



# 780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

HAV00034 CONCURRENT WITH REZ00825

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 35B

## PROJECT TEAM

| OWNER  | ARCHITECTURAL   | LANDSCAPE  | STRUCTURAL  | TRANSPORTATION   |
|--|---|--|---|--|
| <b>Reliance Properties</b>                                       | <b>office of mcFarlane biggar architects + designers</b>                  | <b>Gauthier + Associates Landscape Architects</b>            | <b>Read Jones Christoffersen Ltd.</b>                               | <b>WATT Consulting Group</b>   |
| 305-111 Water St<br>Vancouver, BC<br>V6B 1A7<br>604.683.2404     | 301 - 1825 Quebec St<br>Vancouver, BC<br>V5T 2Z3<br>604.558.6344          | 629 Atlantic St<br>Vancouver, BC<br>V6A 2J9<br>604.317.9682  | Suite 220-645 Tyee Road,<br>Victoria, BC<br>V9A 6X5<br>778.746.1125 | 302 - 740 Hillside Avenue<br>Victoria, BC<br>V8T 1Z4<br>250.208.3874 |
| Contact<br>Juan Pereira<br>juanp@relianceproperties.ca           | Contact<br>Steve McFarlane<br>smcfarlane@officemb.ca                      | Contact<br>Bryce Gauthier<br>bryce@gauthierla.com            | Contact<br>Clint Plett<br>cplett@rjc.ca                             | Contact<br>Tania Wegwitz<br>twegwitz@wattconsultinggroup.com         |
| GEOTECHNICAL   | MECHANICAL  | ELECTRICAL   | ARBORIST  | CIVIL  |
| <b>Ryzuk Geotechnical Ltd.</b>                                   | <b>Introba Group</b>  | <b>e2 Engineering Inc.</b>                                   | <b>D. Clark Arboriculture</b>                                       | <b>WSP</b>   |
| #6-40 Cadillac Avenue<br>Victoria, BC<br>V8Z 1T2<br>250.475.3131 | 1515 Douglas Street, Suite 210<br>Victoria, BC<br>V8W 2G4<br>250.418.1288 | 549 Herald Street<br>Victoria, BC<br>V8W 1S5<br>778.402.3060 | 2741 The Rise<br>Victoria, BC<br>V8T 3T4<br>250.208.1568            | 760 Enterprise Crescent<br>Victoria, BC<br>V8Z 6R4<br>250.475.1000   |
| Contact<br>Cameron Schellenberg<br>cschellenberg@ryzuk.com       | Contact<br>Andy Chong<br>achong@integralgroup.com                         | Contact<br>Jay Singh<br>jay.singh@e2eng.ca                   | Contact<br>Darryl Clark<br>clarkarbor@gmail.com                     | Contact<br>Jeff Somerville<br>Jeff.Somerville@wsp.com                |

## DRAWING LIST

|      |  |
|------|--|
| A000 | COVER SHEET                            |
| A001 | 3D VIEWS                               |
| A002 | GENERAL NOTES + ABBREVIATIONS          |
| A010 | CONTEXT PLAN                           |
| A011 | PROJECT INFO                           |
| A012 | PUBLIC EXTERNAL VIEWS                  |
| A013 | CONTEXT STREETSCAPES                   |
| A014 | SHADOW ANALYSIS - EQUINOX              |
| A015 | BUILDING FORM - ZONING ENVELOPE        |
| A016 | CONTEXT SCHEMATIC VIEWS AND SECTION    |
| A020 | BUILDING CODE AND AVERAGE GRADE        |
| A021 | CODE ANALYSIS - PLANS                  |
| A022 | CODE ANALYSIS - ELEVATIONS             |
| A030 | SITE PLAN EXISTING                     |
| A031 | LEVEL 1 DEMOLITION/RETENTION PLAN      |
| A032 | LEVEL 2 DEMOLITION/RETENTION PLAN      |
| A033 | LEVEL 3 DEMOLITION/RETENTION PLAN      |
| A034 | LEVEL 4 DEMOLITION/RETENTION PLAN      |
| A035 | LEVEL 5 ROOF DEMOLITION/RETENTION PLAN |
| A036 | DEMOLITION/RETENTION ELEVATIONS        |
| A041 | FSR OVERLAYS EXISTING                  |
| A042 | FSR OVERLAYS PROPOSED                  |
| A100 | SITE PLAN PROPOSED                     |
| A101 | LEVEL 1 FLOOR PLAN                     |
| A102 | LEVEL 2 FLOOR PLAN                     |
| A103 | LEVEL 3 FLOOR PLAN                     |
| A104 | LEVEL 4 FLOOR PLAN                     |
| A105 | LEVEL 5 FLOOR PLAN                     |
| A106 | LEVEL 6 FLOOR PLAN                     |
| A107 | LEVEL 7-17 FLOOR PLAN                  |
| A108 | LEVEL 18-20 FLOOR PLAN                 |
| A110 | ROOF PLAN                              |
| A121 | SLAB PLANS                             |
| A200 | ELEVATION NORTH                        |
| A201 | ELEVATION SOUTH                        |
| A202 | EAST ELEVATION                         |
| A203 | WEST ELEVATION                         |
| A300 | BUILDING SECTION EAST-WEST             |
| A301 | BUILDING SECTION NORTH-SOUTH           |

## LANDSCAPE DRAWINGS:

|      |                                      |
|------|--------------------------------------|
| L0.0 | COVER SHEET                          |
| L0.1 | TREE SURVEY                          |
| L0.2 | TREE MANAGEMENT PLAN                 |
| L0.3 | DEMOLITION PLAN                      |
| L0.4 | OVERALL IMPERMEABLE SURFACES OVERLAY |
| L1.0 | OVERALL SITE PLAN                    |
| L1.1 | WEST ENLARGEMENT PLAN                |
| L1.2 | NORTH ENLARGEMENT PLAN               |
| L1.3 | SOUTH ENLARGEMENT PLAN               |
| L1.4 | PENWILL GREEN PARK ENLARGEMENT PLAN  |
| L1.5 | OVERALL PLANTING PLAN                |
| L1.6 | OVERALL IRRIGATION PLAN              |
| L1.7 | PRECEDENT IMAGES                     |
| L2.0 | LEVEL 5: MATERIALS AND LAYOUT PLAN   |
| L3.0 | PRECEDENT IMAGES                     |
| L4.0 | SECTIONS                             |
| L4.1 | SECTIONS                             |

## CIVIL DRAWINGS:

|     |  |
|-----|--|
| C01 | CONCEPTUAL CIVIL PLAN                            |
| C02 | CONCEPTUAL SURFACE WORKS & SITE GRADING          |
| C03 | CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING |
| C04 | SECTION AND SECTION                              |

## SURVEY:

TOPOGRAPHIC SURVEY

| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

COVER SHEET

As indicated

2024-02-21 4:56:26 PM  
**A000**



1 AERIAL VIEW



2 BLANSHARD STREET ENTRY PLAZA



3 PENWILL GREEN PARK



| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
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## GENERAL NOTES

- THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.
- ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.
- ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (BCBC ) 2018. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.
- ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES."
- ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC ) 2018. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED. CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC ) 2018.
- CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.
- PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.
- GLAZING IN DOORS, SIDELIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER BRITISH COLUMBIA BUILDING CODE (BCBC ) 2018.
- GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.
- ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY, ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750mm. MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.
- PLAN DETAILS SUPERCEDE WALL TYPE DEFINITION.
- ALL DIMENSIONS ARE TO GRIDLINE, FACE OF CONCRETE, FACE OF NEW STUD WALL, FACE OF FINISHED EXISTING STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.
- UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.
- ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
- ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.
- PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILLWORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.
- CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED BLOCKING IN WALLS AND CEILING REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.
- THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HAND EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.
- THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATIC UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.

- COORDINATE MECHANICAL AND ELECTRICAL DEVICES WITH FOUNDATION WALLS, SHEAR WALLS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS.
- REFER TO STRUCTURAL DOCUMENTS FOR STRUCTURAL DESIGN PARAMETERS INCLUDING SHEARWALLS, STAIRS, CONCRETE ETC.
- ALL WIRED DEVICES TO BE LOCATED BY ARCHITECT.
- ROOF INSTALLATION AND MATERIALS TO MEET ACCEPTED RCABC STANDARDS, MATERIALS & GUIDELINES
- ALL ROOFS AND GUTTERS TO HAVE POSITIVE SLOPE TO DRAIN, UNO.
- ALL GRADES AND SURFACES ADJACENT THE BUILDING EXTERIOR SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING, UNO.
- ALL TILE SET OUT JOINTS AND CONCRETE JOINT/REGLET DETAILS TO BE RESOLVED ON SITE WITH ARCHITECT.
- NO FLOOR TRANSITION TO BE GREATER THAN 6mm AT THRESHOLDS AND BETWEEN ADJACENT MATERIALS, UNO.
- ALL MIRRORS TO HAVE POLISHED EDGES WITH MINIMAL EDGE RADIUS. MIRRORS TO BE GLUED IN PLACE WITH SUITABLE ADHESIVE AND MINIMAL CONCEALED GRAVITY CLIPS WHERE NECESSARY TO HOLD MIRROR WHILE GLUE SETS.
- ANY BUILDING CONTROL SWITCHES SUCH AS ELECTRICAL SWITCHES, THERMOSTATS AND INTERCOM SWITCHES THAT ARE INTENDED TO BE OPERATED BY THE OCCUPANT SHALL BE MOUNTED BETWEEN 400-1200mm ABOVE FFL.
- PAINT ALL INTERIOR AND EXTERIOR CAVITIES, INCLUSIVE OF BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, MECHANICAL, BLIND HOUSINGS, OR OTHER COMPONENTS FLAT BLACK, ABOVE THE WOOD CEILING. IN WALL REVEALS, GAPS, ETC AND BEHIND ALL INTERIOR AND EXTERIOR LOUVRES INCLUDING WOOD SOFFIT LOUVRES.
- REMOVE ALL EXPOSED MANUFACTURER LABELS ON INSTALLED EQUIPMENT AND ACCESSORIES IN PUBLIC AREAS UNLESS APPROVED BY ARCHITECT.
- GLAZING WITH LOW-E SOFT OR HARD COATING SHALL LOCATE THE COATING ON SPECIFIED SURFACE AND SHALL BE LABELED WITH A REMOVABLE LABEL FOR INSTALLATION TO ENSURE PROPER ORIENTATION OF GLASS. ALL EXTERIOR WOOD TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
- ALL EXTERIOR FASTENERS TO BE HOT DIPPED GALVANIZED UNLESS OTHERWISE NOTED. ALL EXTERIOR WOOD TO BE FASTENED WITH STAINLESS STEEL FASTENERS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAKE GOOD ALL FLOOR, CEILING AND BUILDING SYSTEM COMPONENTS NECESSARY TO COMPLETE MECHANICAL AND ELECTRICAL TIE-INS, INCLUDING AREAS OUTSIDE OF THE GENERAL CONSTRUCTION LINE. QUALITY TO MATCH EXISTING CONDITIONS. DISRUPTIONS TO WORKSTATIONS AND PUBLIC CIRCULATION TO BE MINIMIZED AND COORDINATED WITH THE OWNER PRIOR TO EXECUTING THE WORK.
- METAL FLASHING JOINTS & SEAMS TO ALIGN w/ CENTRELINE CURTAINWALL MULLIONS AND CLADDING JOINTS ONLY.
- CONTRACTOR TO ALLOW FOR HORIZONTAL CONSTRUCTION JOINT (COLD JOINT) BETWEEN POURS. FINAL LAYOUT TO BE COORDINATED THROUGH SHOP DRAWINGS.
- CONTRACTOR TO PROVIDE 20mm PLY PAINTED WITH FIRE RETARDANT PAINT PRIOR TO ELECTRICAL PANEL INSTALLATION ALL SERVICE ROOMS TYP.
- WHERE FIELD WELDING OF GALVANIZED MATERIAL IS REQUIRED, GRIND SURFACE SMOOTH AND FILL/SKIM WITH BONDO BODY FILLER TO ACHIEVE SMOOTH SURFACE. PROVIDE ZINC RICH COATING PRIOR TO PAINTING PER SCHEDULE.
- PROVIDE 38mm BLOCKING AT JOIST WEBS TO INFILL GAP IN SHEATHING WHERE JOISTS PASS THROUGH SHEATHING LINE - TYP. WHERE JOIST ARE PERPENDICULAR TO SHEATHING FACE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING THE INSTALLATION OF SIGNS AND ENSURING THAT THE WORK AND ROUGHINS, BACKING, AND SUPPORT STRUCTURES IS COMPLETE PRIOR TO INSTALLATION.
- CEILINGS ARE TO BE INSTALLED WITH THE USE OF LASER ALIGNMENT TO ENSURE LEVEL ASSEMBLY.
- DO NOT SCALE MEASUREMENTS OFF DRAWINGS. IF THERE ARE ANY DISCREPANCIES THE CONTRACTOR SHALL NOTIFY THE CLIENT'S REPRESENTATIVE.

## SYMBOLS LEGEND

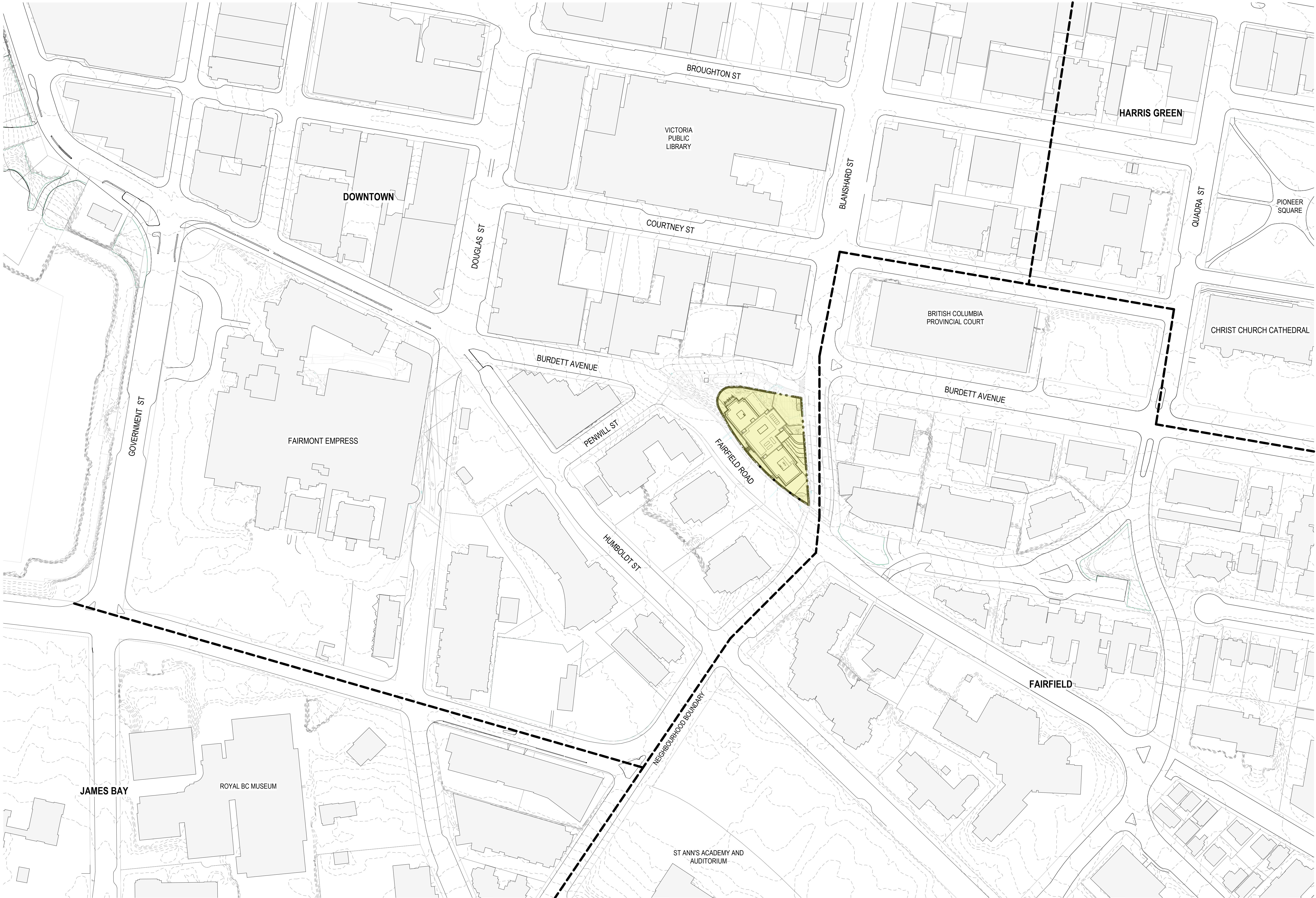
|  | NORTH SYMBOL             |                        |  |           |              |                        |                        |
|--|--------------------------|------------------------|--|-----------|--------------|------------------------|------------------------|
|  | DOOR TAG                 |                        |  |           |              |                        |                        |
|  | ROOM TAG                 |                        |  |           |              |                        |                        |
| <table border="1"> <tr> <th>1</th> <th>View Name</th> <th></th> </tr> <tr> <td>R101</td> <td>1/8" = 1'-0"</td> <td>DRAWING TITLE</td> </tr> </table>           | 1                        | View Name              |  | R101      | 1/8" = 1'-0" | DRAWING TITLE          | DRAWING TITLE          |
| 1  | View Name                |                        |  |           |              |                        |                        |
| R101   | 1/8" = 1'-0"             | DRAWING TITLE          |  |           |              |                        |                        |
| <table border="1"> <tr> <td>Name</td> <td><input type="text"/></td> <td></td> </tr> <tr> <td>Elevation</td> <td></td> <td>ELEVATION MARKER</td> </tr> </table> | Name                     | <input type="text"/>   |  | Elevation |              | ELEVATION MARKER       | ELEVATION MARKER       |
| Name   | <input type="text"/>     |                        |  |           |              |                        |                        |
| Elevation  |                          | ELEVATION MARKER       |  |           |              |                        |                        |
| <table border="1"> <tr> <td>Elevation</td> <td></td> <td></td> </tr> <tr> <td>Name</td> <td></td> <td>ELEVATION/GRADE SYMBOL</td> </tr> </table>               | Elevation                |                        |  | Name      |              | ELEVATION/GRADE SYMBOL | ELEVATION/GRADE SYMBOL |
| Elevation  |                          |                        |  |           |              |                        |                        |
| Name   |                          | ELEVATION/GRADE SYMBOL |  |           |              |                        |                        |
|  | SECTION SYMBOL           |                        |  |           |              |                        |                        |
|  | ELEVATION SYMBOL         |                        |  |           |              |                        |                        |
|  | GRID HEAD                |                        |  |           |              |                        |                        |
|  | WALL TAG                 |                        |  |           |              |                        |                        |
|  | ROOF TAG                 |                        |  |           |              |                        |                        |
|  | MATERIAL TAG             |                        |  |           |              |                        |                        |
|  | FIXTURES / EQUIPMENT TAG |                        |  |           |              |                        |                        |
|  | MILLWORK TAG             |                        |  |           |              |                        |                        |
|  | WINDOW TAG               |                        |  |           |              |                        |                        |
|  | CW DOOR TAG              |                        |  |           |              |                        |                        |
|  | REVISION TAG             |                        |  |           |              |                        |                        |

## HATCHES

|                            |  |
|----------------------------|--|
| CONCRETE EXISTING          |  |
| CONCRETE NEW               |  |
| CONCRETE MASONRY           |  |
| STEEL                      |  |
| ALUMINIUM                  |  |
| GB                         |  |
| GB TYPE X                  |  |
| GLULAM                     |  |
| COMPOSITE WOOD             |  |
| PLYWOOD                    |  |
| MINERAL WOOL               |  |
| SPRAY INSULATION           |  |
| RIGID INSULATION           |  |
| RIGID INSULATION 02        |  |
| SEMI RIGID INSULATION      |  |
| BATT/LOOSE FILL INSULATION |  |
| EARTH                      |  |
| GRAVEL DRAINAGE LAYER      |  |
| ENGINEERED FILL            |  |
| COMPACTED GRANULAR FILL    |  |
| SAND                       |  |
| DEMO                       |  |

## ABBREVIATIONS

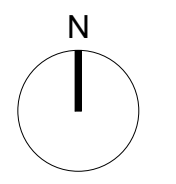
|                                     |  |
|-------------------------------------|--|
| & / + AND                           | OC ON CENTRE                           |
| @ AT                                | OD OUTSIDE DIMENSION                   |
| # NUMBER                            | OH OVER HEAD                           |
| ± PLUS/MINUS                        | OP OPERABLE PARTITION                  |
|                                     | OPP OPPOSITE                           |
|                                     | OV OVEN                                |
| AFF ABOVE FINISHED FLOOR            | PA PUBLIC ADDRESS SPEAKER              |
| AL/ALUM ALUMINIUM                   | PLY PLYWOOD                            |
| APPROX APPROXIMATE(LY)              | PL PROPERTY LINE                       |
| ARCH ARCHITECTURAL                  | PT PAINT                               |
|                                     | PTD PAINTED                            |
| BCBC BRITISH COLUMBIA BUILDING CODE | PTN PARTITION                          |
| BLDG BUILDING                       |  |
| BO BOTTOM OF                        |  |
| BOH BACK OF HOUSE                   |  |
|                                     | RD ROOF DRAIN                          |
| C/W COMPLETE WITH                   | REQD REQUIRED                          |
| CB CATCH BASIN                      | REV REVISION OR REVERSE                |
| CIP CAST IN PLACE                   | RM ROOM                                |
| CJ CONTROL JOINT                    | RO ROUGH OPENING                       |
| CL CENTRE LINE                      | RVL REVEAL                             |
| CO CLEAN OUT                        | RWL RAIN WATER LEADER                  |
| COMM COMMUNICATION                  |  |
| CON CONCRETE                        | SC SIAMENSE CONNECTION                 |
| CONT CONTINUOUS                     | SCHED SCHEDULE                         |
| CPT CARPET                          | SCWD SOLID CORE WOOD DOOR              |
| CTR CENTRE                          | SECT SECTION                           |
|                                     | SH SHELF                               |
| DBL DOUBLE                          | SP SPRINKLER                           |
| DET DETAIL                          | SPEC SPECIFICATION                     |
| DEMO DEMOLITION                     | SQ SQUARE                              |
| DF DRINKING FOUNTAIN                | SQ FT SQUARE FEET                      |
| DIA DIAMETER                        | SQ M SQUARE METRES                     |
| DIM DIMENSION                       | SS STAINLESS STEEL                     |
| DN DOWN                             | SSG STRUCTURALSILICONE GLASS           |
| DWG DRAWING                         | ST STAIR                               |
| DR DOOR                             | STD STANDARD                           |
| DRW DRAWER                          | STL STEEL                              |
| DW DISHWASHER                       | STOR STORAGE                           |
|                                     | STRU STRUCTURAL                        |
|                                     | SUSP SUSPENDED                         |
| EA EACH                             | TBC TO BE CONFIRMED                    |
| EJ EXPANSION JOINT                  | TBD TO BE DETERMINED                   |
| EL ELEVATION                        | TD TRENCH DRAIN                        |
| ELEC ELECTRIC(AL)                   | T&G TONGUE AND GROOVE                  |
| EMER EMERGENCY                      | TL TILE                                |
| ELEV ELEVATOR                       | TO TOP OF                              |
| ENCL ENCLOSURE                      | TOC TOP OF CURB/CONCRETE               |
| EQ EQUAL                            | TOF TOP OF FINISH                      |
| EQUIP EQUIPMENT                     | TOFF TOP OF FINISHED FLOOR             |
| EXIST EXISTING                      | TOS TOP OF STRUCTURE                   |
| EXP EXPOSED                         | TOW TOP OF WALL                        |
| EXT EXTERIOR                        | TYP TYPICAL                            |
|                                     | UNO UNLESS NOTED OTHERWISE             |
| FA FIRE ALARM                       | UIS UNDERSIDE                          |
| FD FLOOR DRAIN                      | UH UTILILITY HOLE                      |
| FF FINISHED FLOOR                   |  |
| FHC FIRE HOSE CABINET               |  |
| FIN FINISH(ED)                      |  |
| FLR FLOOR                           |  |
| FND FOUNDATION                      | VBBL VANCOUVER BUILDING BYLAW          |
| FO FACE OF                          | VERT VERTICAL                          |
| FP FALL PROTECTION                  | VEST VESTIBULE                         |
| FR FRIDGE                           | VIF VERIFY IN FIELD                    |
| FRR FIRE RESISTANCE RATING          |  |
| FT FOOT or FEET                     | WC WATER CLOSET                        |
|                                     | WD WOOD                                |
|                                     | WRHS WAREHOUSE                         |
|                                     | WH WAREHOUSE                           |
|                                     | WV WOOD VENEER                         |
|                                     | W/ WITH                                |
|                                     | W/O WITHOUT                            |
| G/L GRIDLINE                        |  |
| G1S GOOD ONE SIDE                   |  |
| G2S GOOD TWO SIDES                  |  |
| GA GAUGE                            |  |
| GALV GALVANIZED                     |  |
| GL GLASS or GLAZED                  |  |
| GR GRADE                            |  |
| GRND GROUND                         |  |
| GB GYPSUM BOARD                     |  |
|                                     | HB HOSE BIB                            |
|                                     | HCWD HOLLOW CORE WOOD DOOR             |
|                                     | HDWR HARDWARE                          |
|                                     | HPDL HIGH PRESSURE DECORATIVE LAMINATE |
|                                     | HORIZ HORIZONTAL                       |
|                                     | HT HEIGHT                              |
| INSUL INSULATION                    |  |
| INT INTERIOR                        |  |
|                                     | JC JANITOR CLOSET                      |
|                                     | JT JOINT                               |
| LAM LAMINATE / LAMINATED            |  |
| LS LAMP STANDARD                    |  |
| LT LIGHT                            |  |
| MAT MATERIAL                        |  |
| MAX MAXIMUM                         |  |
| MC METAL CLADDING                   |  |
| MECH MECHANICAL                     |  |
| MET METAL                           |  |
| MFR MANUFACTURER                    |  |
| MIN MINIMUM                         |  |
| MIR MIRROR                          |  |
| MISC MISCELLANEOUS                  |  |
| MTD MOUNTED                         |  |
| MUL MULLION                         |  |
| MW MICROWAVE                        |  |
| N/A NOT APPLICABLE                  |  |
| NBC NATIONAL BUILDING CODE          |  |
| NIC NOT IN CONTRACT                 |  |
| NOM NOMINAL                         |  |
| NTS NOT TO SCALE                    |  |



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| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
 2019-039

CONTEXT PLAN

1 : 1000

**PROJECT INFORMATION TABLE**

| Zone                              | Existing                                      | Permitted / Required                         | Proposed  | Notes   |
|-----------------------------------|---|--|---|---|
| CBD-1                             | -   | -  | New Zone  |   |
| Site Area                         | 2,272 m <sup>2</sup> / 24,460 ft <sup>2</sup> | -  | -   |   |
| Site Coverage                     | 46%   | -  | 45%   |   |
| Open Site Space                   | 43%   | -  | 51%   |   |
| Height of building                | 15.01 m                                       | 43 m   | 64.18 m   |   |
| Number of Storeys                 | 4   | -  | 20 (4 Existing + 16 Addition)   |   |
| Parking Stalls                    | 6   | 99 stalls                                    | 2 on-site + 25 off-site stalls  | See detail tables and Parking & TDM Study and Traffic Impact Assessment from WATT Consulting Group for details on traffic impacts, vehicle parking demand management, transit improvements, and active transportation measures.   |
| Bicycle parking number (class 1)  | 0   | 111  | 161   |   |
| Bicycle parking number (class 2)  | 8   | 14   | 29  |   |
| <b>Building Setbacks</b>          |   |  | <b>L01 - L04</b> <b>L06 - L20</b>   | Existing building is not parallel to property line; setback to building faces. Setbacks shown for heritage building and proposed addition. CBD-1 and DCAP setbacks and inclined plane setbacks above street wall height have variable requirement; see A015 and A200-A203 for details of proposed variance. |
| Front Yard - Blanshard Street     | 1.19 m  | -  | 2.33 m  | 9.73 m  |
| Side/Rear Yard - Burdett Avenue   | 6.65 m  | -  | 6.65 m  | 8.90 m  |
| Side/Rear Yard - Fairfield Road   | 1.11 m  | -  | 1.11 m  | 3.25 m  |
| <b>Residential Use Details</b>    |   |  | 98  |   |
| Total Number of Units             | No existing residential use                   | -  | 98  |   |
| Unit type, e.g. 1 bedroom         | -   | -  | Studio: 23<br>1-Bed: 38   1-Bed + Den: 16<br>2-Bed: 16   2-Bed + Den: 3<br>3-Bed: 3 | See tables for additional detail.   |
| Ground oriented units             | -   | -  | 0   |   |
| Minimum Unit Floor Area           | -   | -  | 36.6 m <sup>2</sup>   |   |
| Total Residential Floor Area      | -   | -  | 6,906.7 m <sup>2</sup>  |   |
| <b>Area and Floor Space Ratio</b> |   |  |   |   |
| Commercial                        | 1.67  | -  | 1.5   |   |
| Residential - Strata              | -   | -  | 3.0   | See tables for additional detail.   |
| <b>Total</b>                      | <b>1.67</b>                                   | CBD-1: 3.0   DCAP: 6.0 (3.0 max residential) | <b>4.5</b>  |   |
| Commercial                        |   |  |   |   |

**FLOOR AREA + UNITS SUMMARY**

| FLOOR                                    | ZONING FLOOR AREA                          |                       |   |                    |                 |                 |                   |                  |                                       |                  |                        |                                       |                        |
|--|--|-----------------------|---|--------------------|-----------------|-----------------|-------------------|------------------|---------------------------------------|------------------|------------------------|---------------------------------------|------------------------|
|  | A  | B                     | C   | D                  | E               | F               | G                 | H                | J                                     | K                | L                      | M                                     | N                      |
| FORMULA                                  | AREA TO INTERIOR SURFACE OF EXTERIOR WALLS | EXCLUSIONS            | BASEMENT, GRAVELSPACE, BELOW GRADE, OPEN TO BELOW | ROOFTOP STRUCTURES | BICYCLE PARKING | =B-SUM(C-E)     | SHARED FLOOR AREA | HOTEL FLOOR AREA | PRORATED PORTION OF SHARED FLOOR AREA | HOTEL FLOOR AREA | RESIDENTIAL FLOOR AREA | PRORATED PORTION OF SHARED FLOOR AREA | RESIDENTIAL FLOOR AREA |
| Level 01                                 | 1,094.3                                    | 158.9                 | -   | 255.7              | -               | 679.7           | 142.5             | 362.0            | 46.0                                  | 408.1            | 125.6                  | 96.4                                  | 222.1                  |
| Level 02                                 | 960.1                                      | -                     | -   | -                  | -               | 960.1           | 64.2              | 875.0            | 20.7                                  | 895.8            | 20.9                   | 43.4                                  | 64.3                   |
| Level 03                                 | 960.2                                      | -                     | -   | -                  | -               | 960.2           | 93.3              | 797.3            | 30.1                                  | 827.4            | 69.7                   | 63.1                                  | 132.8                  |
| Level 04                                 | 960.2                                      | 18.4                  | -   | -                  | -               | 941.8           | 57.2              | 863.4            | 18.5                                  | 881.9            | 21.2                   | 38.7                                  | 60.0                   |
| Level 05                                 | 351.0                                      | -                     | -   | -                  | -               | 351.0           | 68.4              | 191.0            | 22.1                                  | 213.1            | 91.7                   | 46.3                                  | 138.0                  |
| Level 06                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | 18.6             | 4.1                                   | 22.7             | 394.5                  | 8.6                                   | 403.1                  |
| Level 07                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 08                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 09                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 10                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 11                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 12                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 13                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 14                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 15                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 16                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 17                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.7              | -                | 4.1                                   | 4.1              | 413.1                  | 8.6                                   | 421.7                  |
| Level 18                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.2              | -                | 4.0                                   | 4.0              | 413.6                  | 8.3                                   | 421.8                  |
| Level 19                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.2              | -                | 4.0                                   | 4.0              | 413.6                  | 8.3                                   | 421.8                  |
| Level 20                                 | 425.8                                      | -                     | -   | -                  | -               | 425.8           | 12.2              | -                | 4.0                                   | 4.0              | 413.6                  | 8.3                                   | 421.8                  |
| Roof Level                               | 190.4                                      | -                     | 190.4   | -                  | -               | -               | -                 | -                | -                                     | -                | -                      | -                                     | -                      |
| <b>TOTAL (m<sup>2</sup>)</b>             | <b>10,903.3</b>                            | <b>177.3</b>          | <b>190.4</b>                                      | <b>255.7</b>       | <b>-</b>        | <b>10,279.9</b> | <b>614.8</b>      | <b>3,107.3</b>   | <b>198.7</b>                          | <b>3,305.9</b>   | <b>6,508.4</b>         | <b>416.1</b>                          | <b>6,924.5</b>         |
| Proportion of Unshared Floor Area by Use |  | <b>32%</b>            |   | <b>68%</b>         |                 |                 |                   |                  |                                       |                  |                        |                                       |                        |
| Total FSR                                |  | Commercial FSR        |   | Residential FSR    |                 |                 |                   |                  |                                       |                  |                        |                                       |                        |
| <b>4.5</b>                               |  | <b>1.5</b>            |   | <b>3.0</b>         |                 |                 |                   |                  |                                       |                  |                        |                                       |                        |
| Site Area                                |  | 2272.4 m <sup>2</sup> |   |                    |                 |                 |                   |                  |                                       |                  |                        |                                       |                        |

**NOTES**  
**Areas** All areas are in square meters  
**Column C** Includes services spaces on Level 01 which would usually be located below grade (i.e. primary Mechanical + Electrical rooms)  
**Column G** Includes shared horizontal and vertical circulation for exiting and mechanical / electrical rooms on each floor where shafts run to rooftop service spaces.

**VEHICLE PARKING**

FOR MORE DETAILED INFORMATION ON VEHICLE PARKING AND TRANSPORTATION DEMAND MANAGEMENT MEASURES, SEE PARKING & TDM STUDY FROM WATT CONSULTING GROUP

| ID  | FORMULA | UNITS         |                                   | REQUIREMENT |                  |
|---|---------|---------------|-----------------------------------|-------------|------------------|
|   |         | A             | B                                 | C           | D                |
|   |         | UNITS or AREA | SPACES / UNIT (Condominium use) * | REQUIREMENT | ROUNDED TOTAL    |
| UNITS <45m <sup>2</sup>                         |         | 59            | 0.65                              | <b>38.4</b> |                  |
| UNITS >=45m <sup>2</sup> and <=70m <sup>2</sup> |         | 33            | 0.80                              | <b>26.4</b> |                  |
| UNITS >70m <sup>2</sup>                         |         | 6             | 1.20                              | <b>7.2</b>  |                  |
| Visitor (Total # Units)                         |         | 98            | 0.10                              | <b>9.8</b>  | <b>10</b>        |
| Hotel (Rooms)                                   |         | 96            | 0.25                              | <b>24.0</b> |                  |
| Café (m <sup>2</sup> )                          |         | 136           | -                                 | -           | <b>24</b>        |
|   |         |               |                                   |             | <b>total 106</b> |
|   |         |               |                                   |             | <b>PROPOSED</b>  |
| On-Site Stalls                                  |         |               |                                   |             | <b>2</b>         |
| Off-Site Stalls                                 |         |               |                                   |             | <b>25</b>        |
|   |         |               |                                   |             | <b>total 27</b>  |

**NOTES**  
 \* From Victoria Zoning Bylaw 2018, Part 5 Requirements for Motor Vehicle and Bicycle Parking

**BICYCLE PARKING**

FOR MORE DETAILED INFORMATION ON BICYCLE PARKING AND TRANSPORTATION DEMAND MANAGEMENT MEASURES, SEE PARKING & TDM STUDY FROM WATT CONSULTING GROUP

| ID   | FORMULA            | A              | REQUIREMENT      |                    |                   |                 |
|--|--------------------|----------------|------------------|--------------------|-------------------|-----------------|
|  |                    |                | B                | C                  | D                 | E               |
| USE  | UNIT COUNT         | UNIT COUNT     | LONG-TERM SPACES |                    | SHORT-TERM SPACES |                 |
|  |                    |                | RATE *           | NUMBER REQUIRED    | RATE *            | NUMBER REQUIRED |
| <b>RESIDENTIAL USE</b>                     |                    |                |                  |                    |                   |                 |
| Units <45m <sup>2</sup>                    | 59 Suites          | 1 per Suite    | 59.0             | 0.1 per Suite      | 6                 |                 |
| Units >=45m <sup>2</sup> <70m <sup>2</sup> | 33 Suites          | 1.25 per Suite | 41.3             | 0.1 per Suite      | 3                 |                 |
| Units >70m <sup>2</sup>                    | 6 Suites           | 1.25 per Suite | 7.5              | 0.1 per Suite      | 0.6               |                 |
| <b>HOTEL</b>                               |                    |                |                  |                    |                   |                 |
| Rooms                                      | 96 Rooms           | 1 per 25 rooms | 3.8              | 1 per 40 rooms     | 2.4               |                 |
| <b>FOOD + BEVERAGE</b>                     |                    |                |                  |                    |                   |                 |
| Floor Area                                 | 136 m <sup>2</sup> | 1 per 400 m2   | 0.3              | 1 per 100 m2       | 1.4               |                 |
| Residential total†                         |                    |                | 108              | Residential total† | 10                |                 |
| Hotel + F&B total†                         |                    |                | 4                | Hotel + F&B total† | 4                 |                 |
| <b>Total</b>                               |                    |                | <b>112</b>       | <b>Total</b>       | <b>14</b>         |                 |
| <b>PROPOSED</b>                            |                    |                |                  |                    |                   |                 |
| Residential total†                         |                    |                | 108              | Residential total† | 10                |                 |
| Hotel + F&B total†                         |                    |                | 4                | Hotel + F&B total† | 4                 |                 |
| <b>Total</b>                               |                    |                | <b>112</b>       | <b>Total</b>       | <b>14</b>         |                 |

| RESIDENTIAL USE                   | PROPOSED           |                   |
|-----------------------------------|--------------------|-------------------|
|                                   | LONG-TERM SPACES = | SHORT-TERM SPACES |
| Horizontal Stall (Standard Size)  | 50                 |                   |
| Horizontal Stall (Cargo Size)     | 11                 |                   |
| Vertical Stall                    | 19                 |                   |
| Stacked Stall (Lower Tier)        | 26                 |                   |
| Stacked Stall (Upper Tier)        | 39                 |                   |
| <b>Total Residential</b>          | <b>145</b>         |                   |
| <b>HOTEL + CAFÉ USE</b>           |                    |                   |
| Horizontal Stall (Standard Size)  | 4                  |                   |
| Horizontal Stall (Cargo Size)     | 1                  |                   |
| <b>Total Hotel + Café</b>         | <b>5</b>           |                   |
| <b>SHARED USE</b>                 |                    |                   |
| Building Ebikes                   | 11                 |                   |
| Horizontal Stall (Standard Size)† |                    | 16                |
| Horizontal Stall (Cargo Size)†    |                    | 3                 |
| <b>Total Shared</b>               | <b>11</b>          | <b>19</b>         |
| <b>Total</b>                      | <b>161</b>         | <b>19</b>         |

**NOTES**  
 \* From Victoria Zoning Bylaw 2018, Part 5 Requirements for Motor Vehicle and Bicycle Parking  
 † Rounded to nearest full stall  
 = All long-term stalls to have access to outlets for ebike charging  
 ‡ Some stalls electrified for ebike charging; see A100 for details

| UNIT AREA SIZE SUMMARY |        |      |            |      |            |      |
|------------------------|--------|------|------------|------|------------|------|
| HOTEL ROOM             | STUDIO | 1 BR | 1 BR + Den | 2 BR | 2 BR + Den | 3 BR |
| 18.3                   | 36.9   | 44.0 | 55.7       | 63.7 | 76.5       | 97.5 |
| 14.5                   | 36.6   | 36.6 | 54.6       | 63.4 | 76.5       | 97.5 |
| 40.7                   | 37.1   | 49.8 | 59.3       | 65.2 | 76.5       | 97.5 |



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| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
 2019-039

**PROJECT INFO**

2024-02-21 4:56:34 PM

**A011**



The proposal as seen from View 1: Laurel Point to Downtown Core Area.

In View 1 from Laurel Point, the proposal helps to establish the anticipated CBD backdrop articulated in the DCAP at the boundary between the Historic Commercial District and the Inner Harbour Causeway area, creating a multilayered and tiered urban profile. It contributes to this backdrop with a reserved material palette and regular fenestration pattern, allowing the richly detailed facades of the historic building stock to maintain prominence. The slim massing of the tower maximizes the sky view and preserves the legibility of the Empress Hotel's roofline. By preserving the scale and character of the existing BC Power Commission Building as a podium, the proposal also helps maintain a massing and proportion that is compatible with the surrounding context at street level.



The proposal as seen from View 2: Inner Harbour from Songhees Point.

In View 2 from Songhees Point, the proposal is visible at the northern extent of this view as a backdrop to the Empress Hotel and the Customs House in a cluster of other tall contemporary buildings. It contributes to the anticipated stepped urban backdrop that helps frame the historic buildings along the Inner Harbour Causeway. The profile of the proposal is simple and quiet, allowing the variegated roofline of the Empress Hotel to remain legible and prominent. The façade is crafted from high quality materials that complement the surrounding context while remaining distinguishable and contemporary. The slim massing creates a unique fixture in the skyline, while the refined fenestration and balcony pattern does not detract from the prominence of the many important landmarks along the Inner Harbour Causeway.

**Public External Views**

The proposed addition appears in two of the public external views of downtown identified in DCAP Appendix 2. Visualizations of the proposal from the View 1: Laurel Point to Downtown Core Area and View 2: Inner Harbour from Songhees Point are shown below.

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|------------|-----|-----------------------------|
| 2023-02-17 | 1   | ISSUED FOR COORDINATION     |
| 2023-03-14 | 2   | FINAL PROGRESS SET          |
| 2023-03-23 | 3   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 4   | HAP & RZ RESUBMISSION 02    |

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

**PUBLIC EXTERNAL VIEWS**

Additional visualizations and analysis of shadowing, near and distant perspective views, and the impact of the proposed addition on the existing views from two nearby high rise residential developments are included in the Large Project Supplementary Information Booklet.

2024-02-21 4:56:34 PM

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FAIRFIELD ROAD

SUBJECT SITE

BURDETT AVENUE

1 STREETScape ALONG BLANSHARD STREET  
 A013 N.T.S.

| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2023-02-17 | 2   | ISSUED FOR COORDINATION     |
| 2023-03-14 | 3   | FINAL PROGRESS SET          |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



BURDETT AVENUE

SUBJECT SITE

BLANSHARD STREET

2 STREETScape ALONG FAIRFIELD ROAD  
 A013 N.T.S.

780 Blanshard - Rehabilitation + Addition

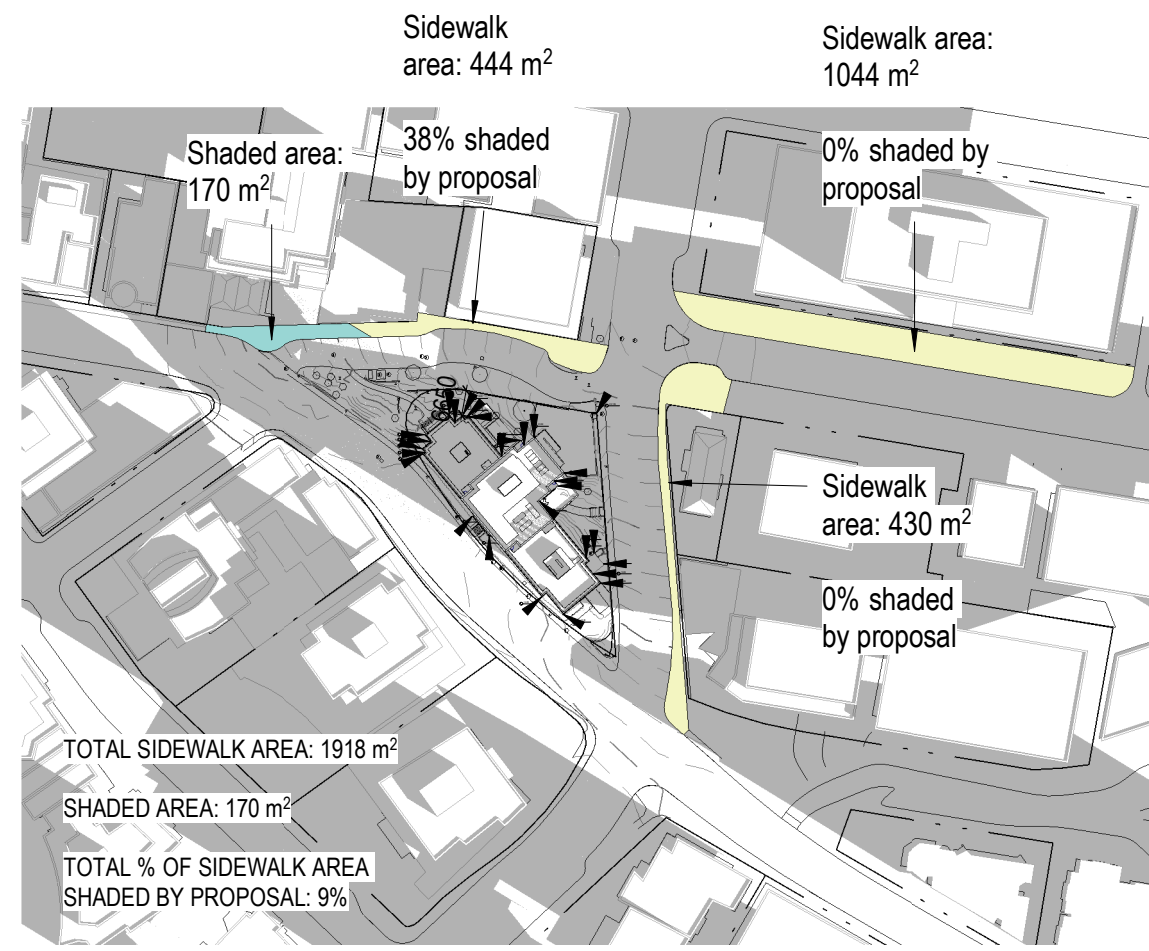
780 Blanshard Street, Victoria, BC  
 2019-039

CONTEXT STREETSCAPES

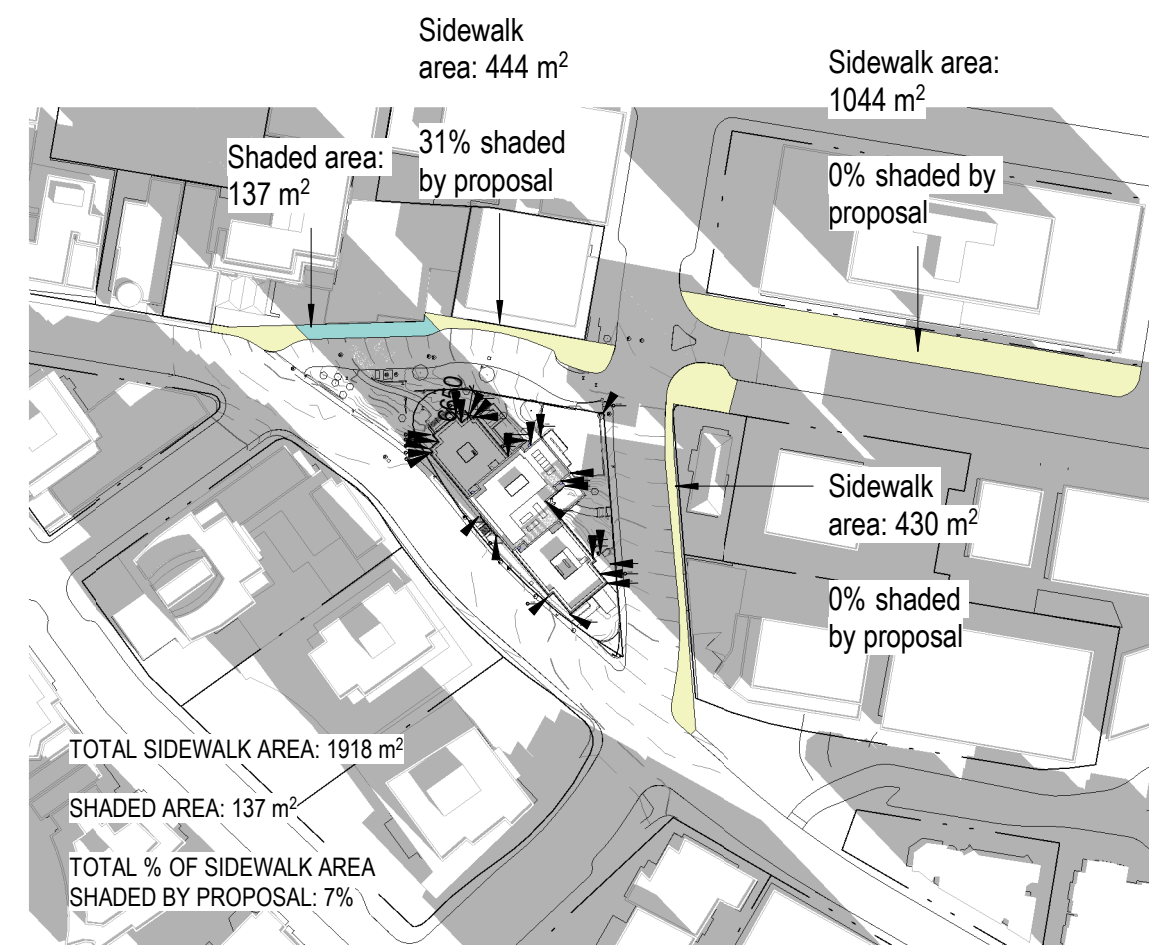
N.T.S.

2024-02-21 4:56:35 PM

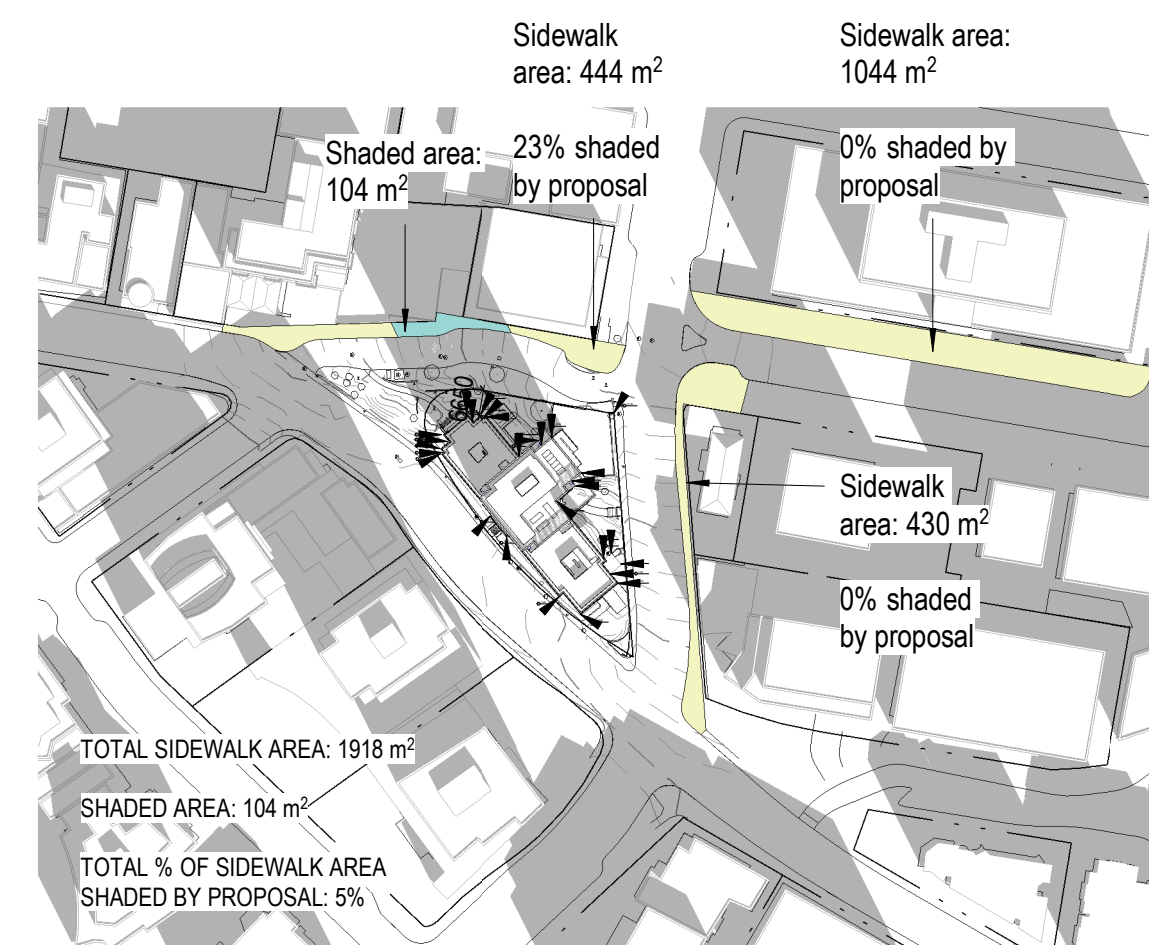
**A013**



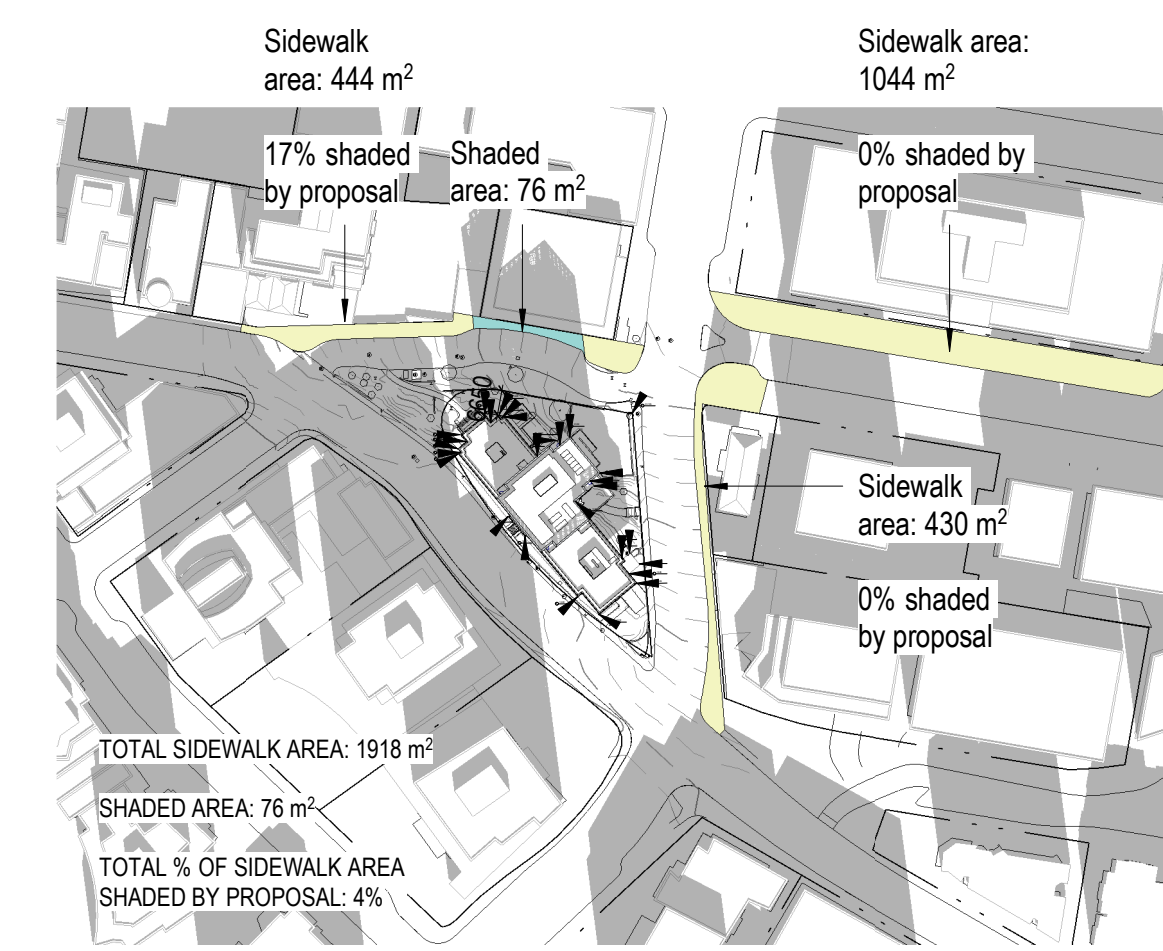
1 Shadow Analysis - Proposed - Equinox 10am



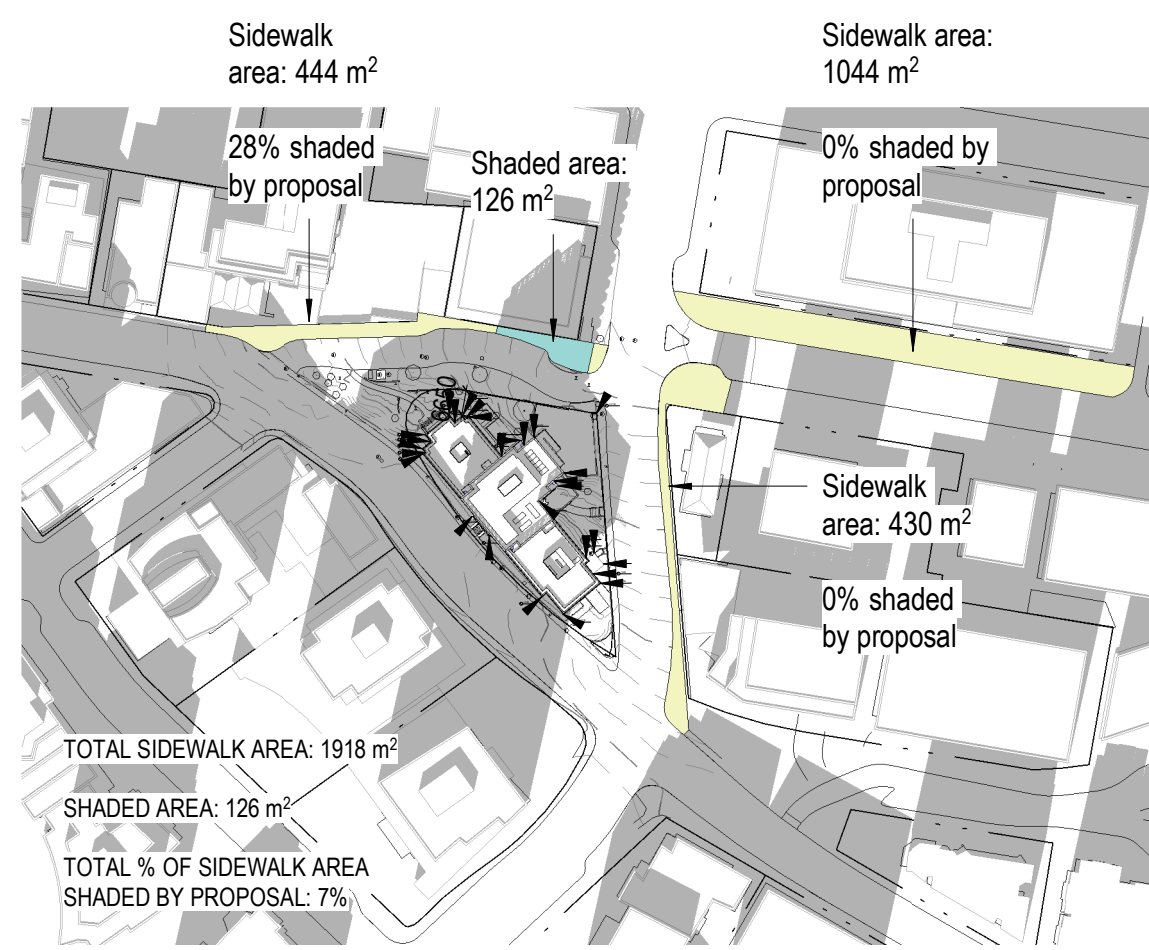
2 Shadow Analysis - Proposed - Equinox 11am



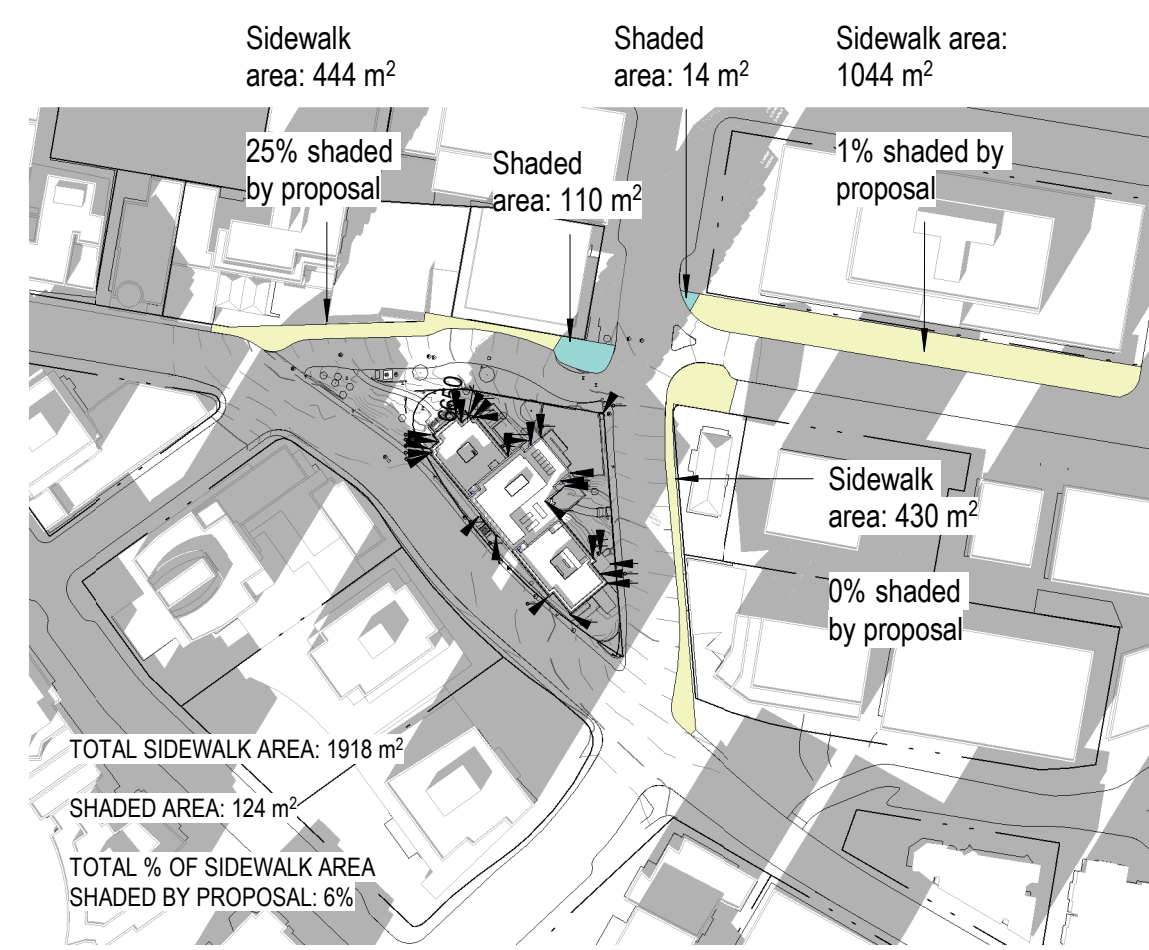
3 Shadow Analysis - Proposed - Equinox 12pm



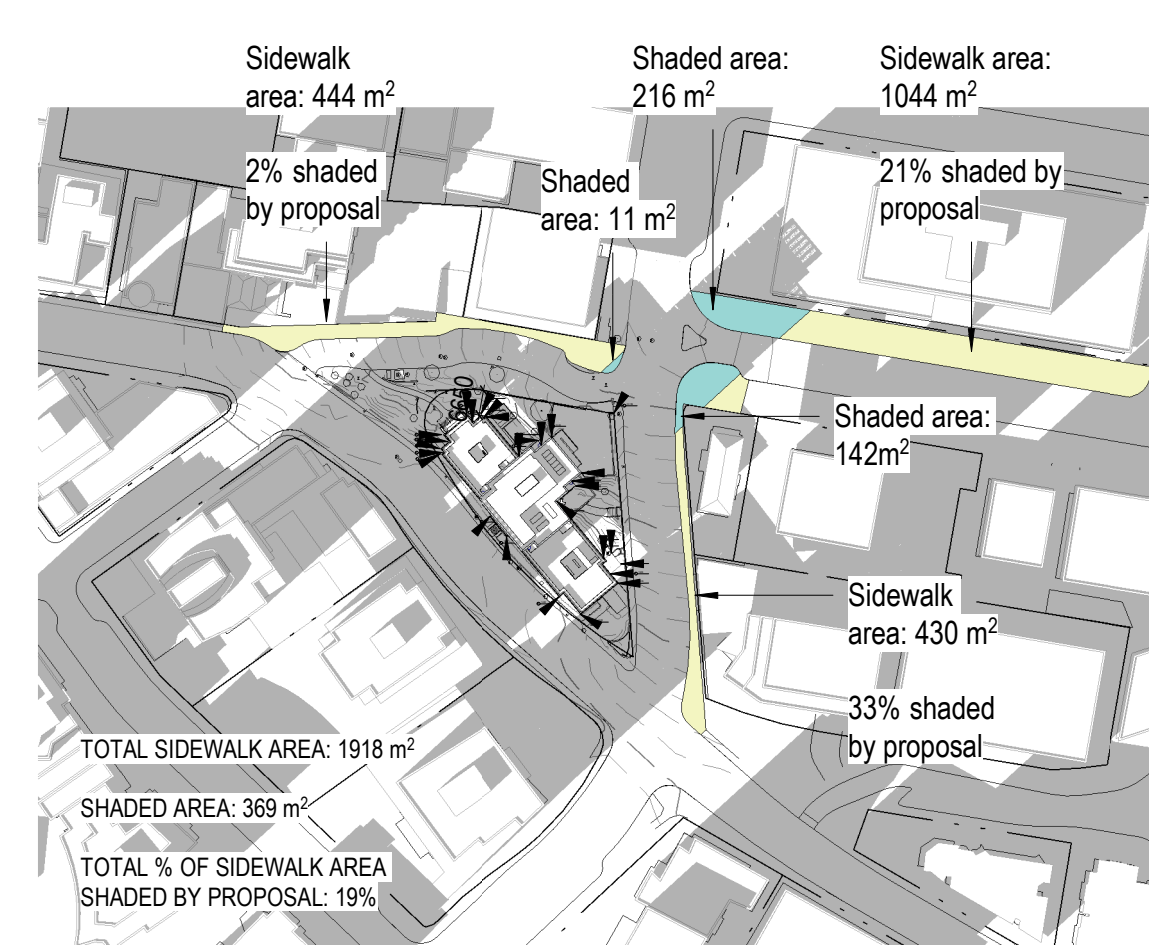
4 Shadow Analysis - Proposed - Equinox 1pm



5 Shadow Analysis - Proposed - Equinox 2pm



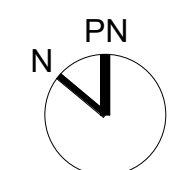
6 Shadow Analysis - Proposed - Equinox 3pm



7 Shadow Analysis - Proposed - Equinox 4pm



| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
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780 Blanshard - Rehabilitation + Addition

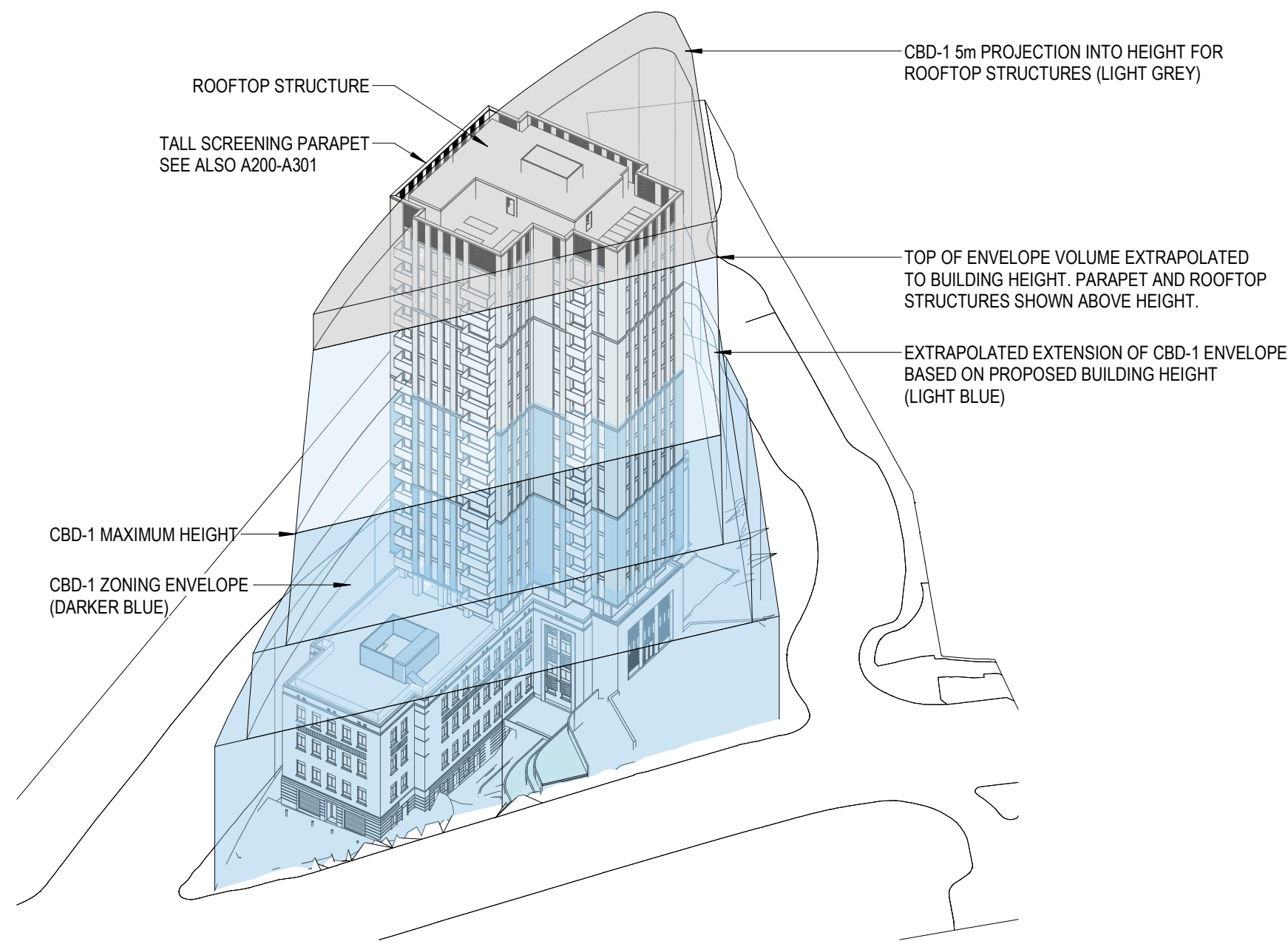
780 Blanshard Street, Victoria, BC  
2019-039

SHADOW ANALYSIS - EQUINOX

1 : 2000

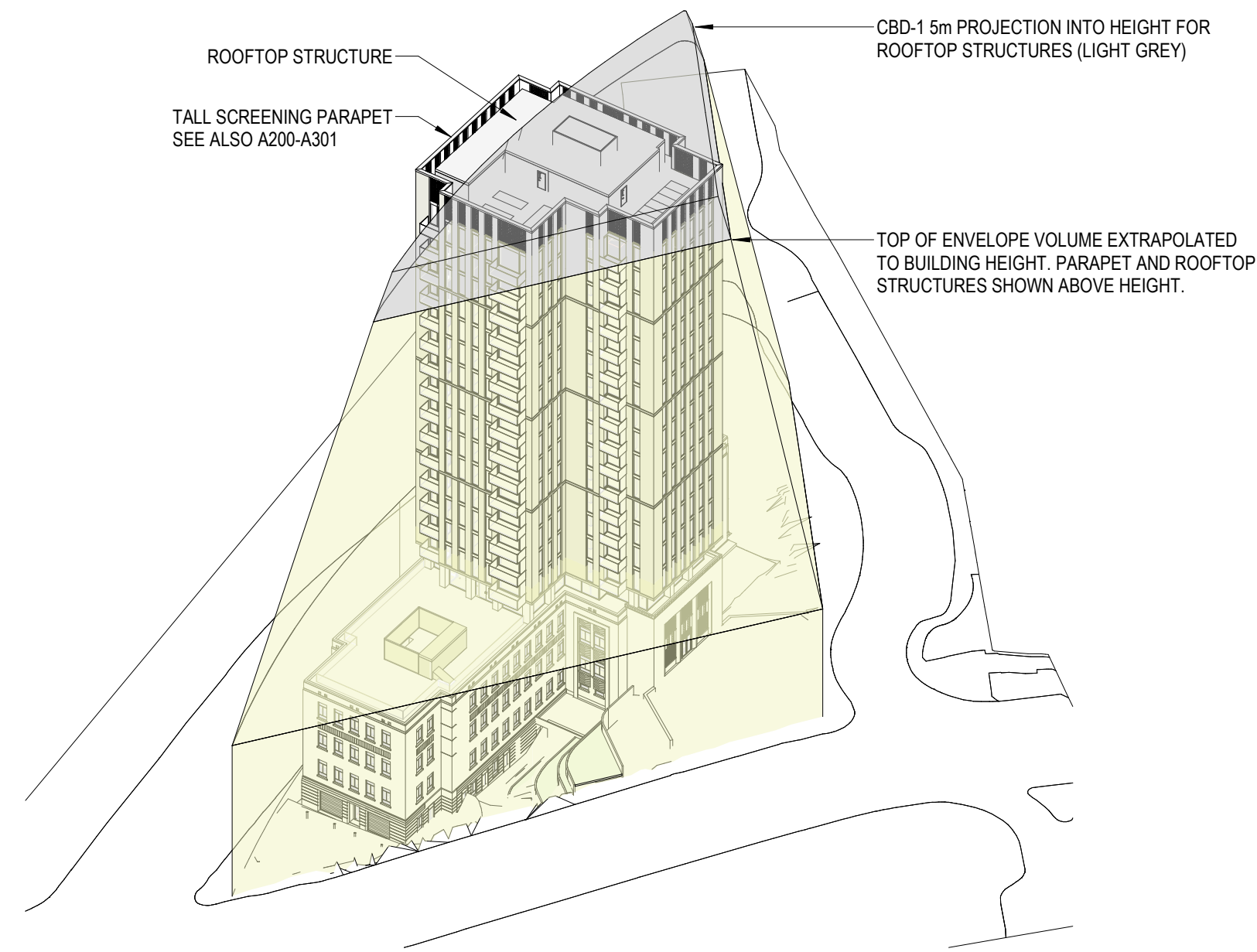
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**A014**





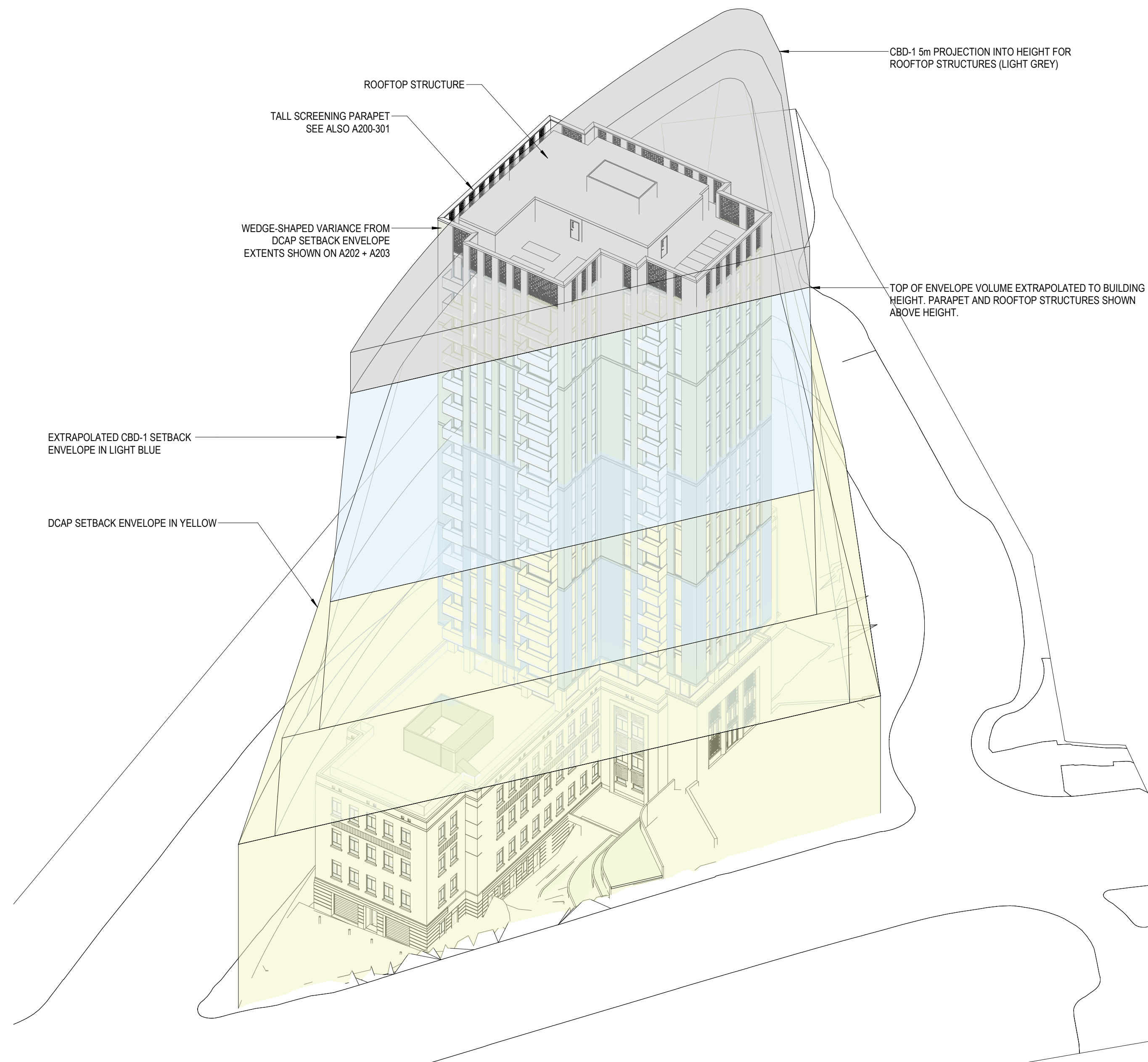
3 Axonometric View of CBD-1 Setback Envelope

A015



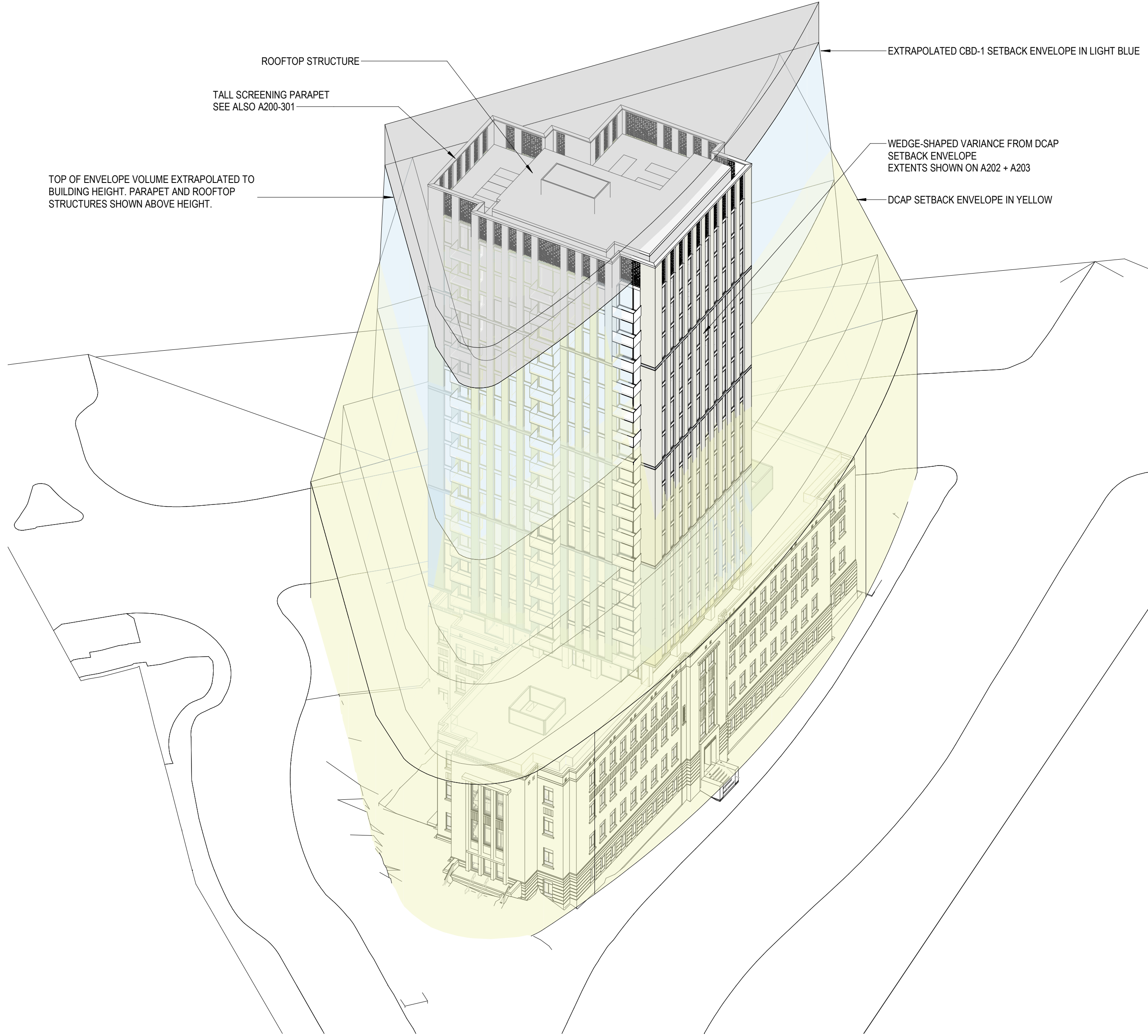
4 Axonometric View of DCAP Setback Envelope

A015



1 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (East)

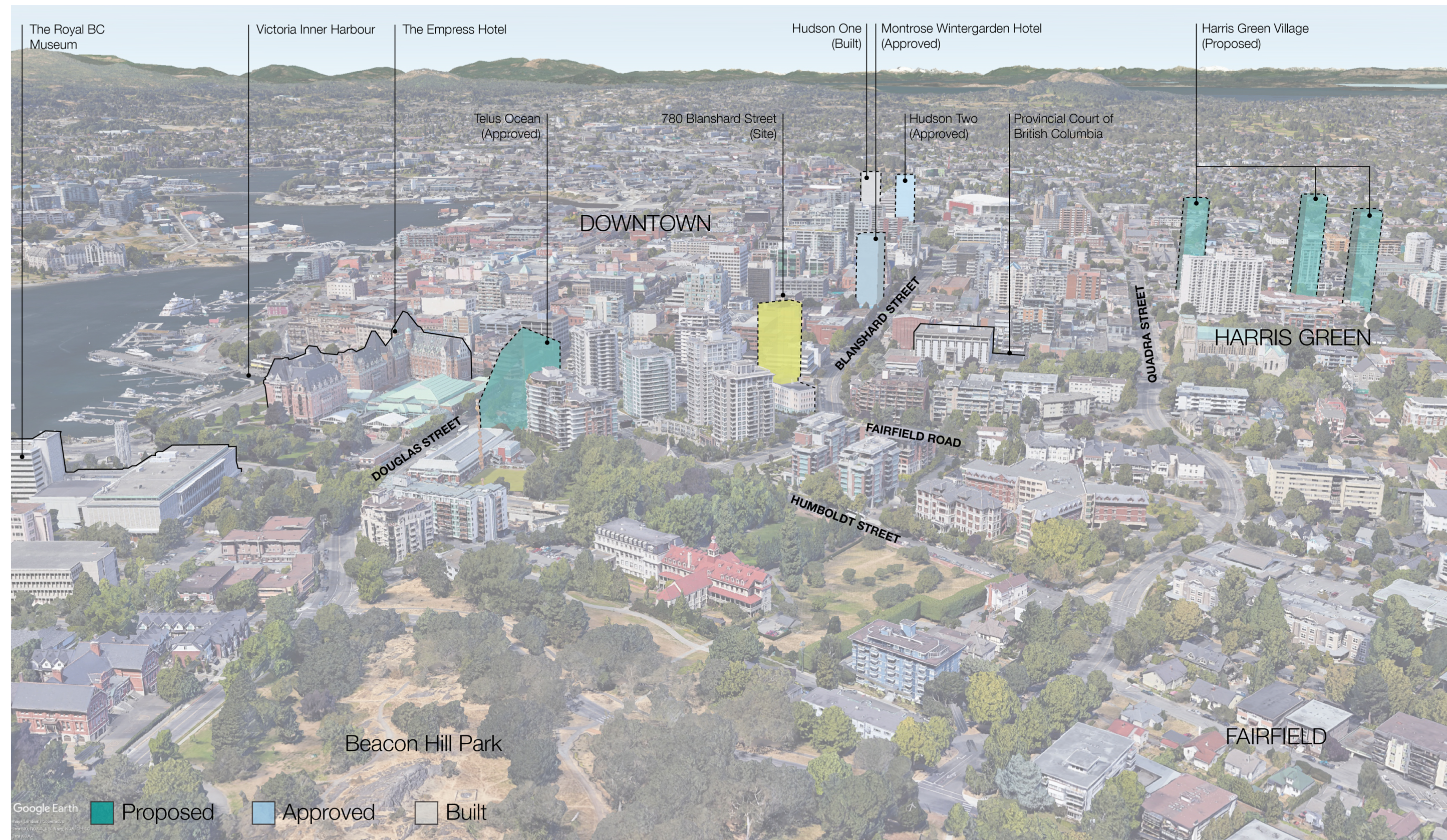
A015



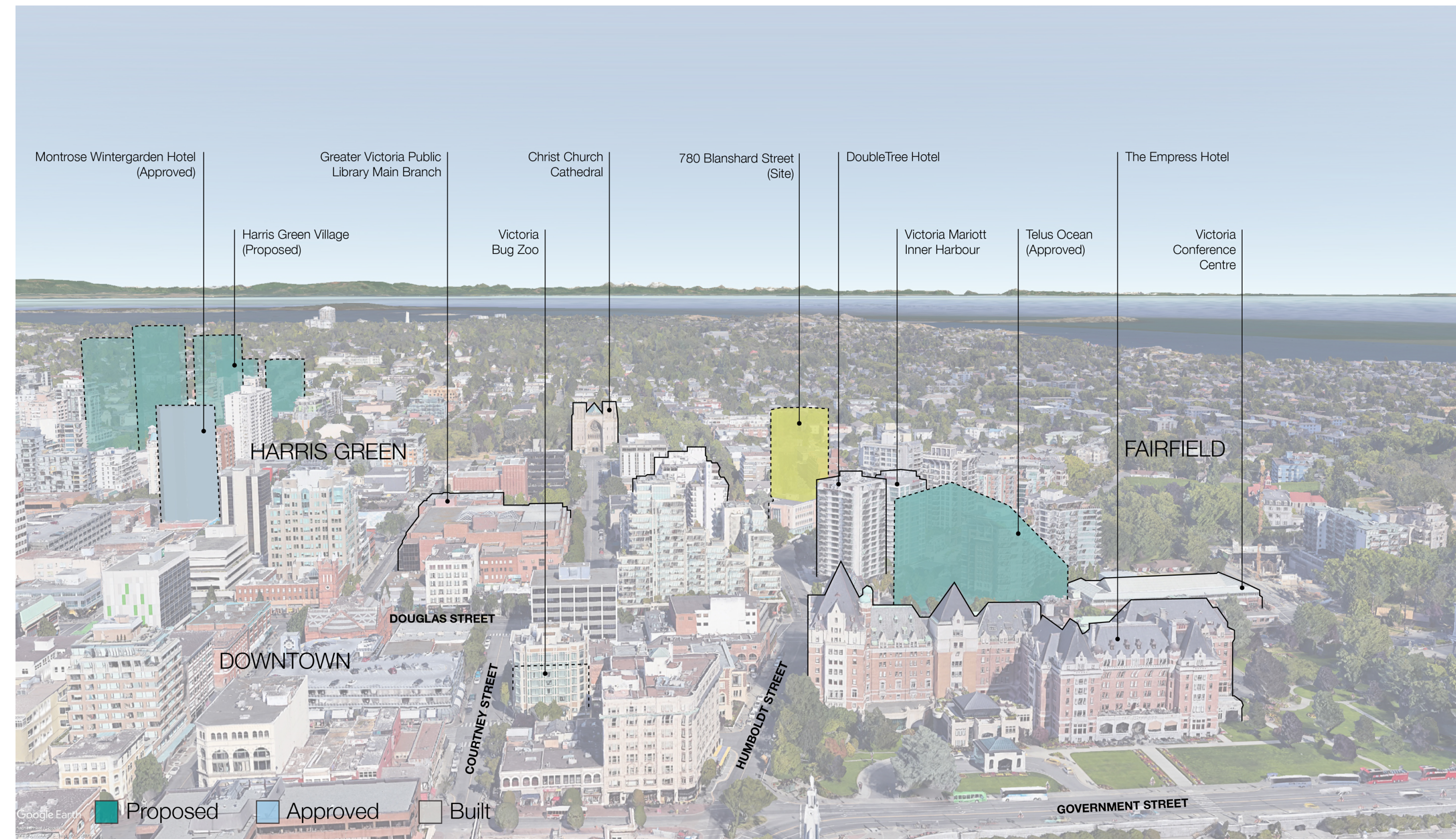
2 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (West)

A015

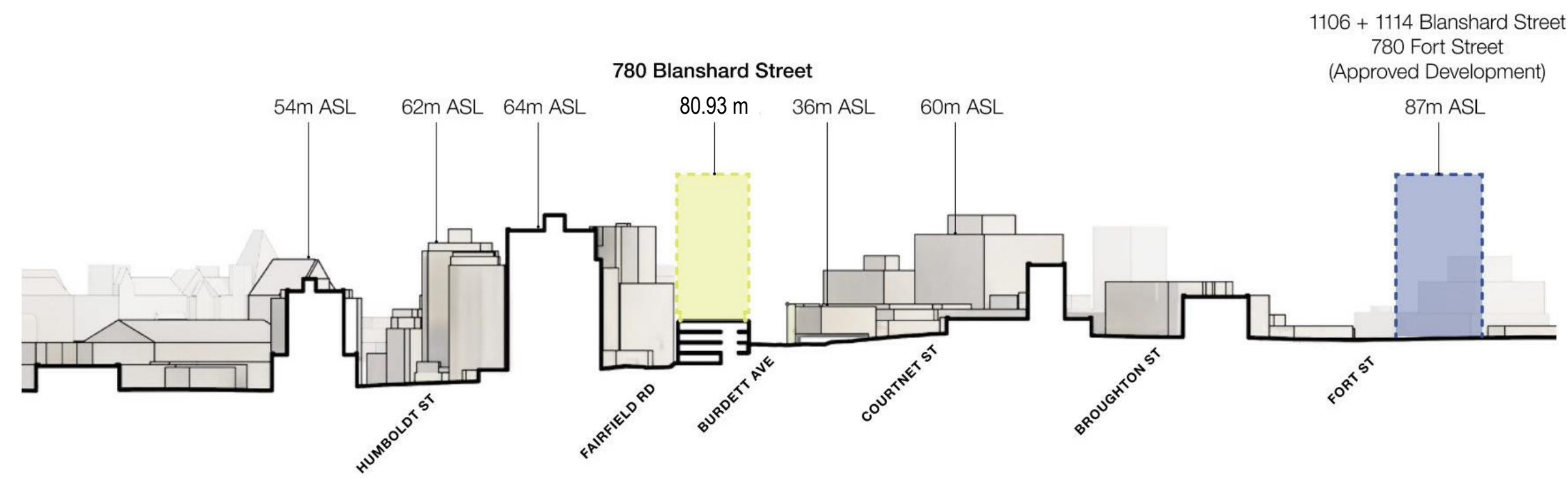
| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



1 VIEW TO SITE ABOVE BEACON HILL



2 VIEW TO SITE LOOKING EAST ABOVE HARBOUR



3 CONTEXT SECTION - SOUTH TO NORTH FACING WEST



| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

CONTEXT SCHEMATIC VIEWS  
AND SECTION

As indicated

2024-02-21 4:57:29 PM  
**A016**

| PROJECT INFORMATION     |                         | BCBC Reference | Notes  |
|-------------------------|-------------------------|----------------|--|
| Project Type            | Renovation and Addition |                |  |
| Governing Building Code | BC Building Code 2018   |                |  |
| Major Occupancies       | Group C                 | 3.1.2.1        | Hotel and residential tower share a major occupancy. Dining, fitness centre, and amenity spaces are subsidiary occupancies which are integral to the principal occupancy.  |
| Building Area           | 1038 m <sup>2</sup>     | 1.4.1.2        | Outside face of exterior walls (existing heritage building)  |
| Grade                   | 14.86 m                 | 1.4.1.2        | BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Fairfield Road). (14.88 m + 14.84 m) / 2 = 14.86 m |
| Building Height         | 20 storeys              | 1.4.1.2        |  |
| High Building           | Yes                     | 3.2.6.1        |  |

| BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION |  |          |  |
|--|--|----------|--|
| Classification                                     | Group C, Any Height, Any Area, Sprinklered | 3.2.2.47 |  |
| Maximum Building Area                              | Unlimited                                  | 3.2.2.47 |  |
| Number of Streets Facing                           | 3  | 3.2.2.10 |  |
| Construction Types Permitted                       | Noncombustible                             | 3.2.2.47 |  |
| Interconnected Floor Space                         | Yes  | 3.2.8    |  |

| EXITS FROM FLOOR AREAS          |  |         |  |
|---------------------------------|--|---------|--|
| Number of Exits Required        | 2  | 3.4.2.1 |  |
| Separation of Exits (Min.)      | One half of diagonal floor area, but need not be more than 9 m | 3.4.2.3 | All floor areas served by public corridors                     |
| Maximum Travel Distance Allowed | 45 m   | 3.4.2.5 | Measured from suite egress door into public corridor (3.4.2.4) |

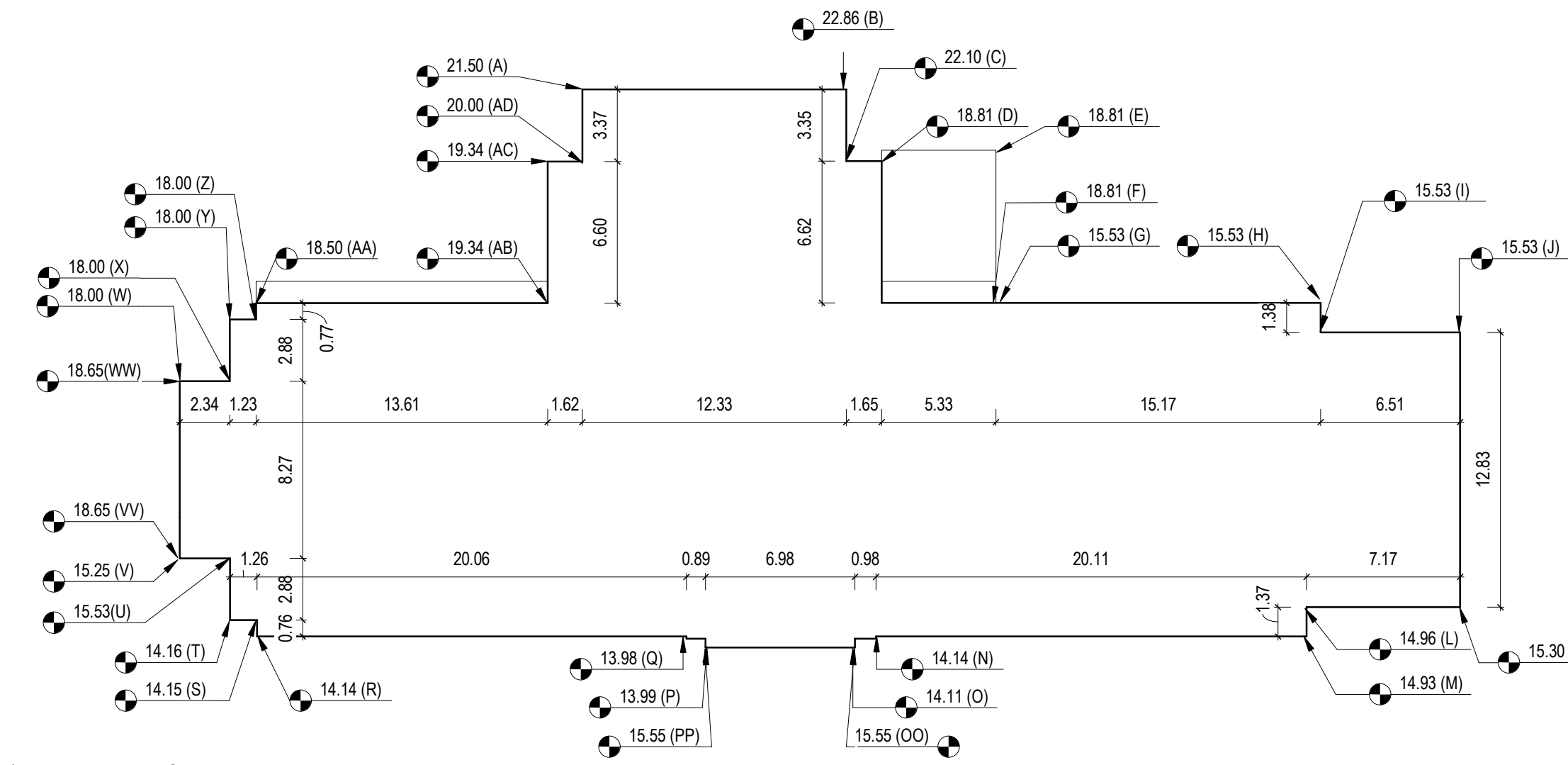
| FIRE RESISTANCE RATINGS                       |     |                  |                                      |
|---|-----|------------------|--------------------------------------|
| Floor Assemblies                              | 2 h | 3.2.2.47         |                                      |
| Roofs   | N/A | 3.2.2.47         |                                      |
| Occupied Roofs                                | 2 h | 3.2.2.13         |                                      |
| Mezzanines                                    | 1 h | 3.2.2.47         |                                      |
| Exits   | 2 h | 3.4.4.1          |                                      |
| Between Suites                                | 1 h | 3.3.1.1, 3.3.4.2 |                                      |
| Between Suites and Public Corridors           | 1 h | 3.3.4.2, 3.2.6.5 | Elevator access directly to corridor |
| Elevator Hoistways                            | 2 h | 3.5.3.1          |                                      |
| Service Spaces Containing Emergency Equipment | 1 h | 3.2.7.10         |                                      |
| Rooms Containing Fire Alarm Equipment         | 1 h | 3.2.7.10         |                                      |
| Generator Room and Fuel Tank                  | 2 h | 3.6.2.8          |                                      |
| Electrical Equipment Room (sprinklered)       | 1 h | 3.6.2.1          |                                      |
| Electrical Equipment Vault (unsprinklered)    | 2h  | NFPA 13          |                                      |
| Vertical Service Spaces                       | 1 h | 3.6.3.1          |                                      |

**SPATIAL SEPARATION**

**Table 3.2.3.1-D**  
Unprotected Opening Limits for a Building or Fire Compartment that is Sprinklered Throughout Forming Part of Article 3.2.3.1.

| Exposing Building Face    | Area of Unprotected Opening for Groups A, B, C, D and F, Division 3 Occupancies, % |     |     |     |     |     |     |     |     |     |     |     |
|---------------------------|--|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
|                           | Limiting Distance, m   |     |     |     |     |     |     |     |     |     |     |     |
| Max. Area, m <sup>2</sup> | 0  | 1.2 | 1.5 | 2.0 | 2.5 | 3   | 4   | 5   | 6   | 7   | 8   | 9   |
| 10                        | 0  | 16  | 24  | 42  | 66  | 100 |     |     |     |     |     |     |
| 15                        | 0  | 16  | 20  | 34  | 50  | 74  | 100 |     |     |     |     |     |
| 20                        | 0  | 16  | 20  | 30  | 42  | 60  | 100 |     |     |     |     |     |
| 25                        | 0  | 16  | 18  | 26  | 38  | 52  | 90  | 100 |     |     |     |     |
| 30                        | 0  | 14  | 18  | 24  | 34  | 46  | 78  | 100 |     |     |     |     |
| 40                        | 0  | 14  | 16  | 22  | 30  | 40  | 64  | 96  | 100 |     |     |     |
| 50                        | 0  | 14  | 16  | 20  | 28  | 36  | 56  | 82  | 100 |     |     |     |
| 60                        | 0  | 14  | 16  | 20  | 26  | 32  | 50  | 72  | 98  | 100 |     |     |
| 80                        | 0  | 14  | 16  | 18  | 22  | 28  | 42  | 58  | 80  | 100 |     |     |
| 100                       | 0  | 14  | 16  | 18  | 22  | 26  | 36  | 50  | 68  | 88  | 100 |     |
| 150 or more               | 0  | 14  | 14  | 16  | 20  | 22  | 30  | 40  | 52  | 66  | 82  | 100 |

**NOTE:**  
THE EXISTING BUILDING AND PROPOSED ADDITION WILL CONTAIN GROUP A AND C OCCUPANCIES AND WILL BE SPRINKLERED THROUGHOUT. AS SUCH, SPATIAL SEPARATION REQUIREMENTS WILL BE GOVERNED BY BCBC 2018 TABLE 3.2.3.1-D UNPROTECTED OPENING LIMITS FOR A BUILDING OR FIRE COMPARTMENT THAT IS SPRINKLERED THROUGHOUT. ACCORDING TO THE TABLE, AT A LIMITING DISTANCE OF 9 M OR GREATER, THE AREA OF UNPROTECTED OPENINGS IS PERMITTED TO BE 100%. THIS UNIQUE SITE FACES THREE STREETS AND IN ALL CASES HAS LIMITING DISTANCES THAT ARE AT LEAST 9 M. THEREFORE, ALL ELEVATIONS OF THE BUILDING WILL BE PERMITTED TO HAVE AN AREA OF UNPROTECTED OPENINGS OF 100%. THE ACTUAL PERCENTAGE OF UNPROTECTED OPENINGS AT THE EXISTING BUILDING AND THE PROPOSED ADDITION ARE SUBSTANTIALLY LOWER AND WILL BE IN COMPLIANCE WITH SPATIAL SEPARATION REQUIREMENTS.



1 Building Grades  
A020 1 : 250

**AVERAGE GRADE CALCULATION**

| Grade Points |          | Distance Btw Points |        | Average Grade Calculation |         |         |         |          |          |
|--------------|----------|---------------------|--------|---------------------------|---------|---------|---------|----------|----------|
| Point        | Elev (m) | Point Pair          | (m)    | Point Pair                | Point 1 | Point 2 | Average | Distance | Total    |
| A            | 21.50    | A & B               | 12.33  | A & B                     | 21.50   | 22.86   | 22.18   | 12.33    | 273.48   |
| B            | 22.86    | B & C               | 3.35   | B & C                     | 22.86   | 22.10   | 22.48   | 3.35     | 75.31    |
| C            | 22.10    | C & D               | 1.65   | C & D                     | 22.10   | 18.81   | 20.46   | 1.65     | 33.75    |
| D            | 18.81    | D & E               | 5.33   | D & E                     | 18.81   | 18.81   | 18.81   | 5.33     | 100.26   |
| E            | 18.81    | E & F               | 6.62   | E & F                     | 18.81   | 18.81   | 18.81   | 6.62     | 124.52   |
| F            | 18.81    | F & G               | 0.00   | F & G                     | 18.81   | 15.53   | 17.17   | 0.00     | 0.00     |
| G            | 15.53    | G & H               | 15.17  | G & H                     | 15.53   | 15.53   | 15.53   | 15.17    | 235.59   |
| H            | 15.53    | H & I               | 1.38   | H & I                     | 15.53   | 15.53   | 15.53   | 1.38     | 21.43    |
| I            | 15.53    | I & J               | 6.51   | I & J                     | 15.53   | 15.53   | 15.53   | 6.51     | 101.10   |
| J            | 15.53    | J & K               | 12.83  | J & K                     | 15.53   | 15.30   | 15.42   | 12.83    | 197.77   |
| K            | 15.30    | K & L               | 7.17   | K & L                     | 15.30   | 14.96   | 15.13   | 7.17     | 108.48   |
| L            | 14.96    | L & M               | 1.37   | L & M                     | 14.96   | 14.93   | 14.95   | 1.37     | 20.47    |
| M            | 14.93    | M & N               | 20.11  | M & N                     | 14.93   | 14.14   | 14.54   | 20.11    | 292.30   |
| N            | 14.14    | N & O               | 0.98   | N & O                     | 14.14   | 14.11   | 14.13   | 0.98     | 13.84    |
| O            | 14.11    | O & OO              | 1.44   | O & OO                    | 14.11   | 15.55   | 14.83   | 1.44     | 21.36    |
| OO           | 15.55    | OO & PP             | 7.98   | OO & PP                   | 15.55   | 15.55   | 15.55   | 7.98     | 124.09   |
| PP           | 15.55    | PP & P              | 1.56   | PP & P                    | 15.55   | 13.99   | 14.77   | 1.56     | 23.04    |
| P            | 13.99    | P & Q               | 0.89   | P & Q                     | 13.99   | 13.98   | 13.99   | 0.89     | 12.45    |
| Q            | 13.98    | Q & R               | 20.06  | Q & R                     | 13.98   | 14.14   | 14.06   | 20.06    | 282.04   |
| R            | 14.14    | R & S               | 0.76   | R & S                     | 14.14   | 14.15   | 14.15   | 0.76     | 10.75    |
| S            | 14.15    | S & T               | 1.26   | S & T                     | 14.15   | 14.16   | 14.16   | 1.26     | 17.84    |
| T            | 14.16    | T & U               | 2.88   | T & U                     | 14.16   | 15.53   | 14.85   | 2.88     | 42.75    |
| U            | 15.53    | U & V               | 2.34   | U & V                     | 15.53   | 15.25   | 15.39   | 2.34     | 36.01    |
| V            | 15.25    | V & VV              | 3.40   | V & VV                    | 15.25   | 18.65   | 16.95   | 3.40     | 57.63    |
| VV           | 18.65    | VV & WW             | 8.27   | VV & WW                   | 18.65   | 18.65   | 18.65   | 8.27     | 154.24   |
| WW           | 18.65    | WW & W              | 0.65   | WW & W                    | 18.65   | 18.00   | 18.33   | 0.65     | 11.91    |
| W            | 18.00    | W & X               | 2.34   | W & X                     | 18.00   | 18.00   | 18.00   | 2.34     | 42.12    |
| X            | 18.00    | X & Y               | 2.88   | X & Y                     | 18.00   | 18.00   | 18.00   | 2.88     | 51.84    |
| Y            | 18.00    | Y & Z               | 1.23   | Y & Z                     | 18.00   | 18.00   | 18.00   | 1.23     | 22.14    |
| Z            | 18.00    | Z & AA              | 0.77   | Z & AA                    | 18.00   | 18.50   | 18.25   | 0.77     | 14.05    |
| AA           | 18.50    | AA & AB             | 13.61  | AA & AB                   | 18.50   | 19.34   | 18.92   | 13.61    | 257.50   |
| AB           | 19.34    | AB & AC             | 6.60   | AB & AC                   | 19.34   | 19.34   | 19.34   | 6.60     | 127.64   |
| AC           | 19.34    | AC & AD             | 1.62   | AC & AD                   | 19.34   | 0.00    | 9.67    | 1.62     | 15.67    |
| AD           | 20.00    | AD & A              | 3.37   | AD & A                    | 20.00   | 21.50   | 20.75   | 3.37     | 69.93    |
| Total        |          | Perimeter           | 178.71 | Total                     |         |         |         | 178.71   | 2,993.31 |

AVERAGE GRADE 16.75



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| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
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780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

**BUILDING CODE AND AVERAGE GRADE**

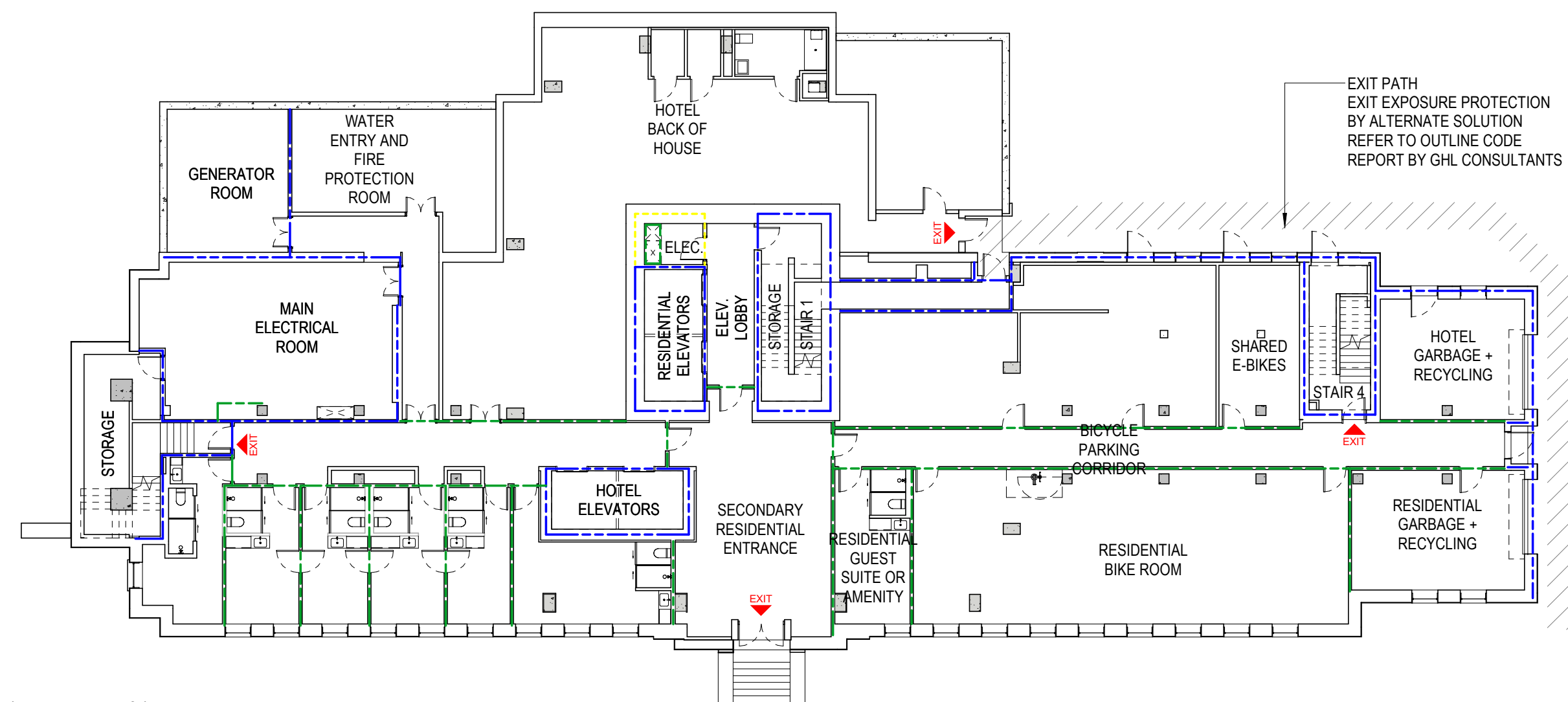
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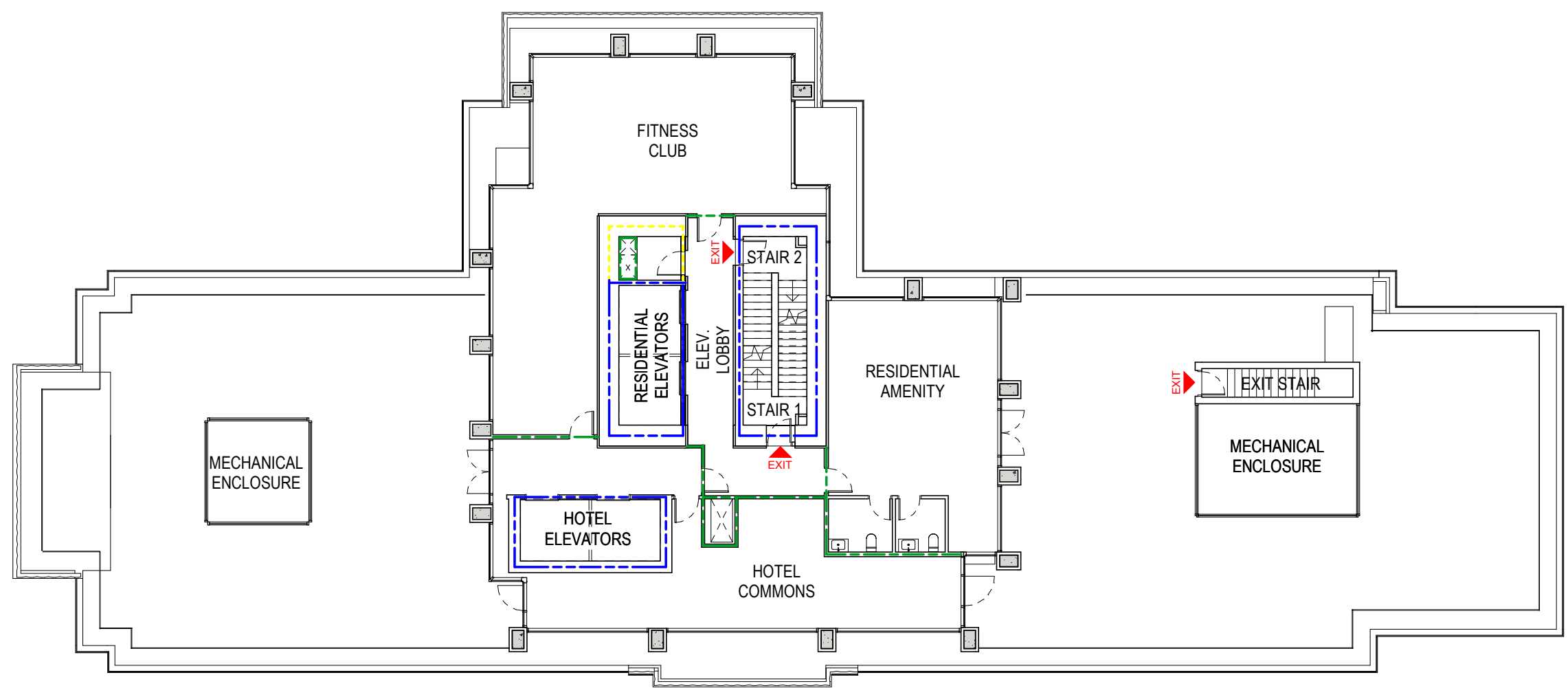
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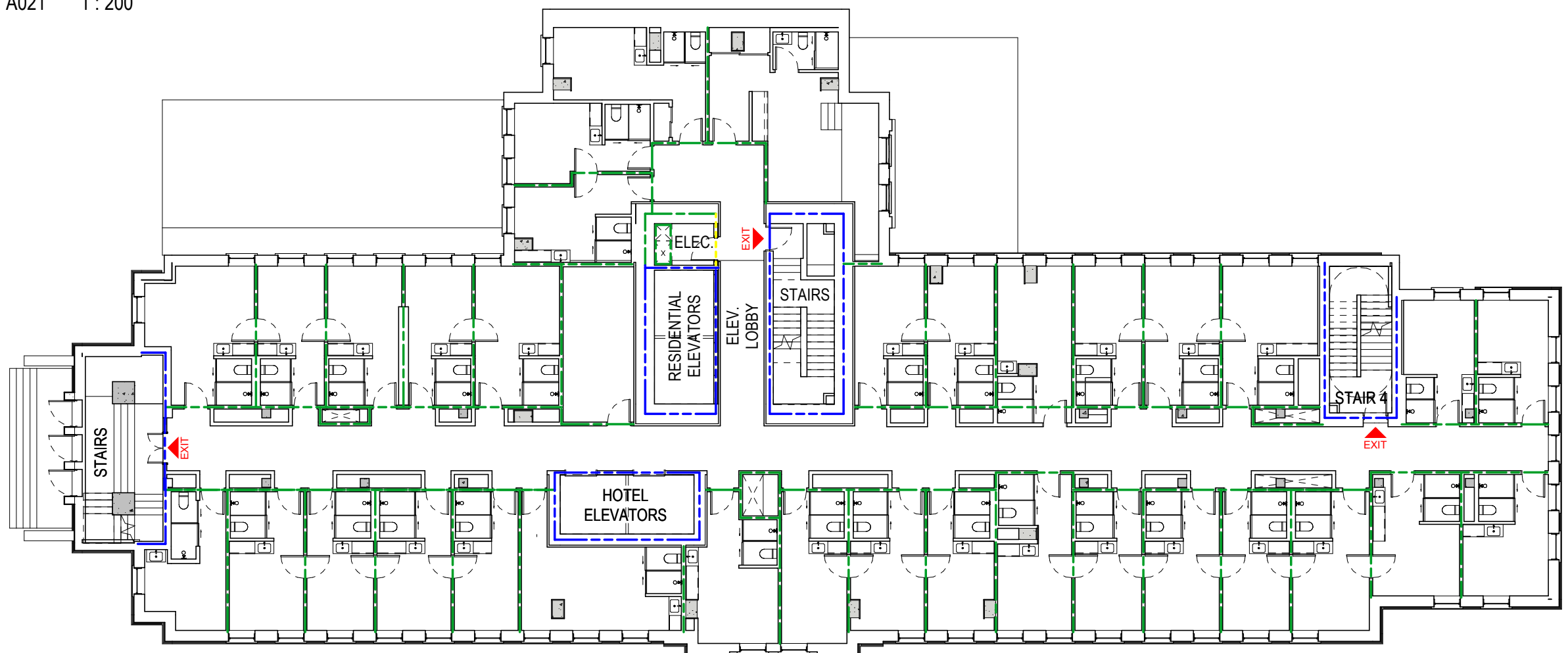
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| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



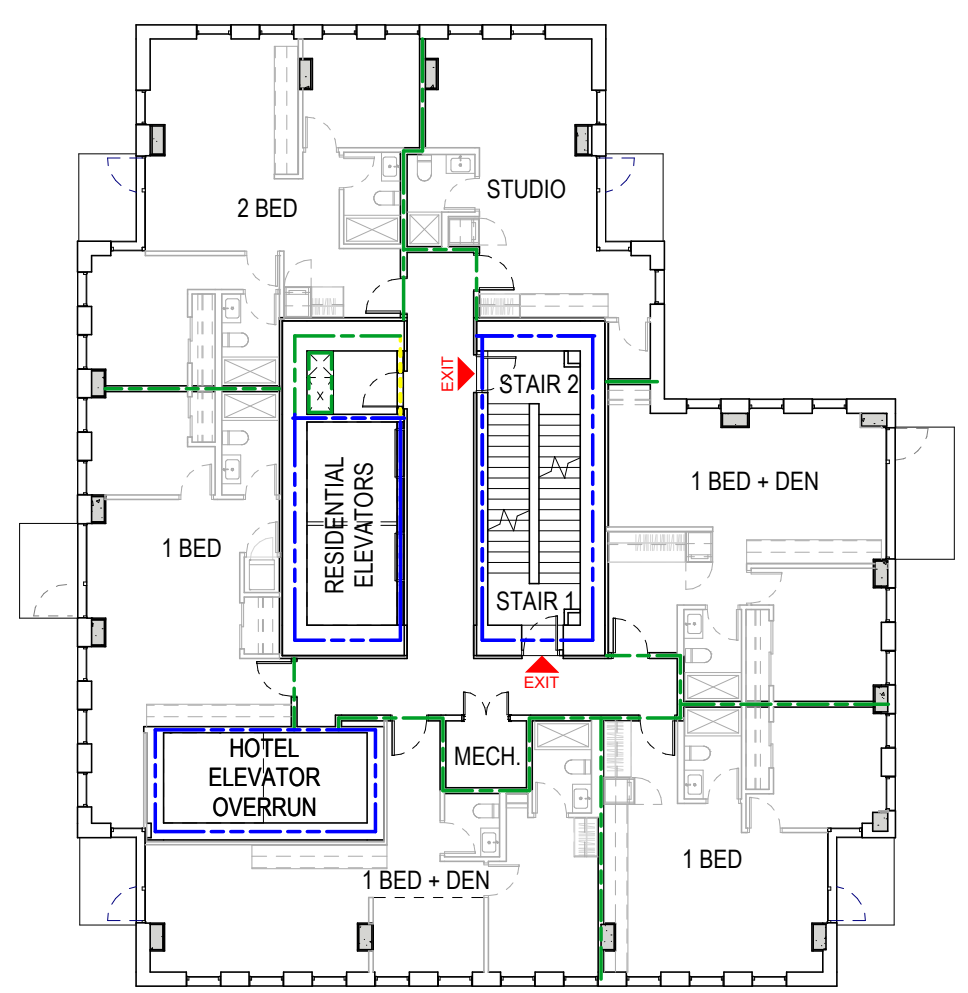
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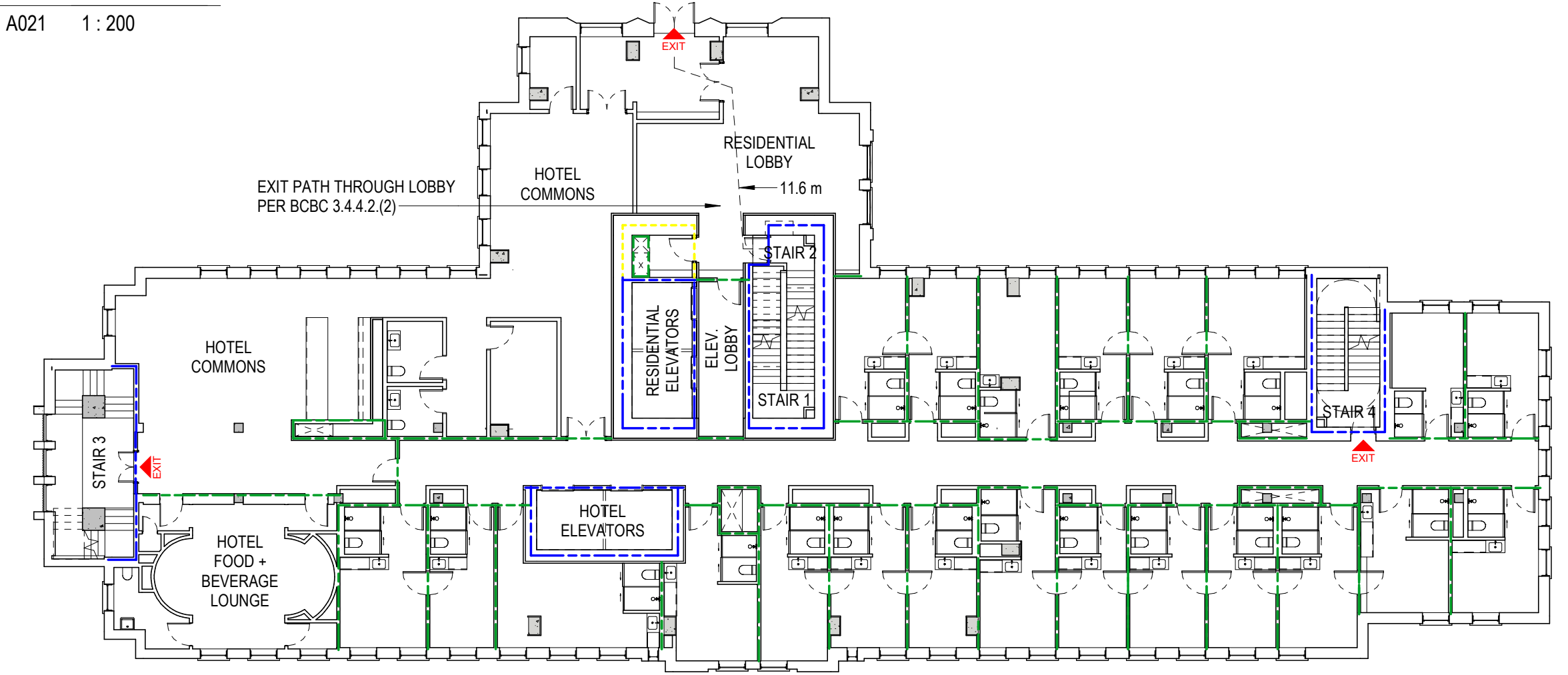
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A021 1:200



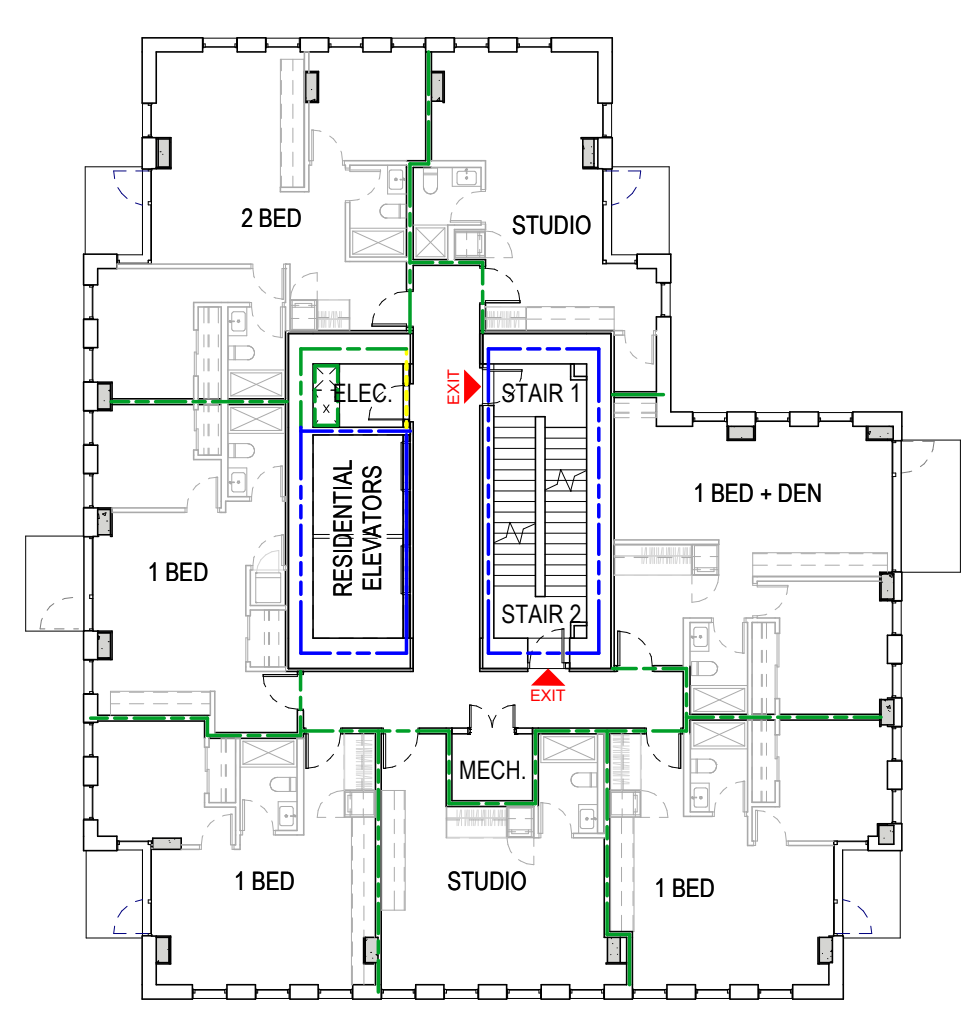
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A021 1:200



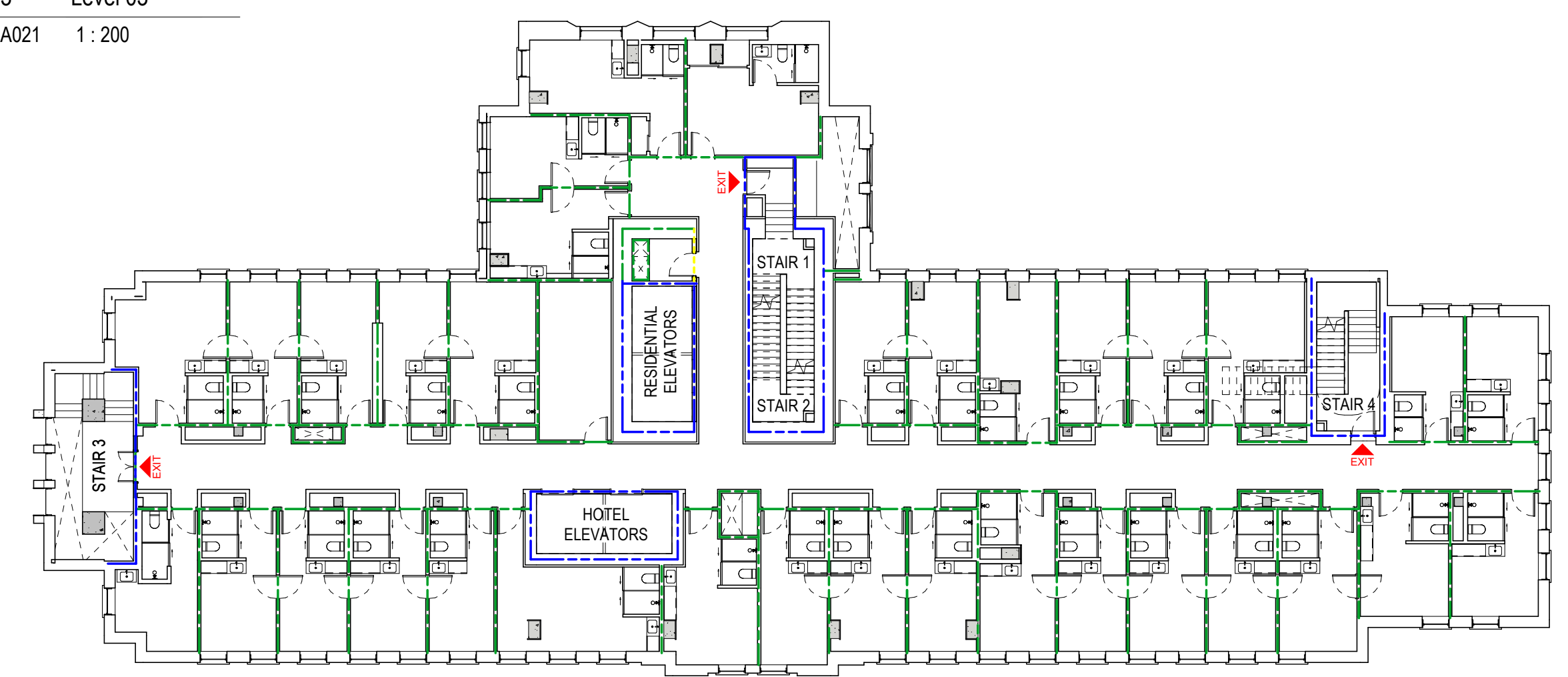
6 Level 06  
A021 1:200



3 Level 03  
A021 1:200

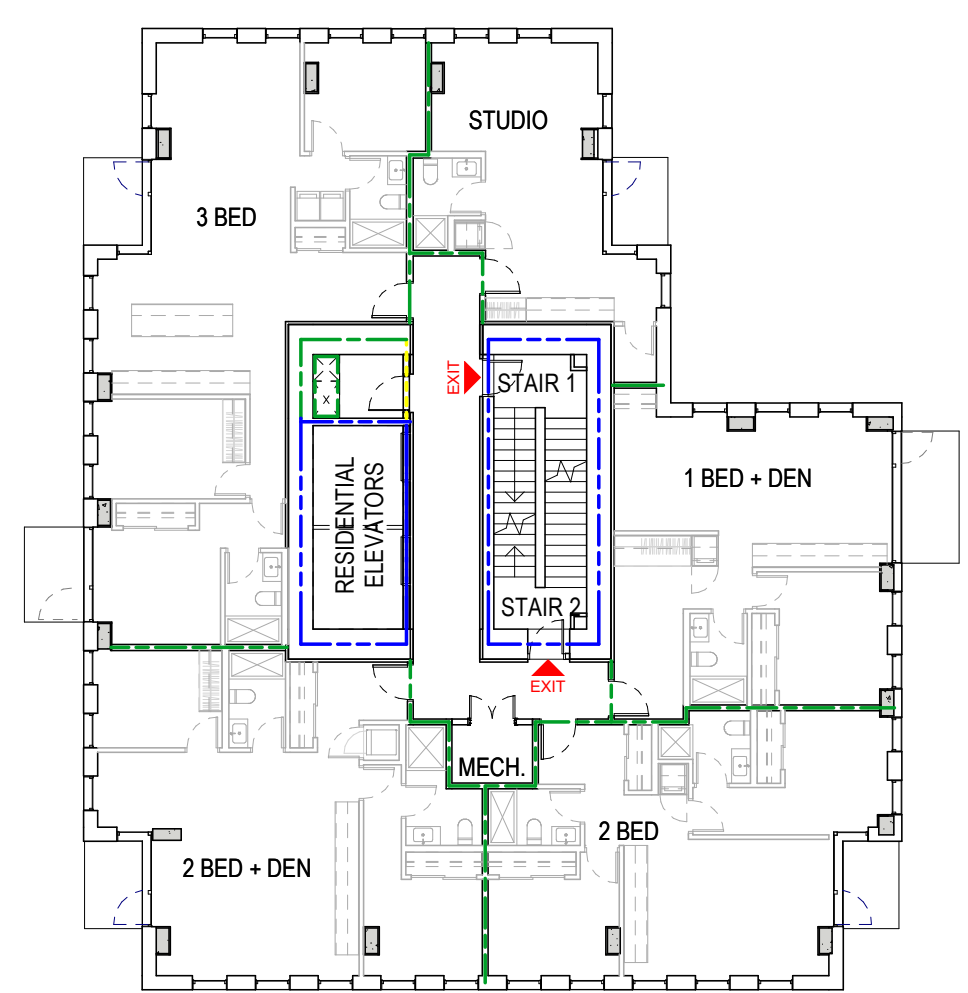
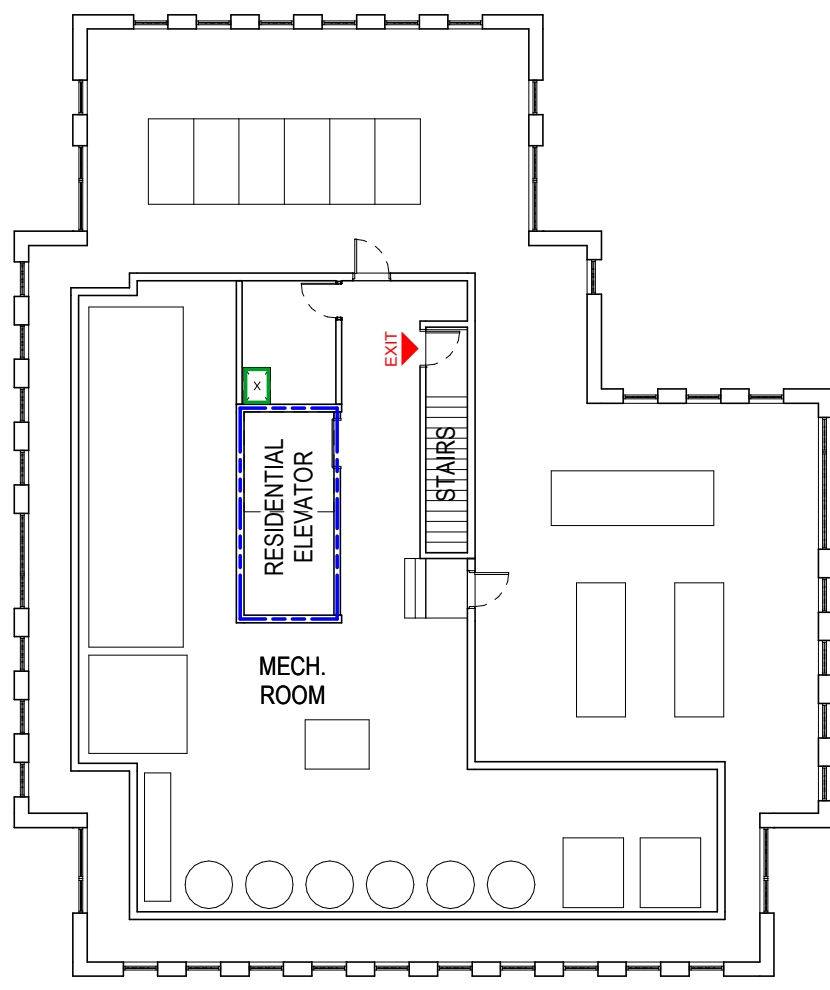


7 Level 07-17  
A021 1:200



4 Level 04  
A021 1:200

9 Mechanical Rooftop  
A021 1:200

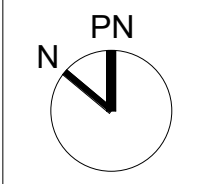


8 Level 18-20  
A021 1:200

**LEGEND**

- 0 MINUTES F.R.R.
- 45 MINUTE F.R.R.
- 60 MINUTES F.R.R.
- 90 MINUTES F.R.R.
- 120 MINUTES F.R.R.

NOTE:  
1. DRAWING TO BE READ IN COLOUR.  
2. DRAWING TO BE READ IN CONJUNCTION WITH OUTLINE CODE COMPLIANCE REPORT PROVIDED BY GHIL CONSULTANTS.



780 Blanshard - Rehabilitation + Addition

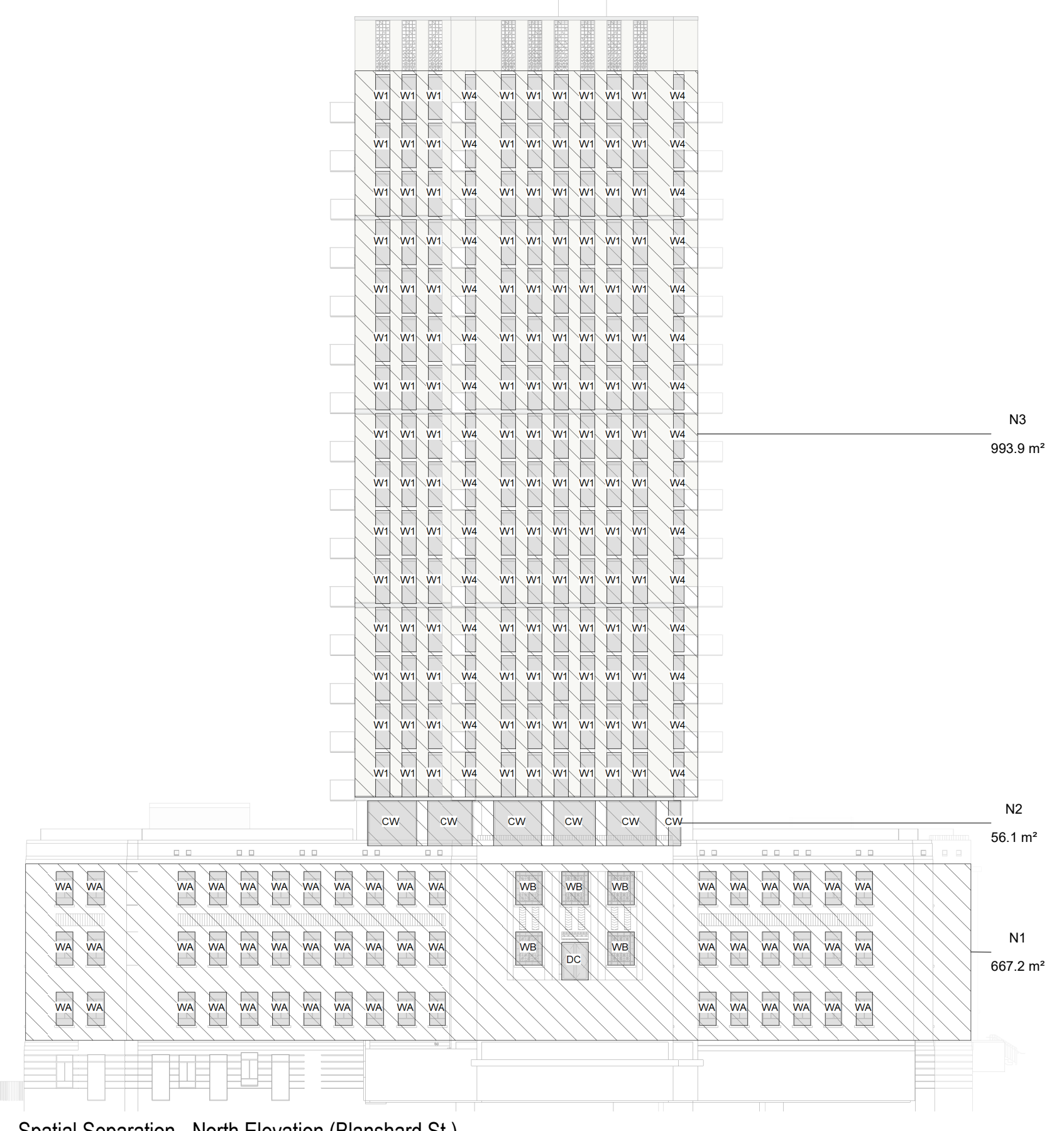
780 Blanshard Street, Victoria, BC  
2019-039

CODE ANALYSIS - PLANS

As indicated

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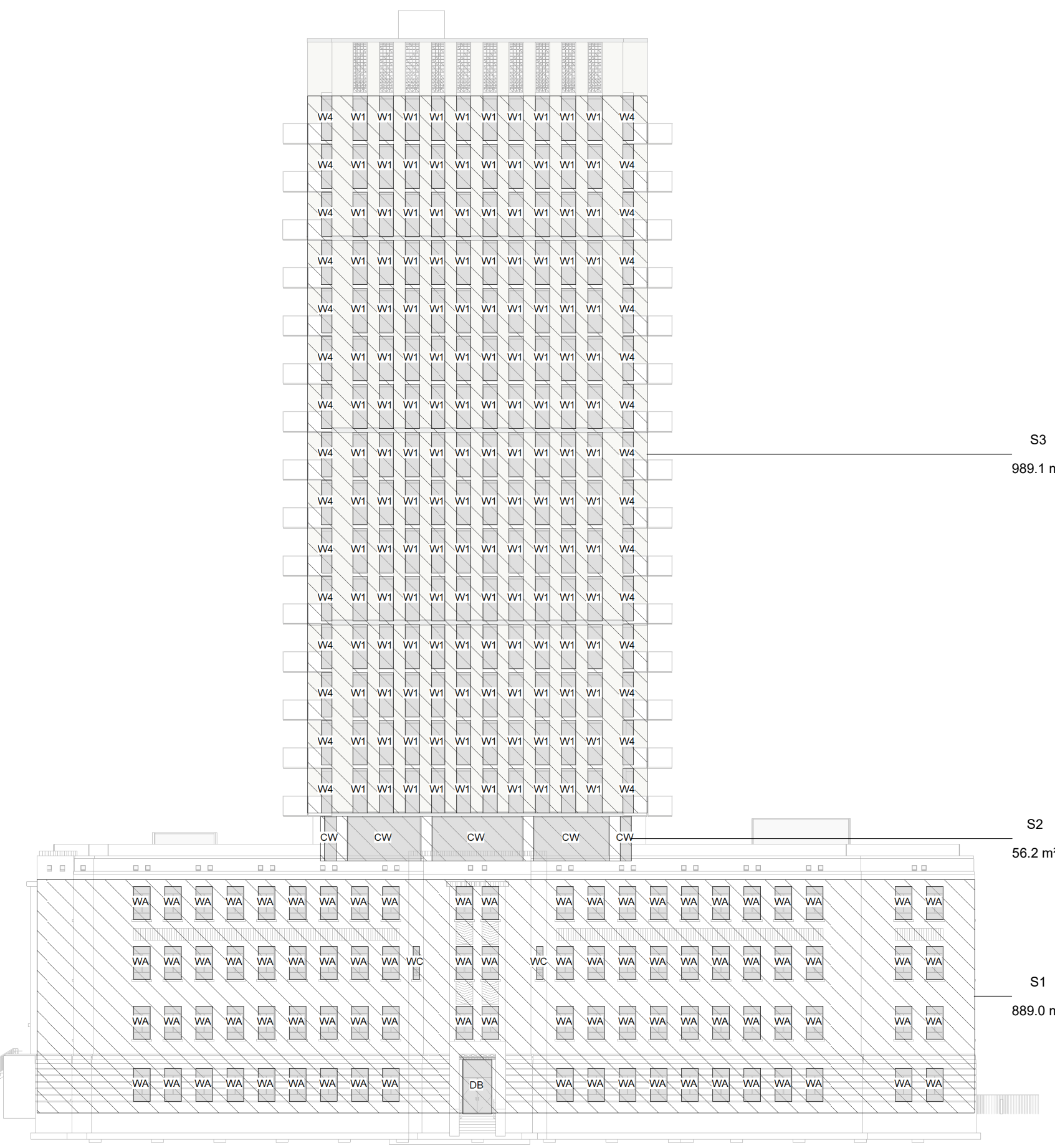
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- ▽ T.O. Rgs.85 Structure
- ▽ 83.68 Mechanical Level
- ▽ 80.62 Level 20
- ▽ 77.56 Level 19
- ▽ 74.50 Level 18
- ▽ 71.44 Level 17
- ▽ 68.38 Level 16
- ▽ 65.32 Level 15
- ▽ 62.26 Level 14
- ▽ 59.20 Level 13
- ▽ 56.14 Level 12
- ▽ 53.08 Level 11
- ▽ 50.02 Level 10
- ▽ 46.96 Level 09
- ▽ 43.90 Level 08
- ▽ 40.84 Level 07
- ▽ 37.78 Level 06
- ▽ 34.72 Level 05
- ▽ 31.66 Level 04
- ▽ 26.98 Level 03
- ▽ 23.17 Level 02
- ▽ 19.36 Level 01
- ▽ 15.55



1 Spatial Separation - North Elevation (Blanshard St.)  
A022 1:300

| NORTH - BUILDING FACE |         |         | NORTH - UNPROTECTED OPENINGS |    |                      |
|-----------------------|---------|---------|------------------------------|----|----------------------|
| N1                    | 11.16 m | 59.79 m | 667.2 m <sup>2</sup>         | N1 | 136.4 m <sup>2</sup> |
| N2                    | 2.84 m  | 19.76 m | 56.1 m <sup>2</sup>          | N2 | 44.4 m <sup>2</sup>  |
| N3                    | 45.90 m | 21.65 m | 993.9 m <sup>2</sup>         | N3 | 407.0 m <sup>2</sup> |
|                       |         |         | 1717.3 m <sup>2</sup>        |    | 587.8 m <sup>2</sup> |

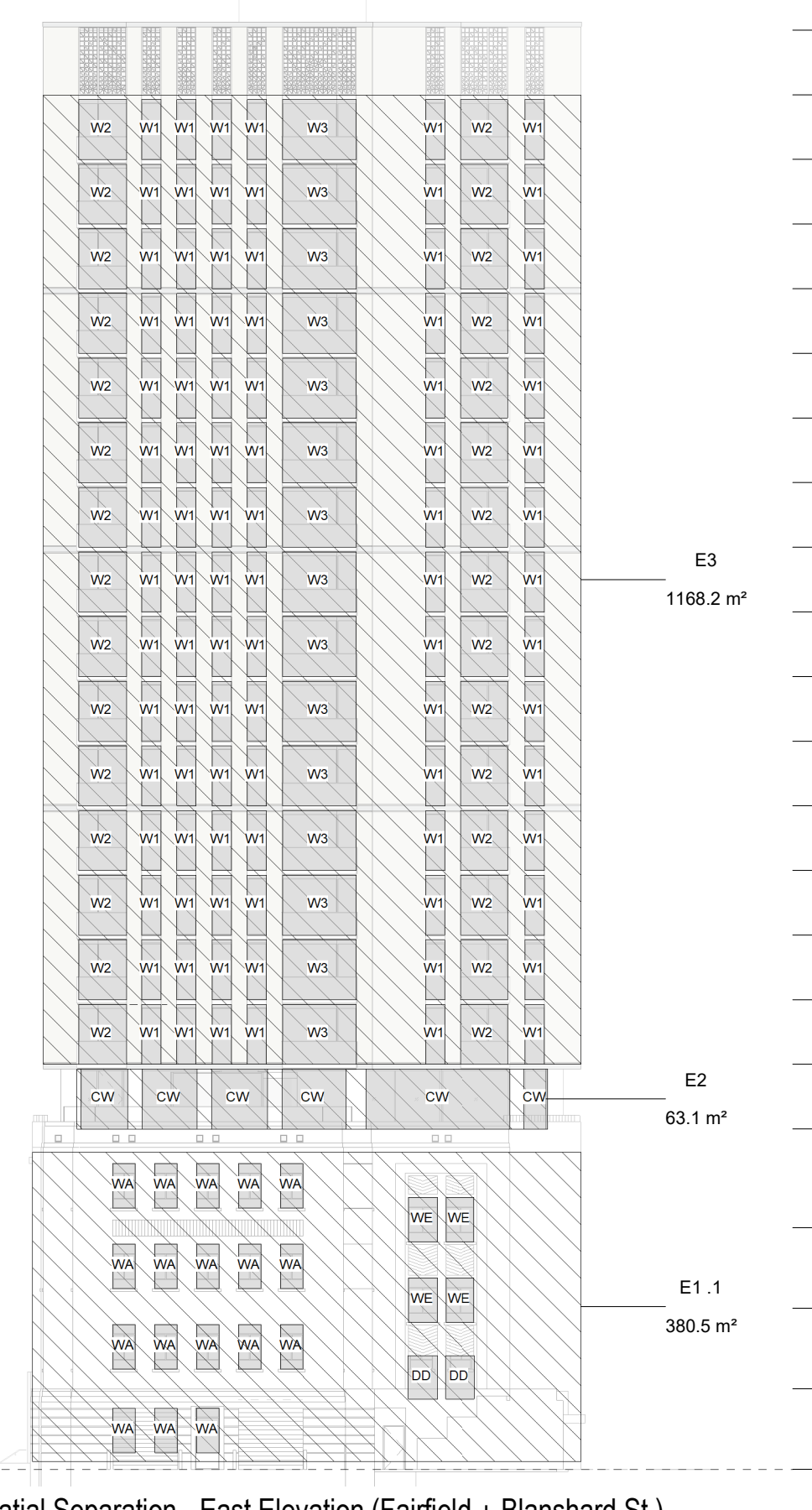
- ▽ T.O. Elevator Overrun
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- ▽ 83.68 Mechanical Level
- ▽ 80.62 Level 20
- ▽ 77.56 Level 19
- ▽ 74.50 Level 18
- ▽ 71.44 Level 17
- ▽ 68.38 Level 16
- ▽ 65.32 Level 15
- ▽ 62.26 Level 14
- ▽ 59.20 Level 13
- ▽ 56.14 Level 12
- ▽ 53.08 Level 11
- ▽ 50.02 Level 10
- ▽ 46.96 Level 09
- ▽ 43.90 Level 08
- ▽ 40.84 Level 07
- ▽ 37.78 Level 06
- ▽ 34.72 Level 05
- ▽ 31.66 Level 04
- ▽ 26.98 Level 03
- ▽ 23.17 Level 02
- ▽ 19.36 Level 01
- ▽ 15.55



2 Spatial Separation - South Elevation (Fairfield Road)  
A022 1:300

| SOUTH - BUILDING FACE |         |         | SOUTH - UNPROTECTED OPENINGS |    |                      |
|-----------------------|---------|---------|------------------------------|----|----------------------|
| S1                    | 14.87 m | 59.79 m | 889.0 m <sup>2</sup>         | N1 | 136.4 m <sup>2</sup> |
| S2                    | 2.84 m  | 19.81 m | 56.2 m <sup>2</sup>          | N2 | 44.4 m <sup>2</sup>  |
| S3                    | 45.88 m | 21.65 m | 989.1 m <sup>2</sup>         | N3 | 407.0 m <sup>2</sup> |
|                       |         |         | 1934.3 m <sup>2</sup>        |    | 587.8 m <sup>2</sup> |

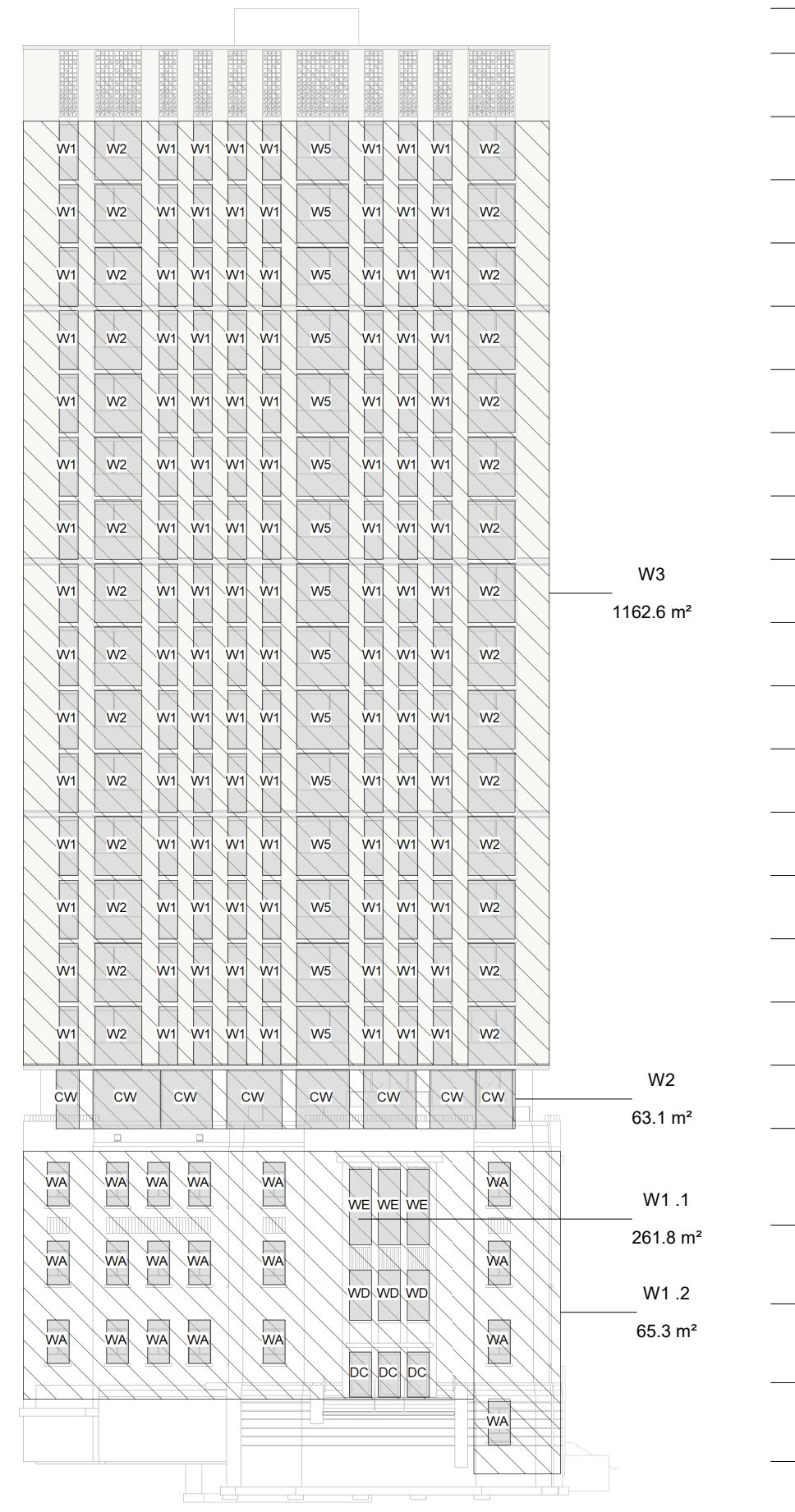
- ▽ T.O. Elevator Overrun
- ▽ T.O. Rgs.85 Structure
- ▽ 83.68 Mechanical Level
- ▽ 80.62 Level 20
- ▽ 77.56 Level 19
- ▽ 74.50 Level 18
- ▽ 71.44 Level 17
- ▽ 68.38 Level 16
- ▽ 65.32 Level 15
- ▽ 62.26 Level 14
- ▽ 59.20 Level 13
- ▽ 56.14 Level 12
- ▽ 53.08 Level 11
- ▽ 50.02 Level 10
- ▽ 46.96 Level 09
- ▽ 43.90 Level 08
- ▽ 40.84 Level 07
- ▽ 37.78 Level 06
- ▽ 34.72 Level 05
- ▽ 31.66 Level 04
- ▽ 26.98 Level 03
- ▽ 23.17 Level 02
- ▽ 19.36 Level 01
- ▽ 15.55



3 Spatial Separation - East Elevation (Fairfield + Blanshard St.)  
A022 1:300

| EAST - BUILDING FACE |         |         | EAST - UNPROTECTED OPENINGS |    |                      |
|----------------------|---------|---------|-----------------------------|----|----------------------|
| E1                   | 14.65 m | 25.98 m | 380.5 m <sup>2</sup>        | E1 | 57.8 m <sup>2</sup>  |
| E2                   | 2.84 m  | 22.22 m | 63.1 m <sup>2</sup>         | E2 | 52.4 m <sup>2</sup>  |
| E3                   | 45.90 m | 25.45 m | 1168.2 m <sup>2</sup>       | E3 | 573.4 m <sup>2</sup> |
|                      |         |         | 1611.8 m <sup>2</sup>       |    | 685.7 m <sup>2</sup> |

- ▽ T.O. Elevator Overrun
- ▽ T.O. Rgs.85 Structure
- ▽ 83.68 Mechanical Level
- ▽ 80.62 Level 20
- ▽ 77.56 Level 19
- ▽ 74.50 Level 18
- ▽ 71.44 Level 17
- ▽ 68.38 Level 16
- ▽ 65.32 Level 15
- ▽ 62.26 Level 14
- ▽ 59.20 Level 13
- ▽ 56.14 Level 12
- ▽ 53.08 Level 11
- ▽ 50.02 Level 10
- ▽ 46.96 Level 09
- ▽ 43.90 Level 08
- ▽ 40.84 Level 07
- ▽ 37.78 Level 06
- ▽ 34.72 Level 05
- ▽ 31.66 Level 04
- ▽ 26.98 Level 03
- ▽ 23.17 Level 02
- ▽ 19.36 Level 01
- ▽ 15.55



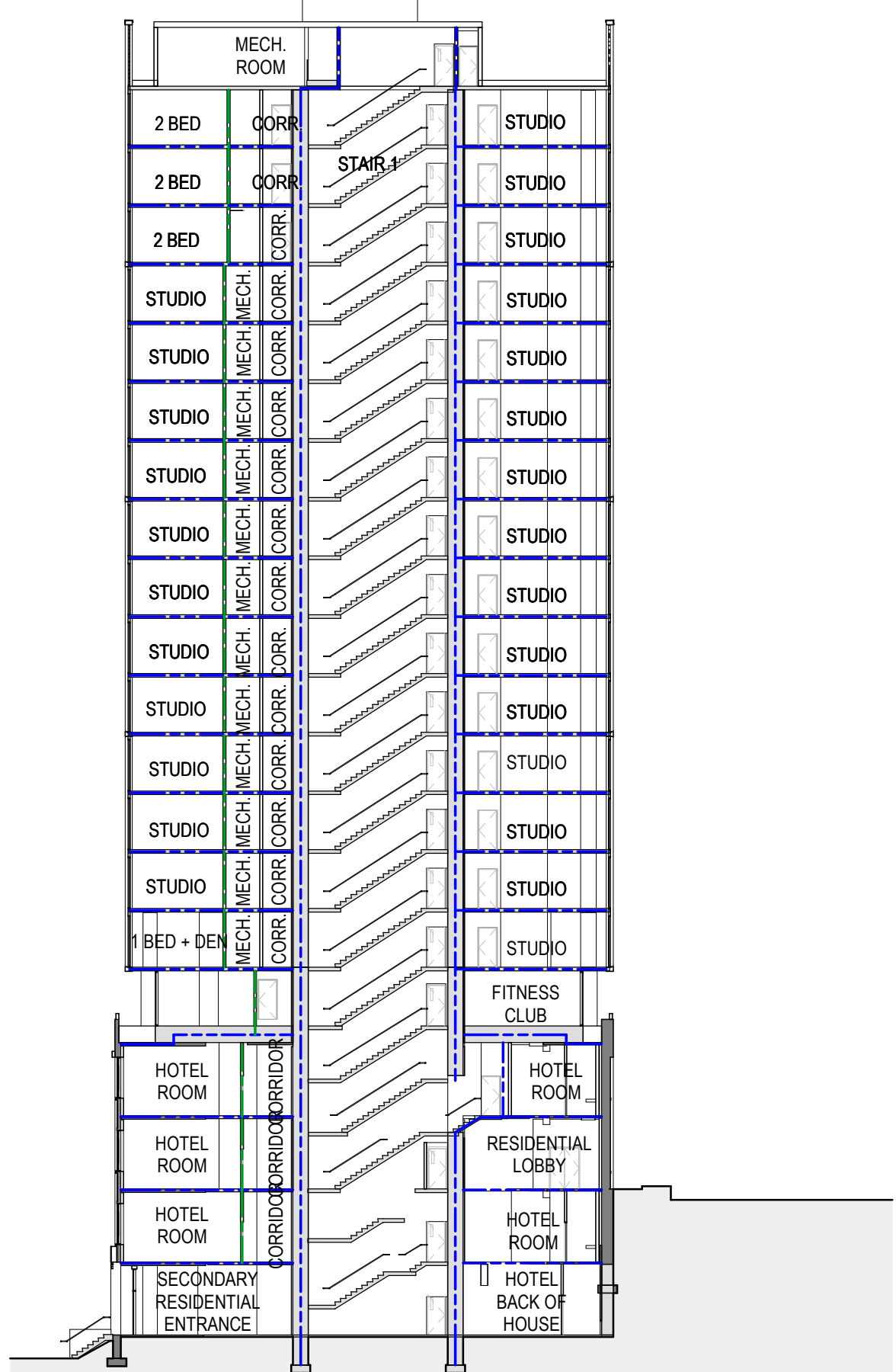
4 Spatial Separation - West Elevation (Burdett Ave.)  
A022 1:300

| WEST - BUILDING FACE |         |         | WEST - UNPROTECTED OPENINGS |    |                      |
|----------------------|---------|---------|-----------------------------|----|----------------------|
| W1                   | 2.84 m  | 22.22 m | 63.1 m <sup>2</sup>         | W1 | 69.2 m <sup>2</sup>  |
| W2                   | 2.84 m  | 22.22 m | 63.1 m <sup>2</sup>         | W2 | 53.1 m <sup>2</sup>  |
| W3                   | 45.68 m | 25.45 m | 1162.6 m <sup>2</sup>       | W3 | 611.5 m <sup>2</sup> |
|                      |         |         | 1522.8 m <sup>2</sup>       |    | 733.8 m <sup>2</sup> |

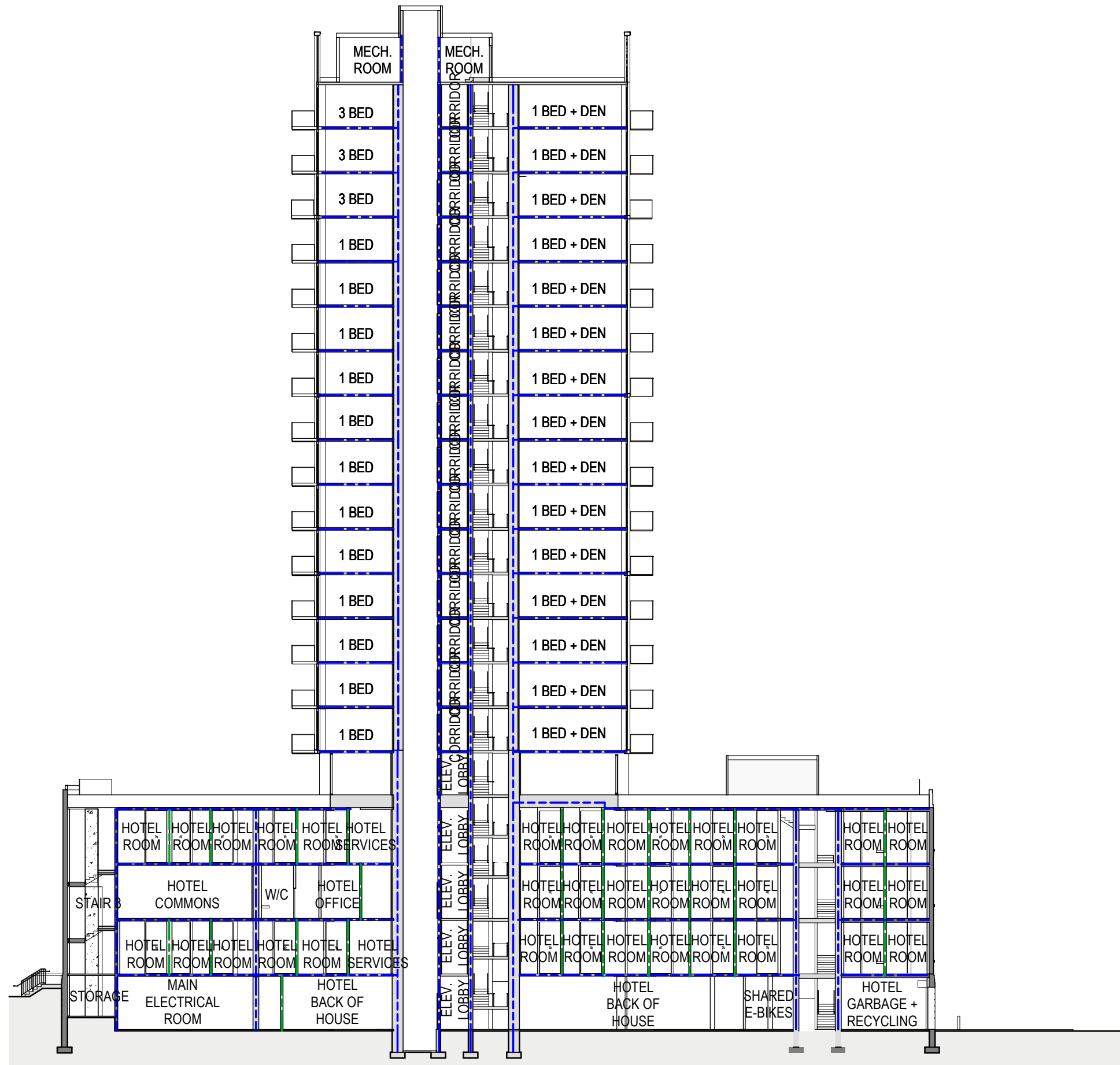
**LEGEND**

- 0 MINUTES F.R.R.
- - - 45 MINUTE F.R.R.
- 60 MINUTES F.R.R.
- 90 MINUTES F.R.R.
- 120 MINUTES F.R.R.

NOTE:  
1. DRAWING TO BE READ IN COLOUR.  
2. DRAWING TO BE READ IN CONJUNCTION WITH OUTLINE CODE COMPLIANCE REPORT PROVIDED BY GHL CONSULTANTS.



5 Fire Compartment - Cross Section @ Stair  
A022 1:300



6 Fire Compartment - Longitudinal Section  
A022 1:300

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| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |

780 Blanshard - Rehabilitation + Addition

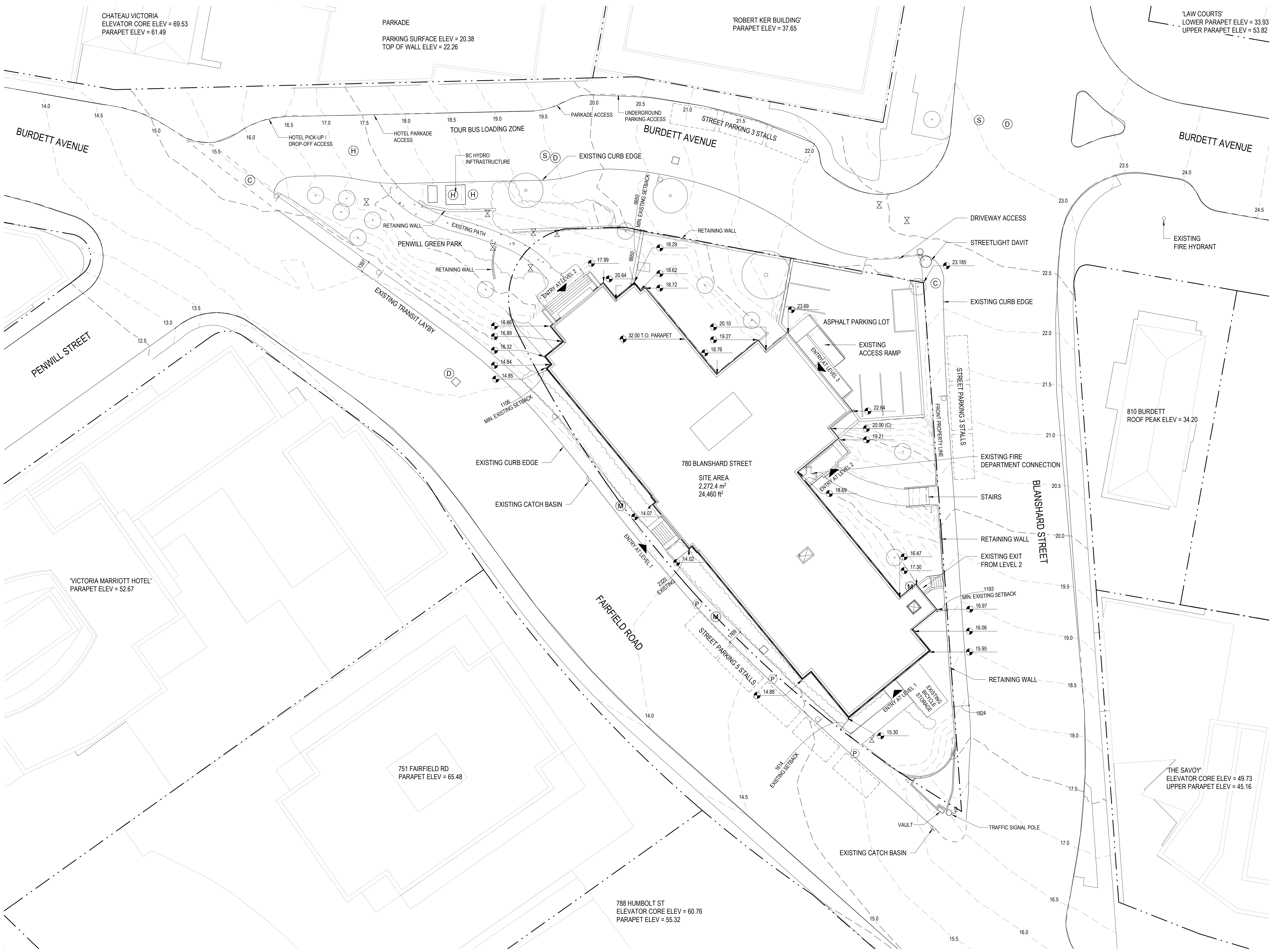
780 Blanshard Street, Victoria, BC  
2019-039

CODE ANALYSIS - ELEVATIONS

As indicated

A022

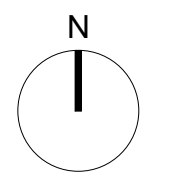
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 2019-039

SITE PLAN EXISTING

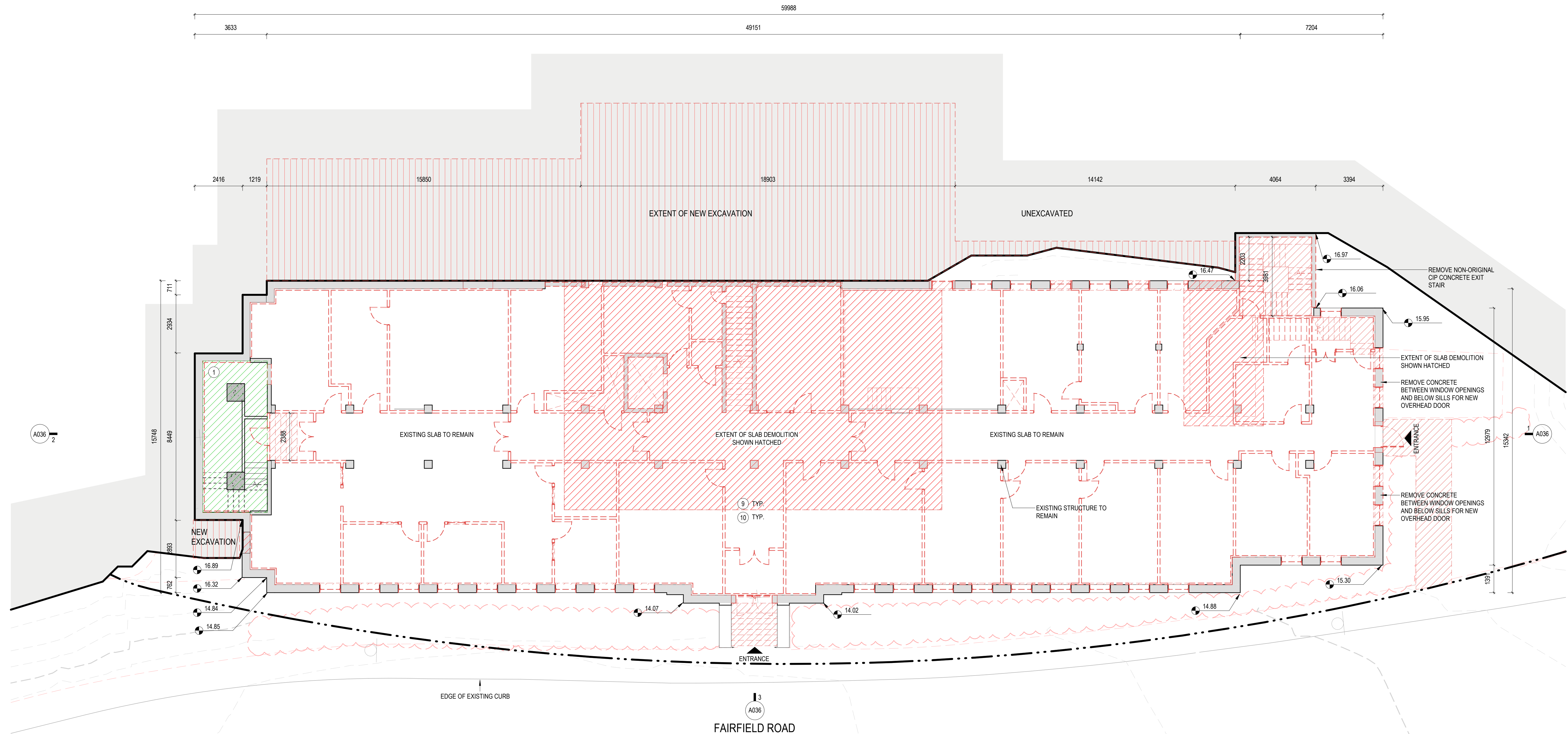
1 : 200

**A030**

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HERITAGE CONSERVATION NOTES  
REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.

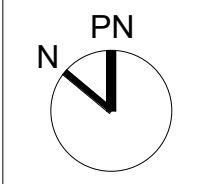
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- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
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- 10 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.



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780 Blanshard - Rehabilitation + Addition

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2019-039

LEVEL 1  
DEMOLITION/RETENTION PLAN

1 : 100

2024-02-21 4:58:08 PM

**A031**

**DEMOLITION NOTES:**

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REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

**GENERAL NOTES - HERITAGE RETENTION:**

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

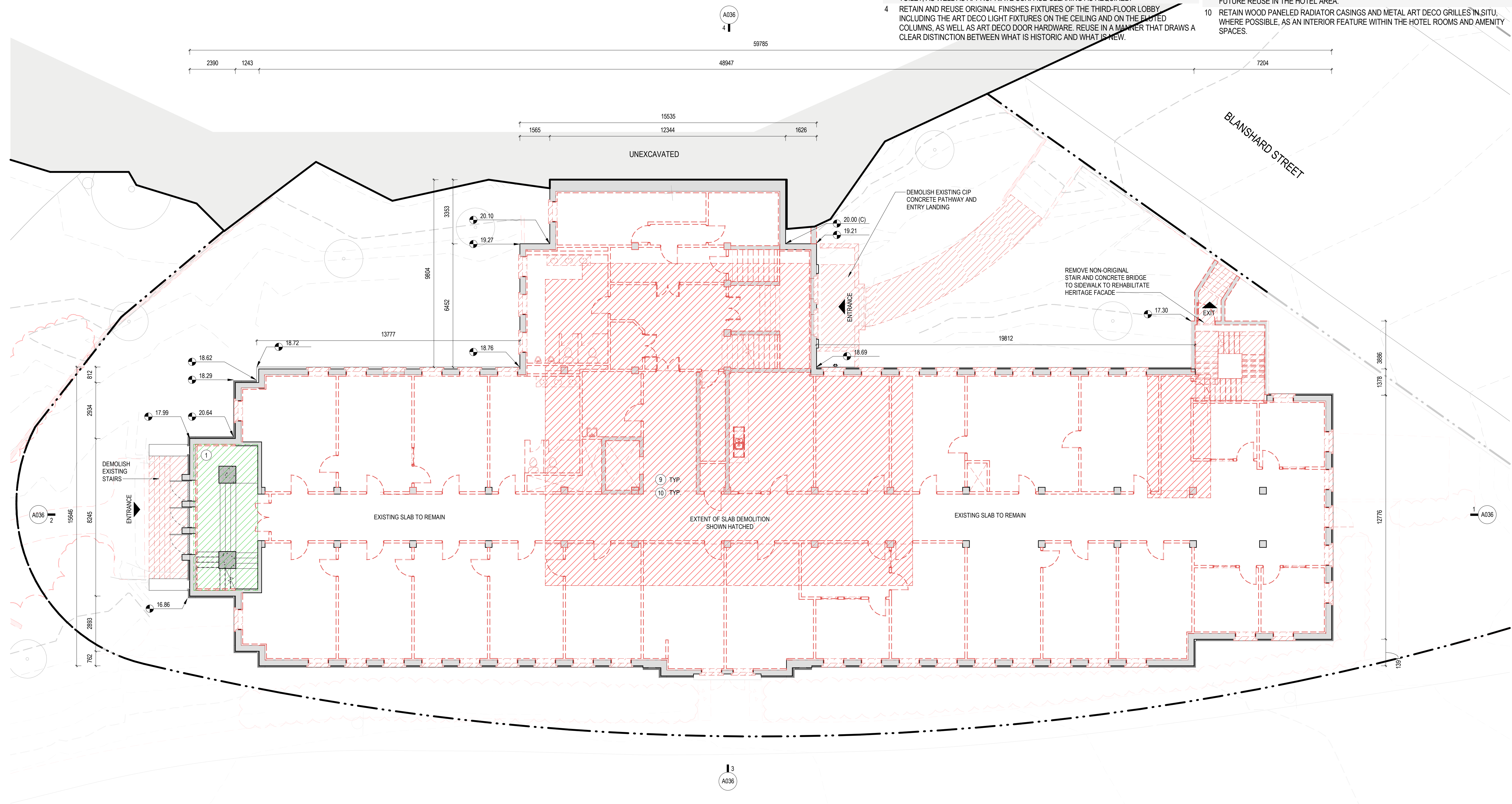
RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

**DEMOLITION LEGEND**

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

**HERITAGE CONSERVATION NOTES**  
REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.

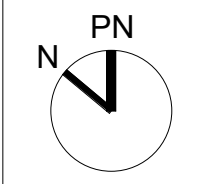
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2019-039

**LEVEL 2  
DEMOLITION/RETENTION PLAN**

1 : 100

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**A032**

**DEMOLITION NOTES:**

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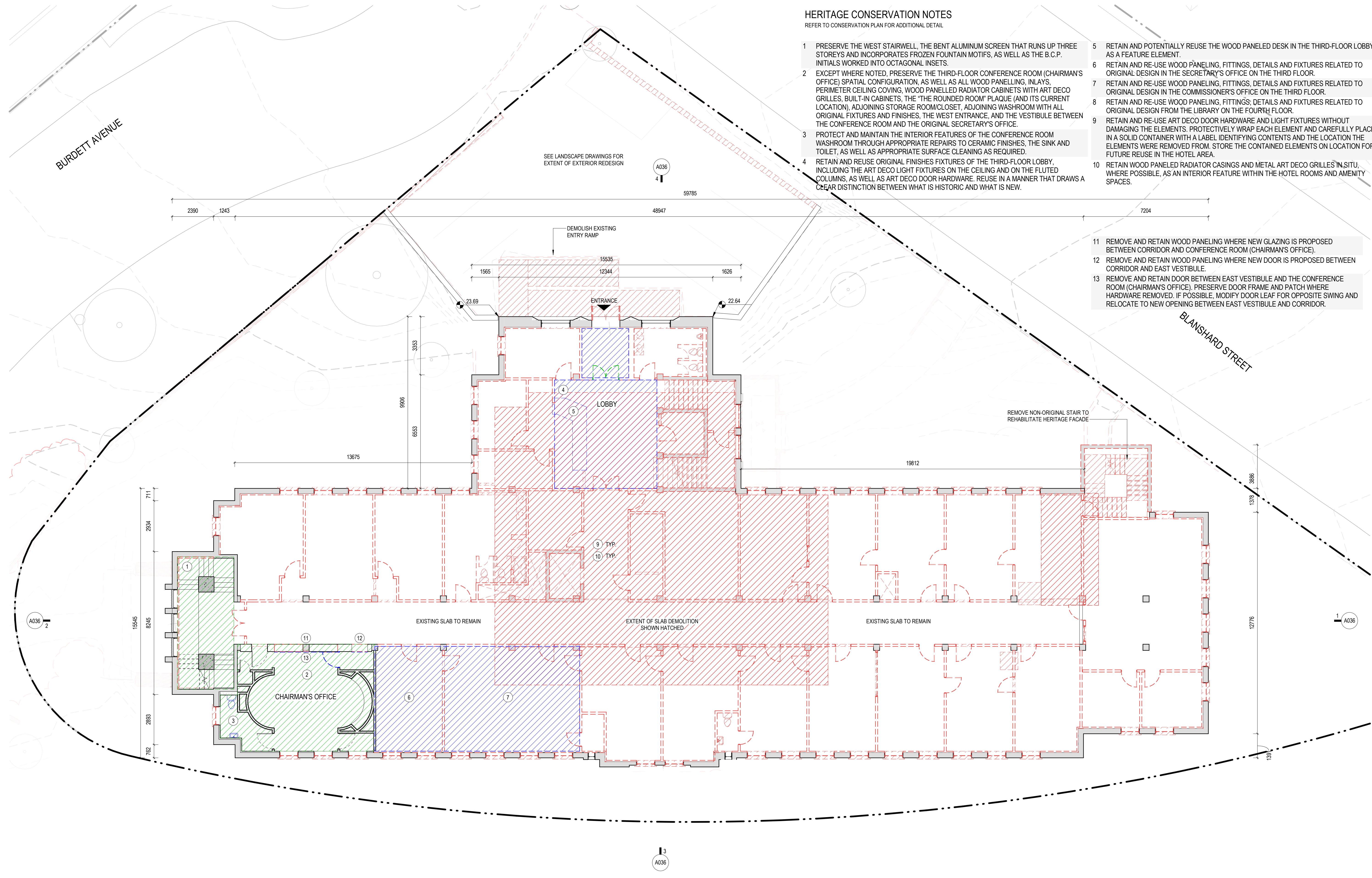
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**DEMOLITION LEGEND**

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED





**HERITAGE CONSERVATION NOTES**  
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- 10 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN-SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.
- 11 REMOVE AND RETAIN WOOD PANNELLING WHERE NEW GLAZING IS PROPOSED BETWEEN CORRIDOR AND CONFERENCE ROOM (CHAIRMAN'S OFFICE).
- 12 REMOVE AND RETAIN WOOD PANNELLING WHERE NEW DOOR IS PROPOSED BETWEEN CORRIDOR AND EAST VESTIBULE.
- 13 REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.

**DEMOLITION NOTES:**

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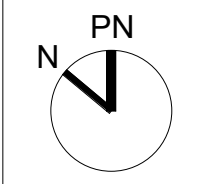
**DEMOLITION LEGEND**

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

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| 2023-10-26 | 5   | PRE-COTW REVISIONS          |
| 2024-02-21 | 6   | HAP & RZ RESUBMISSION 02    |



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

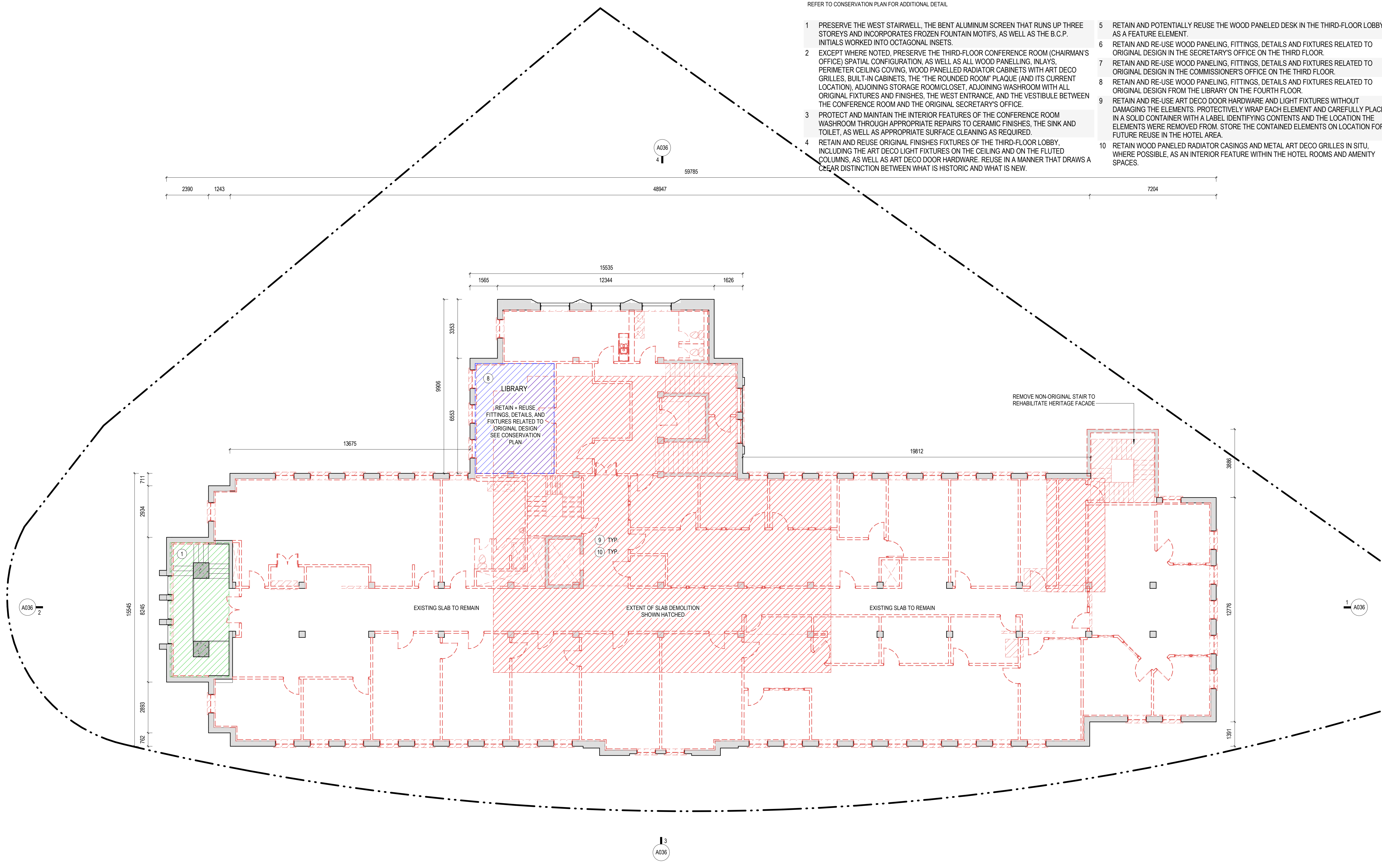
**LEVEL 3  
DEMOLITION/RETENTION PLAN**

1 : 100

**A033**

HERITAGE CONSERVATION NOTES  
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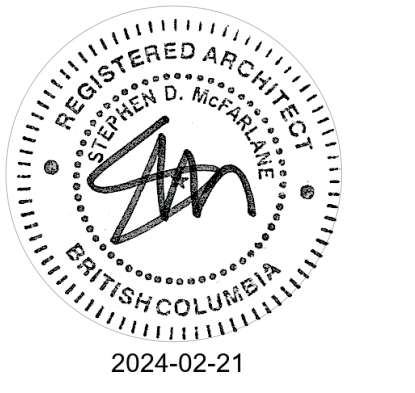
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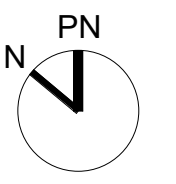
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780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

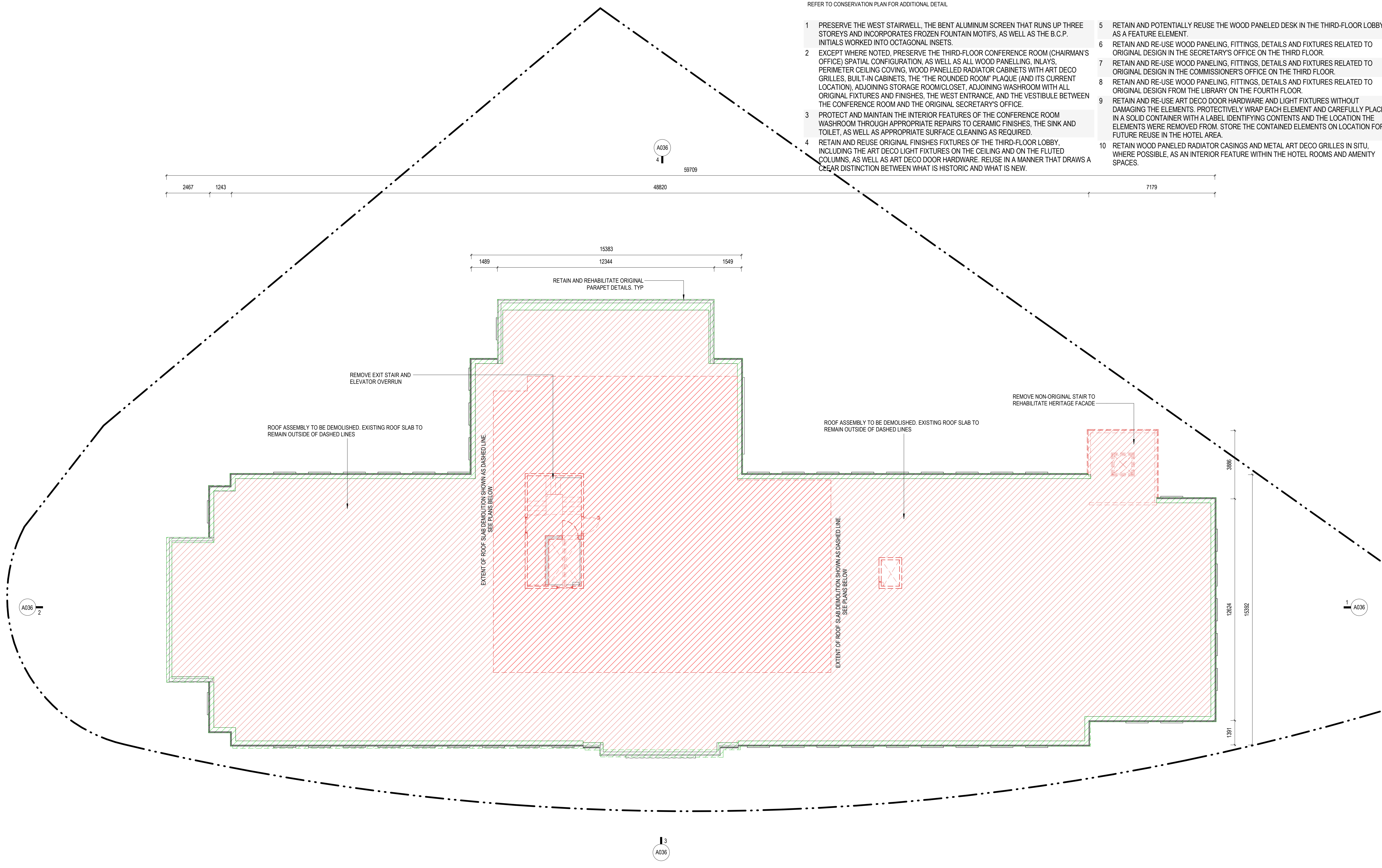
LEVEL 4  
DEMOLITION/RETENTION PLAN

1 : 100

2024-02-21 4:58:18 PM  
**A034**

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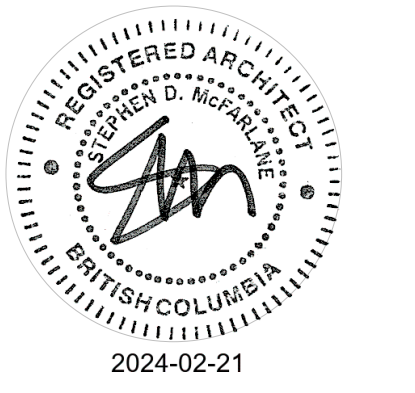
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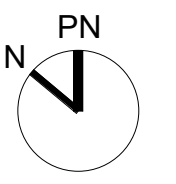
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780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
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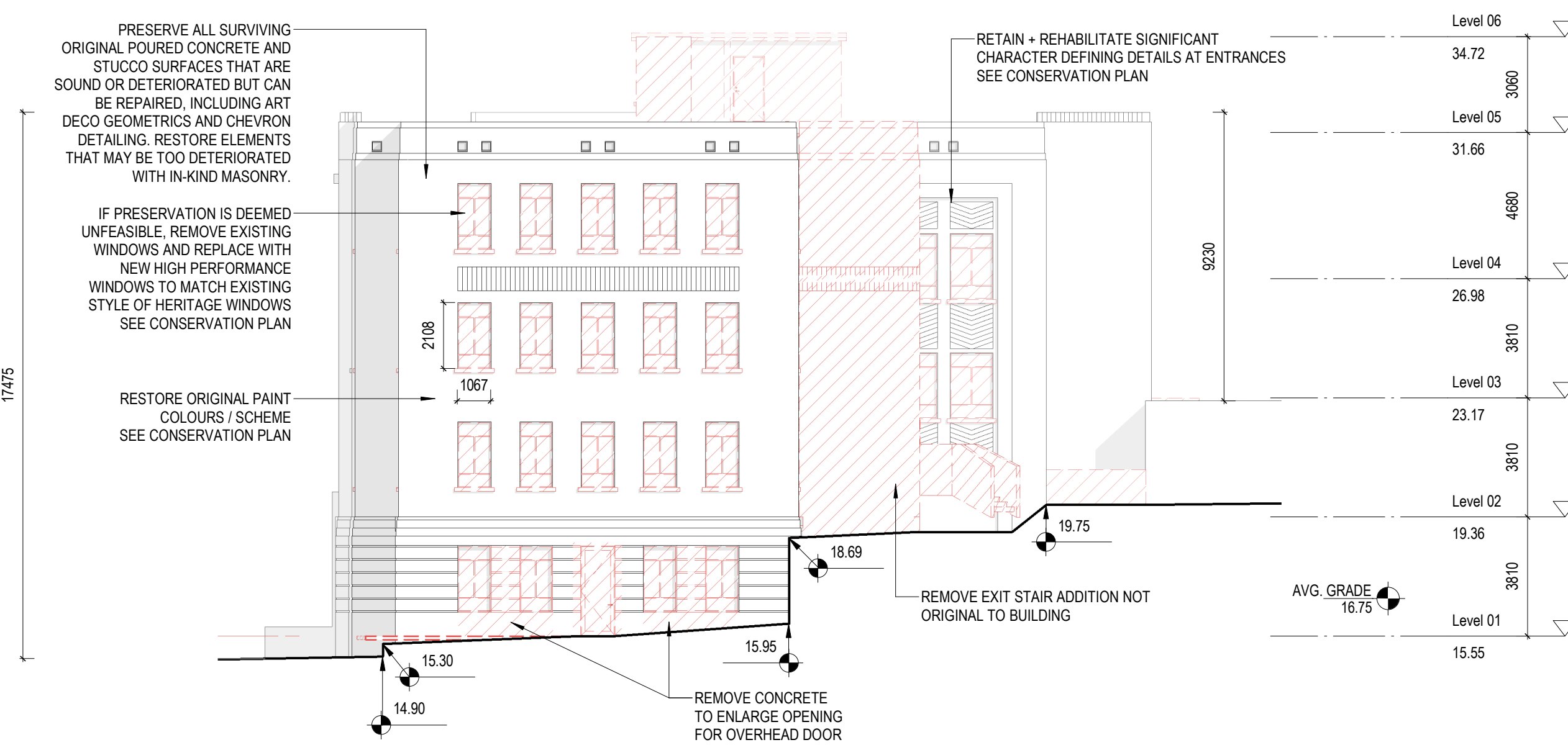
LEVEL 5 ROOF  
DEMOLITION/RETENTION PLAN

1 : 100

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**A035**

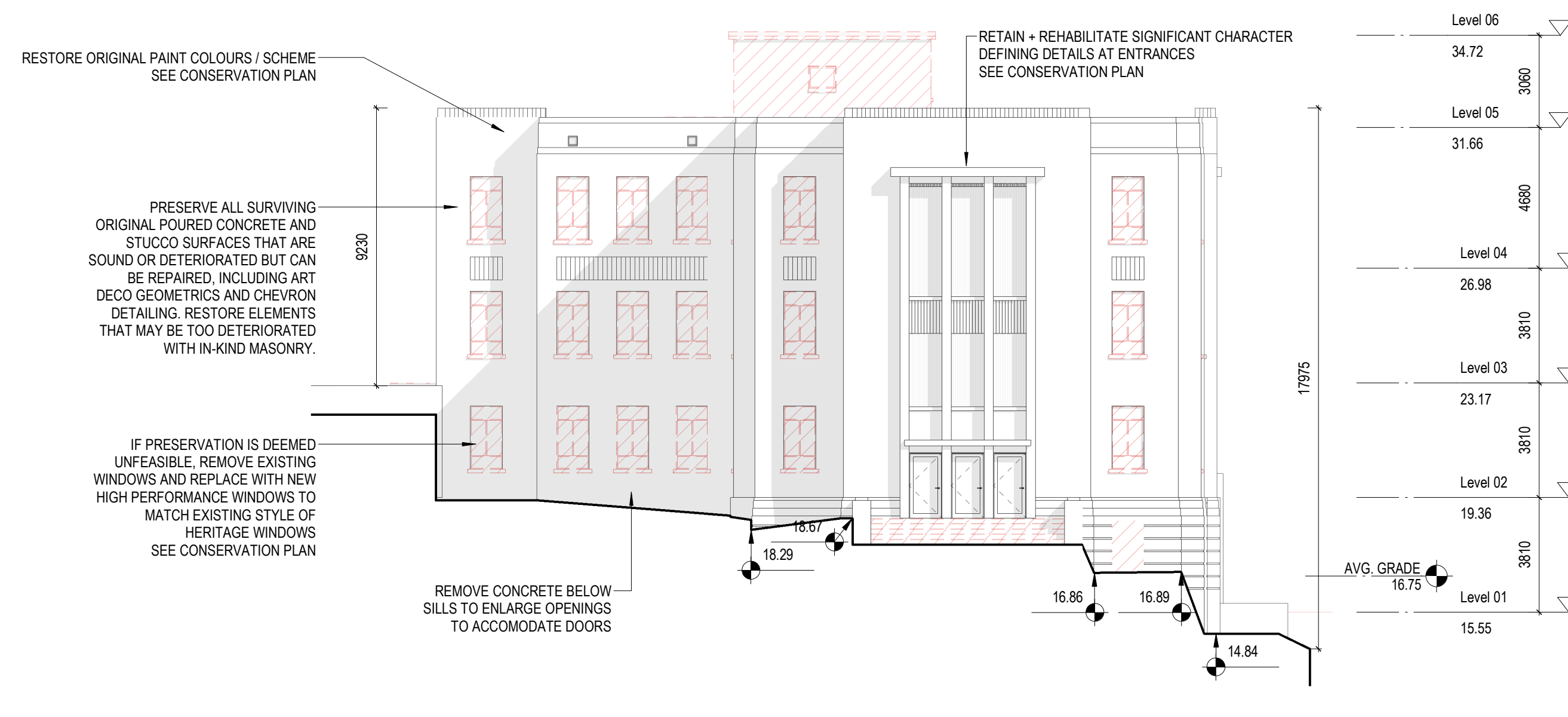


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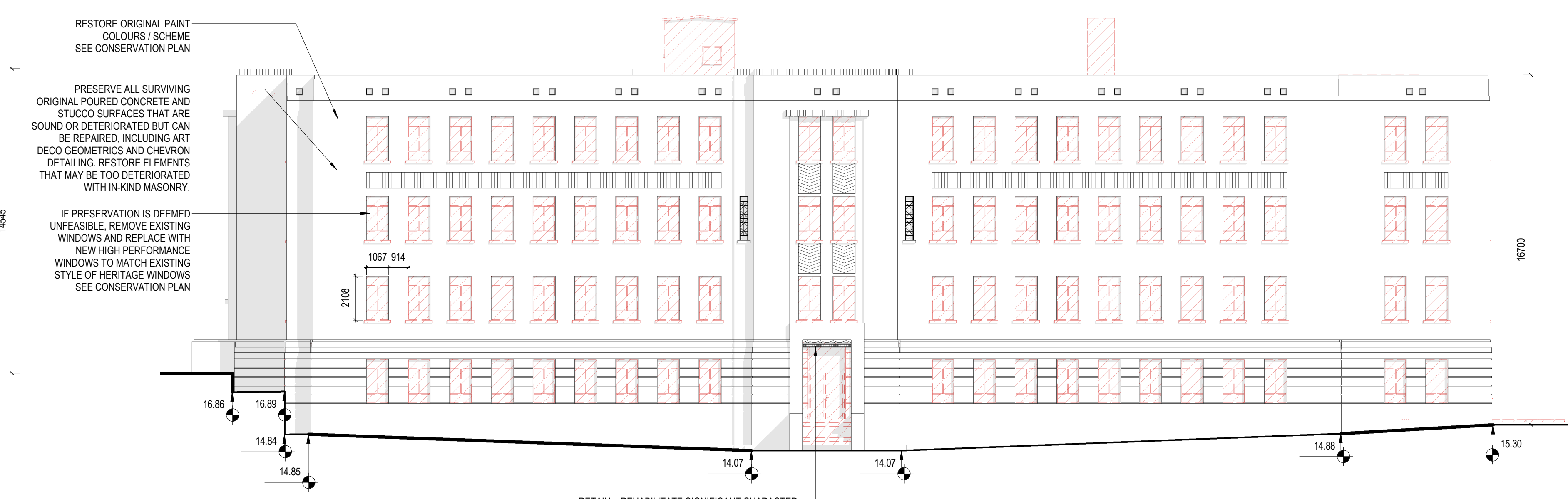
1 Demolition Elevation - East (Blanshard St.)

A036 1:150



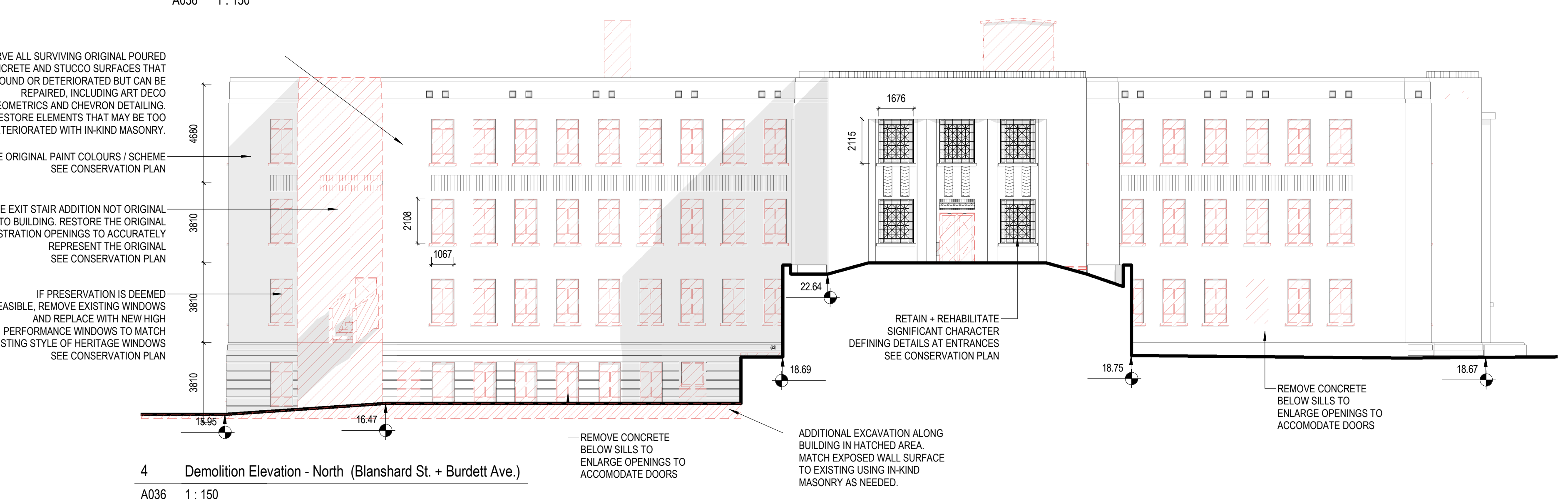
2 Demolition Elevation - West (Burdett Ave.)

A036 1:150



3 Demolition Elevation - South (Fairfield Road)

A036 1:150



4 Demolition Elevation - North (Blanshard St. + Burdett Ave.)

A036 1:150

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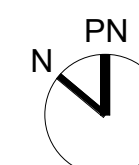
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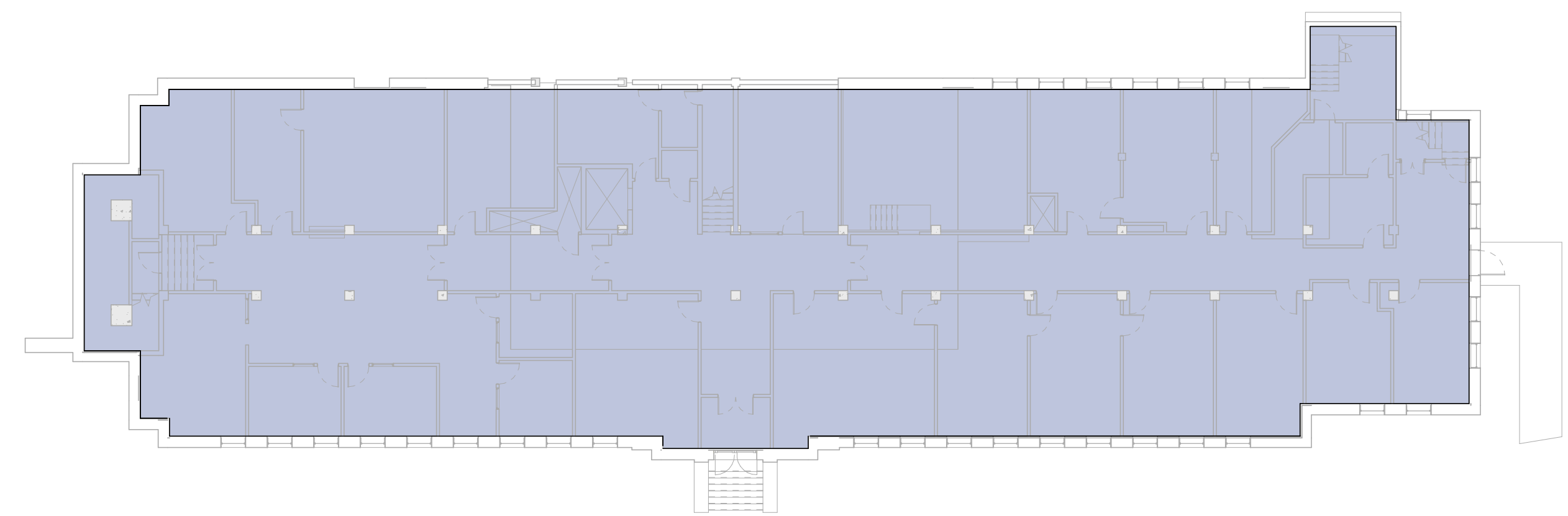
**DEMOLITION/RETENTION ELEVATIONS**

As indicated

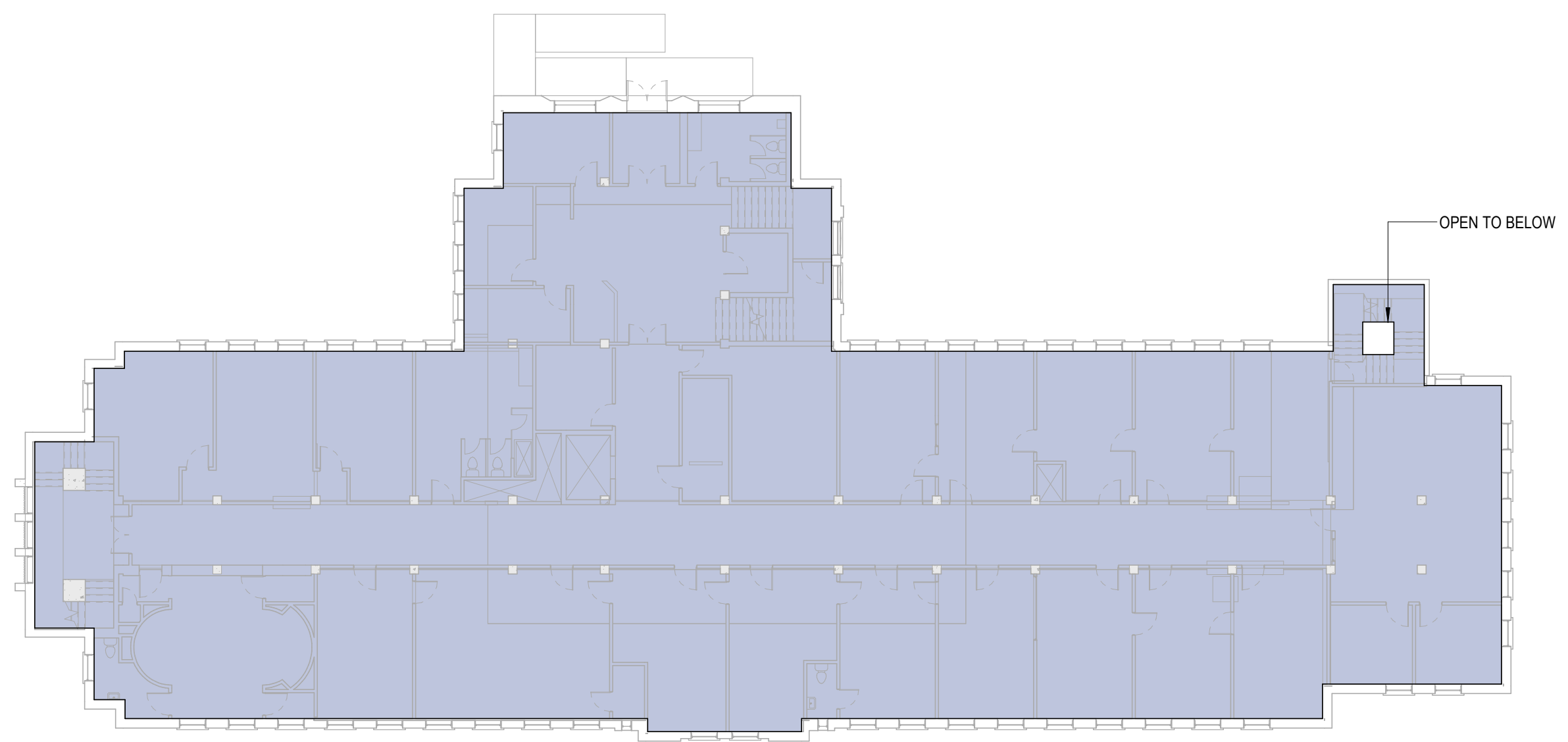
A036

2024-02-21 4:58:34 PM

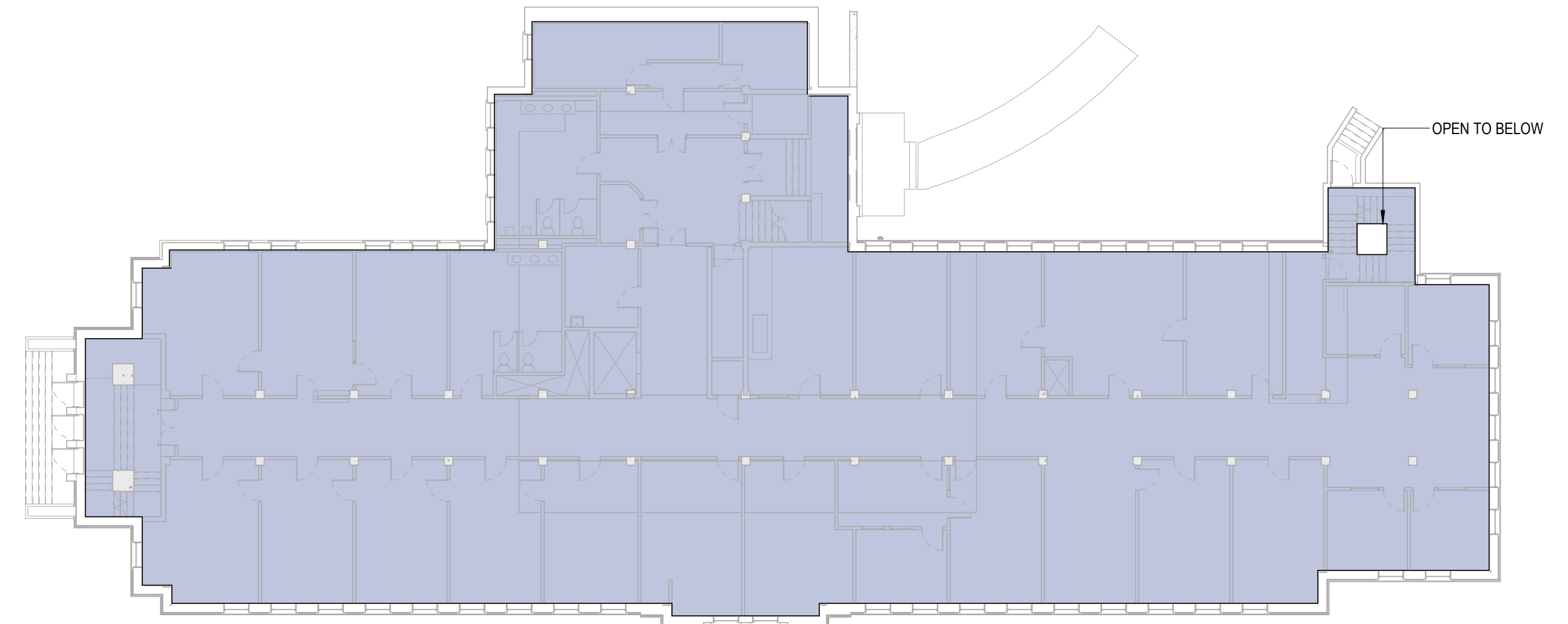
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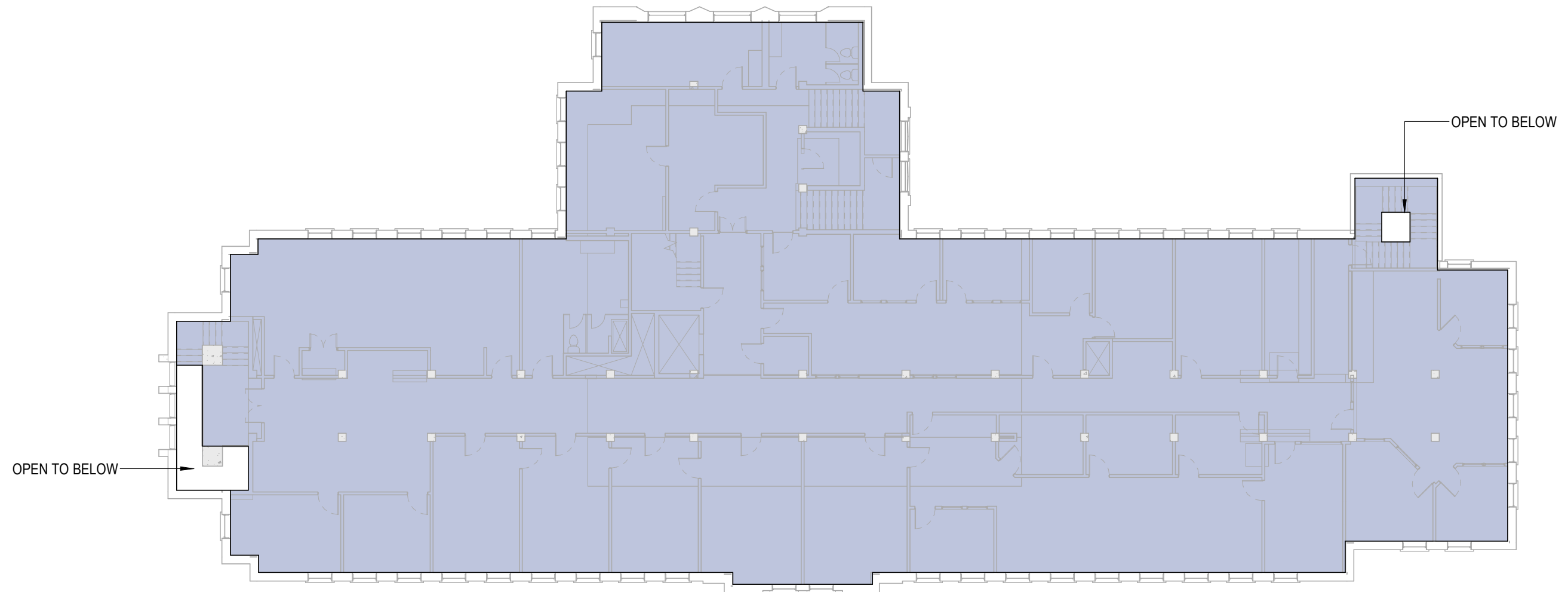
1 Level 1  
A041 1:200



3 Level 3  
A041 1:200

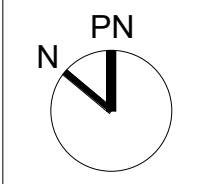


2 Level 2  
A041 1:200



4 Level 4  
A041 1:200

| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

FSR OVERLAYS EXISTING

**EXISTING FLOOR AREA**

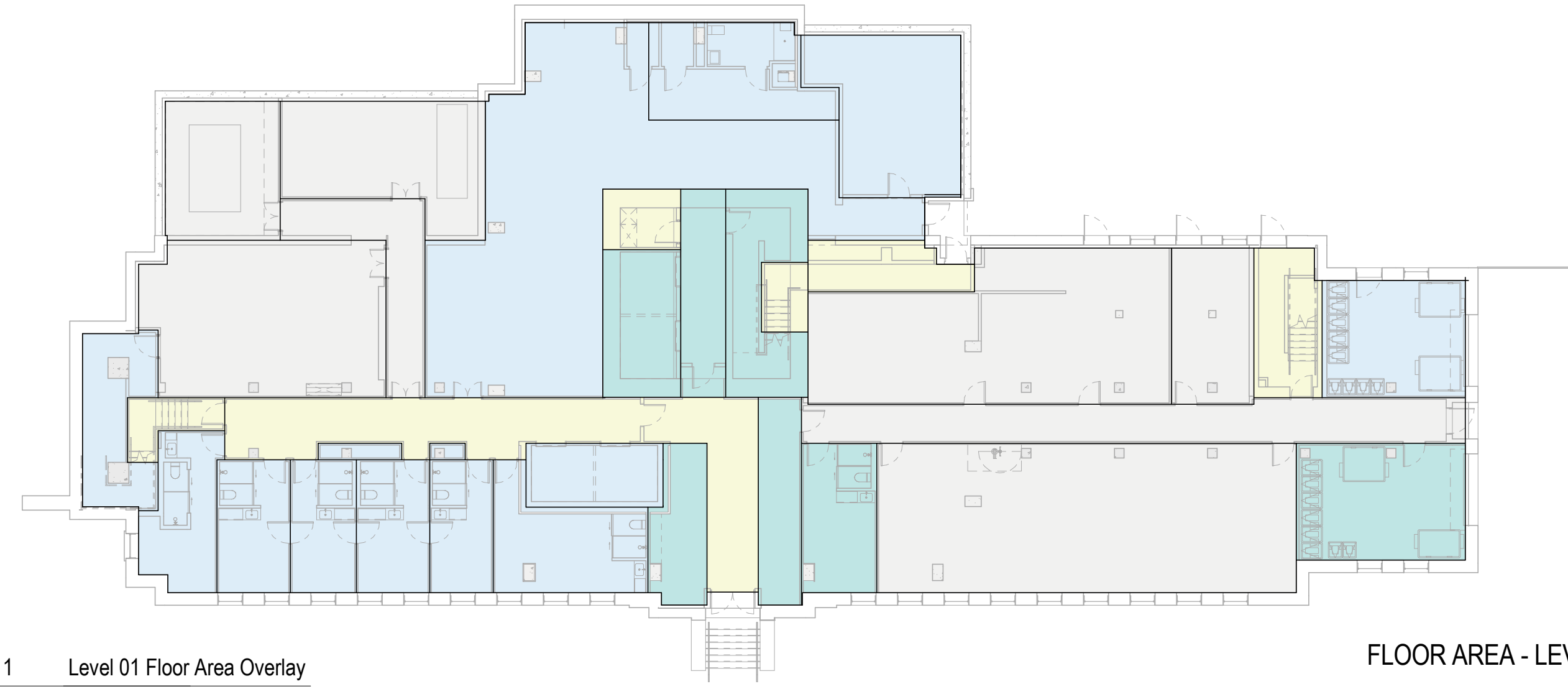
|          |                       |
|----------|-----------------------|
| Level 01 | 862.3 m <sup>2</sup>  |
| Level 02 | 965.2 m <sup>2</sup>  |
| Level 03 | 962.6 m <sup>2</sup>  |
| Level 04 | 972.3 m <sup>2</sup>  |
|          | 3792.5 m <sup>2</sup> |

1:200

2024-02-21 4:58:39 PM  
**A041**



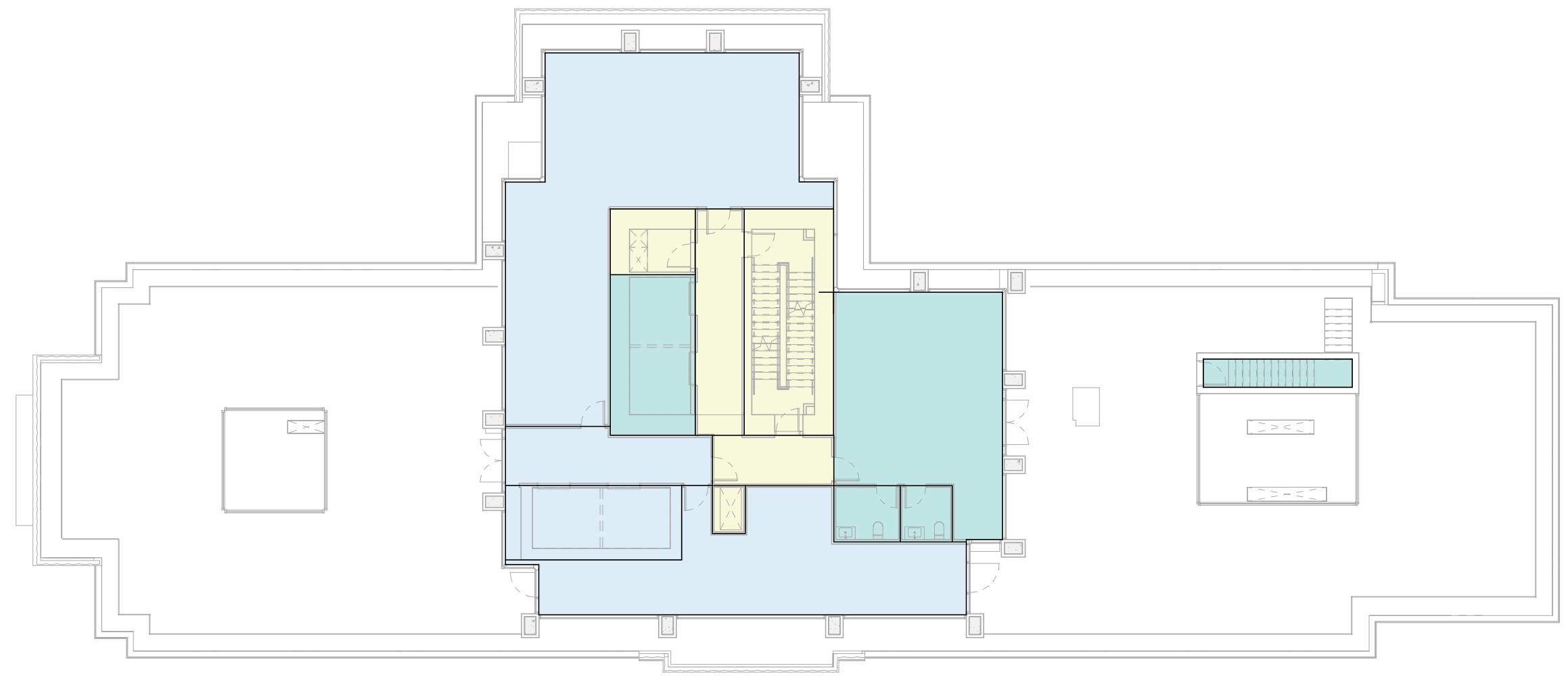
| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



1 Level 01 Floor Area Overlay  
A042 1:200

**FLOOR AREA - LEVEL 1**

|             |                      |
|-------------|----------------------|
| Commercial  | 391.0 m <sup>2</sup> |
| Excluded    | 435.2 m <sup>2</sup> |
| Residential | 150.8 m <sup>2</sup> |
| Shared      | 117.3 m <sup>2</sup> |



5 Level 05 Floor Area Overlay  
A042 1:200

**FLOOR AREA - LEVEL 5**

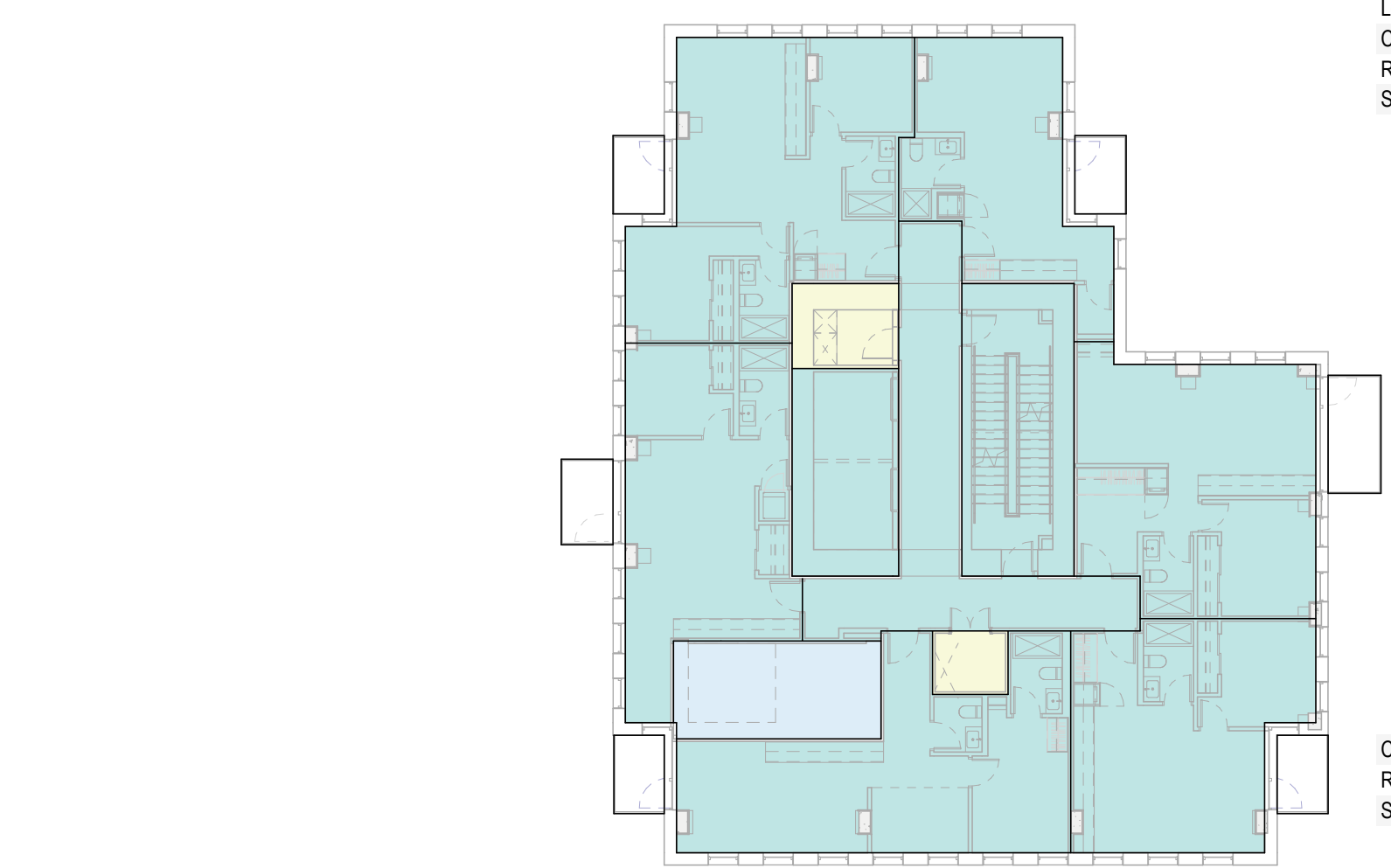
|                     |                      |
|---------------------|----------------------|
| Level 05 Commercial | 191.0 m <sup>2</sup> |
| Residential         | 91.7 m <sup>2</sup>  |
| Shared              | 68.4 m <sup>2</sup>  |



2 Level 02 Floor Area Overlay  
A042 1:200

**FLOOR AREA - LEVEL 2**

|             |                      |
|-------------|----------------------|
| Commercial  | 875.0 m <sup>2</sup> |
| Residential | 20.9 m <sup>2</sup>  |
| Shared      | 64.2 m <sup>2</sup>  |



6 Level 6-17 Floor Area Overlay  
A042 1:200

**FLOOR AREA - LEVEL 6**

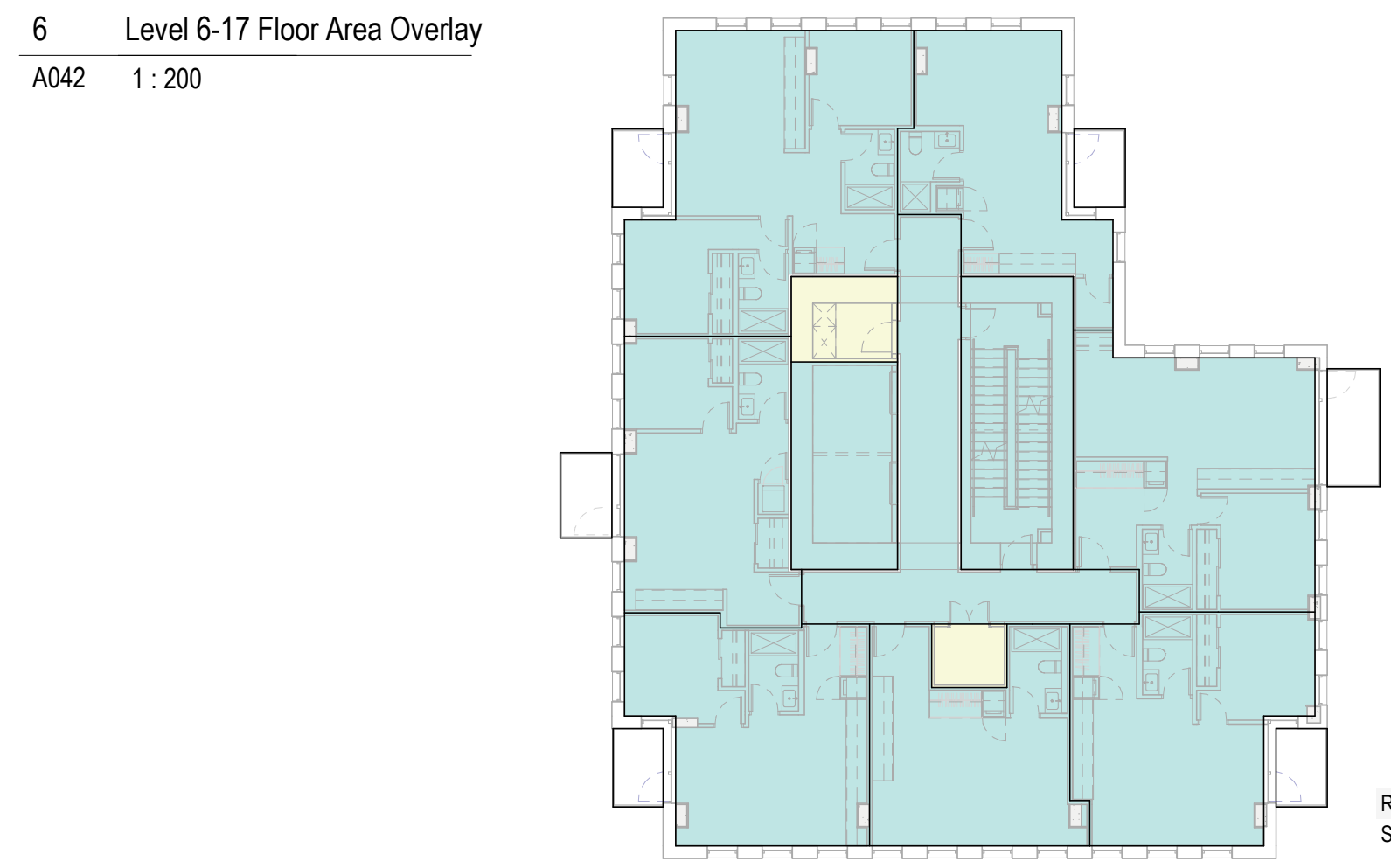
|             |                      |
|-------------|----------------------|
| Commercial  | 18.6 m <sup>2</sup>  |
| Residential | 394.5 m <sup>2</sup> |
| Shared      | 12.7 m <sup>2</sup>  |



3 Level 3 Floor Area Overlay  
A042 1:200

**FLOOR AREA - LEVEL 3**

|             |                      |
|-------------|----------------------|
| Commercial  | 797.3 m <sup>2</sup> |
| Residential | 69.7 m <sup>2</sup>  |
| Shared      | 93.3 m <sup>2</sup>  |



7 Level 7 FSR Overlay  
A042 1:200

**FLOOR AREA - Level 7-17**

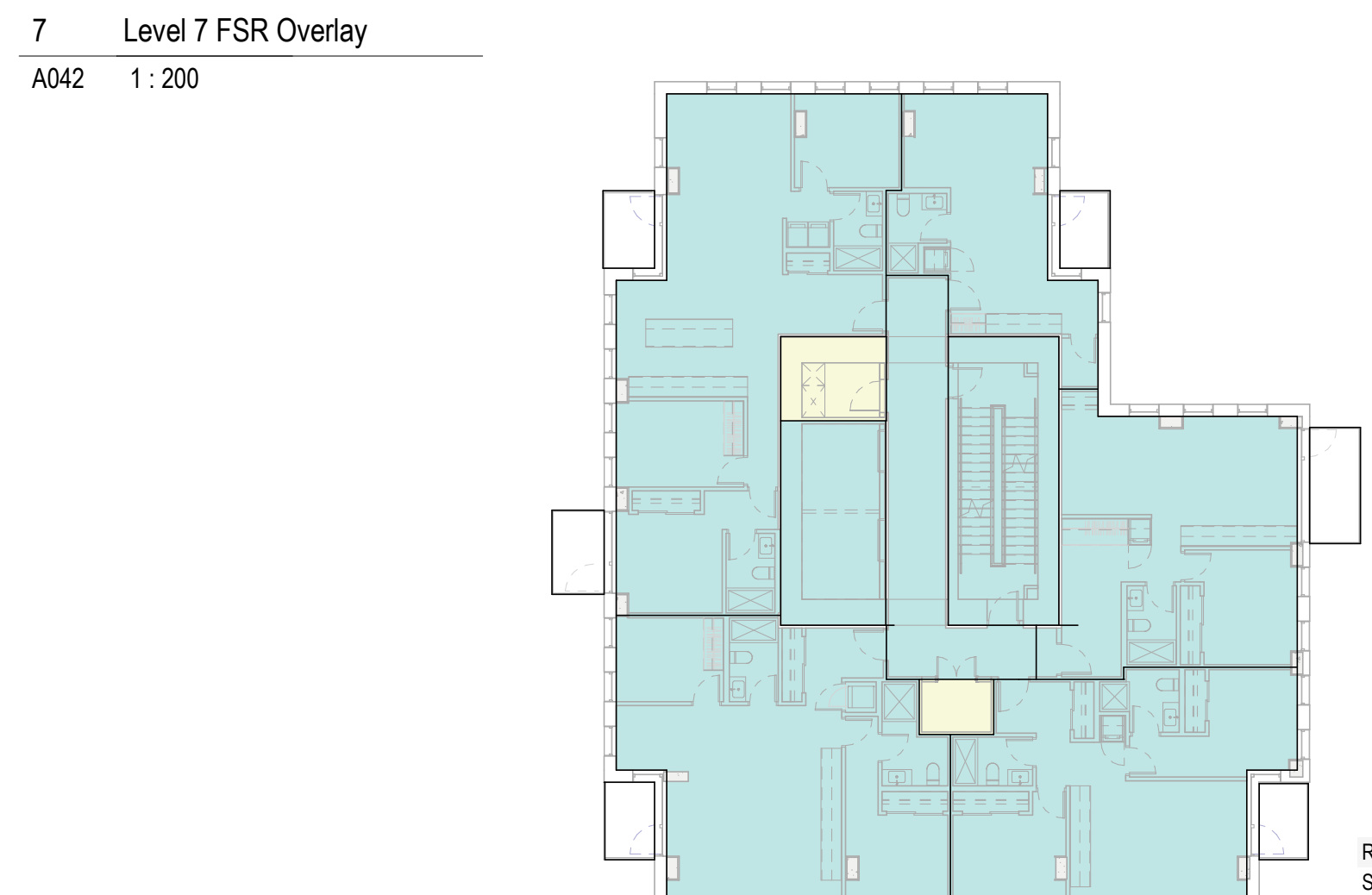
|             |                      |
|-------------|----------------------|
| Residential | 413.1 m <sup>2</sup> |
| Shared      | 12.7 m <sup>2</sup>  |



4 Level 4 Floor Area Overlay  
A042 1:200

**FLOOR AREA - LEVEL 4**

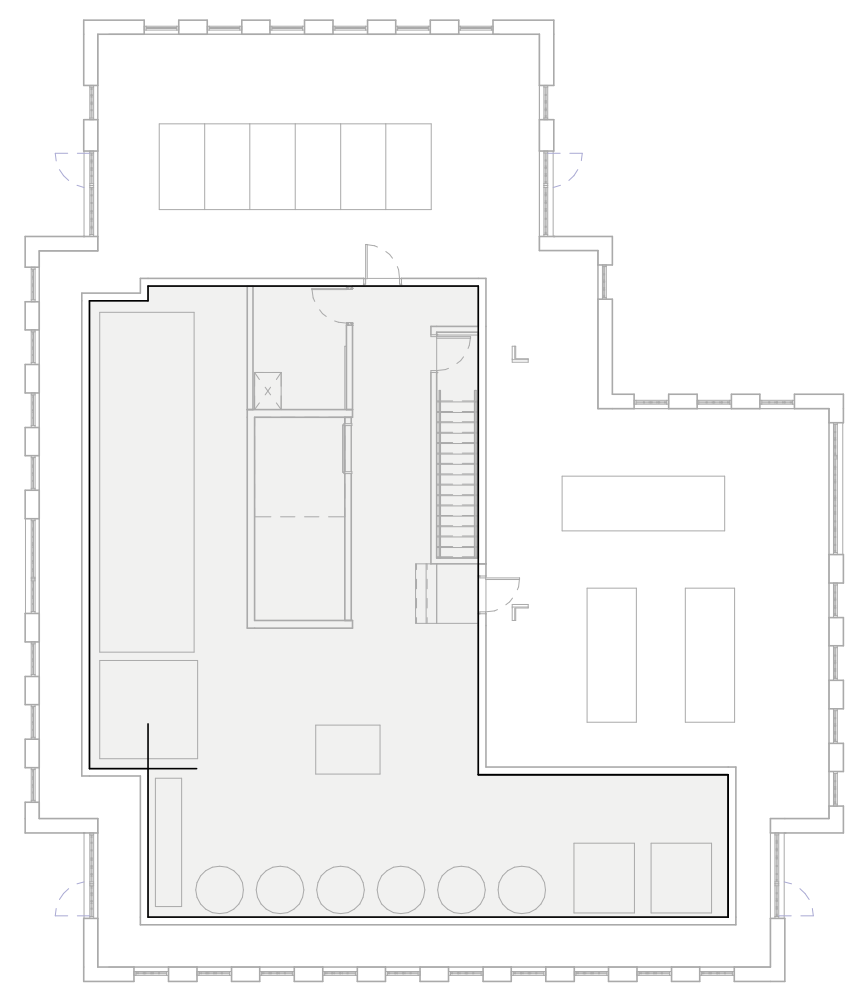
|             |                      |
|-------------|----------------------|
| Commercial  | 860.5 m <sup>2</sup> |
| Excluded    | 18.4 m <sup>2</sup>  |
| Residential | 21.2 m <sup>2</sup>  |
| Shared      | 60.1 m <sup>2</sup>  |



8 Level 18-20 Floor Area Overlay  
A042 1:200

**FLOOR AREA - Level 18-20**

|             |                      |
|-------------|----------------------|
| Residential | 413.6 m <sup>2</sup> |
| Shared      | 12.2 m <sup>2</sup>  |



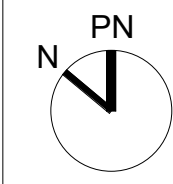
9 Roof Floor Area Overlay  
A042 1:200

**FLOOR AREA - ROOF**

|          |                      |
|----------|----------------------|
| Excluded | 190.4 m <sup>2</sup> |
|----------|----------------------|

**FSR by Use**

- Commercial
- Excluded
- Residential
- Shared



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**FSR OVERLAYS PROPOSED**

1:200

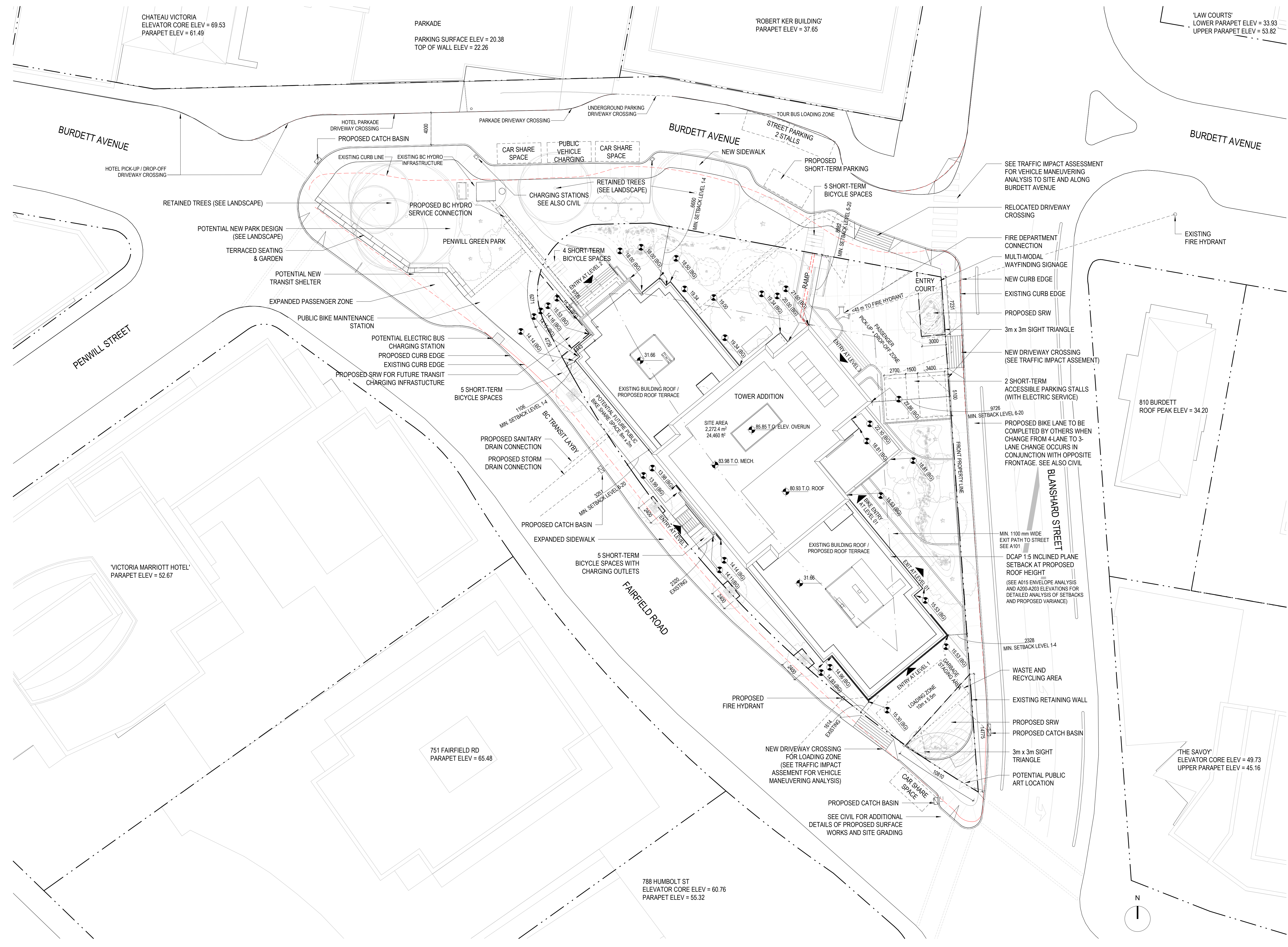
2024-02-21 4:58:51 PM

**A042**

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| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



1 : 200  
2024-02-21 4:58:58 PM

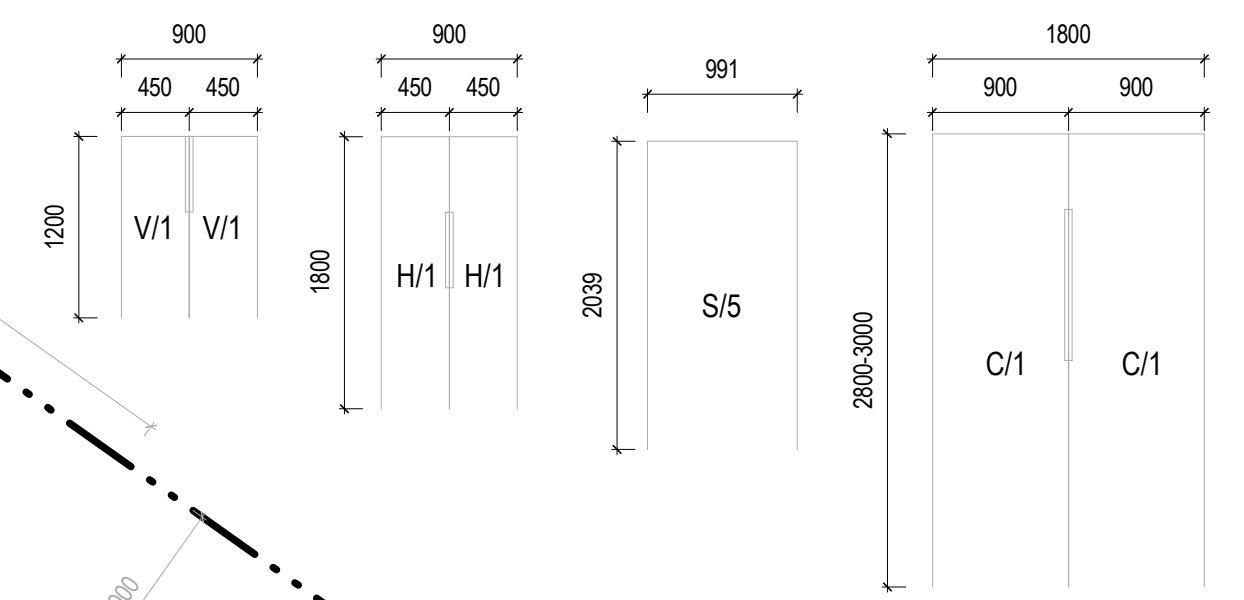
**A100**

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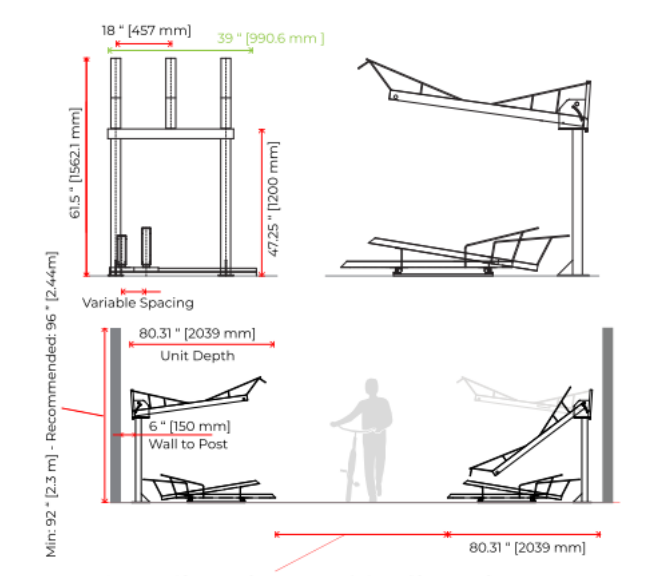
780 Blanshard Street, Victoria, BC  
2019-039

SITE PLAN PROPOSED

**BICYCLE SPACES**



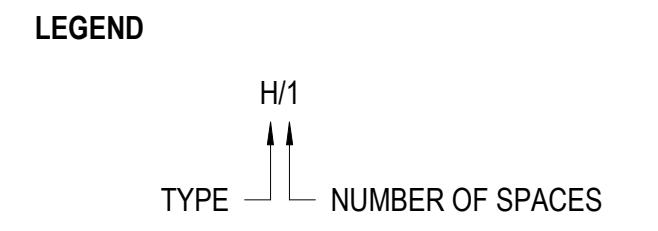
**Urban Double Stacker (Narrow Aisle)**



**URBAN RACKS**

- Colors: Bicycle Per Set (2 One-up and one down), Bicycle Assembly (18" to 24" (457 mm to 609 mm)), Blue Differential (6 to 8" (152 mm to 203 mm))
- Weight: Per Two Bicycle Spaces (72 lbs (32.6 kg))
- Material: Assembly Material (Steel)
- Available Finishes: Powder Coated (RAL 7004 - Anthracite Gray)

**LONG TERM BICYCLE SPACES**



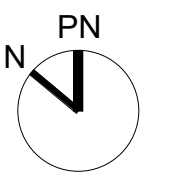
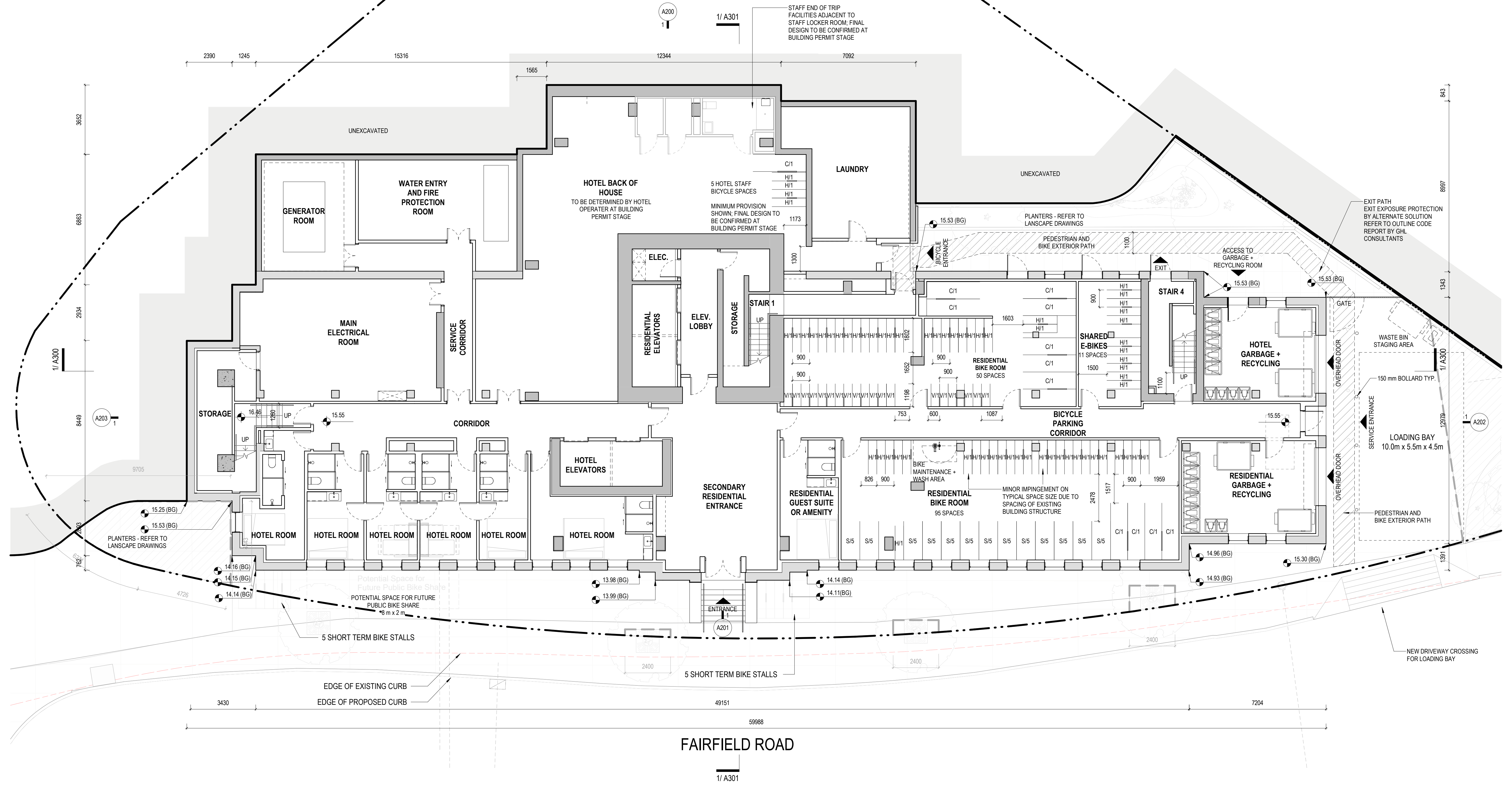
- LEGEND**
- H = HORIZONTAL  
V = VERTICAL  
C = EXTRA-LARGE SPACE (e.g. CARGO BIKE)  
S = STACKED

SEE SUMMARY OF REQUIREMENT AND PROPOSED ON A011 AND FURTHER DETAIL IN PARKING & TDM STUDY.

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| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



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**LEVEL 1 FLOOR PLAN**

As indicated

**A101**

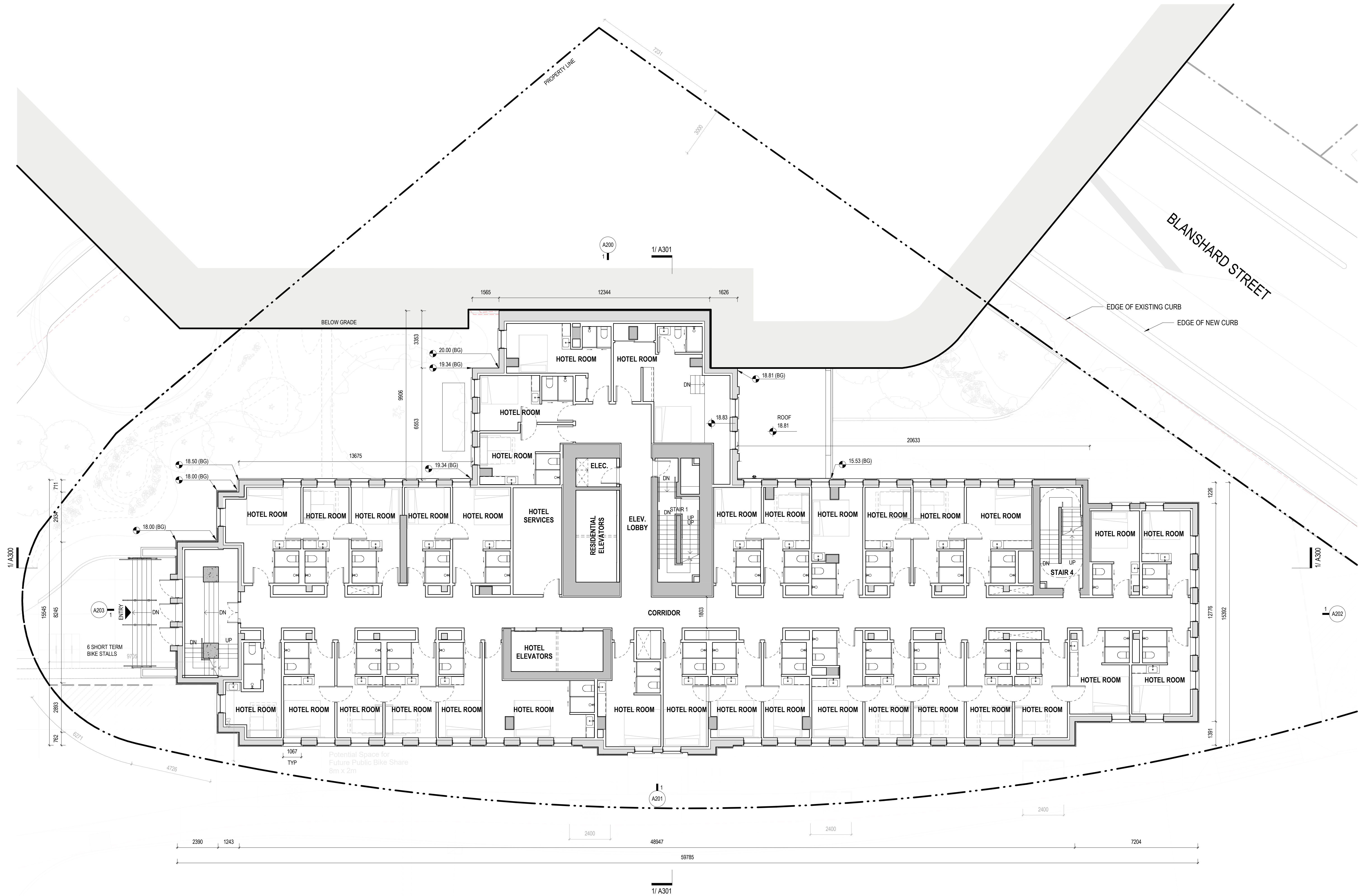
2024-02-21 4:50:08 PM



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| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



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2019-039

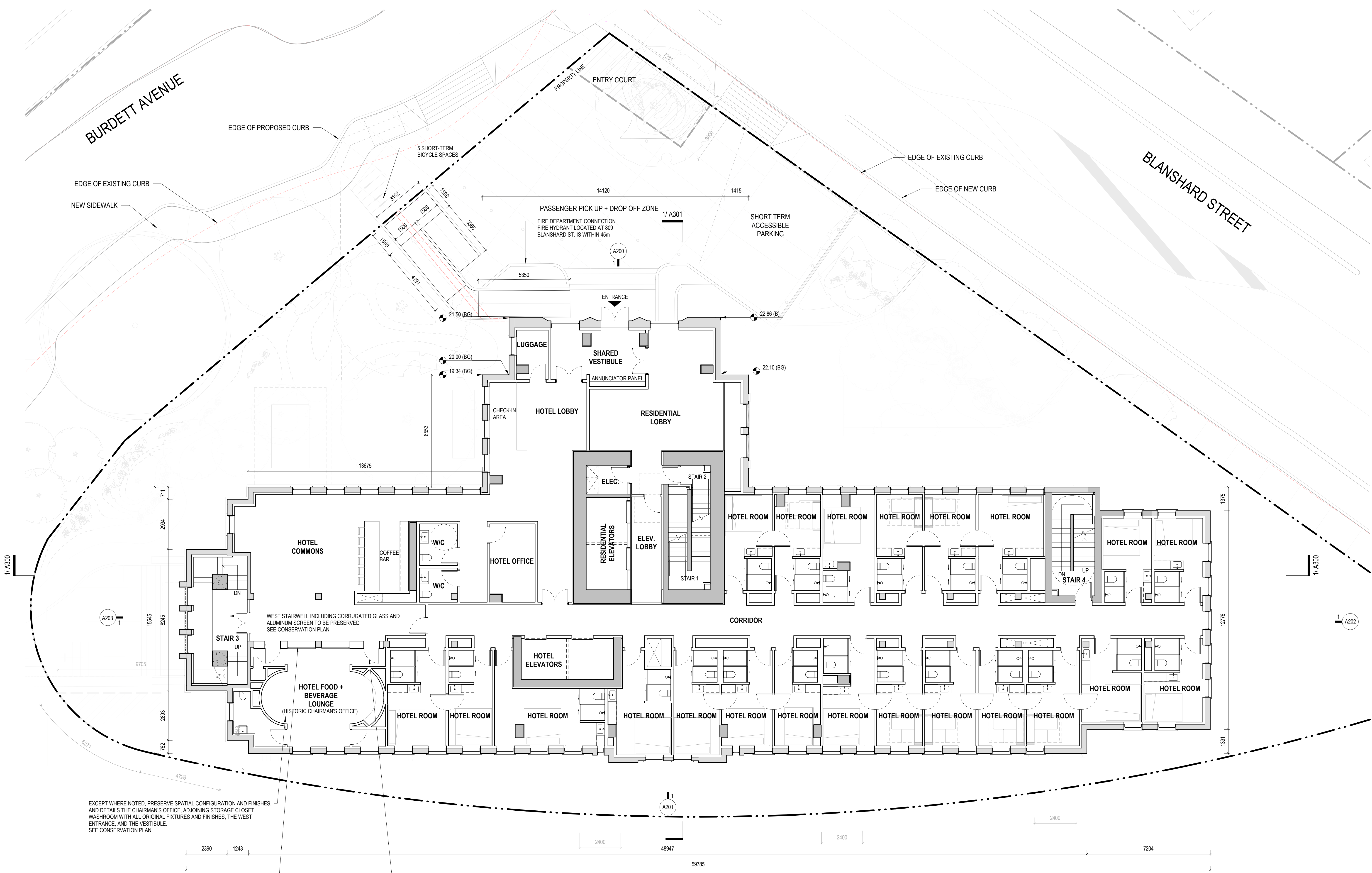
LEVEL 2 FLOOR PLAN

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2024-02-21 4:59:18 PM  
**A102**



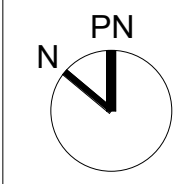
| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2023-10-26 | 5   | PRE-COTW REVISIONS          |
| 2024-02-21 | 6   | HAP & RZ RESUBMISSION 02    |



EXCEPT WHERE NOTED, PRESERVE SPATIAL CONFIGURATION AND FINISHES, AND DETAILS THE CHAIRMAN'S OFFICE, ADJOINING STORAGE CLOSET, WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE. SEE CONSERVATION PLAN

INSTALL CONTEMPORARY GLAZING IN EXISTING WALL TO PROVIDE VISUAL CONNECTION BETWEEN HISTORIC OFFICE AND CIRCULATION SPACE. SET SILL HEIGHT ABOVE EXISTING INLAID WOOD ACCENT BAND AND LEAVE EXISTING ADJACENT FINISHES INTACT WHERE NOT AFFECTED BY NEW WORK. DETAIL NEW GLAZING TO BE DISTINCT FROM HISTORIC MATERIALS AND DETAILS.

RELOCATE DOOR FROM VESTIBULE INTO OFFICE TO CORRIDOR INTO VESTIBULE. LEAVE EXISTING FINISHES INTACT WHERE NOT AFFECTED BY NEW WORK.



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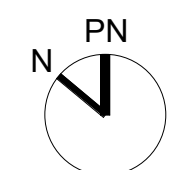
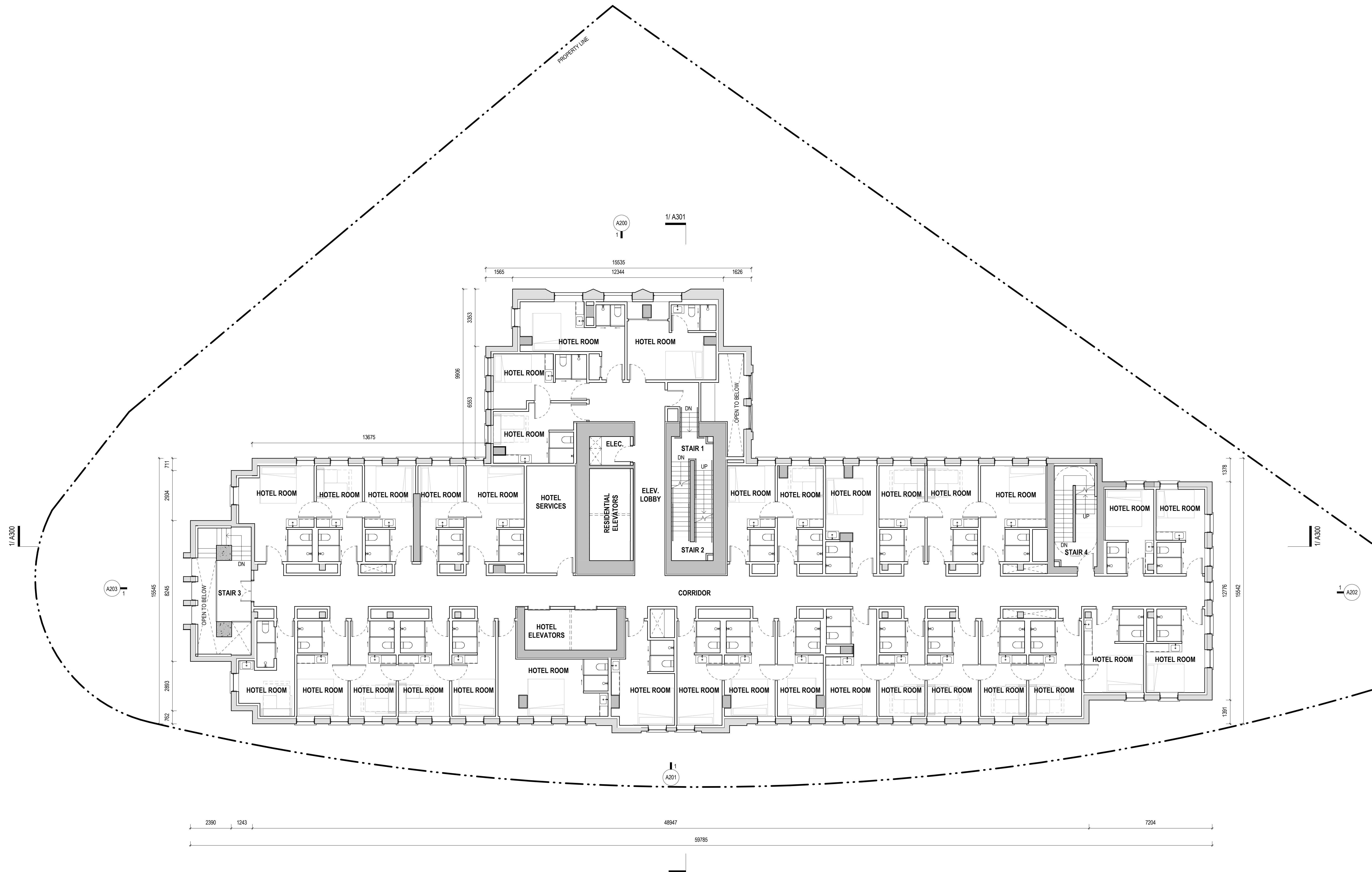
LEVEL 3 FLOOR PLAN

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**A103**



| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



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2019-039

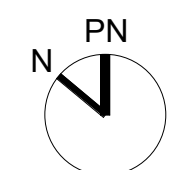
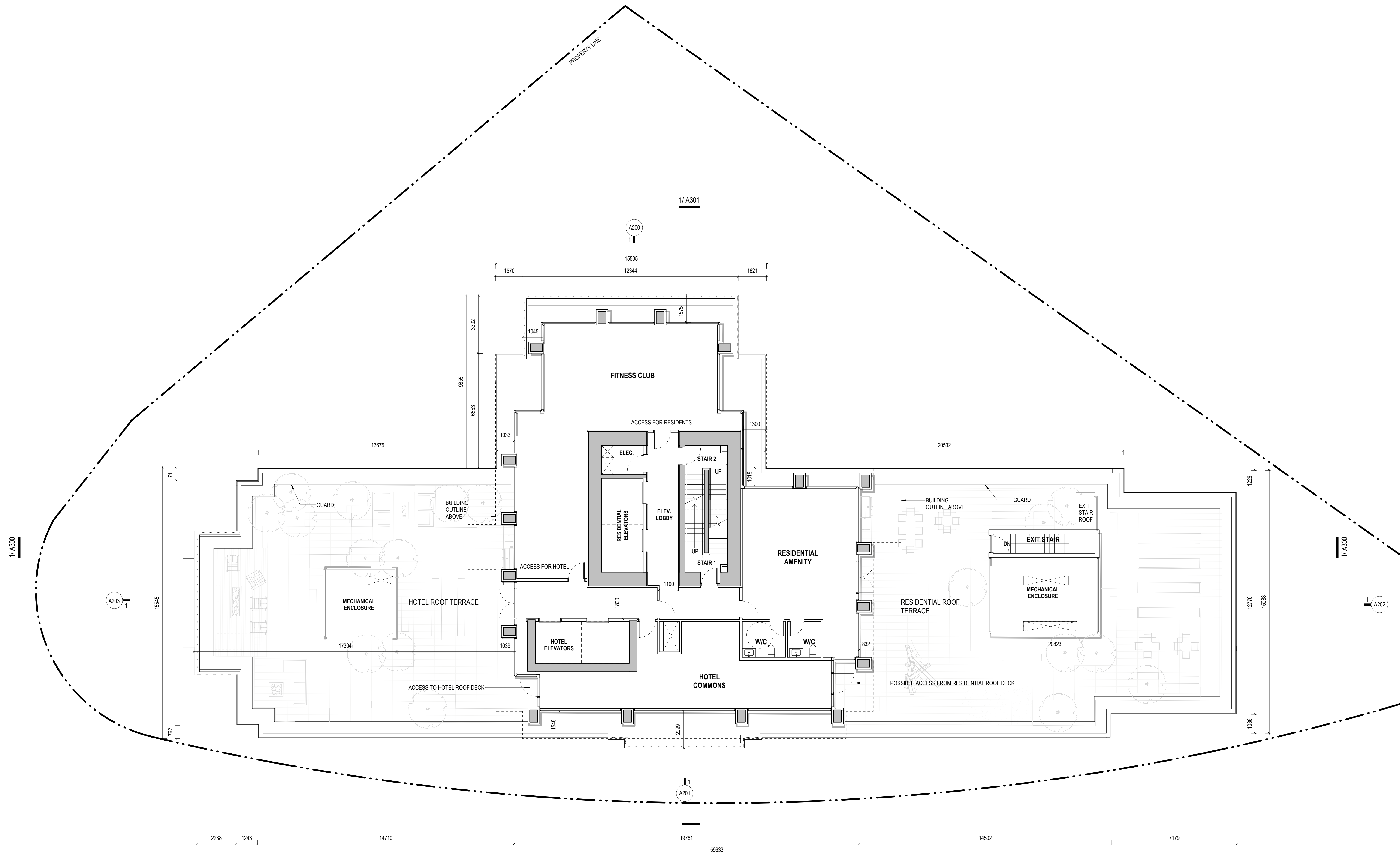
LEVEL 4 FLOOR PLAN

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| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
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| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
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| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



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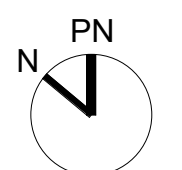
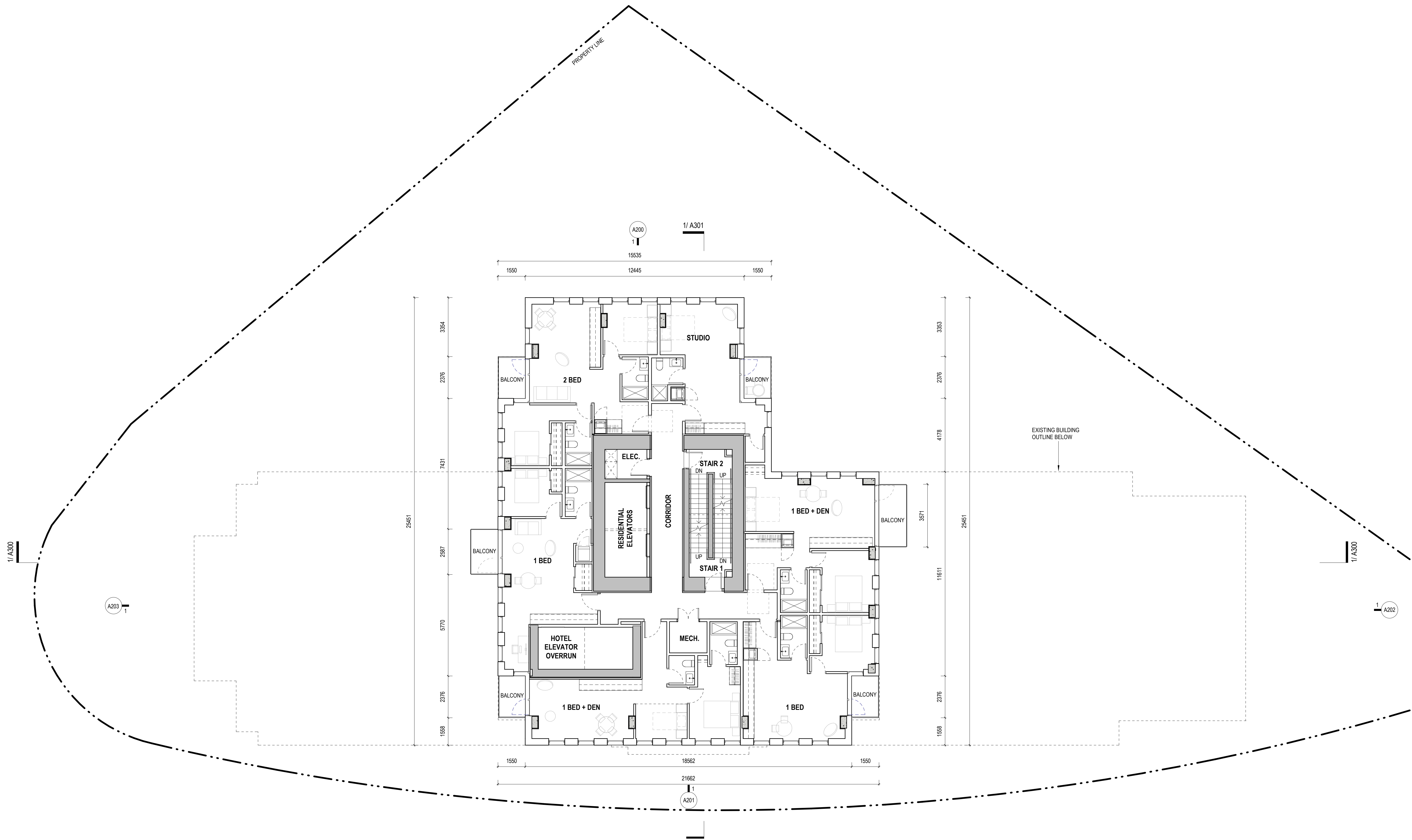
LEVEL 5 FLOOR PLAN

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2024-02-21 4:59:30 PM  
**A105**



| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



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2019-039

**LEVEL 6 FLOOR PLAN**

1 : 100

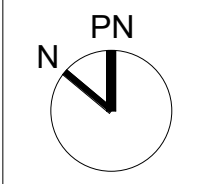
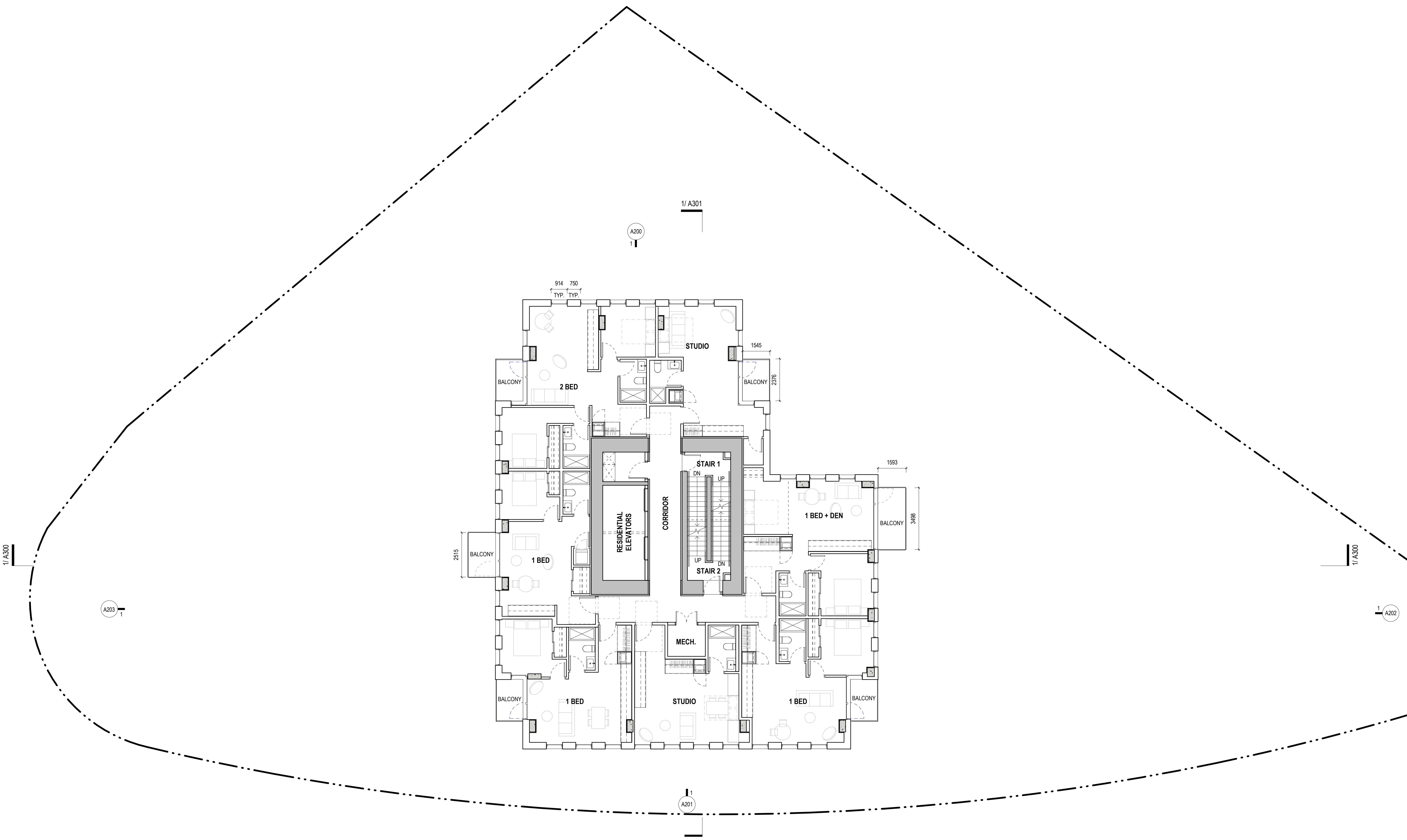
**A106**

2024-02-21 4:59:32 PM

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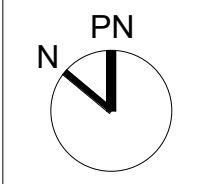
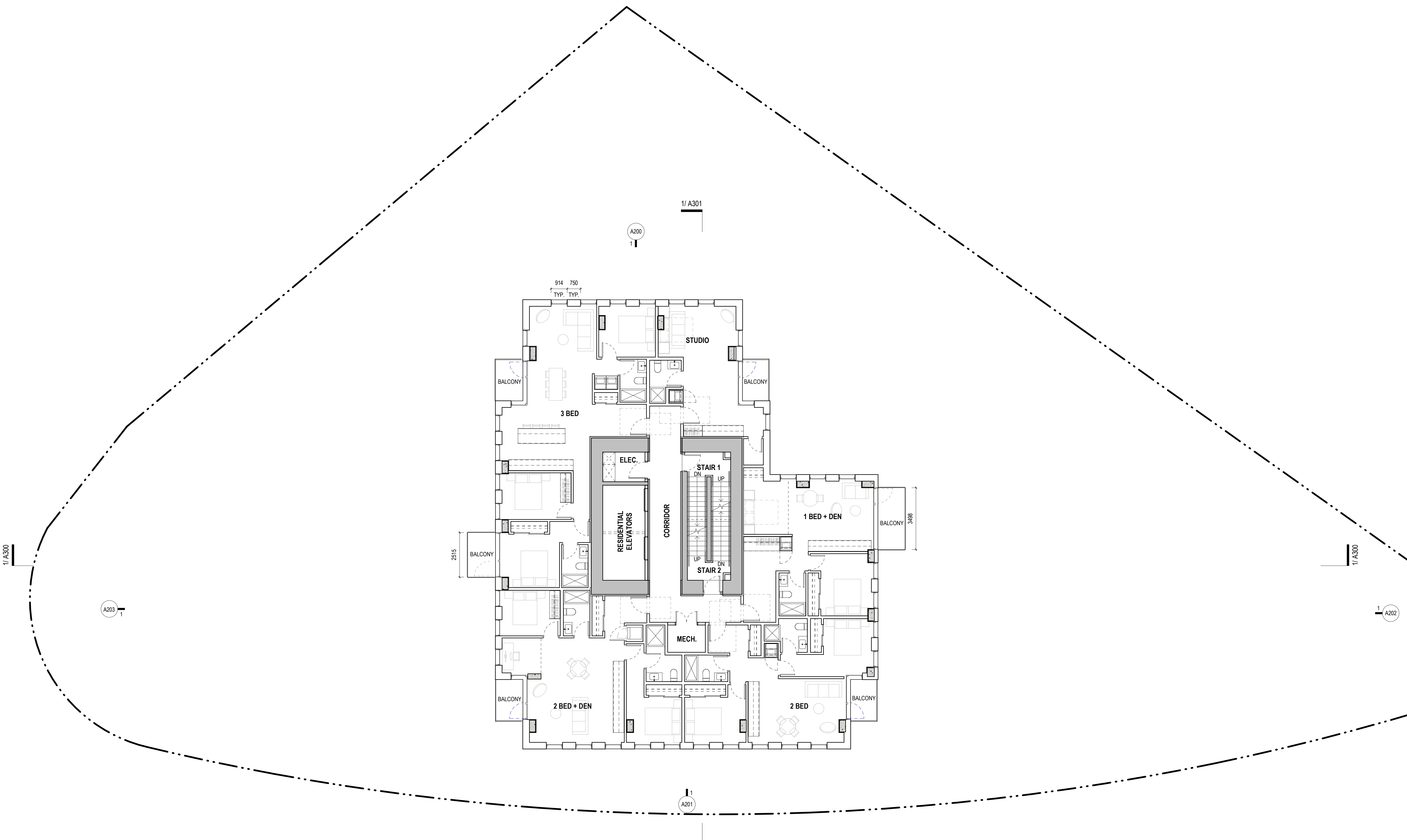
**LEVEL 7-17 FLOOR PLAN**

1 : 100

2024-02-21 4:59:33 PM  
**A107**



| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



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**LEVEL 18-20 FLOOR PLAN**

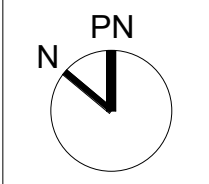
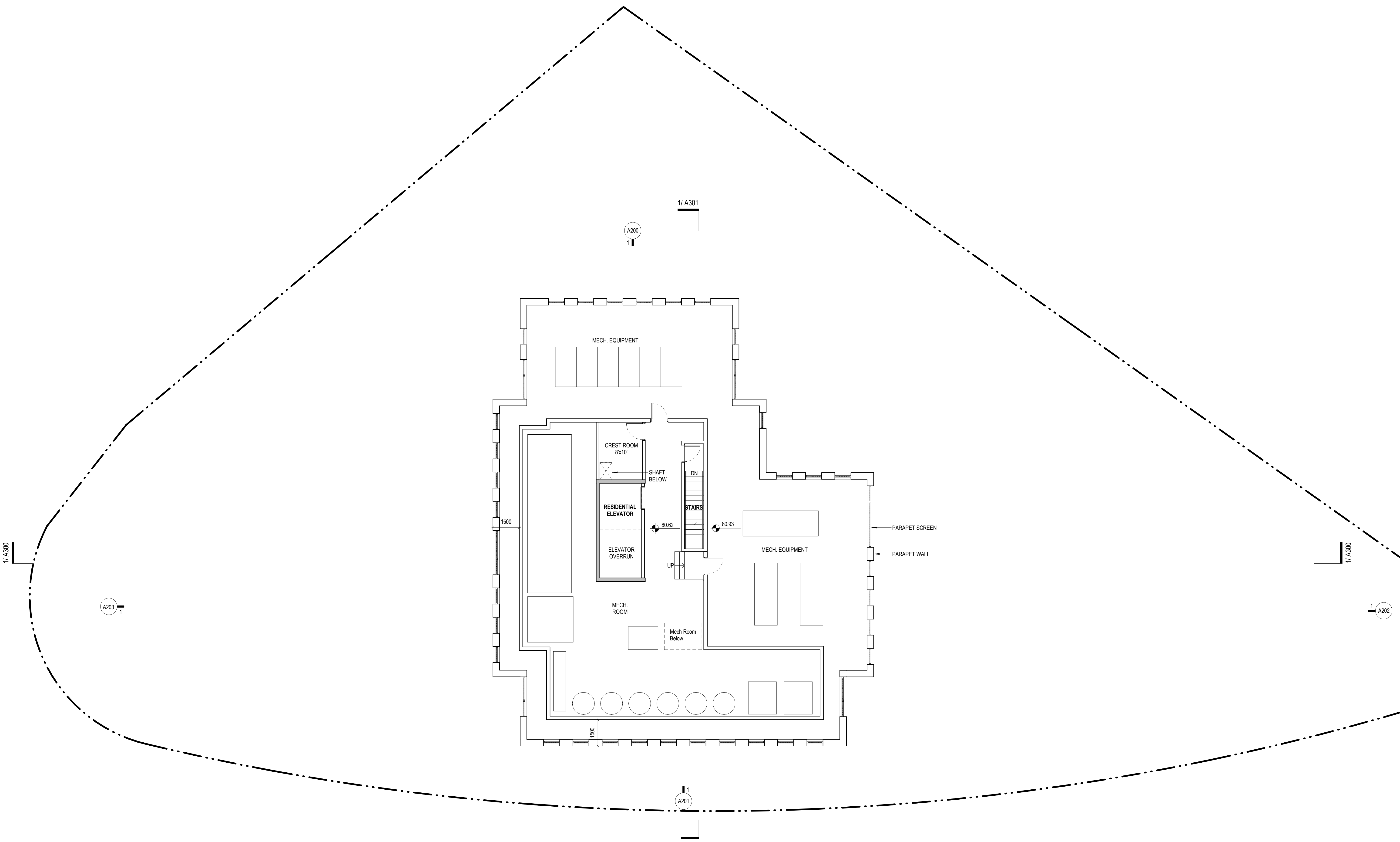
1 : 100

2024-02-21 4:59:34 PM  
**A108**

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**MECHANICAL ROOFTOP PLAN**

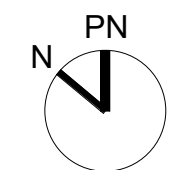
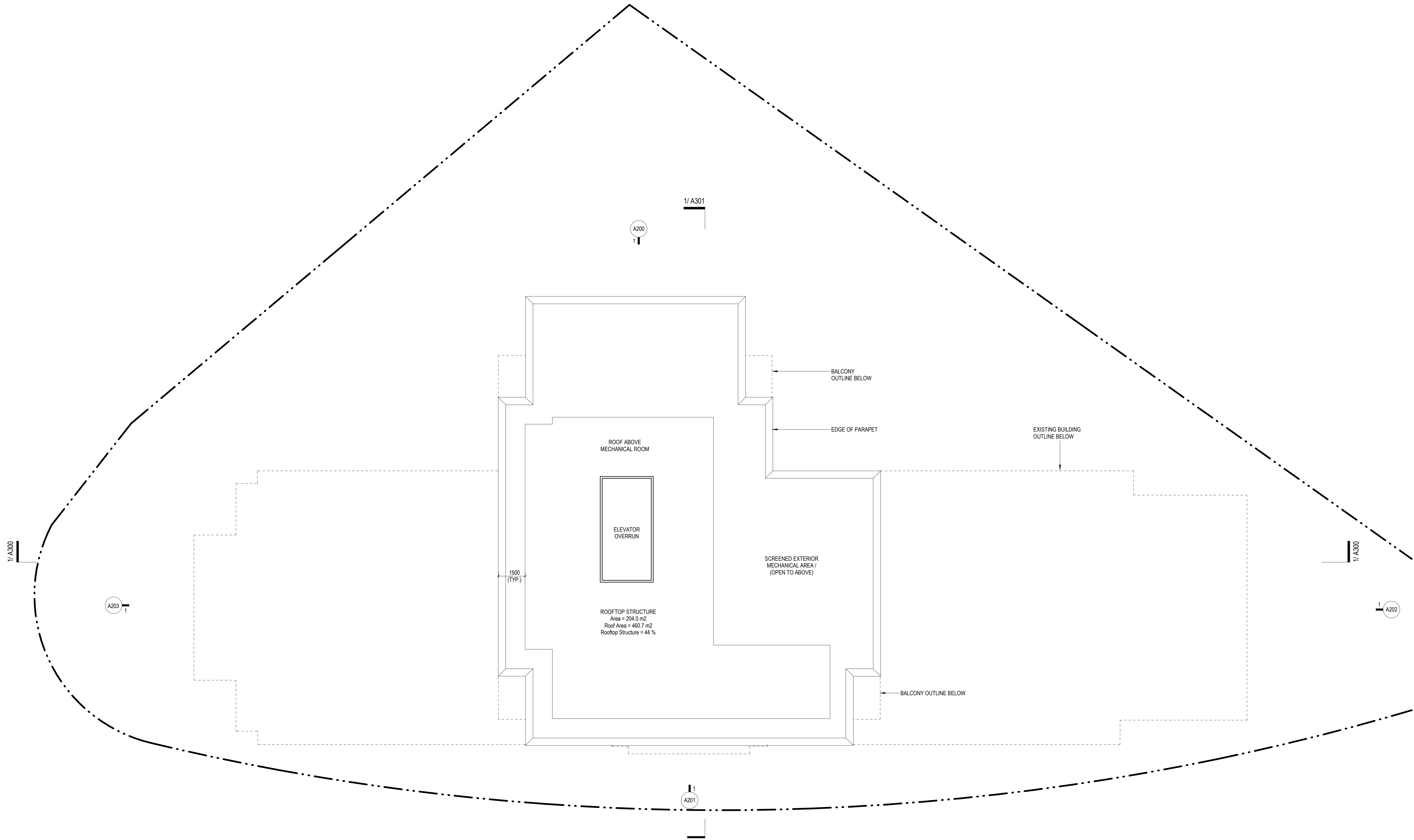
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**A109**





| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2023-03-23 | 1   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 2   | HAP & RZ RESUBMISSION 02    |



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**ROOF PLAN**

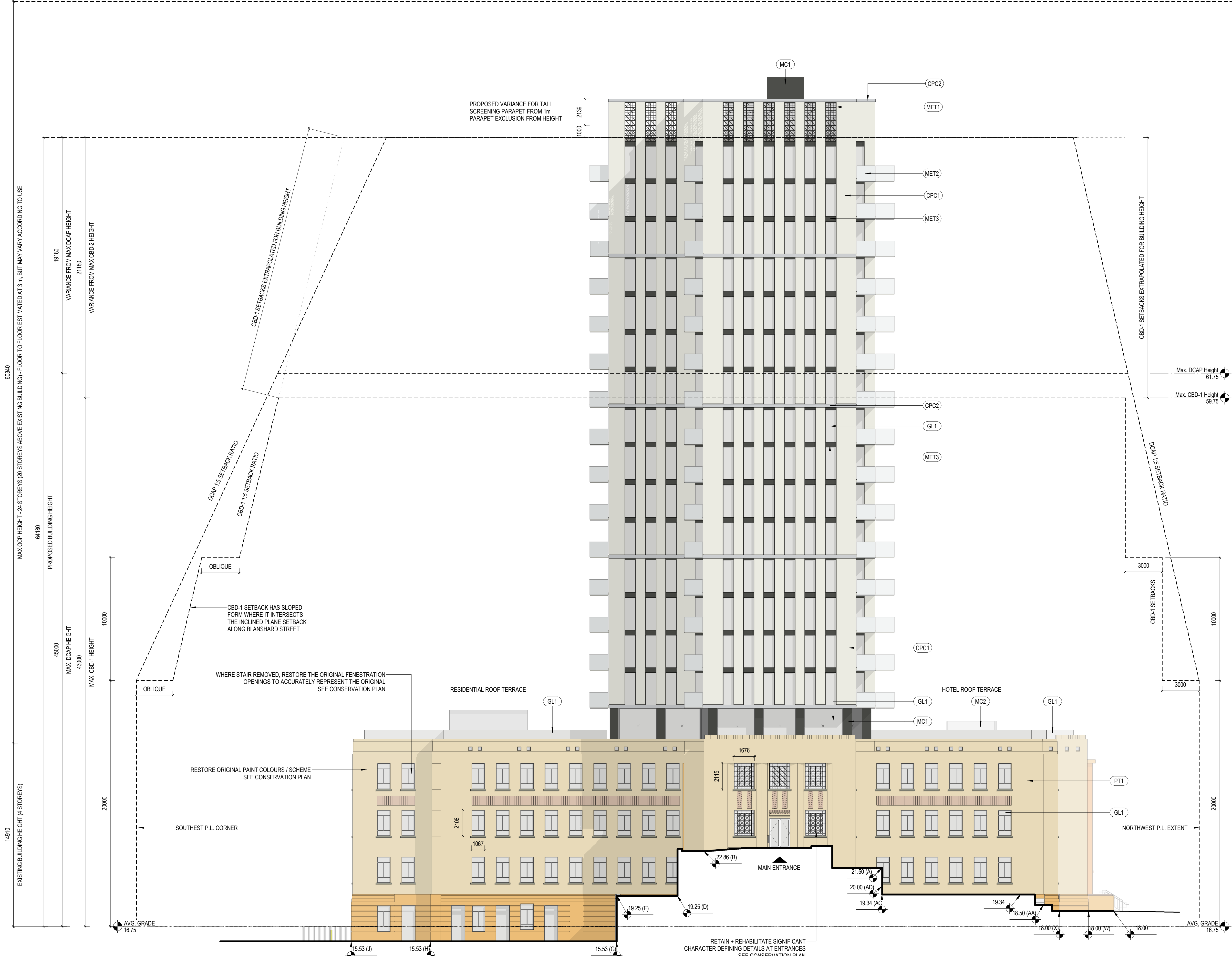
1 : 100

2024-02-21 4:59:37 PM  
**A110**

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| Level                  | Height (m) | Notes |
|------------------------|------------|-------|
| T.O. Elevator Overrun  | 85.85      |       |
| T.O. Rooftop Structure | 83.68      |       |
| Roof Level             | 79.50      |       |
| Mechanical Level       | 80.62      |       |
| Level 20               | 77.56      |       |
| Level 19               | 74.50      |       |
| Level 18               | 71.44      |       |
| Level 17               | 68.38      |       |
| Level 16               | 65.32      |       |
| Level 15               | 62.26      |       |
| Level 14               | 59.20      |       |
| Level 13               | 56.14      |       |
| Level 12               | 53.08      |       |
| Level 11               | 50.02      |       |
| Level 10               | 46.96      |       |
| Level 09               | 43.90      |       |
| Level 08               | 40.84      |       |
| Level 07               | 37.78      |       |
| Level 06               | 34.72      |       |
| Level 05               | 31.66      |       |
| Level 04               | 28.60      |       |
| Level 03               | 25.54      |       |
| Level 02               | 22.48      |       |
| Level 01               | 19.42      |       |
| Avg. Grade             | 16.75      |       |

**MATERIAL PALETTE**

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 CEMENTITIOUS PANEL CLADDING
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDEL PANEL
- PT1 PAINTED HERITAGE COLOUR SCHEME
- PT2 PAINTED HERITAGE COLOUR SCHEME

**MATERIAL LEGEND**

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 PRECAST CONCRETE
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDEL PANEL
- MRB1 MARBLE CLADDING: RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN: SEE CONSERVATION PLAN
- PT1 PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN
- PT2 PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

ELEVATION NORTH

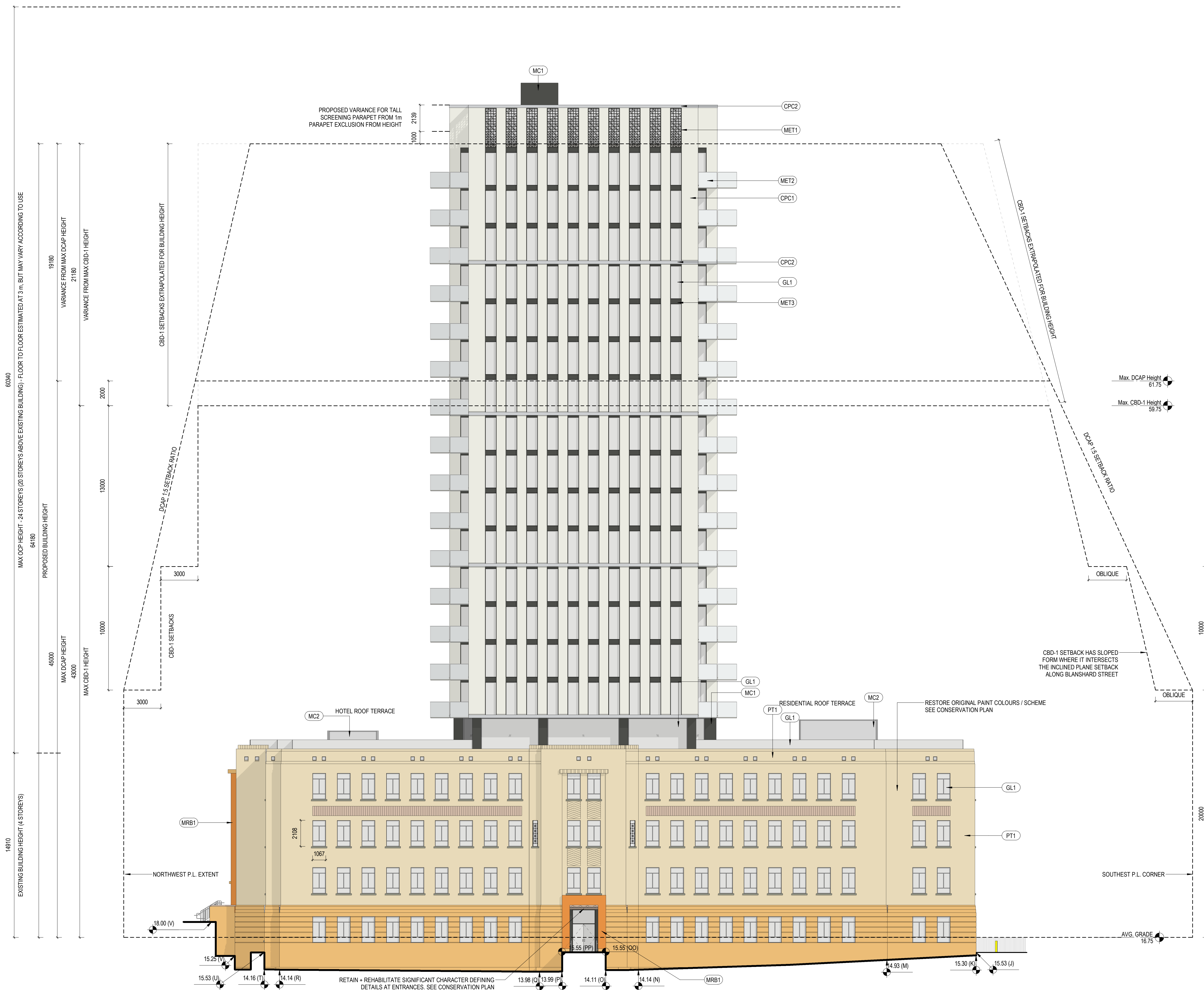
1 : 150

**A200**

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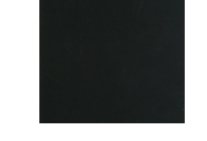

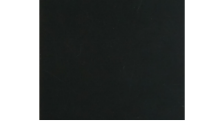

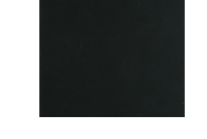




| DATE       | REV | DESCRIPTION                 |
|------------|-----|-----------------------------|
| 2022-02-24 | 1   | REZONING PRE-APPLICATION    |
| 2022-06-01 | 2   | OPEN HOUSE PROGRESS SET     |
| 2022-06-21 | 3   | REZONING APPLICATION        |
| 2023-03-23 | 4   | HAP & REZONING RESUBMISSION |
| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



| Level                  | Height (m) | Height (ft) |
|------------------------|------------|-------------|
| T.O. Elevator Overrun  | 85.85      | 281.8       |
| T.O. Rooftop Structure | 83.68      | 274.8       |
| Roof Level             | 80.93      | 265.5       |
| Mechanical Level       | 3370       | 11056       |
| Level 20               | 77.56      | 254.4       |
| Level 19               | 74.50      | 244.4       |
| Level 18               | 71.44      | 234.3       |
| Level 17               | 68.38      | 224.3       |
| Level 16               | 65.32      | 214.2       |
| Level 15               | 62.26      | 204.2       |
| Level 14               | 59.20      | 194.2       |
| Level 13               | 56.14      | 184.1       |
| Level 12               | 53.08      | 174.1       |
| Level 11               | 50.02      | 164.1       |
| Level 10               | 46.96      | 154.0       |
| Level 09               | 43.90      | 144.0       |
| Level 08               | 40.84      | 134.0       |
| Level 07               | 37.78      | 124.0       |
| Level 06               | 34.72      | 114.0       |
| Level 05               | 31.66      | 104.0       |
| Level 04               | 26.98      | 88.5        |
| Level 03               | 23.17      | 76.0        |
| Level 02               | 19.36      | 63.5        |
| Level 01               | 15.55      | 51.0        |

**MATERIAL PALETTE**

-  CPC1 CEMENTITIOUS PANEL CLADDING
-  CPC2 CEMENTITIOUS PANEL CLADDING
-  GL1 CLEAR GLASS
-  MC1 METAL CLADDING
-  MC2 PERFORATED METAL CLADDING
-  MET1 DARK METAL SCREEN
-  MET2 POLISHED METAL
-  MET3 DARK METAL SPANDREL PANEL
-  PT1 PAINTED HERITAGE COLOUR SCHEME
-  PT2 PAINTED HERITAGE COLOUR SCHEME

**MATERIAL LEGEND**

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 PRECAST CONCRETE
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDREL PANEL
- MRB1 MARBLE CLADDING; RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN; SEE CONSERVATION PLAN
- PT1 PAINTED HERITAGE COLOUR SCHEME; SEE CONSERVATION PLAN
- PT2 PAINTED HERITAGE COLOUR SCHEME; SEE CONSERVATION PLAN

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC 2019-039

ELEVATION SOUTH

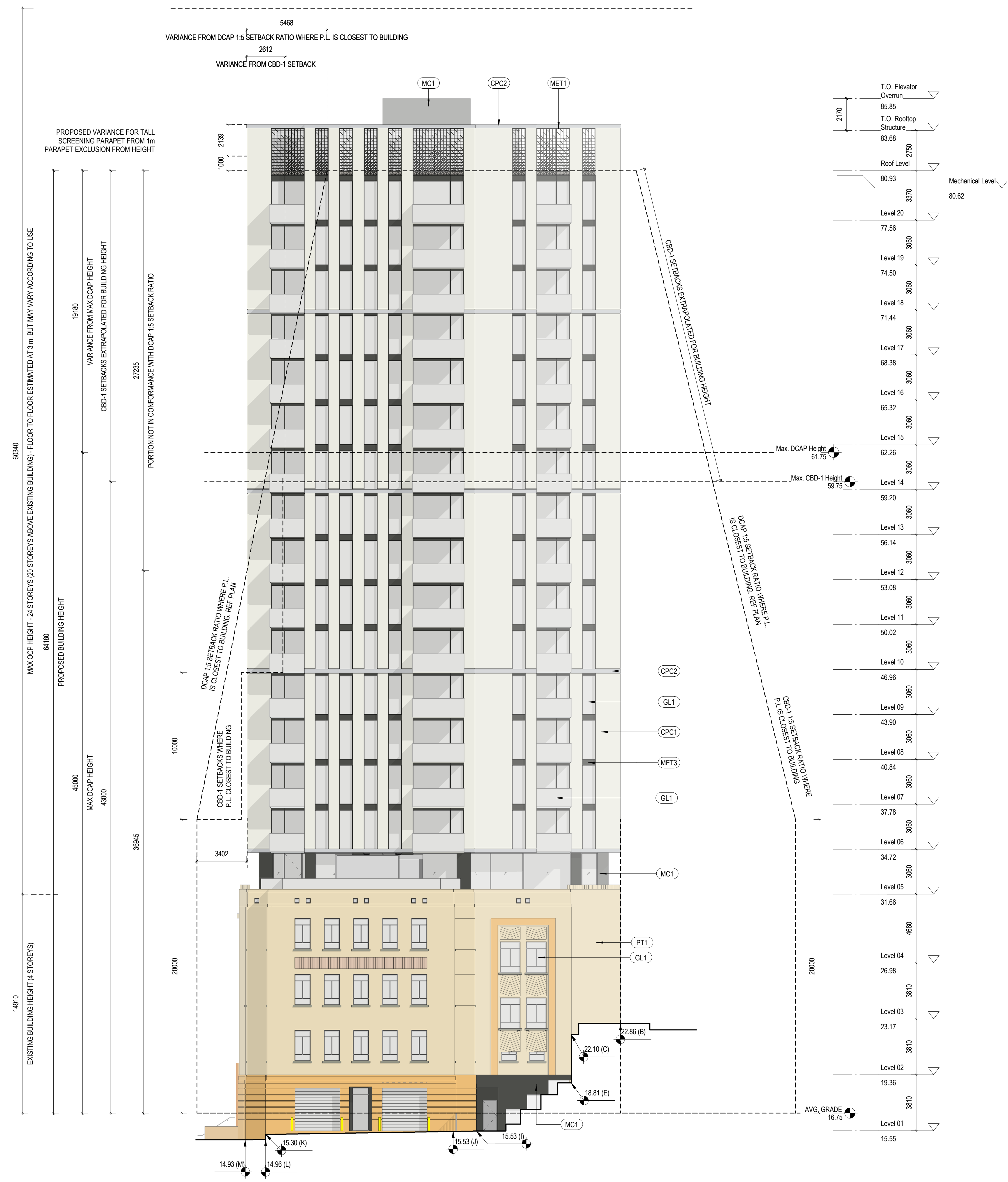
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**A201**

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| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



**MATERIAL PALETTE**

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 CEMENTITIOUS PANEL CLADDING
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDREL PANEL
- PT1 PAINTED HERITAGE COLOUR SCHEME
- PT2 PAINTED HERITAGE COLOUR SCHEME

**MATERIAL LEGEND**

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 PRECAST CONCRETE
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
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- MRB1 MARBLE CLADDING: RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN: SEE CONSERVATION PLAN
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- PT2 PAINTED HERITAGE COLOUR SCHEME: SEE CONSERVATION PLAN

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

EAST ELEVATION

1 : 150

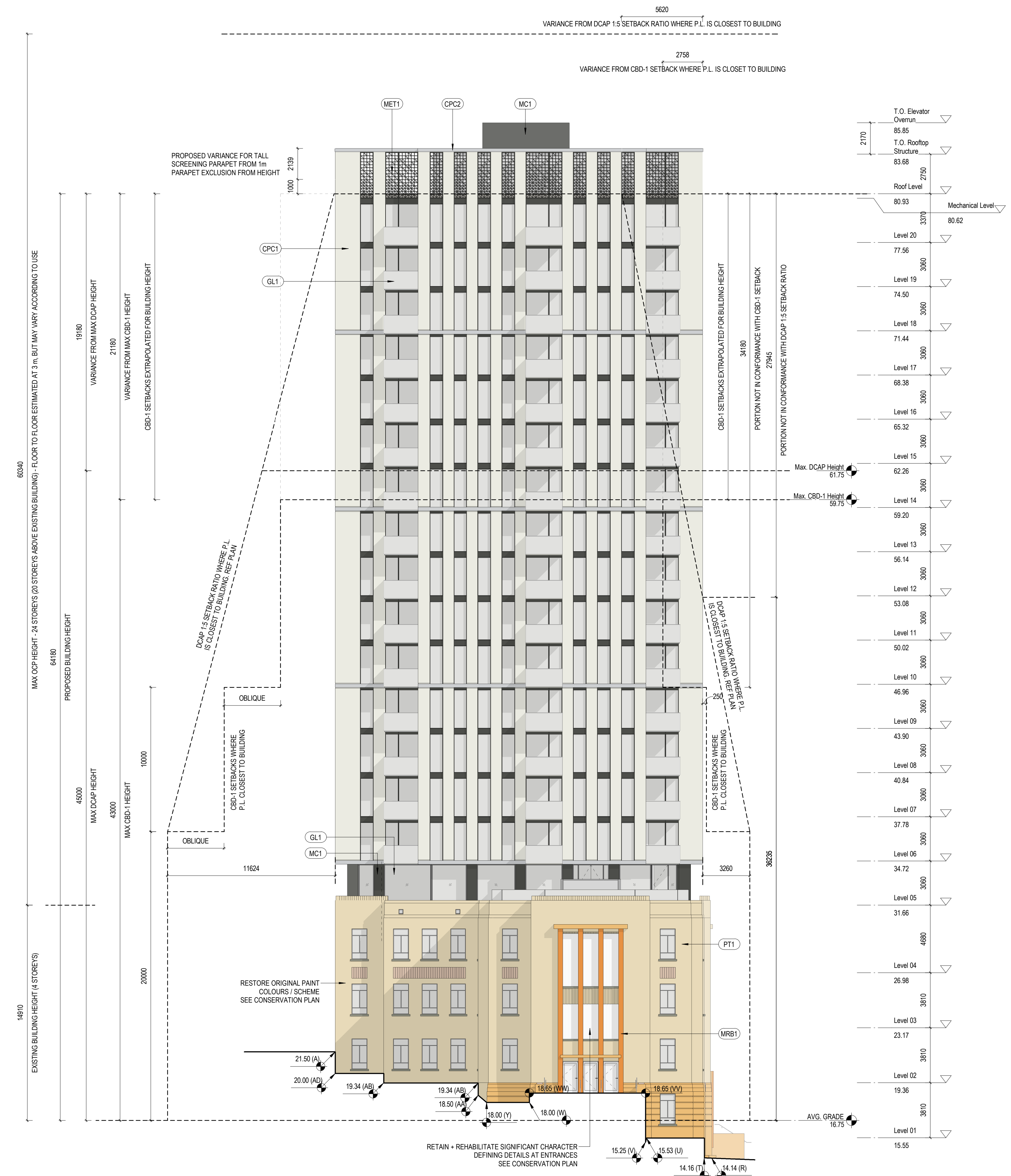
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2024-02-21 5:00:38 PM

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- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 CEMENTITIOUS PANEL CLADDING
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MET1 DARK METAL SCREEN
- MET2 POLISHED METAL
- MET3 DARK METAL SPANDREL PANEL
- PT1 PAINTED HERITAGE COLOUR SCHEME
- PT2 PAINTED HERITAGE COLOUR SCHEME

**MATERIAL LEGEND**

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 PRECAST CONCRETE
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
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WEST ELEVATION

1 : 150

2024-02-21 5:00:56 PM  
**A203**

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| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

**BUILDING SECTION  
EAST-WEST**

1 : 150

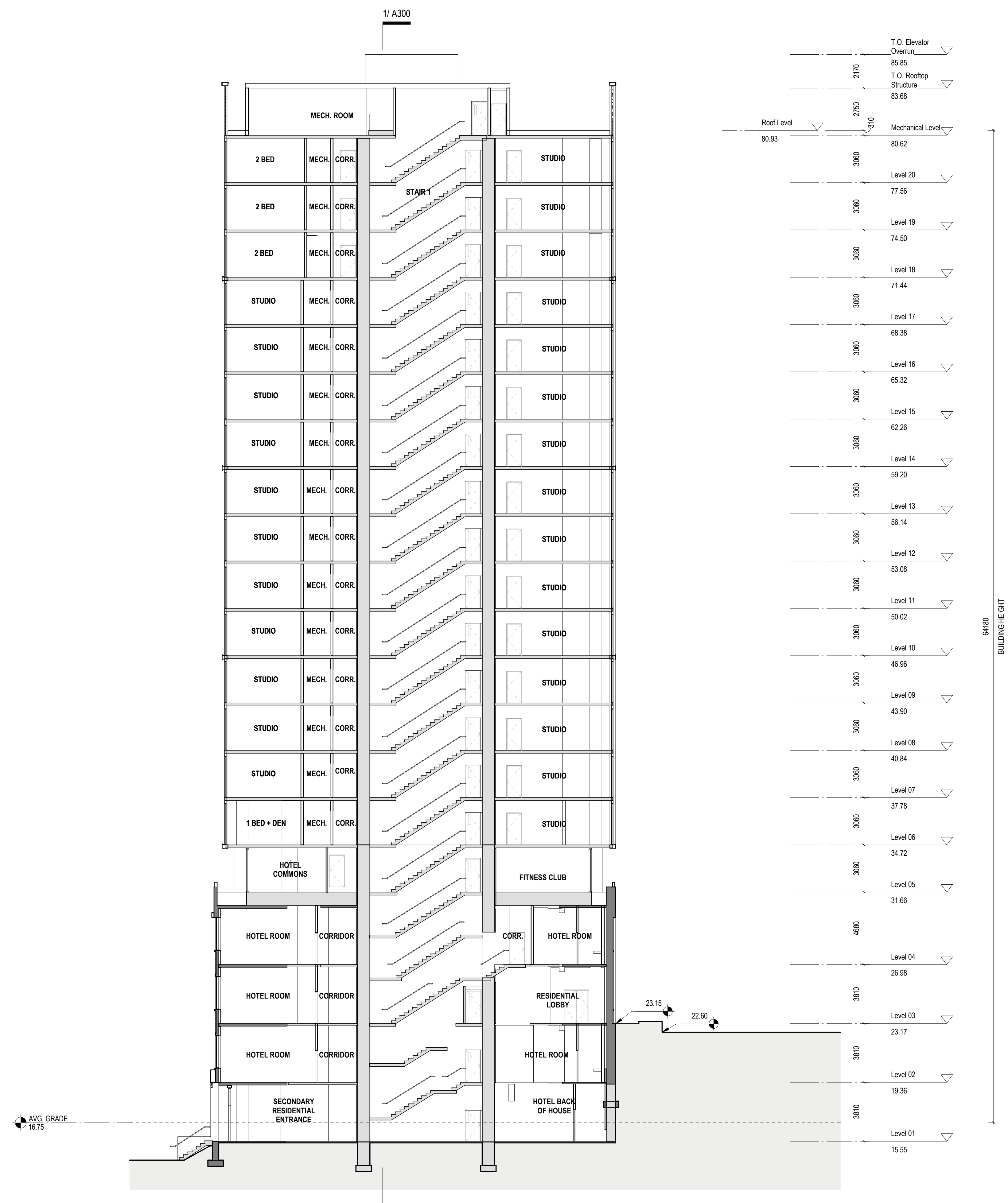
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**A300**

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| 2024-02-21 | 5   | HAP & RZ RESUBMISSION 02    |



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

**BUILDING SECTION  
NORTH-SOUTH**

1 : 150

2024-02-21 5:01:02 PM  
**A301**

# 780 BLANSHARD STREET

ISSUED FOR REZONING AND HERITAGE ALTERATION PERMIT

**CLIENT:  
RELIANCE PROPERTIES LTD.**

JUAN PEREIRA  
juanp@relianceproperties.ca  
604.694.8680

**ARCHITECTS:  
OFFICE OF MCFARLANE BIGGAR ARCHITECTS +  
DESIGNERS INC.**

MATTHEW BEALL  
MBeall@officeomb.ca  
604.558.6371

**LANDSCAPE ARCHITECT:  
G|ALA GAUTHIER + ASSOCIATES LANDSCAPE  
ARCHITECTS INC.**

BRYCE GAUTHIER  
bryce@gauthierla.com  
604.317.9682

RODRIGO RODRIGUES  
rodrigo@gauthierla.com  
778.714.0123

**LANDSCAPE DRAWING INDEX PERMIT**

| Sheet No. | Sheet Name                           |
|-----------|--------------------------------------|
| L0.0      | COVER SHEET                          |
| L0.1      | TREE SURVEY                          |
| L0.2      | TREE MANAGEMENT PLAN                 |
| L0.3      | DEMOLITION PLAN                      |
| L0.4      | OVERALL IMPERMEABLE SURFACES OVERLAY |
| L1.0      | OVERALL SITE PLAN                    |
| L1.1      | WEST ENLARGEMENT PLAN                |
| L1.2      | NORTH ENLARGEMENT PLAN               |
| L1.3      | SOUTH ENLARGEMENT PLAN               |
| L1.4      | PENWILL GREEN PARK ENLARGEMENT PLAN  |
| L1.5      | OVERALL PLANTING PLAN                |
| L1.6      | OVERALL IRRIGATION PLAN              |
| L1.7      | PRECEDENT IMAGES                     |
| L2.0      | LEVEL 5: MATERIALS AND LAYOUT PLAN   |
| L3.0      | PRECEDENT IMAGES                     |
| L4.0      | SECTIONS                             |
| L4.1      | SECTIONS                             |



**TYPICAL TREE PROTECTION FOR VICTORIA**

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPERATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SSUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
  11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
  12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
18. A SIGNIFICANT TREE;
19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
20. A TREE ON A STEEP SLOPE;
21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

**TREE SURVEY**

| SYMBOL | DESCRIPTION                        |
|--------|------------------------------------|
|        | EXISTING TREE TO BE REMOVED        |
|        | TREE CANOPY OUTLINE                |
|        | PROTECTED ROOT ZONE                |
|        | EXISTING TREE TO BE RETAINED:      |
|        | TREE CANOPY OUTLINE                |
|        | PROTECTED ROOT ZONE                |
|        | EXISTING CURB LINE                 |
|        | PROPOSED UTILITIES. REFER TO CIVIL |
|        | EXISTING RETAINING WALL TO REMAIN  |
|        | EXISTING CONDITIONS                |



## TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
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26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

### TREE SURVEY

| SYMBOL | DESCRIPTION                        |
|--------|------------------------------------|
|        | EXISTING TREE TO BE REMOVED        |
|        | TREE CANOPY OUTLINE                |
|        | PROTECTED ROOT ZONE                |
|        | EXISTING TREE TO BE RETAINED:      |
|        | TREE CANOPY OUTLINE                |
|        | PROTECTED ROOT ZONE                |
|        | EXISTING CURB LINE                 |
|        | PROPOSED UTILITIES. REFER TO CIVIL |
|        | EXISTING RETAINING WALL TO REMAIN  |
|        | EXISTING CONDITIONS                |
|        | TREE PROTECTION FENCE              |

ALL SIDEWALK AND CURBWORK TO BE SUPERVISED BY THE PROJECT ARBORIST



ALL SIDEWALK AND CURBWORK TO BE SUPERVISED BY THE PROJECT ARBORIST



**GENERAL DEMOLITION NOTES:**

1. VEHICLES SHALL NOT BE PARKED OR PARKED TEMPORARILY STANDING IDLE WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE SAVED. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE SAVED.
2. THE CONTRACTOR SHALL SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
3. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
4. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. INITIATE BC ONE CALL PRIOR TO EXCAVATION; IDENTIFY AND PROTECT ALL EXISTING UTILITIES.
6. INSTALL TREE PROTECTION FENCING PRIOR TO EXCAVATION; PROTECT AND PRESERVE DRIP LINES OF TREES TO REMAIN AT ALL TIMES.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. EXISTING PLANTS MAY BE REMOVED, PROTECTED AND REPLANTED AT THE LANDSCAPE ARCHITECTS DESCRETION.
9. ALL NEW CONCRETE MUST DRAIN TO EXISTING CATCH BASINS.
10. REFER TO CITY OF VICTORIA TREE PROTECTION GUIDELINE FOR TREE PROTECTION FENCING.
11. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
12. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
13. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
15. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
16. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
17. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY CONTRACTOR. PROVIDE DUST CONTROL, AS APPROVED BY LANDSCAPE ARCHITECT.
18. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
19. THE CONTRACTOR IS REPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS AND TURF DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

**DEMOLITION LEGEND**

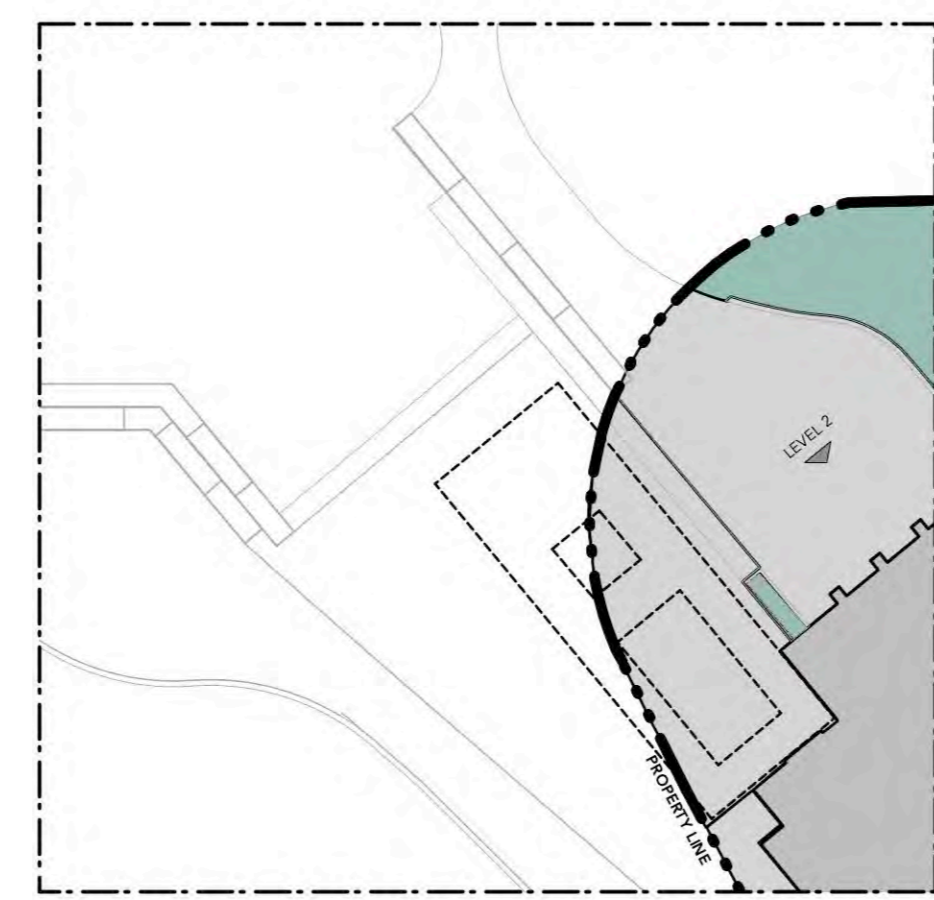
| SYMBOL  | DESCRIPTION                 |
|---|-----------------------------|
|  | EXTENT OF DEMOLITION        |
|  | PARTLY DEMOLISHED/PROTECTED |



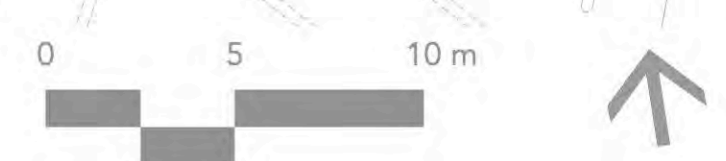
**IMPERMEABLE X ABSORBENT SURFACES LEGEND**

TOTAL AREA: 2272.36 m<sup>2</sup>

- IMPERMEABLE SURFACES AND BUILDINGS  
 1661.36 m<sup>2</sup> (73.11%)
- ABSORBENT SURFACES  
 611 m<sup>2</sup> (26.89%)

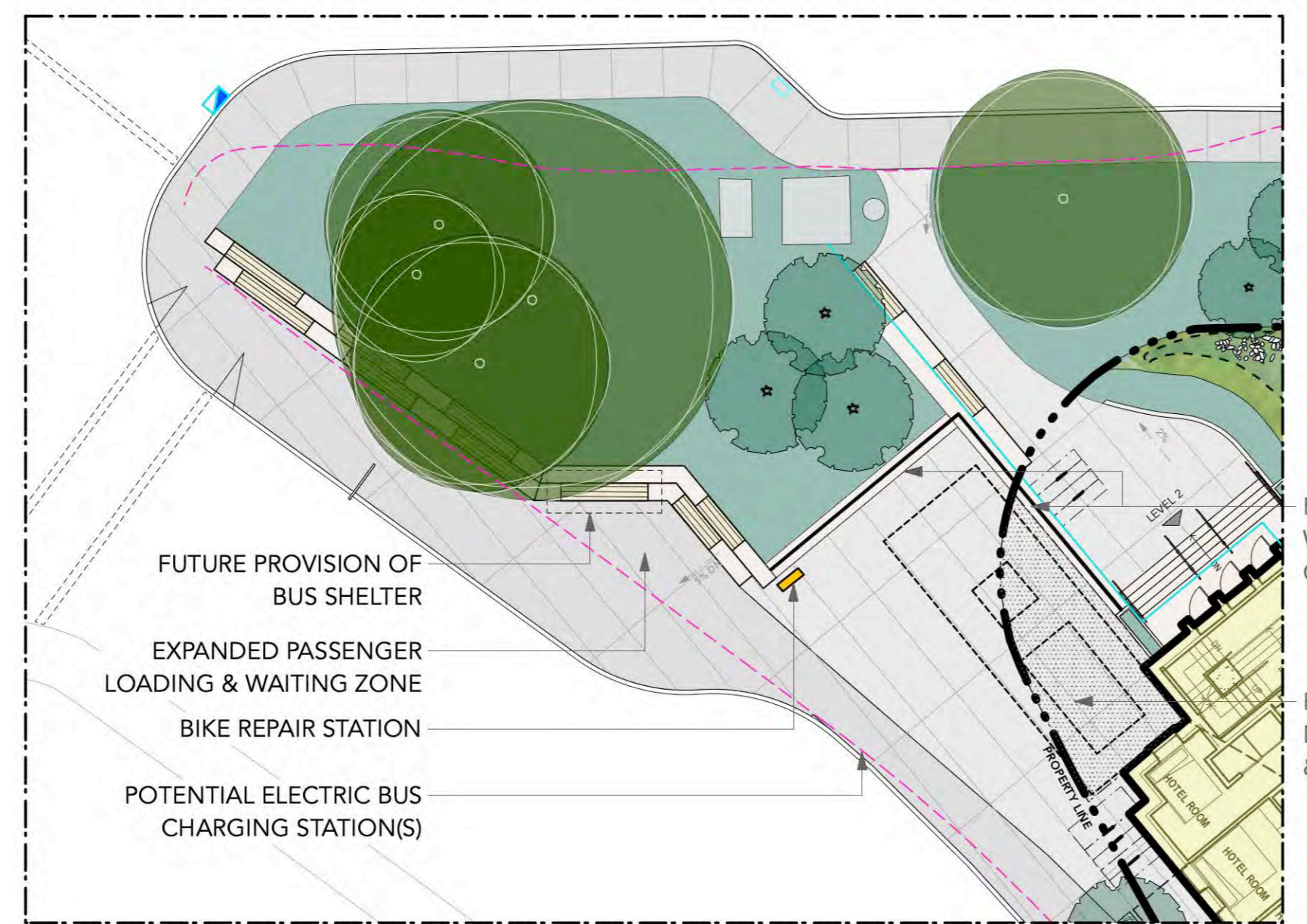


1 BC TRANSIT CHARGING EQUIPMENT PROVISION  
Scale: 1:200



**LEGEND**

| SYMBOL | QTY | DESCRIPTION   |
|--------|-----|---|
|        |     | EXISTING CURB LINE  |
|        |     | PAVING TYPE 1<br>CIP Concrete Sidewalk With Broom Finish<br>Saw-cuts, CoV SSD, as per New Town Design |
|        |     | PAVING TYPE 2<br>Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design                    |
|        |     | PLANTING TYPE 1<br>Garry Oak Ecosystem  |
|        |     | PLANTING TYPE 2<br>Rain Gardens, 18" maximum depth  |
|        |     | SITE FURNISHING<br>Bollard as per New Town Public Realm design.                                       |
|        |     | SITE FURNISHING<br>Heritage Light Fixtures as per New Town Public Realm design.                       |
|        |     | SITE FURNISHING<br>Moveable Cafe Table + Chairs   |
|        |     | SITE FURNISHING<br>Public Art Feature   |
|        |     | SITE FURNISHING<br>Zoe Bike Racks by Sholto Design Studio   |
|        |     | SITE FURNISHING<br>Tree Grate as per City of Victoria Standards, 48" x 48"                            |
|        |     | SITE FURNISHING<br>Bike Repair Station  |
|        |     | EXISTING RETAINING WALL TO REMAIN   |
|        |     | PROPOSED RETAINING WALL, BY OTHERS  |
|        |     | PROPOSED LANDSCAPE WALL   |
|        |     | CIP CONCRETE SEAT WALL WITH WOOD TOP  |
|        |     | STAIRS  |



**2** BC TRANSIT CHARGING EQUIPMENT PROVISION  
Scale: 1:200

**1** OVERALL SITE PLAN  
Scale: 1:200



**LEGEND**

| SYMBOL    | QTY | DESCRIPTION   |
|-----------|-----|---|
| - - - - - |     | EXISTING CURB LINE  |
| ▨         |     | PAVING TYPE 1<br>CIP Concrete Sidewalk With Broom Finish<br>Saw-cuts, CoV SSD, as per New Town Design |
| ▨         |     | PAVING TYPE 2<br>Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design                    |
| ▨         |     | PLANTING TYPE 1<br>Garry Oak Ecosystem  |
| ▨         |     | PLANTING TYPE 2<br>Rain Gardens, 18" maximum depth  |
| ●         |     | SITE FURNISHING<br>Bollard as per New Town Public Realm design.                                       |
| ●         |     | SITE FURNISHING<br>Heritage Light Fixtures as per New Town Public Realm design.                       |
| □         |     | SITE FURNISHING<br>Moveable Cafe Table + Chairs   |
| ★         |     | SITE FURNISHING<br>Public Art Feature   |
| □         |     | SITE FURNISHING<br>Zoe Bike Racks by Sholto Design Studio   |
| □         |     | SITE FURNISHING<br>Tree Grate as per City of Victoria Standards, 48" x 48"                            |
| ▨         |     | SITE FURNISHING<br>Bike Repair Station  |
| - - - - - |     | EXISTING RETAINING WALL TO REMAIN   |
| - - - - - |     | PROPOSED RETAINING WALL, BY OTHERS  |
| ▨         |     | PROPOSED LANDSCAPE WALL   |
| ▨         |     | CIP CONCRETE SEAT WALL WITH WOOD TOP  |
| ▨         |     | STAIRS  |

**GRADING LEGEND**

| SYMBOL  | DESCRIPTION                |
|---------|----------------------------|
| EL 0.00 | PROPOSED ELEVATION         |
| EL 0.00 | EXISTING ELEVATION         |
| TW 0.00 | TOP OF WALL ELEVATION      |
| BW 0.00 | BOTTOM OF WALL ELEVATION   |
| TS 0.00 | TOP OF STAIRS ELEVATION    |
| BS 0.00 | BOTTOM OF STAIRS ELEVATION |
| TB 0.00 | TOP OF BENCH ELEVATION     |
| TR 0.00 | TOP OF RAMP ELEVATION      |
| BR 0.00 | BOTTOM OF RAMP ELEVATION   |
| BG 0.00 | BUILDING GRADE ELEVATION   |
| TF 0.00 | TOP OF FENCE ELEVATION     |
| TC 0.00 | TOP OF CURB ELEVATION      |
| 1%      | SLOPE AND DIRECTION        |





**LEGEND**

| SYMBOL | QTY | DESCRIPTION   |
|--------|-----|---|
|        |     | EXISTING CURB LINE  |
|        |     | PAVING TYPE 1<br>CIP Concrete Sidewalk With Broom Finish<br>Saw-cuts, CoV SSD, as per New Town Design |
|        |     | PAVING TYPE 2<br>Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design                    |
|        |     | PLANTING TYPE 1<br>Garry Oak Ecosystem  |
|        |     | PLANTING TYPE 2<br>Rain Gardens, 18" maximum depth  |
|        |     | SITE FURNISHING<br>Bollard as per New Town Public Realm design.                                       |
|        |     | SITE FURNISHING<br>Heritage Light Fixtures as per New Town Public Realm design.                       |
|        |     | SITE FURNISHING<br>Moveable Cafe Table + Chairs   |
|        |     | SITE FURNISHING<br>Public Art Feature   |
|        |     | SITE FURNISHING<br>Zoe Bike Racks by Sholto Design Studio   |
|        |     | SITE FURNISHING<br>Tree Grate as per City of Victoria Standards, 48" x 48"                            |
|        |     | SITE FURNISHING<br>Bike Repair Station  |
|        |     | EXISTING RETAINING WALL TO REMAIN   |
|        |     | PROPOSED RETAINING WALL, BY OTHERS  |
|        |     | PROPOSED LANDSCAPE WALL   |
|        |     | CIP CONCRETE SEAT WALL WITH WOOD TOP  |
|        |     | STAIRS  |

**GRADING LEGEND**

| SYMBOL | DESCRIPTION                |
|--------|----------------------------|
|        | PROPOSED ELEVATION         |
|        | EXISTING ELEVATION         |
|        | TOP OF WALL ELEVATION      |
|        | BOTTOM OF WALL ELEVATION   |
|        | TOP OF STAIRS ELEVATION    |
|        | BOTTOM OF STAIRS ELEVATION |
|        | TOP OF BENCH ELEVATION     |
|        | TOP OF RAMP ELEVATION      |
|        | BOTTOM OF RAMP ELEVATION   |
|        | BUILDING GRADE ELEVATION   |
|        | TOP OF FENCE ELEVATION     |
|        | TOP OF CURB ELEVATION      |
|        | SLOPE AND DIRECTION        |





**LEGEND**

| SYMBOL | QTY | DESCRIPTION   |
|--------|-----|---|
|        |     | EXISTING CURB LINE  |
|        |     | PAVING TYPE 1<br>CIP Concrete Sidewalk With Broom Finish<br>Saw-cuts, CoV SSD, as per New Town Design |
|        |     | PAVING TYPE 2<br>Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design                    |
|        |     | PLANTING TYPE 1<br>Garry Oak Ecosystem  |
|        |     | PLANTING TYPE 2<br>Rain Gardens, 18" maximum depth  |
|        |     | SITE FURNISHING<br>Bollard as per New Town Public Realm design.                                       |
|        |     | SITE FURNISHING<br>Heritage Light Fixtures as per New Town Public Realm design.                       |
|        |     | SITE FURNISHING<br>Moveable Cafe Table + Chairs   |
|        |     | SITE FURNISHING<br>Public Art Feature   |
|        |     | SITE FURNISHING<br>Zoe Bike Racks by Sholto Design Studio   |
|        |     | SITE FURNISHING<br>Tree Grate as per City of Victoria Standards, 48" x 48"                            |
|        |     | SITE FURNISHING<br>Bike Repair Station  |
|        |     | EXISTING RETAINING WALL TO REMAIN   |
|        |     | PROPOSED RETAINING WALL, BY OTHERS  |
|        |     | PROPOSED LANDSCAPE WALL   |
|        |     | CIP CONCRETE SEAT WALL WITH WOOD TOP  |
|        |     | STAIRS  |

**GRADING LEGEND**

| SYMBOL | DESCRIPTION                |
|--------|----------------------------|
|        | PROPOSED ELEVATION         |
|        | EXISTING ELEVATION         |
|        | TOP OF WALL ELEVATION      |
|        | BOTTOM OF WALL ELEVATION   |
|        | TOP OF STAIRS ELEVATION    |
|        | BOTTOM OF STAIRS ELEVATION |
|        | TOP OF BENCH ELEVATION     |
|        | TOP OF RAMP ELEVATION      |
|        | BOTTOM OF RAMP ELEVATION   |
|        | BUILDING GRADE ELEVATION   |
|        | TOP OF FENCE ELEVATION     |
|        | TOP OF CURB ELEVATION      |
|        | SLOPE AND DIRECTION        |





**LEGEND**

| SYMBOL                            | QTY | DESCRIPTION   |
|-----------------------------------|-----|---|
| - - - - -                         |     | EXISTING CURB LINE  |
| [Light Grey Box]                  |     | PAVING TYPE 1<br>CIP Concrete Sidewalk With Broom Finish<br>Saw-cuts, CoV SSD, as per New Town Design |
| [Dark Grey Box]                   |     | PAVING TYPE 2<br>Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design                    |
| [Light Green Box]                 |     | PLANTING TYPE 1<br>Garry Oak Ecosystem  |
| [Green Box with Rain Garden Icon] |     | PLANTING TYPE 2<br>Rain Gardens, 18" maximum depth  |
| [Black Dot]                       |     | SITE FURNISHING<br>Bollard as per New Town Public Realm design.                                       |
| [Yellow Dot]                      |     | SITE FURNISHING<br>Heritage Light Fixtures as per New Town Public Realm design.                       |
| [Square with Table/Chairs Icon]   |     | SITE FURNISHING<br>Moveable Cafe Table + Chairs   |
| [Blue Star]                       |     | SITE FURNISHING<br>Public Art Feature   |
| [Rectangular Box with Racks Icon] |     | SITE FURNISHING<br>Zoe Bike Racks by Sholto Design Studio   |
| [Square with Grate Icon]          |     | SITE FURNISHING<br>Tree Grate as per City of Victoria Standards, 48"x48"                              |

|                                   |  |
|-----------------------------------|--|
| [Yellow Bar]                      | SITE FURNISHING<br>Bike Repair Station |
| [Red Dashed Line]                 | EXISTING RETAINING WALL TO REMAIN      |
| [Black Dashed Line]               | PROPOSED RETAINING WALL, BY OTHERS     |
| [White Box with Dotted Border]    | PROPOSED LANDSCAPE WALL                |
| [White Box with Horizontal Lines] | CIP CONCRETE SEAT WALL WITH WOOD TOP   |
| [White Box with Vertical Lines]   | STAIRS                                 |

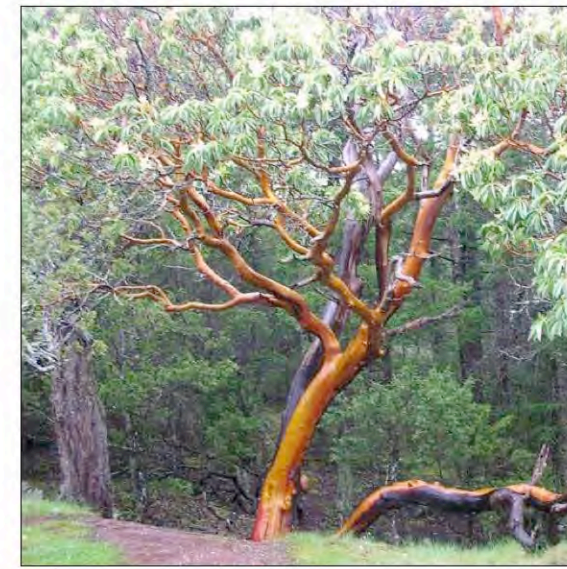
**GRADING LEGEND**

| SYMBOL  | DESCRIPTION                |
|---------|----------------------------|
| EL 0.00 | PROPOSED ELEVATION         |
| EL 0.00 | EXISTING ELEVATION         |
| TW 0.00 | TOP OF WALL ELEVATION      |
| BW 0.00 | BOTTOM OF WALL ELEVATION   |
| TS 0.00 | TOP OF STAIRS ELEVATION    |
| BS 0.00 | BOTTOM OF STAIRS ELEVATION |
| TB 0.00 | TOP OF BENCH ELEVATION     |
| TR 0.00 | TOP OF RAMP ELEVATION      |
| BR 0.00 | BOTTOM OF RAMP ELEVATION   |
| BG 0.00 | BUILDING GRADE ELEVATION   |
| TF 0.00 | TOP OF FENCE ELEVATION     |
| TC 0.00 | TOP OF CURB ELEVATION      |
| 1%      | SLOPE AND DIRECTION        |



# PLANT IMAGES

## TREES



Arbutus menziesii  
Arbutus



Ginkgo biloba  
Maidenhair Tree



Magnolia accuminata  
Yellow Bird Magnolia



Quercus garryana  
Garry Oak

## SHRUBS



Gaultheria shallon  
Salal



Physocarpus opulifolius  
Ninebark



Rhododendron menziesii  
False Azalea



Rhododendron x 'Purple Gem'  
Purple Gem Rhododendron

## PERENNIALS, GRASSES, GROUNDCOVER



Adiantum venustum  
Evergreen Maidenhair Fern



Arctostaphylos uva-ursi  
Bearberry, Kinnikinnick



Blechnum spicant  
Deer Fern



Carex obnupta  
Slough Sedge



Deschampsia caespitosa 'Northern Light'  
Northern Lights Tufted Hair Grass



Juncus effusus  
Soft Common Rush



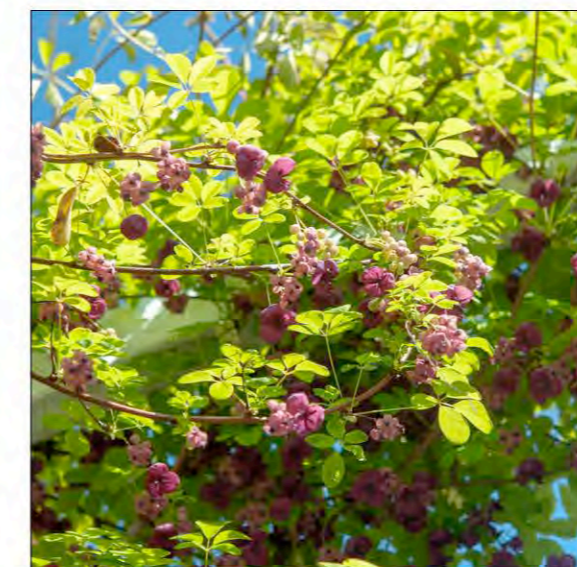
Leymus mollis  
Dune Grass



Oxalis oregana  
Rewood Sorrel



Polystichum munitum  
Western Sword Fern



Akebia quinata  
Chocolate Vine

NOTE: 30% OF PLANTS TO BE COMPOSED OF NATIVE PLANTS.

### GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.


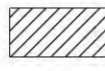
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.

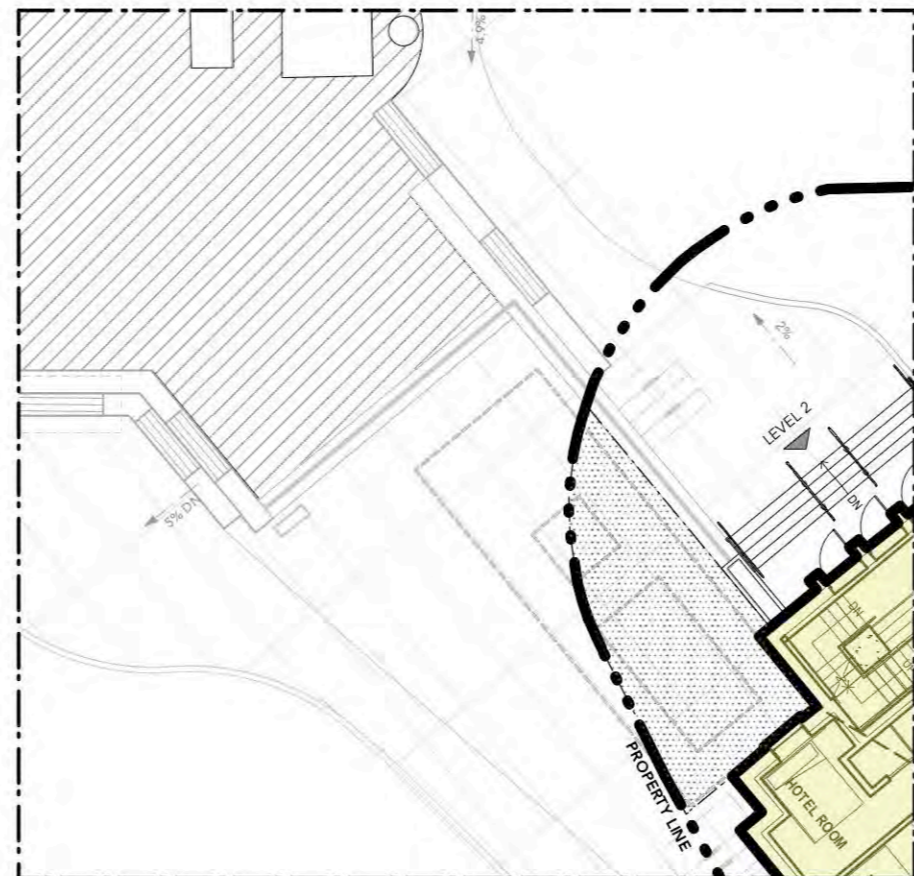


**GENERAL IRRIGATION NOTES:**

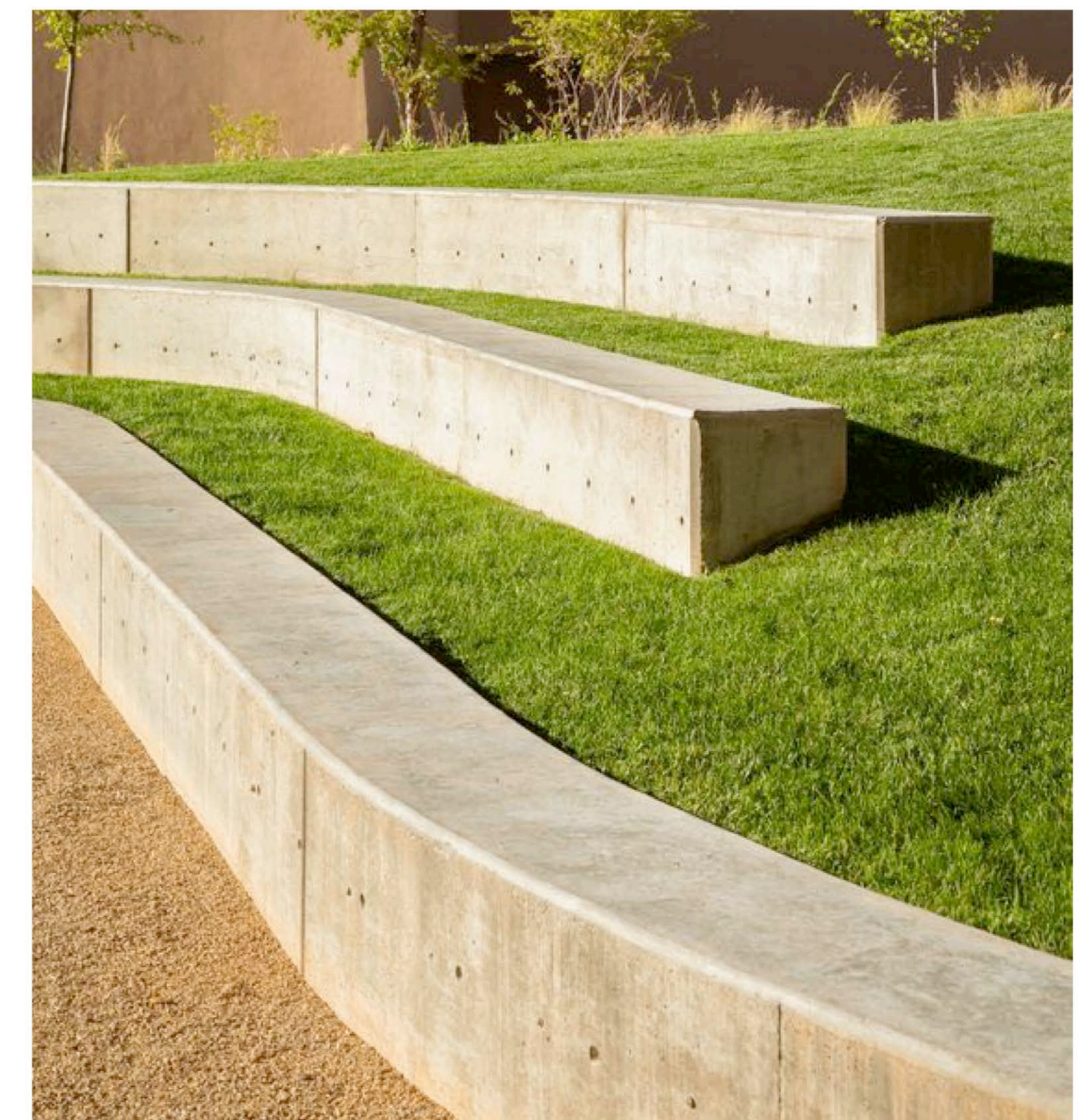
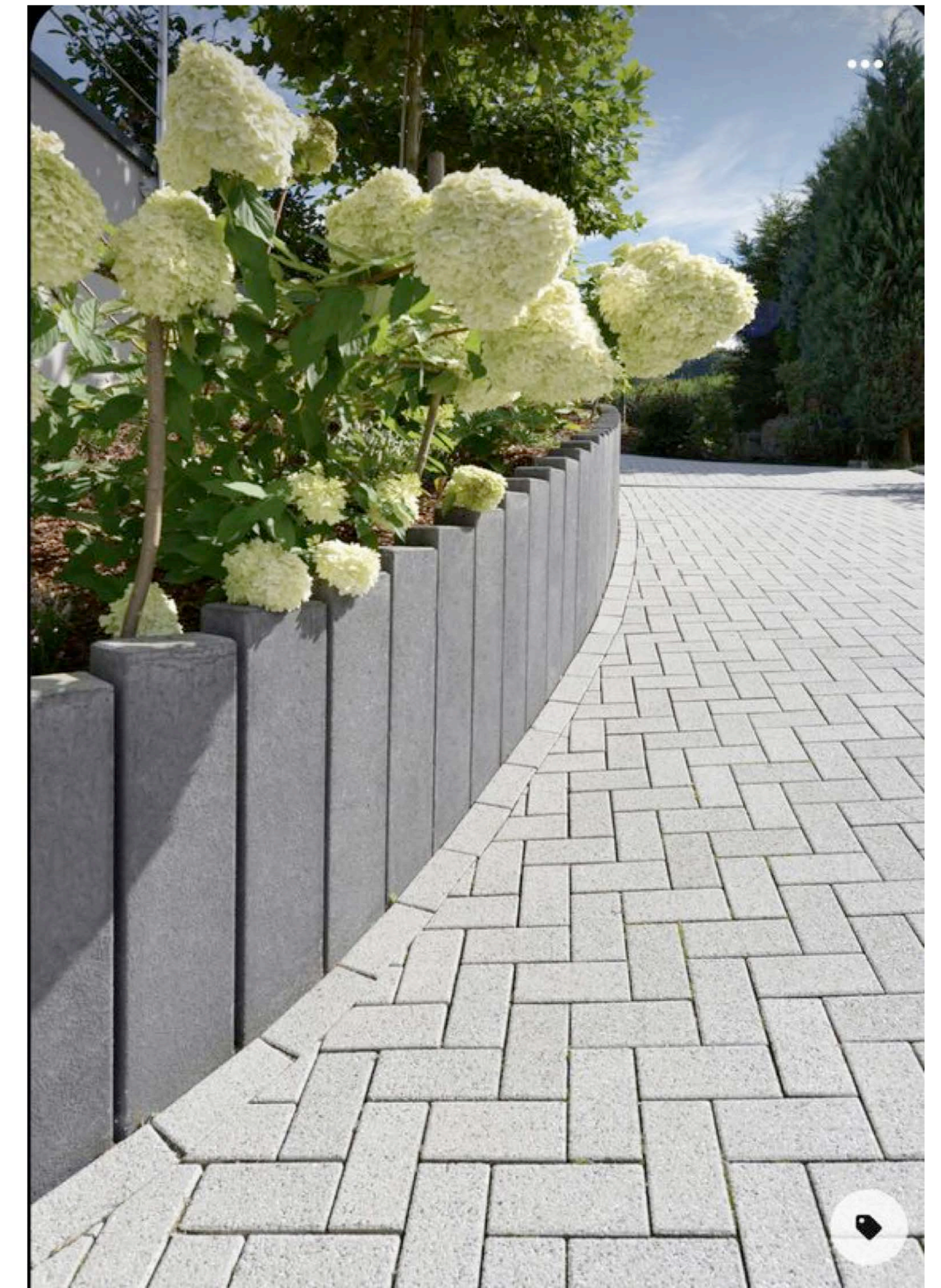
1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
3. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
7. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLTION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
10. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET. THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE CONSULTANT'S SPECIFICATIONS. THE LANDSCAPE OR GENERAL CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS A SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST BE COMPLIANT WITH ALL MUNICIPAL BYLAWS AND PROVINCIAL HEALTH AND BUILDING CODES.
12. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
14. ALL PIPE TO BE SCHEDULE 40.
15. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
16. INSTALL PRECISION SOIL SENSOR ON SYSTEM
17. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.
18. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 65PSI AND 18GPM.
19. THE SYSTEM SHALL INCLUDE A RAIN SENSOR.
20. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR
21. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
22. IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT.
23. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.

**IRRIGATION LEGEND**

| SYMBOL  | DESCRIPTION                                    |
|---|--|
|  | IRRIGATION SLEEVE FOR IRRIGATION CONDUIT       |
|  | RAISED / RECESSED PLANTER AREA TO BE IRRIGATED |

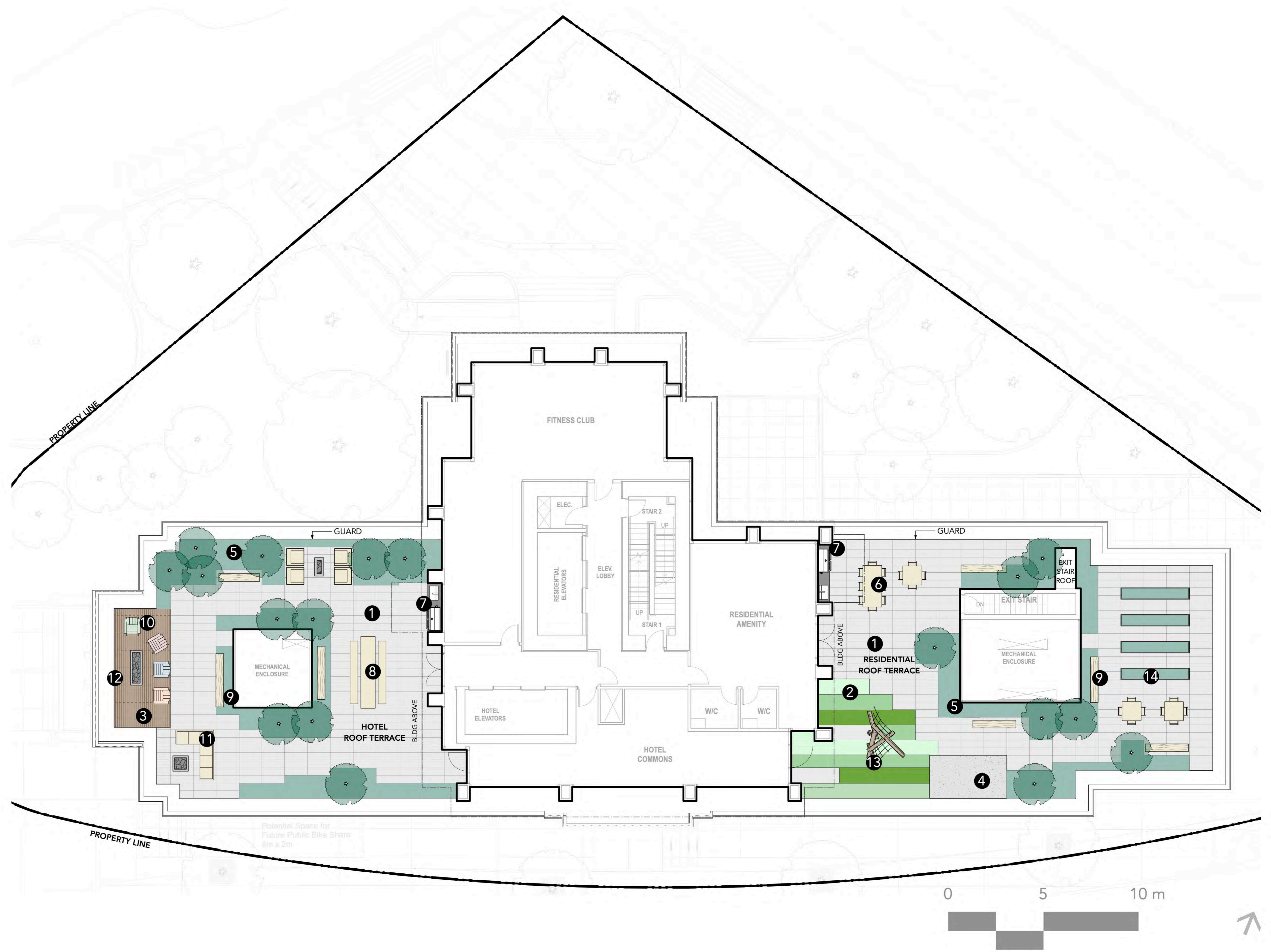


1 BC TRANSIT CHARGING EQUIPMENT PROVISION  
Scale: 1:200



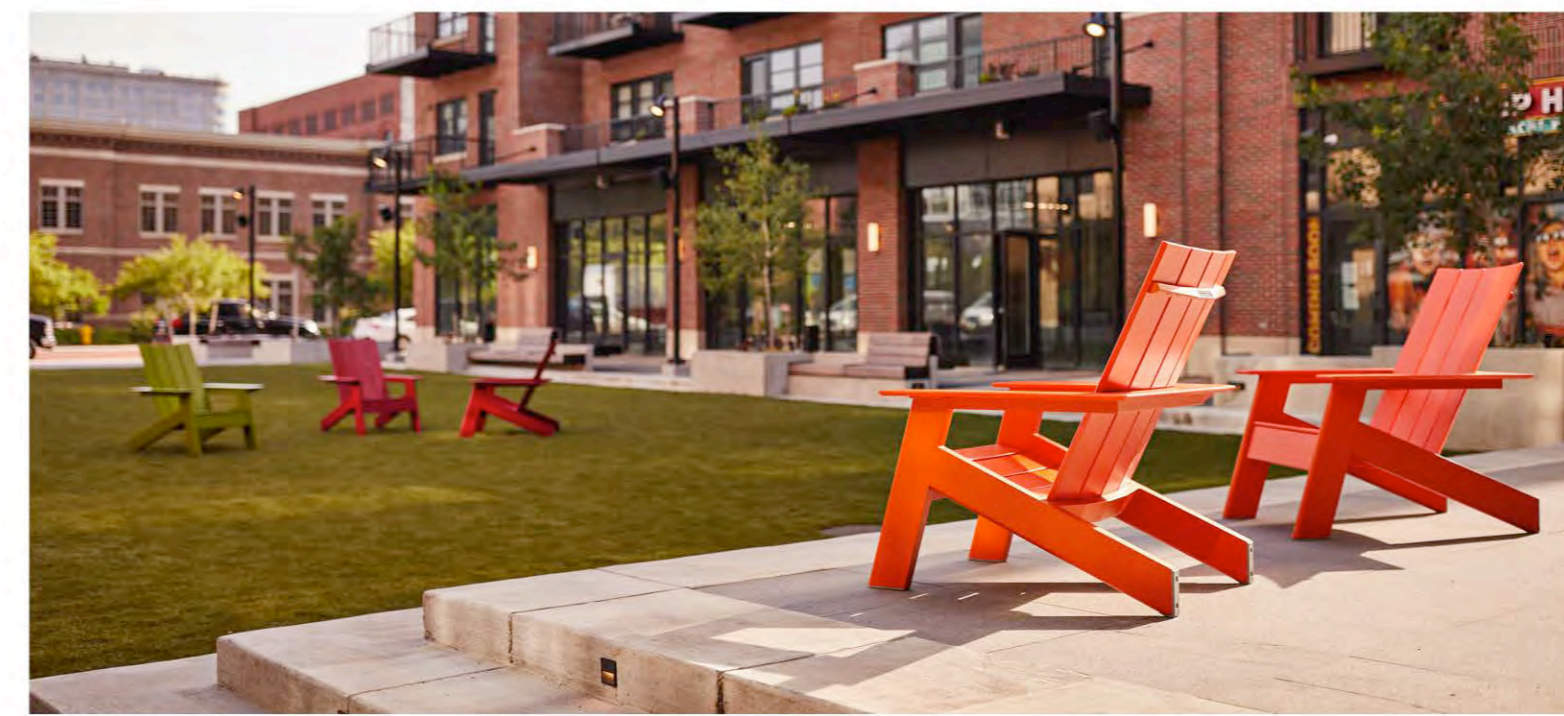
**LEGEND**

| SYMBOL | DESCRIPTION   |
|--------|---|
|        | 1 PAVING TYPE 3<br>Unit Pavers                        |
|        | 2 PAVING TYPE 4<br>PIP Rubber Surface                 |
|        | 3 PAVING TYPE 5<br>Thermally Modified Wood Decking    |
|        | 4 PAVING TYPE 6<br>Play Sand                          |
|        | 5 PLANTING TYPE 1<br>Garry Oak Ecosystem              |
|        | 6 MOVEABLE FURNITURE                                  |
|        | 7 BBQ AND OUTDOOR FOOD SERVICE<br>COUNTER             |
|        | 8 HARVEST TABLE                                       |
|        | 9 SEATING TYPE 1<br>Timber Bench                      |
|        | 10 SEATING TYPE 2<br>Coloured Americana Outdoor Chair |
|        | 11 SEATING TYPE 3<br>Outdoor Patio Furniture          |
|        | 12 FIRE PIT<br>Product TBD                            |
|        | 13 PLAY STRUCTURE                                     |
|        | 14 URBAN AGRICULTURE PLOTS<br>Product TBD             |

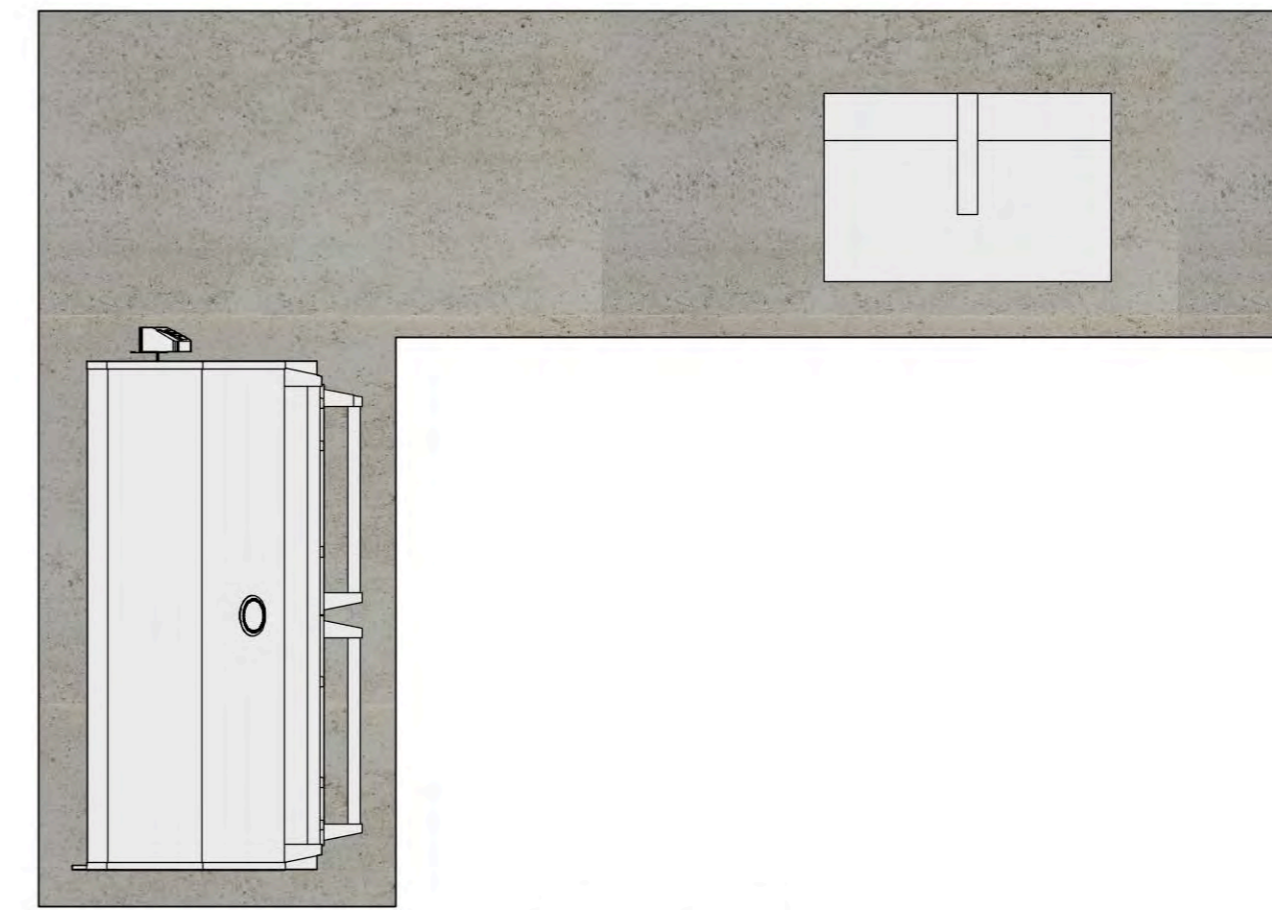




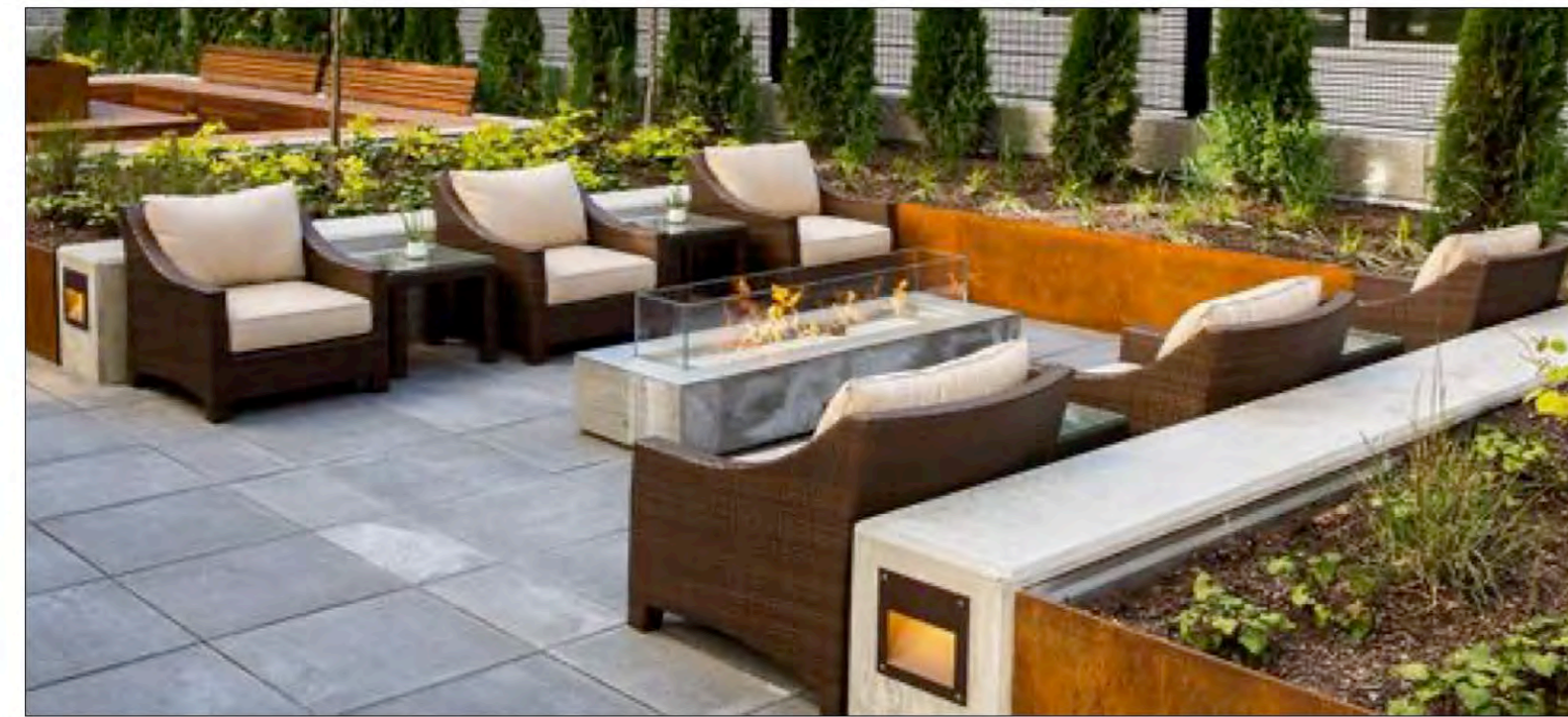
1) PRE-CAST CONCRETE PAVERS INTEGRATED WITH PLANTING



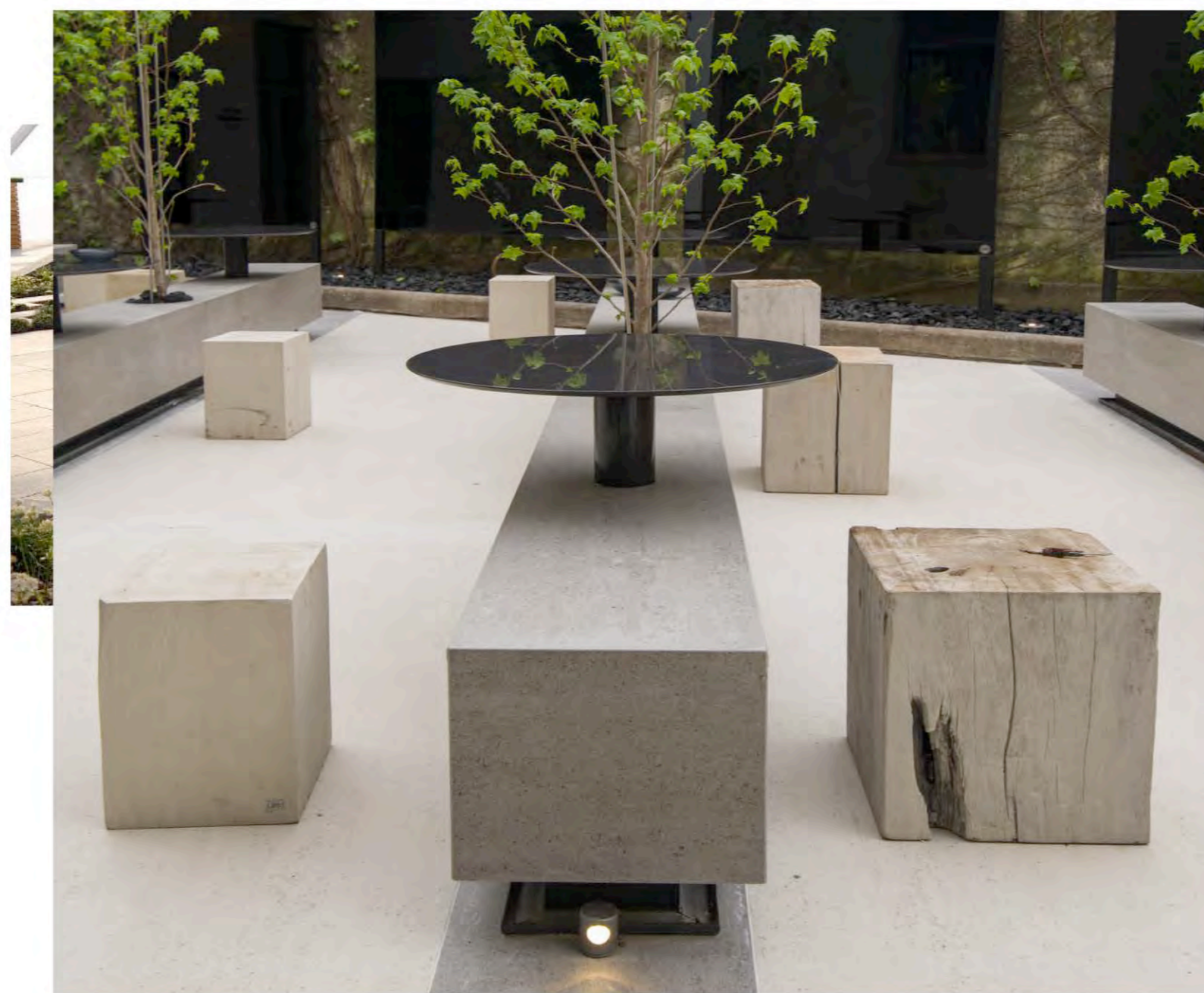
7) MOVEABLE OUTDOOR CHAIRS



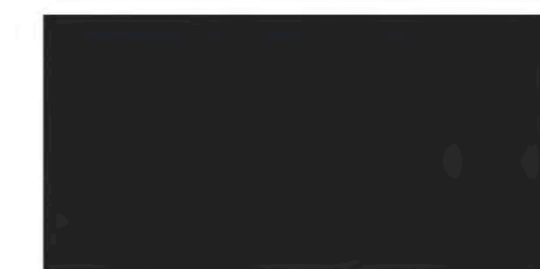
4) BBQ AND OUTDOOR FOOD SERVICE COUNTER



8) OUTDOOR PATIO FURNITURE



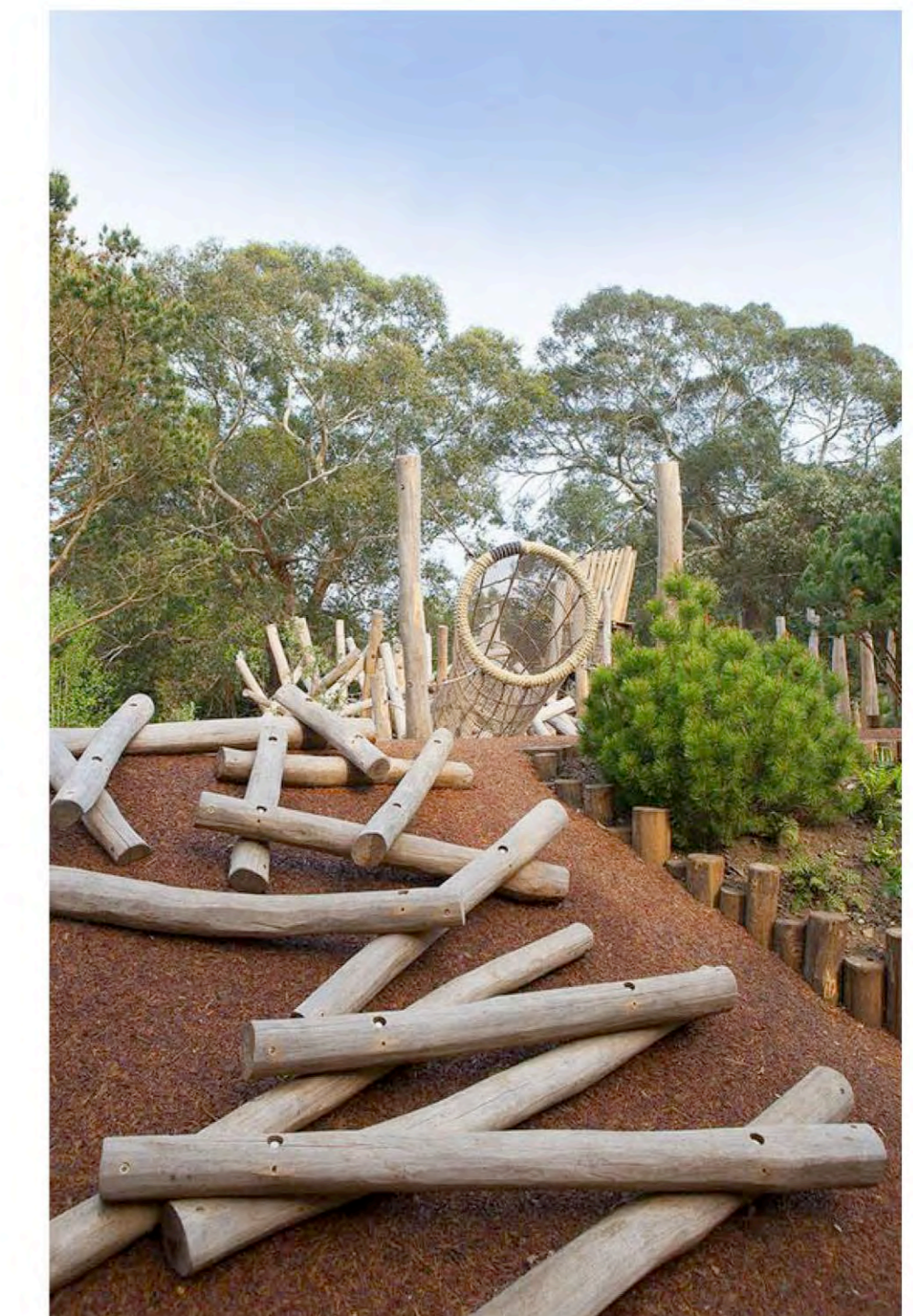
KEON – TECH COLLECTION BY DEKTON  
USED AS COUNTER TOP FOR OUTDOOR KITCHEN



DOMOOS – SOLID COLLECTION BY DEKTON  
USED UNDER THE COUNTER TO HIDE  
MECHANICS FROM BARBECUE AND SINK +  
SEATING AREA



2) PIP RUBBER SURFACE / SANDPLAY AREA



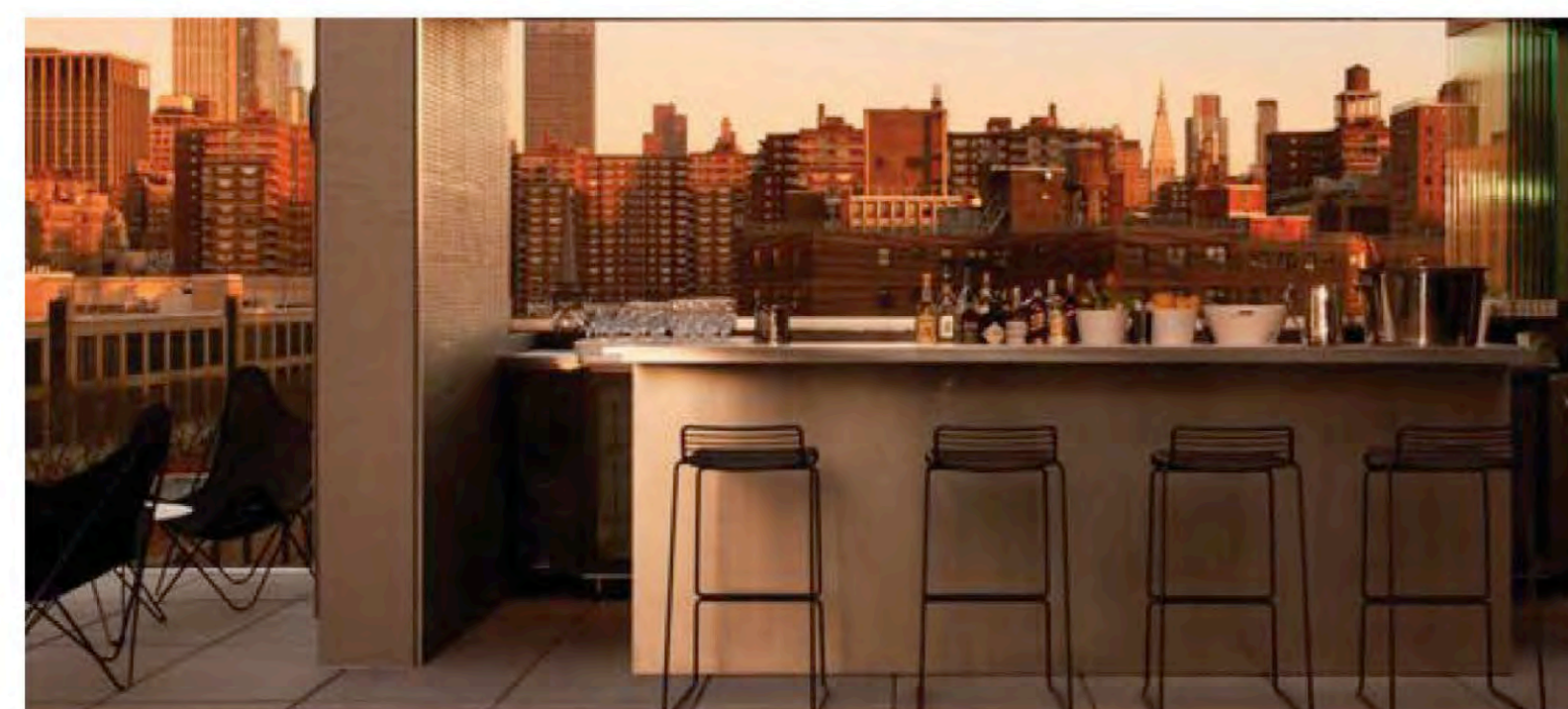
10) PLAYGROUND WOOD CLIMBING STRUCTURE



5) HARVEST TABLE



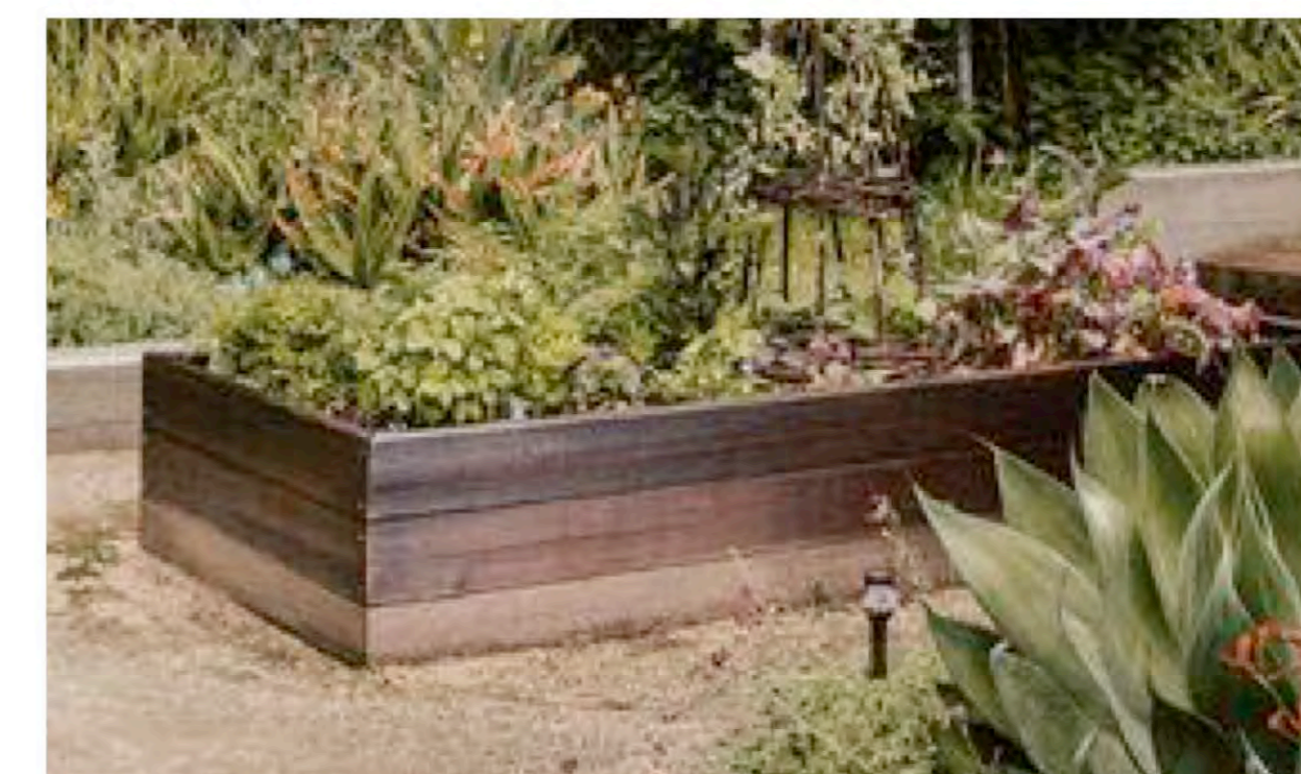
3) WOOD DECKING



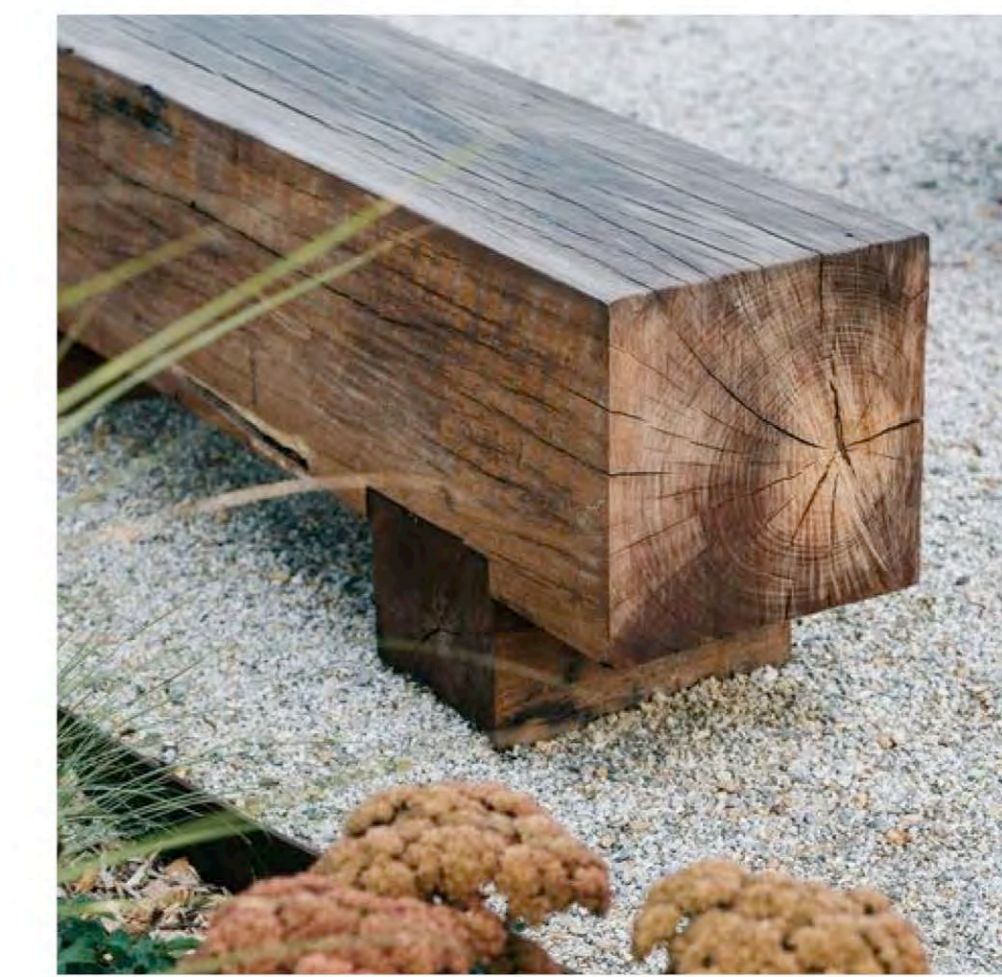
4) OUTDOOR BBQ + BAR STOOL SEATING



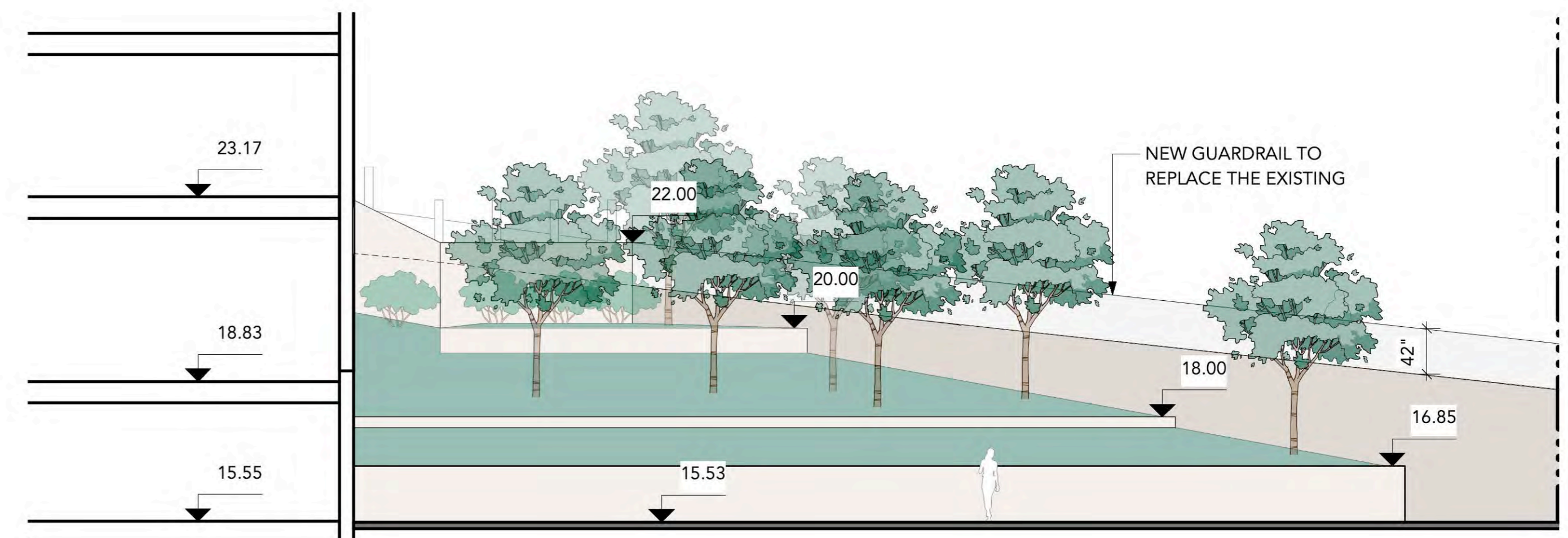
9) FIRE PIT



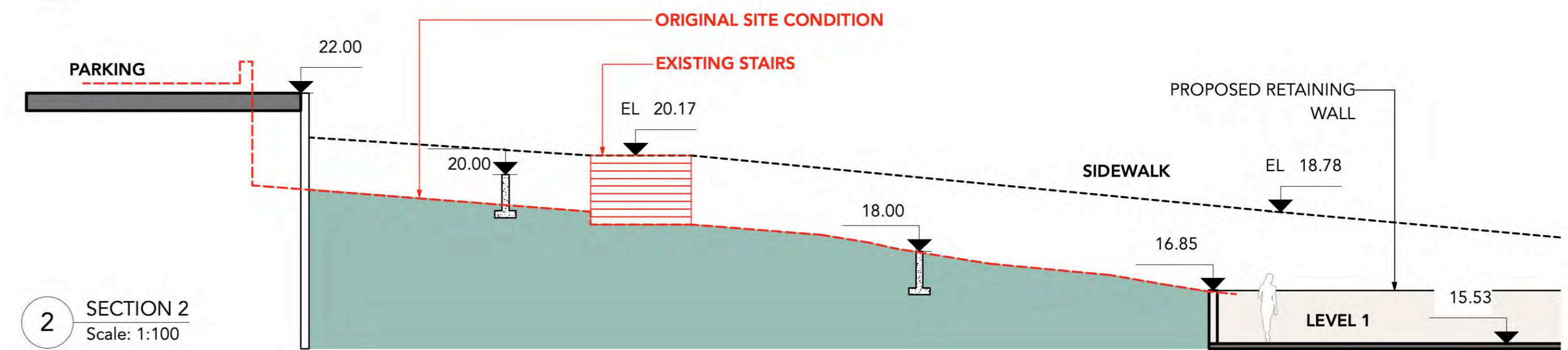
10) URBAN AGRICULTURE



6) TIMBER BENCH



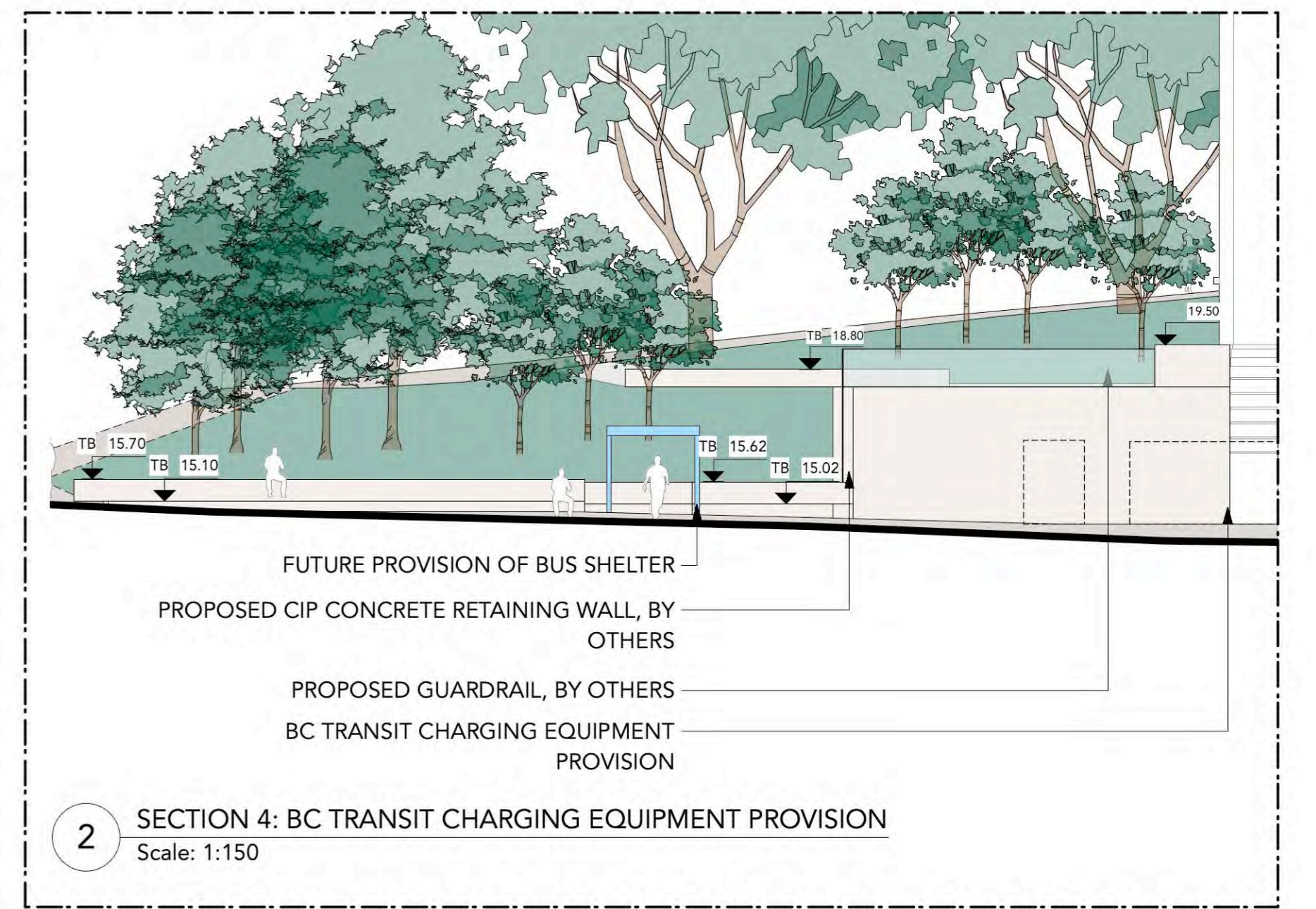
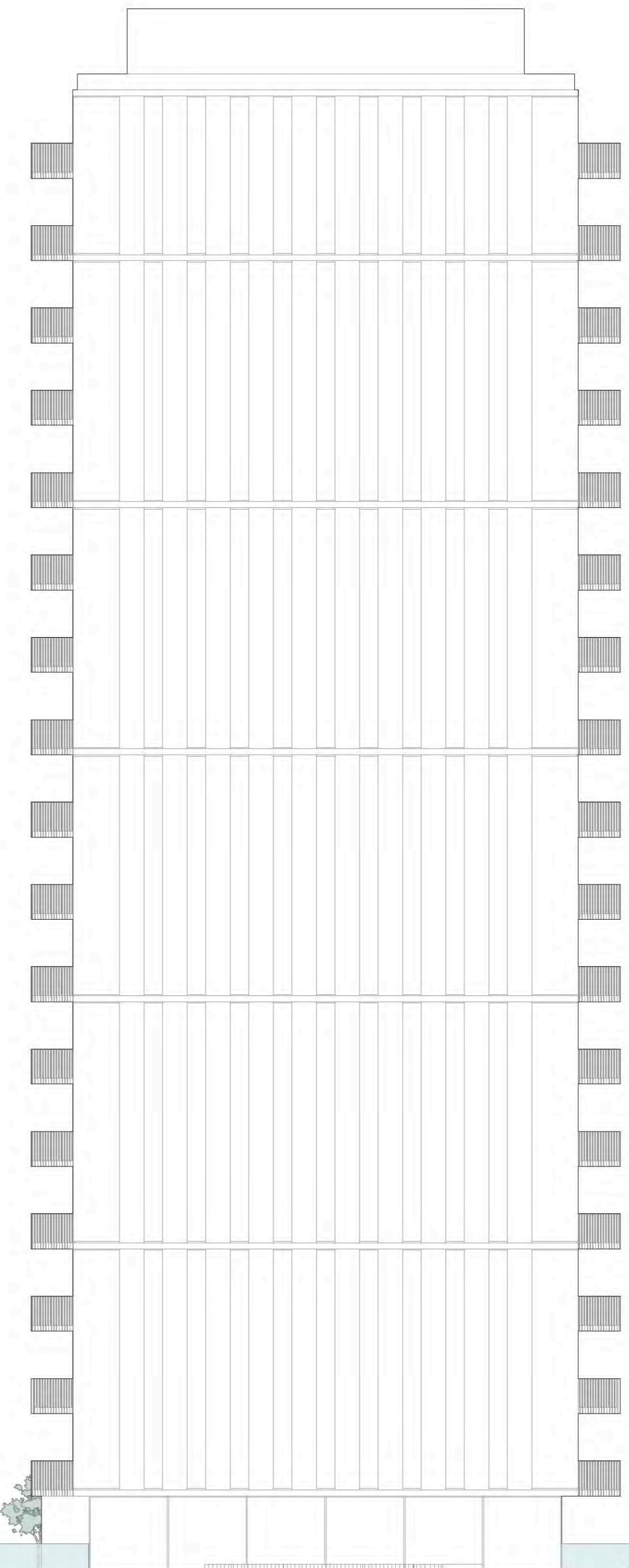
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Scale: 1:100



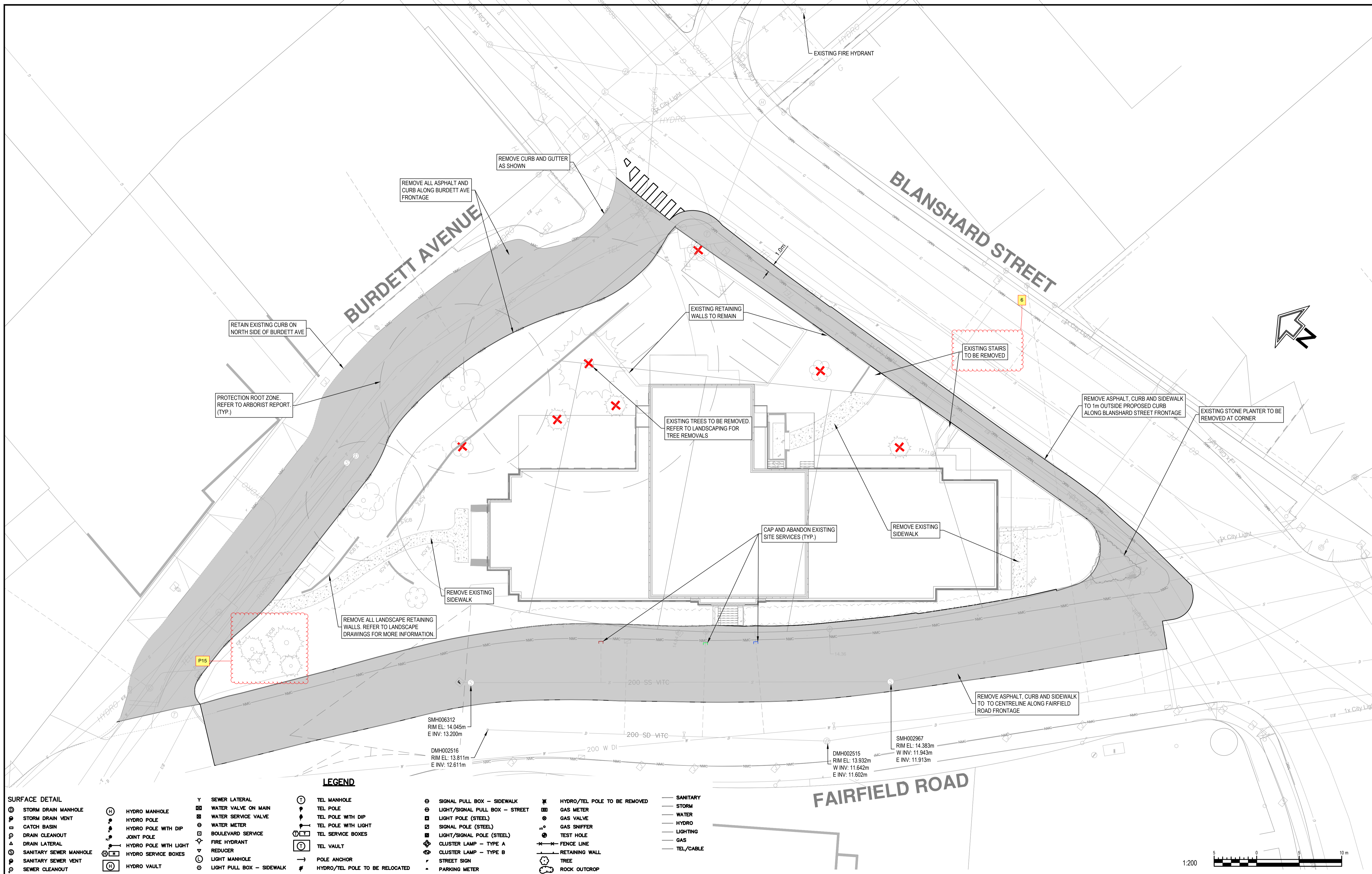
2 SECTION 2  
Scale: 1:100



3 SECTIONS 3  
Scale: 1:100







|   |   |  |   |  |   |   |
|---|---|--|---|--|---|---|
| SURFACE DETAIL<br>(S) STORM DRAIN MANHOLE<br>(V) STORM DRAIN VENT<br>(C) CATCH BASIN<br>(D) DRAIN CLEANOUT<br>(L) DRAIN LATERAL<br>(SM) SANITARY SEWER MANHOLE<br>(SV) SANITARY SEWER VENT<br>(SC) SEWER CLEANOUT<br>(HM) HYDRO MANHOLE<br>(HP) HYDRO POLE<br>(HWD) HYDRO POLE WITH DIP<br>(JP) JOINT POLE<br>(HWP) HYDRO POLE WITH LIGHT<br>(HSB) HYDRO SERVICE BOXES<br>(HV) HYDRO VAULT<br>(SL) SEWER LATERAL<br>(WV) WATER VALVE ON MAIN<br>(WVS) WATER SERVICE VALVE<br>(WM) WATER METER<br>(BS) BOULEVARD SERVICE<br>(FH) FIRE HYDRANT<br>(R) REDUCER<br>(LM) LIGHT MANHOLE<br>(LPS) LIGHT PULL BOX - SIDEWALK<br>(TP) TEL MANHOLE<br>(T) TEL POLE<br>(TDP) TEL POLE WITH DIP<br>(TDL) TEL POLE WITH LIGHT<br>(TSB) TEL SERVICE BOXES<br>(TV) TEL VAULT<br>(PA) POLE ANCHOR<br>(TR) HYDRO/TEL POLE TO BE RELOCATED<br>(SPBS) SIGNAL PULL BOX - SIDEWALK<br>(SPBS) LIGHT/SIGNAL PULL BOX - STREET<br>(LPS) LIGHT POLE (STEEL)<br>(LPS) SIGNAL POLE (STEEL)<br>(LPS) LIGHT/SIGNAL POLE (STEEL)<br>(CL) CLUSTER LAMP - TYPE A<br>(CL) CLUSTER LAMP - TYPE B<br>(SS) STREET SIGN<br>(PM) PARKING METER<br>(HT) HYDRO/TEL POLE TO BE REMOVED<br>(GM) GAS METER<br>(GV) GAS VALVE<br>(GS) GAS SNIFFER<br>(TH) TEST HOLE<br>(FL) FENCE LINE<br>(RW) RETAINING WALL<br>(T) TREE<br>(RO) ROCK OUTCROP<br>(S) SANITARY<br>(ST) STORM<br>(W) WATER<br>(H) HYDRO<br>(L) LIGHTING<br>(G) GAS<br>(TC) TEL/CABLE |   | <b>LEGEND</b><br>(S) STORM DRAIN MANHOLE<br>(V) STORM DRAIN VENT<br>(C) CATCH BASIN<br>(D) DRAIN CLEANOUT<br>(L) DRAIN LATERAL<br>(SM) SANITARY SEWER MANHOLE<br>(SV) SANITARY SEWER VENT<br>(SC) SEWER CLEANOUT<br>(HM) HYDRO MANHOLE<br>(HP) HYDRO POLE<br>(HWD) HYDRO POLE WITH DIP<br>(JP) JOINT POLE<br>(HWP) HYDRO POLE WITH LIGHT<br>(HSB) HYDRO SERVICE BOXES<br>(HV) HYDRO VAULT<br>(SL) SEWER LATERAL<br>(WV) WATER VALVE ON MAIN<br>(WVS) WATER SERVICE VALVE<br>(WM) WATER METER<br>(BS) BOULEVARD SERVICE<br>(FH) FIRE HYDRANT<br>(R) REDUCER<br>(LM) LIGHT MANHOLE<br>(LPS) LIGHT PULL BOX - SIDEWALK<br>(TP) TEL MANHOLE<br>(T) TEL POLE<br>(TDP) TEL POLE WITH DIP<br>(TDL) TEL POLE WITH LIGHT<br>(TSB) TEL SERVICE BOXES<br>(TV) TEL VAULT<br>(PA) POLE ANCHOR<br>(TR) HYDRO/TEL POLE TO BE RELOCATED<br>(SPBS) SIGNAL PULL BOX - SIDEWALK<br>(SPBS) LIGHT/SIGNAL PULL BOX - STREET<br>(LPS) LIGHT POLE (STEEL)<br>(LPS) SIGNAL POLE (STEEL)<br>(LPS) LIGHT/SIGNAL POLE (STEEL)<br>(CL) CLUSTER LAMP - TYPE A<br>(CL) CLUSTER LAMP - TYPE B<br>(SS) STREET SIGN<br>(PM) PARKING METER<br>(HT) HYDRO/TEL POLE TO BE REMOVED<br>(GM) GAS METER<br>(GV) GAS VALVE<br>(GS) GAS SNIFFER<br>(TH) TEST HOLE<br>(FL) FENCE LINE<br>(RW) RETAINING WALL<br>(T) TREE<br>(RO) ROCK OUTCROP<br>(S) SANITARY<br>(ST) STORM<br>(W) WATER<br>(H) HYDRO<br>(L) LIGHTING<br>(G) GAS<br>(TC) TEL/CABLE | COPYRIGHT:<br>THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC.<br>DISCLAIMER:<br>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.<br>THIS DRAWING IS NOT TO BE SCALED. | PROJECT NO:<br>221-03333-00<br>SCALE:<br>1:200<br>DISCIPLINE:<br>CIVIL                   | PROJECT:<br><b>780 BLANSHARD STREET</b><br><b>VICTORIA, BC</b><br>TITLE:<br><b>SITE AND DEMOLITION PLAN</b><br>DRAWING NO:<br><b>C01</b><br>SHEET NO:<br><b>1 OF 4</b><br>ISSUE:<br><b>FOR RE-ZONING/DEVELOPMENT PERMIT</b><br>2024/02/20<br>ISS REV:<br><b>2</b> |   |
| ISSREV<br>YYY-MM-DD<br>DESCRIPTION<br>DES<br>DRN<br>CHK<br>PM   | 2<br>2024/02/20<br>ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT<br>JCS<br>SG<br>JCS<br>JCS | 1<br>2023/03/15<br>ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT<br>BH<br>SG<br>JCS<br>BH  | 0<br>2022/05/20<br>ISSUED FOR RE-ZONING<br>BH<br>SG<br>JCS<br>BH  | SEAL:<br><br>2024-02-21<br>Engineers and Geoscientists BC<br>Permit to Practice #1000200 | CLIENT:<br><b>RELIANCE PROPERTIES</b><br>CLIENT REF. NO.:   | <br>301-3600 Uptown Blvd<br>Victoria BC, Canada<br>V8Z 0B9<br>T: 1-250-384-5050<br>F: 1-250-386-2844<br>wsp.com |

**ENGINEERING NOTES:**

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MMCD) PLATINUM EDITION, AND THESE DRAWINGS.
2. ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
3. PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. CONTACT BC-1 (1-800-474-6886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
7. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
8. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
9. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
10. CITY CREWS TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE, AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CREW, AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVICING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDRO/TEL/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
13. UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TEL DRAWINGS AND SPECIFICATIONS.
14. OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
15. STREETS SHALL BE SWEEPED CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
16. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
17. DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MMCD AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
19. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND ARTERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3:00 PM.
20. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
21. ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
22. COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
23. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
24. FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
25. CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.
26. ASPHALT TO BE REPLACED FULL DEPTH TO ROAD CENTERLINE ON ALL FRONTAGES.

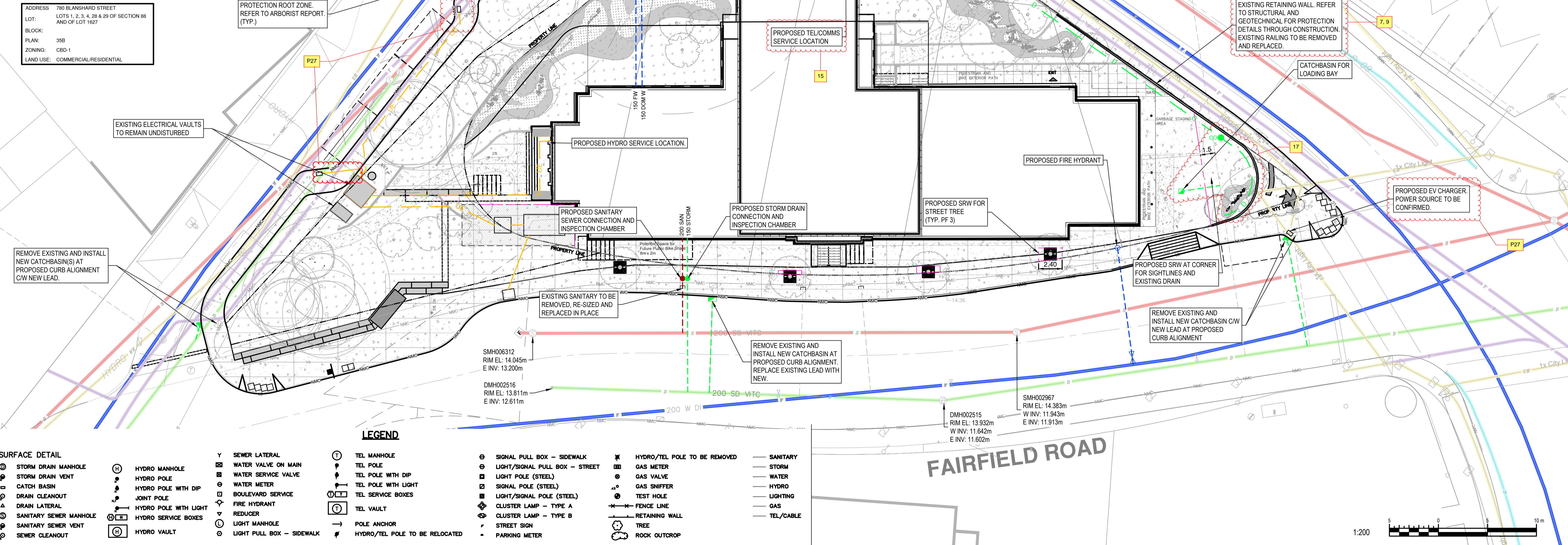
| UNDERGROUND SERVICE INFORMATION |   |  |
|---------------------------------|---|--|
| INFORMATION IS AT PROPERTY LINE | STORM DRAIN   | SANITARY DRAIN   |
| PROPOSED DEPTH (m)              | -x.xx   | -x.xx  |
| PROPOSED INVERT ELEVATION (m)   | xx.xx   | xx.xx  |
| MAXIMUM DEPTH REQUESTED (m)     | <input type="checkbox"/> YES<br><input type="checkbox"/> NO | <input checked="" type="checkbox"/> YES<br><input type="checkbox"/> NO |

| SERVICE        | ESTIMATED SIZE | UTILITY PROVIDER | INSTALLATION FORCES | COST(S)       |
|----------------|----------------|------------------|---------------------|---------------|
| WATER          | 150mm          | City of Victoria | City of Victoria    | At Cost       |
| SANITARY       | 150mm          | City of Victoria | City of Victoria    | At Cost       |
| STORM DRAIN    | 150mm          | City of Victoria | City of Victoria    | At Cost       |
| GAS            | 2Unconfirmed   | Fortis           | Utility Contractor  | Based on Size |
| HYDRO          | 2Unconfirmed   | BC Hydro         | Utility Contractor  | Based on Size |
| COMMUNICATIONS | 2Unconfirmed   | Telus/Shaw       | Utility Contractor  | Based on Size |

City of Victoria Schedule of fees for Service Connections Provided in Appendix A  
Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

| WORKS AND SERVICES CHECK TABLE         |                           |           |      |
|--|---------------------------|-----------|------|
| PLAN CHECKER                           | AUTHORIZED REPRESENTATIVE |           | DATE |
|  | NAME                      | SIGNATURE |      |
| BC HYDRO                               |                           |           |      |
| TELUS                                  |                           |           |      |
| FORTIS BC                              |                           |           |      |
| SHAW                                   |                           |           |      |
| MUNICIPAL                              |                           |           |      |
| UNDERGROUND UTILITIES                  |                           |           |      |
| TRANSPORTATION DESIGN & INFRASTRUCTURE |                           |           |      |
| LAND DEVELOPMENT                       |                           |           |      |

ADDRESS: 780 BLANSHARD STREET  
LOT: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627  
BLOCK:  
PLAN: 35B  
ZONING: CBD-1  
LAND USE: COMMERCIAL/RESIDENTIAL



| SURFACE DETAIL |                        | LEGEND |                                |
|----------------|------------------------|--------|--------------------------------|
| ⊕              | STORM DRAIN MANHOLE    | ⊕      | SEWER LATERAL                  |
| ⊕              | STORM DRAIN VENT       | ⊕      | WATER VALVE ON MAIN            |
| ⊕              | CATCH BASIN            | ⊕      | WATER SERVICE VALVE            |
| ⊕              | DRAIN CLEANOUT         | ⊕      | WATER METER                    |
| ⊕              | DRAIN LATERAL          | ⊕      | BOULEVARD SERVICE              |
| ⊕              | SANITARY SEWER MANHOLE | ⊕      | FIRE HYDRANT                   |
| ⊕              | SANITARY SEWER VENT    | ⊕      | REDUCER                        |
| ⊕              | SEWER CLEANOUT         | ⊕      | LIGHT MANHOLE                  |
| ⊕              |                        | ⊕      | LIGHT PULL BOX - SIDEWALK      |
| ⊕              |                        | ⊕      | TEL MANHOLE                    |
| ⊕              |                        | ⊕      | TEL POLE                       |
| ⊕              |                        | ⊕      | TEL POLE WITH DIP              |
| ⊕              |                        | ⊕      | TEL POLE WITH LIGHT            |
| ⊕              |                        | ⊕      | TEL SERVICE BOXES              |
| ⊕              |                        | ⊕      | TEL VAULT                      |
| ⊕              |                        | ⊕      | POLE ANCHOR                    |
| ⊕              |                        | ⊕      | HYDRO/TEL POLE TO BE RELOCATED |
| ⊕              |                        | ⊕      | SIGNAL PULL BOX - SIDEWALK     |
| ⊕              |                        | ⊕      | LIGHT/SIGNAL PULL BOX - STREET |
| ⊕              |                        | ⊕      | LIGHT POLE (STEEL)             |
| ⊕              |                        | ⊕      | SIGNAL POLE (STEEL)            |
| ⊕              |                        | ⊕      | LIGHT/SIGNAL POLE (STEEL)      |
| ⊕              |                        | ⊕      | CLUSTER LAMP - TYPE A          |
| ⊕              |                        | ⊕      | CLUSTER LAMP - TYPE B          |
| ⊕              |                        | ⊕      | RETAINING WALL                 |
| ⊕              |                        | ⊕      | TREE                           |
| ⊕              |                        | ⊕      | ROCK OUTCROP                   |
| ⊕              |                        | ⊕      | HYDRO/TEL POLE TO BE REMOVED   |
| ⊕              |                        | ⊕      | GAS METER                      |
| ⊕              |                        | ⊕      | GAS VALVE                      |
| ⊕              |                        | ⊕      | GAS SNIFFER                    |
| ⊕              |                        | ⊕      | TEST HOLE                      |
| ⊕              |                        | ⊕      | FENCE LINE                     |
| ⊕              |                        | ⊕      | SANITARY                       |
| ⊕              |                        | ⊕      | STORM                          |
| ⊕              |                        | ⊕      | WATER                          |
| ⊕              |                        | ⊕      | HYDRO                          |
| ⊕              |                        | ⊕      | LIGHTING                       |
| ⊕              |                        | ⊕      | GAS                            |
| ⊕              |                        | ⊕      | TEL/CABLE                      |

| ISSREV | YYYY-MM-DD | DESCRIPTION                             | DES | DRN | CHK | PM  |
|--------|------------|---|-----|-----|-----|-----|
| 2      | 2024/02/20 | ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT | JCS | SG  | JCS | JCS |
| 1      | 2023/03/15 | ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT | BH  | SG  | JCS | BH  |
| 0      | 2022/05/20 | ISSUED FOR RE-ZONING                    | BH  | SG  | JCS | BH  |

SEAL:

2024-02-21  
Engineers and Geoscientists BC  
Permit to Practice #1000200

CLIENT: RELIANCE PROPERTIES

CLIENT REF. NO: \_\_\_\_\_

301-3600 Uptown Blvd  
Victoria BC, Canada  
V8Z 0B9  
T: 1-250-384-5550  
F: 1-250-386-2844  
wsp.com

PROJECT: 780 BLANSHARD STREET  
VICTORIA, BC

PROJECT NO: 221-03333-00  
SCALE: 1:200  
DISCIPLINE: CIVIL

TITLE: CONCEPTUAL CIVIL SERVICING PLAN

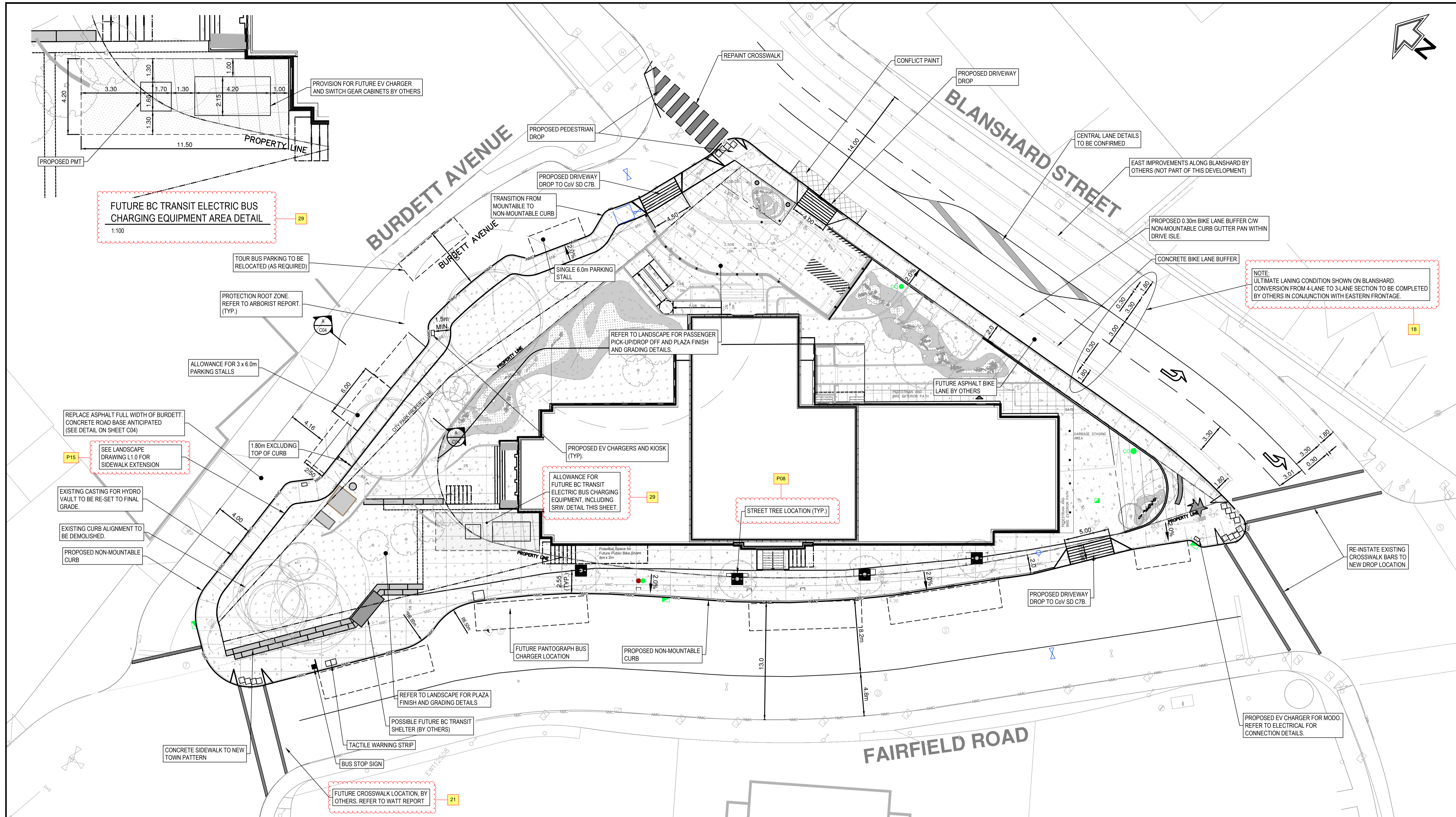
DRAWING NO: C02

SHEET NO: 2 OF 4

ISSUE: FOR RE-ZONING/DEVELOPMENT PERMIT

ISSREV: 2

DATE: 2024/02/20

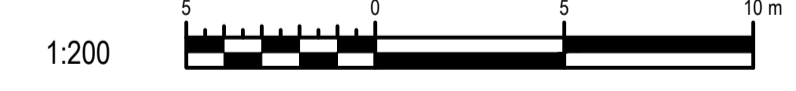


**FUTURE BC TRANSIT ELECTRIC BUS CHARGING EQUIPMENT AREA DETAIL**  
1:100

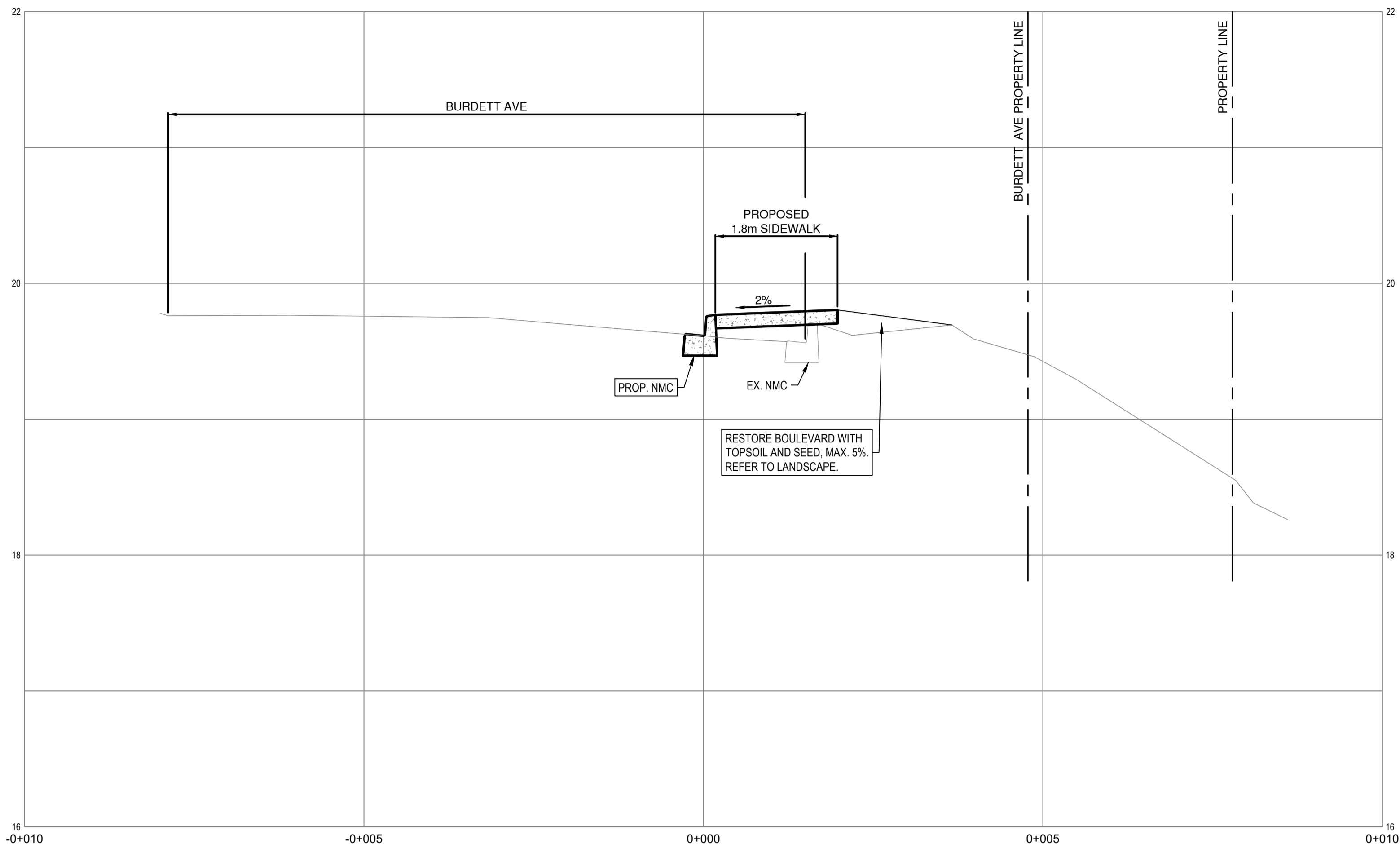
**NOTE:**  
ULTIMATE LANE CONDITION SHOWN ON BLANSHARD. CONVERSION FROM 4-LANE TO 3-LANE SECTION TO BE COMPLETED BY OTHERS IN CONJUNCTION WITH EASTERN FRONTAGE.

**LEGEND**

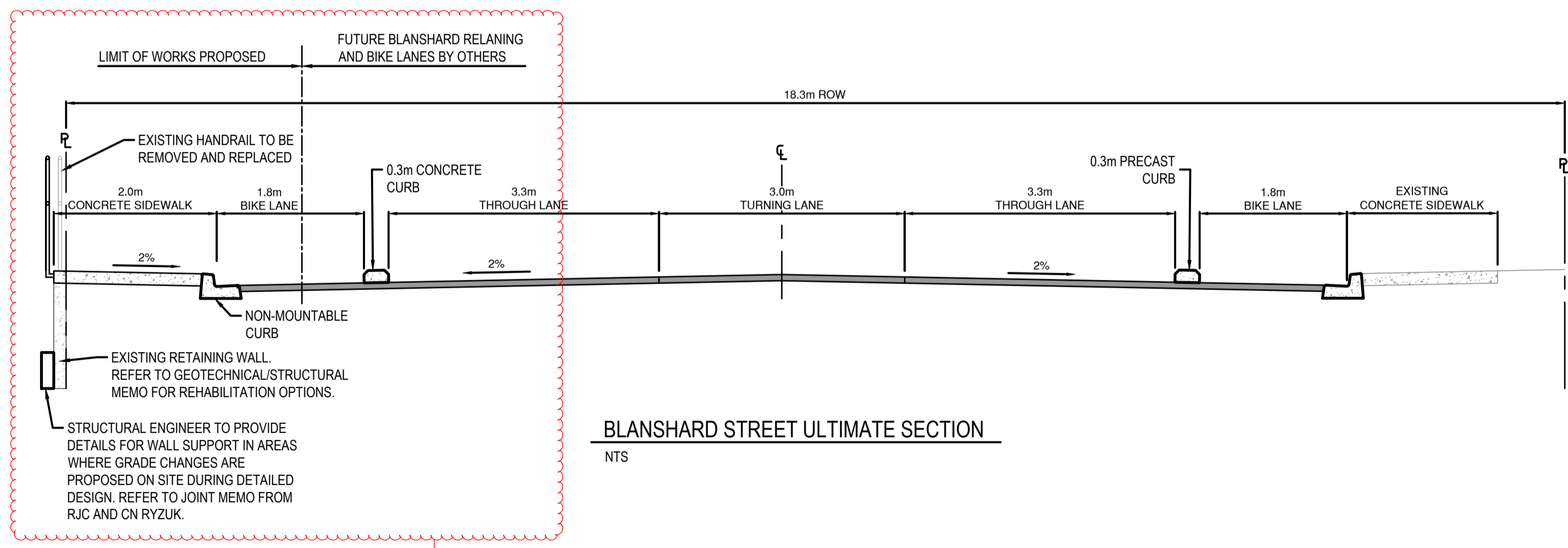
- |   |   |  |  |  |  |
|---|---|--|--|--|--|
| <p><b>SURFACE DETAIL</b></p> <ul style="list-style-type: none"> <li>⊕ STORM DRAIN MANHOLE</li> <li>⊕ STORM DRAIN VENT</li> <li>⊕ CATCH BASIN</li> <li>⊕ DRAIN CLEANOUT</li> <li>⊕ DRAIN LATERAL</li> <li>⊕ SANITARY SEWER MANHOLE</li> <li>⊕ SANITARY SEWER VENT</li> <li>⊕ SEWER CLEANOUT</li> </ul> | <ul style="list-style-type: none"> <li>⊕ HYDRO MANHOLE</li> <li>⊕ HYDRO POLE</li> <li>⊕ HYDRO POLE WITH DIP</li> <li>⊕ JOINT POLE</li> <li>⊕ HYDRO POLE WITH LIGHT</li> <li>⊕ HYDRO SERVICE BOXES</li> <li>⊕ HYDRO VAULT</li> </ul> | <ul style="list-style-type: none"> <li>Y SEWER LATERAL</li> <li>⊕ WATER VALVE ON MAIN</li> <li>⊕ WATER SERVICE VALVE</li> <li>⊕ WATER METER</li> <li>⊕ BOULEVARD SERVICE</li> <li>⊕ FIRE HYDRANT</li> <li>⊕ REDUCER</li> <li>⊕ LIGHT MANHOLE</li> <li>⊕ LIGHT PULL BOX - SIDEWALK</li> </ul> | <ul style="list-style-type: none"> <li>⊕ TEL MANHOLE</li> <li>⊕ TEL POLE</li> <li>⊕ TEL POLE WITH DIP</li> <li>⊕ TEL POLE WITH LIGHT</li> <li>⊕ TEL SERVICE BOXES</li> <li>⊕ TEL VAULT</li> <li>⊕ POLE ANCHOR</li> <li>⊕ HYDRO/TEL POLE TO BE RELOCATED</li> </ul> | <ul style="list-style-type: none"> <li>⊕ SIGNAL PULL BOX - SIDEWALK</li> <li>⊕ LIGHT/SIGNAL PULL BOX - STREET</li> <li>⊕ LIGHT POLE (STEEL)</li> <li>⊕ SIGNAL POLE (STEEL)</li> <li>⊕ LIGHT/SIGNAL POLE (STEEL)</li> <li>⊕ CLUSTER LAMP - TYPE A</li> <li>⊕ CLUSTER LAMP - TYPE B</li> <li>⊕ STREET SIGN</li> <li>⊕ PARKING METER</li> </ul> | <ul style="list-style-type: none"> <li>⊕ HYDRO/TEL POLE TO BE REMOVED</li> <li>⊕ GAS METER</li> <li>⊕ GAS VALVE</li> <li>⊕ GAS SNIFFER</li> <li>⊕ TEST HOLE</li> <li>⊕ FENCE LINE</li> <li>⊕ RETAINING WALL</li> <li>⊕ TREE</li> <li>⊕ ROCK OUTCROP</li> </ul> |
|---|---|--|--|--|--|



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|---|---|---|------------|-------------|-----|-----|-----|----|---|------------|---|-----|----|-----|-----|---|------------|---|----|----|-----|----|---|------------|----------------------------------|----|----|-----|----|---|--|---|---|--|
| ISSREV  | YYYY-MM-DD  | DESCRIPTION                             | DES        | DRN         | CHK | PM  |     |    |   |            |   |     |    |     |     |   |            |   |    |    |     |    |   |            |                                  |    |    |     |    |   |  |   |   |  |
| 2   | 2024/02/20  | ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT | JCS        | SG          | JCS | JCS |     |    |   |            |   |     |    |     |     |   |            |   |    |    |     |    |   |            |                                  |    |    |     |    |   |  |   |   |  |
| 1   | 2023/03/15  | ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT | BH         | SG          | JCS | BH  |     |    |   |            |   |     |    |     |     |   |            |   |    |    |     |    |   |            |                                  |    |    |     |    |   |  |   |   |  |
| 0   | 2022/05/20  | FOR RE-ZONING/DEVELOPMENT PERMIT        | BH         | SG          | JCS | BH  |     |    |   |            |   |     |    |     |     |   |            |   |    |    |     |    |   |            |                                  |    |    |     |    |   |  |   |   |  |

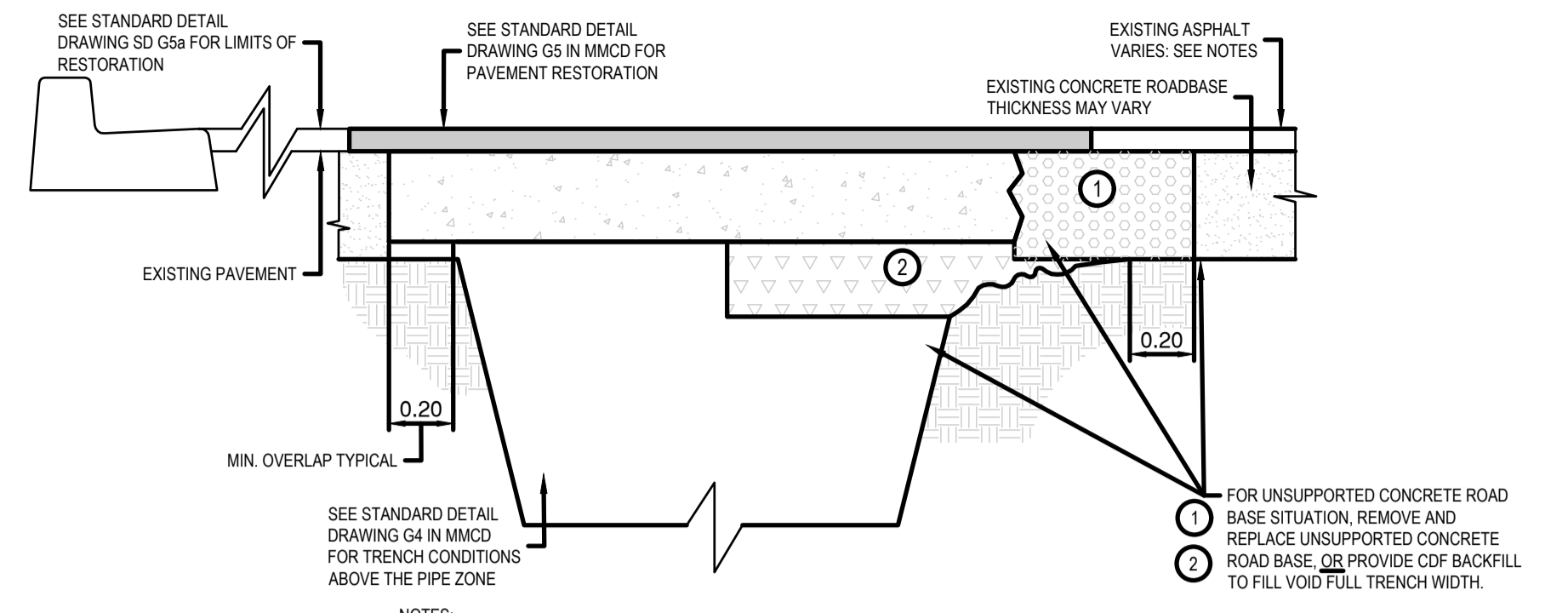


**A** EXISTING BURDETT AVE SECTION  
C03 H 1:50 V 1:25



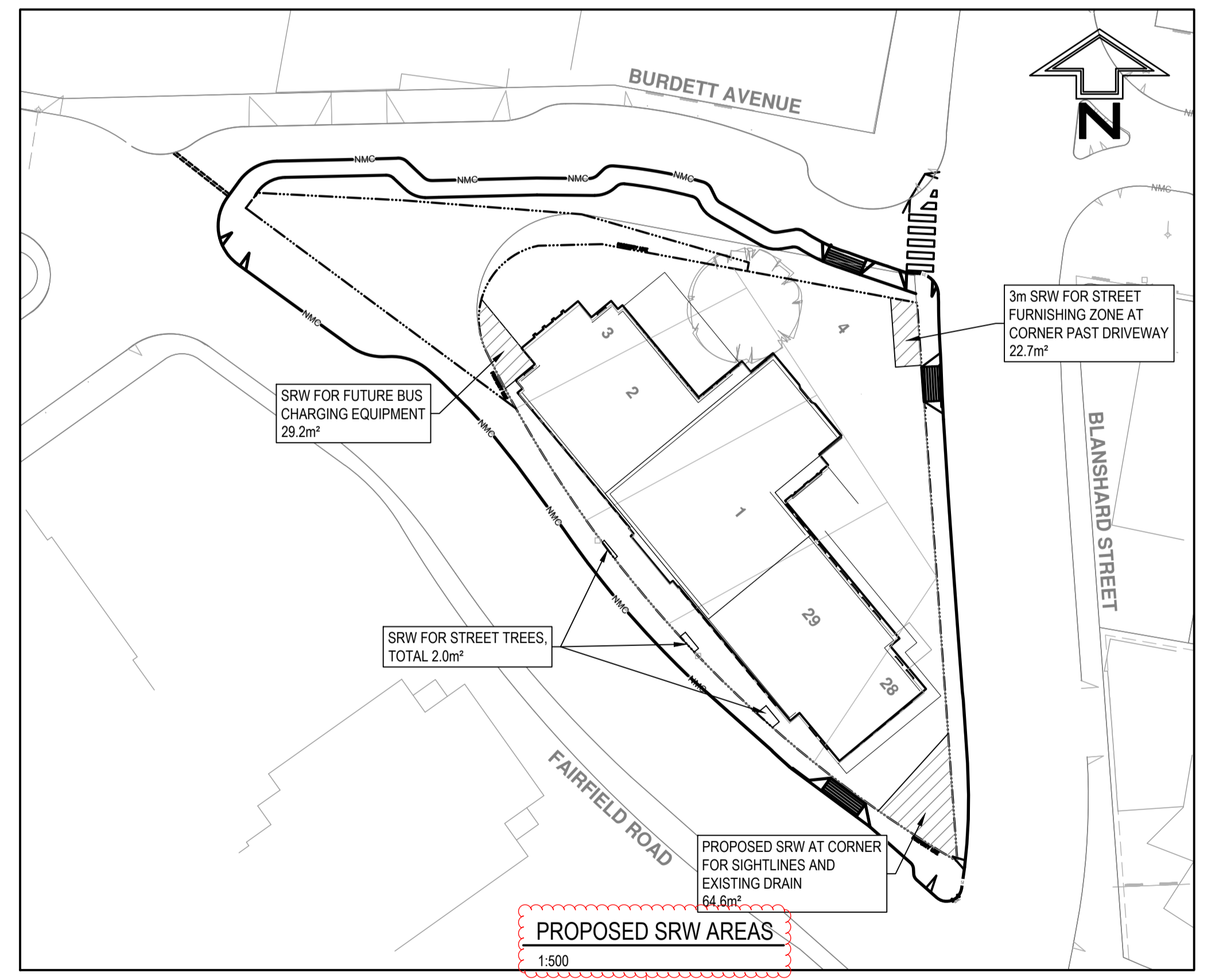
**BLANSHARD STREET ULTIMATE SECTION**  
NTS

6, 7, 9, 10, 11, 14, 16



- NOTES:
- IF PAVEMENT THICKNESS IS 150mm OR LESS, REPLACE CONCRETE ROAD BASE UP TO EXISTING PAVEMENT LOWER LEVEL.
  - IF PAVEMENT THICKNESS IS GREATER THAN 150mm REPLACE CONCRETE ROAD BASE UP TO A LEVEL OF 150mm BELOW THE SURFACE OF EXISTING PAVEMENT.
  - MUNICIPALITY MAY REQUEST FURTHER ASPHALT REMOVAL DEPENDING ON PAVEMENT CONDITIONS.
  - REFER TO CONTRACT DRAWINGS FOR DETAILED SPECIFICATIONS.
  - RESTORE CONCRETE ROAD BASE TO 200mm THICKNESS.
  - DOWEL NEW CONCRETE ROAD BASE INTO EXISTING AT THE DISCRETION OF THE CITY ENGINEER.

**TRENCH RESTORATION FOR CONCRETE ROAD BASE**  
1:20  
CoV SD G5b



**PROPOSED SRW AREAS**  
1:500

|                                   |            |   |                |
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| ISS/REV                           | YYYY-MM-DD | DESCRIPTION   | DES DRN CHK PM |
| 2                                 | 2024/02/20 | ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT   | JCS SG JCS JCS |
| 1                                 | 2023/03/15 | ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT   | BH SG JCS BH   |
| 0                                 | 2022/05/20 | FOR RE-ZONING/DEVELOPMENT PERMIT  | BH SG JCS BH   |

SEAL:

2024-02-21

Engineers and Geoscientists BC  
Permit to Practice #1000200

CLIENT:

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wsp.com

PROJECT:

**780 BLANSHARD STREET**  
**VICTORIA, BC**

PROJECT NO:  
221-03333-00

SCALE:  
AS NOTED

DISCIPLINE:  
**CIVIL**

TITLE:

**SECTIONS AND DETAILS**

DRAWING NO:  
**C04**

SHEET NO:  
4 OF 4

ISSUE:  
**FOR RE-ZONING/DEVELOPMENT PERMIT**

ISSUE DATE:  
2024/02/20

ISS/REV:  
**2**