

Average Grade Calculation

POINTS	AVG. ELEV.	DISTANCE (m)	(AVG.) x (DIST.)
A-B	52.479	21.09	1106.782
B-C	51.919	7.05	366.025
C-D	51.821	8.05	417.159
D-E	51.790	4.40	227.876
E-F	51.767	5.79	299.728
F-G	51.752	0.26	13.455
G-H	51.774	2.40	124.258
H-I	51.784	3.40	176.064
I-J	51.831	8.04	416.721
J-K	51.806	0.74	38.395
K-L	51.900	1.74	90.306
M-N	51.863	5.58	289.393
N-P	51.782	1.72	89.065
P-Q	51.750	0.74	38.295
Q-R	51.680	18.04	932.298
R-S	51.625	0.49	25.296
S-T	51.630	0.21	10.842
T-U	51.645	1.42	73.336
U-V	51.682	1.37	70.804
V-W	51.728	1.42	73.453
W-X	51.752	0.21	10.868
X-Y	51.752	0.29	15.008
Y-Z	51.751	1.34	69.346
Z-AA	51.784	2.35	121.692
AA-BB	51.801	1.34	69.413
BB-CC	51.796	3.75	194.233
CC-DD	51.801	0.41	21.238
DD-EE	51.799	1.00	51.799
EE-FF	51.808	0.04	2.09
FF-GG	51.972	0.26	13.513
GG-HH	52.178	7.60	396.549
HH-II	52.513	3.95	207.424
II-KK	52.667	0.41	21.593
KK-LL	52.759	1.95	102.880
LL-MM	52.843	0.41	21.666
MM-NN	52.862	0.49	25.302
NN-PP	52.862	0.21	11.101
PP-QQ	52.866	1.42	75.070
QQ-RR	52.874	1.37	72.437
RR-SS	52.919	1.42	75.145
SS-TT	52.961	0.21	11.122
TT-AA	52.964	0.49	25.552
TOTAL		128.87 m (PERIMETER)	6,703.132 m ²

AVERAGE GRADE
= 52.015 m = (6,703.132 m²) / (128.87 m)

1
A3.01
1 : 200

Property Data

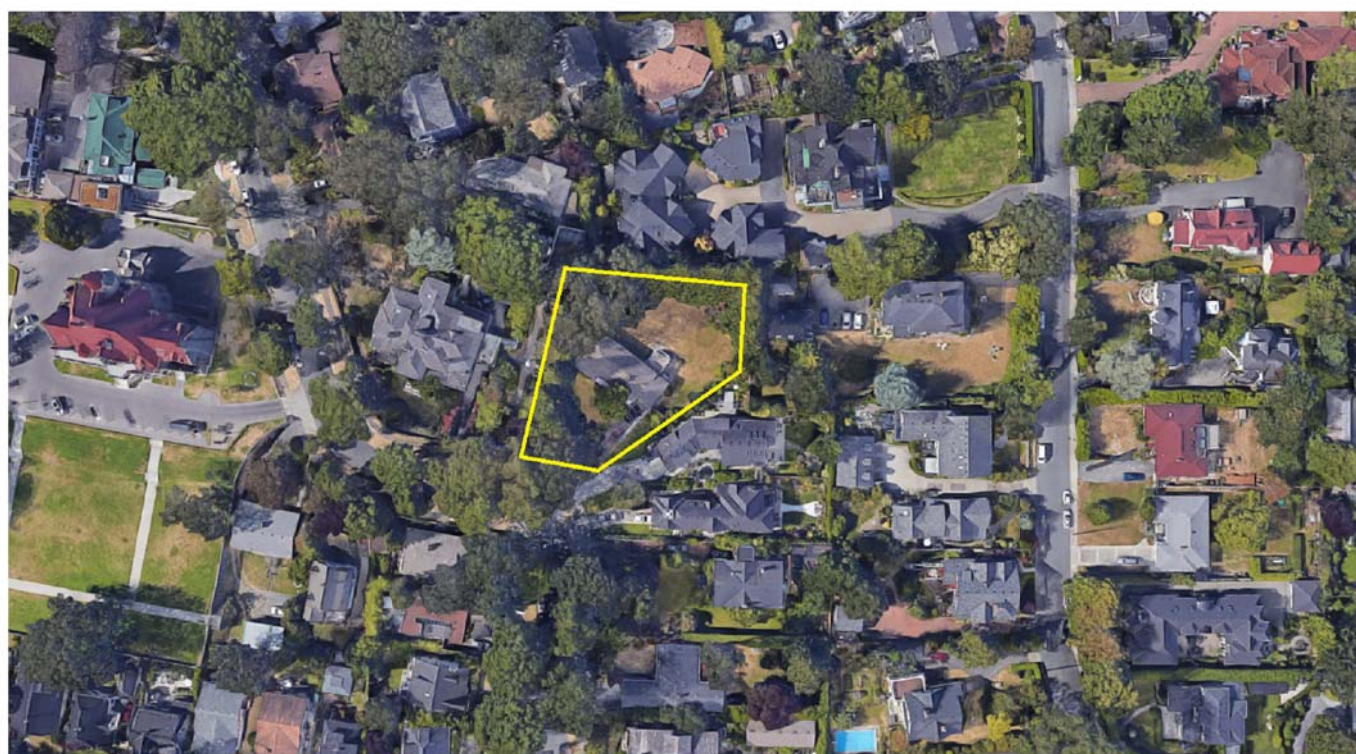
GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	THIS PROJECT PROPOSES THE REMOVAL OF AN EXISTING SINGLE FAMILY DETACHED STRUCTURE, AND THE CONSTRUCTION OF TWO (2) NEW SEMI-DETACHED DWELLINGS.
CIVIC ADDRESS	1035 JOAN CRESCENT, VICTORIA BC, V8S 3L3
LEGAL DESCRIPTION	LOT A, PLAN 12190 SECTION FAIRFIELD, VICTORIA
PROPERTY IDENTIFICATION (P.I.D.)	004-982-681
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS
NEIGHBOURHOOD	ROCKLAND

PROJECT INFORMATION TABLE	EXISTING / REQUIRED	PROPOSED
ZONING DISTRICT	R1-A (SINGLE FAMILY)	(NO CHANGE)
SITE AREA (m ²)	1,727.69	(NO CHANGE)
TOTAL FLOOR AREA (m ²)	≥ 130	562.37
FLOOR SPACE RATIO	NO REQUIREMENT	0.326
SITE COVERAGE (%)	≤ 25	23.08
OPEN SITE SPACE (%)	NO REQUIREMENT	66.37
BUILDING HEIGHT (m)	≤ 7.6	7.418
NUMBER OF STOREYS	≤ 2 1/2	2
PARKING STALLS ON SITE	1	1 (EXT) + 2 (GARAGE)
BICYCLE PARKING	N/A	N/A
BUILDING SETBACKS: 1 PER SECTION #27 OF BYLAW 80-159, IRREGULAR LOT REQUIRES SETBACK MEASUREMENT USING LARGEST RECTANGLE THAT CAN BE INSCRIBED IN LOT	FRONT YARD ¹ (m) ≥ 10.5 (3.452 EXIST.) REAR YARD (m) ≥ 7.5 SIDE YARD - WEST (m) ≥ 3.0 SIDE YARD - EAST (m) ≥ 3.0	3.223 7.911 7.066 ≥ 3.0
RESIDENTIAL USE DETAILS:	TOTAL NUMBER OF UNITS 1 UNIT TYPE SINGLE FAMILY GROUND-ORIENTED UNITS 1 MINIMUM UNIT FLOOR AREA (m ²) 159.32 (APPROX.) TOTAL RESIDENTIAL UNIT AREA (m ²) 159.32 (APPROX.)	2 SEMI-ATTACHED 2 279.78 562.37

Municipal Zoning Compliance Summary

0 - ZONING SUMMARY			
NO.	ITEM	DESCRIPTION	BYLAW REFERENCES
0-1	ZONING DISTRICT	R1-A (SINGLE FAMILY) EXISTING (NO CHANGES PROPOSED)	80-159
0-2	DEVELOPMENT PERMIT AREA (DPA)	DPA-15C EXISTING (NO CHANGES PROPOSED)	OCF
0-3	HERITAGE STATUS	DESIGNATED N/A	87-121
0-4	PRINCIPAL USE	SEMI-ATTACHED DWELL. PROPOSED/PERMITTED	R1-A-1.1.1
0-5	SITE AREA AND LOT WIDTH	LOT AREA (m ²): ≥ 835 REQUIRED ¹ 1,727.69 EXISTING LOT WIDTH AVERAGE (m): ≥ 24 REQUIRED 41.144 EXISTING ² PANHANDLE LOT: EXISTING N/A	R1-A-1.1.2
0-6	FLOOR AREA	FLOOR AREA, ALL LEVELS COMBINED (m ²): ≥ 130 REQUIRED 562.37 PROPOSED PRIVATE GARAGE (m ²): ≤ 37 REQUIRED N/A PROPOSED ³ SUMMARY OF PROPOSED FLOOR AREAS (m ²): 115.24 UPPER LEVEL (WEST) 154.40 GROUND LEVEL (WEST) 269.64 SUBTOTAL - WEST UNIT 115.24 UPPER LEVEL (EAST) 153.54 GROUND LEVEL (EAST) 268.78 SUBTOTAL - EAST UNIT 538.42 TOTAL FLOOR AREA	R1-A-1.1.3
0-7	HEIGHT, STOREYS & ROOF DECKS	AVERAGED FINISH BUILDING GRADE (m): +52.015 PROPOSED ¹ RESIDENTIAL BUILDING HEIGHT (STOREYS): ≤ 2 1/2 REQUIRED 2 PROPOSED RESIDENTIAL BUILDING HEIGHT (m): ≤ 7.6 REQUIRED 7.418 PROPOSED ¹ ROOF DECK: NO PERMITTED NO PROPOSED ²	R1-A-1.1.4
0-8	SETBACKS & PROJECTIONS	FRONT YARD (JOAN CRESCENT) SETBACK (m): ≥ 10.5 REQUIRED 3.223 PROPOSED REAR YARD (NORTH) SETBACK (m): ≥ 7.5 REQUIRED 7.5 PROPOSED SIDE YARD (WEST & EAST) SETBACK (m): ≥ 3.0 REQUIRED 3.0 PROPOSED EAVE PROJECTIONS INTO SETBACKS (m): ≤ 0.75 REQUIRED 0.75 PROPOSED	R1-A-1.1.5, 80-159-27
0-9	SITE COVERAGE	SITE COVERAGE (%): ≤ 25 REQUIRED 23.08 PROPOSED ¹	R1-A-1.1.6
0-10	SEMI-ATTACHED DWELLING SITING & CONNECTION	CONNECTED BY COMMON ROOF: REQUIRED PROPOSED	R1-A-1.1.6
0-11	OFF-STREET VEHICULAR PARKING	GEOGRAPHIC SUB-AREA: CORE AREA VILLAGE/CENTRE OTHER CLASS OF USE: SEMI-ATTACHED DWELL. OFF-STREET PARKING SPACES: 2 REQUIRED 3 PROPOSED ¹	80-159: SCHEDULE C
0-12	OFF-STREET BICYCLE PARKING	BICYCLE PARKING SPACES (SEMI-DETACHED DWELLINGS): 0 REQUIRED 0 PROPOSED	80-159: SCHEDULE C
0-13	OUTDOOR FEATURES	SETBACKS (m): PER 1.1.5 REQUIRED N/A PROPOSED HEIGHT FROM NATURAL OR FINISHED GRADE (m): 3.5 REQUIRED N/A PROPOSED	R1-A-1.1.7

1035 Joan Crescent

Semi-Attached Dwellings Project - DEVELOPMENT VARIANCE PERMIT APPLICATION (REVISION 2)
24 September 2020

Drawing List	
Number	Name
A0.01	Cover Sheet
A1.00	Survey Plan
A1.01	Site Plan - Existing
A1.02	Site Plan - Proposed
A1.03	Landscape Plan
A1.04	Neighbourhood Context
A2.01	Floor Plans
A2.02	Floor Plans
A3.01	Elevations
A3.02	Elevations
A3.03	Elevations
A3.04	Spatial Separations Analysis
A4.01	Building Section
A8.01	3D Perspectives



OWNER

Jon Roler
6538 Brownlee Place
Victoria BC
250-920-6403

Contact: Jon Roler

ARCHITECTURAL

Christine Lintott Architect
Unit 1 - 864 Queens Avenue
Victoria, B.C. V8T 1M5
250-384-1969

Contact: Tim Kindrat

SURVEY

R.L. Johns Land Surveying Ltd.
5071 Catalina Terrace
Victoria, B.C. V8Y 2A6
250-658-9518

Contact: R.L. Johns

ARBORIST

Talbot Mackenzie & Associates
Box 48153 RPO Uptown
Victoria, BC V8Z 7H6
250-479-8733

Contact: Michael Marcucci

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Issue Date

DEVELOPMENT PERMIT W/VARIANCE 7 OCT 2019
DPV #00129 REVISION 6 JAN 2020
DPV #00129 REVISION 2 24 SEP 2020

Revision

No.	Description	Date
1	DPV (REVISED)	6 JAN 2020
2	DPV (REVISION 2)	24 SEP 2020

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Cover Sheet

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Scale As indicated



Issue	Date
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DEVELOPMENT VARIANCE PERMIT	7 OCT 2019
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Revision

No.	Description	Date
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SURVEY DRAWING
ARCHITECT SEAL NOT REQUIRED

1035 Joan Crescent

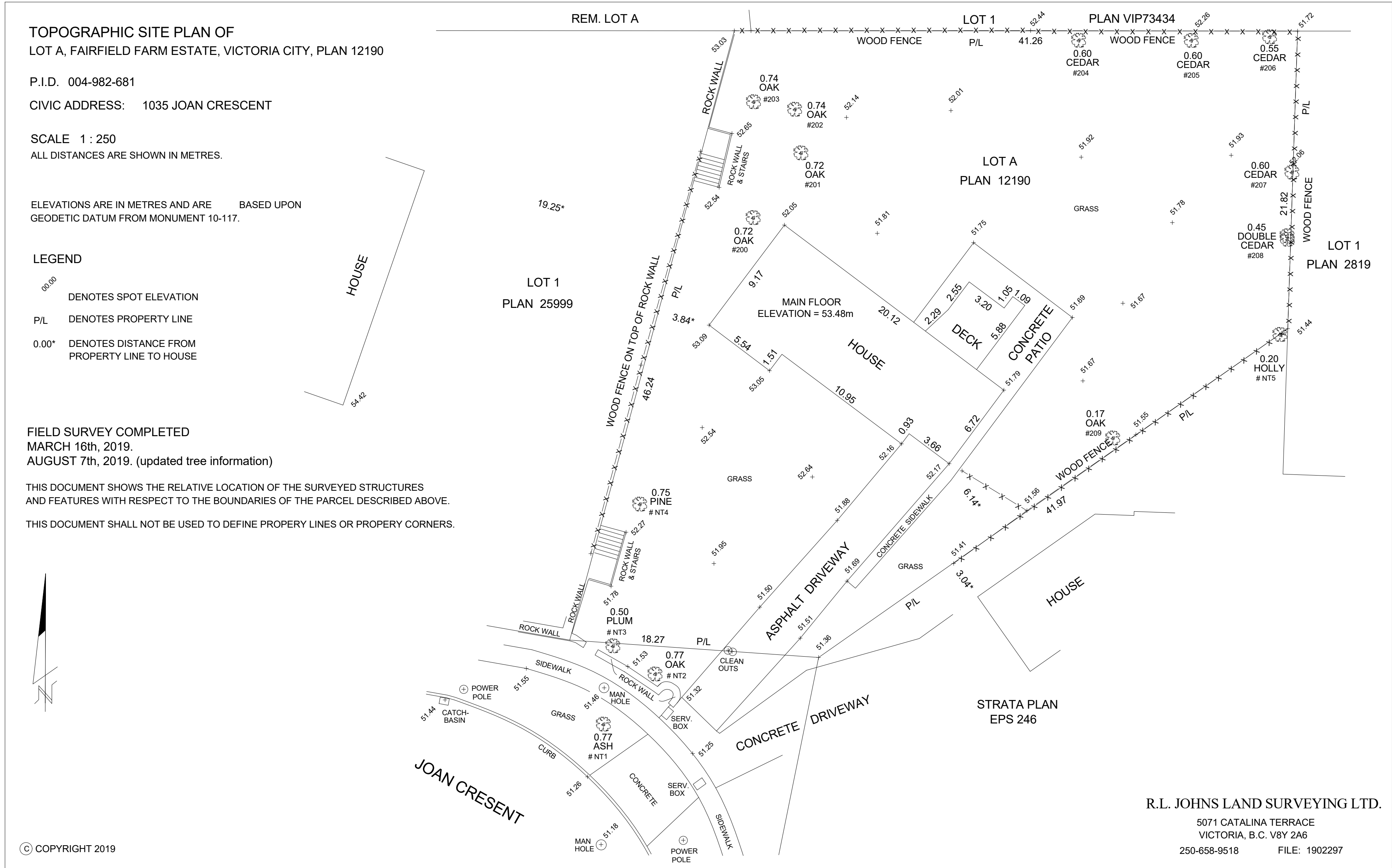
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Survey Plan

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Drawn by	SURVEYOR
Checked by	-

A1.00

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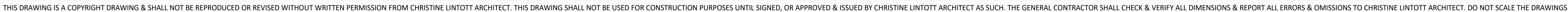
Issue	Date
DEVELOPMENT PERMIT W/VARIANCE	7 OCT 2019
DPV #00129 REVISION	6 JAN 2020

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1	DVP (REVISED)		6 JAN 2020

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Landscape Plan

Date	2019-12-31 11:33:56 AM
Drawn by	TK
Checked by	CL

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Scale	As indicated
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Plant List	
LOCATION	SUGGESTED PLANT SPECIES (LATIN NAME)
AREA 1	- CALIFORNIA LILAC (CEANOTHUS THYRSIFLORUS) - ENGLISH LAUREL (PRUNUS LAUROCESTRASUS) - FRASER PHTOTNIA (PHOTINIA FRASERI)
AREA 2	- RHODODENDRON (ERICACEAE SPP.), TWO (2) LARGE EXISTING - UMBRELLA BAMBOO (FARGESIA MURIELAE)
AREA 3	- BOXWOOD (BUXUS SEMPERVIRENS) - DWARF SKIMMIA (SKIMMIA JAPONICA)
AREA 4 & AREA 5	- COMPACT STRAWBERRY BUSH (ARBUTUS UNEDO COMPACTA) - MOUNTAIN LAUREL (KALMIA LATIFOLIA) - ADALEA (AZALEA SPP.) - RHODODENDRON (ERICACEAE SPP.) - MOCK ORANGE (PHAEDELPHUS LEWISII) - JAPANESE PIERIS (PIERIS JAPONICA) - DWARF SKIMMIA (SKIMMIA JAPONICA) - CALIFORNIA LILAC (CEANOTHUS THYRSIFLORUS) - BOXWOOD (BUXUS SEMPERVIRENS) - KINNIKICK, AKA BEARBERRY (ACRITOSTAPHYLOS UVA-URSI), GROUND COVER - NEW ZEALAND FLAX (PHORMIUM SPP.)
PERENNIALS, SUN AREAS	- WOOLLY SUNFLOWER (ERIOPHYLLUM LANATUM) - NODDING ONION (ALLIUM CERNUUM) - PENSTEMON (PENSTEMON SERIOLATUS AND FRUTICOSA) - ALUMROOT (HEUCHERA MICRANTHA) - YARROW (ACHILLEA MILLEFOLIUM) - WILD STRAWBERRY (FRAGERIA VIRGINIANAN), EVERGREEN GROUND COVER - ASTER (ASTER SPP.) - GOLDENROD (SOLIDAGO CANADENSIS)



1
ROOF & COLOURS REVISED

Issue	Date
DEVELOPMENT PERMIT W/VARIANCE DPV #00129 REVISION	7 OCT 2019 6 JAN 2020

Revision	No.	Description	Date
	1	DVP (REVISED)	6 JAN 2020

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Neighbourhood Context

Date	2019-12-31 11:34:18 AM
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DEVELOPMENT PERMIT W/VARIANCE 7 OCT 2019
DPV #00129 REVISION 6 JAN 2020
DPV #00129 REVISION 2 24 SEP 2020

Revision

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1	DPV (REVISED)	6 JAN 2020
2	DPV (REVISION 2)	24 SEP 2020

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Floor Plans

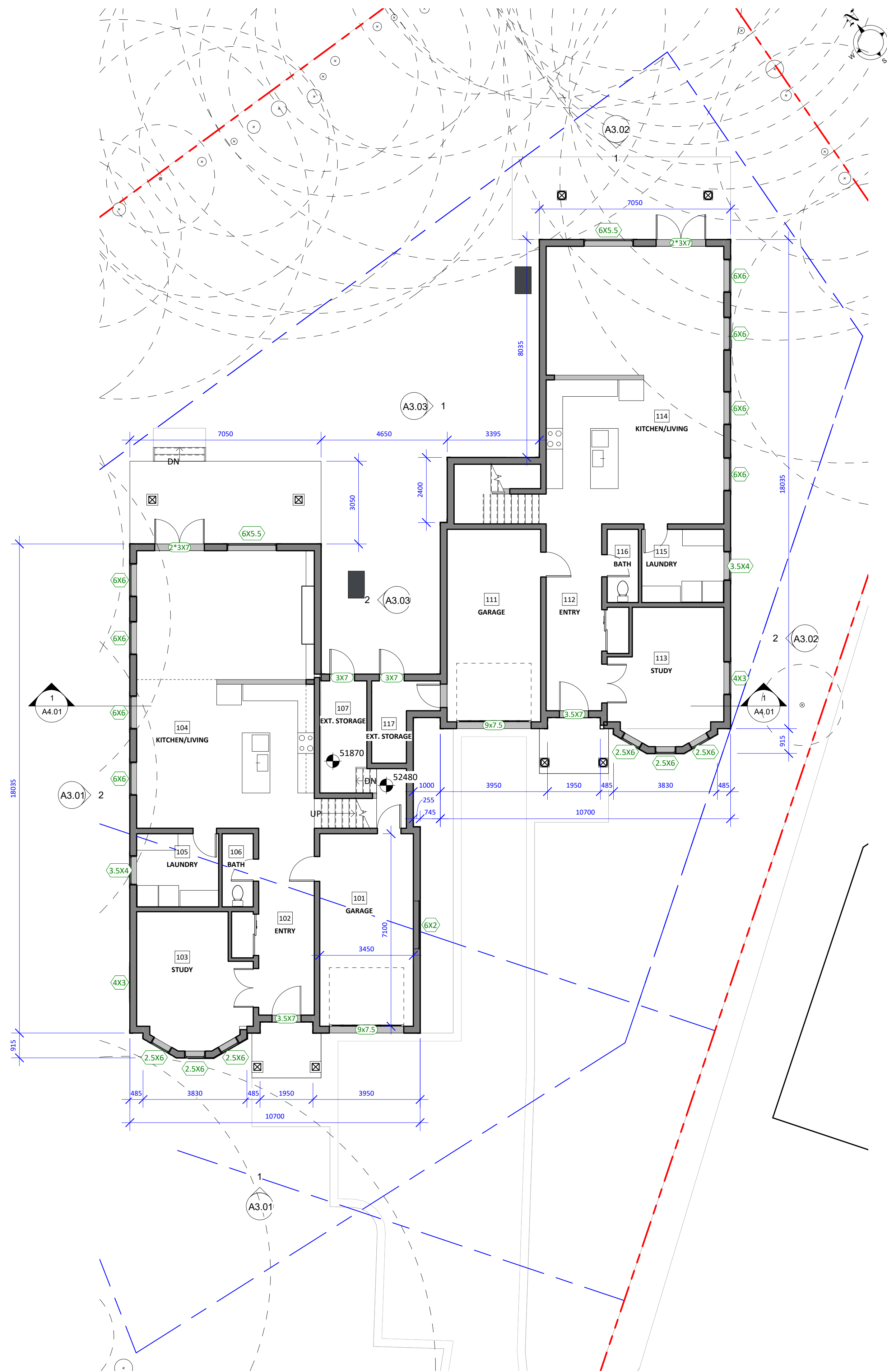
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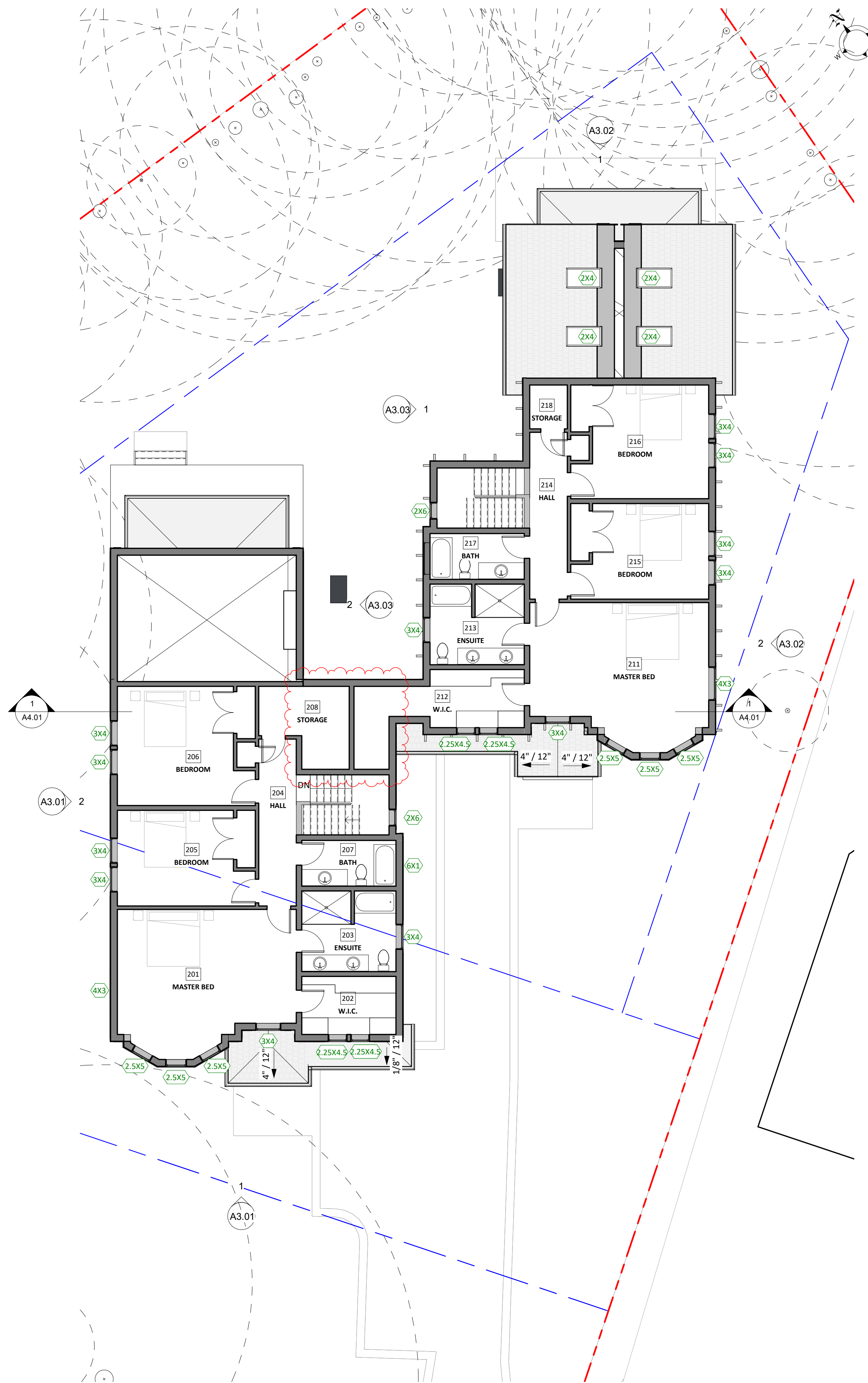
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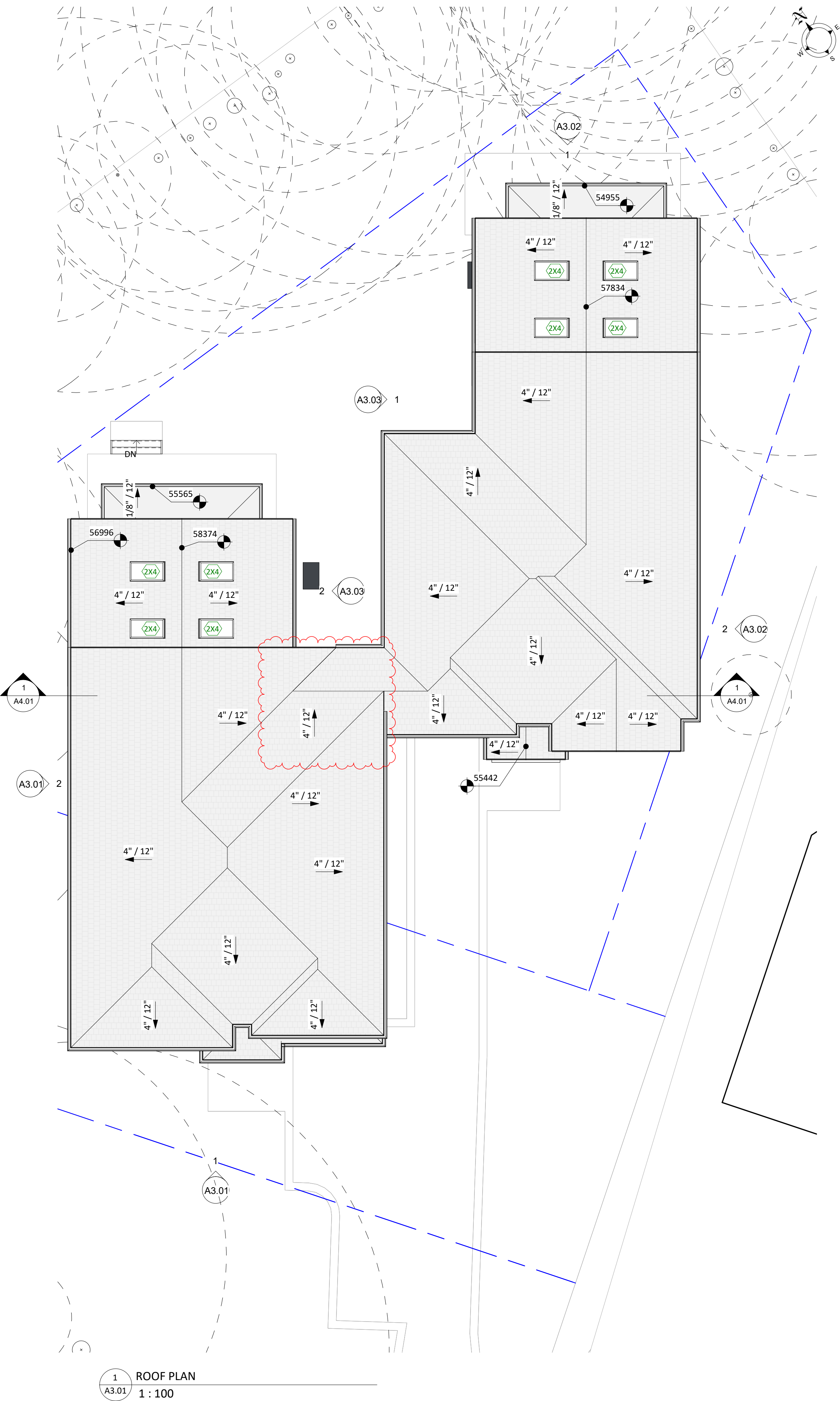
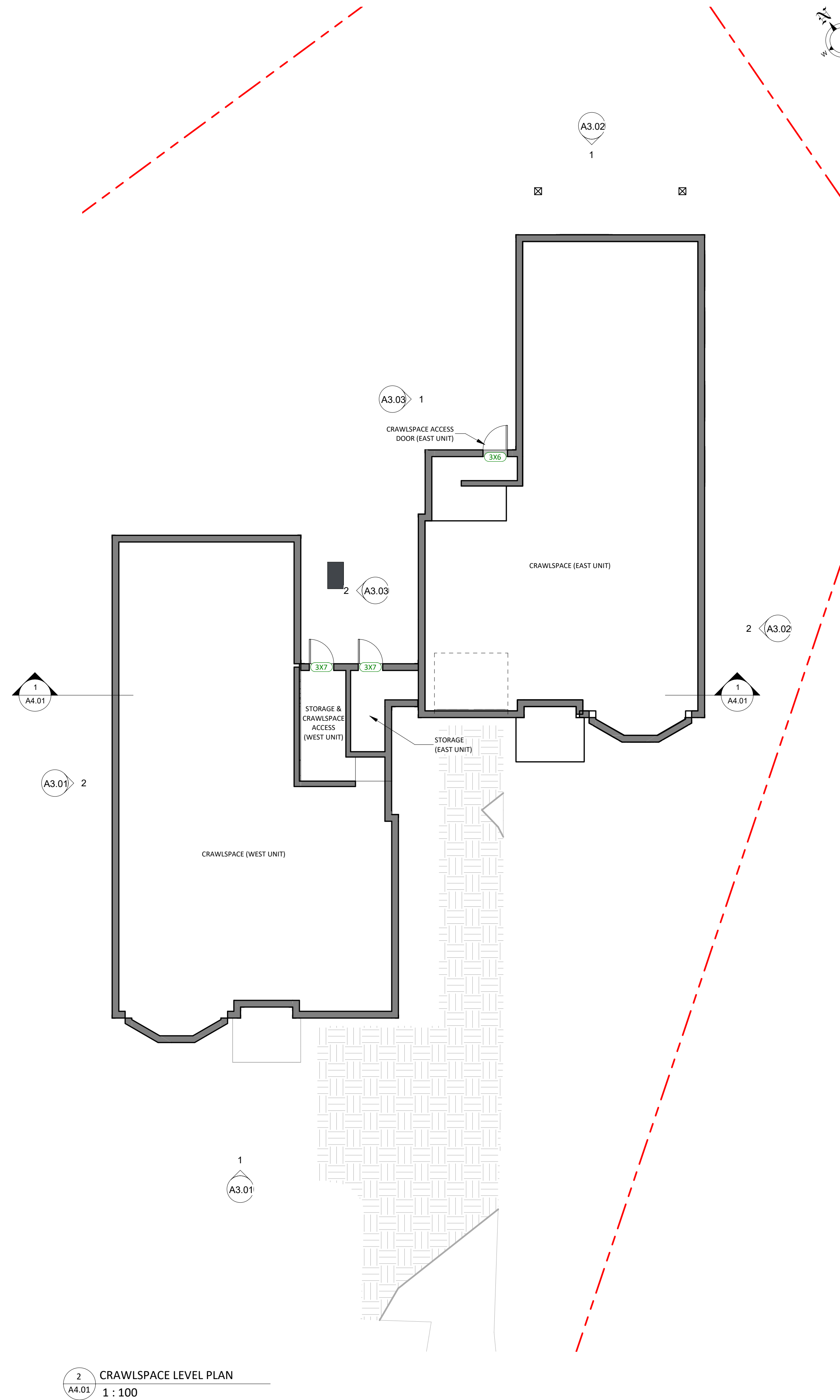
2 GROUND LEVEL FLOOR PLAN
A3.01 1 : 100



3 UPPER LEVEL FLOOR PLAN
A3.01 1 : 100

Legend to Floor Plans

6X8 WINDOW SIZE (WIDTH X HEIGHT, IN FEET)
8X12 DOOR SIZE (WIDTH X HEIGHT, IN FEET)



Legend to Floor Plans

	WINDOW SIZE (WIDTH X HEIGHT, IN FEET)
	DOOR SIZE (WIDTH X HEIGHT, IN FEET)

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Issue

Date

DEVELOPMENT PERMIT W/VARIANCE
DPV #00129 REVISION
DPV #00129 REVISION 2

7 OCT 2019
6 JAN 2020
24 SEP 2020

Revision

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1	DPV (REVISED)	6 JAN 2020
2	DPV (REVISION 2)	24 SEP 2020

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Floor Plans

Date

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TK

Checked by

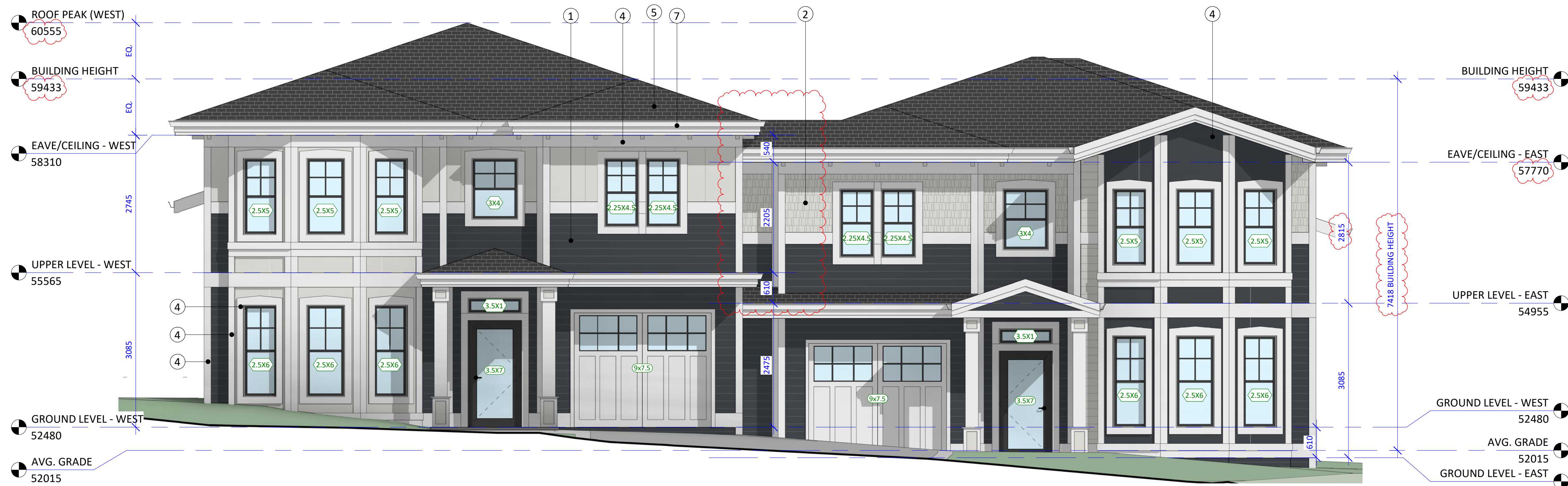
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A2.02

Scale

1 : 100

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1 BUILDING ELEVATION - SOUTH
A1.02 1 : 50



2 BUILDING ELEVATION - WEST
A1.02 1 : 50

MATERIALS LEGEND	
1	CEMENTITIOUS LAP SIDING, PAINTED
2	CEMENTITIOUS SHINGLE SIDING, PAINTED
3	CEMENTITIOUS BOARD & BATTEN, PAINTED
4	WOOD TRIM, PAINTED
5	ASPHALT SHINGLE ROOFING
6	LOW SLOPE ROOFING SYSTEM
7	METAL ROOF GUTTER, PREFINISHED

Legend to Exterior Colours

BLACK / DARK GRAY - FIBERGLASS ROOF SHINGLES - LOW SLOPE ROOFING - DOOR & WINDOW FRAMES	"OBSIDIAN" (CLOVERDALE #CA204) - CEMENTITIOUS SIDING	"MIST" (CLOVERDALE #CA032) - CEMENTITIOUS SIDING	"STANDARD WHITE" (CLOVERDALE #CA035) - EXTERIOR TRIM

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Issue Date

DEVELOPMENT PERMIT W/VARIANCE 7 OCT 2019
DPV #00129 REVISION 6 JAN 2020
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Revision

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Elevations

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A3.01

Scale As indicated



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Elevations

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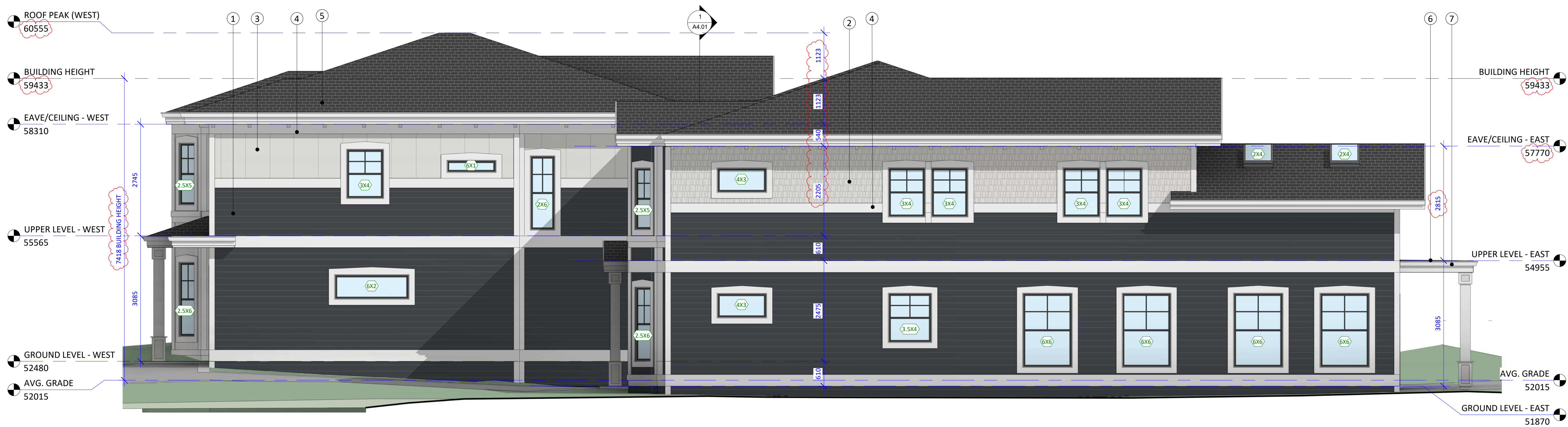
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A3.02

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1 BUILDING ELEVATION - NORTH
A1.02 1 : 50



2 BUILDING ELEVATION - EAST
A1.02 1 : 50

MATERIALS LEGEND

1	CEMENTITIOUS LAP SIDING, PAINTED
2	CEMENTITIOUS SHINGLE SIDING, PAINTED
3	CEMENTITIOUS BOARD & BATTEN, PAINTED
4	WOOD TRIM, PAINTED
5	ASPHALT SHINGLE ROOFING
6	LOW SLOPE ROOFING SYSTEM
7	METAL ROOF GUTTER, PREFINISHED

Legend to Exterior Colours

BLACK / DARK GRAY - FIBERGLASS ROOF SHINGLES - LOW SLOPE ROOFING - DOOR & WINDOW FRAMES	"OBSIDIAN" (CLOVERDALE #CA204) - CEMENTITIOUS SIDING	"MIST" (CLOVERDALE #CA032) - CEMENTITIOUS SIDING	"STANDARD WHITE" (CLOVERDALE #CA035) - EXTERIOR TRIM



Issue Date

DEVELOPMENT PERMIT W/VARIANCE 7 OCT 2019
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Elevations

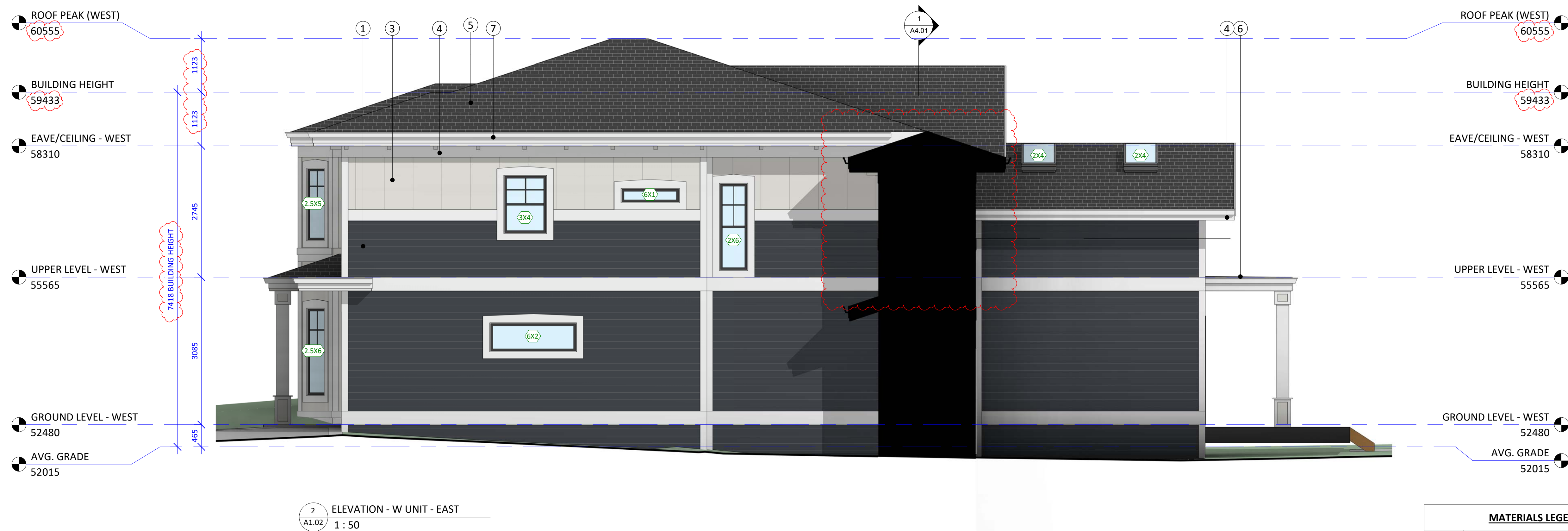
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Scale As indicated



MATERIALS LEGEND	
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2	CEMENTITIOUS SHINGLE SIDING, PAINTED
3	CEMENTITIOUS BOARD & BATTEN, PAINTED
4	WOOD TRIM, PAINTED
5	ASPHALT SHINGLE ROOFING
6	LOW SLOPE ROOFING SYSTEM
7	METAL ROOF GUTTER, PREFINISHED

Legend to Exterior Colours

BLACK / DARK GRAY - FIBERGLASS ROOF SHINGLES - LOW SLOPE ROOFING - DOOR & WINDOW FRAMES	"OBSIDIAN" (CLOVERDALE #CA04) - CEMENTITIOUS SIDING	"MIST" (CLOVERDALE #CA032) - CEMENTITIOUS SIDING	"STANDARD WHITE" (CLOVERDALE #CA035) - EXTERIOR TRIM



Issue Date

DEVELOPMENT VARIANCE PERMIT 7 OCT 2019

Revision

No. Description Date

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Spatial Separations
Analysis

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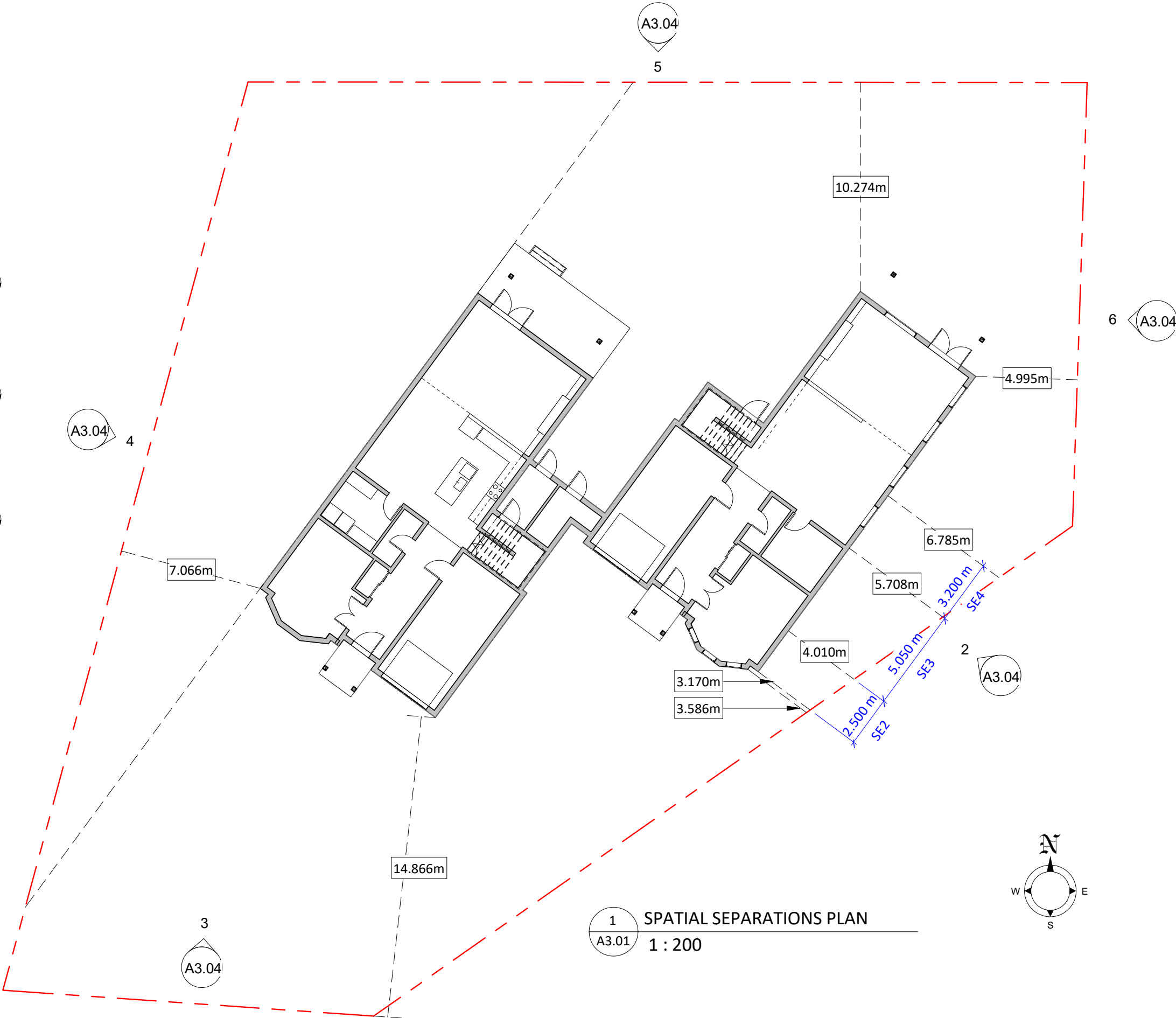
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Scale As indicated

Building Code Analysis - Spatial Separations

6 - SPATIAL SEPARATIONS											
NO.	ITEM	DESCRIPTION									
6-1	SPATIAL SEPARATION AND EXPOSURE PROTECTION & CONSTRUCTION OF EXPOSING BUILDING FACE	LOCATION	WALL AREA	LIMITING DISTANCE	MAXIMUM GLAZING	PROPOSED GLAZING	WALL F.R.R.	WALL NON-COMB.	CLADDING NON-COMB.	¹ AT SOUTHEAST ELEVATION, ARBITRARY WALL DIVISION METHOD USED TO DEMONSTRATE COMPLIANCE; SEE BCBC FIGURES A-9.10.15.4(2) 8 & C.	
		SOUTHEAST:	168.853	VARIES ¹							
		SE (SE1):	71.334	3.586	11.17	8.79	1 HR	-	REQUIRED		
		SE (SE2):	14.575	3.170	10.34	10.21	1 HR	-	REQUIRED		
		SE (SE3):	29.442	4.010	12.04	12.02	1 HR	-	REQUIRED		
		SE (SE4):	18.656	5.708	17.98	17.98	1 HR	-	REQUIRED		
		SE (SE5):	34.847	6.785	22.53	22.42	3/4 HR	-	REQUIRED		
		SOUTH:	194.767	14.866	81.51	18.05	3/4 HR	-	-		
		WEST:	138.340	7.066	23.80	15.16	1 HR	-	REQUIRED		
		NORTH:	198.388	10.274	42.06	13.51	3/4 HR	-	REQUIRED		
		EAST:	127.694	4.995	15.48	14.64	1 HR	-	REQUIRED		



Legend to Spatial Separation Elevations

- WALL AREA
- UNPROTECTED GLAZED OPENINGS

2 SPATIAL SEPARATIONS ELEVATION - SOUTHEAST
1 : 100

3 SPATIAL SEPARATIONS ELEVATION - SOUTH
1 : 100

4 SPATIAL SEPARATIONS ELEVATION - WEST
1 : 100

5 SPATIAL SEPARATIONS ELEVATION - NORTH
1 : 100

6 SPATIAL SEPARATIONS ELEVATION - EAST
1 : 100

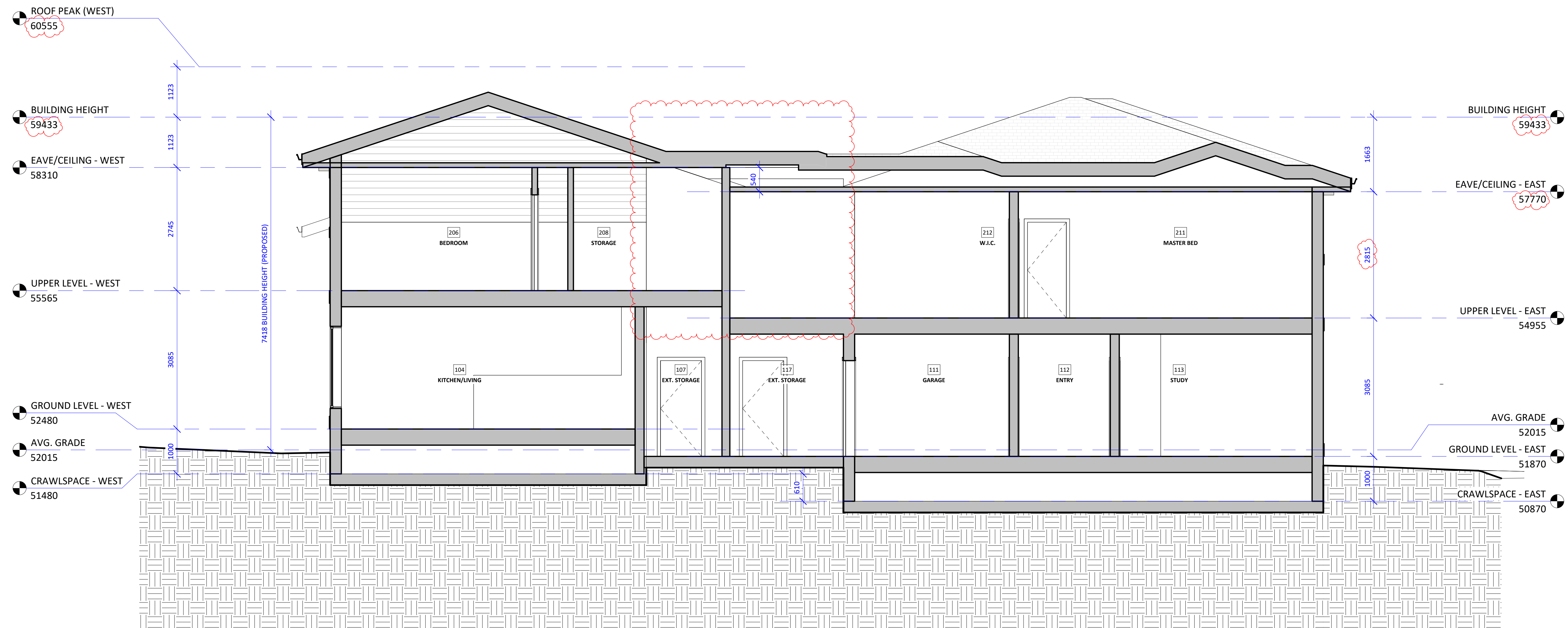
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1035 Joan Crescen

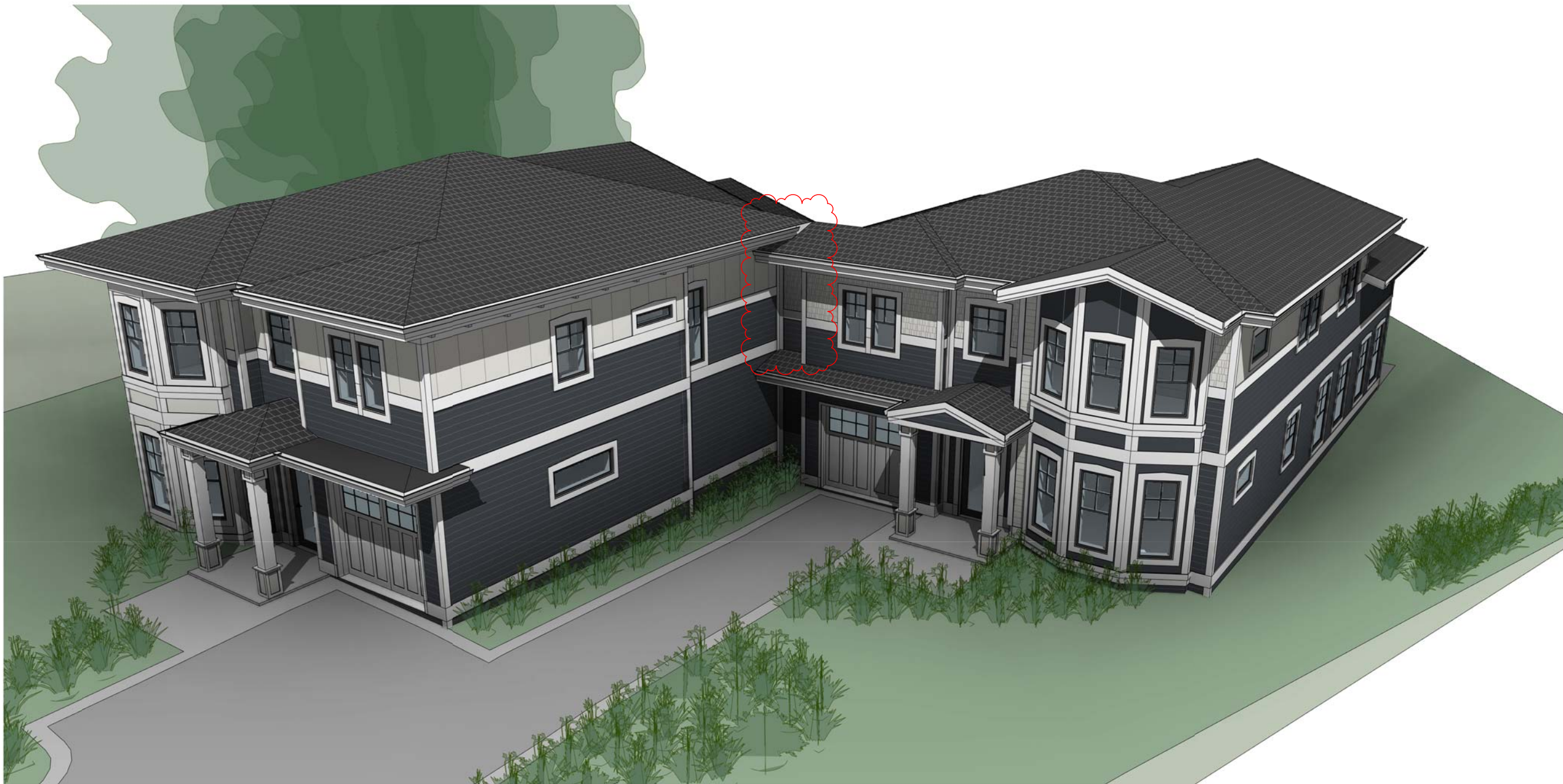
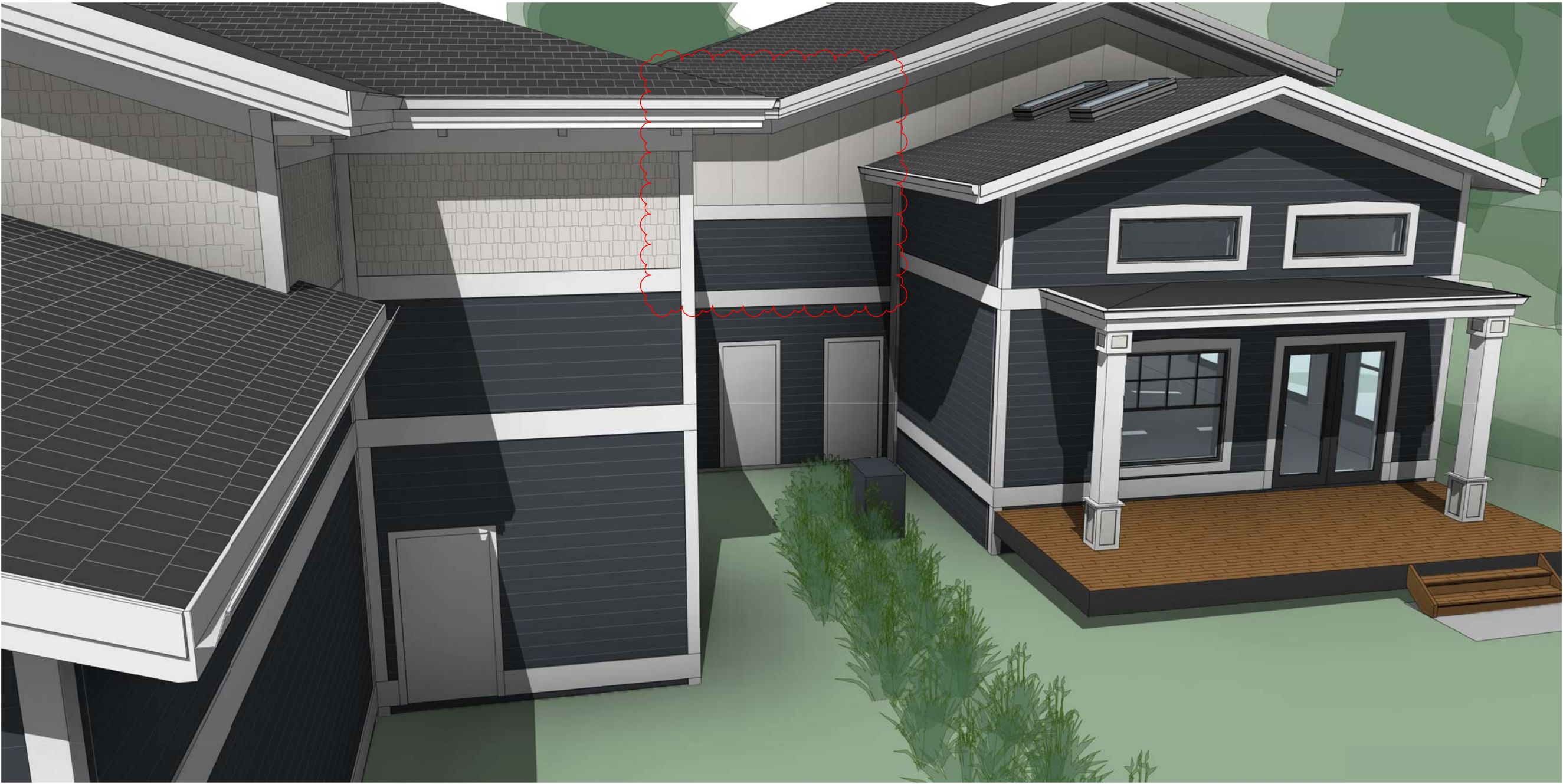
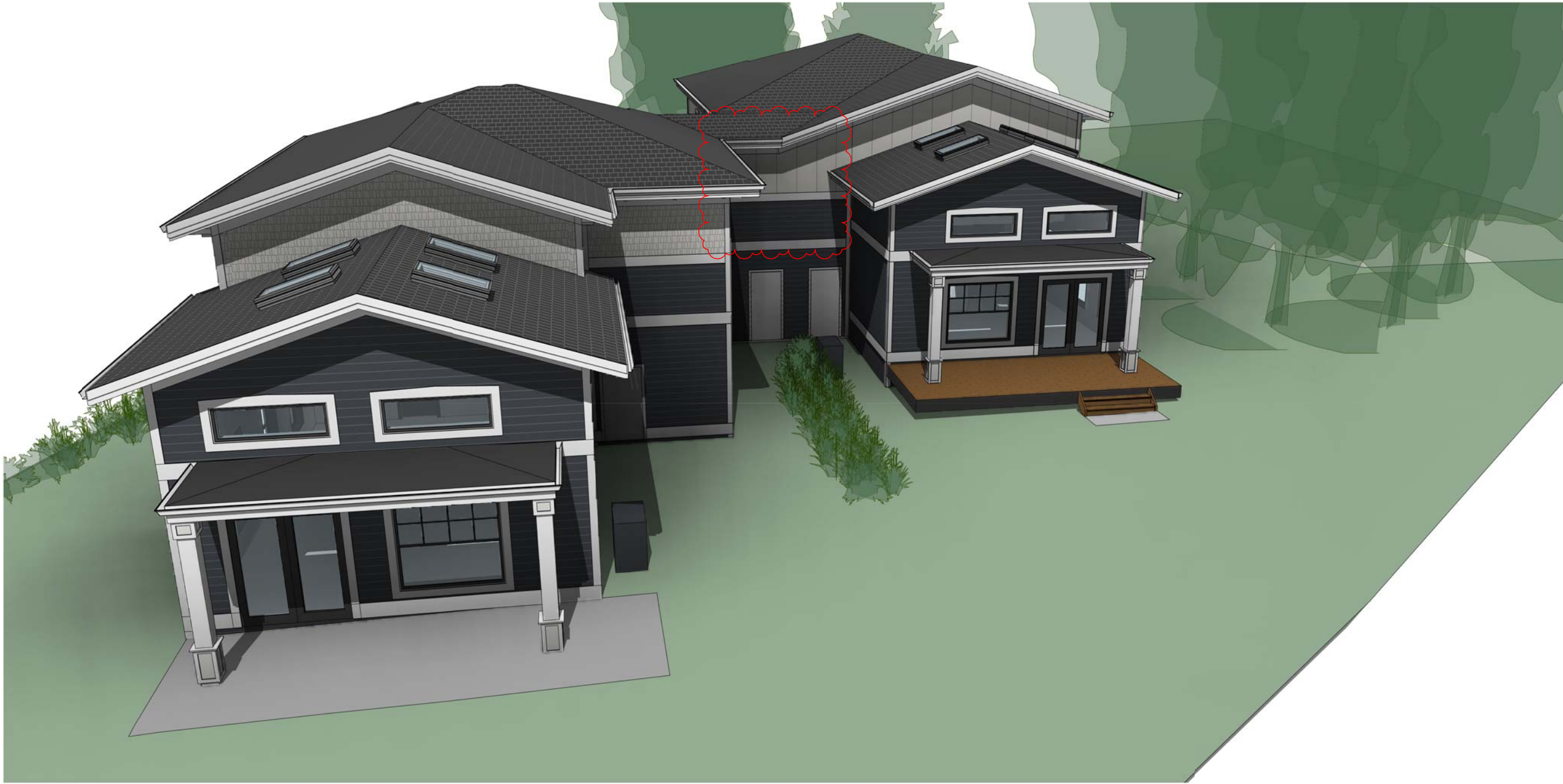
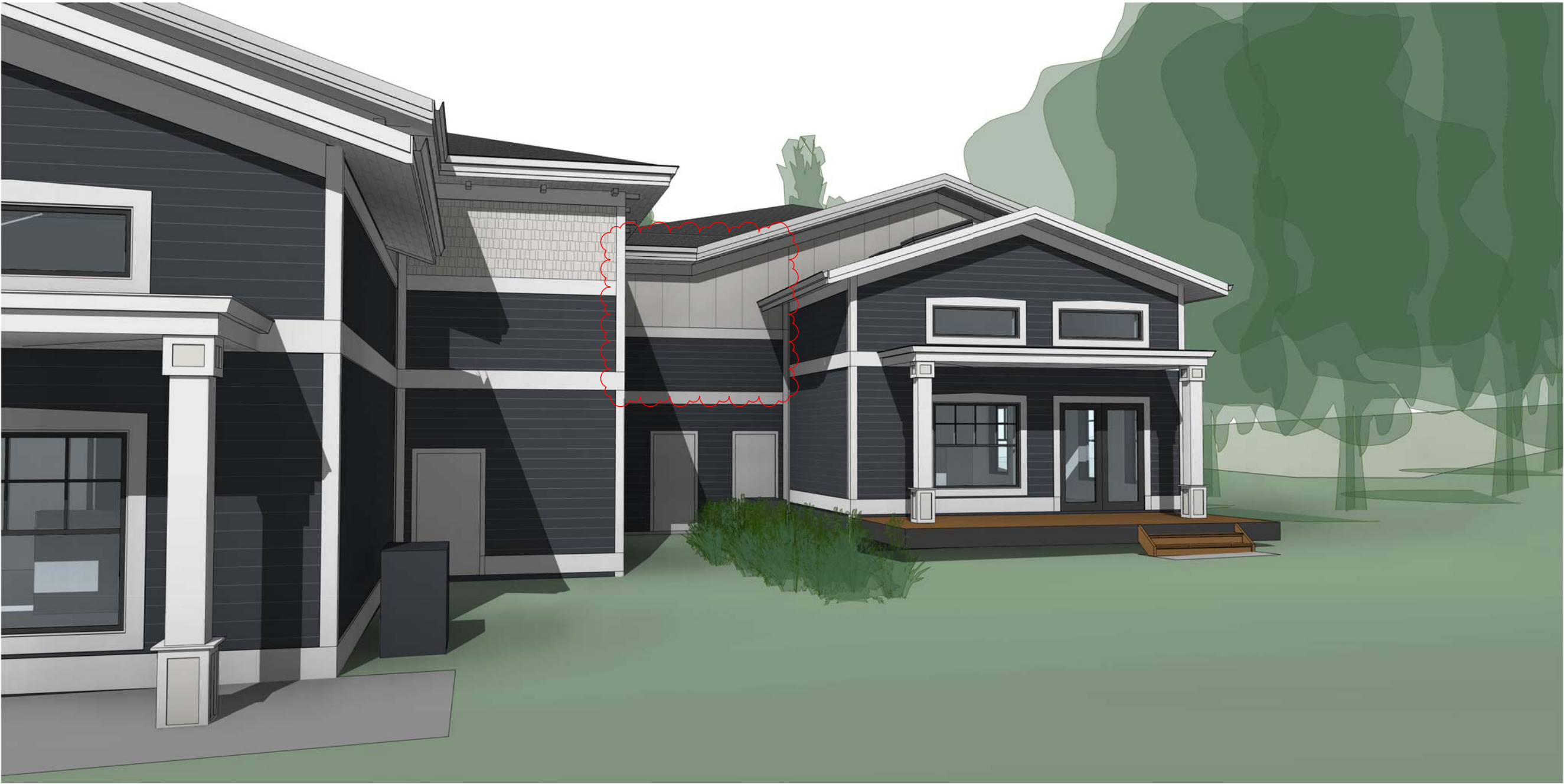
Building Section

A4.01

scale 1 :



1 BUILDING SECTION
A2.01 1 : 50



Issue	Date
DEVELOPMENT PERMIT W/VARIANCE	7 OCT 2019
DPV #00129 REVISION	6 JAN 2020
DPV #00129 REVISION 2	24 SEP 2020

No.	Description	Date
1	DPV (REVISED)	6 JAN 2020
2	DPV (REVISION 2)	24 SEP 2020

Consultant

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3D Perspectives

Date	2020-09-24 1:22:58 PM
Drawn by	TK
Checked by	CL

A8.01