

Commercial and Self-Storage Development

2300 Douglas Street, Victoria, BC

BG DOUGLAS VENTURES INC.



Original Submission

Received Date:
July 7, 2025



Final Approved Plans

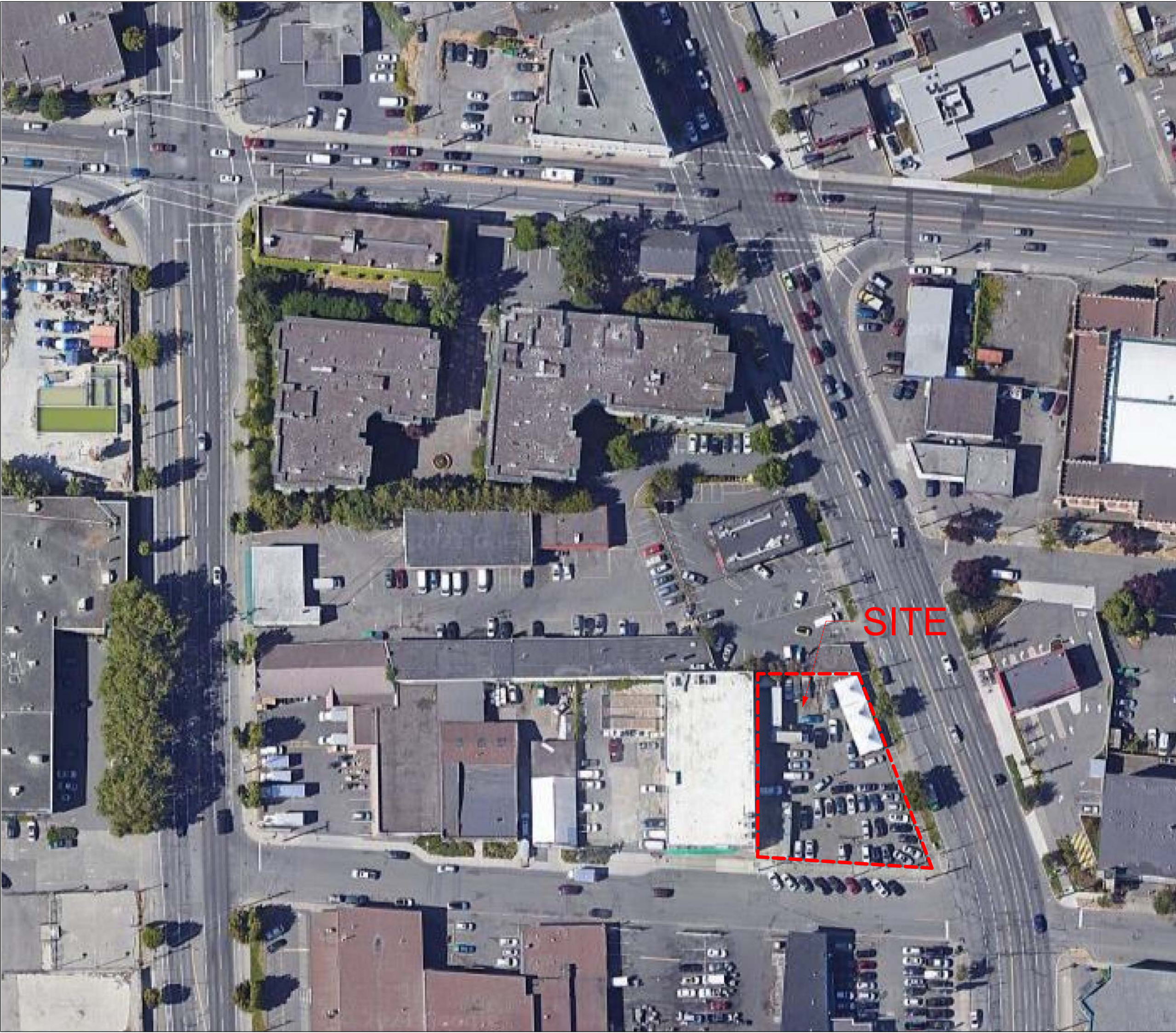
Adopted Date:
September 19, 2025

bfa studio
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly Besharat Friars Architects)

600 - 355 Burrard Street
Vancouver, BC V6C 2G8



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ISSUED FOR DDP REVIEW
23 JUNE 2025

ABBREVIATIONS LEGEND					
A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL	ENCL.	ENCLOSURE
A.B.	AIR BARRIER	NA	NOT APPLICABLE	EQ.	EQUAL
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT	EXT.	EXTERIOR
B/S	BASEMENT	N.T.S.	NOT TO SCALE	F.D.	FLOOR DRAIN
BD.	BOARD	O.C.	ON CENTRE	FDN	FOUNDATION
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING	FIN.	FINISH
B.O.W.	BOTTOM OF WALL	P-4-S	PEEL # STICK	FLR.	FLOOR
BLDG.	BUILDING	PLYWD.	PLYWOOD	FTG.	FOOTING
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED	GA.	GAUGE
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED	GL.	GLASS
CLKG.	CAULKING	P/L	PROPERTY LINE	GR.	GRADE
CLG.	CEILING	R.	RADIUS	GWB	GYPSUM WALLBOARD
CL	CENTRE LINE	R.	RISER	HC	HANDICAPPED
CW	COMPLETE WITH	R.W.L.	RAIN WATER LEADER	HT.	HEIGHT
CONC.	CONCRETE	REQD	REQUIRED	HORIZ.	HORIZONTAL
CONT.	CONTINUOUS	REV	REVISION	H.B.	HOSE BIB
CJ	CONTROL JOINT	R # S	ROD # SHELF	HR.	HOUR
CORR.	CORRIDOR	RM.	ROOM	HWM	HOT WATER HEATER
DIA.	DIAMETER	R.D.	ROOF DRAIN	LIN.	LINEN
DN	DOWN	R.O.	ROUGH OPENING	MAX.	MAXIMUM
DWGS	DRAWINGS	STL.	STEEL	MECH.	MECHANICAL
DW	DISHWASHER	STRUCT.	STRUCTURAL	MEZZ.	MEZZANINE
ELECT.	ELECTRICAL	SPEC	SPECIFICATION	MIN.	MINIMUM
ELEV	ELEVATION	SF	SQUARE FEET	MISC.	MISCELLANEOUS
				WR	WASHROOM

PROJECT / CONSULTANT TEAM								
OWNER BG DOUGLAS VENTURES INC. 270 - 21320 GORDON WAY RICHMOND, BC V8W 1P6 TEL: 604.319.4350	ARCHITECT / INTERIOR DESIGNER BFA STUDIO ARCHITECTS #600 - 355 BURRARD STREET VANCOUVER, BC V6C 2G8 TEL: 604.662.8544	STRUCTURAL ENGINEERING GLOTMAN SIMPSON CONSULTING ENGINEERS 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 TEL: 604.734.8822	MECHANICAL, PLUMBING & FIRE SUPPRESSION ENGINEERING m3 MECHANICAL CONSULTANTS 101 - 1803 DOUGLAS STREET VICTORIA, BC V8T 5C3 TEL: 250.940.2260	ELECTRICAL ENGINEERING e2 ENGINEERING INC. 530 HERALD STREET VICTORIA, BC V8W 1S6 TEL: 778.433.9391	ENVIRONMENTAL CONSULTANT ACTIVE EARTH ENGINEERING 201-13201 VICTORIA RD. NORTH SUMMERLAND, BC V0H 1Z0 TEL: 778.737.3488	LANDSCAPE ARCHITECT LADR LANDSCAPE ARCHITECTS 3 - 864 QUEENS AVENUE, VICTORIA BC V8T 1M5 TEL: 250.598.0105	CIVIL ENGINEERING BIG FISH ENDEAVORS LTD. 824 LESLIE DRIVE, VICTORIA BC V8X 2Y4 TEL: 250.888.0385	GEOTECHNICAL ENGINEER GEOPACIFIC CONSULTANTS 2ND FLOOR 3351 DOUGLAS STREET VICTORIA BC V8Z 3L4 TEL: 250.381.2134
TRANSPORTATION CONSULTANT BUNT & ASSOCIATES Suite 530, 645 FORT STREET VICTORIA, BC V8W 1G2 TEL: 250.592.6122	LAND SURVEYOR UNDERHILL GEOMATICS 554 BEZANTON WAY VICTORIA, BC TEL: 250.813.2609	CODE COLSULTANT CELERITY ENGINEERING LTD. 100 - 535 WEST 10TH AVE VANCOUVER, BC V5Z 1K9 TEL: 604.375.0437	BUILDING ENVELOPE & ENERGY MODELING RJC ENGINEERING LTD. 1515 DOUGLAS STREET VICTORIA, BC V8W 2G4 TEL: 250.386.7794					



OCP PLAN

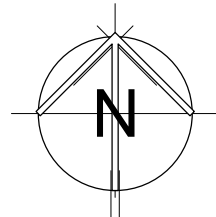
ZONING STATISTICS									
PROJECT DESCRIPTION		TO DEVELOP THE SITE FOR A FOUR STOREY INDUSTRIAL BUILDING COMPRISING OF TWO LEVELS OF BASEMENT, STREET / LEVEL ONE LIGHT MANUFACTURING, PARKING & SELF-STORAGE CUSTOMER LOUNGE / RETAIL AND 3 STOREYS OF SELF-STORAGE BUILDING ABOVE.							
LEGAL DESCRIPTION		LOT A SECTION 3, VICTORIA DISTRICT PLAN EPP118635							
PID		032-184-301							
CIVIC ADDRESS PRESENT		2300 DOUGLAS STREET							
CIVIC ADDRESS FUTURE		TBD							
BUILDING CODE		BCBC 2018 - GROUP F2 , F3 , E AND POTENTIAL A2 - BCBC 2018							
HERITAGE BUILDINGS		NA							
LOT AREA		16,150	SF	1,500.3	SM	PROVIDED BY SURVEYOR			
LOT SIZE									
		NORTH		82.77	25.23				
		EAST / DOUGLAS ST		147.07	44.83				
		SOUTH EAST		20.51	6.25	ARC LENGTH OF 6.25m WITH RADIUS OF 3.10m, PER UPDATED SURVEY PLAN DATED OCT-30, 2023			
		SOUTH / QUEENS AVE		121.52	37.04				
		WEST		141.96	43.27				
OCP AND NEIGHBOURHOOD DESIGNATION		CORE EMPLOYMENT AND BURNSIDE GORGE NEIGHBOURHOOD PLAN							
ZONING PRESENT		M-1 ZONE, LIMITED LIGHT INDUSTRIAL DISTRICT							
REZONING		NOT APPLICABLE							
		REQUIRED / PERMITTED				PROPOSED		NOTES	
SITE AREA		16,150	SF	1,500.3	SM			PROVIDED BY SURVEYOR	
DEDICATION AREA		56	SF	5.2	SM			PROVIDED BY SURVEYOR	
NET SITE AREA		16,094	SF	1,495.1	SM			PROVIDED BY SURVEYOR	
DENSITY / FLOOR SPACE RATIO / FSR - 3.0		48,279	SF	4,485.1	SM	46,169	SF	4,289	SM
SITE COVERAGE		NA	SF	NA	SM	14,415	SF	1,339	SM
OPEN SITE COVERAGE		NA	SF	NA	SM	1,679	SF	156	SM
MAXIMUM HEIGHT (OUTRIGHT)		49.2	FT	15.00	M	49.2	FT	15.00	M
NUMBER OF STOREY		4				4			
SITING / SETBACK		REQUIRED / PERMITTED				PROPOSED			
			FT	M			FT	M	
CORNER LOT DIAGONAL				3			9.84	3.00	
NORTH			0.00	0.0			0.33	0.10	
EAST/DOUGLAS STREET			3.28	1.0			3.28	1.00	
SOUTH/QUEENS AVENUE			9.84	3.0			7.22	2.20	
WEST			0.00	0.0			0.98	0.30	
VEHICLE OFF STREET PARKING SPACES		REQUIRED / PERMITTED				PROPOSED			
INDUSTRIAL AND LIGHT MANUFACTURING		140		SM	2			2	
WAREHOUSE		100		SM	71			16	
TOTAL					73			18	
LOADING SPACES		REQUIRED / PERMITTED				PROPOSED			
							3		1 LOADING AND 2 VAN SPACES ARE INCLUDED IN VEHICLE RATIO
BICYCLE PARKING SPACES		REQUIRED / PERMITTED				PROPOSED			
LONG TERM		1,200		SM	6			6	
SHORT TERM		6 SPACES			6			6	
ELECTRIC VEHICLE CHARGING					2			2	
GREATER OF 2 ENERGIZED STALLS OR 5% OF TOTAL NUMBER									
NOTES:									
1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & WILL BE ADJUSTED DURING LATER PHASES OF PROJECT									
2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS									
3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC 2018									
4. WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS									

ZONING MAP



REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	MAR-25-2022
2	REISSUED FOR DP	JUN-16-2022
3	REISSUED FOR DP	MAR-10-2023
4	REISSUED FOR DP	JUN-21-2023
5	ISSUED FOR BP	MAR-01-2024
6	REISSUED FOR BP	JUL-05-2024
7	ISSUED FOR TENDER	JUL-19-2024
8	REISSUED FOR BP	OCT-17-2024
9	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE
CONTEXT PLAN & ZONING
DATA

SEAL

DRAWING NO. REVISION
2

A001

DATE 23/03/10
SCALE N/A
DRAWN IT
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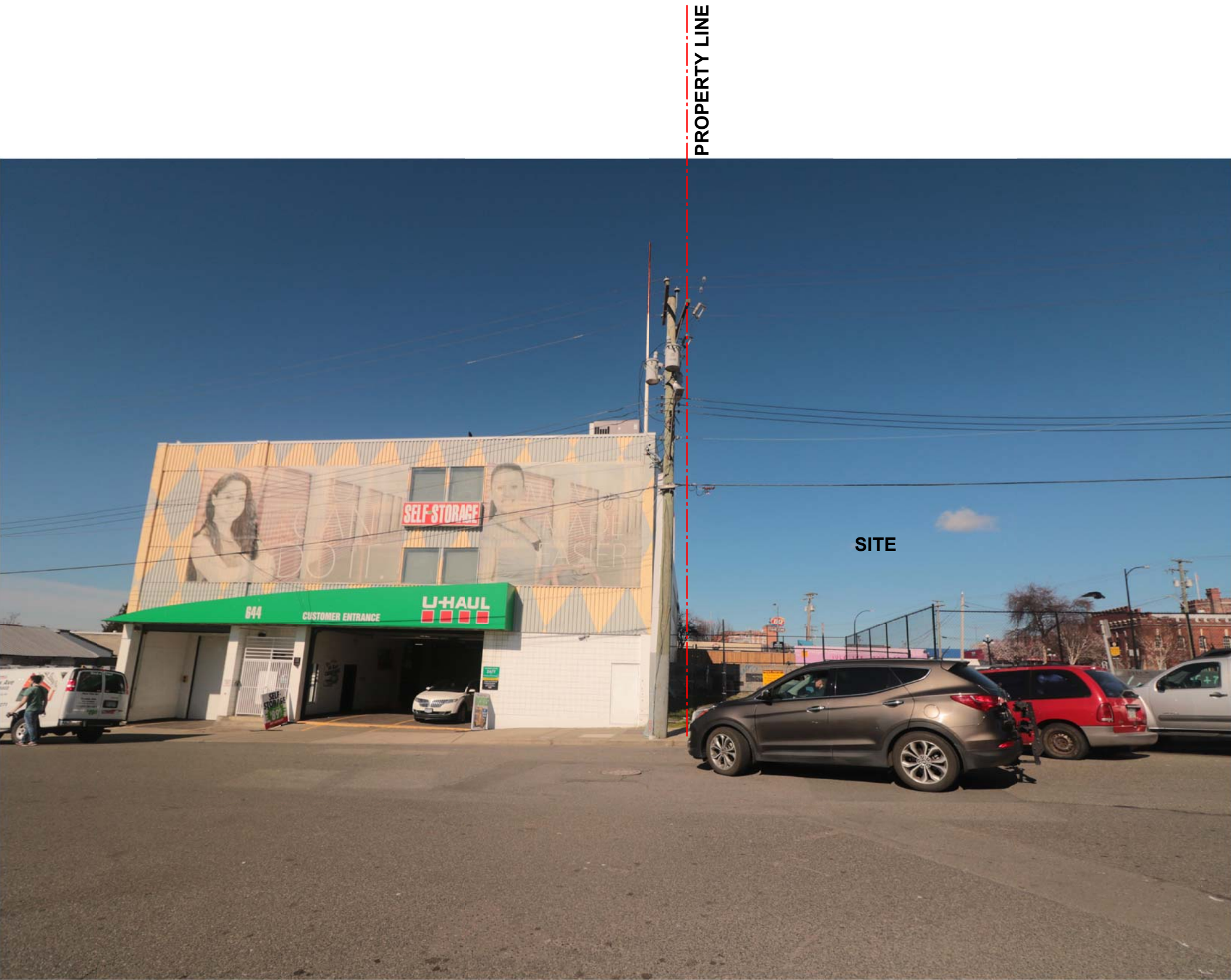
WEST STREETSCAPE ALONG DOUGLAS STREET



EAST STREETSCAPE ALONG DOUGLAS STREET



CORNER OF DOUGLAS STREET & QUEENS AVENUE



QUEENS AVENUE STREETSCAPE

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1	ISSUED FOR DDP REVIEW	JUN-23-2025

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Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

STREETSCAPES

SEAL

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1

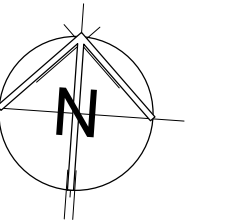
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DATE 23/03/10
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	ISSUED FOR BP	MAR-01-2024
1	ISSUED FOR DDP REVIEW	JUN-23-2025

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BG DOUGLAS VENTURES INC.

PROJECT NO. _____

21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

BASE SITE PLAN

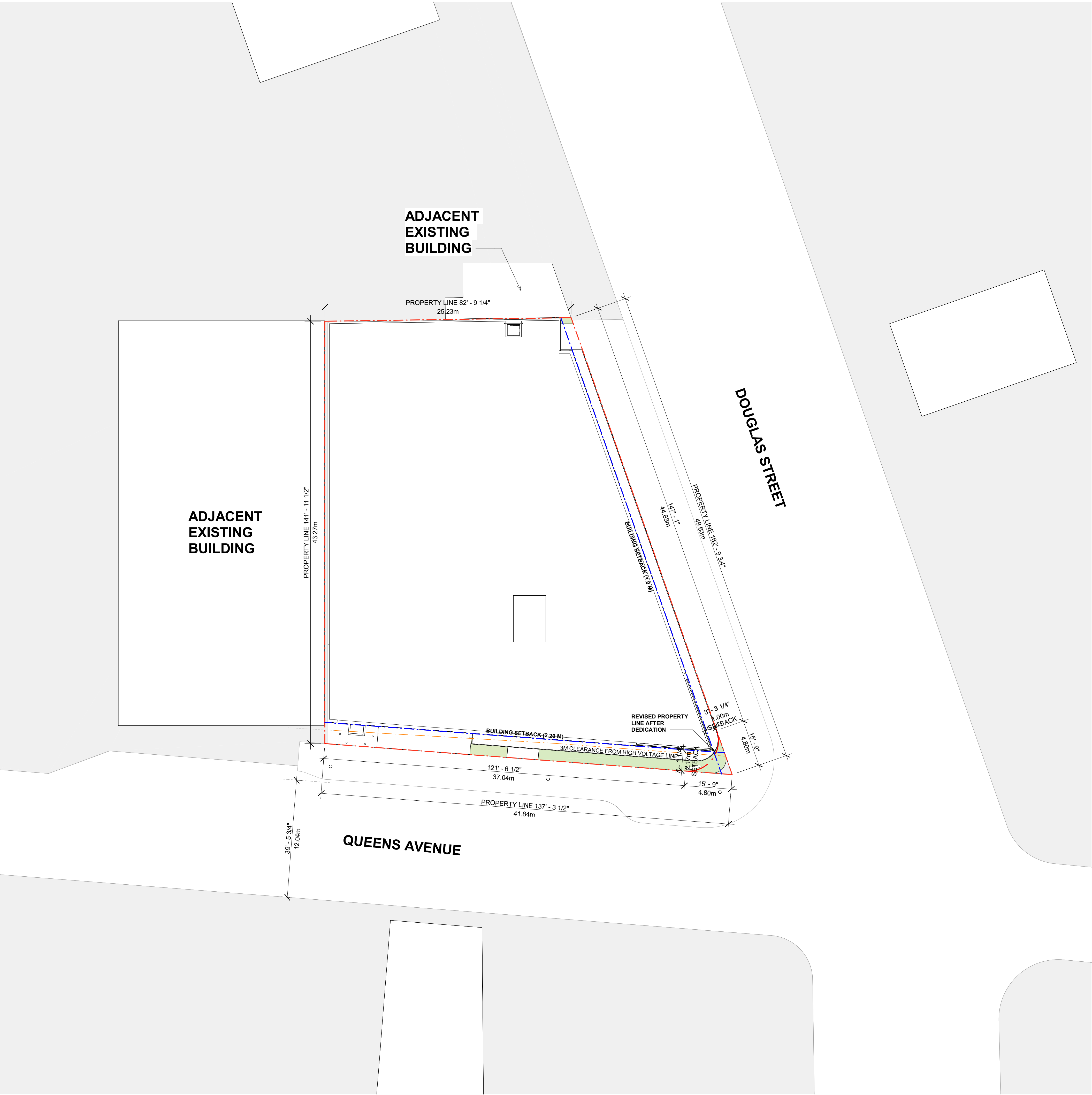
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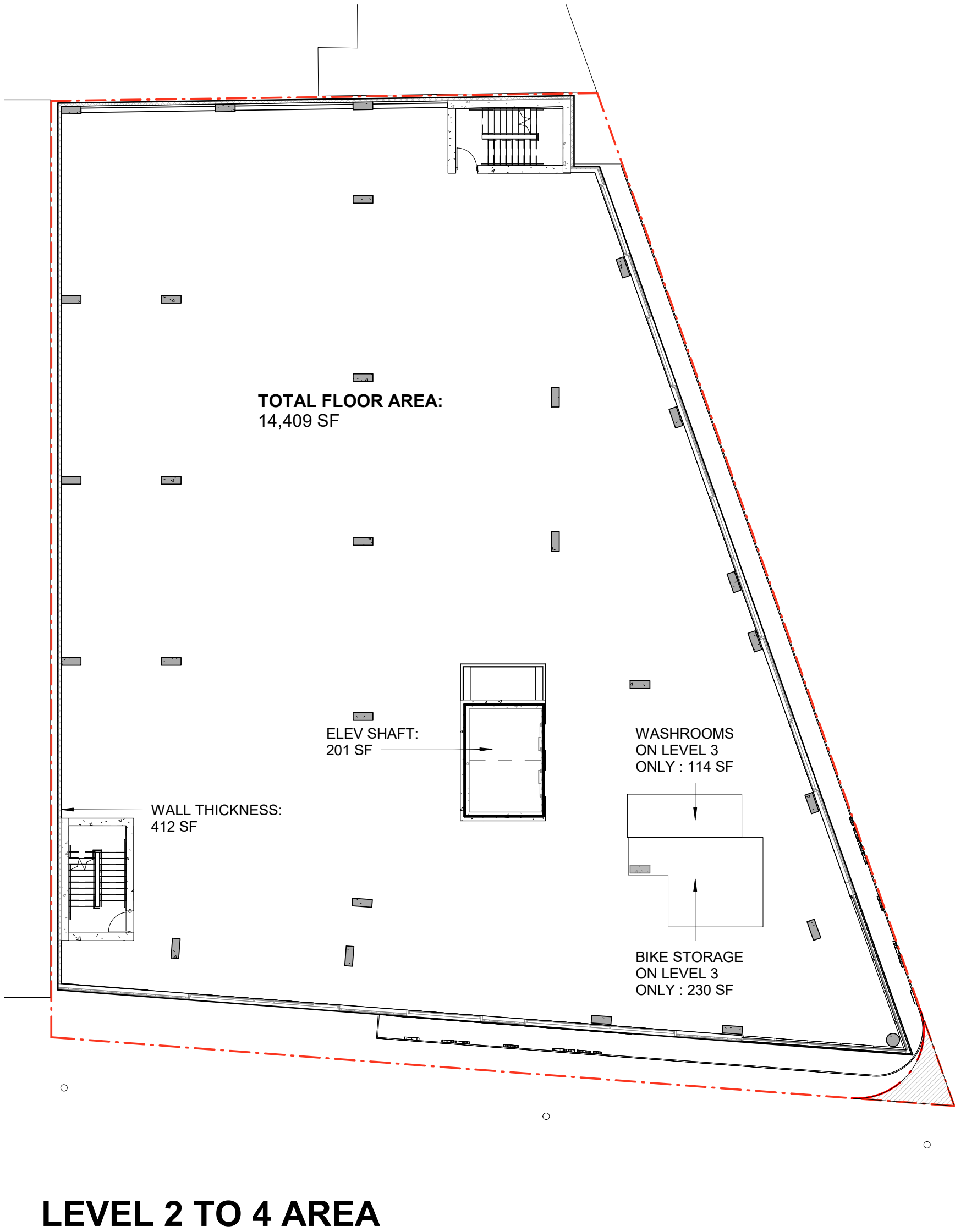
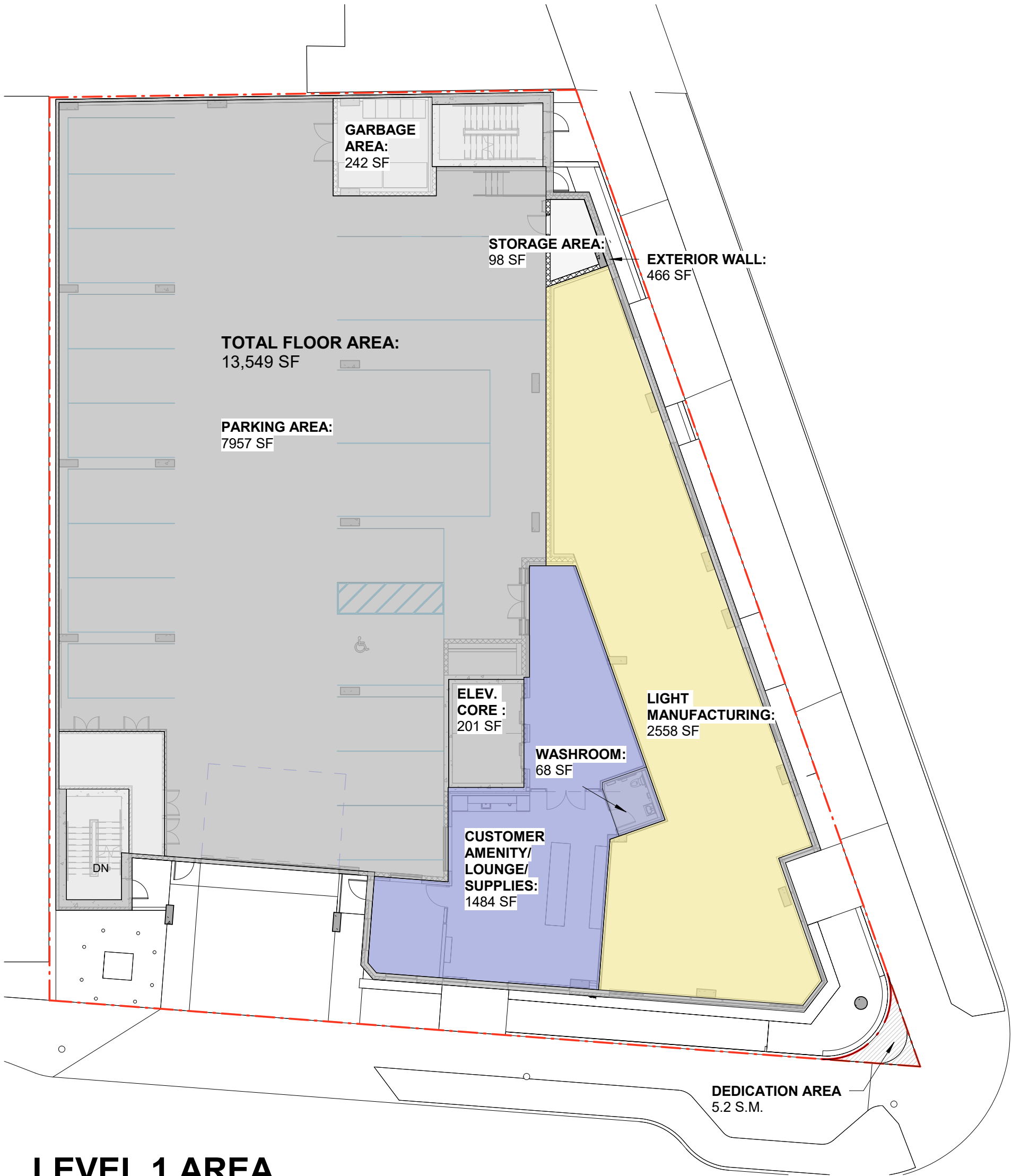
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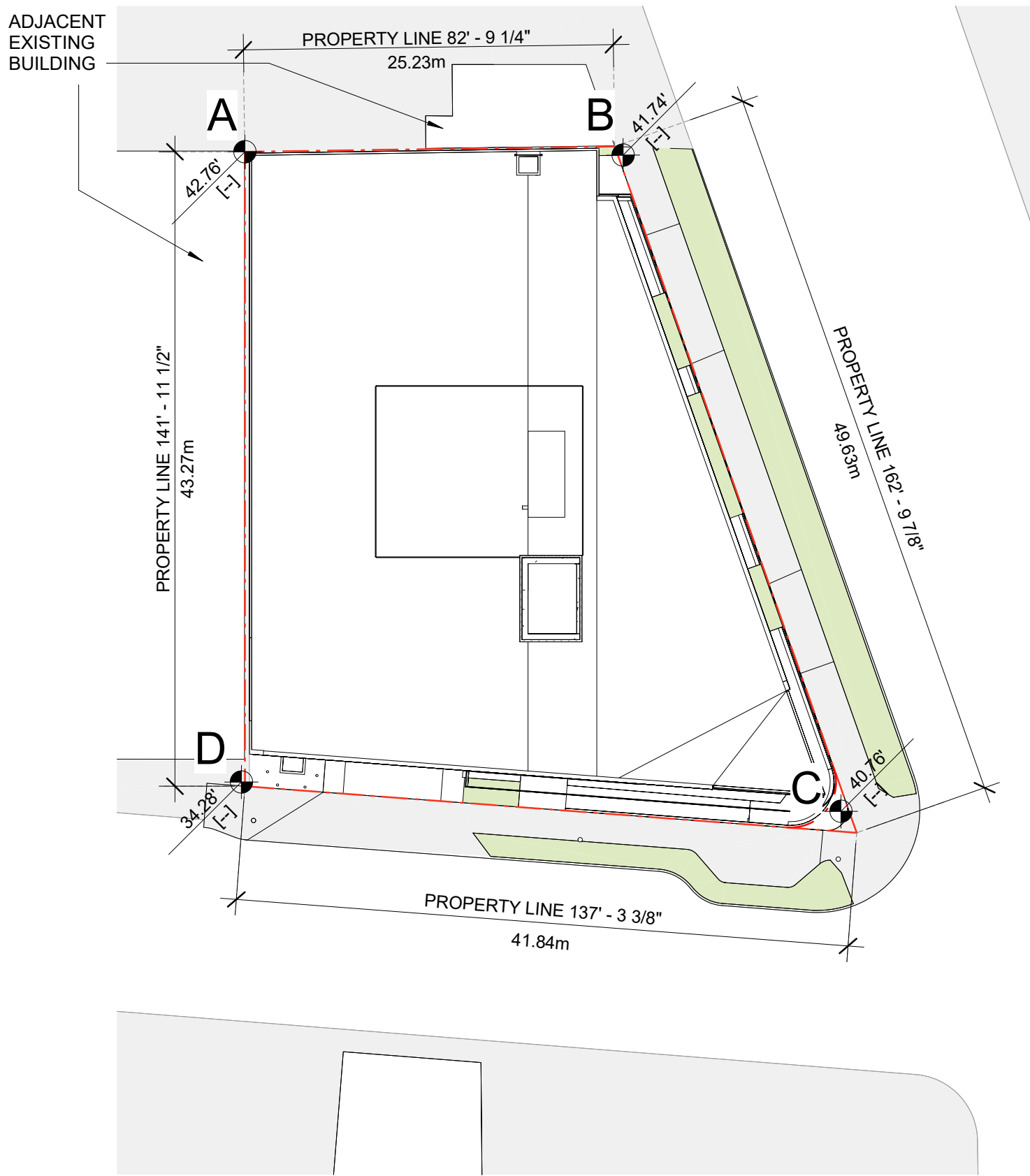
BASE SITE PLAN

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	3M CLEARANCE FROM HIGH VOLTAGE LINE

ORIGINAL SITE AREA	16,150 SF	15,00 SM
DEDICATION AREA	56 SF	5.2 SM
NET SITE AREA	16,094 SF	1,494.8 SM



AVERAGE GRADE CALCULATION:

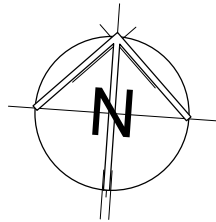


AVERAGE GRADE CALCULATIONS						
Point	Elev. (ft)	Point	Elev. (ft)	Segment	Average Elevation (ft)	Length (ft)
A	42.76	B	41.74	AB	42.25	82.77
B	41.74	C	40.76	BC	41.25	162.82
C	40.76	D	34.28	CD	37.52	137.28
D	34.28	A	42.76	DA	38.52	141.96
					TOTAL	TOTAL LENGTH
					159.5	524.83
					AVERAGE GRADE	39.69
					MAXIMUM HEIGHT = A.N.E.G. + 49.21'	88.90

AREA CALCULATIONS SUMMARY																
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P-I-O
LEVEL		NUMBER OF FLOORS	CIRCULATION (SF)	LOCKERS (SF)	LIGHT MANUFACTURING (SF)	CUSTOMER AMENITY/ LOUNGE/ SUPPLIES	WASHROOM AREA (SF)	GARBAGE & RECYCLING RM (SF)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)
LEVEL 1/ STREET		1	0	0	2,558	1,484	68	242	13,549	1,259	7,957	466	201	0	8,624	4,925
MECHANICAL MEZZANINE		-	0	0	0	0	0	0	98	9	0	0	0	0	0	98
LEVEL 2		1	0	0	0	0	0	0	14,405	1,338	0	412	201	0	613	13,792
LEVEL 3		1	0	0	0	0	114	0	14,405	1,338	0	412	201	230	843	13,562
LEVEL 4		1	0	0	0	0	0	0	14,405	1,338	0	412	201	0	613	13,792
SUBTOTAL		4	0	0	2,558	1,484	182	242	56,862	5,282	7,957	1702	804	230	10,693	46,169
BASEMENT LEVEL 1 (EXCLUDED)			0	0	0	0	0	0	15,376	1,428						
BASEMENT LEVEL 2 (EXCLUDED)			0	0	0	0	0	0	15,376	1,428						
TOTAL:									87,614	8,138						
SITE AREA (AFTER DEDICATION):			16,093	SF												
TOTAL FSR:			46,169	SF		2.87										
MAX ALLOWED FSR:			48,279	SF		3.00										
ADDITIONAL FSR ALLOWED:			2,110	SF												
PARKING		RATIO (SM/SPACE)		FLOOR AREA (SM)	REQUIRED	PROVIDED										
INDUSTRIAL / LIGHT MANUFACTURING		140 (1)	1	238	2	2										
WAREHOUSE		100 (B1, B2, 1, 2, 3, 4)	B1, B2, 1, 2, 3, 4	7,010	71	16										
SUB-TOTAL					73	18										

REVISIONS		
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

AREA CALCULATIONS

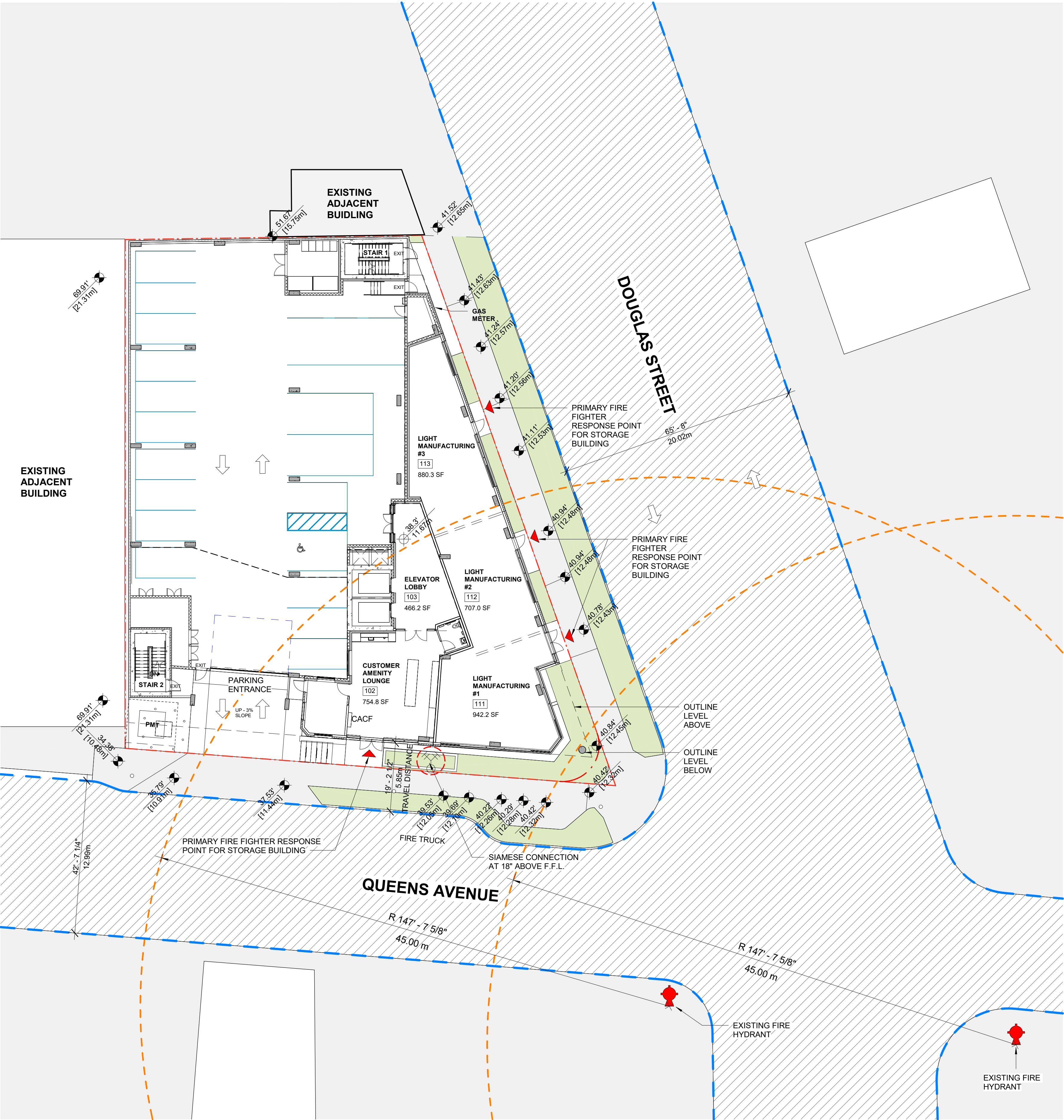
SEAL

DRAWING NO. REVISION
2

A003

DATE 23/03/10
SCALE N/A
DRAWN IT
CHECKED HB

2018 BRITISH COLUMBIA BUILDING CODE SUMMARY				NOTES	
Self Storage Development, 2300 Douglas Street, Victoria, BC					
Construction Article	3.2.2.77. Group F, Division 2, up to 4 Storeys, Sprinklered ⁽¹⁾ 3.2.2.59. Group D, up to 4 Storeys, Sprinklered ⁽²⁾ 3.2.2.65. Group E, up to 4 Storeys, Sprinklered ⁽²⁾ 3.2.2.84. Group F, Division 3, up to 4 Storeys, Sprinklered ⁽²⁾ 3.2.2.24. Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered (3)			(1): Group F2 Major Occupancy : Basement 1-2, Levels 2-4 (2): Groups D, E, F2, F3: Level 1, Light Manufacturing Areas #1-4 must be considered major occupancies if they are intended to be occupied by tenants. (3): If entire undivided Light Manufacturing Areas is used as A2 & OCC load > 30, then 2 hr suite separation is required, Note: Any of the Light Manufacturing Areas with low OCC load (max. 30 persons) with Group A2 major occupancy would be considered a Group D major occupancy (Article 3.1.2.6.).	
Subsidiary/Minor Occupancy	Group A, D, E, F2, F3			Level 1 Light Manufacturing Areas #1-4 may be considered subsidiary occupancies if they will not be occupied by tenants	
Building Construction	Combustible construction or noncombustible construction used singly or in combination (Noncombustible proposed) (1)			(1) Non-combustible construction required on Level 1 (based on Article 3.2.2.24.)	
Maximum Building Height	Max. 4 storeys				
Maximum Building Area	Max. 2,400 m ² for 4 storeys (Provided = 1,326.2 m ²)			The restrictive area requirement must be applied if Article 3.2.2.65. is used (1,800 m ²).	
Floor Assemblies above Ground	45 min fire-resistance rating 1 h fire-resistance rating ⁽¹⁾			(1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59. and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) belong under.	
Floor Assemblies at Ground Level	45 min fire-resistance rating				
Floors below Ground	3 h fire-resistance rating				
Loadbearing Supports above Ground	45 Min. Fire-resistance rating or Non-combustible construction Same rating as the assembly it supports ⁽¹⁾ 1 hr. rating required for L2 floor assembly to accommodate A2, D or E occupancies on L1			(1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59. and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) belong under.	
Loadbearing Support below Ground	Same rating as the assembly it supports				
Roof Assemblies	No fire-resistance rating requirement				
Roof Covering	Class A, B or C roof covering classification				
Exterior Walls	North & West building face: 2 h fire-resistance rating, noncombustible construction, noncombustible cladding			Spatial separation requirements per Article 3.2.3.1.	
Sprinkler System	Required and will be provided – system is to comply with NFPA 13 – 2013				
Standpipe System	Required and will be provided – system is to comply with NFPA 14 – 2013				
Fire Alarm System	Required and will be provided – system is to comply with CAN/ULC-S524-14 and monitored by a monitoring station in conformance with CAN/ULC-S561-13 (1)			(1) Single stage system will be used.	
Emergency Power	30 min duration as per 3.2.7.4. and 3.2.7.8.				
Street Facing	2 Streets				
Emergency Crossover Floors	Doors providing access to floor areas from exit stairs shall not have locking devices to prevent entry into any floor area from which the travel distance up or down to an unlocked door is more than 2 storeys (3rd storey proposed as cross-over floor).				
Water Closet Summary (BCBC Section 3.7 Health Requirement)					
Self-Storage					
Occupancy Type	Occupant Load	Number of Each Sex	Number of Water Closets Required		
			M	F	
Light Manufacturing/Retail (per CRU on Level 1): Table 3.7.2.2.B	max. 30	10 ^(a)	T.B.C. at TI phase		CRU O.L. is assumed and must be verified at TI phase for each unit
Self-Storage (per floor, Basement 1-2, Levels 2-4): Table 3.7.2.2.C	20*	10	1	1	* Refer to Code report and owner's operations letter. Total of 2 universal & 1 unisex washrooms are provided.
(a) The number of water closets required in a suite of mercantile occupancy whose area is not more than 500 m ² is permitted to be determined in accordance with Table 3.7.2.2.-B based solely on the total number of staff. The number of staff in each retail unit is not expected to be more than 10, based on the area of the retail units [Sentence 3.7.2.2.(16)]. Both sexes are permitted to be served by a single water closet with an occupant load of not more than 10 [Sentence 3.7.2.2.(4)].					



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architects

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REVISIONS

NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
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-	ISSUED FOR TENDER	JUL-19-2024
-	REISSUED FOR BP	OCT-17-2024
-	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE
BCBC SUMMARY & FIRE DEPARTMENT SITE PLAN

SEAL

DRAWING NO. REVISION
1

A004

DATE 23/03/10
SCALE 1/16" = 1'-0"

DRAWN IT
CHECKED HB



SOUTH-EAST VIEW FROM CORNER OF DOUGLAS AND QUEENS



SOUTH-EAST VIEW (CORNER)



ARIAL VIEW OF NEIGHBOURHOOD

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	MAR-25-2022
2	REISSUED FOR DP	JUN-16-2022
3	REISSUED FOR DP	MAR-10-2023
4	REISSUED FOR DP	JUN-21-2023
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BG DOUGLAS VENTURES INC.
BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE
3D PERSPECTIVES

SEAL

DRAWING NO.	REVISION
	1

A007

DATE 23/03/10	DRAWN IT
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SOUTH-EAST VIEW



EAST VIEW



NORTH-EAST VIEW

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE
3D PERSPECTIVES

SEAL

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1

A008

DATE 23/03/10
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SOUTH VIEW



SOUHT-WEST VIEW



SOUTH CORNER VIEW

REVISIONS		
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PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

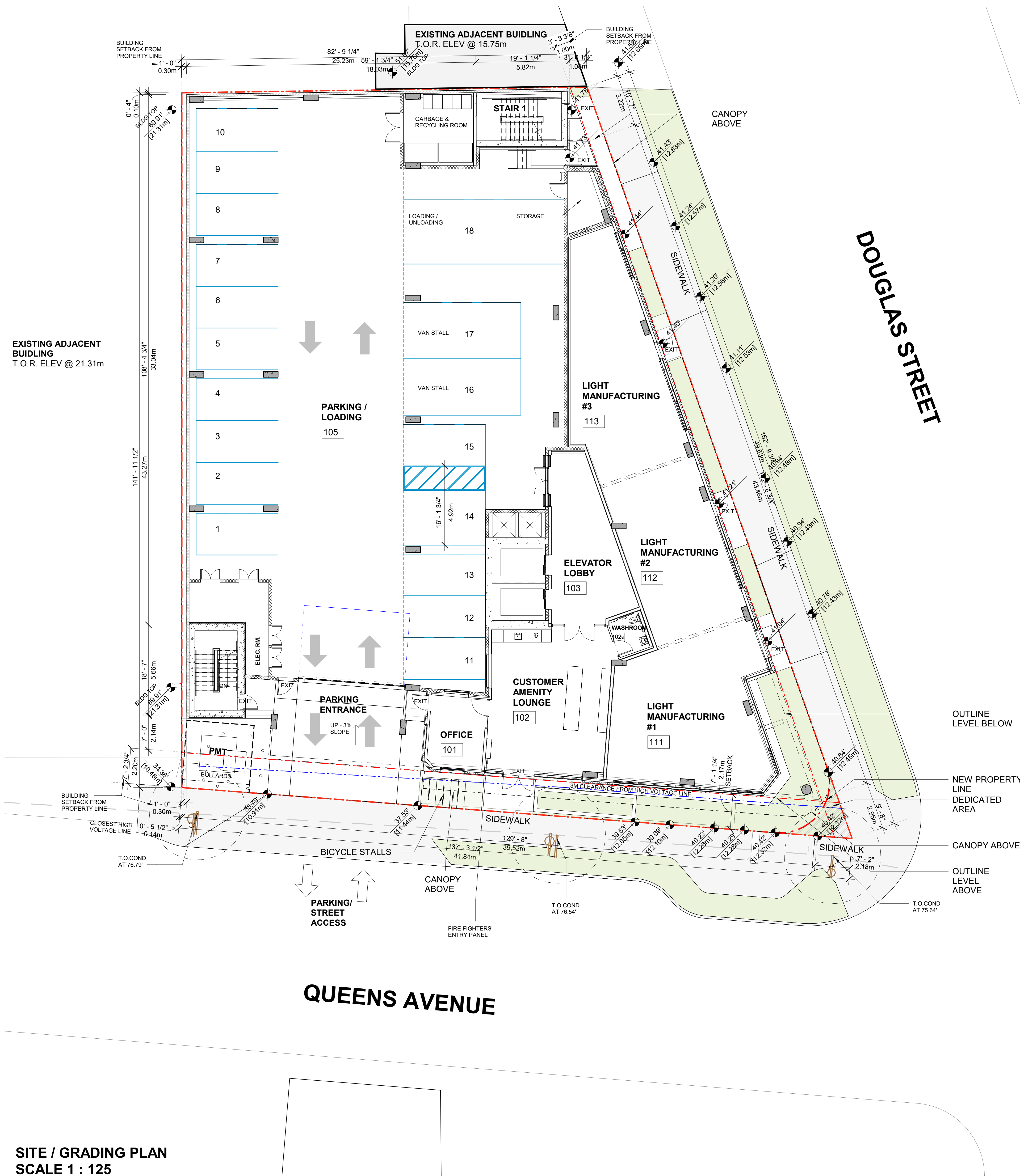
3D PERSPECTIVES

SEAL

DRAWING NO. REVISION
1

A009

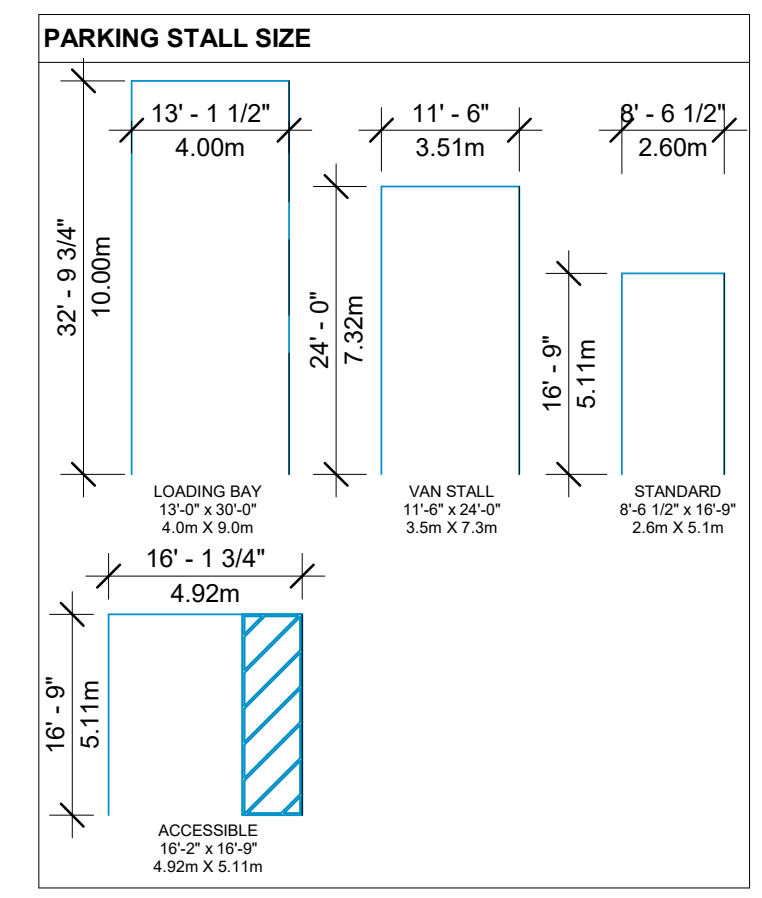
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EXISTING ADJACENT BUILDING
T.O.R. ELEV @ 21.31m

SITE / GRADING PLAN
SCALE 1 : 125

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
 - NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
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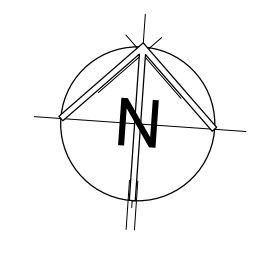


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- LEGEND - GRADING**
- XXX.XX' - EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
 - XXX.XXm - VALUE IN METERS
 - XXX.XX' - DESIGN ELEVATION (interpolated)
 - XXX.XX' - T.O.SLAB GRADE
 - TOP OF SLAB (or as noted in tag)
 - XXX.XX' - T.O.CURB GRADE
 - TOP OF CURB (or as noted in tag)
 - XXX.XX' - T.O.FINISH SLAB GRADE
 - TOP OF FINISH SLAB (or as noted in tag)

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE SITE / GRADING PLAN

SEAL

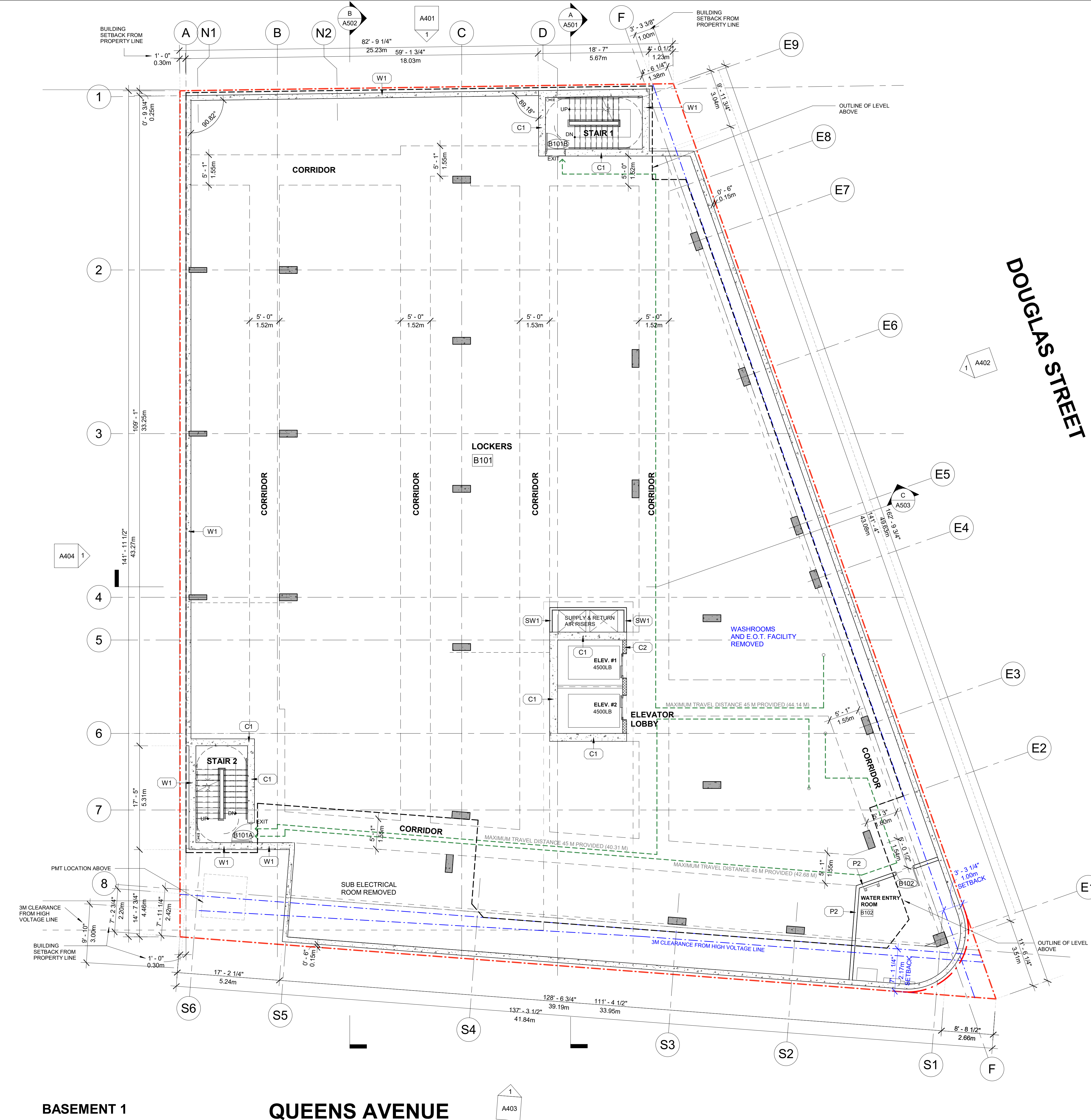
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A100

DATE 23/03/10
SCALE As indicated
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DATE	DRAWN
23/03/10	IT
SCALE	CHECKED
1/8" = 1'-0"	HB



BASEMENT 1

QUEENS AVENUE

DOUGLAS STREET

bfa studio
architects

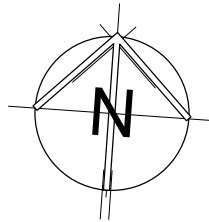
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

BASEMENT 1

SEAL

N.B. LOCKER LAYOUT FOR REFERENCE ONLY

GENERAL NOTES

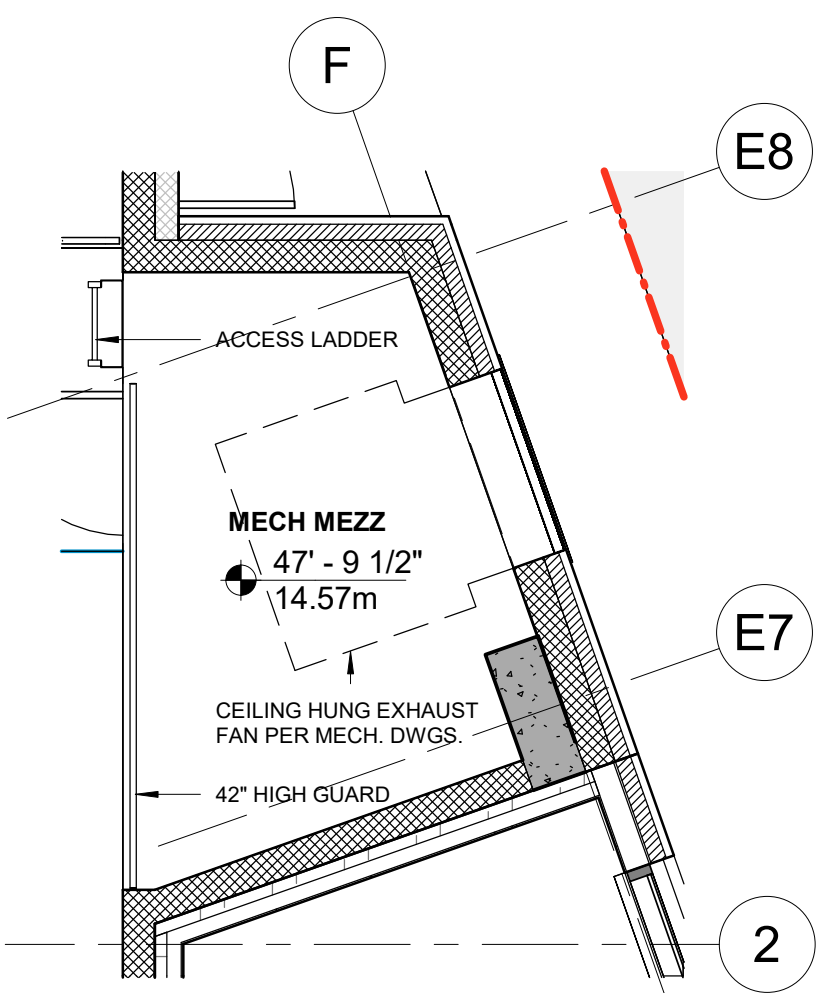
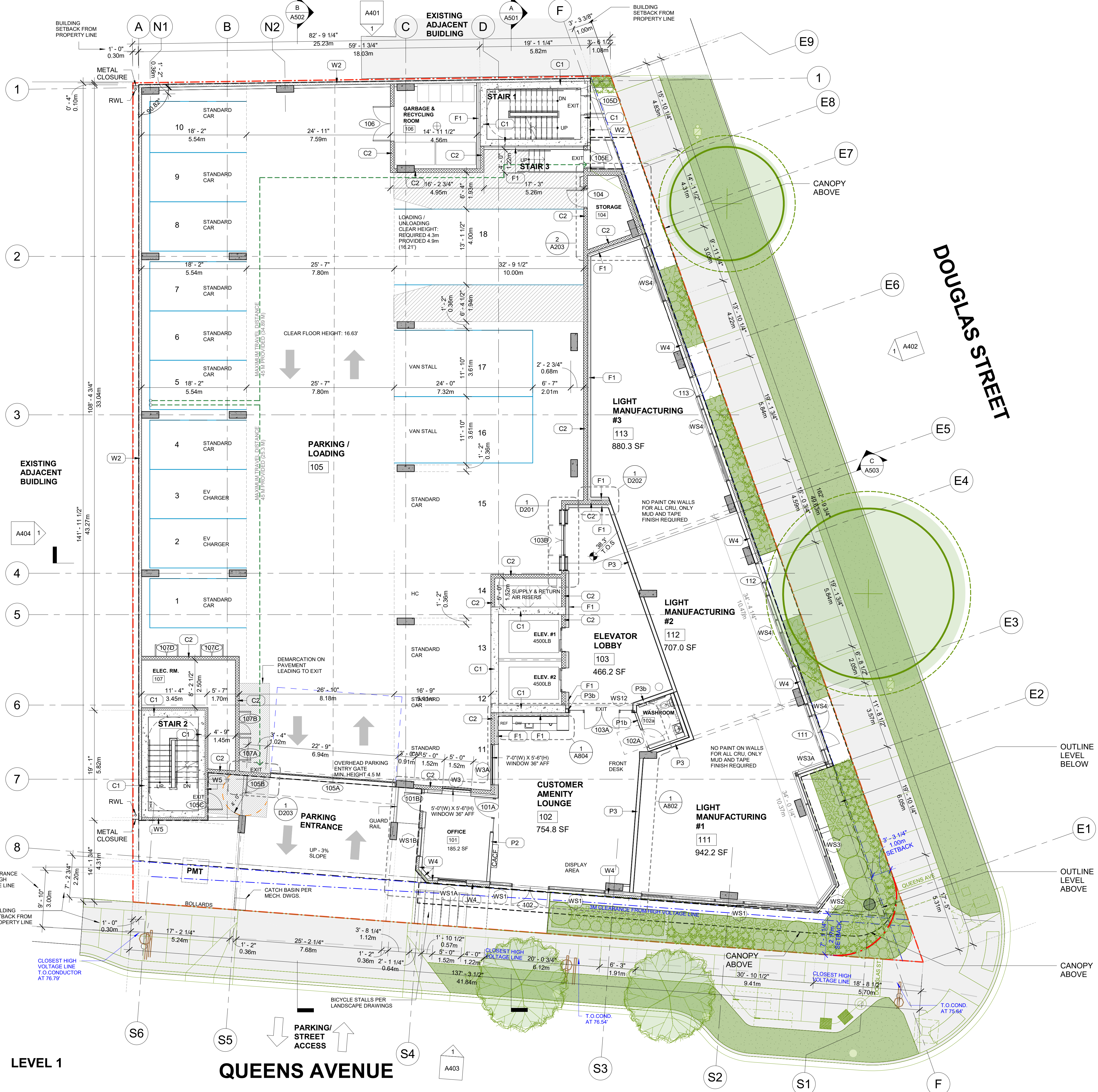
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A202

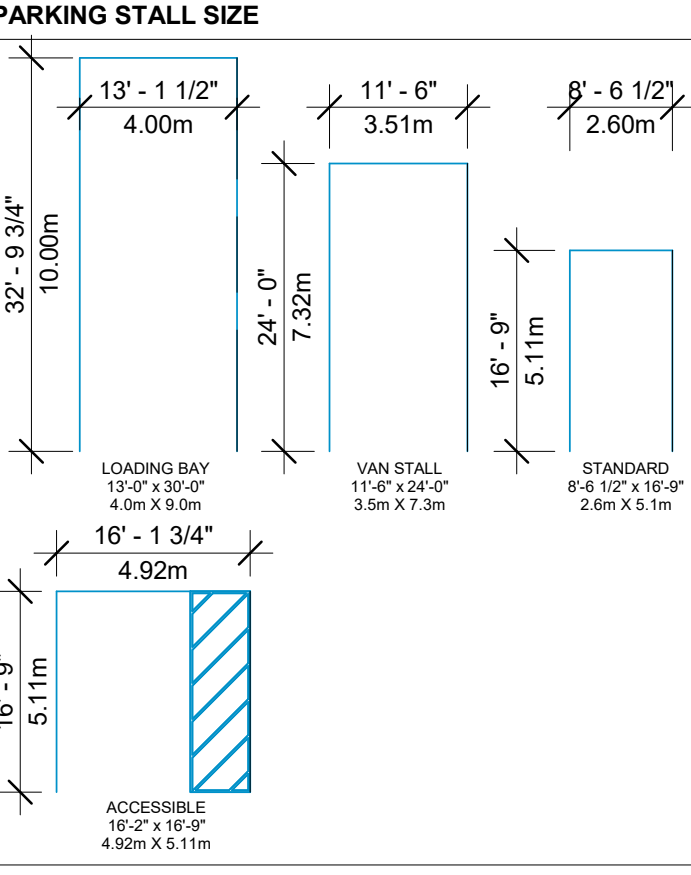
DATE 23/03/10
SCALE 1/8" = 1'-0"

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MECHANICAL MEZZANINE
SCALE 1/4"=1'-0"

- GENERAL NOTES**
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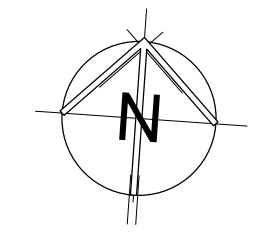


- PARKADE NOTES**
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6	REISSUED FOR TENDER	JUL-19-2024
7	REISSUED FOR BP	OCT-17-2024
8	BCH COORDINATION	OCT-22-2024
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

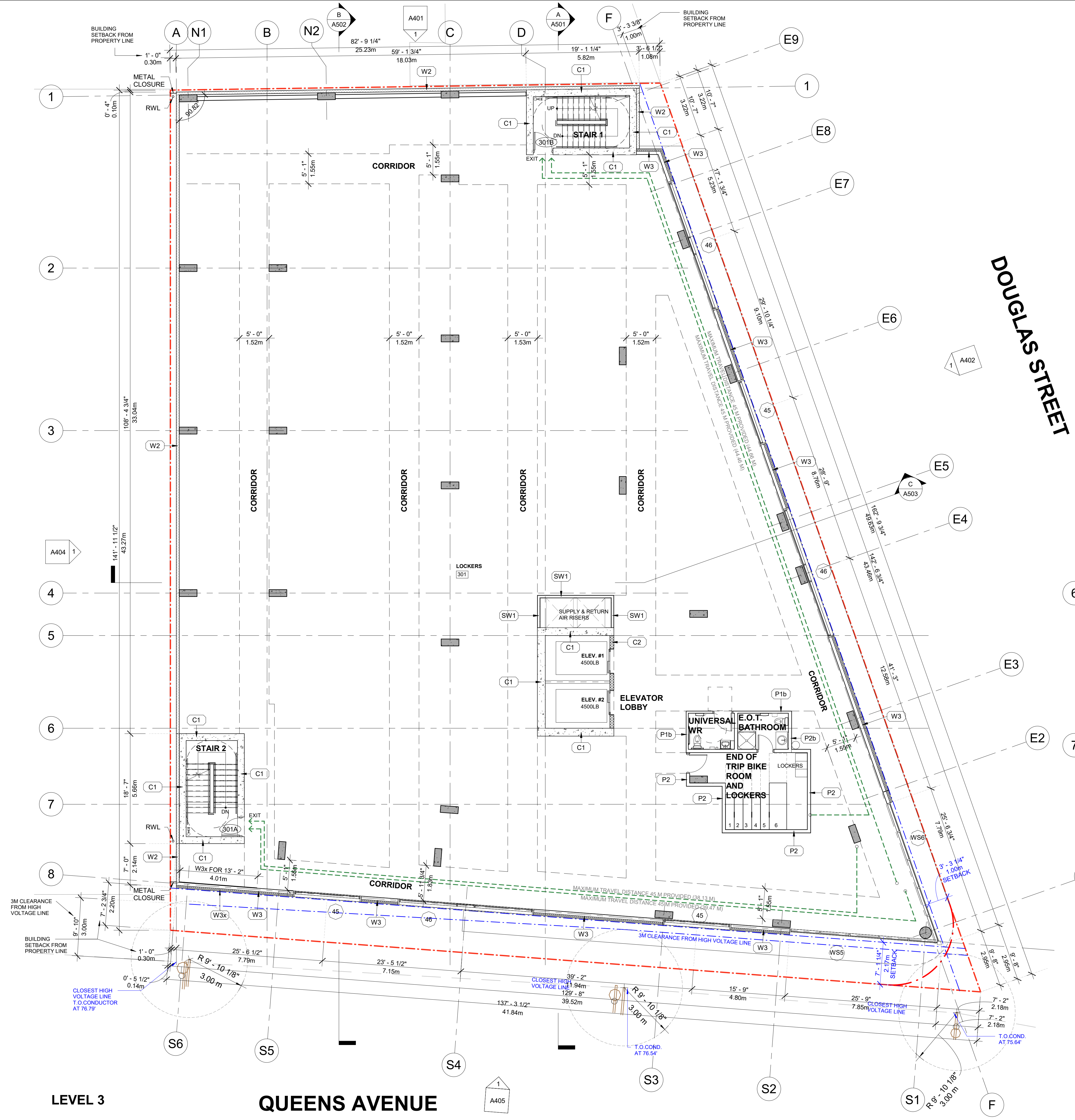
DRAWING TITLE LEVEL 1 PLAN

SEAL

DRAWING NO. REVISION 3

A203

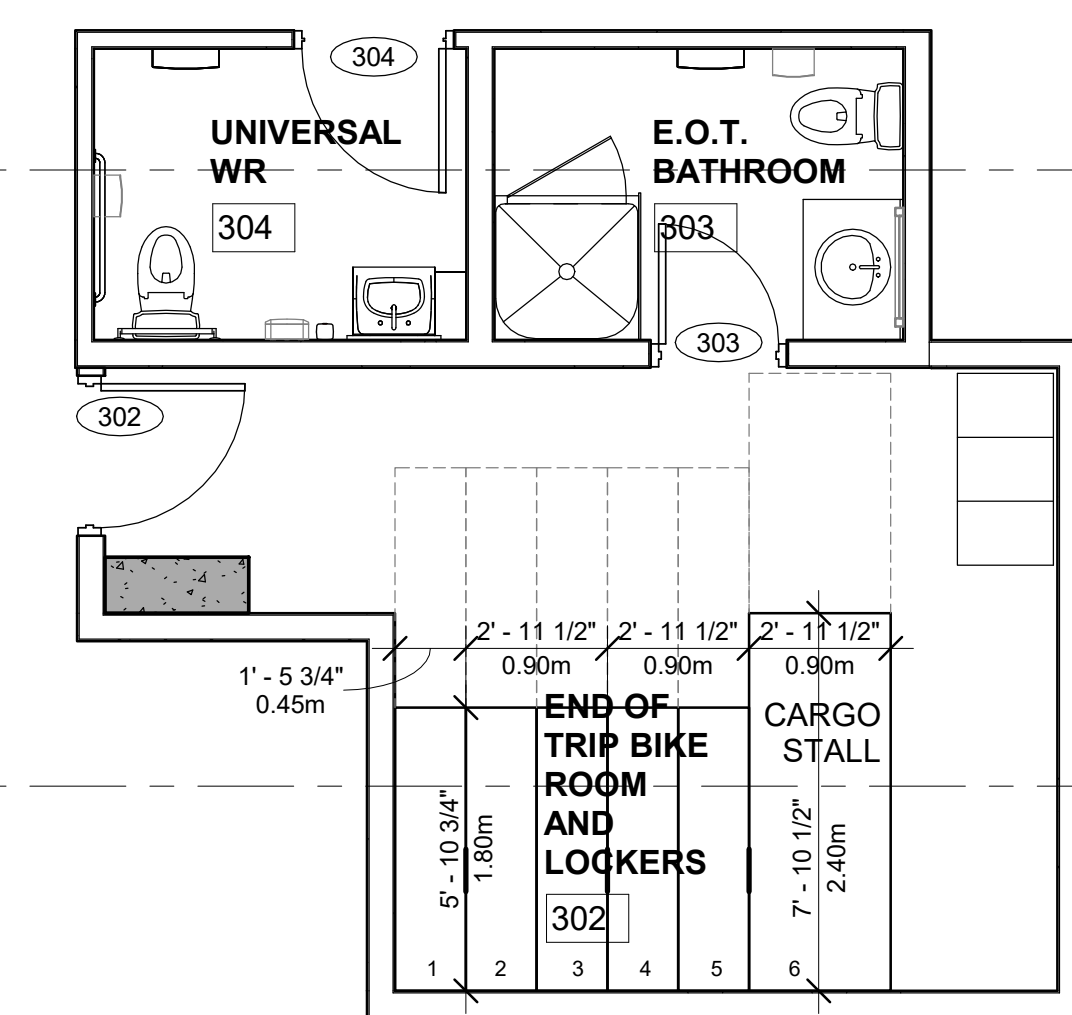
DATE 23/03/10
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LEVEL 3

QUEENS AVENUE

DOUGLAS STREET



BIKE STORAGE ENLARGEMENT PLAN

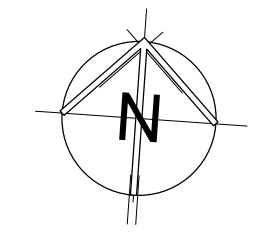
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- N.B. LOCKER LAYOUT FOR REFERENCE ONLY
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 - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
 - REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
 - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS
 - CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.

REVISIONS		
NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	MAR-25-2022
2	REISSUED FOR DP	JUN-16-2022
3	REISSUED FOR DP	MAR-10-2023
4	REISSUED FOR DP	JUN-21-2023
5	ISSUED FOR BP	MAR-01-2024
6	REISSUED FOR BP	JUL-05-2024
7	ISSUED FOR TENDER	JUL-19-2024
8	REISSUED FOR BP	OCT-17-2024
9	ISSUED FOR DDP REVIEW	JUN-23-2025

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

LEVEL 3 PLAN

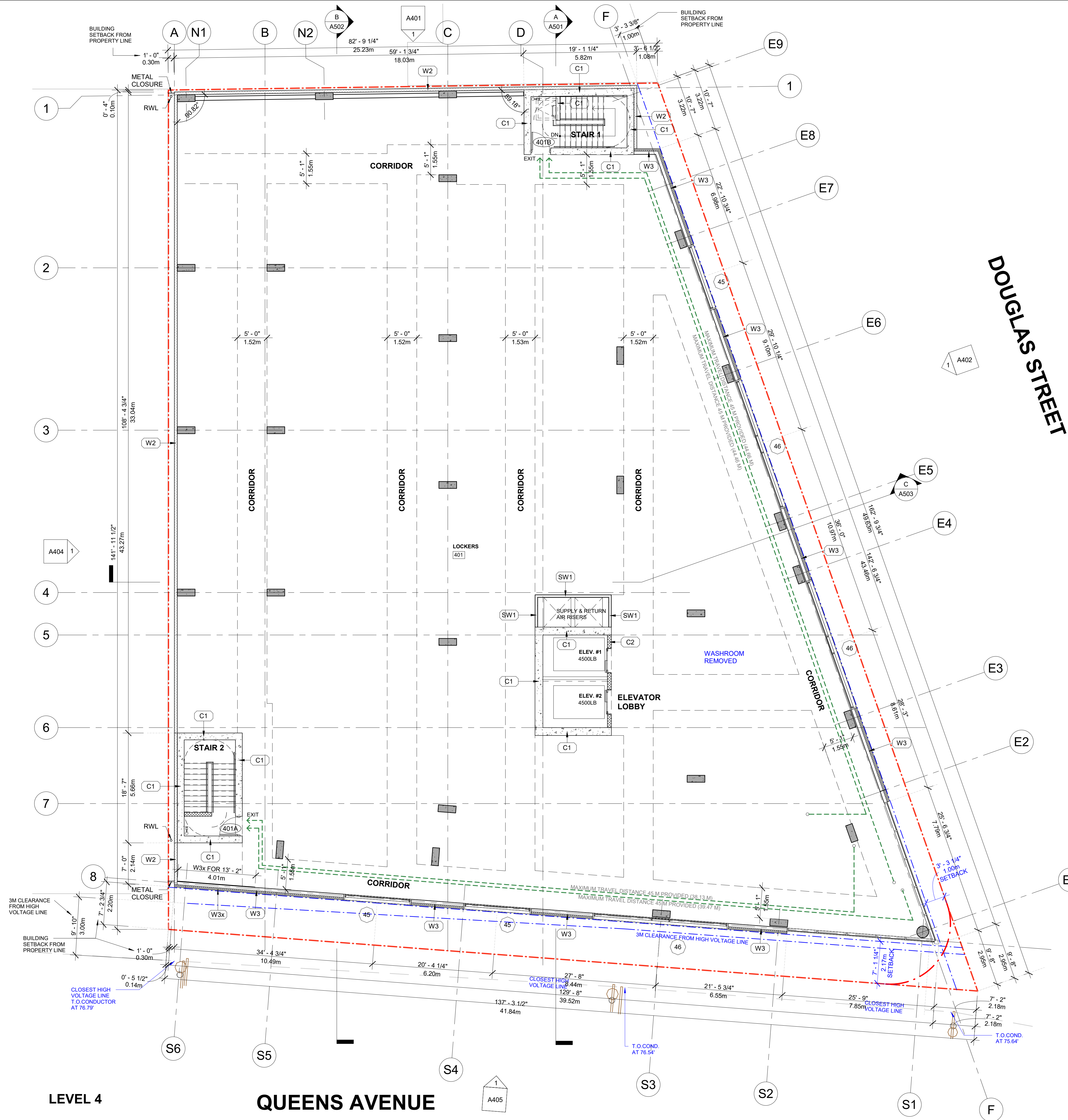
SEAL

DRAWING NO. REVISION 1

A205

DATE 23/03/10
SCALE 1/8" = 1'-0"

DRAWN IT
CHECKED HB



LEVEL 4

QUEENS AVENUE

DOUGLAS STREET

N.B. LOCKER LAYOUT FOR REFERENCE ONLY

GENERAL NOTES

- REFER TO OWNER SUPPLIED SITE SURVEY.
- REFER TO GEOTECHNICAL REPORT.
- NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
- REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
- REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION
- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS
- CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.

bfa studio
architects

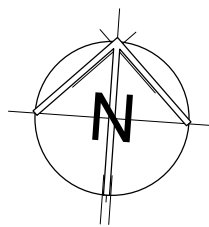
ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

600 - 355 Burrard Street
Vancouver, BC V6C 2G8
www.besharatfairs.com

T 604 662 8544
F 604 662 4060
info@besharatfairs.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	MAR-25-2022
2	REISSUED FOR DP	JUN-16-2022
3	REISSUED FOR DP	MAR-10-2023
4	REISSUED FOR DP	JUN-21-2023
5	ISSUED FOR BP	MAR-01-2024
6	REISSUED FOR BP	JUL-05-2024
7	ISSUED FOR TENDER	JUL-19-2024
8	REISSUED FOR BP	OCT-17-2024
9	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

LEVEL 4 PLAN

SEAL

DRAWING NO.

REVISION

A206

DATE

23/03/10

DRAWN

IT

SCALE

1/8" = 1'-0"

CHECKED

HB

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
-	REISSUED FOR DP	JUN-21-2023
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1	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

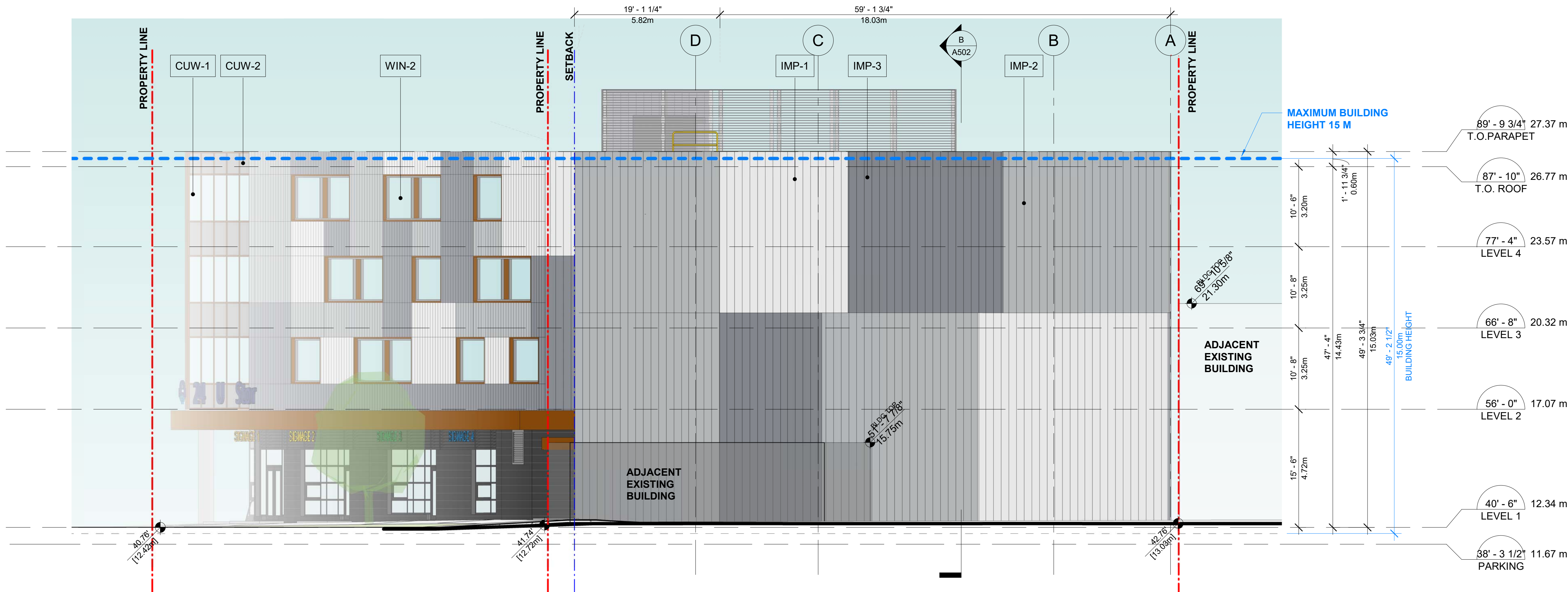
ELEVATION

SEAL

DRAWING NO. REVISION
1

A401

DATE 23/03/10
SCALE 1/8" = 1'-0"
DRAWN IT
CHECKED HB



NORTH ELEVATION

ELEVATION KEYNOTE LEGEND

ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	TO MATCH KAWNEER DARK BRONE - FINISH #40	MCL-1	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN REGAL WHITE
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40	MCL-2	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN DOVE GRAY
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-4	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	SOF-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-1	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE	CAN-1	METAL CANOPY CLADDING	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-2	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD SECURITY GATE	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	COLOR - ANODIZED ALUMINUM
WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			
WIN-3	ALUMINUM WINDOW WITH INSULATED SPANDREL PANELS IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
-	REISSUED FOR DP	JUN-21-2023
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-	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

ELEVATION

SEAL

DRAWING NO. REVISION
1

A402

DATE 23/03/10 DRAWN IT

SCALE 1/8" = 1'-0" CHECKED HB



EAST ELEVATION

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	TO MATCH KAWNEER DARK BRONE - FINISH #40	MCL-1	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN REGAL WHITE
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40	MCL-2	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN DOVE GRAY
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-4	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	SOF-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-1	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE	CAN-1	METAL CANOPY CLADDING	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-2	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD SECURITY GATE	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	COLOR - ANODIZED ALIUMINUM
WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			
WIN-3	ALUMINUM WINDOW WITH INSULATED SPANDREL PANELS IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

ELEVATION

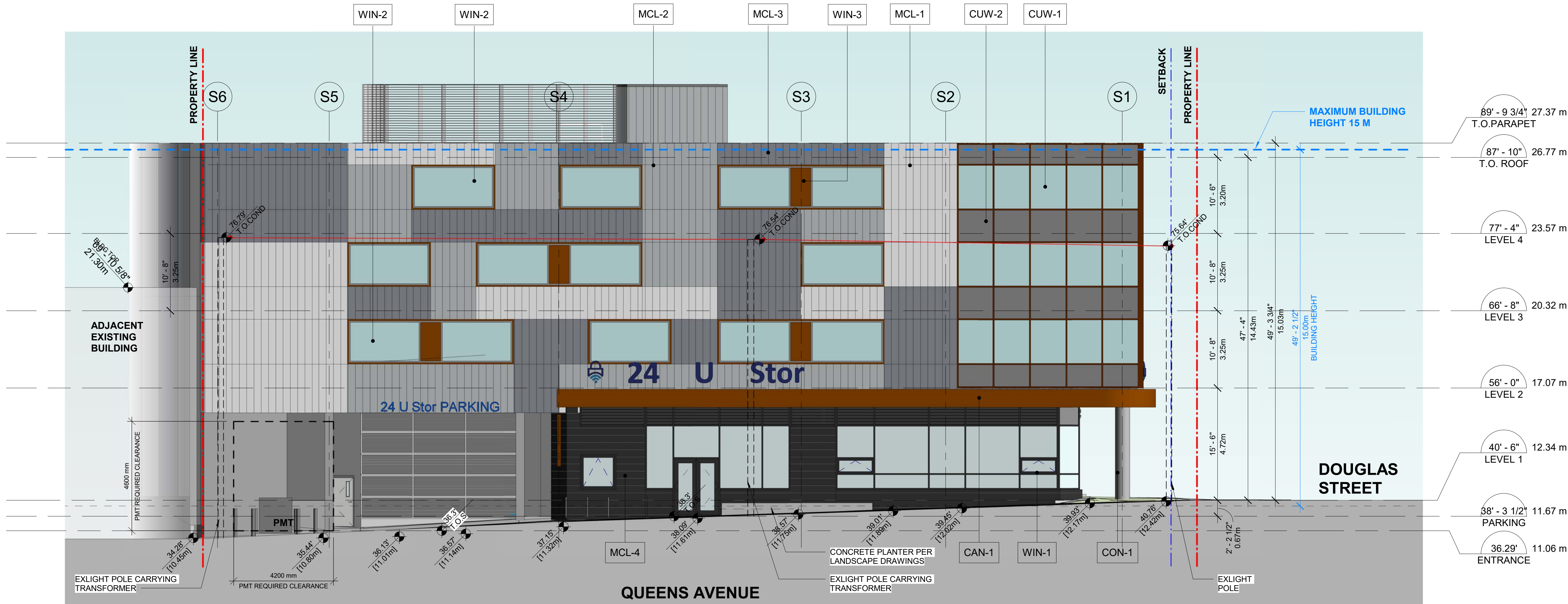
SEAL

DRAWING NO. REVISION
1

A403

DATE 23/03/10
SCALE 1/8" = 1'-0"

DRAWN IT
CHECKED HB



SOUTH ELEVATION

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	TO MATCH KAWNEER DARK BRONE - FINISH #40	MCL-1	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN REGAL WHITE
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40	MCL-2	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN DOVE GRAY
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-4	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	SOF-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-1	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE	CAN-1	METAL CANOPY CLADDING	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-2	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD SECURITY GATE	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	COLOR - ANODIZED ALIUMINUM
WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			
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REVISIONS		
NO	DESCRIPTION	DATE
	ISSUED FOR DP	MAR-25-2022
	REISSUED FOR DP	JUN-16-2022
	REISSUED FOR DP	MAR-10-2023
	REISSUED FOR DP	JUN-21-2023
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1	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

SEAL

DRAWING NO.	REVISION
-------------	----------

1

A404

DATE	DRAWN
23/03/10	IT

SCALE _____ CHECKED _____

$$1/8" = 1'-0" \quad \text{HB}$$


ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	TO MATCH KAWNEER DARK BRONE - FINISH #40	MCL-1	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN REGAL WHITE
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40	MCL-2	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN DOVE GRAY
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-4	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	SOF-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-1	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE	CAN-1	METAL CANOPY CLADDING	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-2	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD SECURITY GATE	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOR TO MATCH KINGSPAN WHEATHERED ZINC	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	COLOR - ANODIZED ALIUMINUM
WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOR TO MATCH VICWEST BLACK - 56068	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			
WIN-3	ALUMINUM WINDOW WITH INSULATED SPANDREL PANELS IN PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST			

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
-	REISSUED FOR DP	JUN-21-2023
1	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

PARTIAL ELEVATIONS

SEAL

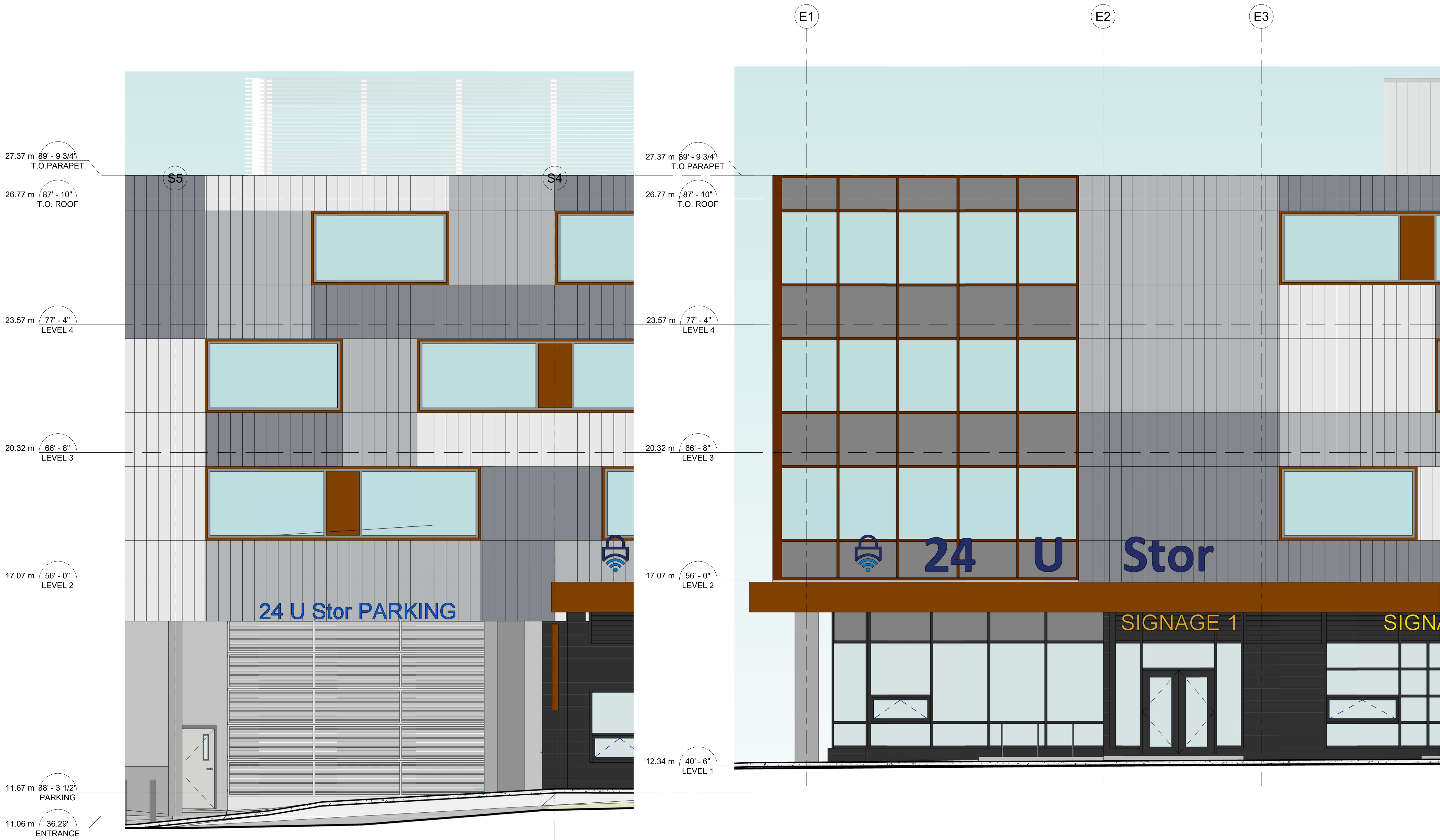
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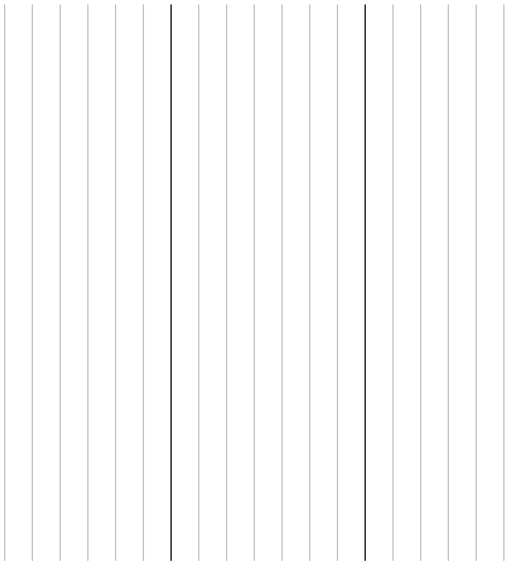

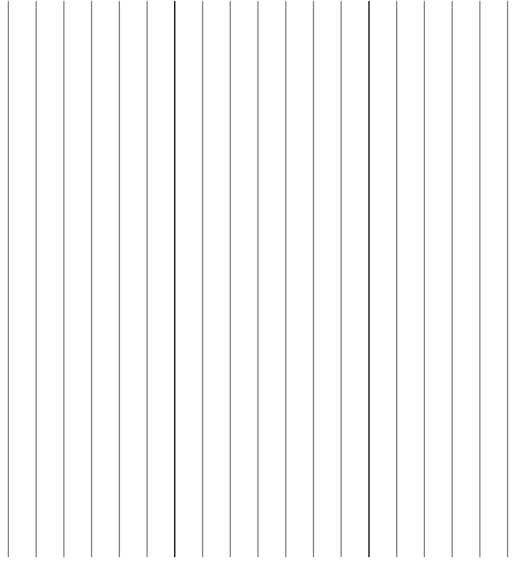

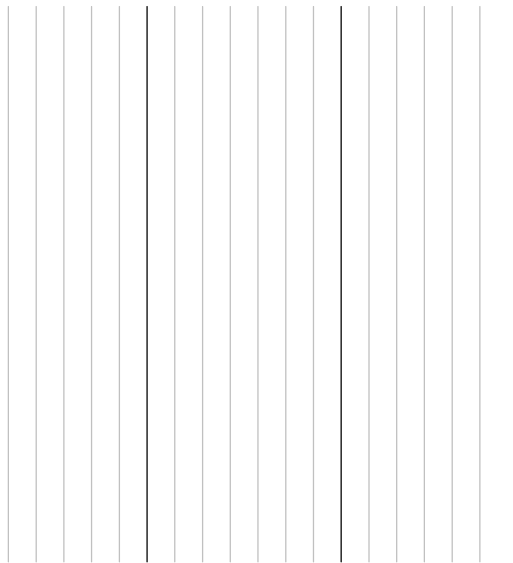

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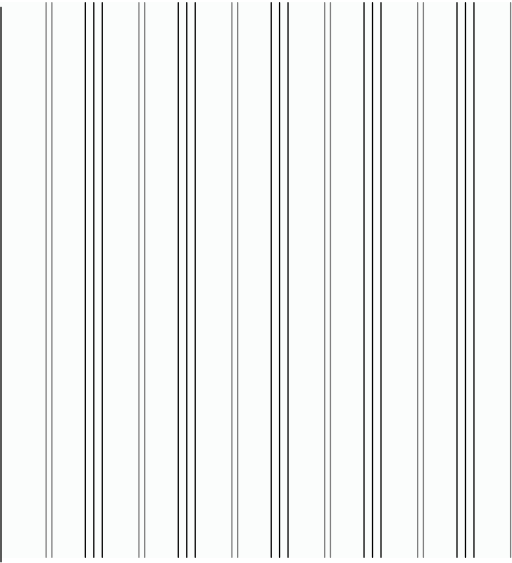

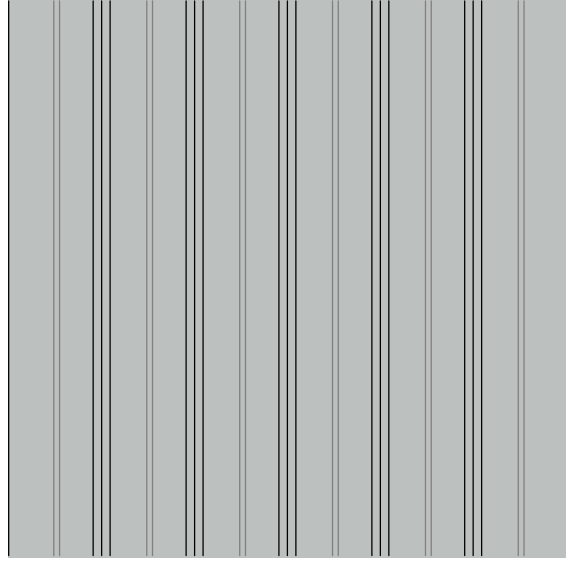

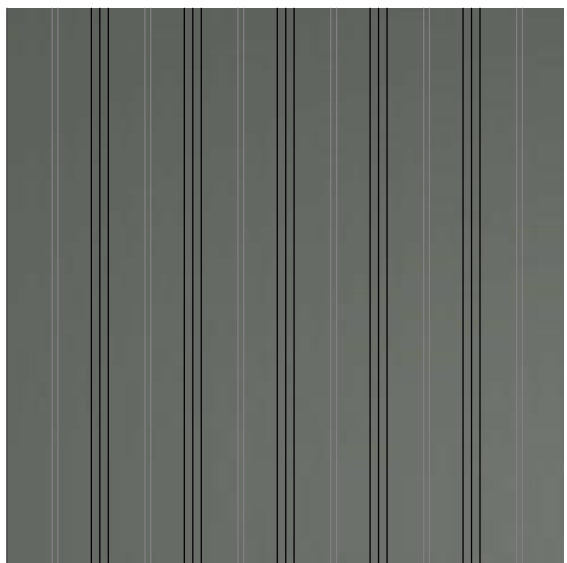
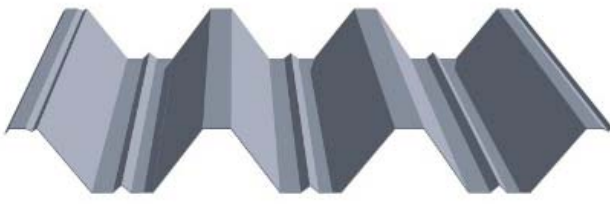
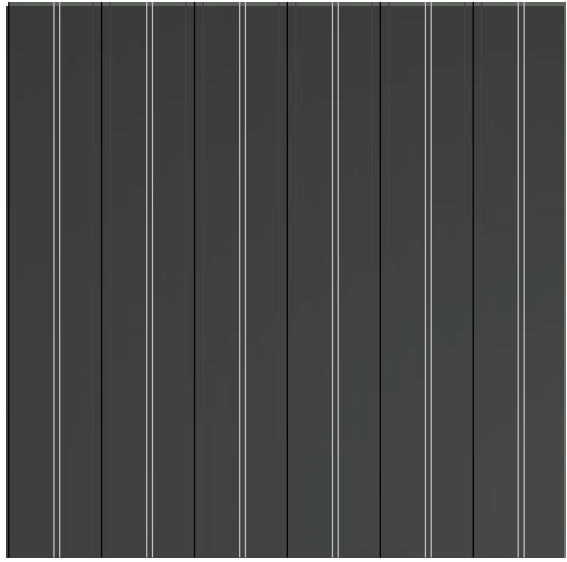
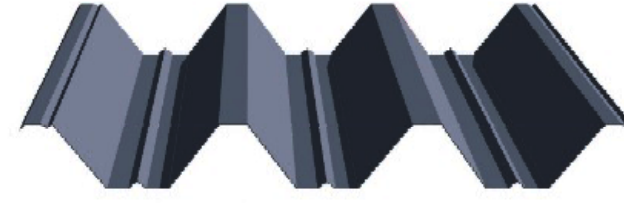
A405

DATE 23/03/10 DRAWN IT

SCALE 1/4" = 1'-0" CHECKED HB



ITEM	COLOUR FINISH / IMAGE	SYSTEM/PATTERN
IMP -1		
IMP -2		
IMP -3		

ITEM	COLOUR FINISH / IMAGE	SYSTEM
MCL-1		
MCL-2		
MCL-3		
MCL-4		

ITEM	COLOUR FINISH / IMAGE	SYSTEM
CON-1		
WIN-2	 <div>GLASS</div> <div>FRAME</div>	
CUW-1	 <div>GLASS</div> <div>FRAME</div>	
SOF-1 & CAN-1	 <div>SOFFIT</div> <div>FRAME</div>	

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	TO MATCH KAWNEER DARK BRONE - FINISH #40	MCL-1	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN REGAL WHITE
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40	MCL-2	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN DOVE GRAY
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-4	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	SOF-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
IMP-1	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE	CAN-1	METAL CANOPY CLADDING	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
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IMP-3	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	COLOR - ANODIZED ALIUMINUM
WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
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REVISIONS		
NO	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
-	REISSUED FOR DP	JUN-21-2023
-	ISSUED FOR BP	MAR-01-2024
-	REISSUED FOR BP	JUL-05-2024
-	ISSUED FOR TENDER	JUL-19-2024
-	REISSUED FOR BP	OCT-17-2024
⚠	ISSUED FOR DDP REVIEW	JUN-23-2025

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

MATERIAL LEGEND

SEAL

DRAWING NO. REVISION
1

A406

DATE 23/03/10
SCALE N/A
DRAWN IT
CHECKED HB

REVISIONS		
NO	DESCRIPTION	DATE
	ISSUED FOR DP	MAR-25-2022
	REISSUED FOR DP	JUN-16-2022
	REISSUED FOR DP	MAR-10-2023
	REISSUED FOR DP	JUN-21-2023
	ISSUED FOR BP	MAR-01-2024
	REISSUED FOR BP	JUL-05-2024
	ISSUED FOR TENDER	JUL-19-2024
	REISSUED FOR BP	OCT-17-2024
1	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

SECTION A

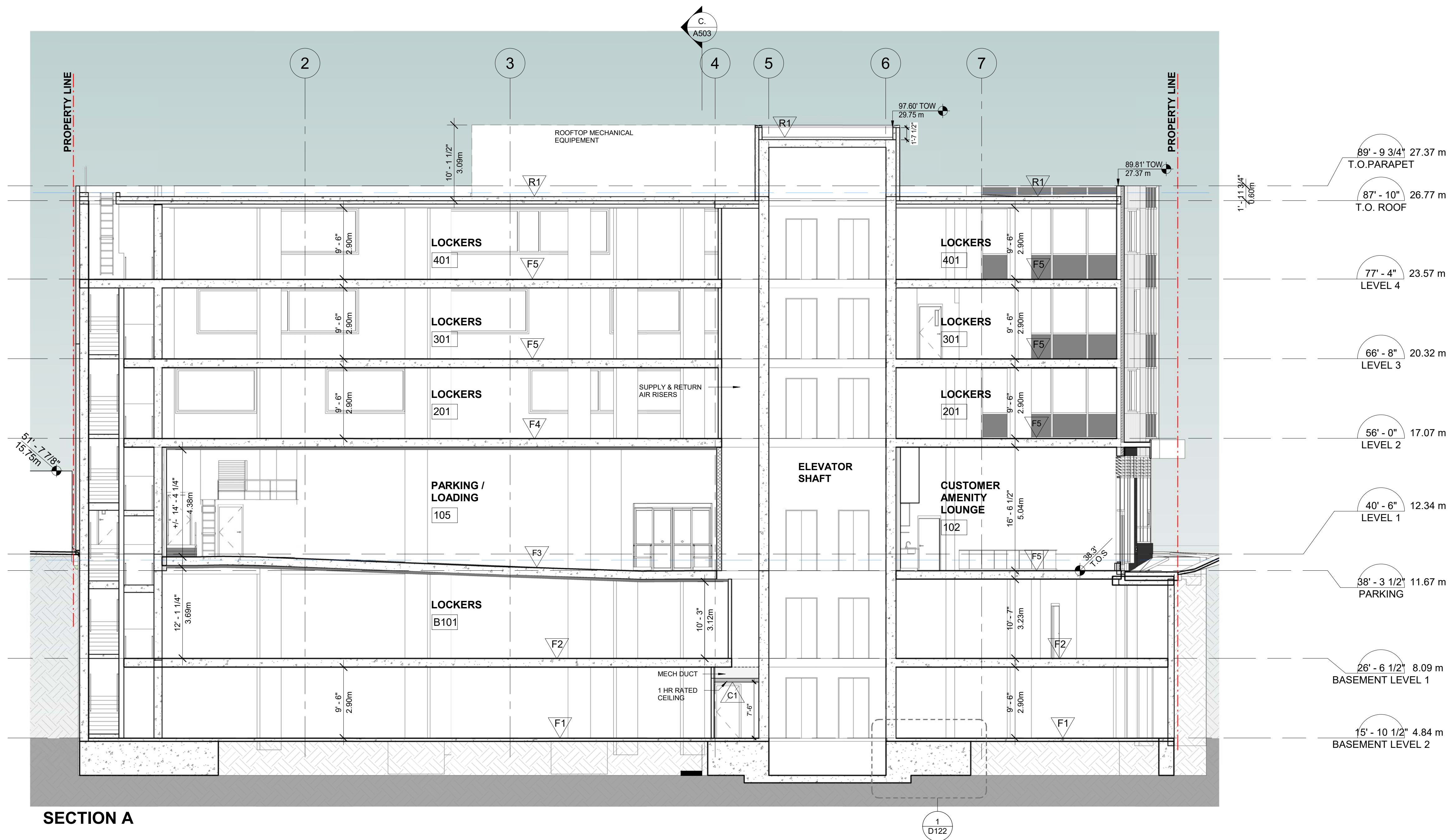
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DRAWING NO.	REVISION
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1

A501

DATE	DRAWN
23/03/10	IT
SCALE	CHECKED
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REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
-	REISSUED FOR DP	JUN-21-2023
-	ISSUED FOR BP	MAR-01-2024
-	REISSUED FOR BP	JUL-05-2024
-	ISSUED FOR TENDER	JUL-19-2024
-	REISSUED FOR BP	OCT-17-2024
-	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

SECTION B

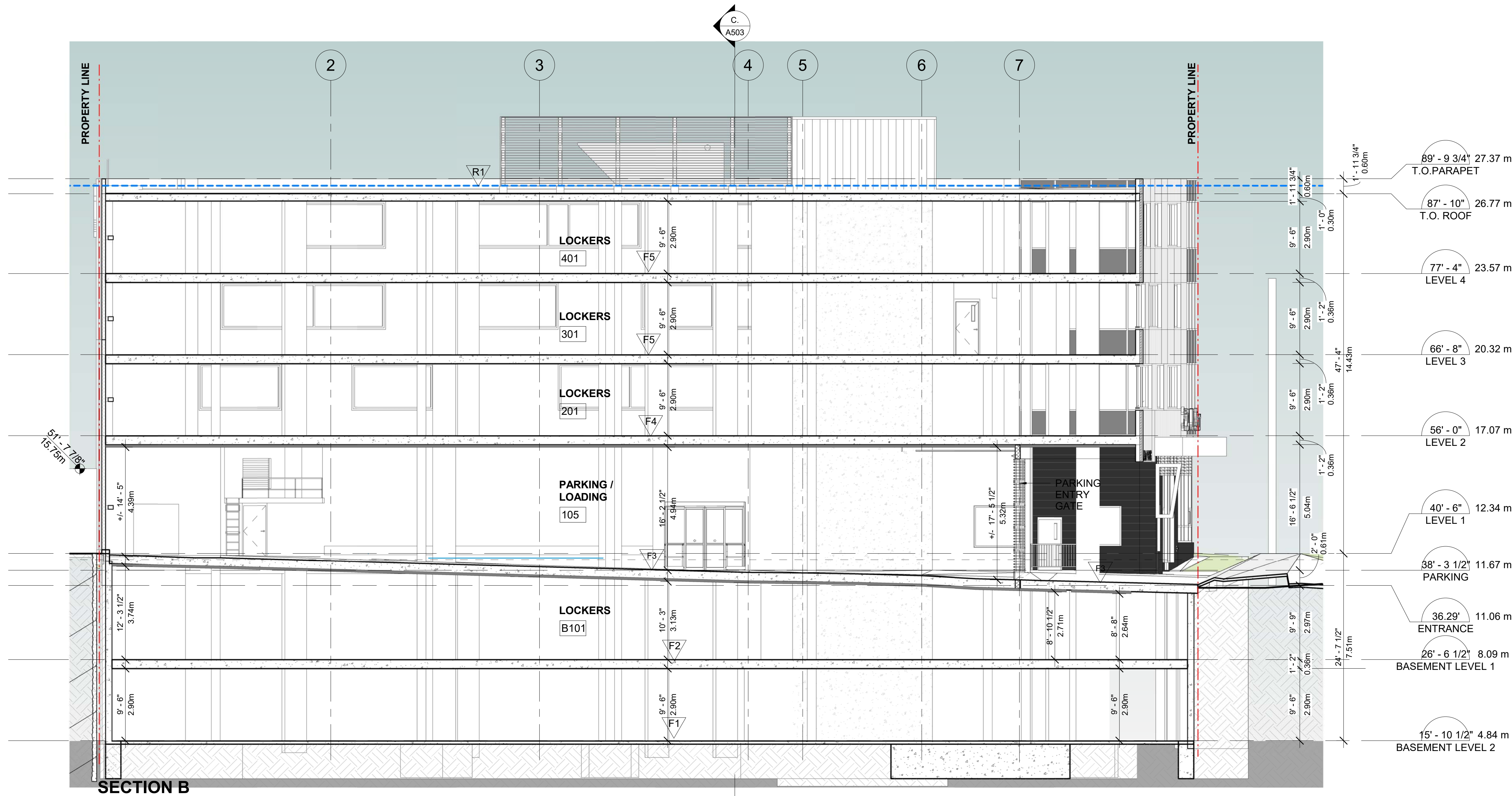
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DRAWING NO. REVISION
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REVISIONS		DATE
NO.	DESCRIPTION	
—	ISSUED FOR DP	MAR-25-2022
—	REISSUED FOR DP	JUN-16-2022
—	REISSUED FOR DP	MAR-10-2023
—	REISSUED FOR DP	JUN-21-2023
—	ISSUED FOR BP	MAR-01-2024
—	REISSUED FOR BP	JUL-05-2024
—	ISSUED FOR TENDER	JUL-19-2024
—	REISSUED FOR BP	OCT-17-2024
1	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

SECTION C

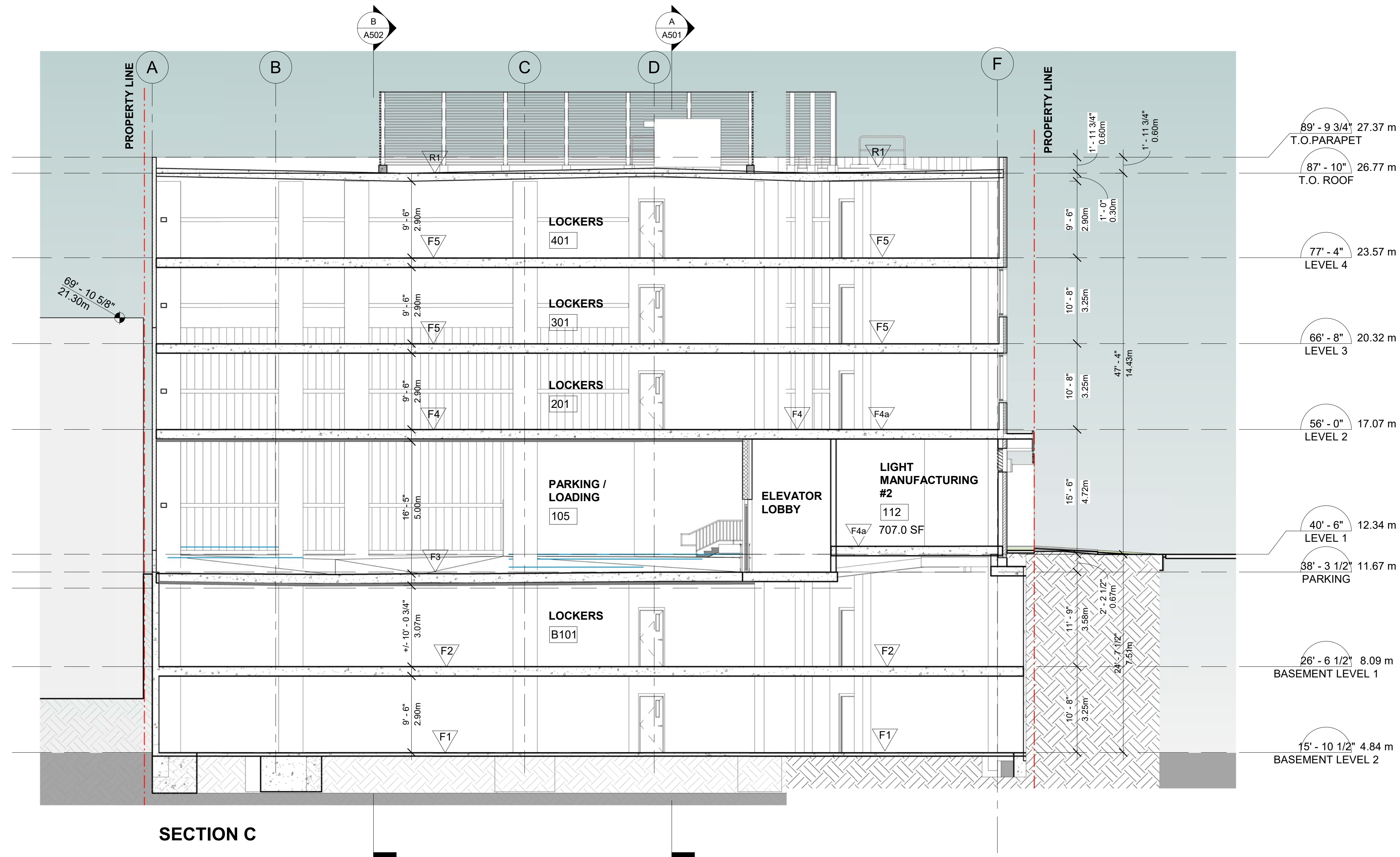
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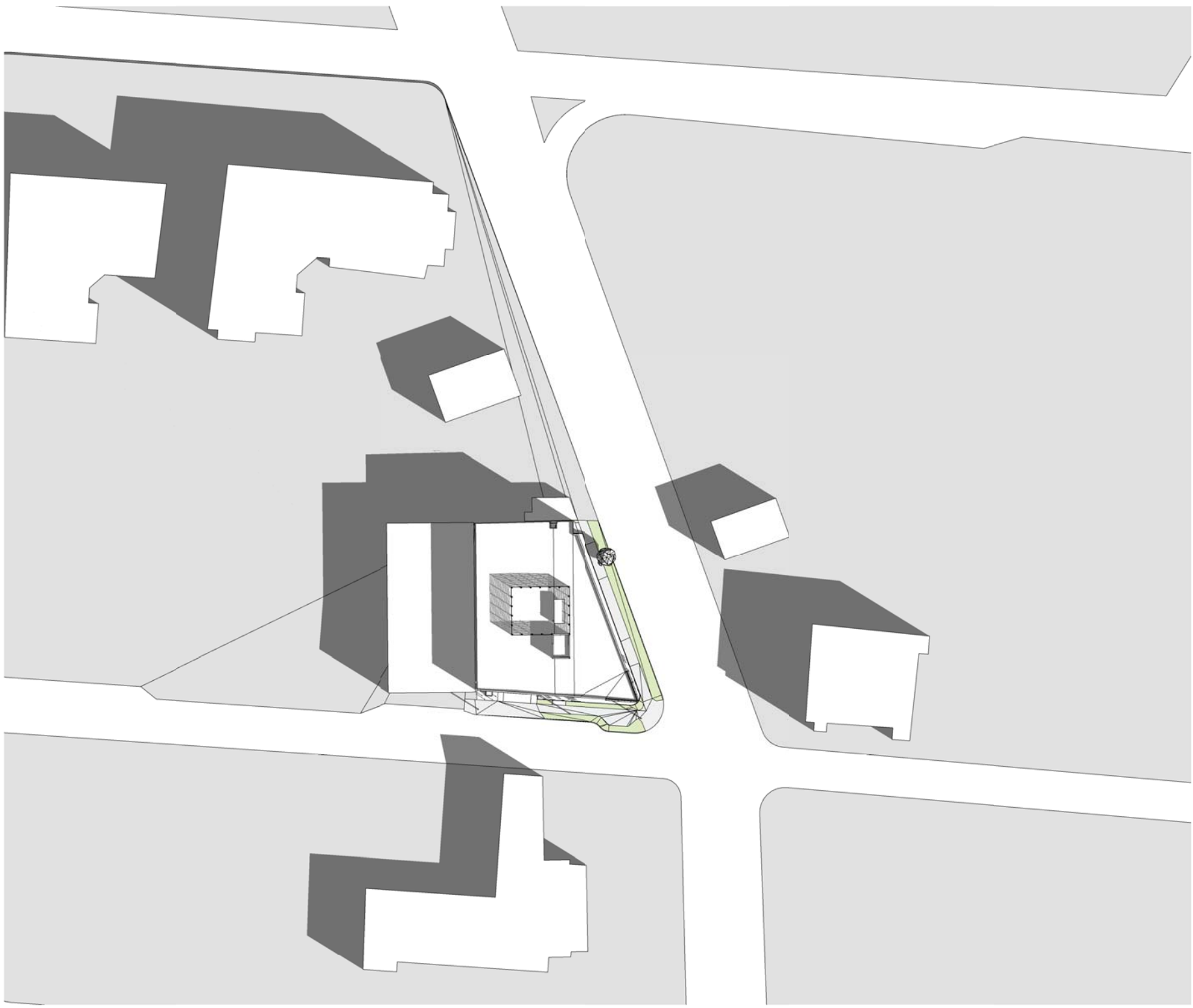
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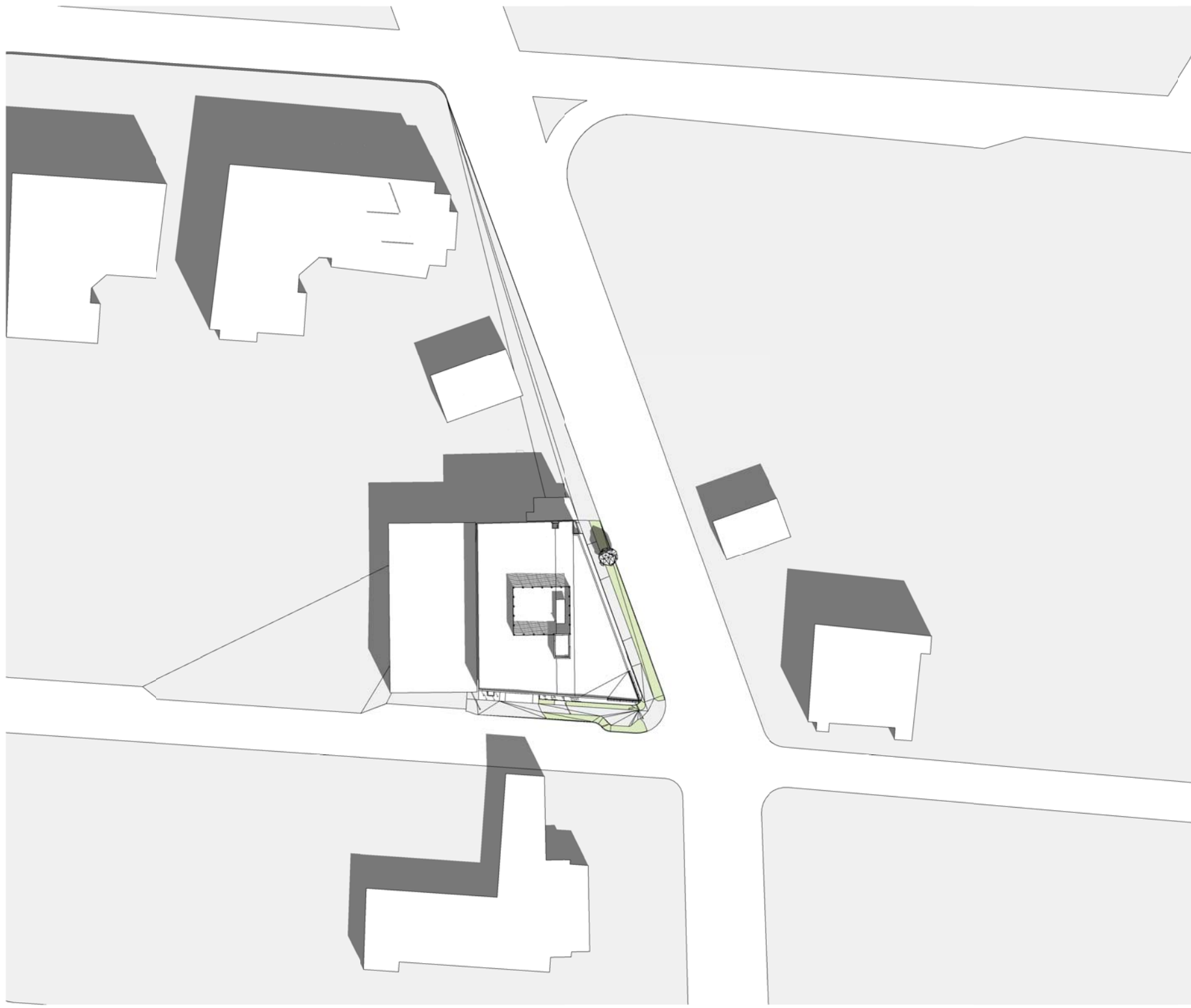
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DATE	DRAWN
23/03/10	IT
SCALE	CHECKED
1/8" = 1'-0"	HB

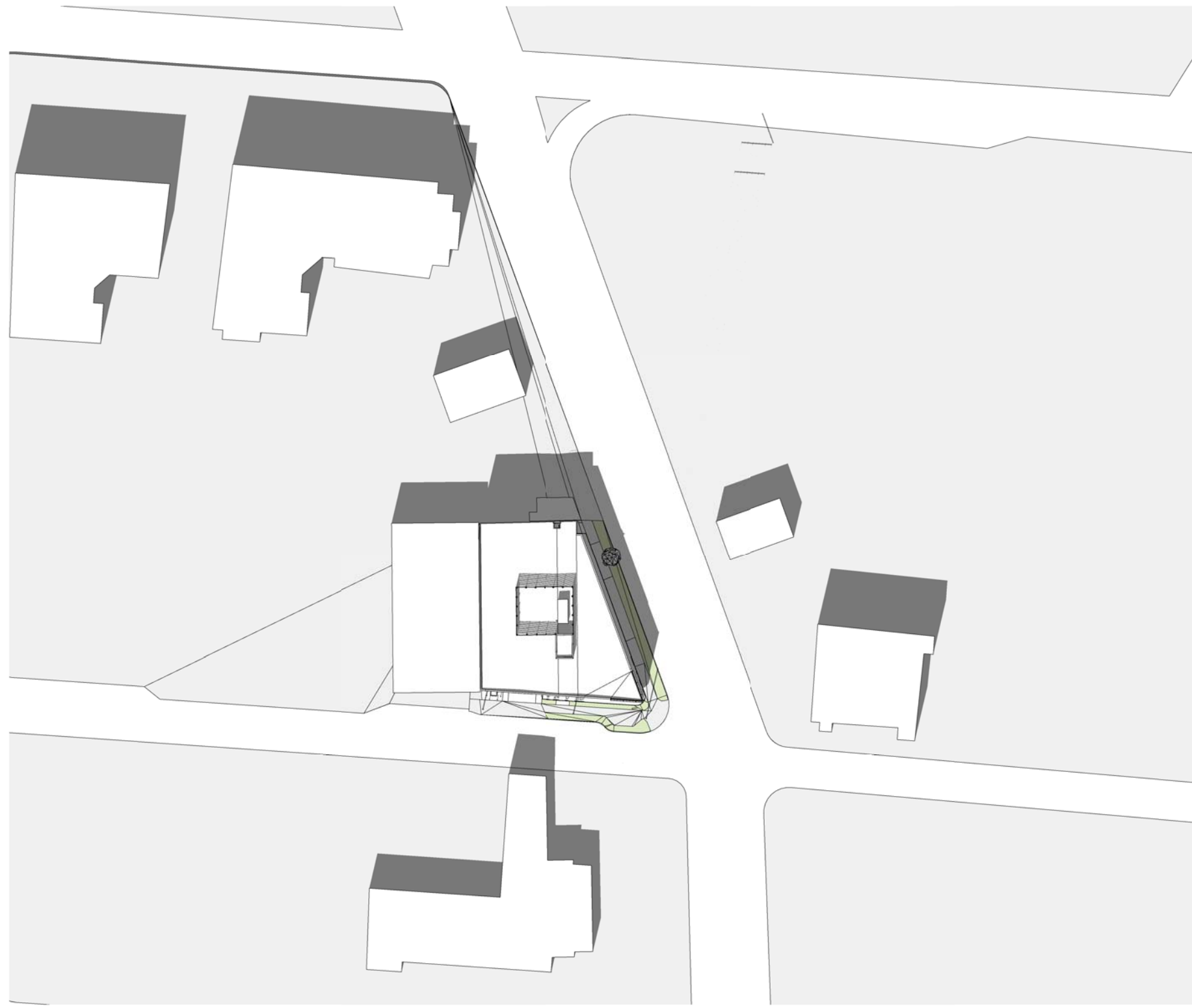




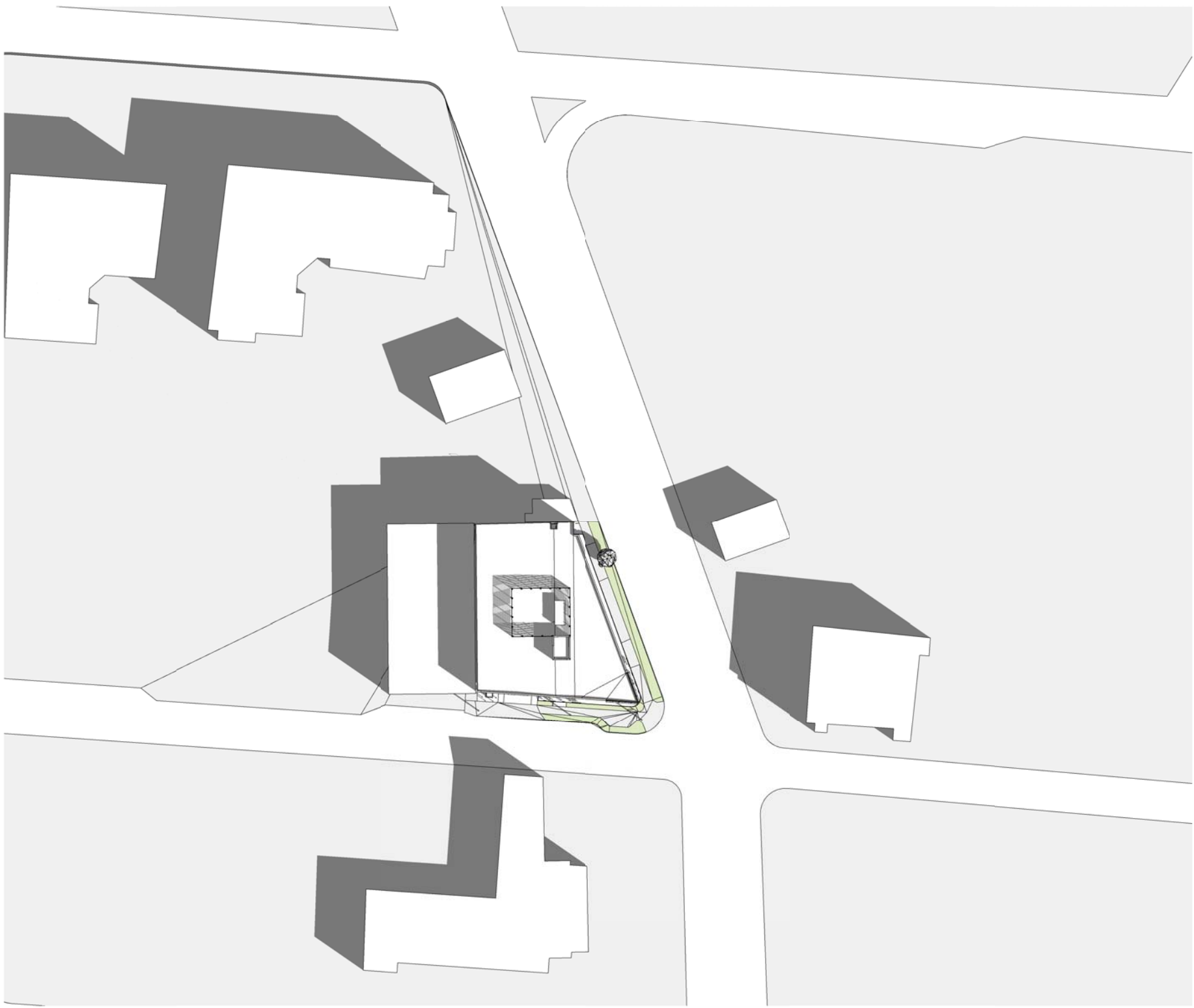
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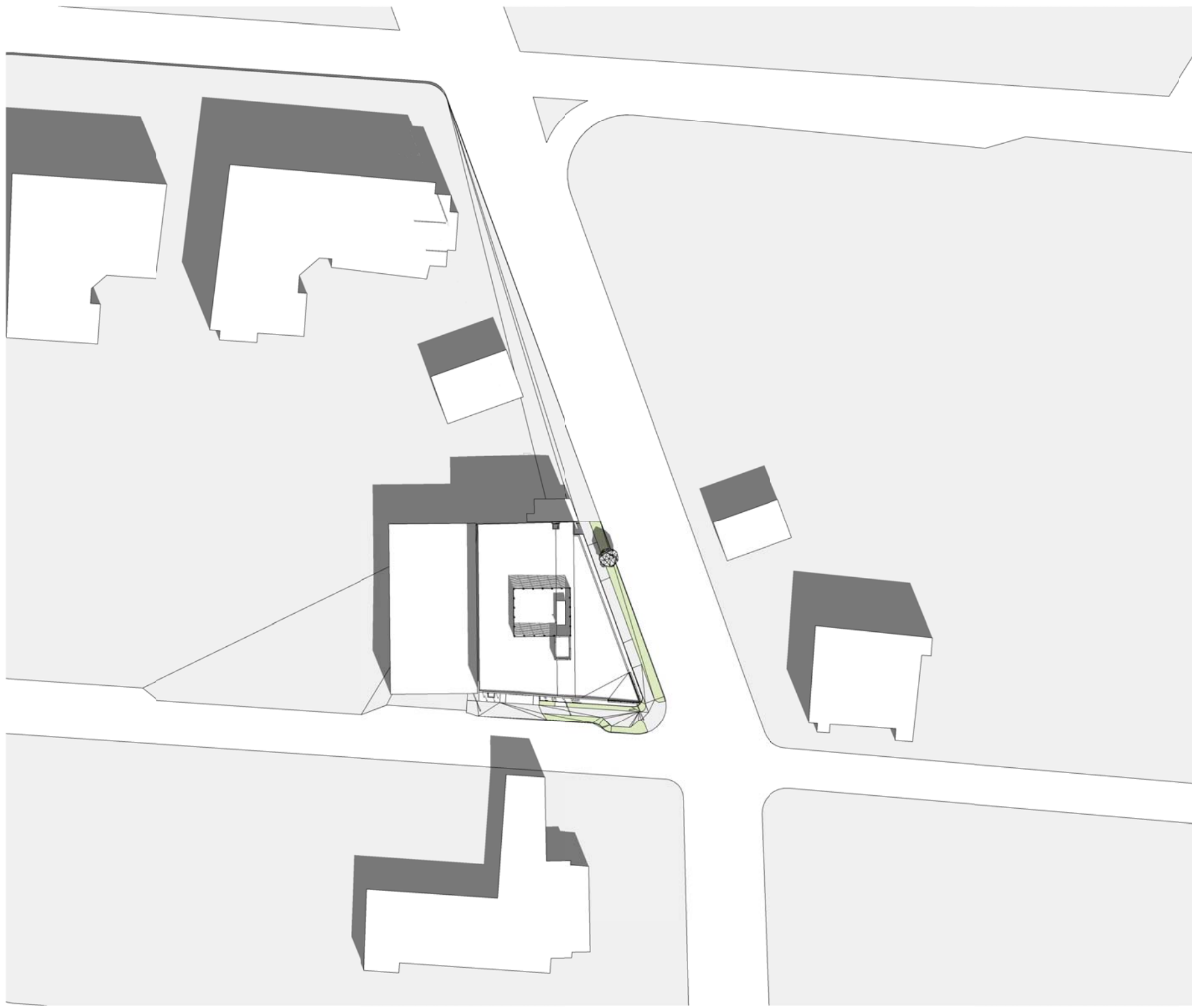
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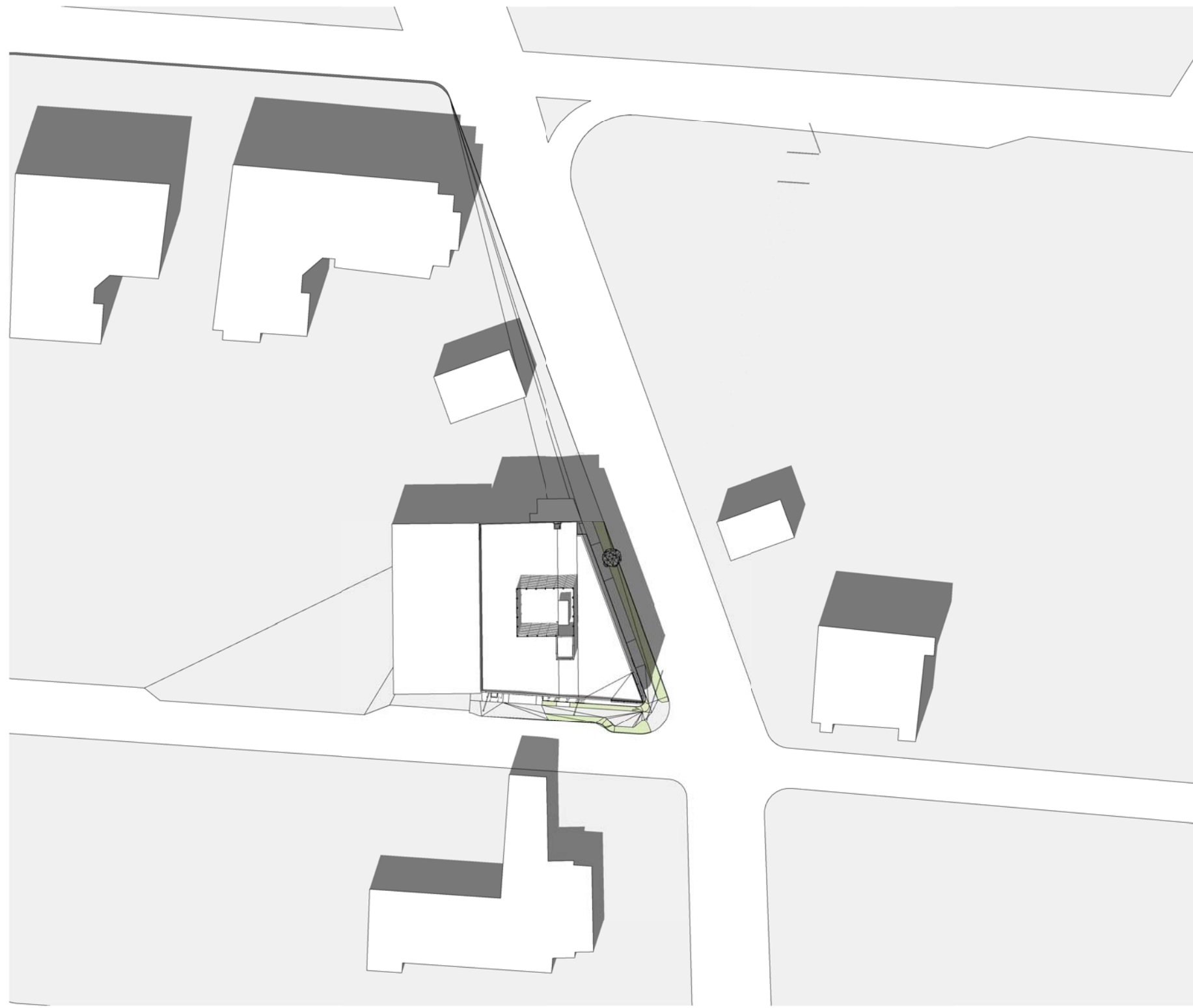
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4 SEPTEMBER-21 10:00AM



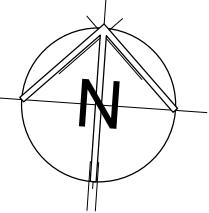
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6 SEPTEMBER-21 2:00PM

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR DP	MAR-25-2022
-	REISSUED FOR DP	JUN-16-2022
-	REISSUED FOR DP	MAR-10-2023
-	REISSUED FOR DP	JUN-21-2023
1	ISSUED FOR DDP REVIEW	JUN-23-2025

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CLIENT

BG DOUGLAS VENTURES INC.
BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE
SHADOW ANALYSIS

SEAL

DRAWING NO. REVISION
1

SA01

DATE 23/03/10
SCALE
DRAWN IT
CHECKED HB



5	July 3/25	Issued for Building Permit
4	Oct 17/24	Re Issued for Building Permit
3	July 5/24	Issued for Building Permit
2	Mar 4/24	Issued for Building Permit
1	Dec 18/23	Issued for 33% BP Submission

REVISIONS

 **LADR LANDSCAPE ARCHITECTS**

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

2300 Douglas St
Victoria, BC

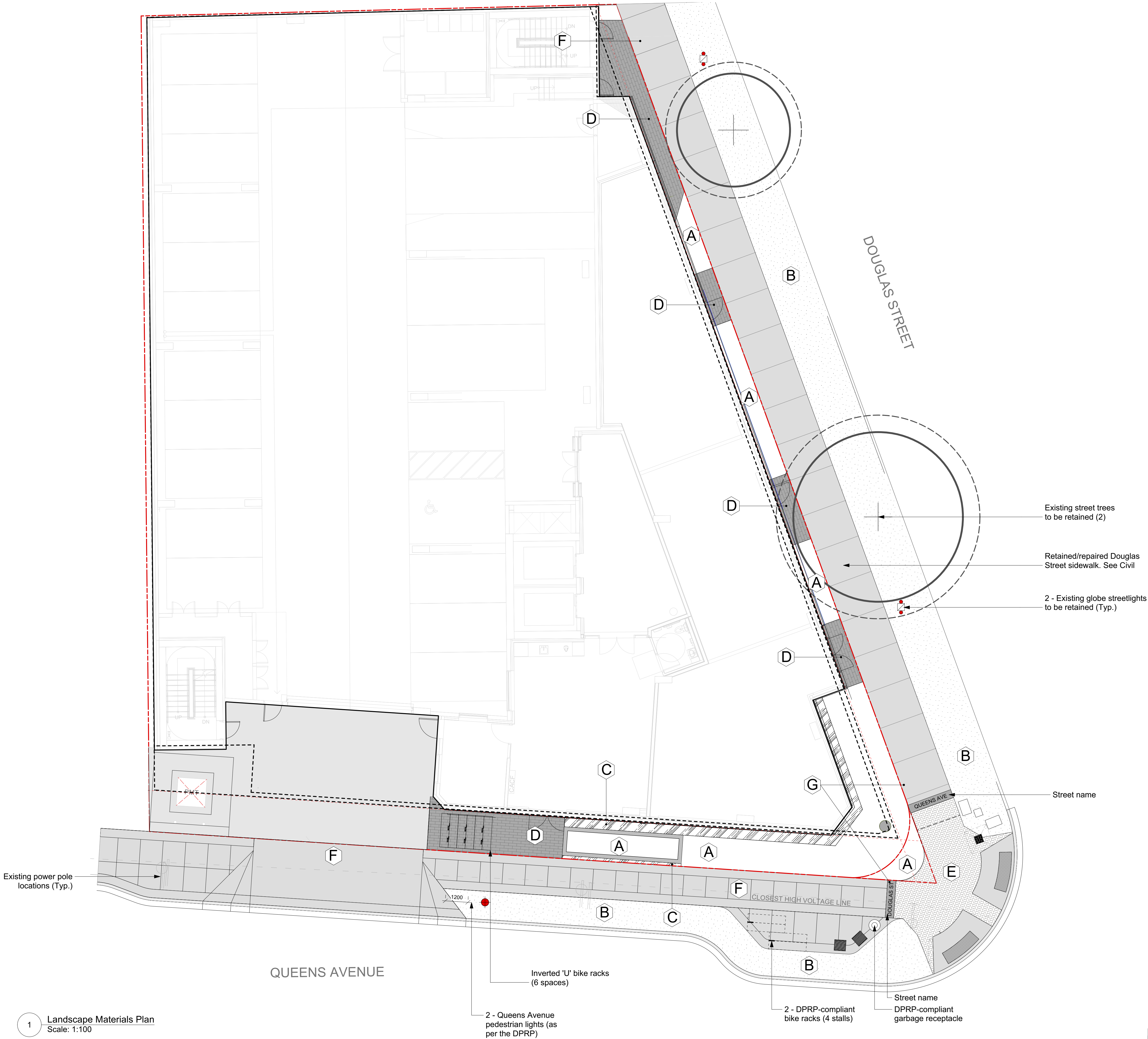
TITLE

Landscape Materials
Plan

SCALE **1:100** DRAWN **LM**
CHECKED **CW**

PROJECT No. **2203**

DATE **Dec 18/23** **L1 of 3**
SHEET



MATERIALS LEGEND

- A** Planting bed
- B** Grass lawn
- C** Decorative Stone maintenance strip (Min. 150mm depth)
- D** Stamped concrete at building entrances (Typ.) Color: Dark grey
- E** Decorative concrete pavers | Type: Abbotsford Concrete *Standard Series* | Color: Shadow Blend Field with Charcoal Border & Stall Markings
- F** Concrete surfacing - Fine Broom Finish (As per CoV DTPR)
- G** Basalt pavers with inset Street Names (As per CoV DTPR)





5	July 3/25	Issued for Building Permit
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REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

2300 Douglas St
Victoria, BC

TITLE

Landscape Layout
Plan

SCALE

As Shown

DRAWN

LM

CHECKED

CW

PROJECT No.

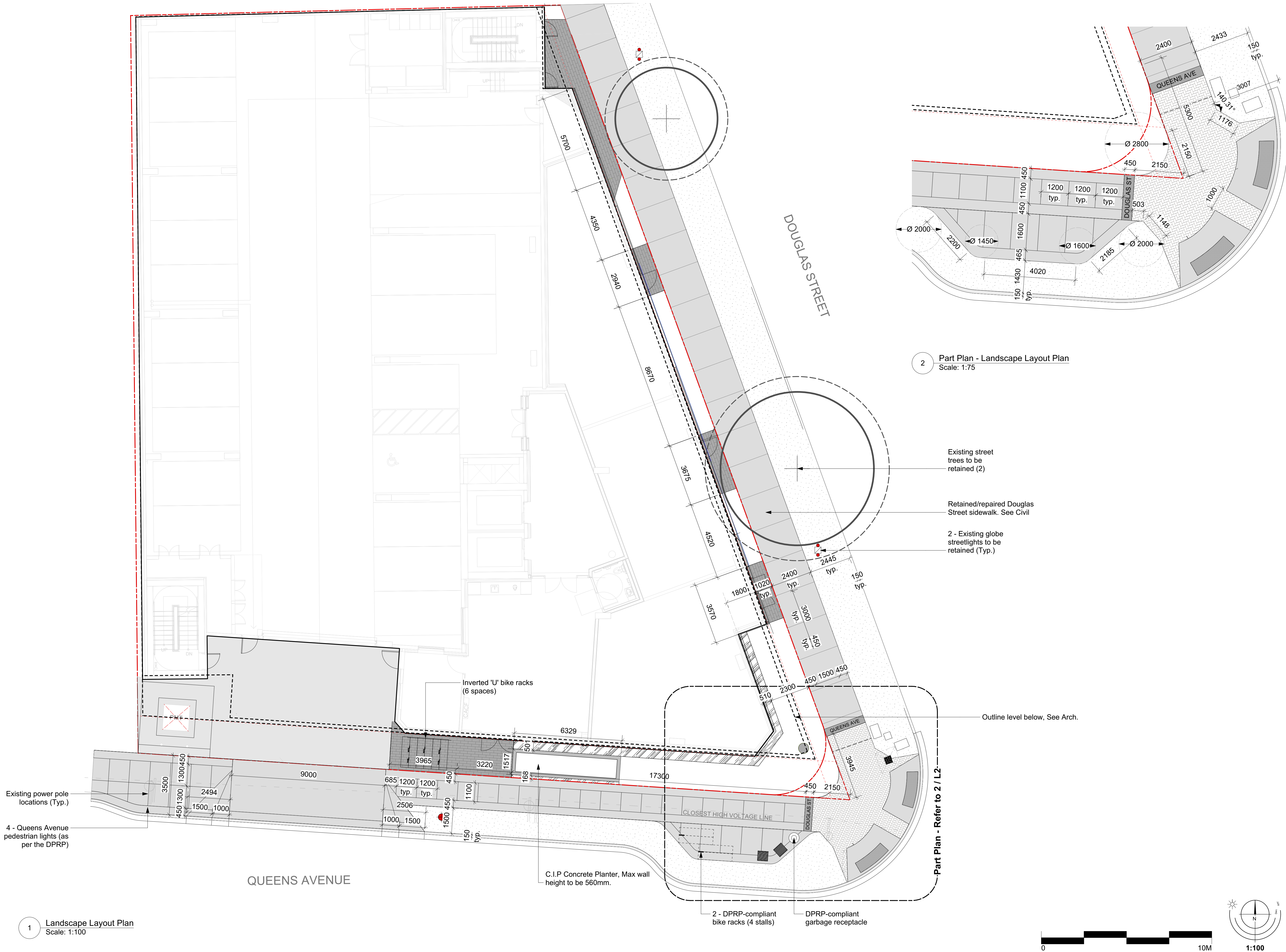
2203

DATE

Dec 18/23

L2 of 3

SHEET



1 Landscape Layout Plan
Scale: 1:100

2 Part Plan - Landscape Layout Plan
Scale: 1:75

Part Plan - Refer to 2 / L2



5	July 3/25	Issued for Building Permit
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1	Dec 18/23	Issued for 33% BP Submission

REVISIONS

 **LADR LANDSCAPE ARCHITECTS**

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

2300 Douglas St
Victoria, BC

TITLE

Landscape Planting
Plan

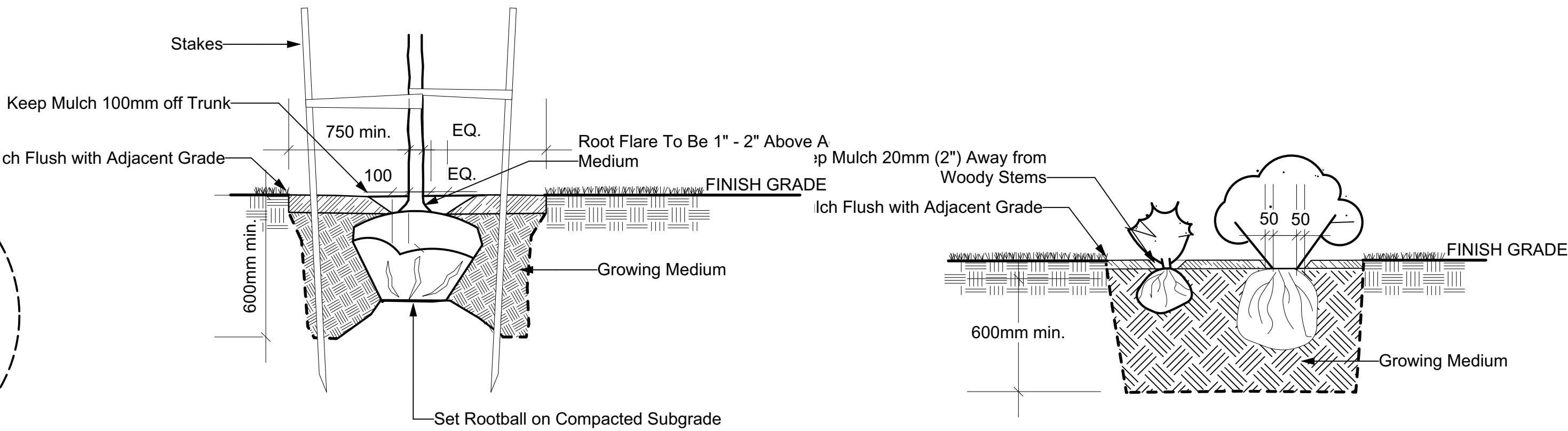
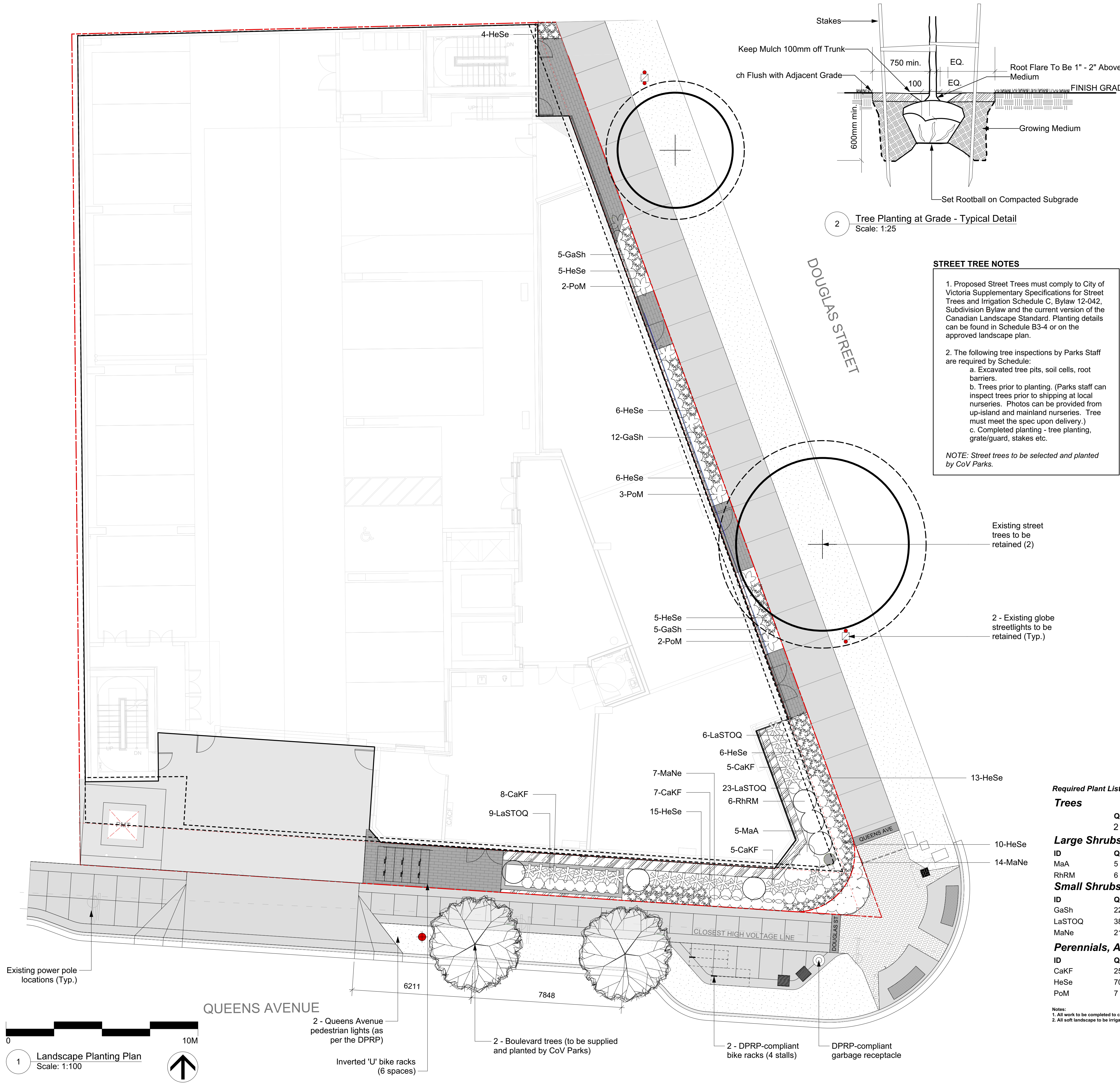
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DRAWN LM
CHECKED CW

PROJECT No. 2203

DATE Dec 18/23

L3 of 3
SHEET



2 Tree Planting at Grade - Typical Detail
Scale: 1:25

3 Shrub Planting at Grade - Typical Detail
Scale: 1:25

STREET TREE NOTES

1. Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan.

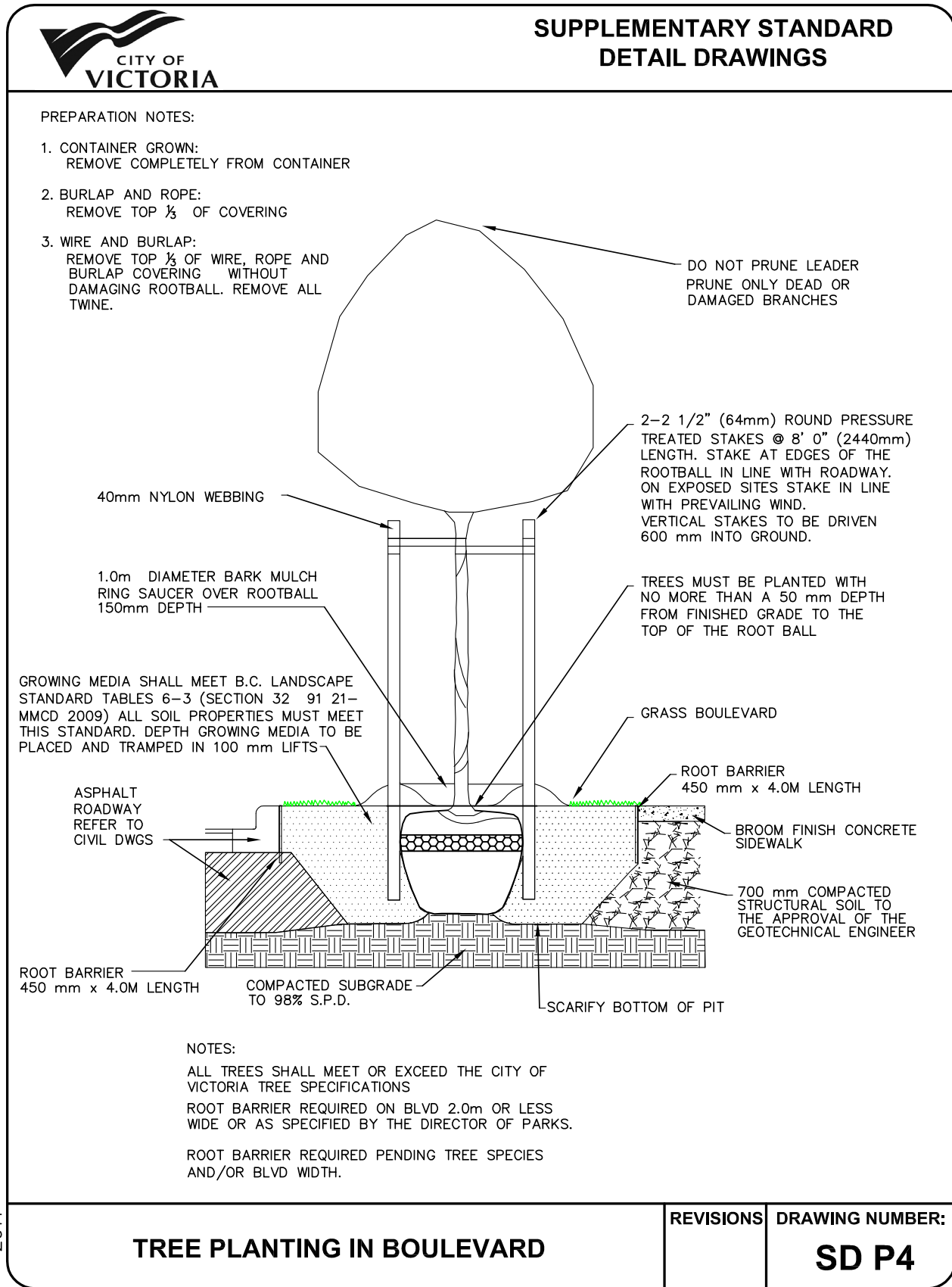
2. The following tree inspections by Parks Staff are required by Schedule:

a. Excavated tree pits, soil cells, root barriers.

b. Trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)

c. Completed planting - tree planting, grate/guard, stakes etc.

NOTE: Street trees to be selected and planted by CoV Parks.



TREE PLANTING IN BOULEVARD

REVISIONS

DRAWING NUMBER: SD P4

Required Plant List				
Trees				
Quantity	Botanical Name	Common Name	Size	
2	Street trees. Species & size to be selected by City of Victoria Parks Department			
Large Shrubs				
ID	Quantity	Botanical Name	Common Name	Size
MaA	5	Mahonia aquifolium	Tall Oregon Grape	#5 pot
RhRM	6	Rhododendron 'Rosa Mundi'	Rosa Mundi Rhododendron	#7 pot
Small Shrubs				
ID	Quantity	Botanical Name	Common Name	Size
GaSh	22	Gaultheria shallon	Salal	#1 pot
LaSTOQ	38	Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 pot
MaNe	21	Mahonia nervosa	Low Oregon Grape	#1 pot
Perennials, Annuals and Ferns				
ID	Quantity	Botanical Name	Common Name	Size
CaKF	25	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
HeSe	70	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
PoM	7	Polystichum munitum	Sword Fern	#1 pot

Notes:
1. All work to be completed to current CSLA Canadian Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system