



SOUTHEAST VIEW



NORTH VIEW



NORTHWEST VIEW

Revisions	DD MMM YYYY
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Renderings

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

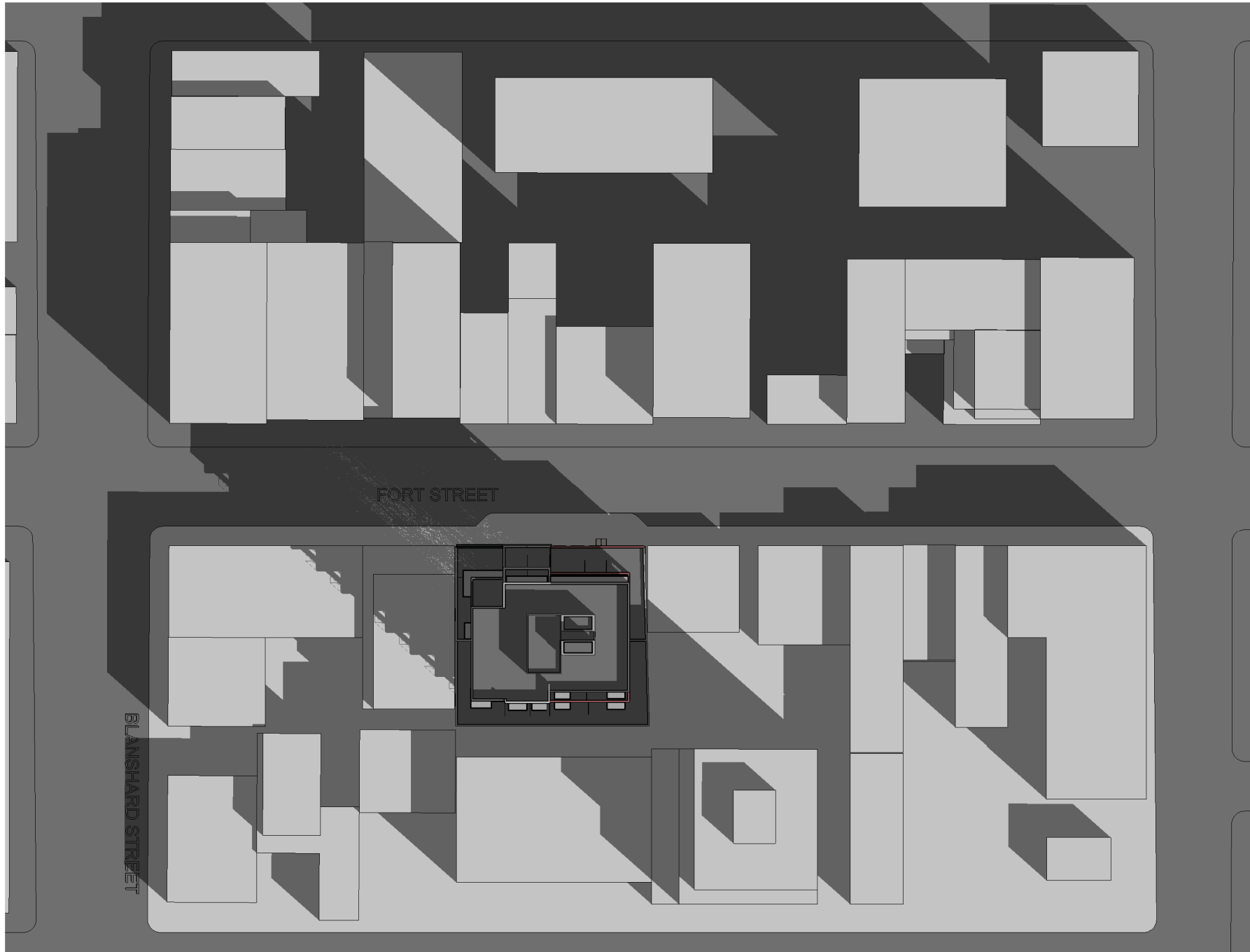
Project

Renderings

Drawing

Scale

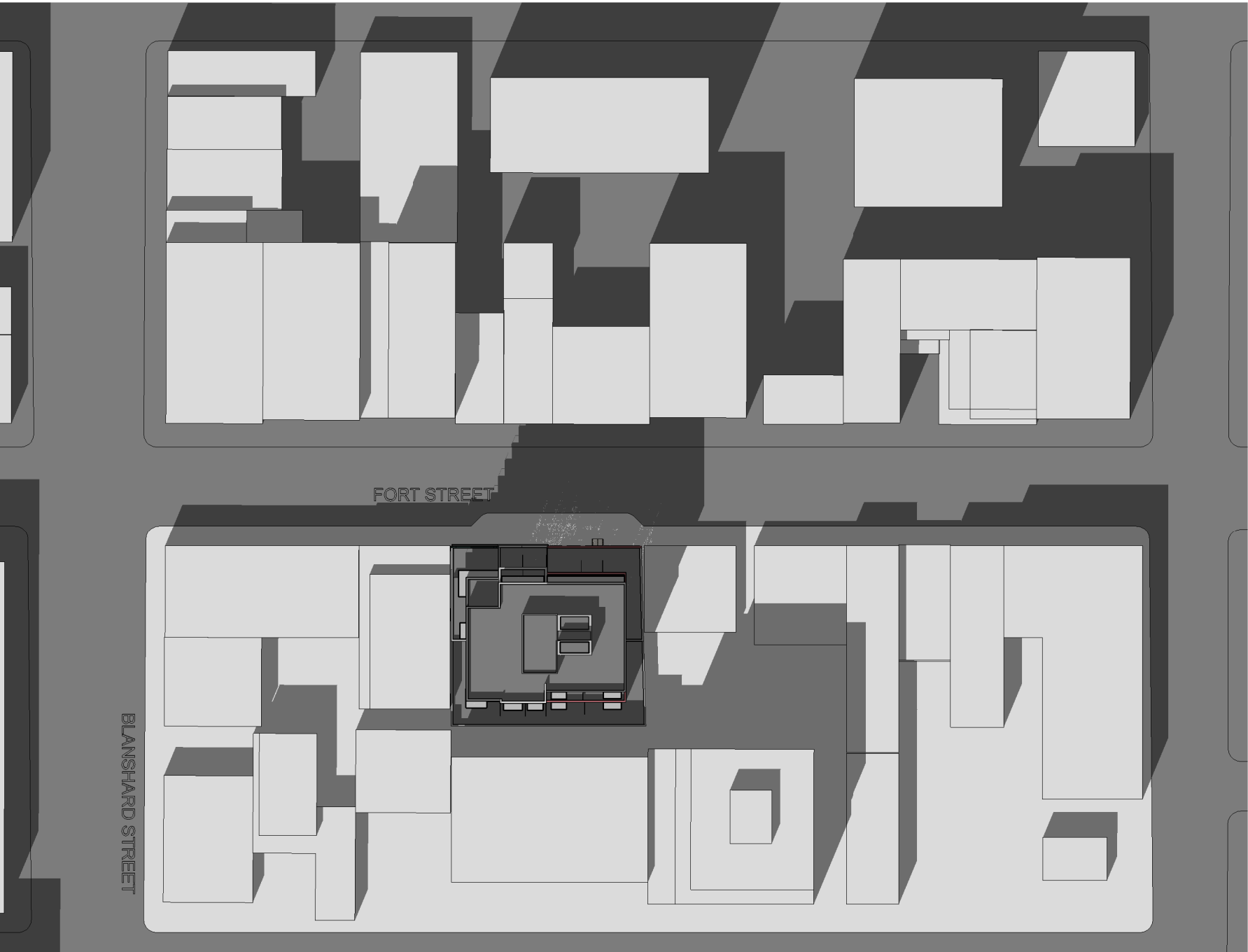
Project	217033
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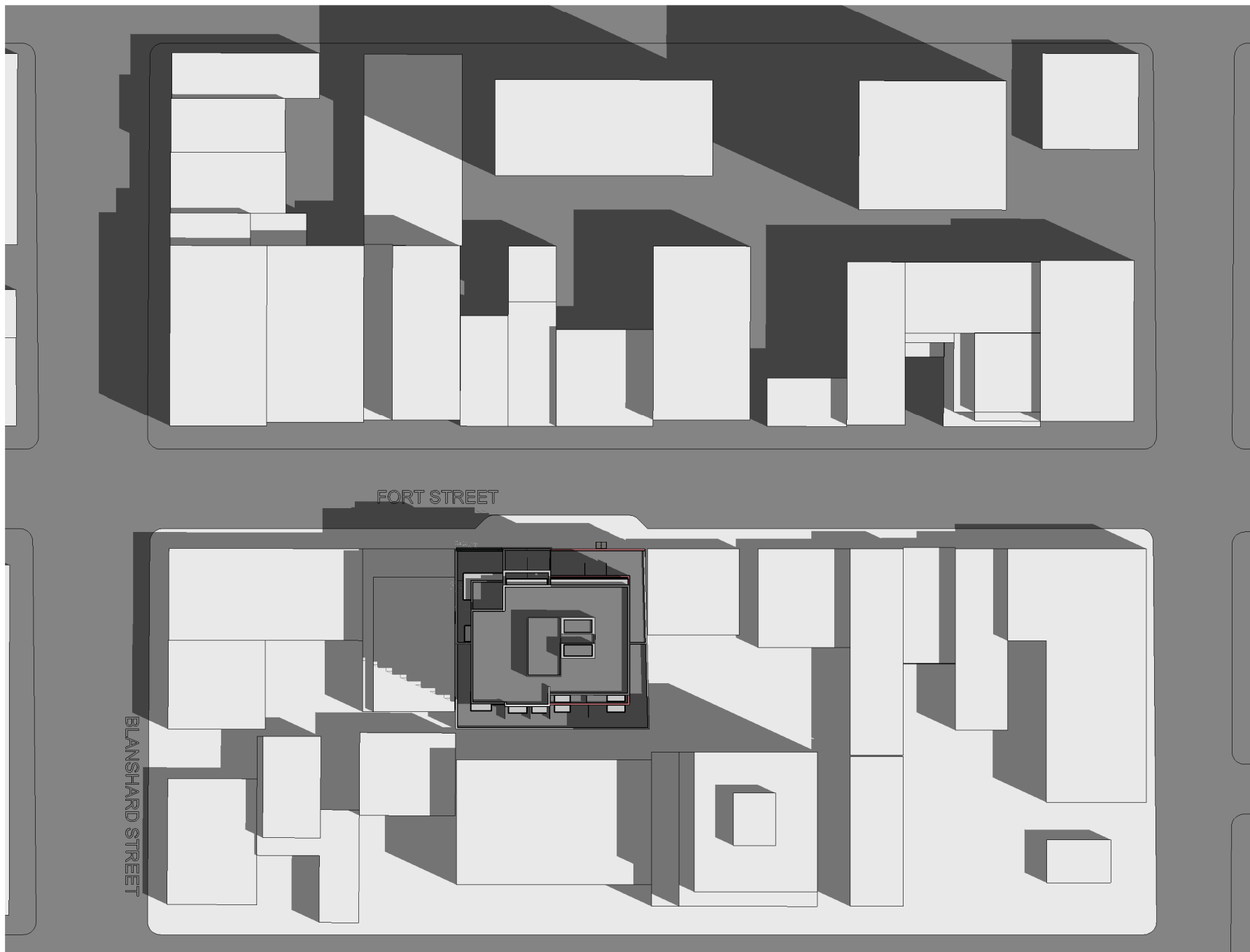
1 Spring Equinox 10 AM
A003 SCALE:



2 Spring Equinox 12 PM
A003 SCALE:



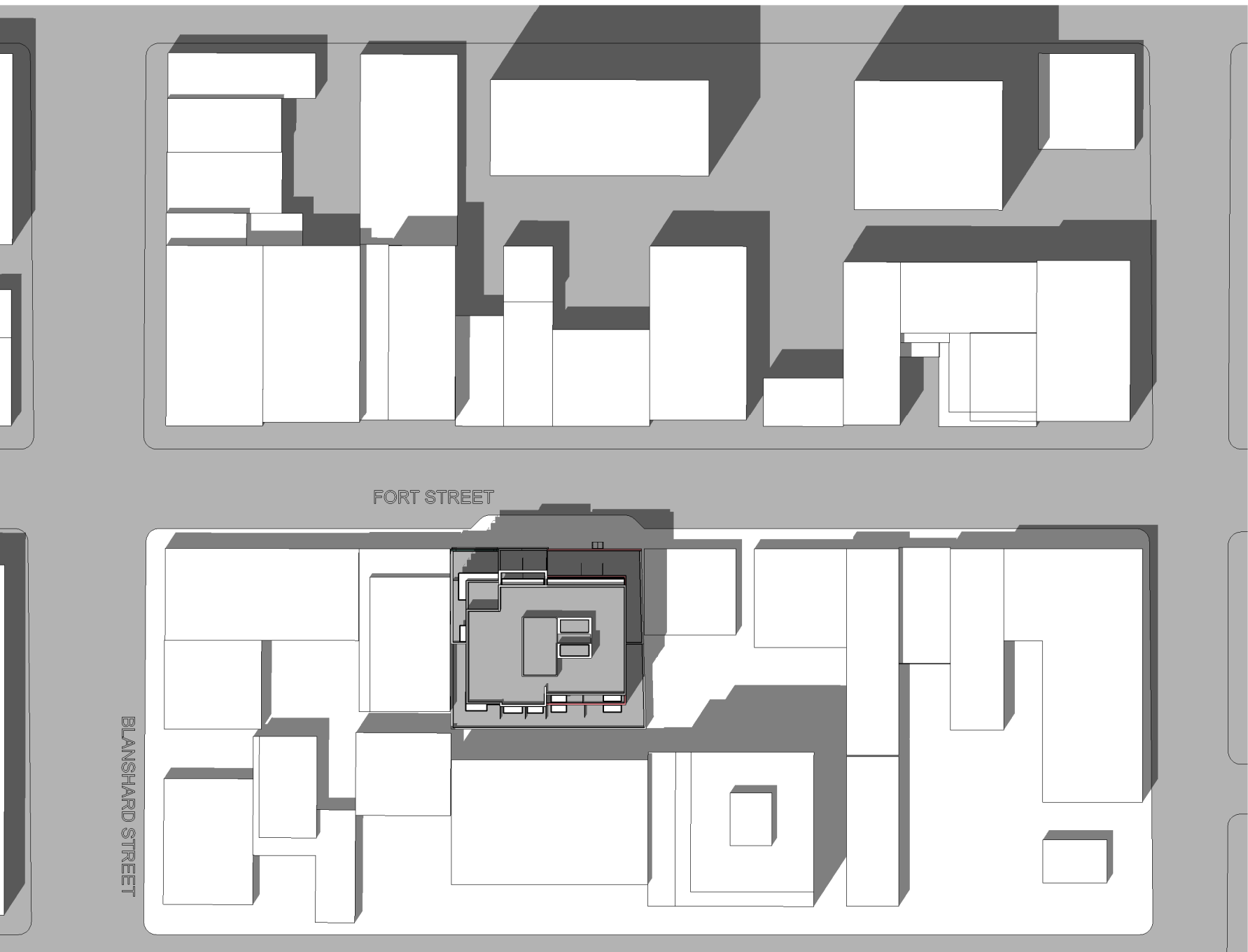
3 Spring Equinox 2 PM
A003 SCALE:



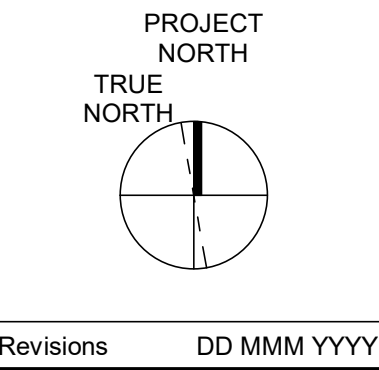
4 Summer Solstice 10 AM
A003 SCALE:



5 Summer Solstice 12 PM
A003 SCALE:



6 Summer Solstice 2 PM
A003 SCALE:



Revisions	DD MMM YYYY
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Shadow Study

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

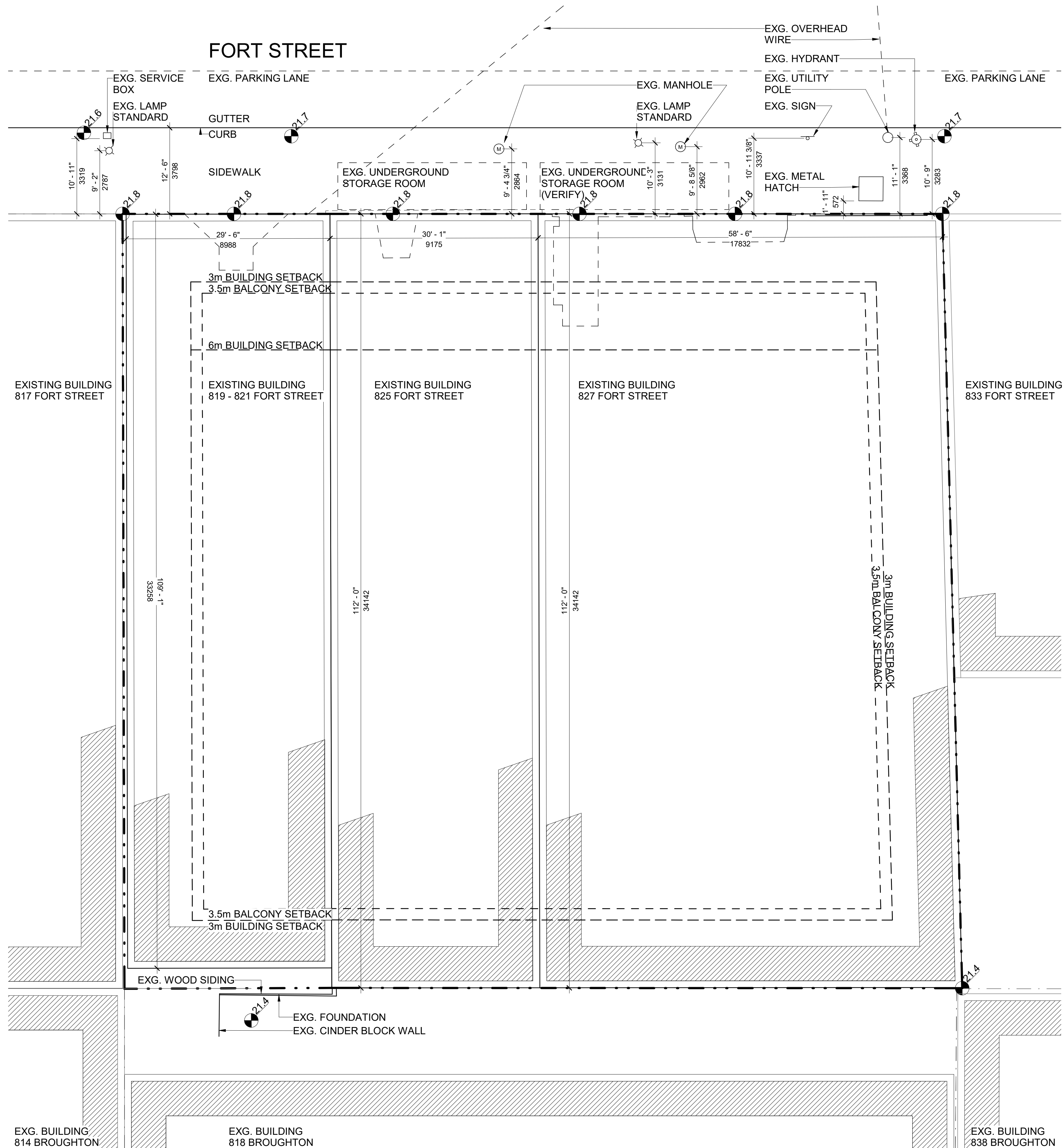
Project

Shadow Study

Drawing

Scale

Project 217033



1 Site Plan Existing
A101 SCALE: 1 : 100

2 Rezoning Resubmission 2018-04-19

Revisions DD MMM YYYY

Site Plan
Existing

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Site Plan
Existing

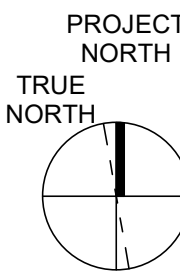
Drawing

Scale 1 : 100

Project 217033

Sheet

A101



Revisions DD MMM YYYY

Proposed Site
Plan

Seal

825 Fort
Street Victoria825 Fort Street
Victoria, BC

Project

Proposed Site
Plan

Drawing

Scale As indicated

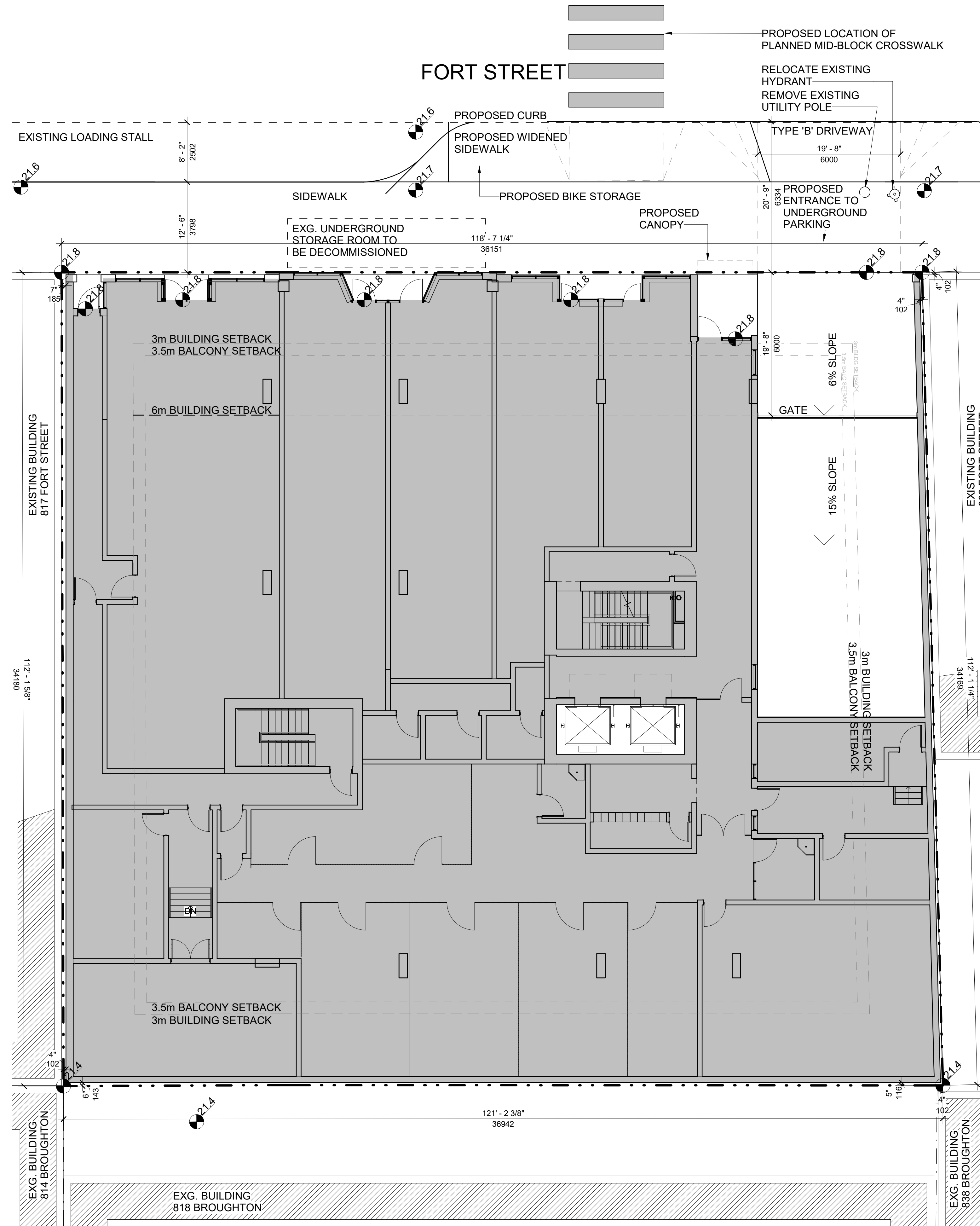
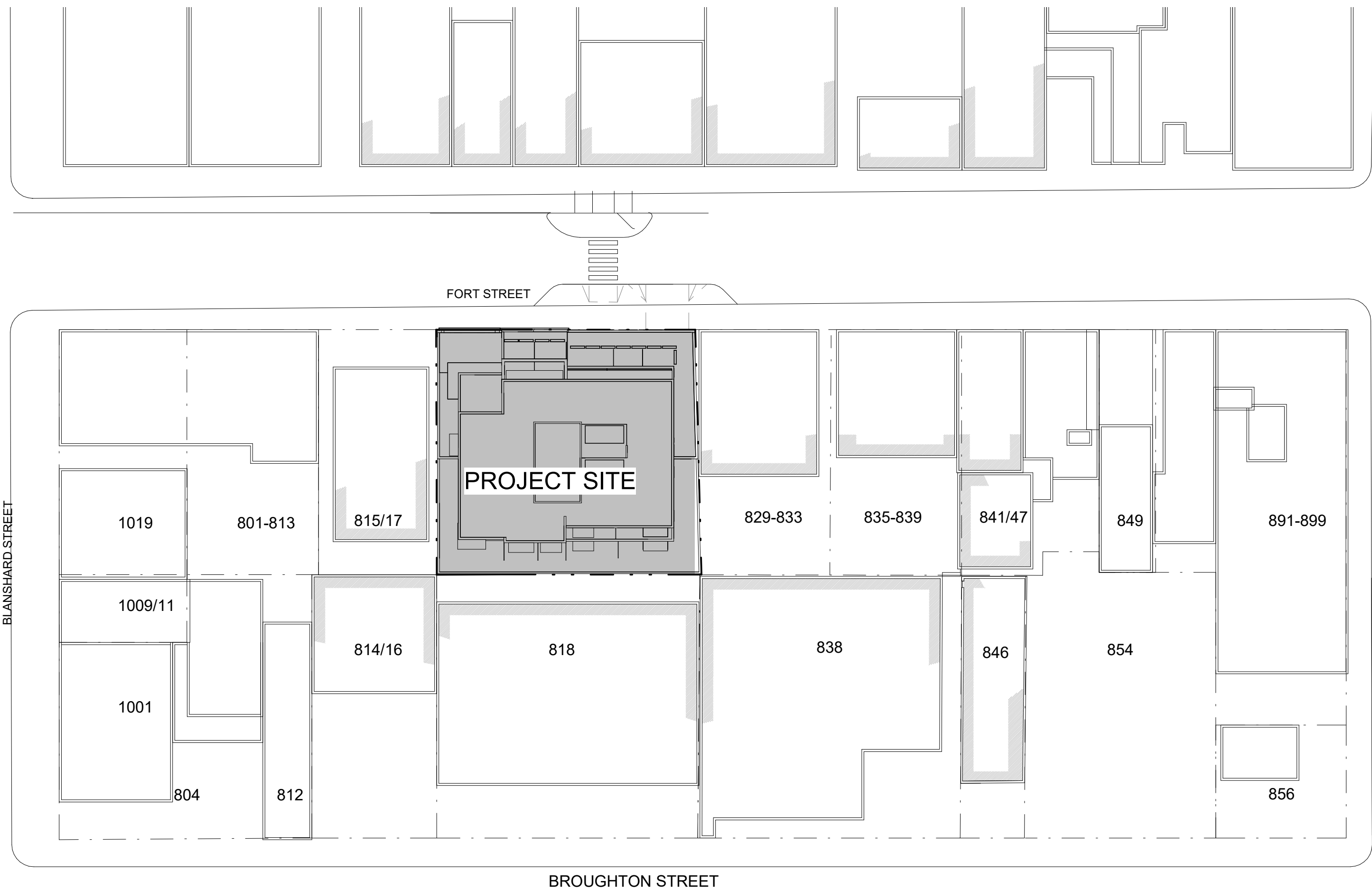
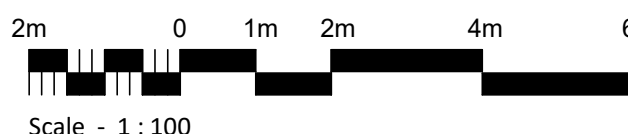
Project 217033

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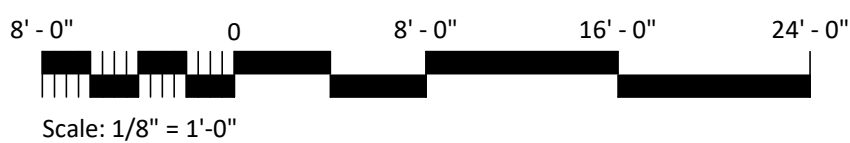
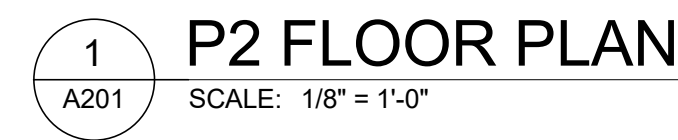
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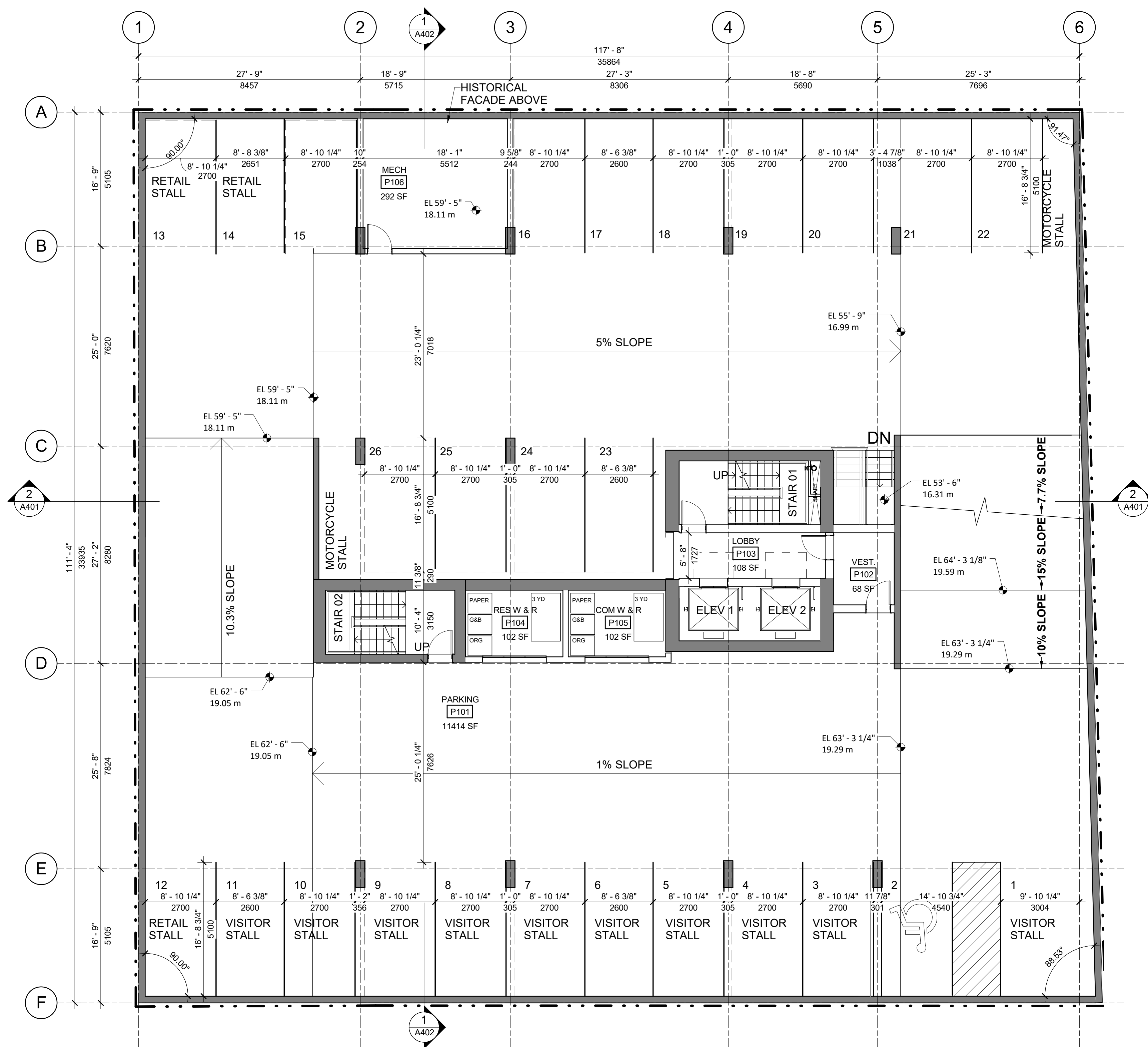
PROJECT INFORMATION TABLE

ZONE (EXISTING)	CA-HG
PROPOSED ZONE	CA-2
SITE AREA	1248 SQ.M. (13,434 SQ.FT.)
TOTAL FLOOR AREA	7,705.4 SQ.M. (82,941 SQ.FT.)
COMMERCIAL FLOOR AREA	453.2 SQ.M. (4,879 SQ.FT.)
FLOOR SPACE RATIO	6.17
SITE COVERAGE (%)	98.7%
OPEN SITE SPACE	16 SQ.M. (172 SQ.FT.)
HEIGHT OF BUILDING (m)	33.5 M (MAIN ROOF)
NUMBER OF STOREYS	10
PARKING STALLS ON SITE	57
BICYCLE PARKING NUMBER:	
CLASS 1	139
CLASS 2	8
BUILDING SETBACKS (m):	
FRONT YARD	4.1 M - 6 M
REAR YARD	3 M
SIDE YARD (E)	3 M
SIDE YARD (W)	3.4 M
COMBINED SIDE YARDS	6.4 M
RESIDENTIAL USE DETAILS:	
TOTAL NUMBER OF UNITS	100
STUDIO	10
1 BEDROOM	47
2 BEDROOM	36
3 BEDROOM	7
GROUND-ORIENTATED	N/A
MINIMUM UNIT FLOOR AREA:	
STUDIO	28.2 SQ.M. (304 SQ.FT.)
1 BEDROOM	38.9 SQ.M. (419 SQ.FT.)
2 BEDROOM	56.4 SQ.M. (607 SQ.FT.)
3 BEDROOM	81.5 SQ.M. (877 SQ.FT.)
TOTAL RESIDENTIAL FLOOR AREA:	6725.3 SQ.M. (72,391 SQ.FT.)

1 Site Plan
SCALE: 1 : 1002 Vicinity Plan
SCALE: 1 : 500

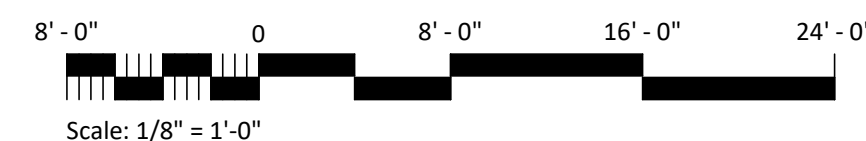
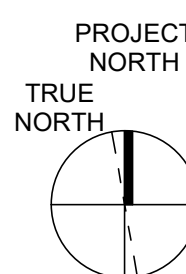
Scale - 1 : 100





1
A202
P1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

PARKING COUNT: 26 STALLS
AREA: 13,260 SQ.FT. 1,232.9 SQ.M.



Floor Plan
Level P1

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Floor Plan
Level P1

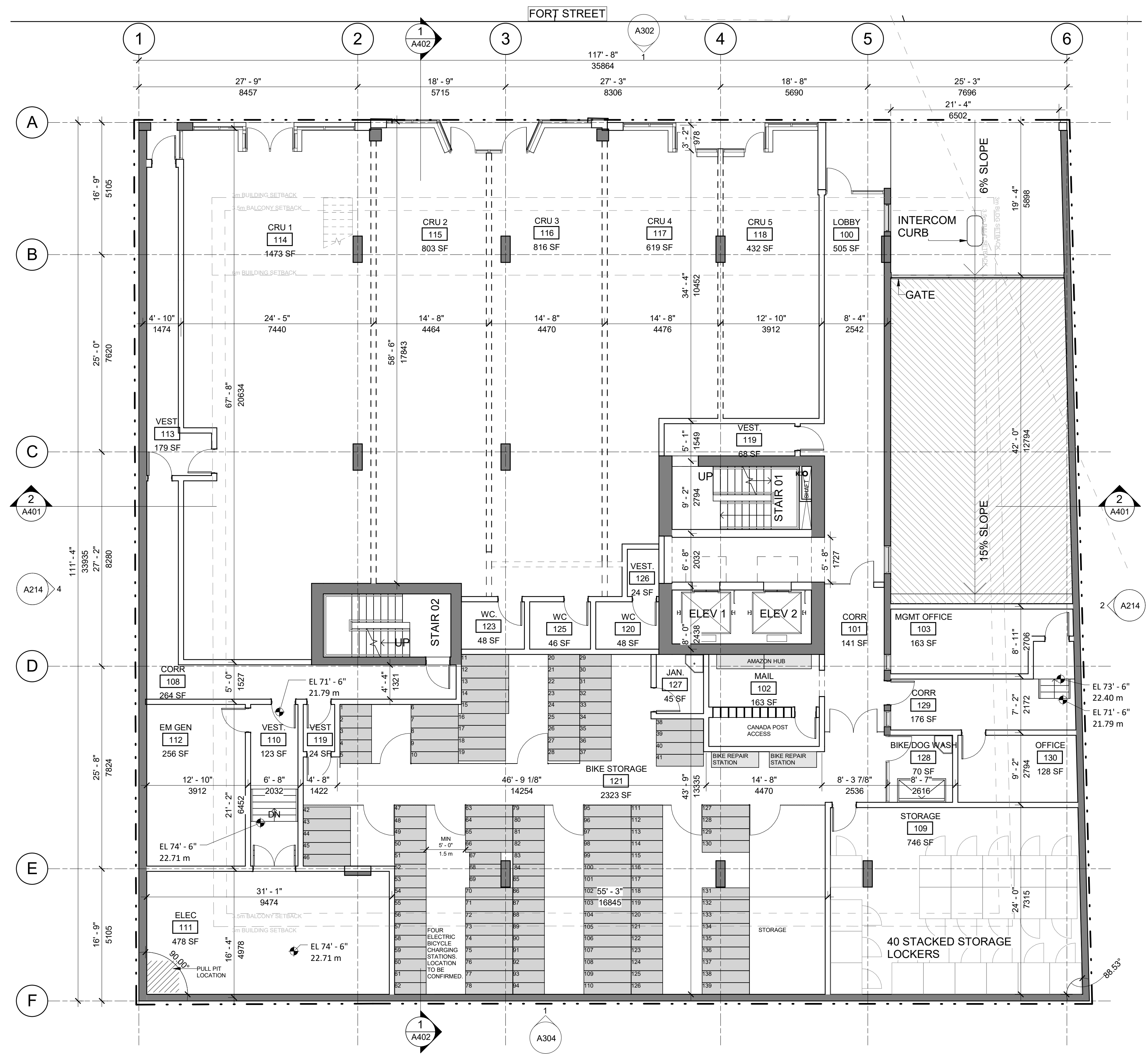
Drawing

Scale 1/8" = 1'-0"

Project 217033

Sheet

A202

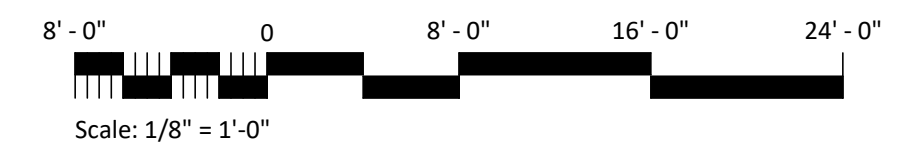
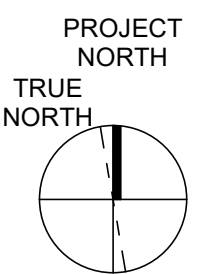


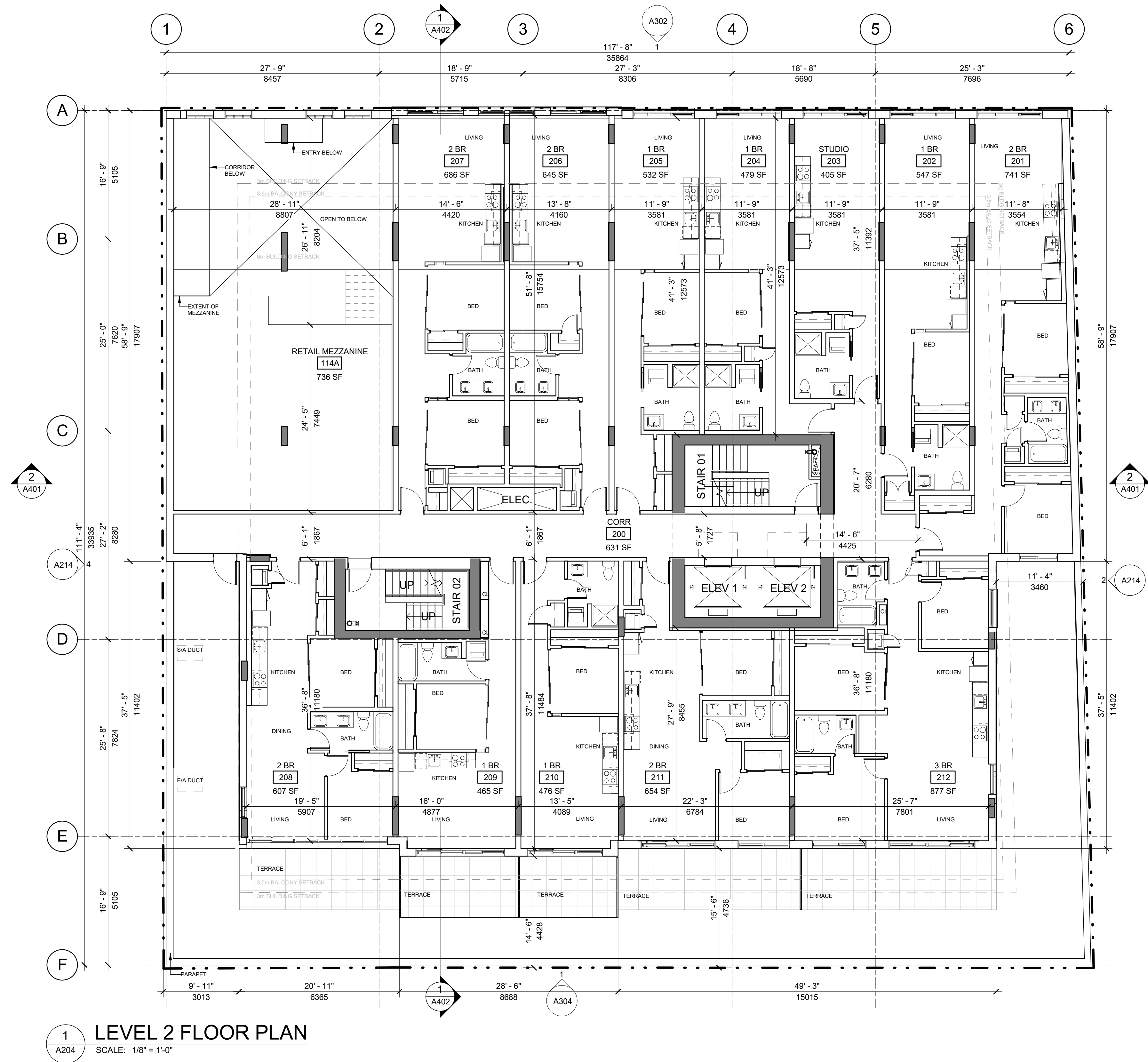
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A203

GROUND LEVEL FLOOR PLAN

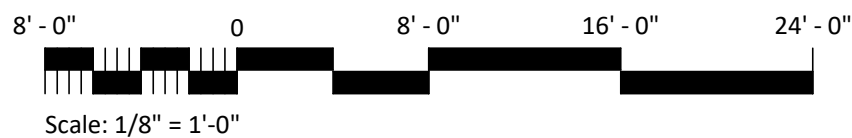
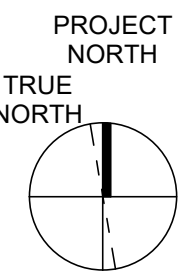
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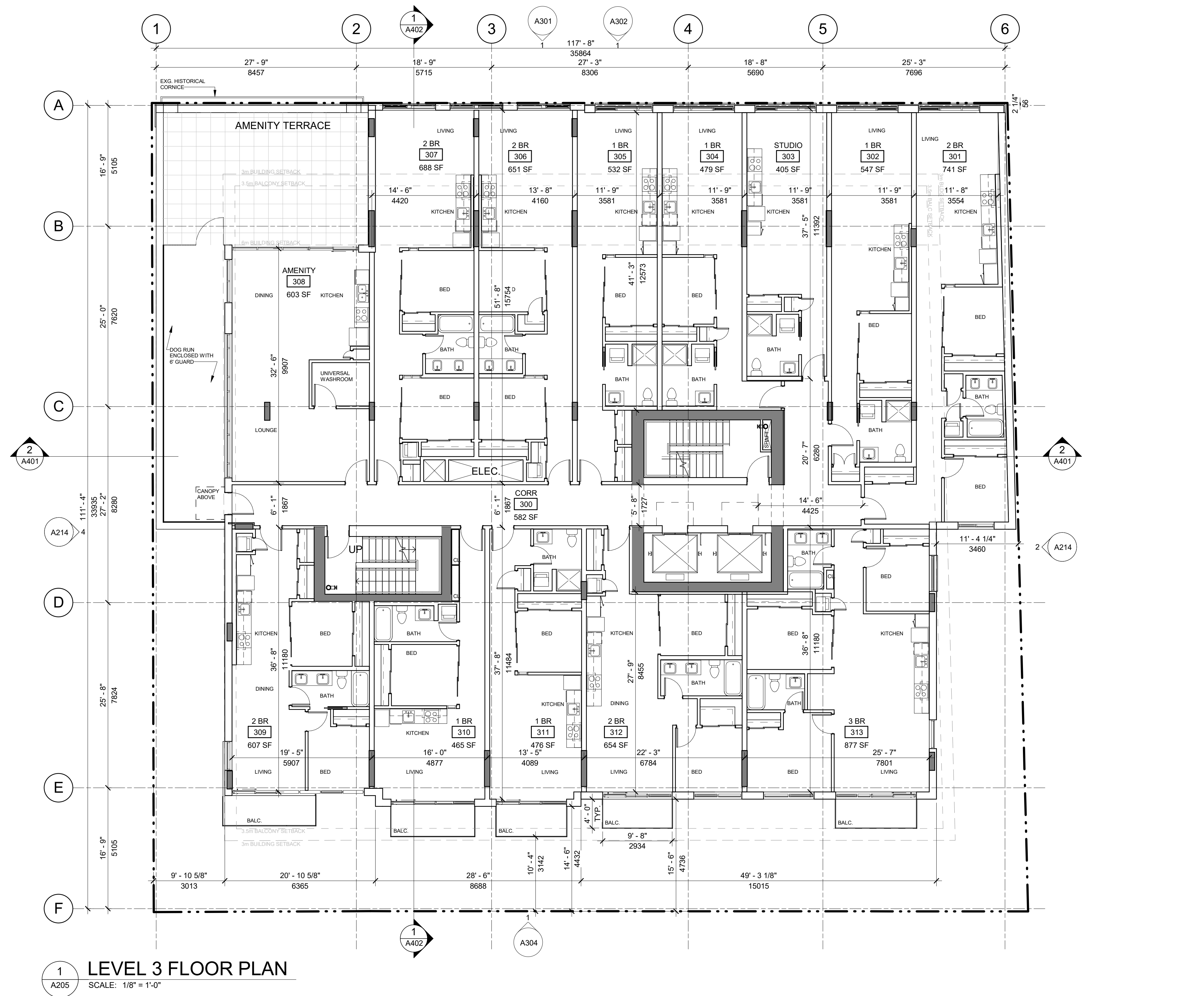
LEGEND		
SCHED. C (NEW)	WALL MOUNTED 	GROUND ANCHORED
NUMBER OF STALLS		
	GROUND ANCHORED	WALL MOUNTED
65		74
		TOTAL: 139



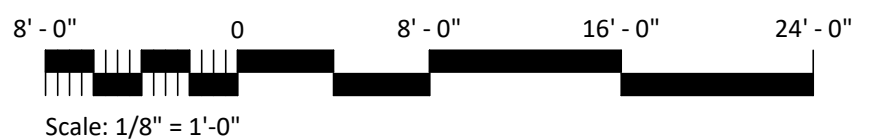
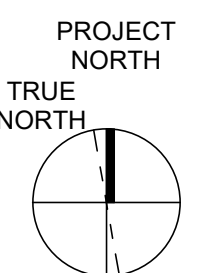


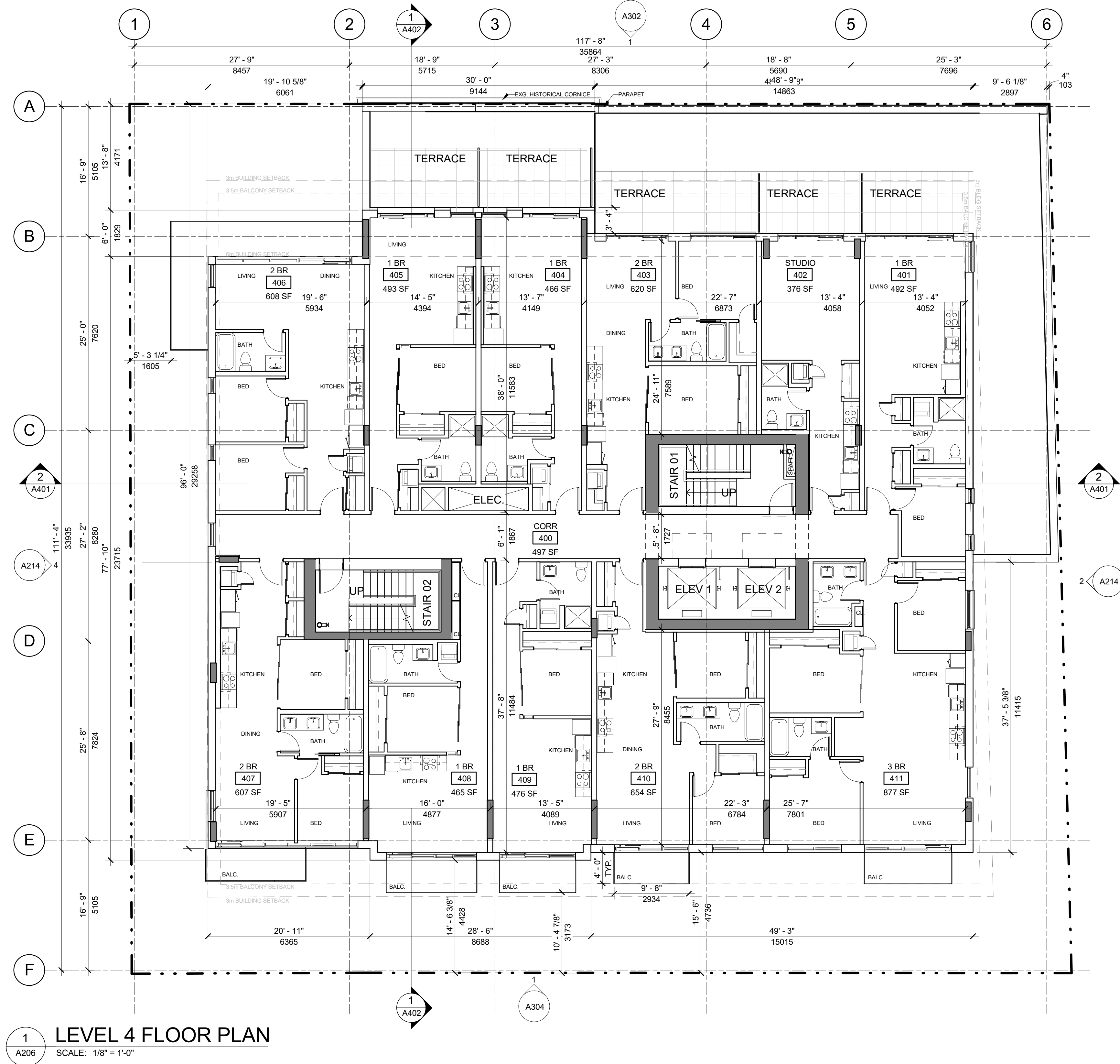
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1 BR	5
2 BR	5
3 BR	1
STUDIO	1



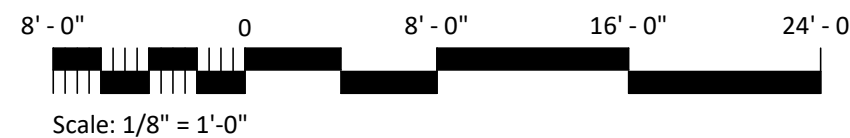
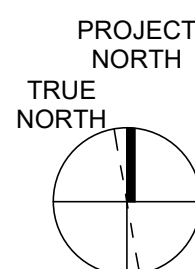


L 03 UNITS	
1 BR	5
2 BR	5
3 BR	1
STUDIO	1





L 04 UNITS	
1 BR	5
2 BR	4
3 BR	1
STUDIO	1



Revisions DD MMM YYYY

Floor Plan
Level 4

Seal

825 Fort
Street Victoria825 Fort Street
Victoria, BC

Project

Floor Plan
Level 4

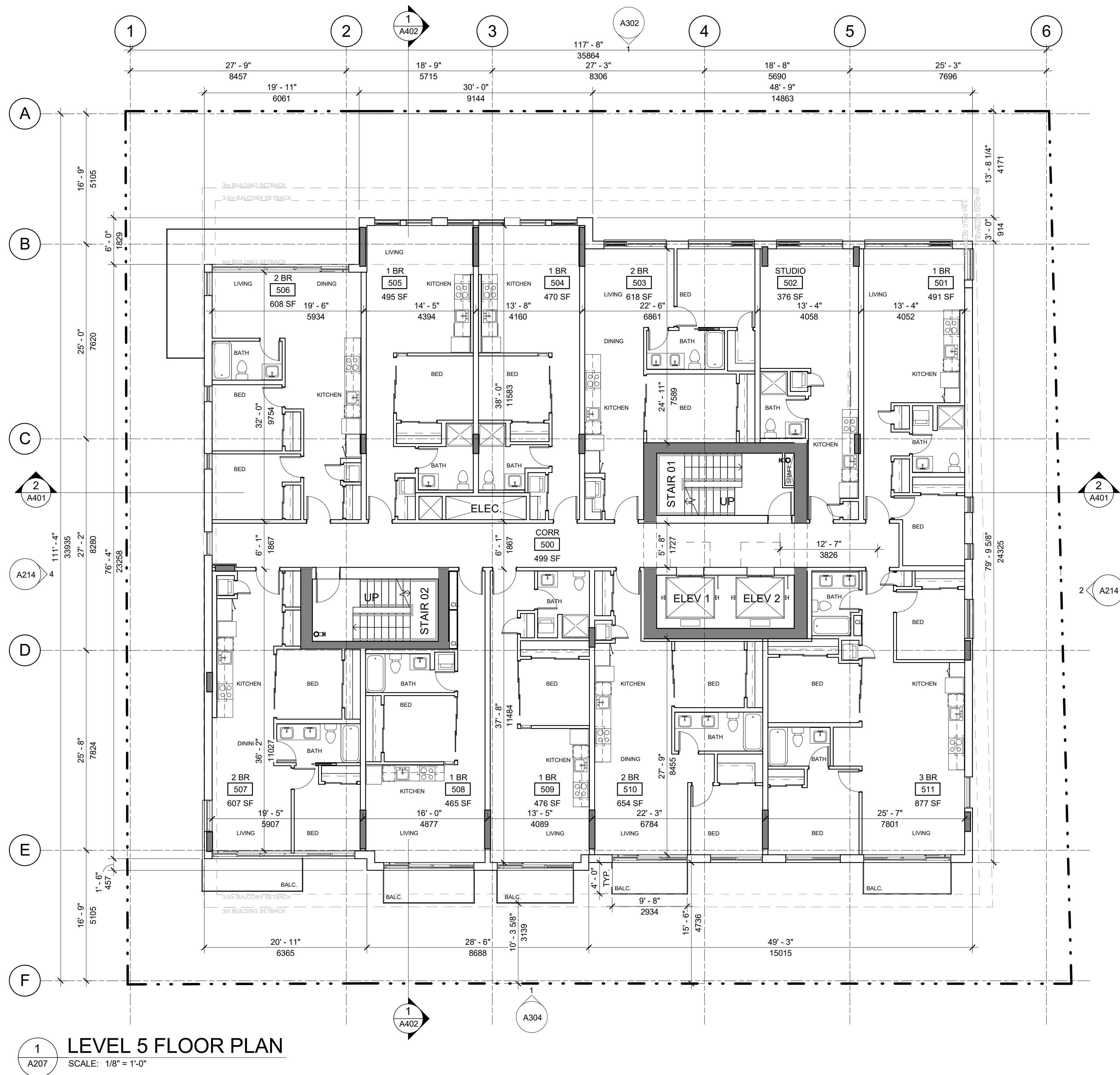
Drawing

Scale 1/8" = 1'-0"

Project 217033

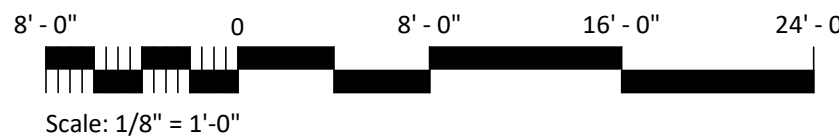
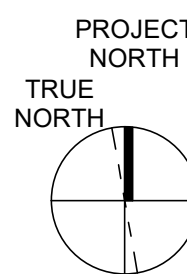
Sheet

A206



LEVEL 5 FLOOR PLAN
SCALE: 1/8" = 1'-0"

L 05 UNITS	
1 BR	5
2 BR	4
3 BR	1
STUDIO	1



Scale: 1/8" = 1'-0"

Revisions DD MMM YYYY

Floor Plan
Level 5

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Floor Plan
Level 5

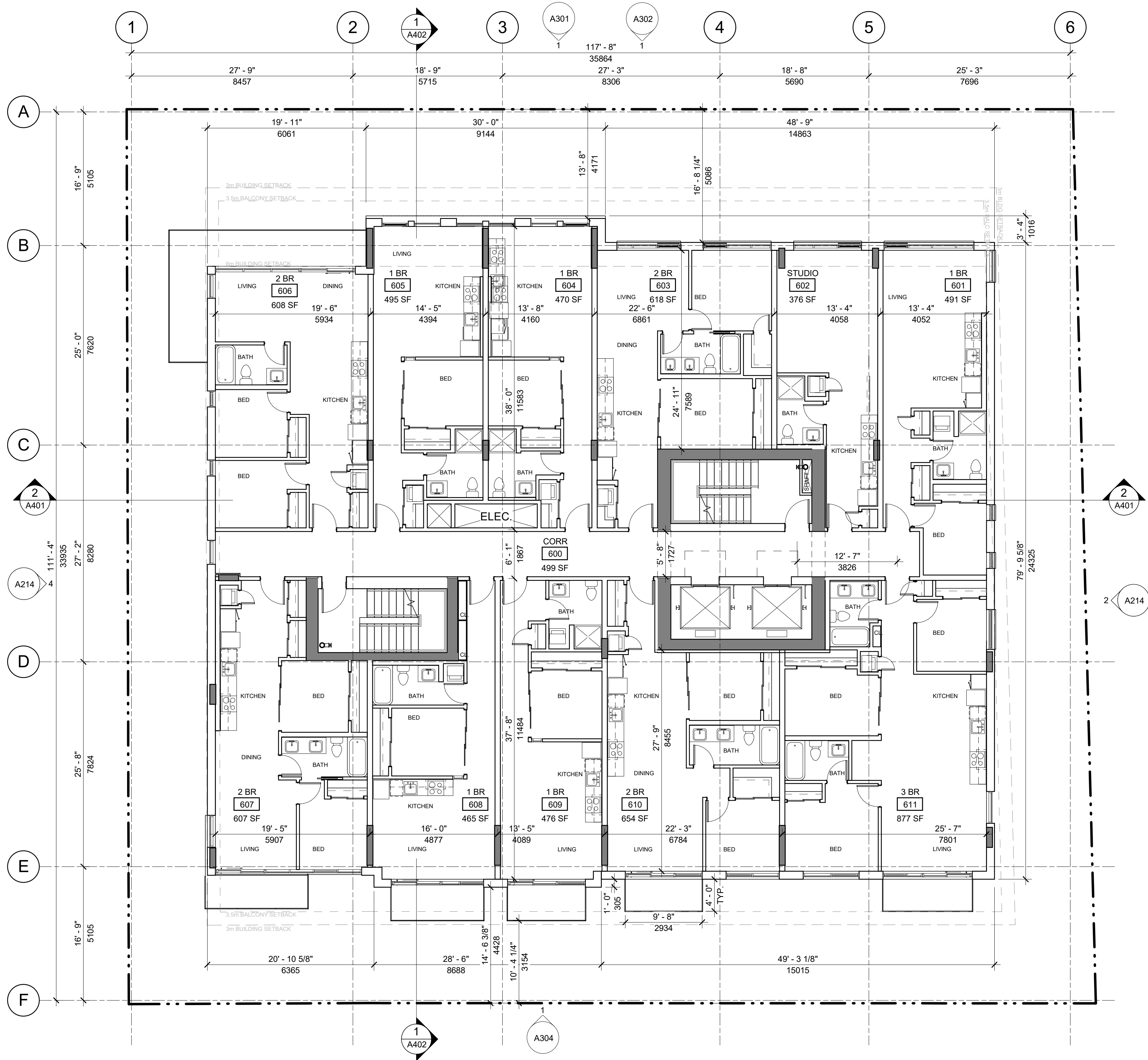
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Scale 1/8" = 1'-0"

Project 217033

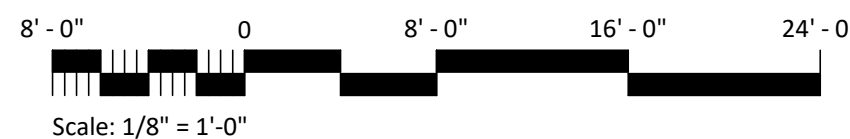
Sheet

A207



1 LEVEL 6 FLOOR PLAN
A208 SCALE: 1/8" = 1'-0"

L 06 UNITS	
1 BR	5
2 BR	4
3 BR	1
STUDIO	1



Revisions DD MMM YYYY

Floor Plan
Level 6

Seal

825 Fort
Street Victoria825 Fort Street
Victoria, BC

Project

Floor Plan
Level 6

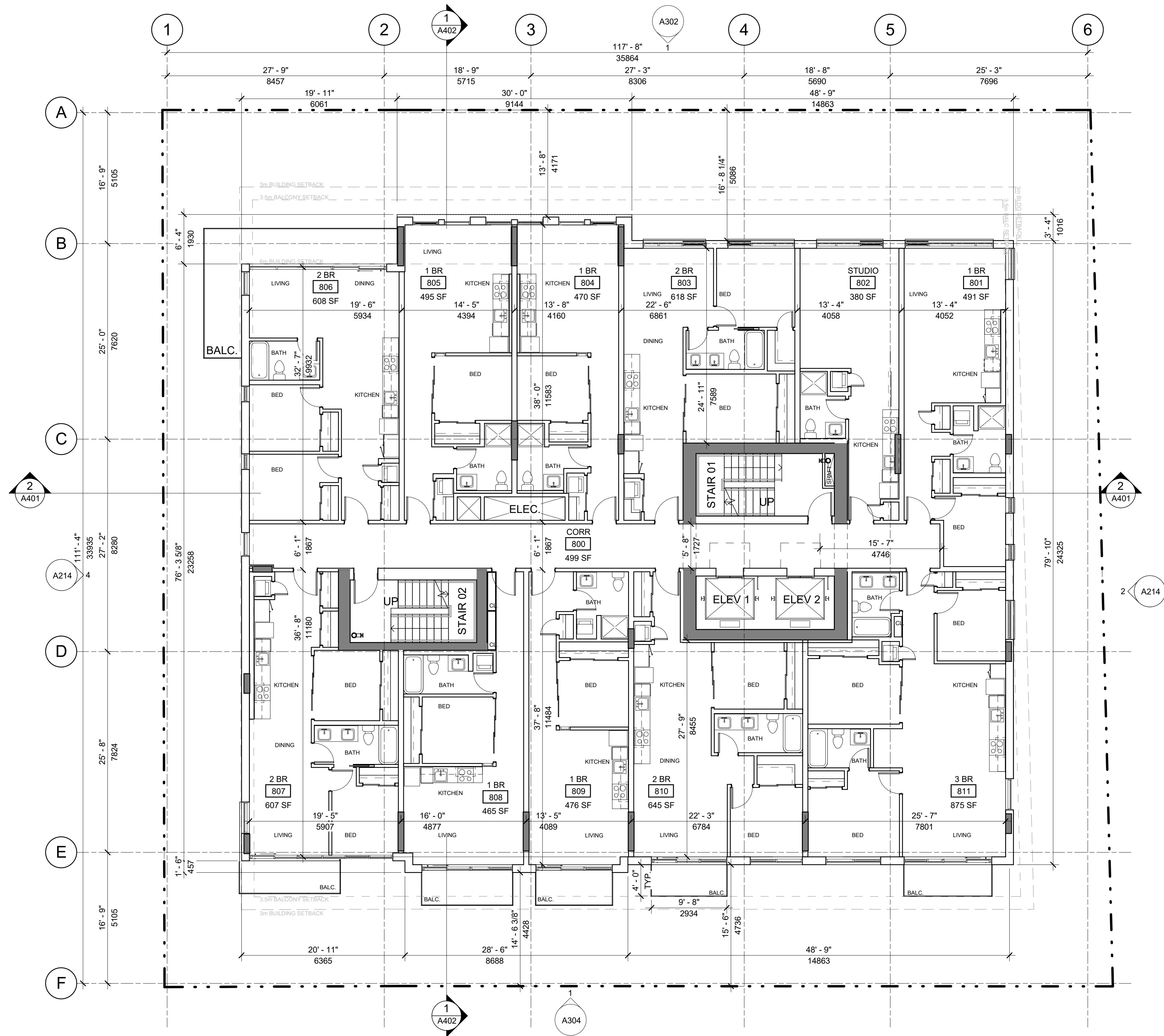
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Scale 1/8" = 1'-0"

Project 217033

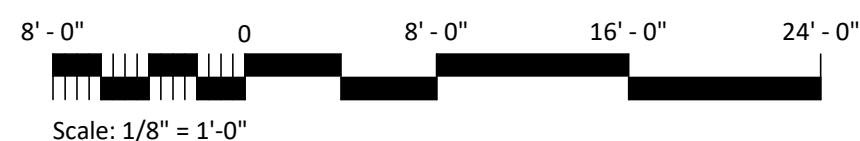
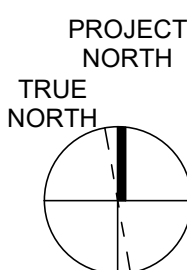
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A208



1 LEVEL 8 PLAN
A210 SCALE: 1/8" = 1'-0"

L 08 UNITS	
1 BR	5
2 BR	4
3 BR	1
STUDIO	1



Revisions DD MMM YYYY

Floor Plan
Level 8

Seal

825 Fort
Street Victoria825 Fort Street
Victoria, BC

Project

Floor Plan
Level 8

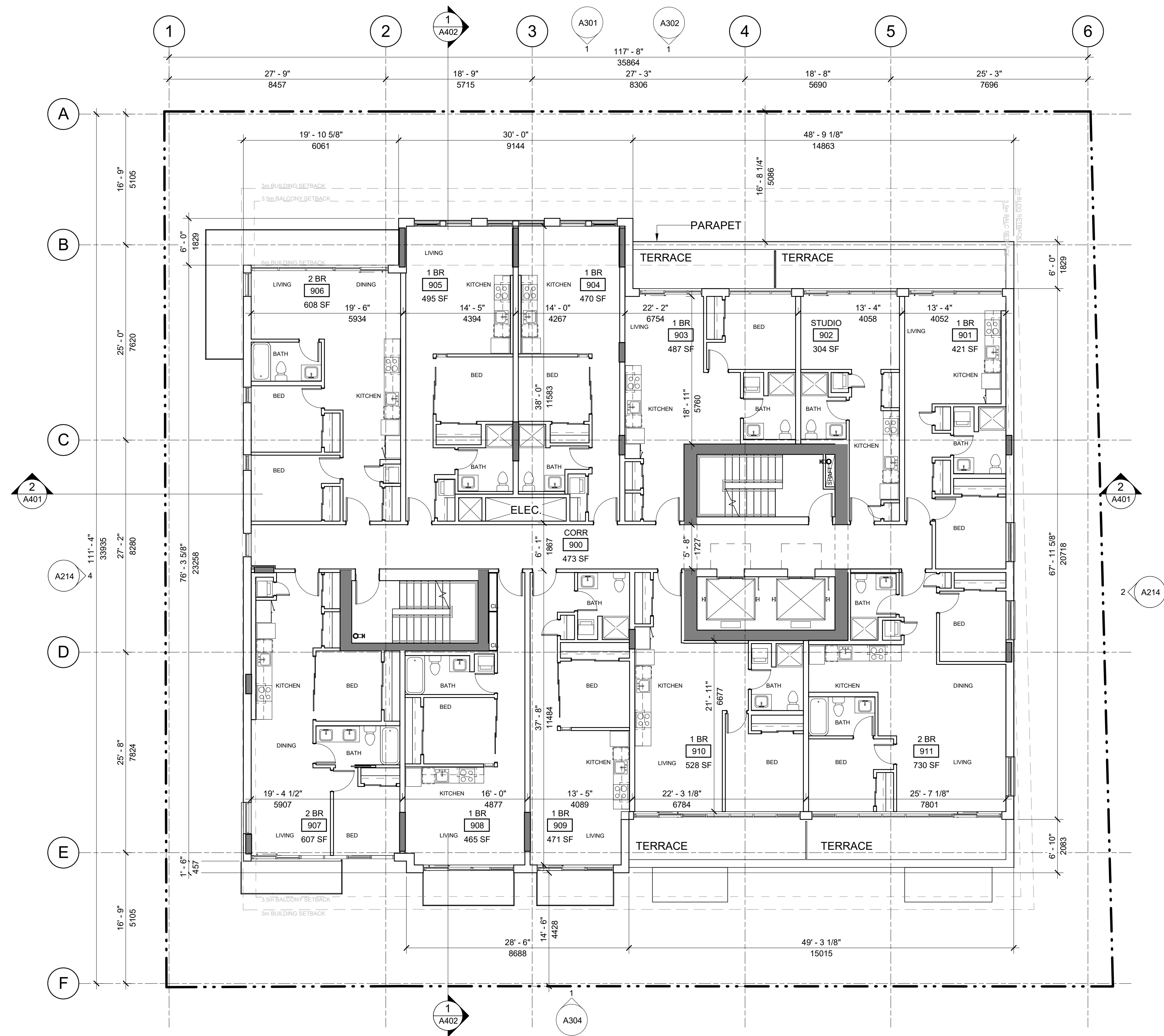
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Scale 1/8" = 1'-0"

Project 217033

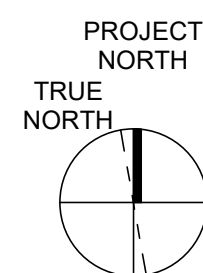
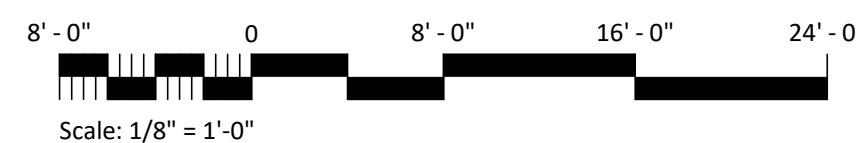
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A210



1 LEVEL 9 FLOOR PLAN
A211 SCALE: 1/8" = 1'-0"

L 09 UNITS	
1 BR	7
2 BR	3
STUDIO	1



Revisions DD MMM YYYY

Floor Plan
Level 9

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Floor Plan
Level 9

Drawing

Scale 1/8" = 1'-0"

Project 217033

Sheet

A211

Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604.687. 2990
F. 604. 687. 1771
MCMParhitects.com

Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604.687. 2990
F. 604. 687. 1771
MCMParchitects.com

MCMParchitects.com

Revisions DD MMM YYYY

Seal

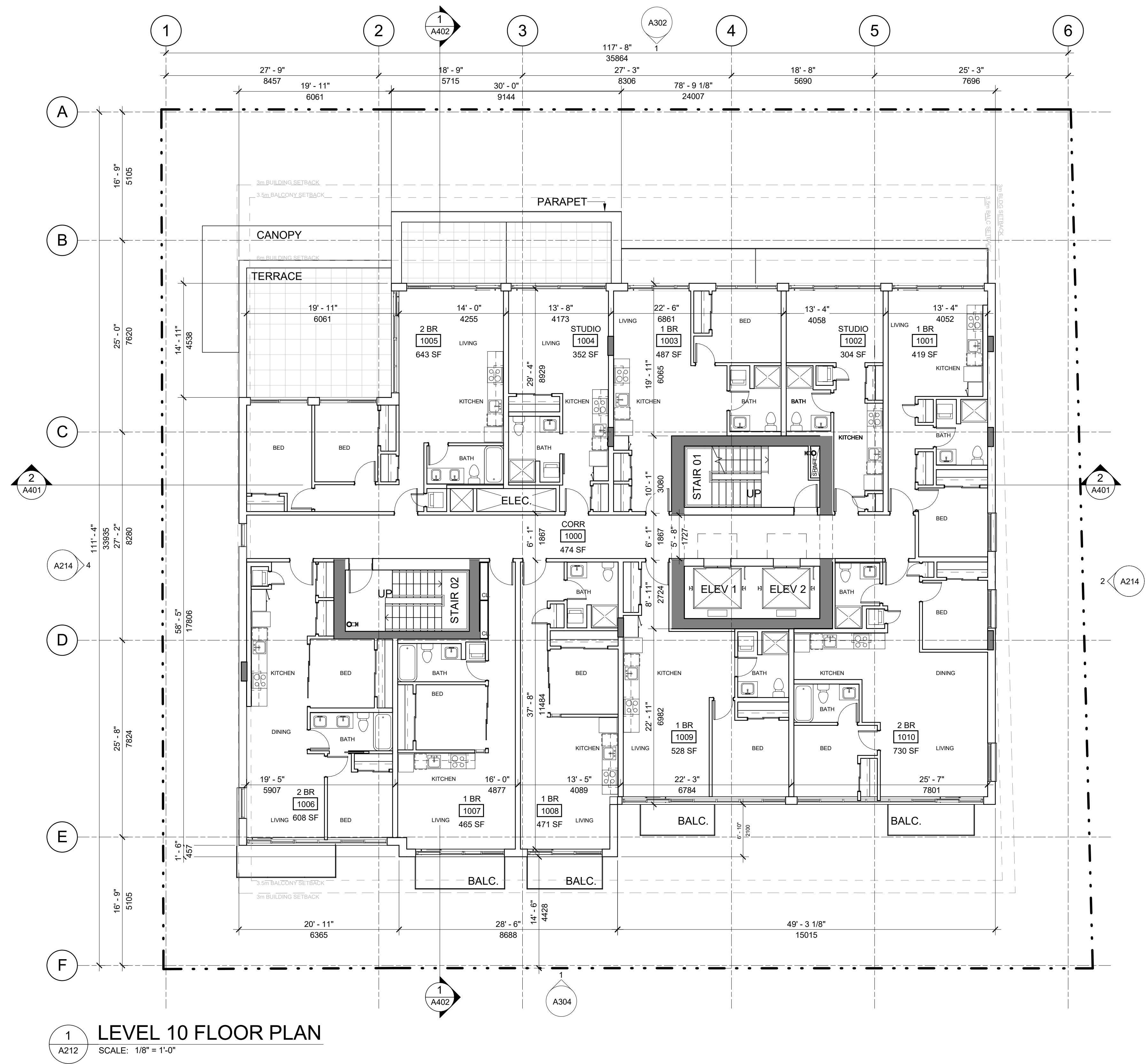
825 Fort
Street Victoria

Project

Floor Plan Level 10

Scale $1/8" = 1'-0"$

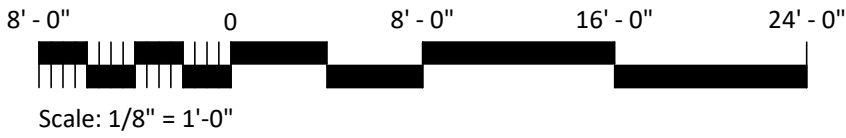
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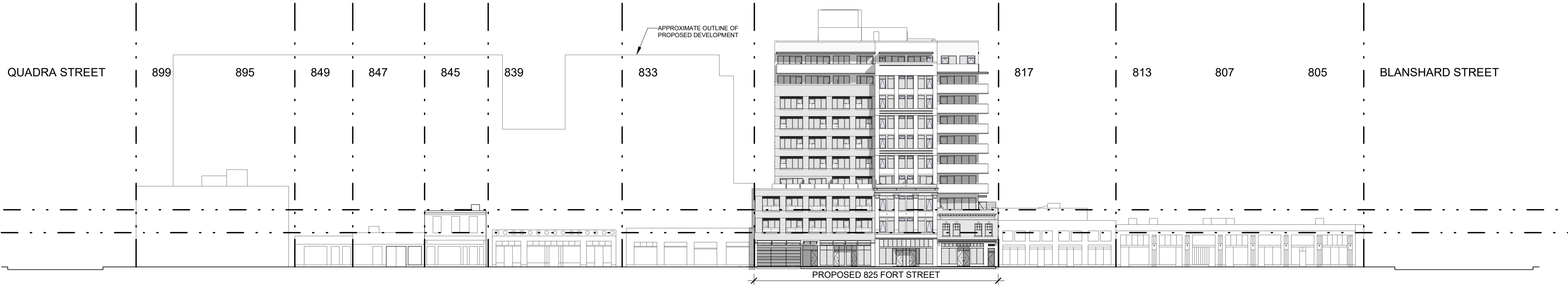
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SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

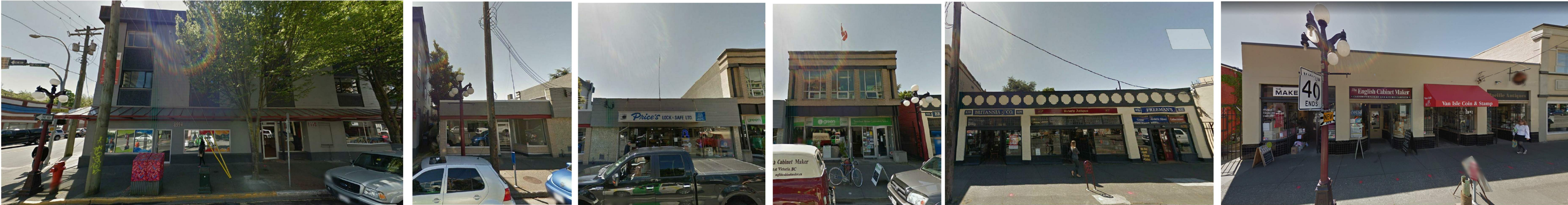
L 10 UNITS	
1 BR	5
2 BR	3
STUDIO	2



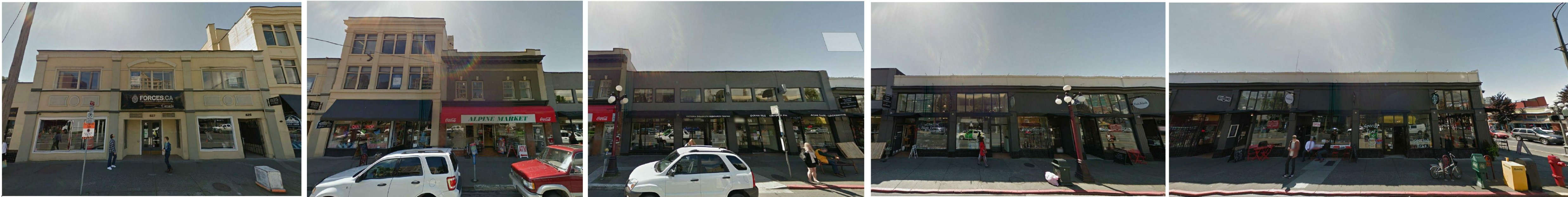


1 NORTH ELEVATION - FORT ST 800 BLOCK
A301 SCALE: 1/32" = 1'-0"

FORT STREET IMAGES :
EXSISTING STREETScape



899 895 849 847 845 839 833



827 825 819 817 813 807 805

EXISTING DEVELOPMENTS AT 819 - 827 FORT STREET

Revisions	DD MMM YYYY
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Streetscape
Elevation

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
Streetscape
Elevation

Drawing	
Scale	1/32" = 1'-0"
Project	217033

Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
ST	STUCCO



1
A302

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Revisions DD MMM YYYY

North Building
Elevation

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

North Building
Elevation

Drawing

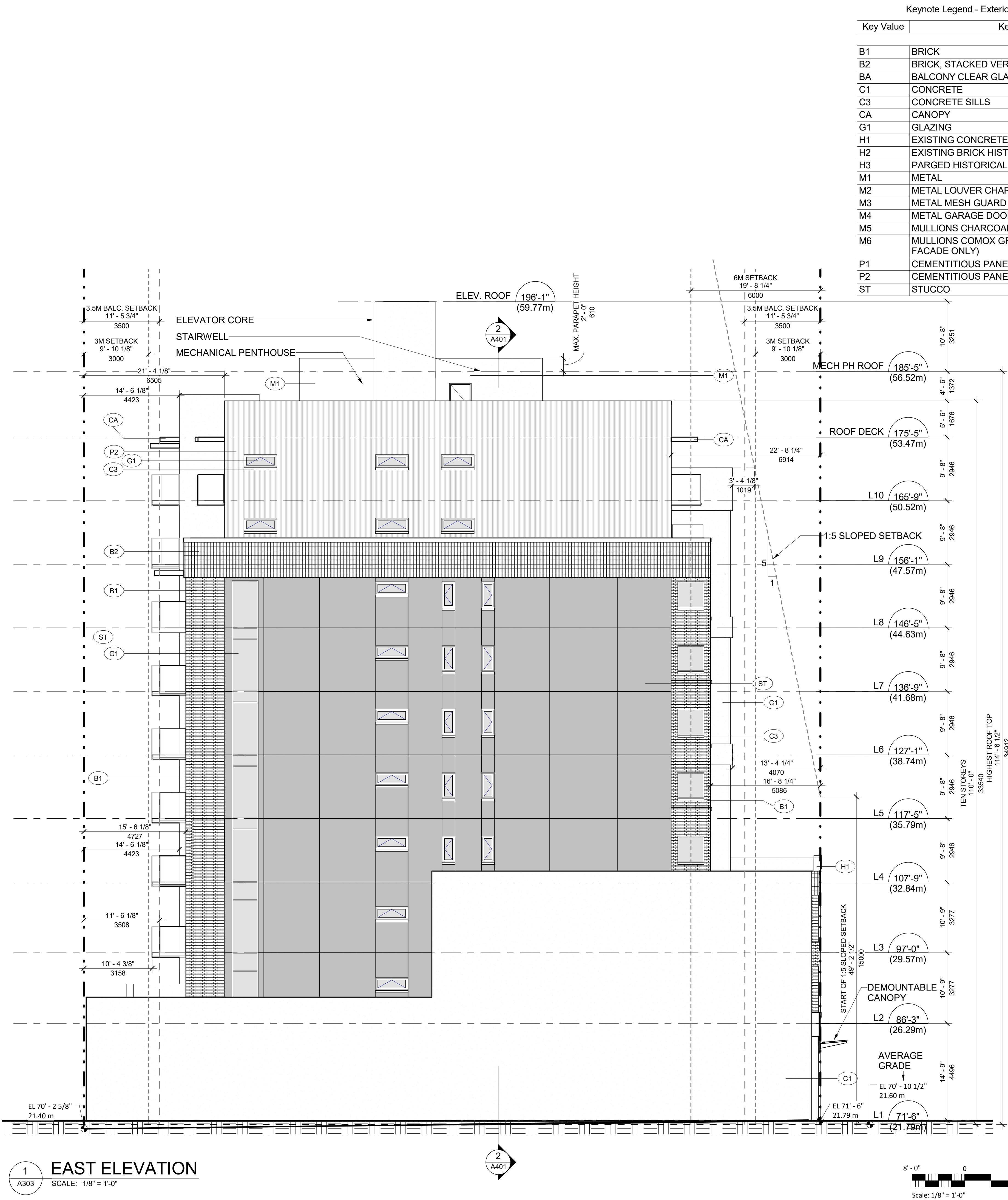
Scale 1/8" = 1'-0"

Project 217033

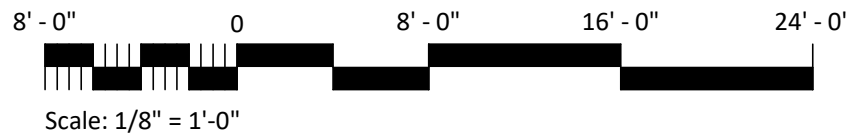
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A302

Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
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B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
ST	STUCCO



1
A303
EAST ELEVATION
SCALE: 1/8" = 1'-0"



Revisions	DD MMM YYYY
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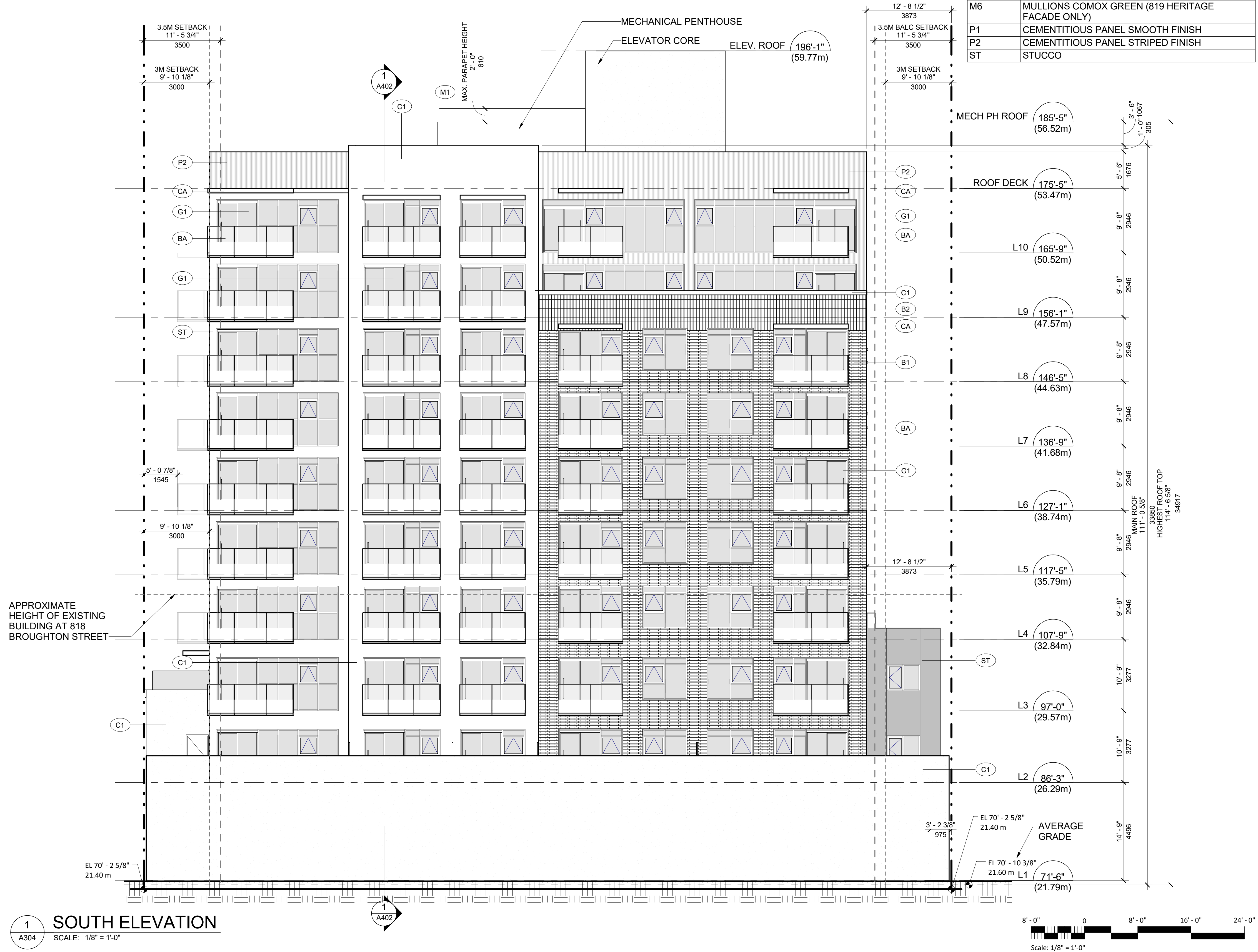
East Building
Elevation
Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
East Building
Elevation

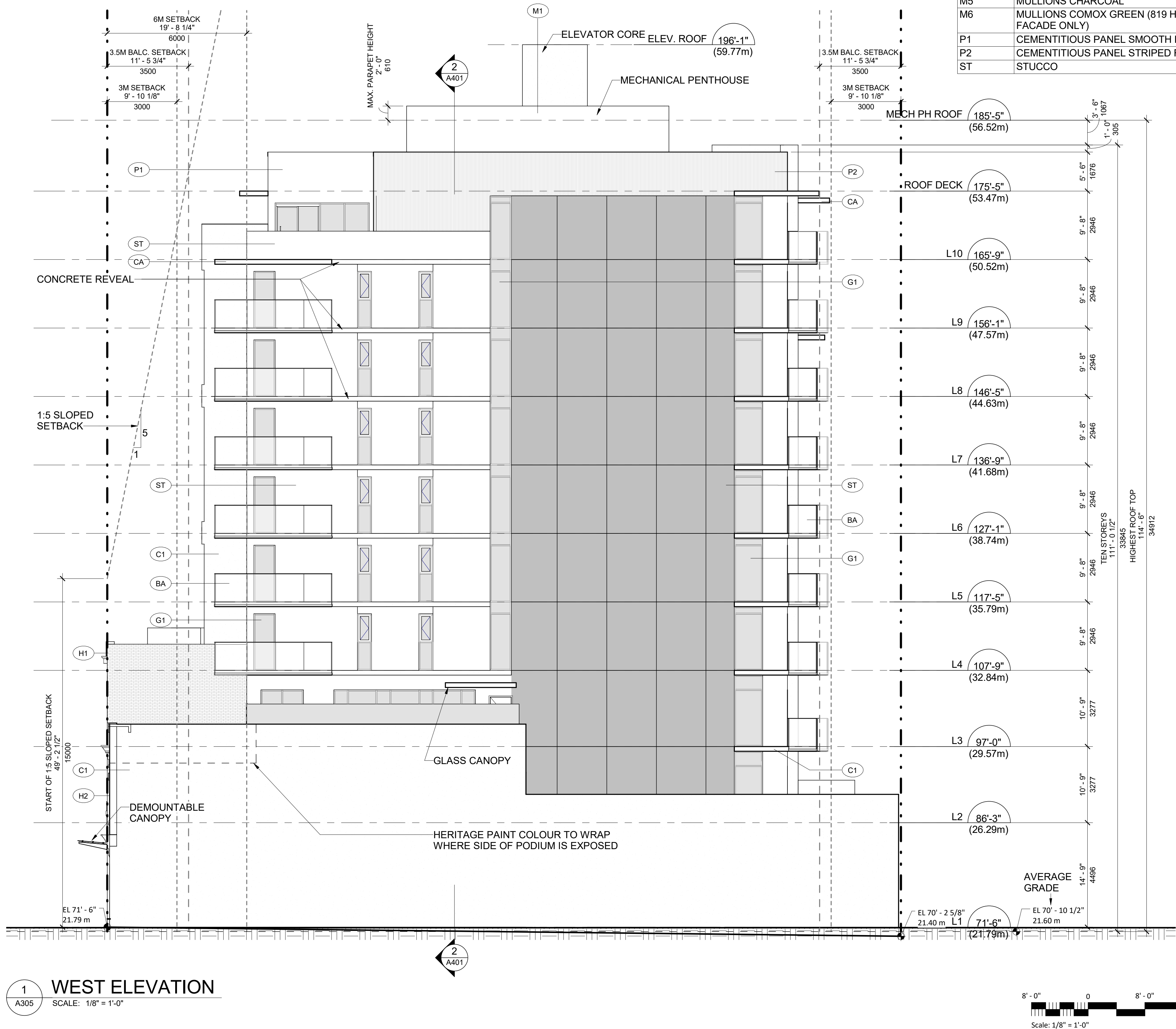
Drawing
Scale 1/8" = 1'-0"
Project 217033

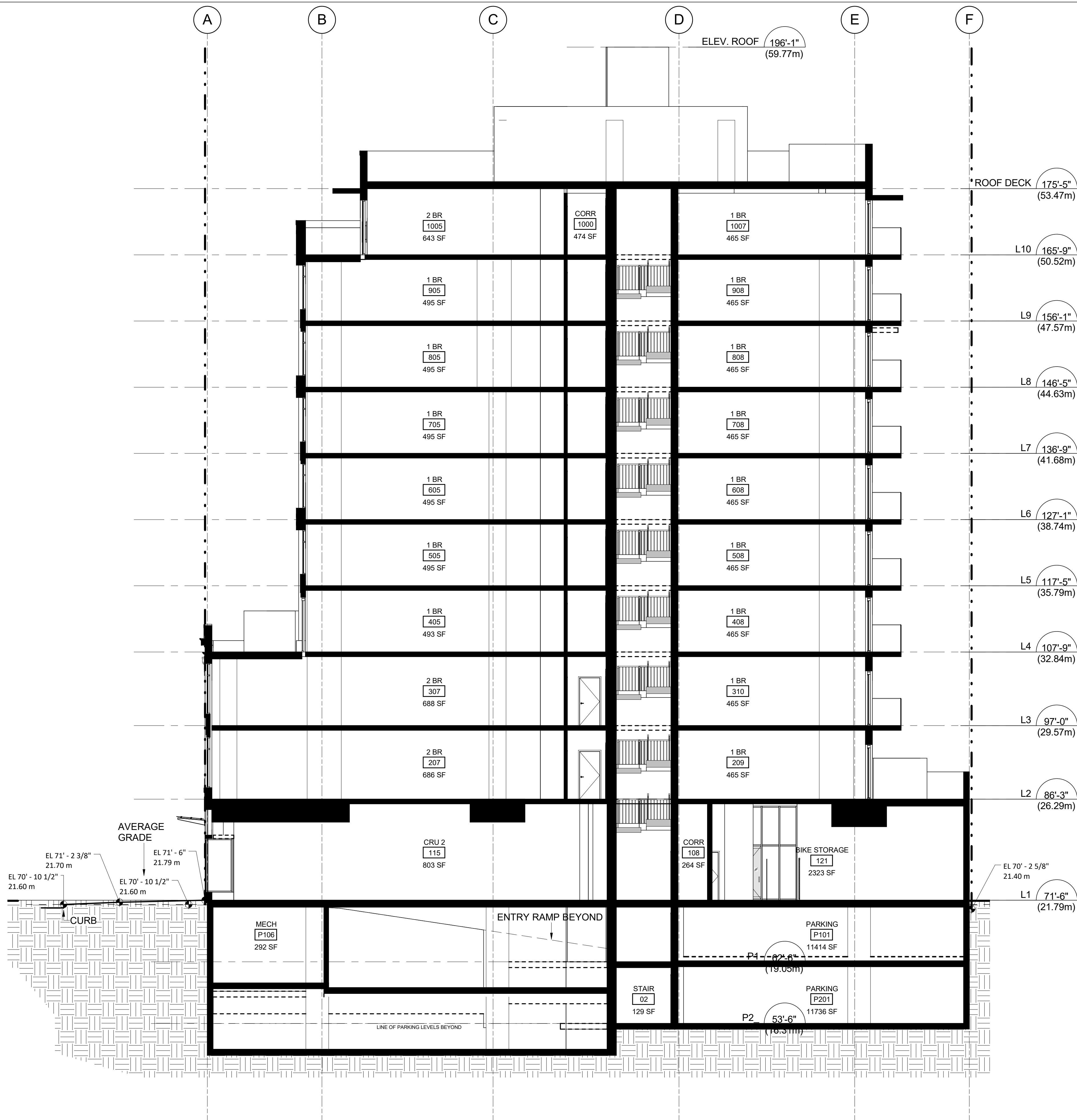
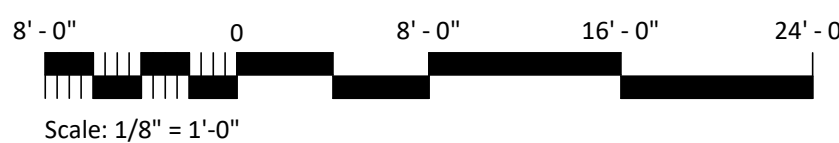
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A303

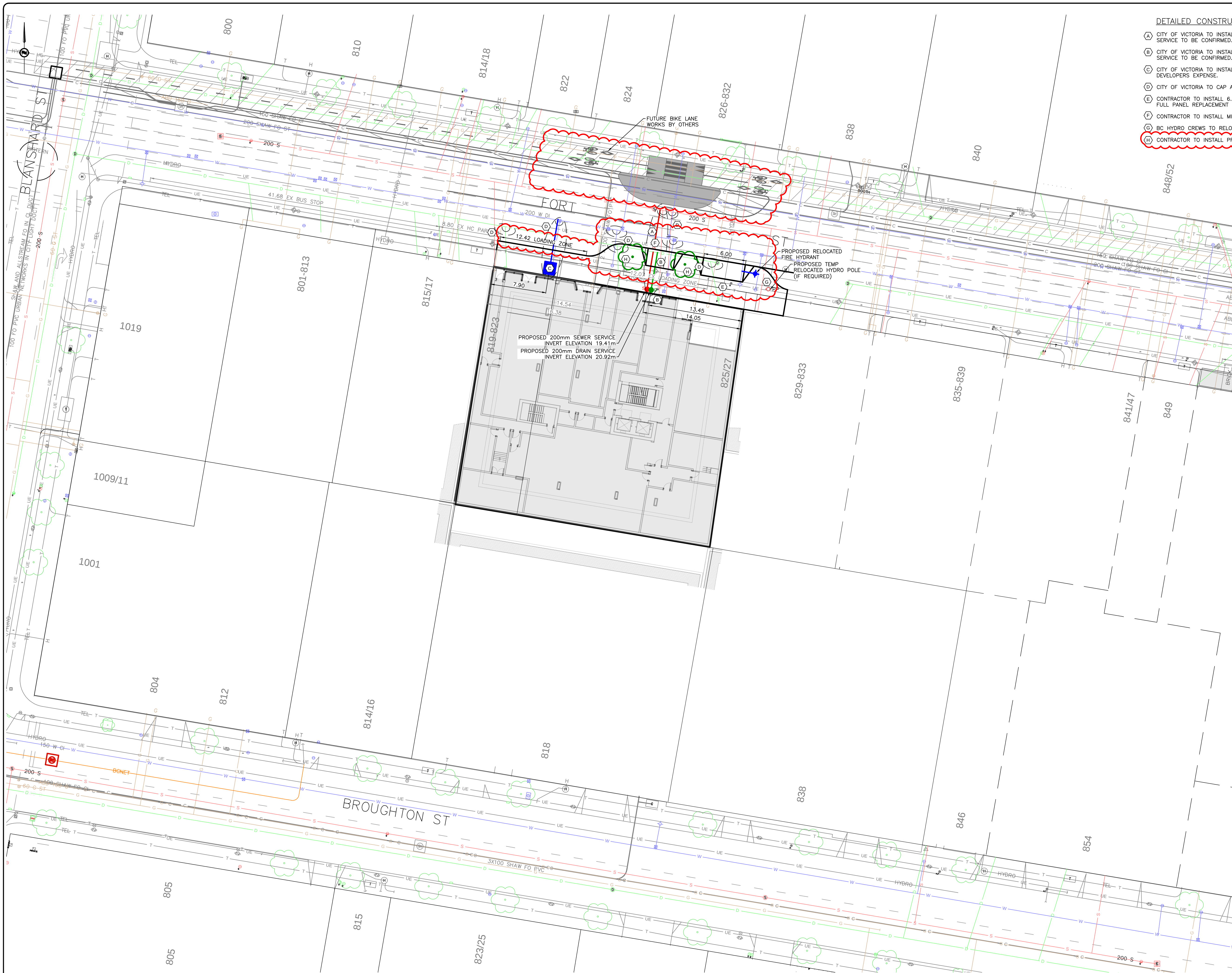
Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
ST	STUCCO



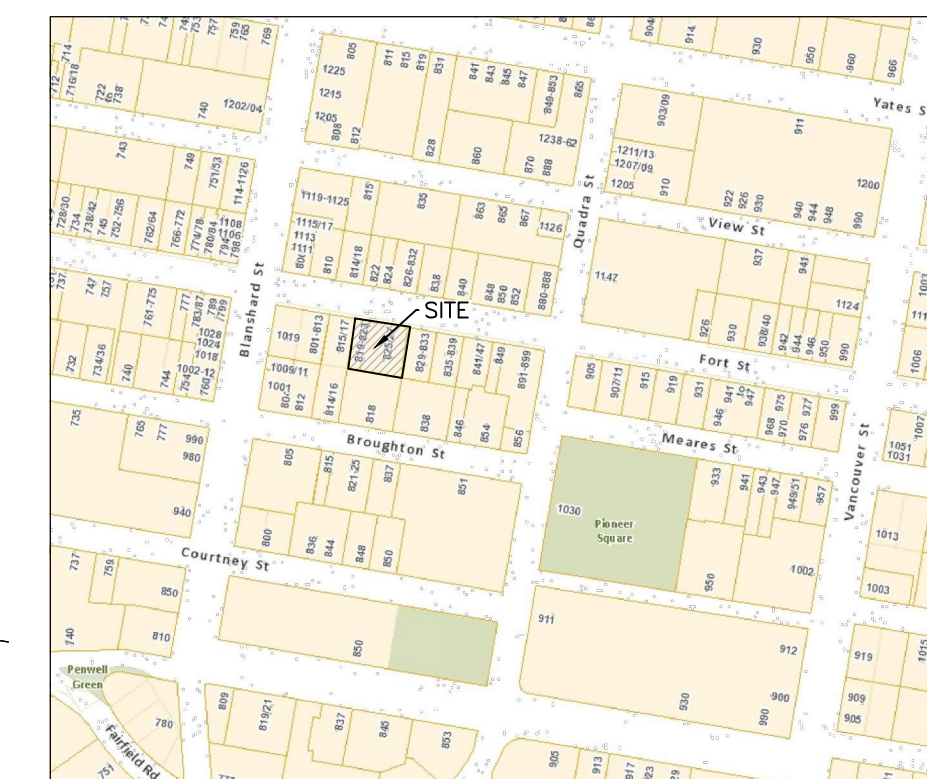
Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M4	METAL GARAGE DOOR CHARCOAL
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
ST	STUCCO



1
A402
Section B
SCALE: 1/8" = 1'-0"



- DETAILED CONSTRUCTION NOTES:
- (A) CITY OF VICTORIA TO INSTALL NEW 200mm SEWER SERVICE TO PROPERTY LINE. ELEVATION OF NEW SERVICE TO BE CONFIRMED.
 - (B) CITY OF VICTORIA TO INSTALL NEW 200mm DRAIN SERVICE TO PROPERTY LINE. ELEVATION OF NEW SERVICE TO BE CONFIRMED.
 - (C) CITY OF VICTORIA TO INSTALL 200mm FIRE AND 150mm DOMESTIC FIRE SERVICES TO PROPERTY LINE AT DEVELOPERS EXPENSE.
 - (D) CITY OF VICTORIA TO CAP AND ABANDON EXISTING SERVICES AT DEVELOPERS EXPENSE.
 - (E) CONTRACTOR TO INSTALL 6.0m WIDE DRIVEWAY DROP AS PER CITY OF VICTORIA STANDARD DRAWING C7B. FULL PANEL REPLACEMENT REQUIRED.
 - (F) CONTRACTOR TO INSTALL MID BLOCK CROSSWALK.
 - (G) BC HYDRO CREWS TO RELOCATE EXISTING SERVICE POLE IF REQUIRED.
 - (H) CONTRACTOR TO INSTALL PROPOSED STREET TREES AS PER CITY OF VICTORIA STANDARDS.



KEY PLAN
NTS

825 FORT STREET
PRELIMINARY CIVIL PLAN

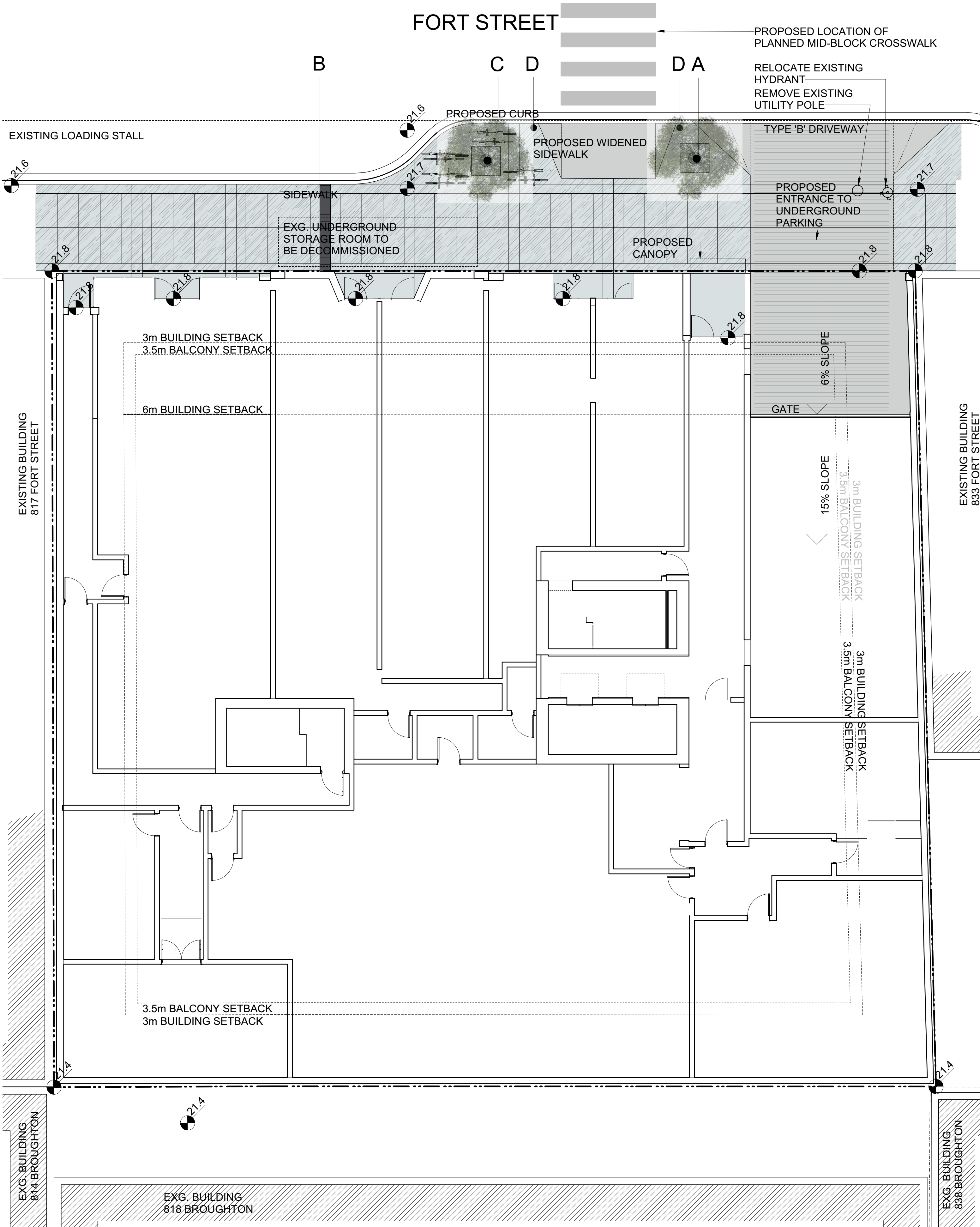
Scale
horiz. 1:250
Sheet 1 of 1
Eng. Project No. 30703

JEA J E ANDERSON &
ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE
PHONE: 250-727-2214 FAX: 250-727-3395

ISSUED FOR DEVELOPMENT PERMIT

SITE PLAN
H 1:250





1
L1_L1

LANDSCAPE - GROUND FLOOR GENERAL ARRANGMENT
1:100 METRIC

- A STREET TREE AND GRILLE AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017. STREET TREES IN BUMP OUT DUE TO UNDERGROUND UTILITY CONFLICTS.
- B 450mm WIDE BASALT BAND AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017. BASALT FLAME TEXTURED 350X450X80MM
- C #4 DOWNTOWN BIKE RACKS AS PER PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017. (8 BIKES)
- D TYPE B BOLLARD AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. OCT 2017

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO BCSLA/BCLNA STANDARDS (2012 ED).

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*ALL GRAVEL (LARGER THAN 2MM): 0-5%
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*SILT (LARGER THAN .002MM AND SMALLER THAN .05MM): 10-25%
*CLAY (SMALLER THAN .002MM): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity: 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

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TREES (10m2 PER TREE)	30"	47"
SHRUBS	24"	30"
GROUNDCOVERS	9"	9"

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PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS **PRIOR** TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDANT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS. CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDANT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

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issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018

revision	date
A	19.04.2018

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
GROUND FLOOR
LANDSCAPE GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09.02 L0

number

L1_L1

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Acer R	2	Acer rubrum	Red Maple, Swamp Maple	6-8cm Cal B&B	Straight Trunk/ Full Crown



1 SECOND FLOOR GENERAL ARRANGEMENT
L2_L1 1:100 METRIC

- A CRUSHED ANGULAR WHITE GRAVEL
B 2'x2' PCC WHITE PAVER
C P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE EG. BUXUS
D 1'x1' PCC PAVER ON PEDESTALS

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO BCSLA/BCLNA STANDARDS (2012 ED).

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ORGANIC CONTENT: 3-10%

Acidity: 6.0-7.0

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REZONING/ DP
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date
10.04.2018
19.04.2018

revision
A
date
19.04.2018

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
SECOND FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L2_L1

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Bs	56	Buxus sempervirens	Boxwood	#5 Cont	Full & Bushy
Cean	39	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants

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A
date
19.04.2018

project
819-827 FORT STREET VICTORIA BC.

legal

drawing
THIRD FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L0

number

L3_L1

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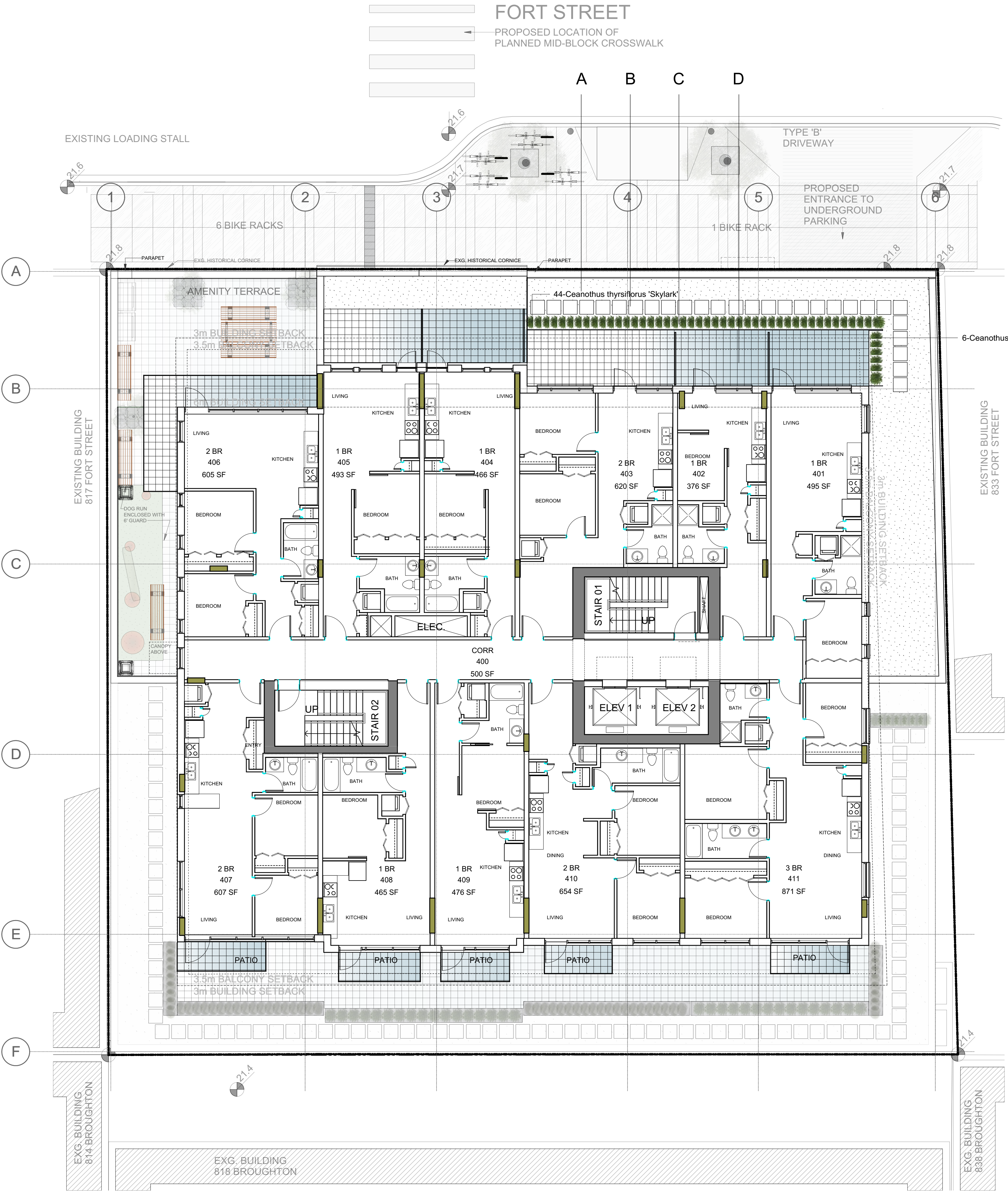
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- A DOG RUN AREA WITH LOGS/ FAKE HYDRANTS. SURFACE TO BE WASHABLE PET FRIENDLY SYNETHIC GRASS. SPRINKLER SYSTEM TO BE INSTALLED FOR MAINTENANCE. HOSE BIB ALSO PROVIDED.
- B TABLES AND BENCHES SPECIFICATION TBC.
- C P/C ALUMINIUM PLANTER MIN 4' PLANTING DEPTH / SMALL TREE - SP. ACER AND LAVANDER SHRUBS.
- D 1'x1' PCC PAVER
- E BBQ AREA
- F DOG WASTE RECIPTICLES AND DOG WASTE BAG DISPENSER.
- G DOG RUN ENCLOSED WITH SELF LATCHING 6' HIGH GATE TO MATCH GUARD DETAIL. SEE ARCHITECTURAL

Plant Schedule - Ground Floor				
ID	Qty	Latin Name	Common Name	Scheduled Size
ApOB	3	Acer palmatum 'Oshio-Beni'	Oshio-Beni Japanese Maple	#10 Cont.
Lav ang 'M'	24	Lavandula angustifolia 'Munstead'	Munstead Lavender	#1 Cont





- A CRUSHED ANGULAR WHITE GRAVEL
- B 2'x2' PCC WHITE PAVER
- C P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE EG. BUXUS
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REZONING/ DP	19.04.2018

revision	date
A	19.04.2018

project	819-827 FORT STREET VICTORIA BC.
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legal

drawing	4th FLOOR TO 8TH FLOOR GENERAL ARRANGEMENT
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seal

scale	AS SHOWN
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drawn	JP
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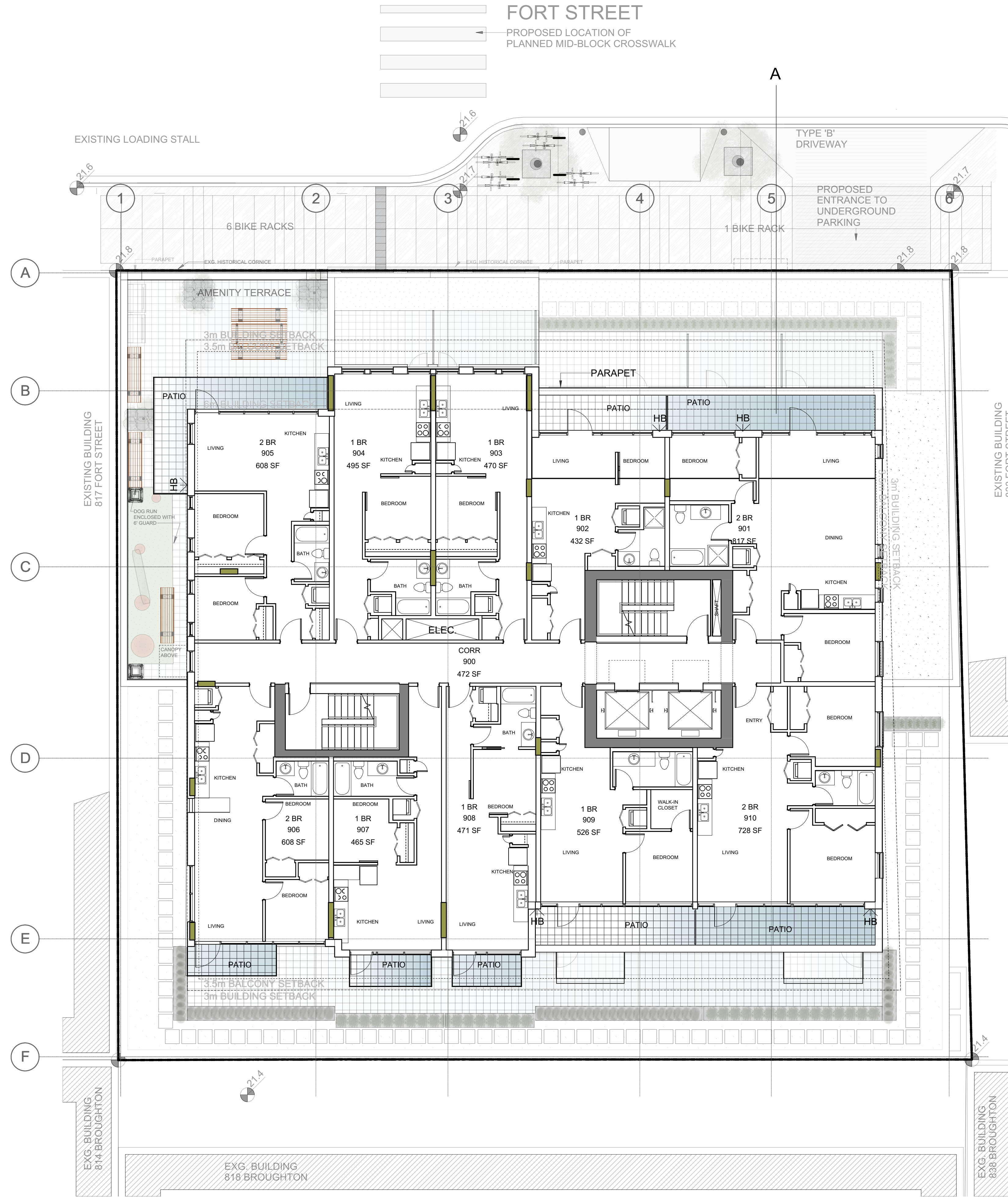
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reference	2017.09_02 L0
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number

L4-8_L1

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Cean	50	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants



A 1'x1' PCC PAVER ONTO PEDESTALS

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project
819-827 FORT STREET VICTORIA BC.

legal

drawing
9th FLOOR LANDSCAPE GENERAL ARRANGEMENT

seal



scale
AS SHOWN

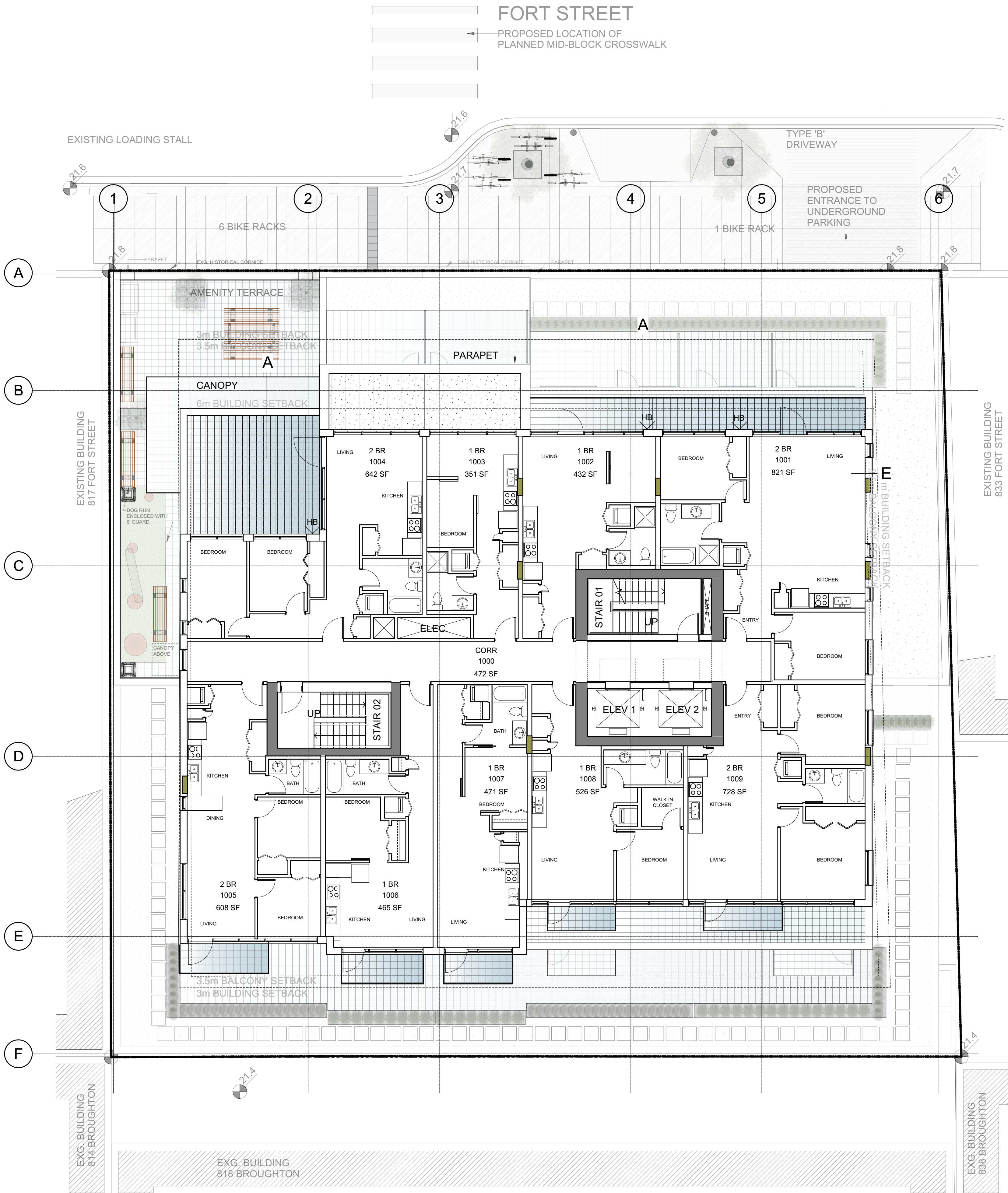
drawn
JP

checked
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reference
2017.09_02 L0

number

L9_L1



A 12" SQ. PCC CONCRETE PAVING ONTO PEDESTALS

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819-827 FORT STREET VICTORIA BC.

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drawing
10TH FLOOR GENERAL ARRANGEMENT

seal

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drawn
JP

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L10_L1