UNDER THE COUNTER TO HIDE  
MECHANICS FROM BARBECUE AND SINK +  
SEATING AREA



3) WOOD DECKING



4) OUTDOOR BBQ + BAR STOOL SEATING



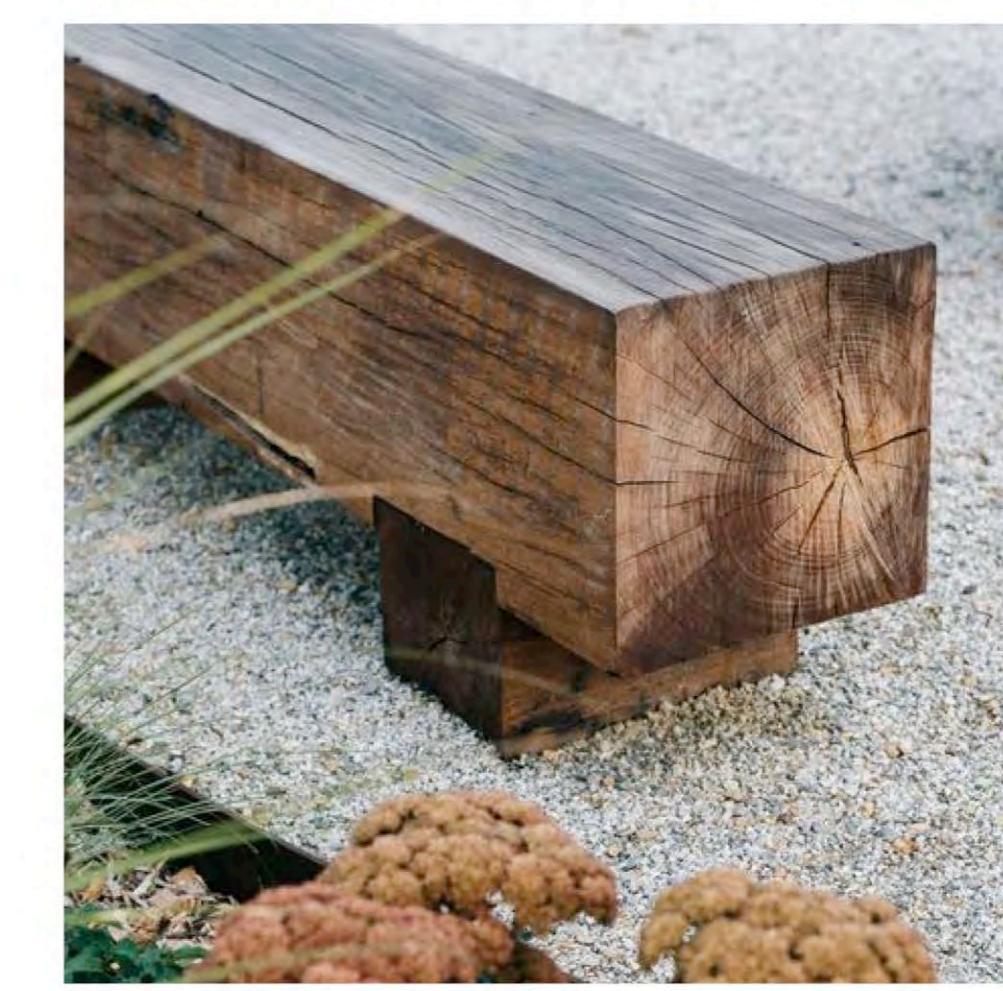
9) FIRE PIT



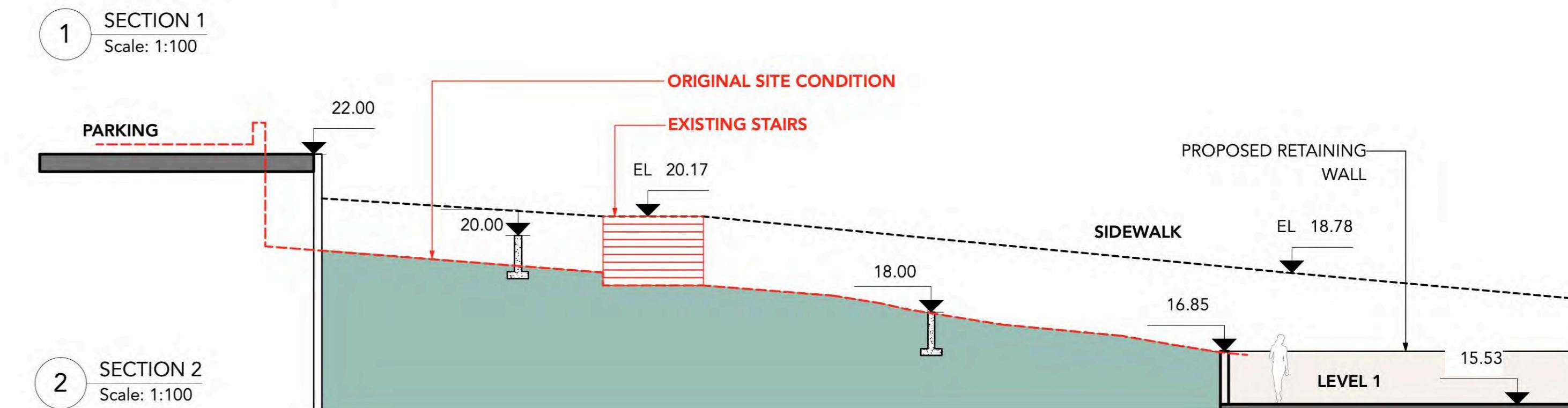
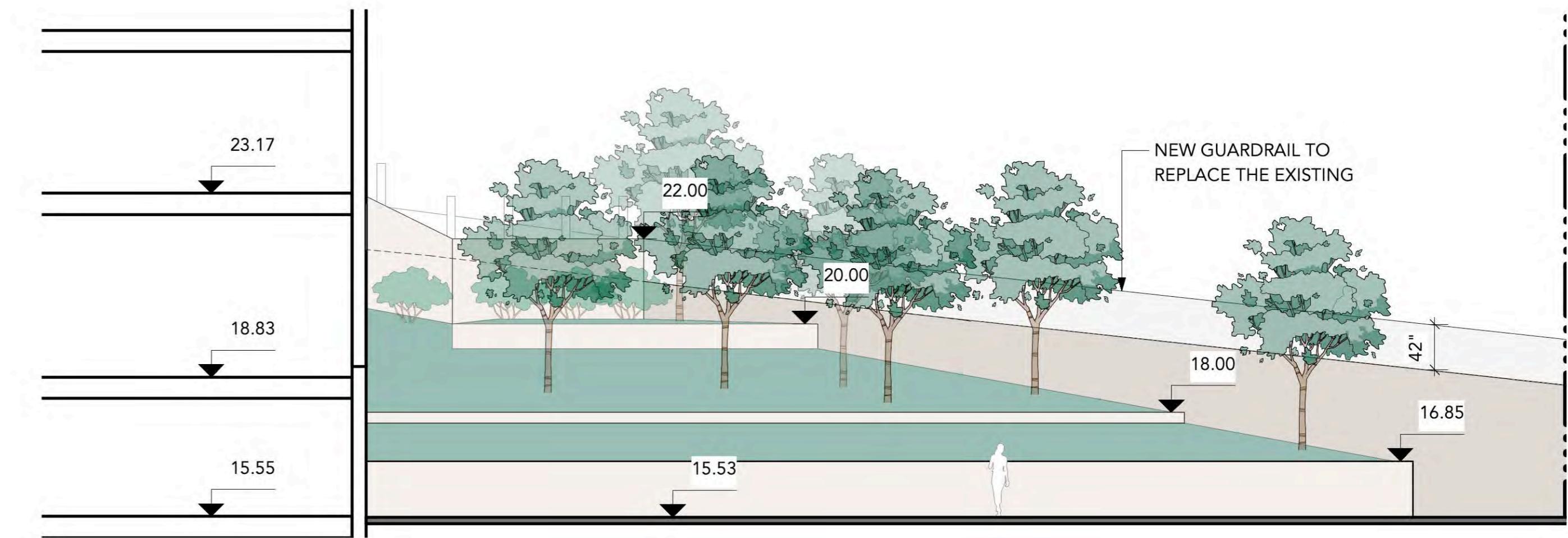
10) URBAN AGRICULTURE

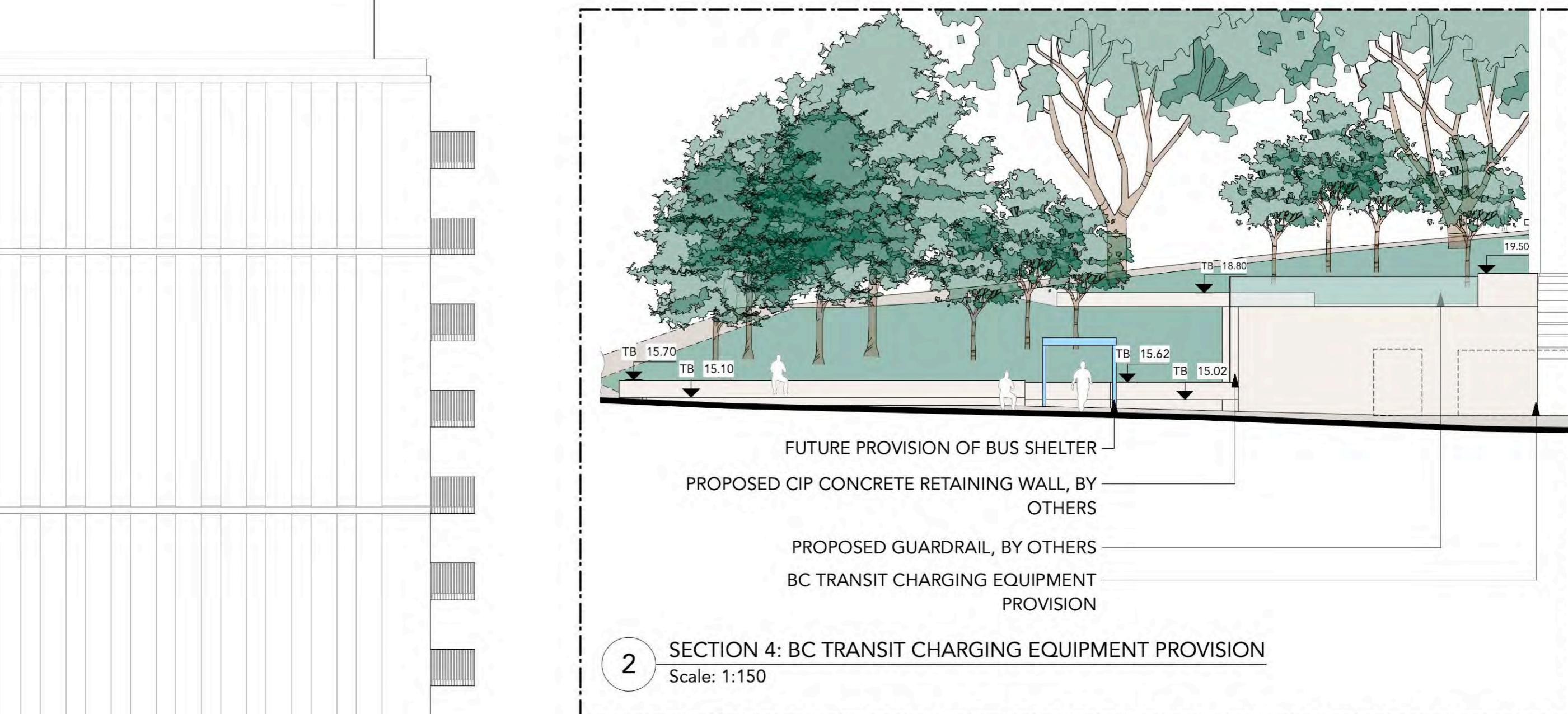


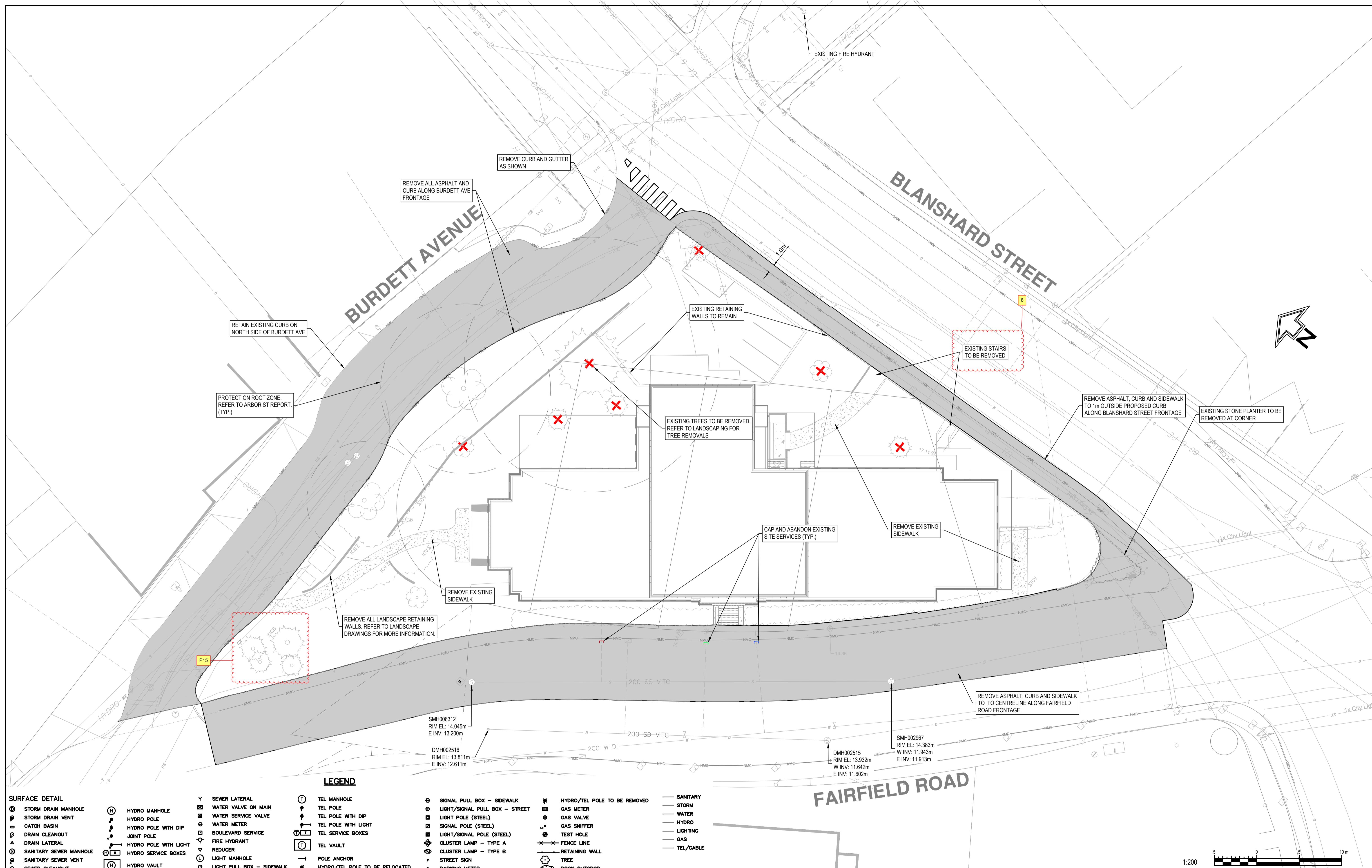
10) PLAYGROUND WOOD CLIMBING STRUCTURE



6) TIMBER BENCH







#### SURFACE DETAIL

① STORM DRAIN MANHOLE	Y SEWER LATERAL	TEL MANHOLE	TEL POLE	HYDRO/TEL POLE TO BE REMOVED	SANITARY
② STORM DRAIN VENT	HYDRO MANHOLE	HYDRO POLE	TEL POLE WITH DIP	HYDRO METER	STORM
③ CATCH BASIN	HYDRO POLE WITH DIP	HYDRO POLE	TEL POLE WITH LIGHT	WATER VALVE	WATER
④ DRAIN CLEANOUT	JOINT POLE	BOULEVARD SERVICE	SIGNAL POLE (STEEL)	GAS VALVE	HYDRO
⑤ DRAIN LATERAL	HYDRO POLE WITH LIGHT	HYDRO SERVICE BOXES	LIGHT/SIGNAL POLE (STEEL)	GAS SNIFFER	LIGHTING
⑥ SANITARY SEWER MANHOLE	HYDRO VAULT	HYDRO VAULT	CLUSTER LAMP - TYPE A	TEST HOLE	GAS
⑦ SANITARY SEWER VENT	HYDRO VAULT	HYDRO VAULT	CLUSTER LAMP - TYPE B	FENCE LINE	TEL/CABLE
⑧ SEWER CLEANOUT	HYDRO VAULT	HYDRO VAULT	POLE ANCHOR	RETAINING WALL	

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#### DISCLAIMER:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

THIS DRAWING IS NOT TO BE SCALED.

ISS/REV: YYYY-MM-DD

DESCRIPTION

DES DRN CHK PM

#### LEGEND

① HYDRO MANHOLE	Y SEWER LATERAL	TEL MANHOLE	TEL POLE	HYDRO/TEL POLE TO BE REMOVED	
② HYDRO POLE	HYDRO POLE	HYDRO POLE	TEL POLE WITH DIP	HYDRO METER	
③ CATCH BASIN	HYDRO POLE WITH DIP	HYDRO POLE	TEL POLE WITH LIGHT	WATER VALVE	
④ DRAIN CLEANOUT	JOINT POLE	BOULEVARD SERVICE	SIGNAL POLE (STEEL)	GAS VALVE	
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⑦ SANITARY SEWER VENT	HYDRO VAULT	HYDRO VAULT	CLUSTER LAMP - TYPE B	FENCE LINE	
⑧ SEWER CLEANOUT	HYDRO VAULT	HYDRO VAULT	POLE ANCHOR	RETAINING WALL	

⑨ LIGHT MANHOLE

⑩ LIGHT PULL BOX - SIDEWALK

⑪ LIGHT PULL BOX - STREET

⑫ REDUCER

⑬ TEL VAULT

⑭ POLE ANCHOR

⑮ HYDRO/TEL POLE TO BE RELOCATED



2024-02-21

Engineers and Geoscientists BC  
Permit to Practice #1000200

SEAL:

CLIENT:

RELIANCE PROPERTIES



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wsp.com

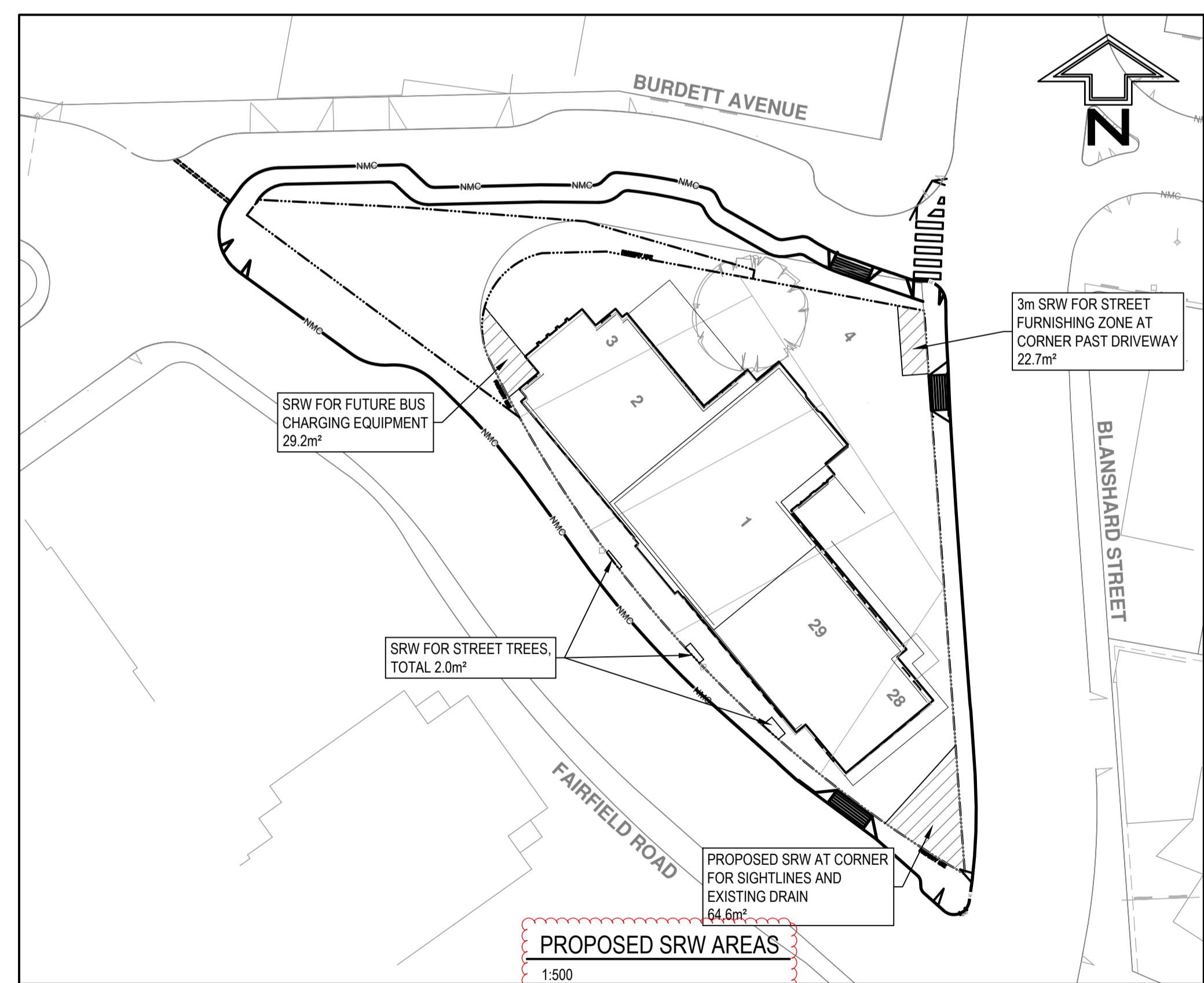
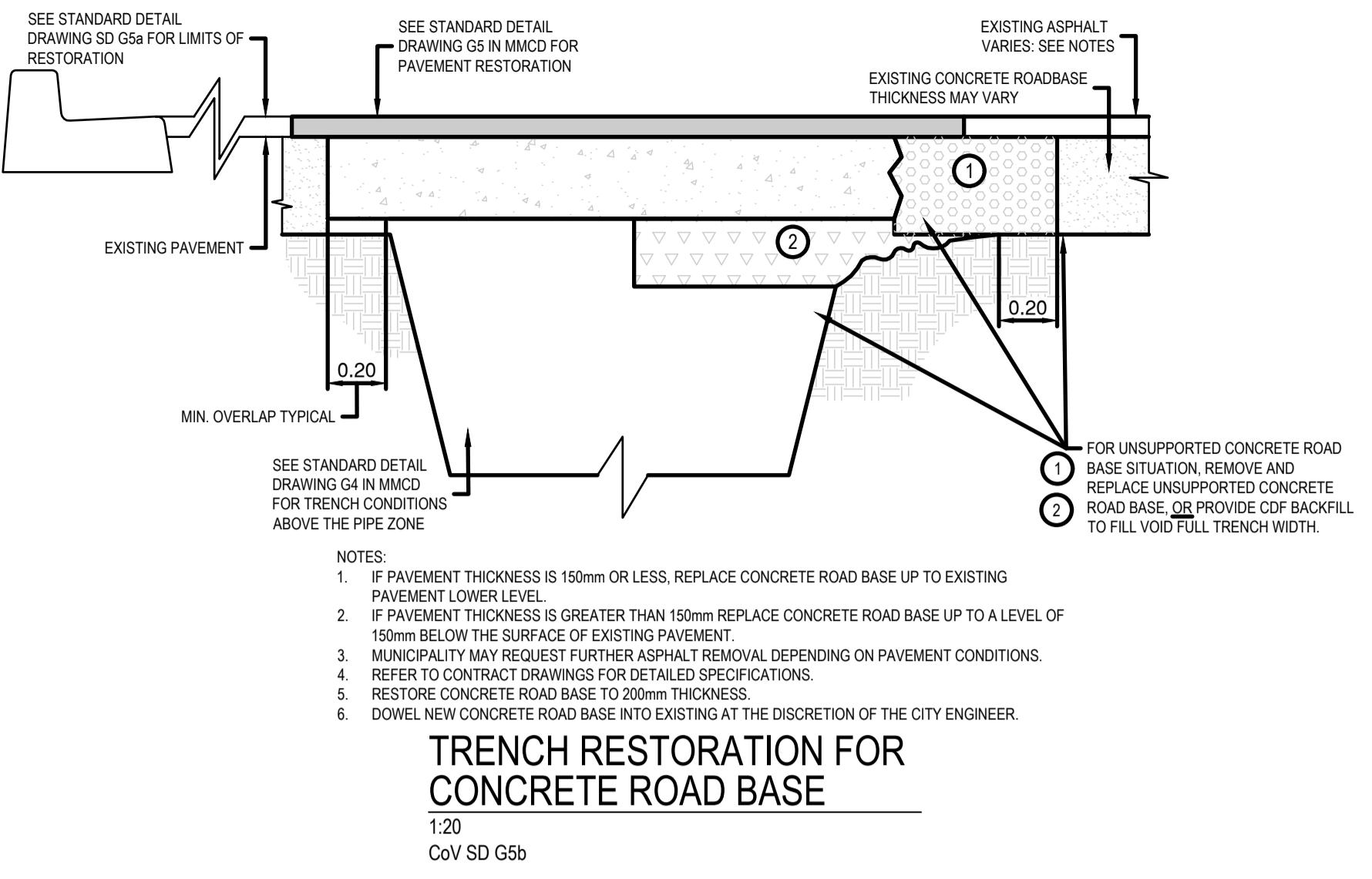
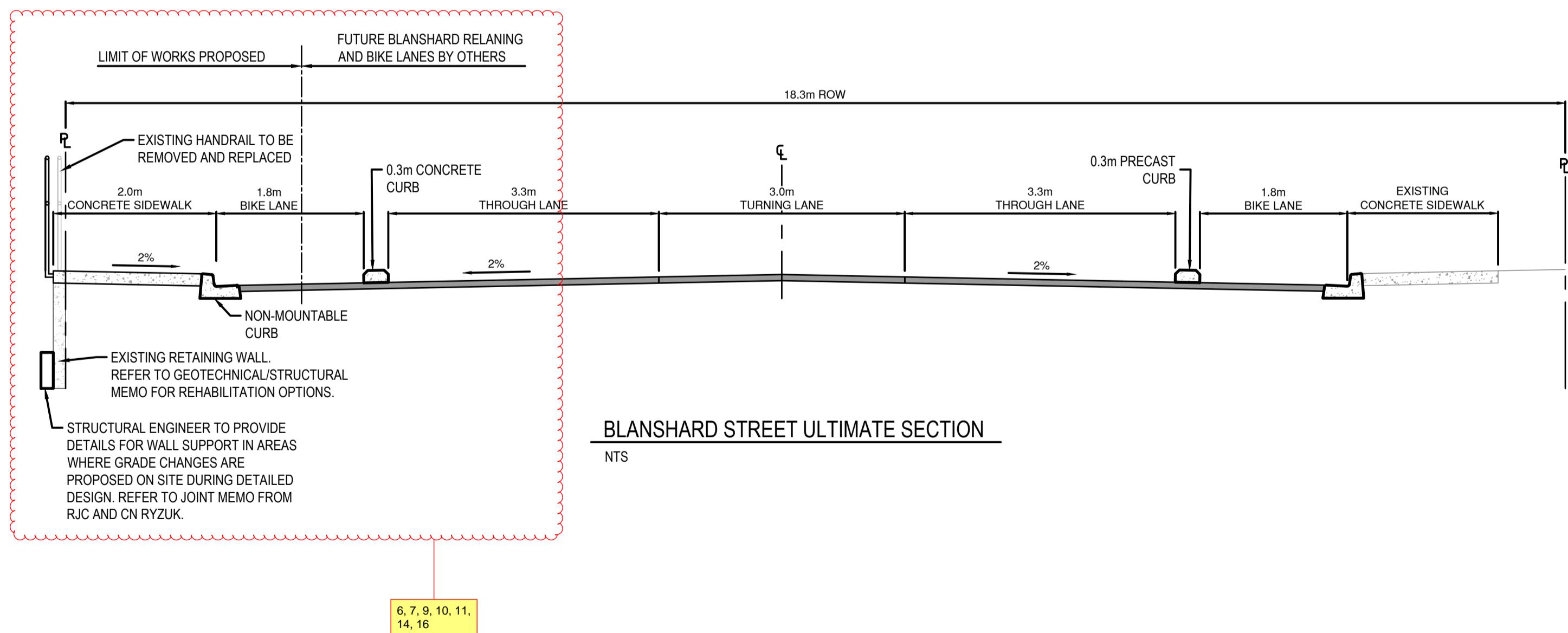
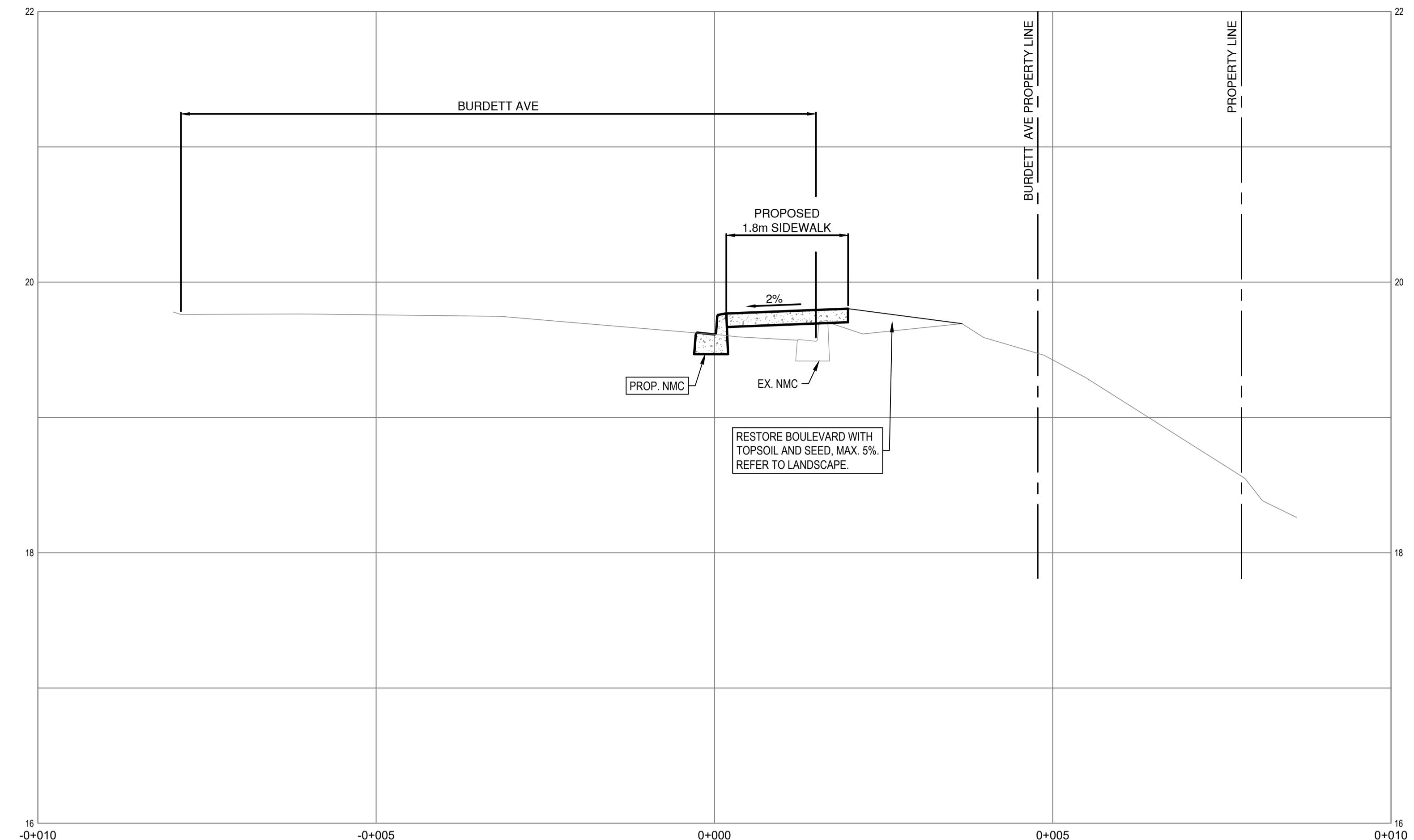
PROJECT:  
780 BLANSHARD STREET  
VICTORIA, BC

TITLE:  
SITE AND DEMOLITION PLAN  
DRAWING NO.:  
C01  
SHEET NO.:  
1 OF 4  
ISSUE:  
FOR RE-ZONING/DEVELOPMENT PERMIT  
ISS/REV: 2024/02/20

PROJECT NO.:  
221-0333-00  
SCALE:  
1:200  
DISCIPLINE:  
CIVIL







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2	2024/02/20	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT				JCS	SG	JCS	JCS	---	---	---	---
1	2023/03/15	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT				BH	SG	JCS	BH	---	---	---	---
0	2022/05/20	FOR RE-ZONING/DEVELOPMENT PERMIT				BH	SG	JCS	BH	---	---	---	---
ISS/REV	YYYY-MM-DD	DESCRIPTION				DES	DRN	CHK	PM	---	---	---	---