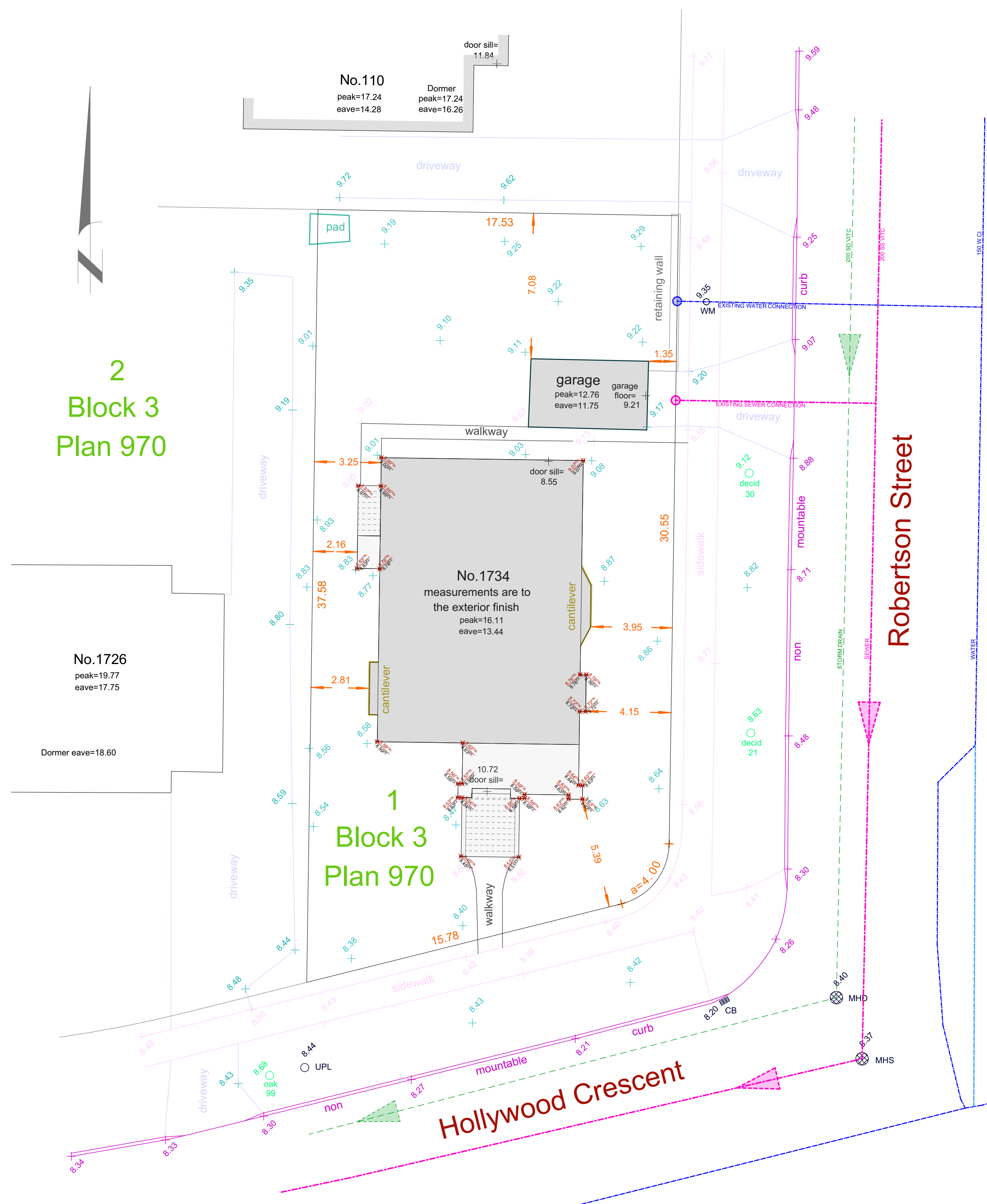


**LEGEND**  
 Elevations are to geodetic datum.  
 CB - denotes - catch basin  
 MHD - denotes - manhole - storm drain  
 MHS - denotes - manhole - sewer  
 UPL - denotes - utility pole with light  
 WM - denotes - water meter  
 #H# - denotes - existing elevation  
 Tree diameters are in centimetres.  
**Lot Area = 616.53 m<sup>2</sup>**

28  
 Block 3  
 Plan 970



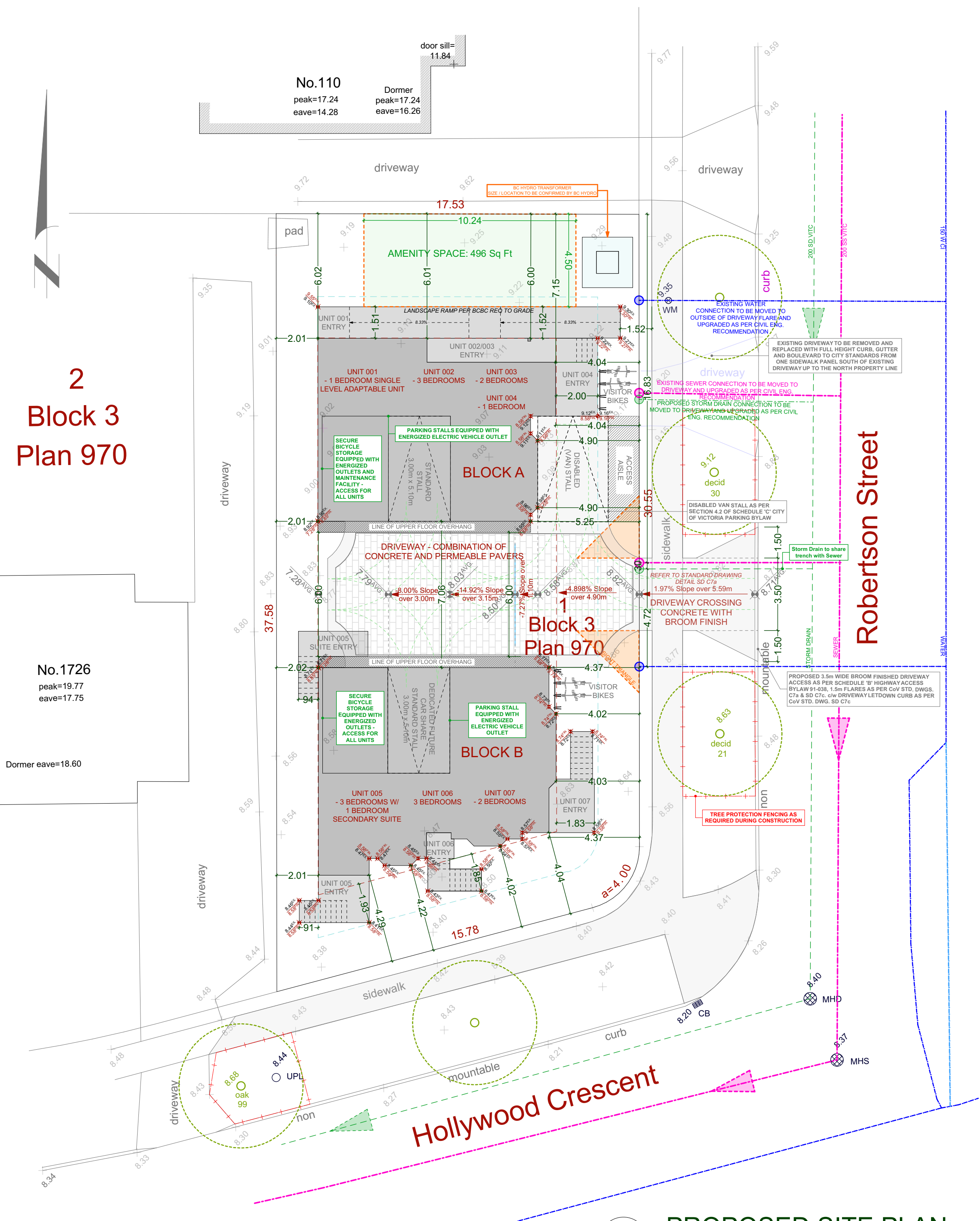
**EXISTING SITE PLAN**  
 SCALE = 1 : 150

PROJECT DATA TABLE - MULTI FAMILY DWELLING			
Address	1734 Hollywood Cres		
Lot Size	616.53m <sup>2</sup> (6,636.27 ft <sup>2</sup> )		
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P		
	BLOCK A	BLOCK B	REQUIRED
Location			
Lot Width***	17.53m***	20m	
Building to be within 36m of two streets	9.80m	9.76m	-
All buildings to be within 20m of a street	9.80m	9.76m	-
Floor Area			
Upper Floor Area	90.61m <sup>2</sup> (975.34 ft <sup>2</sup> )	98.66 m <sup>2</sup> (1,061.98 ft <sup>2</sup> )	
Main Floor Area	91.84m <sup>2</sup> (988.60 ft <sup>2</sup> )	98.92 m <sup>2</sup> (1,064.81 ft <sup>2</sup> )	
Lower Floor Area	88.64m <sup>2</sup> (954.12 ft <sup>2</sup> )	100.11 m <sup>2</sup> (1,077.54 ft <sup>2</sup> )	
Basement Floor Area	55.52m <sup>2</sup> (594.64 ft <sup>2</sup> )	62.02 m <sup>2</sup> (667.54ft <sup>2</sup> )	
Bicycle Storage Area	15.44m <sup>2</sup> (166.14 ft <sup>2</sup> )	15.26 m <sup>2</sup> (164.27ft <sup>2</sup> )	
Floor Space Ratio	0.923 568.78 m <sup>2</sup> (6,124.39 ft <sup>2</sup> )	0.923 568.78 m <sup>2</sup> (6,124.39 ft <sup>2</sup> )	1.1 676.18m <sup>2</sup> (7,299.67 ft <sup>2</sup> )
Height			
Average grade	8.81m Geo.	8.40m Geo.	-
Building Height*** (maximum)	11.29m*** (37.04 ft)	11.68m*** (38.32 ft)	9.50m - Flat roofs 10.50m - All other roofs
Setbacks, Projections			
Street setback (Robertson) (minimum) (South)	4.04m (13.26 ft)	4.02m (13.19 ft)	4.00m (13.12 ft)
Street setback (Hollywood) (minimum) (East)	-	4.02m (13.19 ft)	4.00m (13.12 ft)
Maximum projections into all setbacks: • steps, ramp, porch	2.00m (6.56 ft)	1.93m (6.33 ft)	2.00m (6.56 ft)
North setback (minimum)	6.00m (Habitable) (19.69 ft)	20.16m (Habitable) (66.14 ft)	6.00m (Habitable) 2.00m (Non-hab.)
West setback (minimum)	2.01m (Non-hab.) (6.60 ft)	2.01m (Non-hab.) (6.60 ft)	6.00m (Habitable) 2.00m (Non-hab.)
Eave projections into setback (maximum)	0.65m (2.13 ft)	0.65m (2.13 ft)	0.75m (2.46 ft)
Building separation (minimum)	6.00m (19.69 ft)	6.00m (19.69 ft)	5.00m (16.40 ft)
Site Coverage			
Site coverage*** (maximum)	46.62*** 287.43m <sup>2</sup> (3,093.87ft <sup>2</sup> )	40.00% 246.61m <sup>2</sup> (2,654.49ft <sup>2</sup> )	
Open Site Space*** (minimum)	40.69%*** 250.31m <sup>2</sup> (2,694.31ft <sup>2</sup> )	45.00% 277.44m <sup>2</sup> (2,986.34ft <sup>2</sup> )	
Amenity Space (30m <sup>2</sup> or 6.5% of lot area and min 4.5m in length on all sides)	7.47% 46.08m <sup>2</sup> (496.00ft <sup>2</sup> )	6.50% 40.08m <sup>2</sup> (431.42ft <sup>2</sup> )	
Site Impervious Areas	46.62% 287.43m <sup>2</sup> (3,093.87ft <sup>2</sup> )	45.00% 277.44m <sup>2</sup> (2,986.34ft <sup>2</sup> )	
Permeable Areas	53.38% 329.08m <sup>2</sup> (3,542.19ft <sup>2</sup> )	55.00% 348.56m <sup>2</sup> (3,747.50ft <sup>2</sup> )	
Rainwater Management Areas	53.38% 329.08m <sup>2</sup> (3,542.19ft <sup>2</sup> )	55.00% 348.56m <sup>2</sup> (3,747.50ft <sup>2</sup> )	
Parking			
Bicycle Storage	*All units have access to both bike rooms* • Long Term Storage Spaces (2 per unit, 1 per secondary unit) • Short Term Storage Spaces (Not required)	16 long term spaces (8 floor mount, 8 wall mount) 4 short term spaces	• 15 long term spaces • Not Required
Oversized Bicycle Storage	*All units have access to both bike rooms* 3 long term (included in total above)		15% of total stalls 3 spaces
Energized Bicycle Spaces	*All units have access to both bike rooms* 10 energized spaces provided located to maximize flexibility for charging		50% of total stalls 8 spaces
Bicycle Maintenance Facility	*All units have access to both bike rooms* 1 located in bike storage room located in Block A		1 Required
Van Accessible Parking	1 - Van accessible parking space located close to Block A (contains adaptable unit)		1 Required
EV Equipped Parking	One parking space dedicated for future use by a car share vehicle on the lot secured through a car share parking space SRW on the terms in Schedule F	1 - Standard EV equipped parking space 1 - Dedicated future EV car share parking space	0.15 Parking spaces per unit up to a maximum of 4 car share vehicle parking spaces 2 Spaces Required

\*\*\*VARIANCE REQUIRED

**Revisions**  
 Received Date:  
 December 14, 2023

28  
 Block 3  
 Plan 970



**PROPOSED SITE PLAN**  
 SCALE = 1 : 150

**LEGEND**  
 Elevations are to geodetic datum.  
 CB - denotes - catch basin  
 MHD - denotes - manhole - storm drain  
 MHS - denotes - manhole - sewer  
 UPL - denotes - utility pole with light  
 WM - denotes - water meter  
 #H# - denotes - existing elevation  
 Tree diameters are in centimetres.  
**Lot Area = 616.53 m<sup>2</sup>**

**NAFS REQUIREMENTS:**  
 Performance Grade of 30  
 Water Test Pressure of 260 Pa

**GENERAL NOTES**  
 ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.  
 ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.  
 DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE  
 -SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

**SITE PLAN**  
 ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.  
 CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.  
**CONCRETE AND FOUNDATIONS**  
 ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.  
 GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPA  
 FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2900 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.  
 ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.  
 ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.  
 ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

**LUMBER, FRAMING AND BEAMS**  
 BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.  
 ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.  
 ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

**TRUSSES**  
 TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.  
**ROOFING**  
 ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.  
**PLUMBING & ELECTRICAL**  
 ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

**FLASHING**  
 ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING.  
 ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.  
 DOORS - ROUGH OPENING SIZES  
 FRAME OPENING 1 1/4" WIDER THAN DOOR  
 FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".  
**MISC.**  
 CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 8.19

NEITHER JAVA DESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:  
 -INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.  
 -CONFORMITY OF PLANS TO SITE.  
 -ERRORS AND OMISSIONS  
 -ANY HOUSE BUILT FROM THESE PLANS

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
 ADDRESS:  
**LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA**

DRAWING NAME:  
**EXISTING AND PROPOSED SITE PLANS AND DATA TABLE**  
 ISSUE DATE:  
 DEC.13, 2023  
 DRAWN BY:  
 NS  
 CHECKED BY:  
 KL

ISSUE DATE:  
 DEC.13, 2023  
 DRAWN BY:  
 NS  
 CHECKED BY:  
 KL

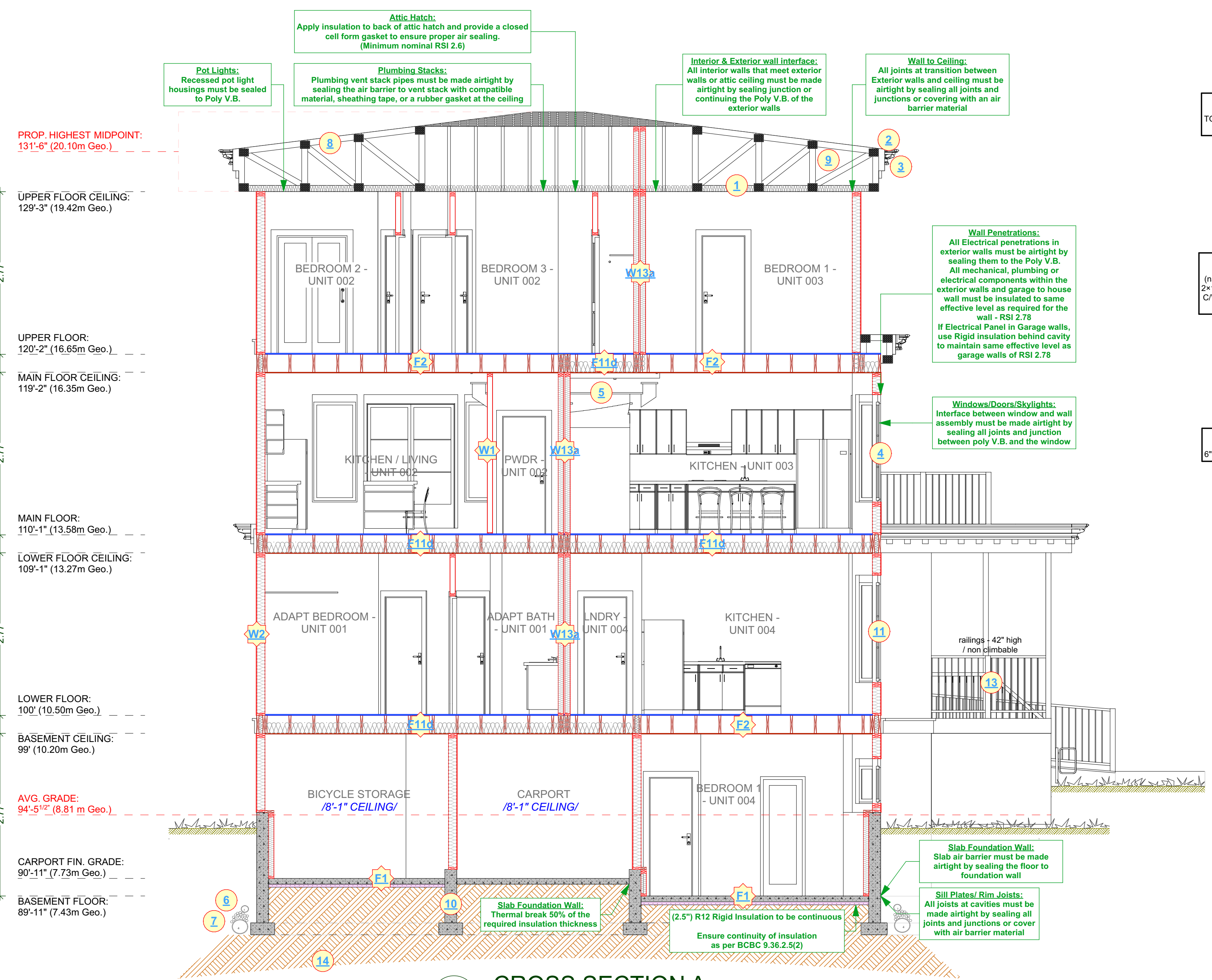
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SHEET NUMBER  
**A1**









**CROSS SECTION A**

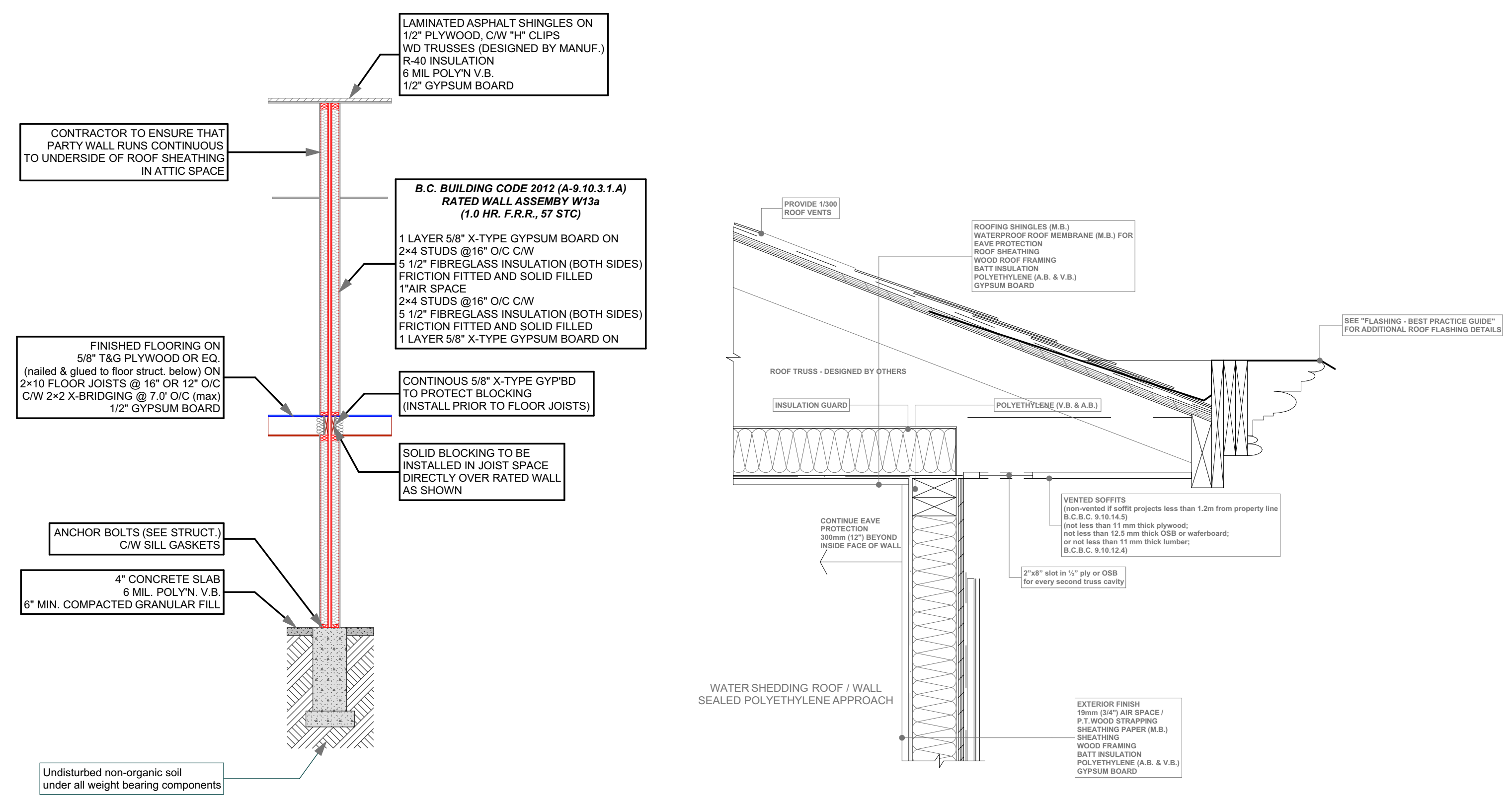
HEAT SOURCES: HEAT PUMPS WITH HWT ON DEMAND FOR ALL UNITS

- CONSTRUCTION NOTES:**
- 1 R40 insulation - 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
  - 2 Continuous gutters
  - 3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
  - 4 All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
  - 5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
  - 6 Provide drains to perimeter system
  - 7 4" drantille with 6" rock over
  - 8 Provide roof vents: vent 1/300 - See Soffit Detail
  - 9 Eave protection to 12" beyond heated wall
  - 10 8" concrete wall on 8"x16" conc. fgs. - 2#4 bar cont. typ. R12 rigid insulation - 2 coats dampproofing
  - 11 caulk over and around all exterior openings
  - 12 10" X 10" post saddle on 8" plaster 2'x2'6" conc. footing. NOT SHOWN
  - 13 42" Non climbable Continuous Handrail.
  - 14 Undisturbed non-organic soil

- CONSTRUCTION ASSEMBLIES:**
- E1 4" concrete floor on compacted granular fill, 6 mil poly VB
  - E2 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
  - R1 Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designer by supplier @ 24" O.C. typ.
  - W1 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
  - W2 Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 mm building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
  - W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
    - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
    - 89 mm thick absorptive material on each side
    - 1 layer of 15.9 mm Type X gypsum board on each side
  - W11 DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
    - one subfloor layer of 11mm sanded plywood, or OSB or waterboard
    - one subfloor layer of 15.9mm plywood, OSB or waterboard, or 17mm tongue and groove lumber
    - on wood joists or wood joists spaced not more than 600 mm o.c.
    - with absorptive material in cavity
    - resilient metal channels spaced 400 mm o.c.
    - 15.9 mm Type X gypsum board

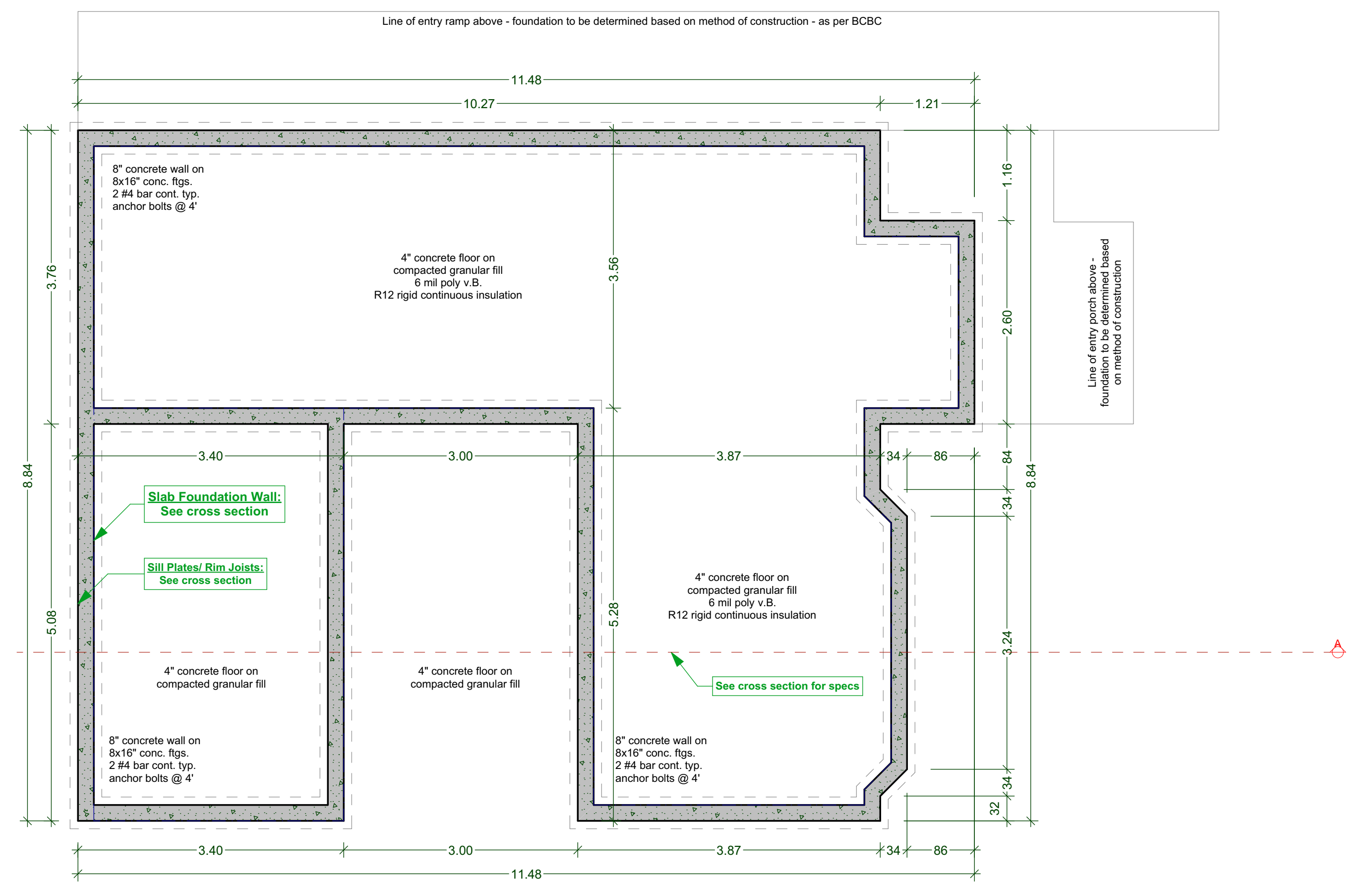
**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\* MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION - ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1**



**W13a - PARTY WALL DETAIL**  
SCALE: 1/4" = 1' - 0"

**SOFFIT DETAIL**  
SCALE: 1" = 1' - 0"



**A FOUNDATION PLAN (ON SLAB)**

CUSTOMER: **AMIT AND KARISHMA SETHI**  
ADDRESS: **LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA**

DRAWING NAME: **CROSS SECTION - BLOCK A FOUNDATION PLAN AND SOFFIT DETAIL**  
DRAWING SCALE: **SEE DRAWINGS**

ISSUE DATE: **DEC.13, 2023**  
DRAWN BY: **NS**  
CHECKED BY: **KL**

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SHEET NUMBER

**A3**



PROP. HIGHEST MIDPOINT:  
131'-5" (20.08m Geo.)

UPPER FLOOR CEILING:  
129'-3" (19.42m Geo.)

UPPER FLOOR:  
129'-2" (16.65m Geo.)

MAIN FLOOR CEILING:  
119'-2" (16.35m Geo.)

MAIN FLOOR:  
110'-1" (13.58m Geo.)

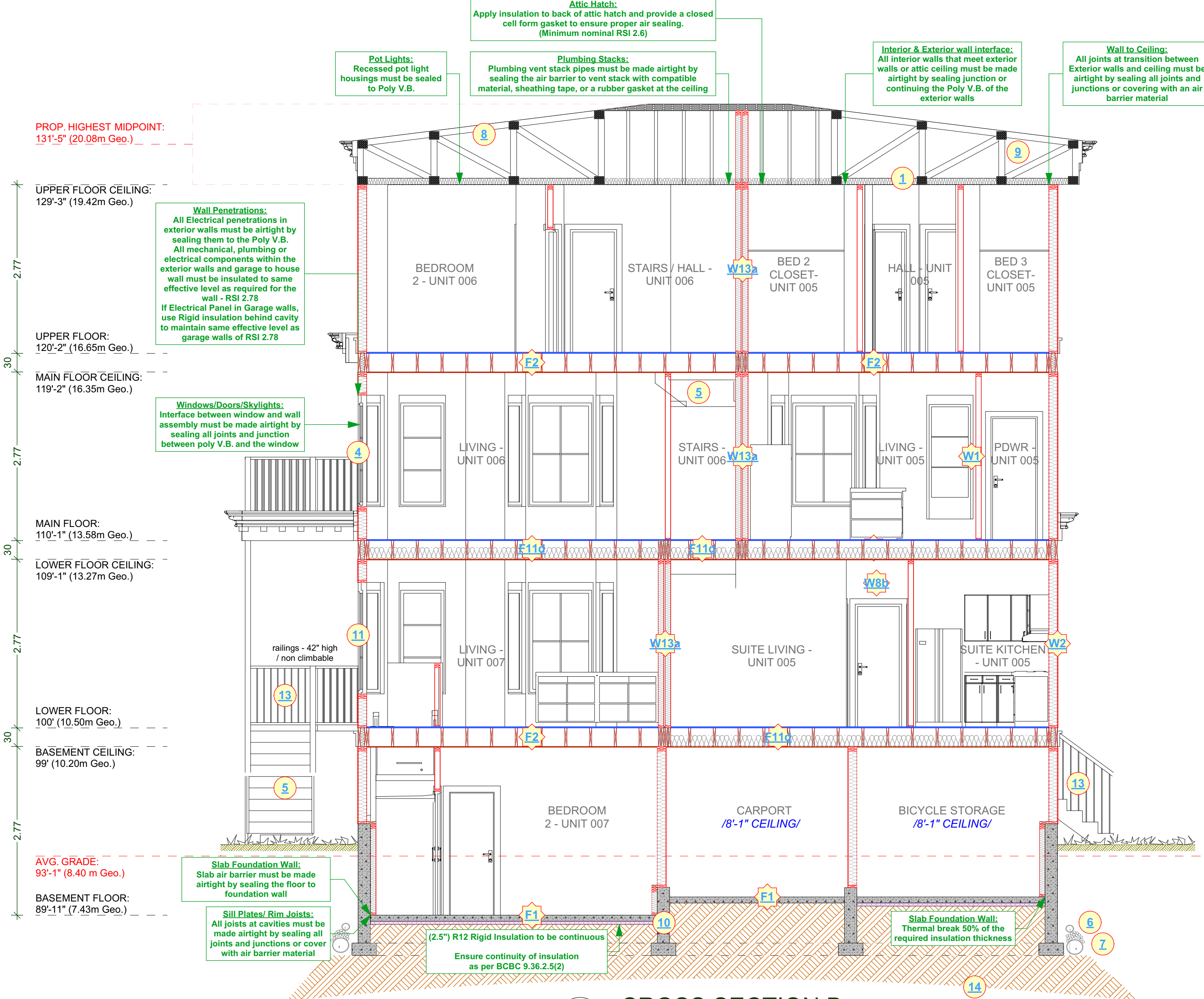
LOWER FLOOR CEILING:  
109'-1" (13.27m Geo.)

LOWER FLOOR:  
100' (10.50m Geo.)

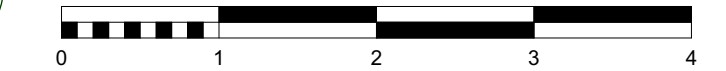
BASEMENT CEILING:  
99' (10.20m Geo.)

AVG. GRADE:  
93'-1" (8.40 m Geo.)

BASEMENT FLOOR:  
89'-11" (7.43m Geo.)



**CROSS SECTION B**



HEAT SOURCES: HEAT PUMPS WITH HWT ON DEMAND FOR ALL UNITS

**CONSTRUCTION NOTES:**

- 1 R40 Insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
- 2 Continuous gutters
- 3 Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
- 4 All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
- 5 Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
- 6 Provide drains to perimeter system
- 7 4" drantille with 6" rock over
- 8 Provide roof vents: vent 1/300 - See Soffit Detail
- 9 Eave protection to 12" beyond heated wall
- 10 8" concrete wall on 8"x16" conc. figs - 2#4 bar cont.-R12 rigid insulation - 2 coats dampproofing
- 11 caulk over and around all exterior openings
- 12 10" X 10" post saddle on 8" plaster 2'6x2' conc. footing. NOT SHOWN
- 13 42" Non climbable Continuous Handrail.
- 14 Undisturbed non-organic soil

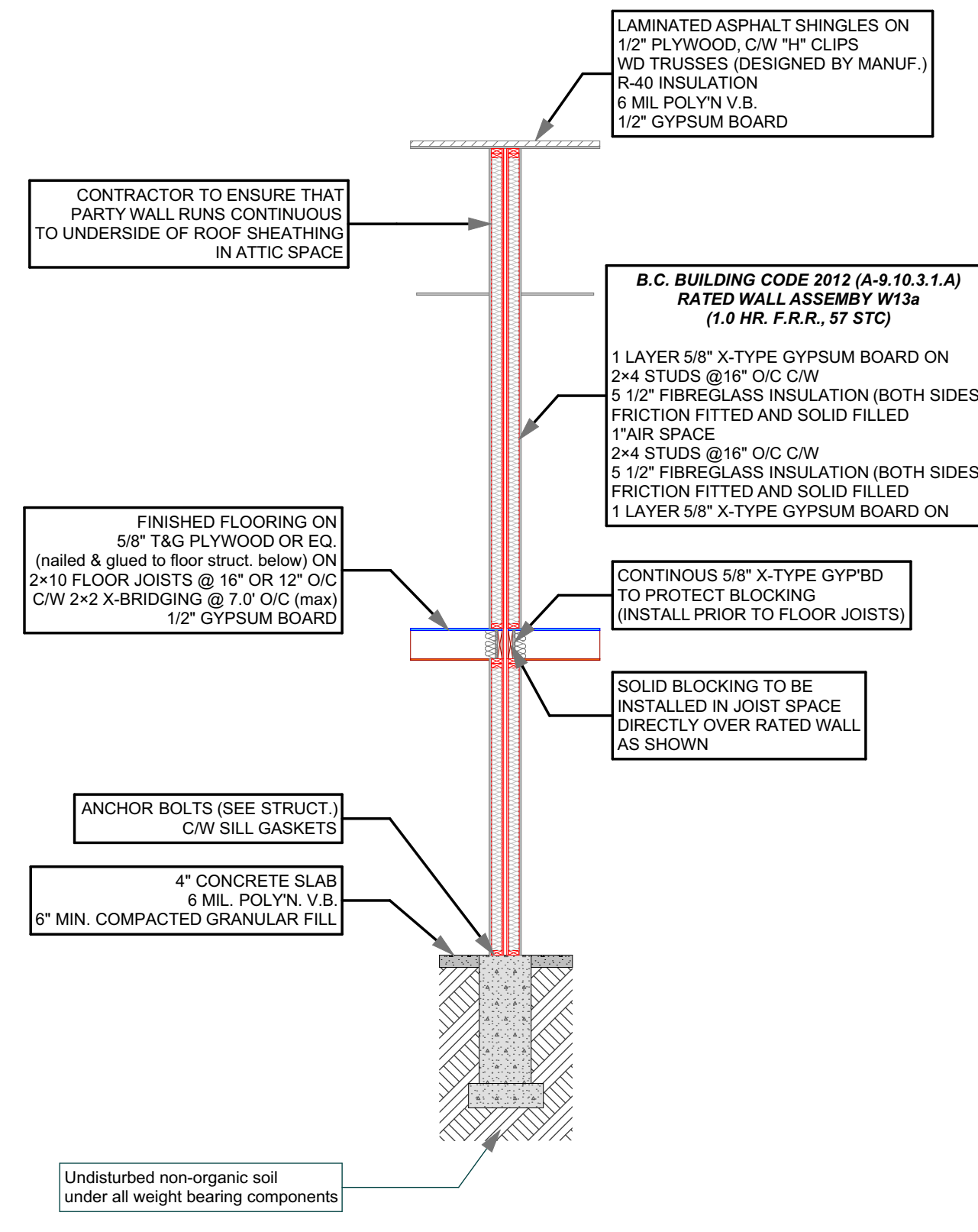
**CONSTRUCTION ASSEMBLIES:**

- F1 4" concrete floor on compacted granular fill, 6 mil poly V.B.
- E2 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" T&G plywood X bridging @ 6" O.C. typ.
- R1 Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designer by supplier @ 24" O.C. typ.
- W1 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout
- W2 Exterior Finish, 3/4" air space, Pressure treated strapping, 2 layers 30 min building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly V.B., 1/2" Drywall. (See elevations)
- W8b DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)
  - 2 layers of 12.7mm Type X gypsum board to one side
  - Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
  - 89mm thick absorptive material on one side
  - 12.7mm Type X gypsum board on other side
- W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
  - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
  - 89 mm thick absorptive material on each side
  - 1 layer of 15.9 mm Type X gypsum board on each side
- F11a DEMISING FLOOR: (1h as per F11a - Table A-9.10.3.1.B)
  - one subfloor layer of 11mm sanded plywood, or OSB or waferboard
  - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm TONGUE AND GROOVE LUMBER
  - on wood joists or wood joists spaced not more than 600 mm o.c.
  - with absorptive material in cavity
  - resilient metal channels spaced 400 mm o.c.
  - 15.9 mm Type X gypsum board
- F8d DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)
  - SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
  - WOOD JOISTS OR WOOD JOISTS SPACED max of 600mm O.C.
  - ABSORPTIVE MATERIAL IN CAVITY
  - RESILIENT METAL CHANNELS SPACED 600mm
  - 15.9mm TYPE "X" GYPSUM BOARD

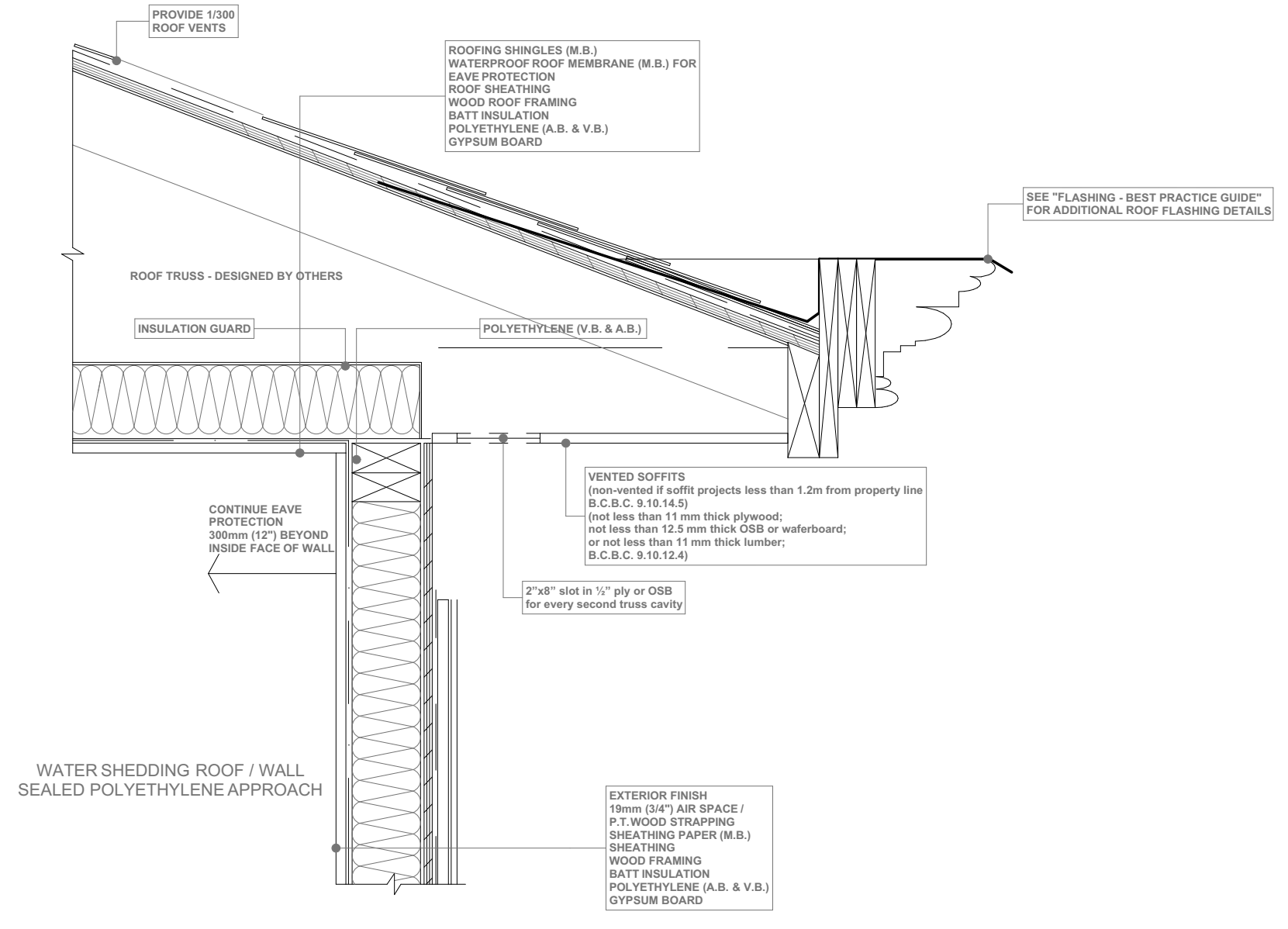
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS... IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19. SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min, AS PER 9.37.2.15.(b)

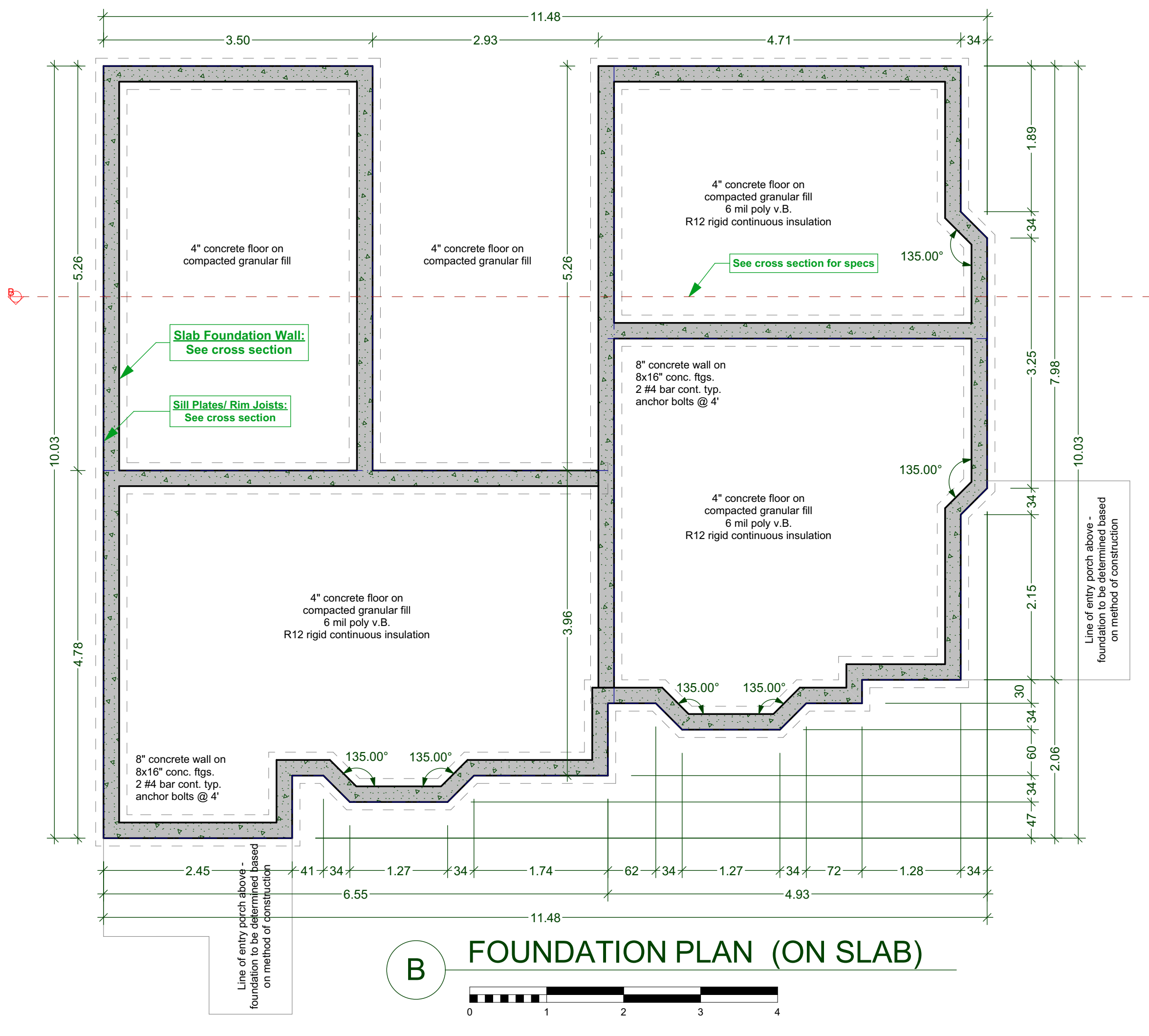
\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6. ALL OTHERS MUST HAVE U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.1.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1



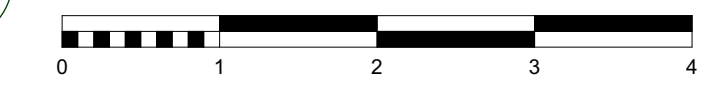
**W13a - PARTY WALL DETAIL**  
SCALE: 1/4" = 1' - 0"



**SOFFIT DETAIL**  
SCALE: 1" = 1' - 0"



**B FOUNDATION PLAN (ON SLAB)**



CUSTOMER:  
**AMIT AND KARISHMA SETHI**

ADDRESS:  
**LOT 1, 1734 HOLLYWOOD CRESCENT,  
VICTORIA**

DRAWING NAME:  
**CROSS SECTION - BLOCKA  
FOUNDATION PLAN AND SOFFIT  
DETAIL**

DRAWING SCALE:  
**SEE DRAWINGS**

ISSUE DATE:  
DEC.13.2023

DRAWN BY:  
NS

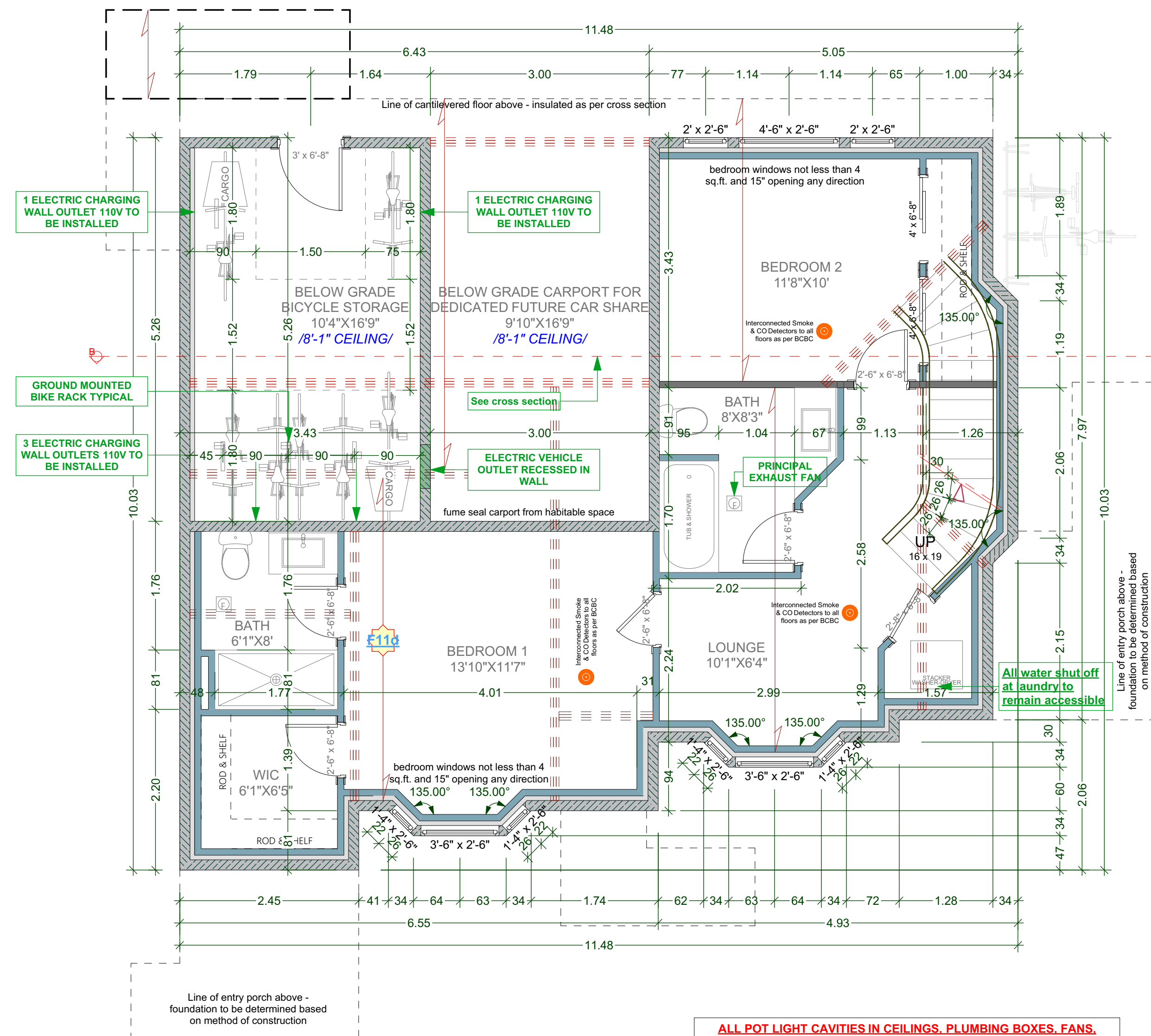
CHECKED BY:  
KL

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SHEET NUMBER

A4



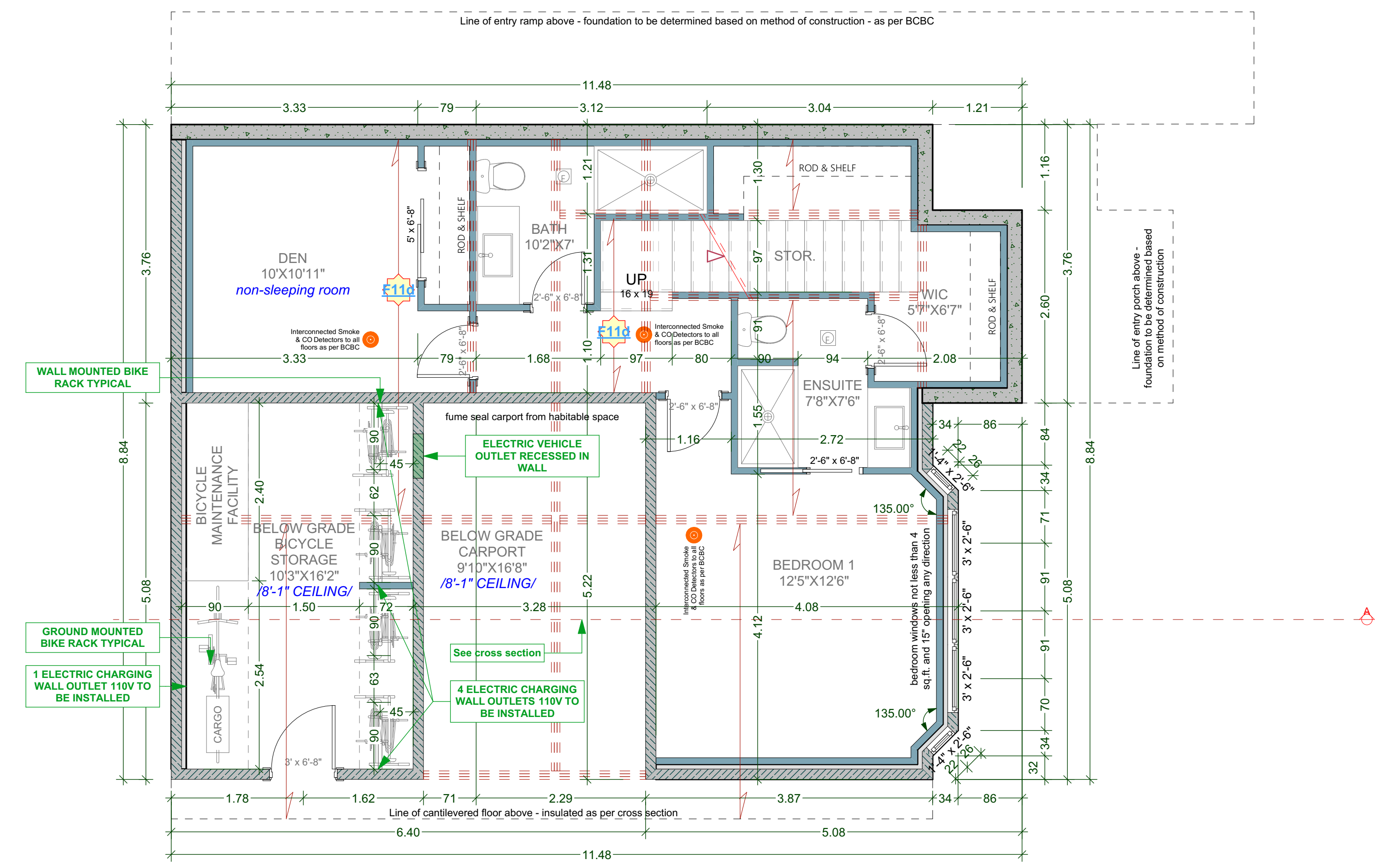


**B** BASEMENT FLOOR PLAN  
 UNIT 007 AREA: 652.92 Sq Ft  
 BICYCLE AREA: 173.64 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**W13a** DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)  
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart  
 • 89 mm thick absorptive material on each side  
 • 1 layer of 15.9 mm Type X gypsum board on each side

**F11d** DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)  
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard  
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber  
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.  
 • with absorptive material in cavity  
 • resilient metal channels spaced 400 mm o.c.  
 • 15.9 mm Type X gypsum board



**A** BASEMENT FLOOR PLAN  
 UNIT 004 AREA: 594.64 Sq Ft  
 BICYCLE AREA: 166.14 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**W13a** DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)  
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart  
 • 89 mm thick absorptive material on each side  
 • 1 layer of 15.9 mm Type X gypsum board on each side

**F11d** DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)  
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard  
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber  
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.  
 • with absorptive material in cavity  
 • resilient metal channels spaced 400 mm o.c.  
 • 15.9 mm Type X gypsum board

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
 ADDRESS:  
**LOT 1 - 1734 HOLLYWOOD CRESCENT,  
 VICTORIA**

DRAWING NAME:  
**PROPOSED  
 BASEMENT FLOOR PLANS**  
 DRAWING SCALE:  
**1/4"=1'-0"**

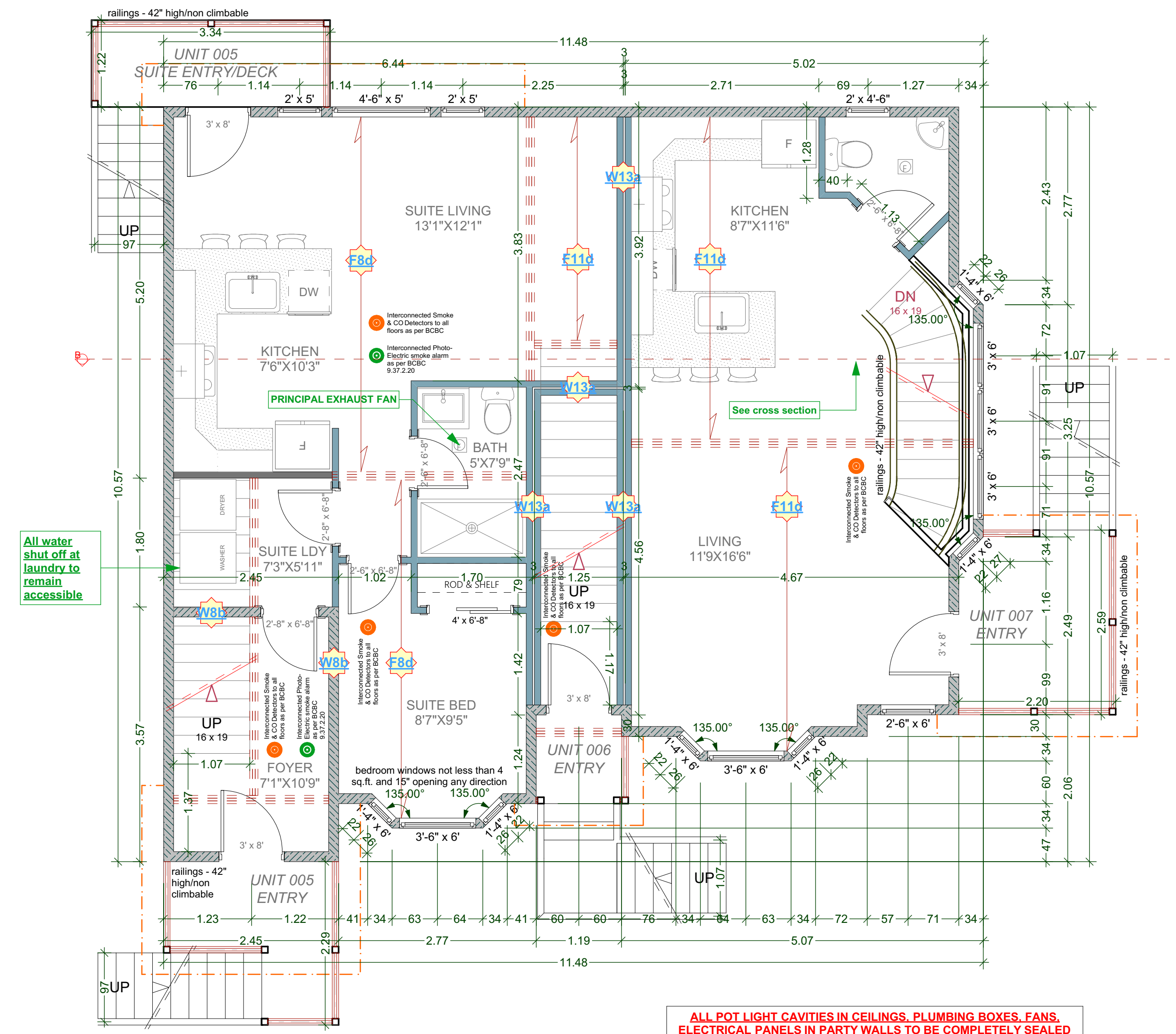
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**NS**  
 CHECKED BY:  
**KL**

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SHEET NUMBER

**A5**





**B LOWER FLOOR PLAN**

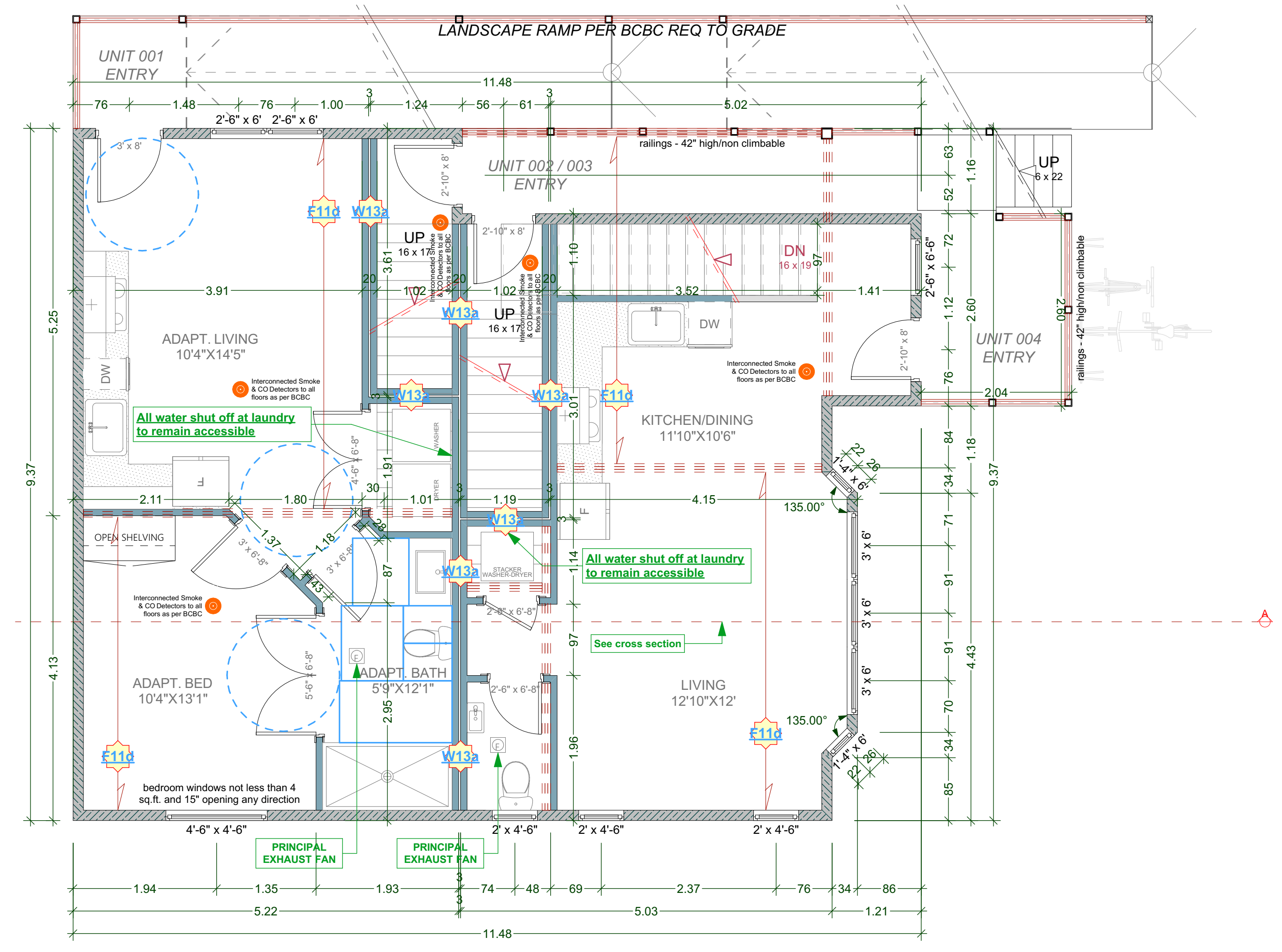
UNIT 005 SUITE AREA: 503.83 Sq Ft  
UNIT 005 AREA: 84.02 Sq Ft  
UNIT 006 AREA: 59.32 Sq Ft  
UNIT 007 AREA: 430.37 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
  - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
  - 89 mm thick absorptive material on each side
  - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
  - one subfloor layer of 11mm sanded plywood, or OSB or waferboard
  - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
  - on wood joists or wood I-joists spaced not more than 600 mm o.c.
  - with absorptive material in cavity
  - resilient metal channels spaced 400 mm o.c.
  - 15.9 mm Type X gypsum board

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS.....IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

- DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)**
  - SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
  - WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
  - ABSORPTIVE MATERIAL IN CAVITY
  - RESILIENT METAL CHANNELS SPACED 600mm
  - 15.9mm TYPE 'X' GYPSUM BOARD
- DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)**
  - 2 layers of 12.7mm Type X gypsum board to one side
  - Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
  - 89mm thick absorptive material on one side
  - 12.7mm Type X gypsum board on other side



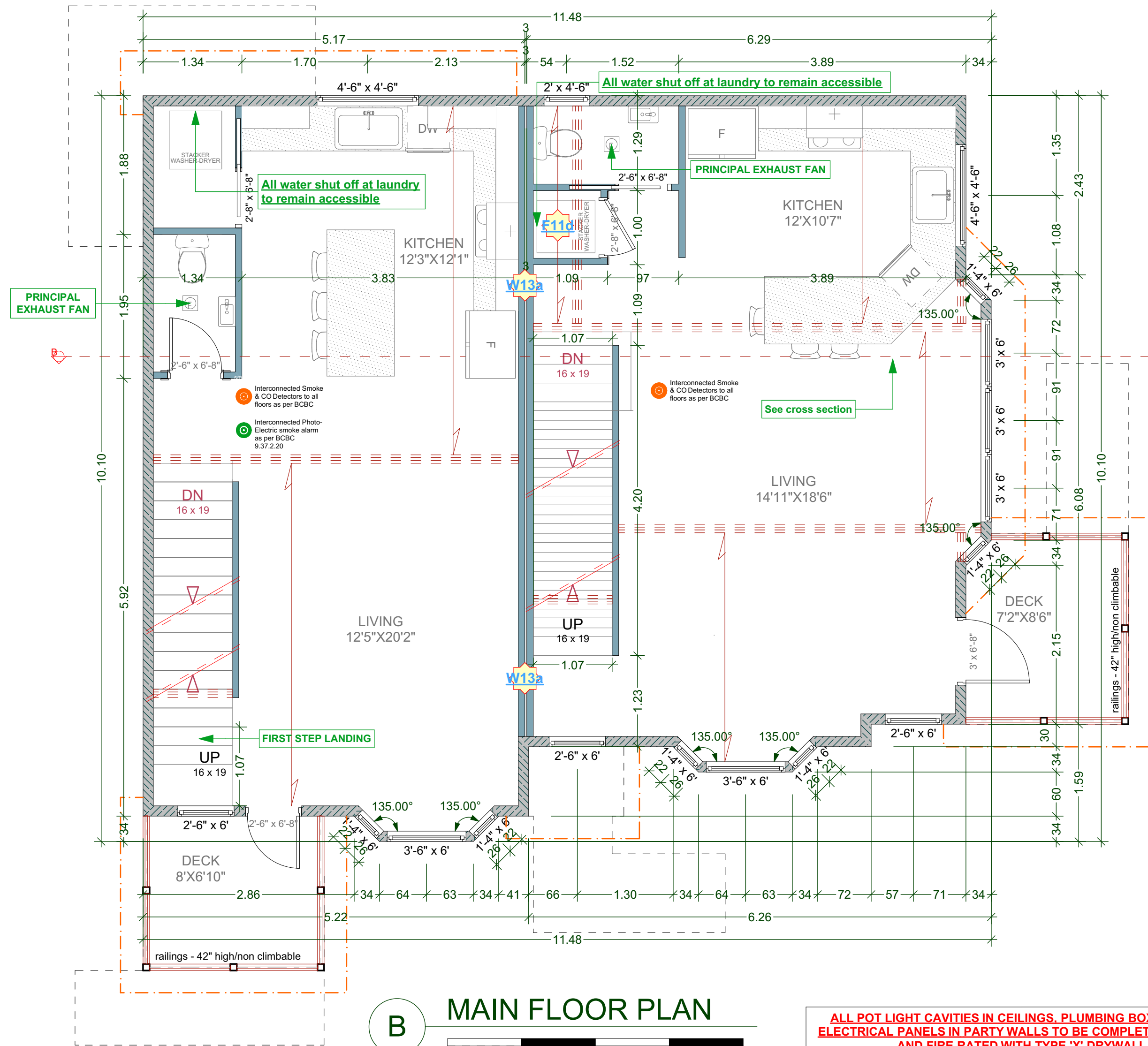
**A LOWER FLOOR PLAN**

UNIT 001 AREA: 451.24 Sq Ft  
UNIT 002 AREA: 43.52 Sq Ft  
UNIT 003 AREA: 51.14 Sq Ft  
UNIT 004 AREA: 408.22 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
  - two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
  - 89 mm thick absorptive material on each side
  - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
  - one subfloor layer of 11mm sanded plywood, or OSB or waferboard
  - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
  - on wood joists or wood I-joists spaced not more than 600 mm o.c.
  - with absorptive material in cavity
  - resilient metal channels spaced 400 mm o.c.
  - 15.9 mm Type X gypsum board





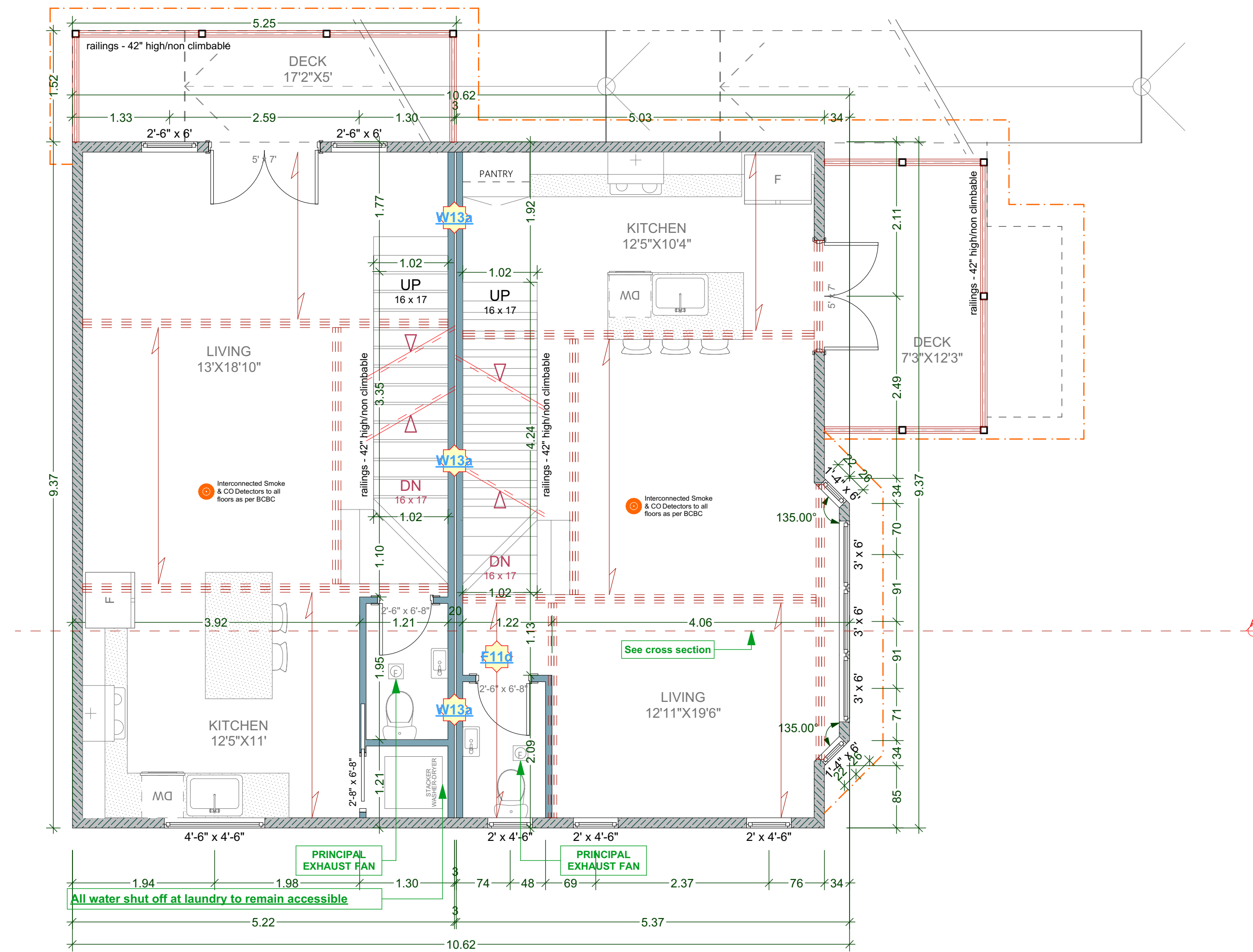
**B MAIN FLOOR PLAN**

UNIT 005 AREA: 517.42 Sq Ft  
UNIT 006 AREA: 547.39 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**  
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart  
 • 89 mm thick absorptive material on each side  
 • 1 layer of 15.9 mm Type X gypsum board on each side

**F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**  
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard  
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber  
 • on wood joists or wood joists spaced not more than 600 mm o.c.  
 • with absorptive material in cavity  
 • resilient metal channels spaced 400 mm o.c.  
 • 15.9 mm Type X gypsum board



**A MAIN FLOOR PLAN**

UNIT 002 AREA: 497.16 Sq Ft  
UNIT 003 AREA: 491.44 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**W13a DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**  
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart  
 • 89 mm thick absorptive material on each side  
 • 1 layer of 15.9 mm Type X gypsum board on each side

**F11d DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**  
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard  
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber  
 • on wood joists or wood joists spaced not more than 600 mm o.c.  
 • with absorptive material in cavity  
 • resilient metal channels spaced 400 mm o.c.  
 • 15.9 mm Type X gypsum board

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
ADDRESS:  
**LOT 1, 1734 HOLLYWOOD CRESCENT,  
VICTORIA**

DRAWING NAME:  
**PROPOSED  
MAIN FLOOR PLANS**  
DRAWING SCALE:  
**1/4"=1'-0"**

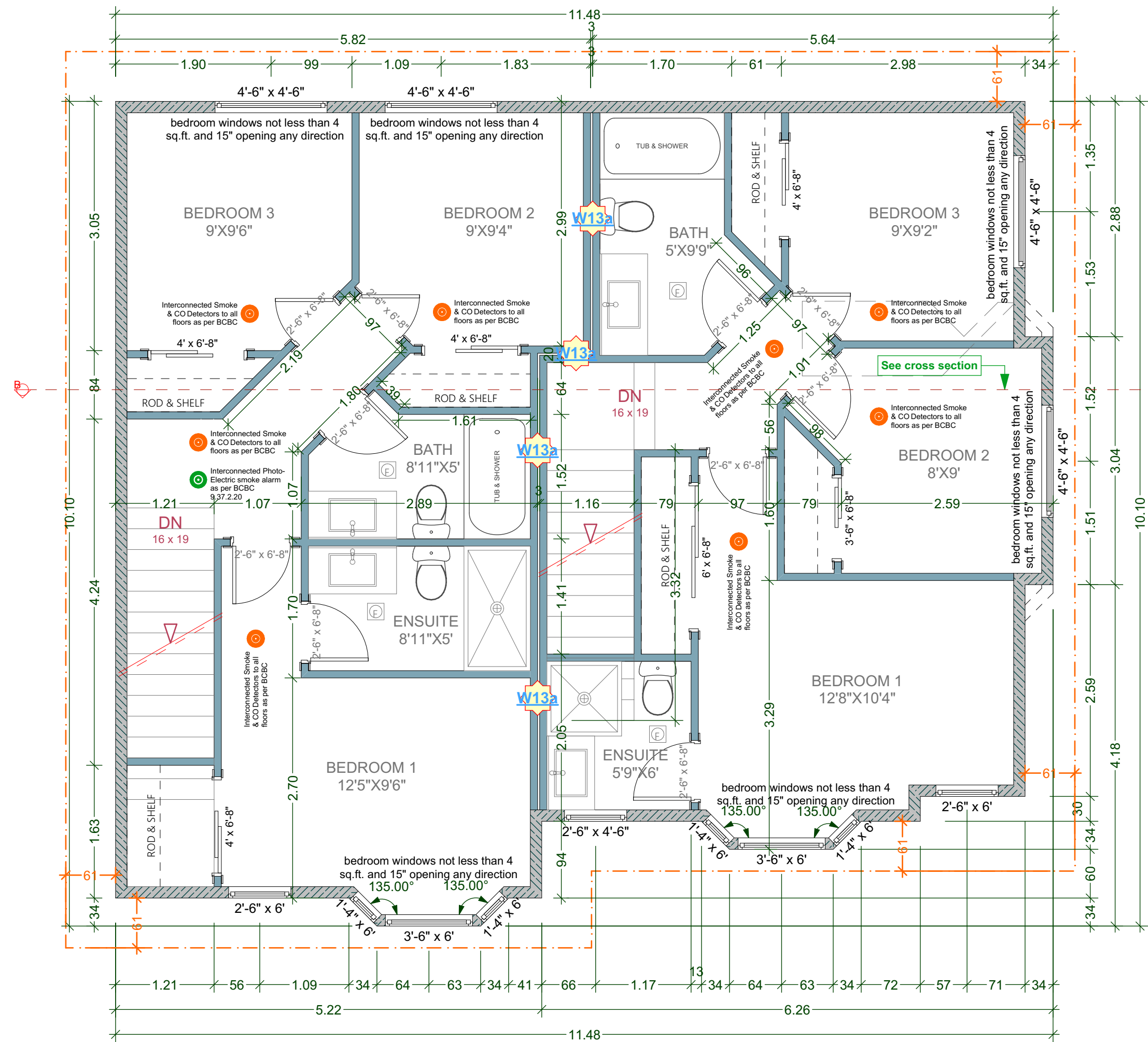
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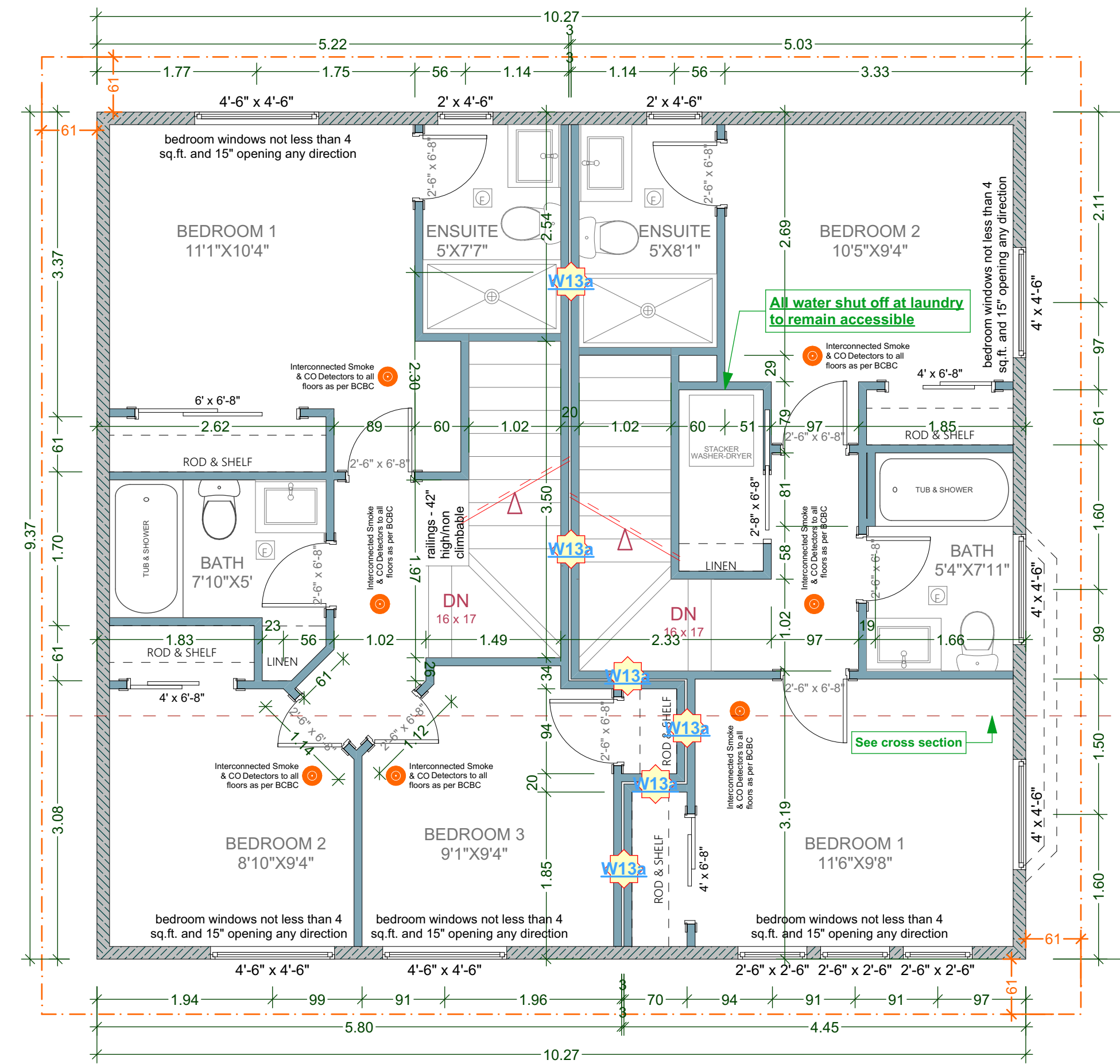
**B** UPPER FLOOR PLAN

UNIT 005 AREA: 537.99 Sq Ft  
UNIT 006 AREA: 523.99 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**W13a** **DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)  
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart  
 • 89 mm thick absorptive material on each side  
 • 1 layer of 15.9 mm Type X gypsum board on each side

**F11d** **DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)  
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard  
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber  
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.  
 • with absorptive material in cavity  
 • resilient metal channels spaced 400 mm o.c.  
 • 15.9 mm Type X gypsum board



**A** UPPER FLOOR PLAN

UNIT 002 AREA: 524.06 Sq Ft  
UNIT 003 AREA: 451.28 Sq Ft

**ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**

**W13a** **DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)  
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart  
 • 89 mm thick absorptive material on each side  
 • 1 layer of 15.9 mm Type X gypsum board on each side

**F11d** **DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)  
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard  
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber  
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.  
 • with absorptive material in cavity  
 • resilient metal channels spaced 400 mm o.c.  
 • 15.9 mm Type X gypsum board

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
ADDRESS:  
**LOT 1 - 1734 HOLLYWOOD CRESCENT,  
VICTORIA**

DRAWING NAME:  
**PROPOSED  
UPPER FLOOR PLANS**  
DRAWING SCALE:  
**1/4"=1'-0"**

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**B** PROPOSED SOUTH ELEVATION  
HOLLYWOOD CRES.



**A** PROPOSED SOUTH ELEVATION

EXPOSING BUILDING FACE: 121.36 m<sup>2</sup> 1,306.336 sq ft  
 LIMITING DISTANCE: 3.00 m  
 AREA OF GLAZED OPENINGS: 9.49 m<sup>2</sup>  
 % GLAZED OPENINGS: 7.82 %  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF CLADDING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 9.71 m<sup>2</sup>

EXTERIOR FINISHES SCHEDULE				
<b>A</b>	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	<b>E</b> WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
<b>B</b>	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	<b>G</b> BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
<b>C</b>	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	<b>H</b> RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>I</b> POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
<b>E</b>	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	<b>J</b> BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.  
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI  
 ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED SOUTH ELEVATIONS  
 DRAWING SCALE: 1/4"=1'-0"

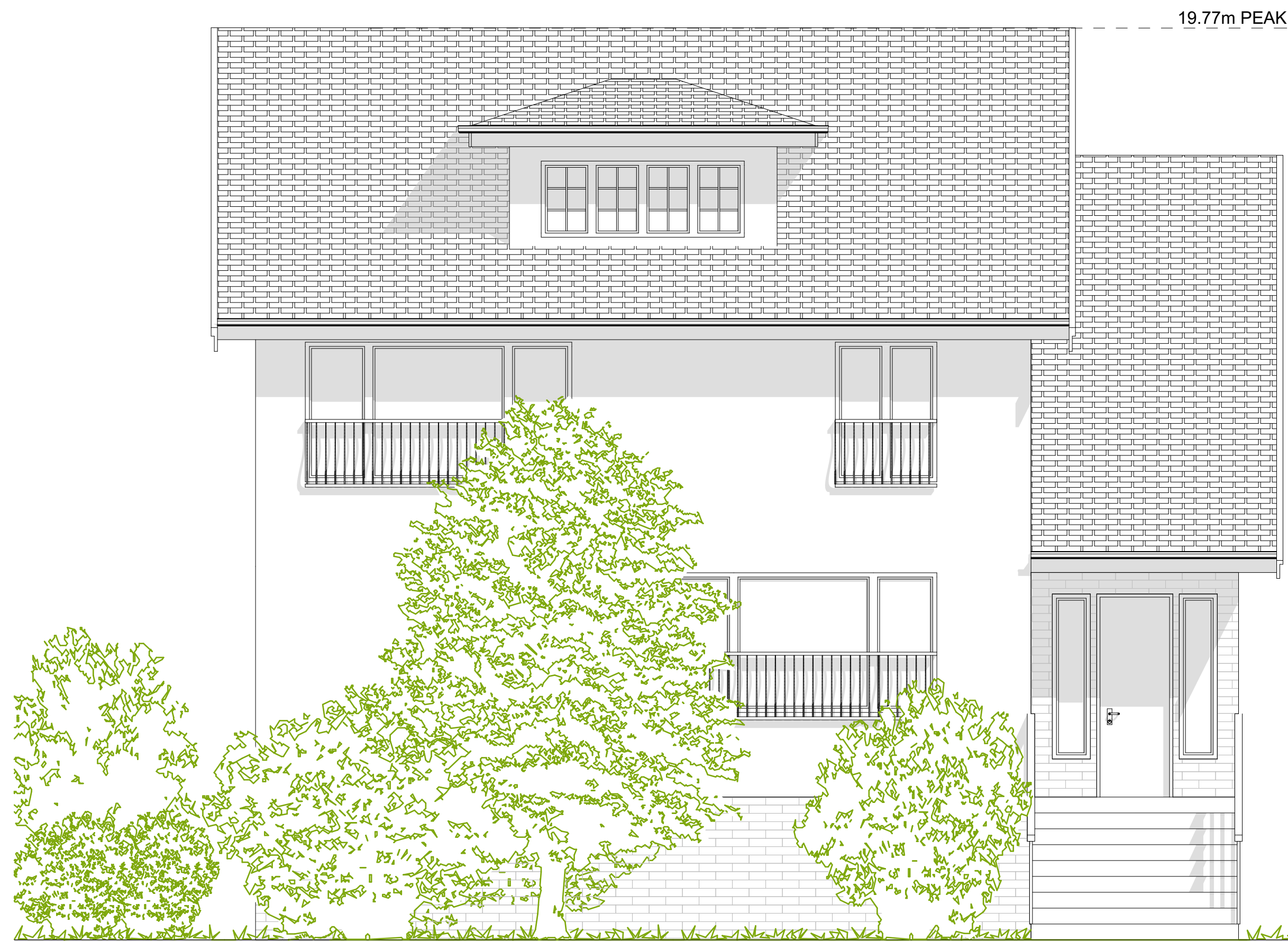
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SHEET NUMBER

A9





1726 HOLLYWOOD CRES  
SCALE: 1/4" = 1' - 0"



**B** PROPOSED SOUTH ELEVATION  
HOLLYWOOD CRES.

EXTERIOR FINISHES SCHEDULE			
<b>A</b>	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANIF SPECS	<b>E</b> WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
<b>B</b>	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	<b>G</b> BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED CW FLASHING. COLOUR AS PER OWNERS SPECS
<b>C</b>	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	<b>H</b> RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>I</b> POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
<b>E</b>	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/ ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	<b>J</b> BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.  
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
ADDRESS:  
**LOT 1, 1734 HOLLYWOOD CRESCENT,  
VICTORIA**

DRAWING NAME:  
**PROPOSED HOLLYWOOD  
CRES STREETSCAPE**  
DRAWING SCALE:  
**1/4"=1'-0"**

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**A10**





**B** PROPOSED EAST ELEVATION



**A** PROPOSED EAST ELEVATION  
ROBERTSON STREET

EXTERIOR FINISHES SCHEDULE				
<b>A</b>	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	<b>E</b> WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
<b>B</b>	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD, ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	<b>G</b> BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
<b>C</b>	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	<b>H</b> RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>I</b> POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
<b>E</b>	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	<b>J</b> BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.  
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
 ADDRESS:  
**LOT 1, 1734 HOLLYWOOD CRESCENT,  
 VICTORIA**

DRAWING NAME:  
**PROPOSED REAR AND  
 RIGHT ELEVATIONS**  
 DRAWING SCALE:  
**1/4"=1'-0"**

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SHEET NUMBER

**A11**





EXTERIOR FINISHES SCHEDULE			
<b>A</b>	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	<b>E</b> WALL FINISH:
<b>B</b>	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS.	<b>G</b> BELLY BAND:
<b>C</b>	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	<b>H</b> RAILINGS:
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>I</b> POSTS:
<b>E</b>	DENTAL BLOCKS:	3x4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	<b>J</b> BRICK FASCIA:
			SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
			2x10 BELLY BAND W/ 2X2 DETAILS PAINTED CW FLASHING. COLOUR AS PER OWNERS SPECS
			ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
			PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
			ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.  
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:  
**AMIT AND KARISHMA SETHI**  
 ADDRESS:  
**LOT 1, 1734 HOLLYWOOD CRESCENT,  
 VICTORIA**

DRAWING NAME:  
**PROPOSED ROBERTSON  
 STREET STREETSCAPE**

ISSUE DATE:  
 DEC 13, 2023

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 NS

CHECKED BY:  
 KL

DRAWING SCALE:  
 1/4"=1'-0"

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SHEET  
 NUMBER

**A12**





**A** PROPOSED NORTH ELEVATION

EXPOSING BUILDING FACE: 101.43 m<sup>2</sup> 1,091.797 sq ft  
 LIMITING DISTANCE: 6.00 m  
 AREA OF GLAZED OPENINGS: 11.11 m<sup>2</sup>  
 % GLAZED OPENINGS: 10.95 %  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF CLADDING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 35.49 %  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 36.00 m<sup>2</sup>

EXPOSING BUILDING FACE: 132.21 m<sup>2</sup> 1,423.065 sq ft  
 LIMITING DISTANCE: 2.85 m  
 AREA OF GLAZED OPENINGS: 10.09 m<sup>2</sup>  
 % GLAZED OPENINGS: 7.63 %  
 45 min FIRE-RESISTANCE RATING: not required  
 TYPE OF CLADDING: no limits  
 PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %  
 PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.58 m<sup>2</sup>

**B** PROPOSED NORTH ELEVATION

EXTERIOR FINISHES SCHEDULE				
<b>A</b>	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	<b>E</b> WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
<b>B</b>	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	<b>G</b> BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
<b>C</b>	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	<b>H</b> RAILINGS:	ALUMINIUM RAILINGS - 42" HIGH / NON CLIMBABLE
<b>D</b>	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED / STAINED	<b>I</b> POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
<b>E</b>	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS WITH ROOF MOULDING AND TRIM - PAINTED / STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	<b>J</b> BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

\*\*ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS\*\*  
 MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.  
 -ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.  
 -GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI  
 ADDRESS: LOT 1 - 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED WEST ELEVATIONS - BLOCK A AND B  
 DRAWING SCALE: 1/4"=1'-0"

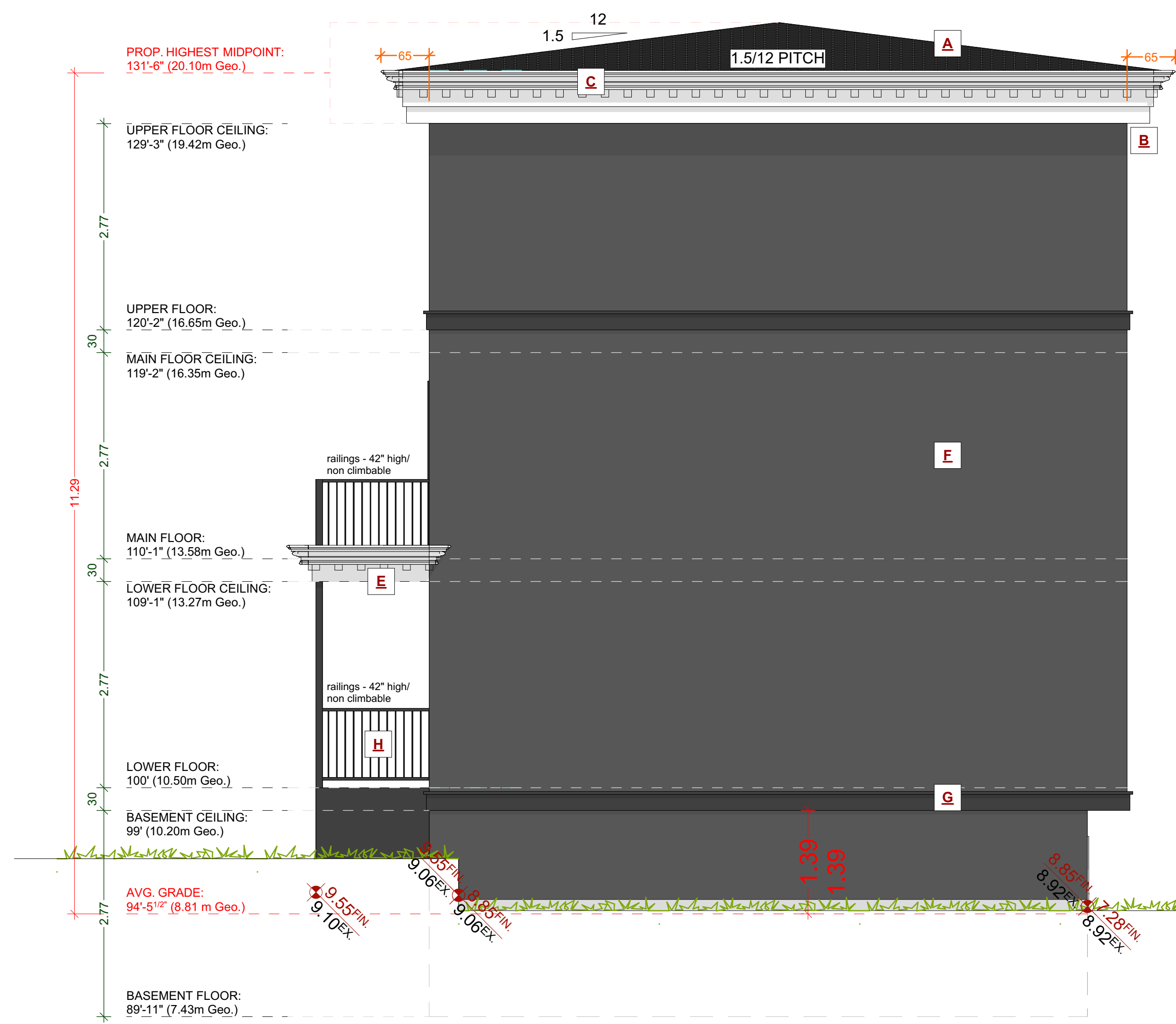
ISSUE DATE: DEC 13, 2023  
 DRAWN BY: NS  
 CHECKED BY: KL

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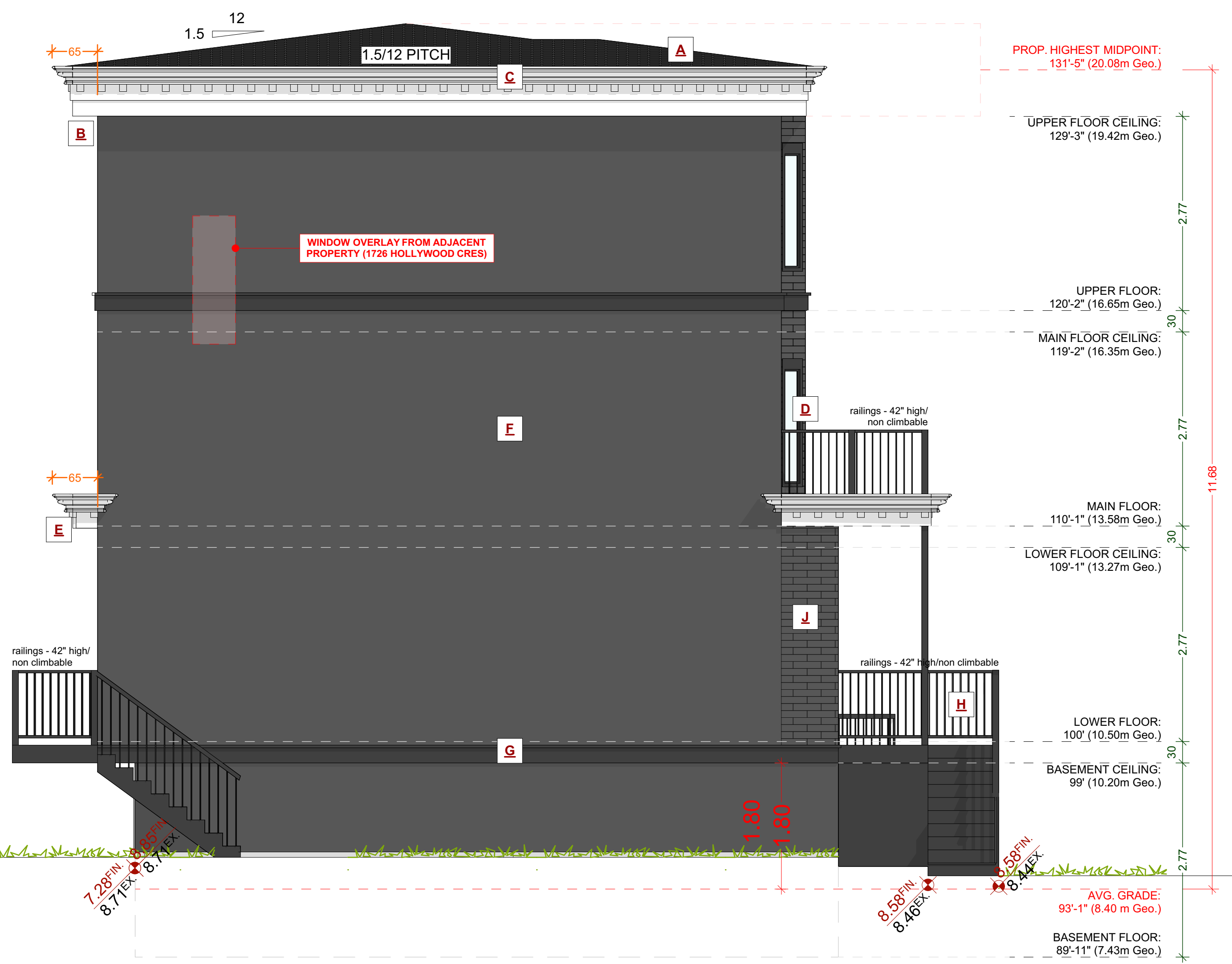
SHEET NUMBER

A13





**A** PROPOSED WEST ELEVATION



**B** PROPOSED WEST ELEVATION

**EXTERIOR FINISHES SCHEDULE**

<b>A</b> ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	<b>E</b> WALL FINISH:	SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
<b>B</b> GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	<b>G</b> BELLY BAND:	2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
<b>C</b> CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	<b>H</b> RAILINGS:	ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
<b>D</b> WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	<b>I</b> POSTS:	PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
<b>E</b> DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS WIN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	<b>J</b> BRICK FASCIA:	ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

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CUSTOMER: AMIT AND KARISHMA SETHI  
 ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED WEST ELEVATIONS - BLOCK A AND B  
 DRAWING SCALE: 1/4"=1'-0"

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