

FLOOR-TO-FLOOR HEIGHT REDUCED
BY 200mm AT LEVELS 4 + 13.



Contacts + Drawing List

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Architectural

A0.0 Cover
A0.1 Context Views
A0.2 Context Views
A0.3 Context Views
A0.4 Height & Massing Analysis
A0.5 Context Elevations
A0.6 Skyline Analysis
A0.7 Sun and Shade Study
A0.8 Existing Site Survey
A1.0 Site Plan
A1.1 Average Grade Calculations
A1.2 Level 1 Phasing Plan
A1.3 P1 Phasing Plan
A1.4 P2 Phasing Plan
A2.0 P1 Parking Plan
A2.1 Level 1 Plan
A2.2 Level 2 Plan
A2.3 Level 3 Plan
A2.4 Level 4 Plan
A2.5 Level 5-13 Plan
A2.6 Penthouse + Roof Plan
A3.0 North Elevation
A3.1 East Elevation
A3.2 South Elevation
A3.3 West Elevation
A4.0 Building Sections
A4.1 Building Sections
A4.2 Building Section / Elevations

Landscape

L0.00 Cover
L0.01 General Information Sheet
L0.02 Tree Survey Plan
L0.03 Tree Management Plan
L1.01 Landscape Materials - Ground
L1.02 Landscape Materials - Roof
L1.03 Stormwater Management & Grading
L1.04 Landscape Precedents
L1.05 Landscape Materials - Sections
L1.06 Landscape Materials - Sections
L1.07 Soil Volumes
L3.01 Planting Plan
L3.02 Planting Plan
L4.01 Landscape Details

Civil

C1.0 Conceptual Site Demolition
C2.0 Conceptual Site Servicing Plan
C3.0 Conceptual Site Surface Works

Electrical

E100 Off-site Lighting Design & Details
E101 Off-site Lighting Design & Details

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#21-18
Montreal and Quebec
205 Quebec Street
Victoria, BC

Rezoning/DP Resubmission

Revision Set 24.12.20

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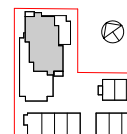


1 Rendered Context View
NTS



2 Rendered Context View
NTS

**FLOOR-TO-FLOOR HEIGHT
REDUCED BY 200mm AT
LEVELS 4 - 13.**



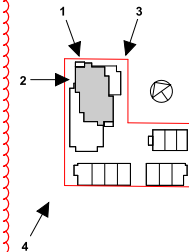
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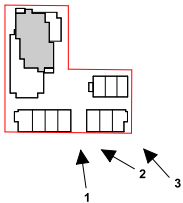
FLOOR-TO-FLOOR HEIGHT REDUCED BY 200mm AT LEVELS 4 - 13.



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6	ReasoningQSP Reasonnesses	23	17	22		
9	ReasoningQSP Reasonnesses	23	17	22		
4	ReasoningQSP Reasonnesses	23	17	22		
4	Reasoned for ADP	22	18	20		
2	Reasoned for Reasoning / QSP	21	18	19		
1	Reasoned for QSP Tracker	21	17	19		
new id description		date	start	end	status	comment
project name						
Montreal and Quebec						
205 Quebec Street						
Victoria, BC						
sheet title						
Context Views						
project no.		#21-18				
scale		As indicated				
dwn by		CF				
date issued		sheet no.		A0.2		
12/20/24						



1 Rendered Context View
NTB



FLOOR-TO-FLOOR HEIGHT REDUCED
BY 200mm AT LEVELS 4 - 13.



2 Rendered Context View
NTB



3 Rendered Context View
NTB

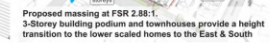
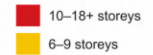


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Project no.	821-18
Scale	As indicated
Drawn by	CP
Date issued	12/20/24
Sheet no.	A0.3

Project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

Sheet title
Context Views



MASSING/HEIGHT RATIONALE

no	description	date
1	Recovering GDP Resilience	14.12.10
2	Recovering GDP Resilience	23.12.22
3	Recovering GDP Resilience	22.12.06
4	Recovering GDP Resilience	01.11.15
5	Recovering GDP Resilience	01.11.15

new id description date

project name

Montreal and Quebec

205 Quebec Street

Victoria, BC

sheet title

Height & Massing

Analysis

project no. #21.18

location DTZ

drawn by NTS

date issued 12/20/24

sheet no. **A0.4**



Section A - Quebec St. 1 : 300

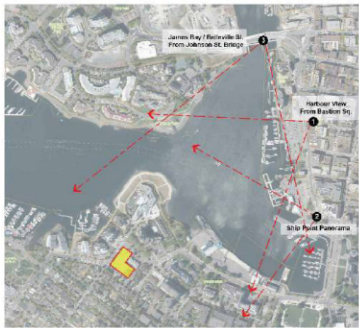


Section B - Kingston St. 1 : 300



Section C - Montreal St. 1 : 300





1. Harbour View from Bastion Square



2. Ship Point Panorama

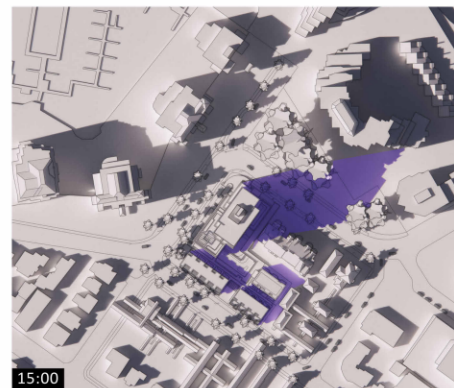
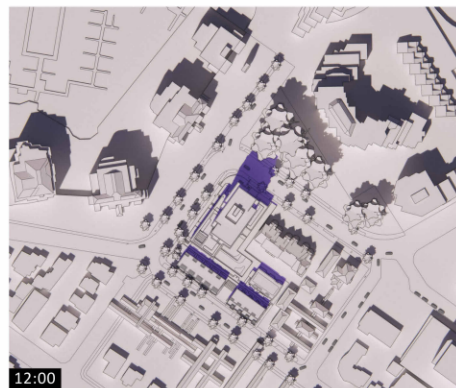
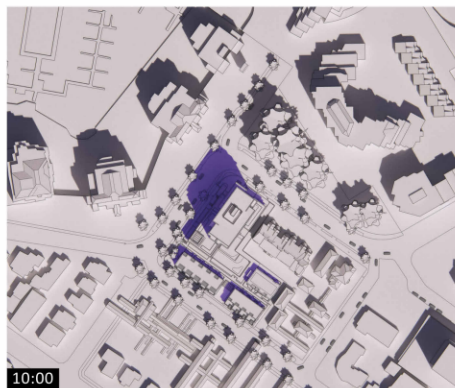


3. James Bay / Belleville Street from Johnson Street Bridge



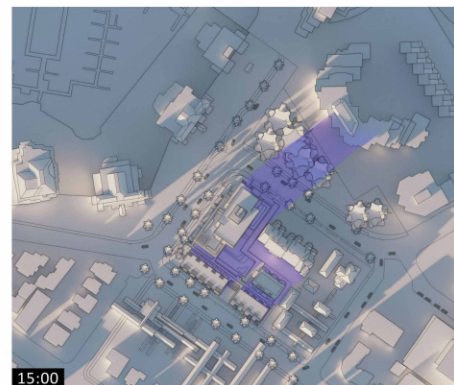
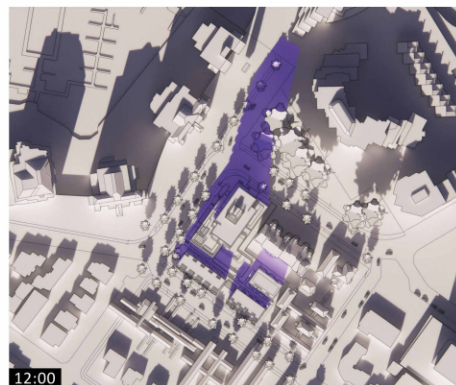
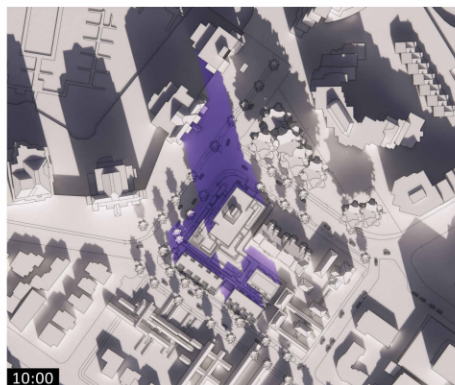
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Spring / Fall Equinox

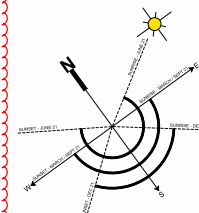
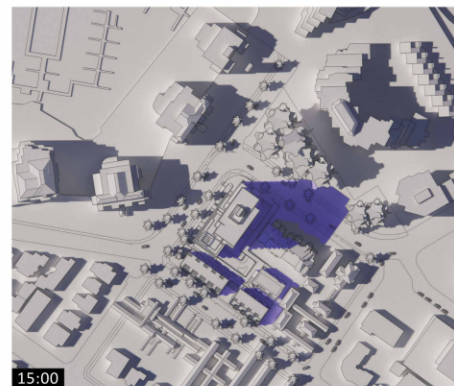
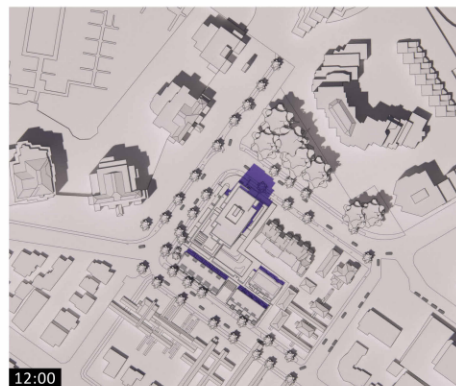
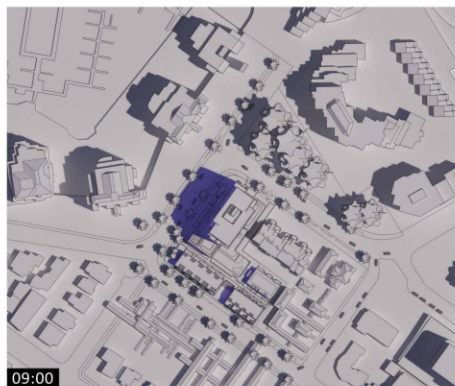


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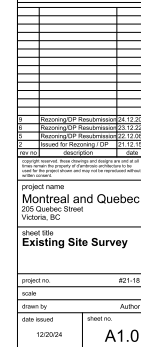
Winter Solstice



Summer Solstice



Project name	Montreal and Quebec
Address	205 Quebec Street Victoria, BC
Sheet title	Sun and Shade Study
Project no.	821-18
Scale	DZ, GK
Date issued	12/20/24
Sheet no.	A0.8



Project Information Table																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
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FLOOR-TO-FLOOR HEIGHT REDUCED BY 200mm AT LEVELS 4 - 13.

Grain Pretreat (in percent)	Genotype	Experiment	Average Grain Size (μm)	Density (mg cm^{-3})		
A	F 747	735	AO	735 ^a	8.41	681
B	F 735	735	AO	735 ^a	8.41	681
C	F 765	735	GO	735 ^a	10.66	1023
D	F 775	735	DH	735 ^a	10.66	1023
E	F 775	735	GO	735 ^a	10.66	1023
F	F 747	735	GO	735 ^a	12.34	1171
G	F 735	735	GO	735 ^a	12.34	1171
H	F 765	735	HJ	735 ^a	10.47	1012
I	F 775	735	HJ	735 ^a	10.47	1012
J	F 775	735	HA	717	14.85	1395
K	F 765	735	HA	717	14.85	1395
L	F 735	735	HA	717	14.85	1395
M	F 735	725	MAH	717	6.64	477
N	F 735	725	MAH	717	6.64	477
O	D 145	725	QP	715	2.72	855
P	D 145	725	QP	715	2.72	855
Q	D 145	725	QP	715	2.72	855
R	F 745	704	QA	704	19.71	1387
S	F 735	704	QA	704	19.71	1387
T	F 685	685	V	685	8.27	2577
T	F 685	685	V	685	8.27	2577
T	F 685	685	TU	678	5.48	642
U	F 685	685	VW	678	5.48	642
V	F 685	610	W	608	1.26	835
V	F 685	610	W	608	1.26	835
X	F 771	685	VW	703	8.52	1153
Y	F 705	735	AO	735	1.30	822
Z	F 705	735	AO	735	1.30	822
Ab	F 712	725	V2	711	8.58	845
Ac	F 712	725	V2	711	8.58	845
C	T 24	735	AO	735	2.36	2051
C	T 24	735	AO	735	2.36	2051
Ca	F 735	735	AO	735	14.65	1077
Ca	F 735	735	AO	735	14.65	1077
Total					302.29	2388.7

Genotype Average Grain Size (μm)

9	Rezoning/DP Resubmission	24.12.20
5	Rezoning/DP Resubmission	23.12.23
6	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15

project name
Montreal and Quebec

sheet title
**Average Grade
Calculations**

project no.	#21-18
scale	1 : 100

driven by RP, GK, GB

1.1.2

	AT.2
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MONTREAL STREET

QUEBEC STREET

207 - 217
QUEBEC STREET

226 / 232
KINGSTON STREET

KINGSTON STREET



0m 5m
scale in meters

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	2024.12.19
2	ISSUED FOR PERMITTING	2024.12.19
3	ISSUED FOR PERMITTING	2024.12.19
4	ISSUED FOR PERMITTING	2024.12.19
5	ISSUED FOR PERMITTING	2024.12.19
6	ISSUED FOR PERMITTING	2024.12.19
7	ISSUED FOR PERMITTING	2024.12.19
8	ISSUED FOR PERMITTING	2024.12.19
9	ISSUED FOR PERMITTING	2024.12.19
10	ISSUED FOR PERMITTING	2024.12.19

0	Revised for Permitting	24.12.20
1	Revised for Permitting	25.12.20
2	Revised for Permitting	26.12.20
3	Revised for ADP	27.03.21
4	Revised for Permitting	28.12.21
5	Revised for Permitting	29.12.21
6	Revised for Permitting	30.12.21
7	Revised for Permitting	31.12.21
8	Revised for Permitting	31.12.21
9	Revised for Permitting	31.12.21
10	Revised for Permitting	31.12.21

PROJECT NAME
Montreal and Quebec
205 Quebec Street
Victoria, BC

SHEET TITLE
Level 1 Phasing Plan

PROJECT NO.
821-18

SCALE
1 : 100

DRAWN BY
Author

DATE ISSUED
09/23/24

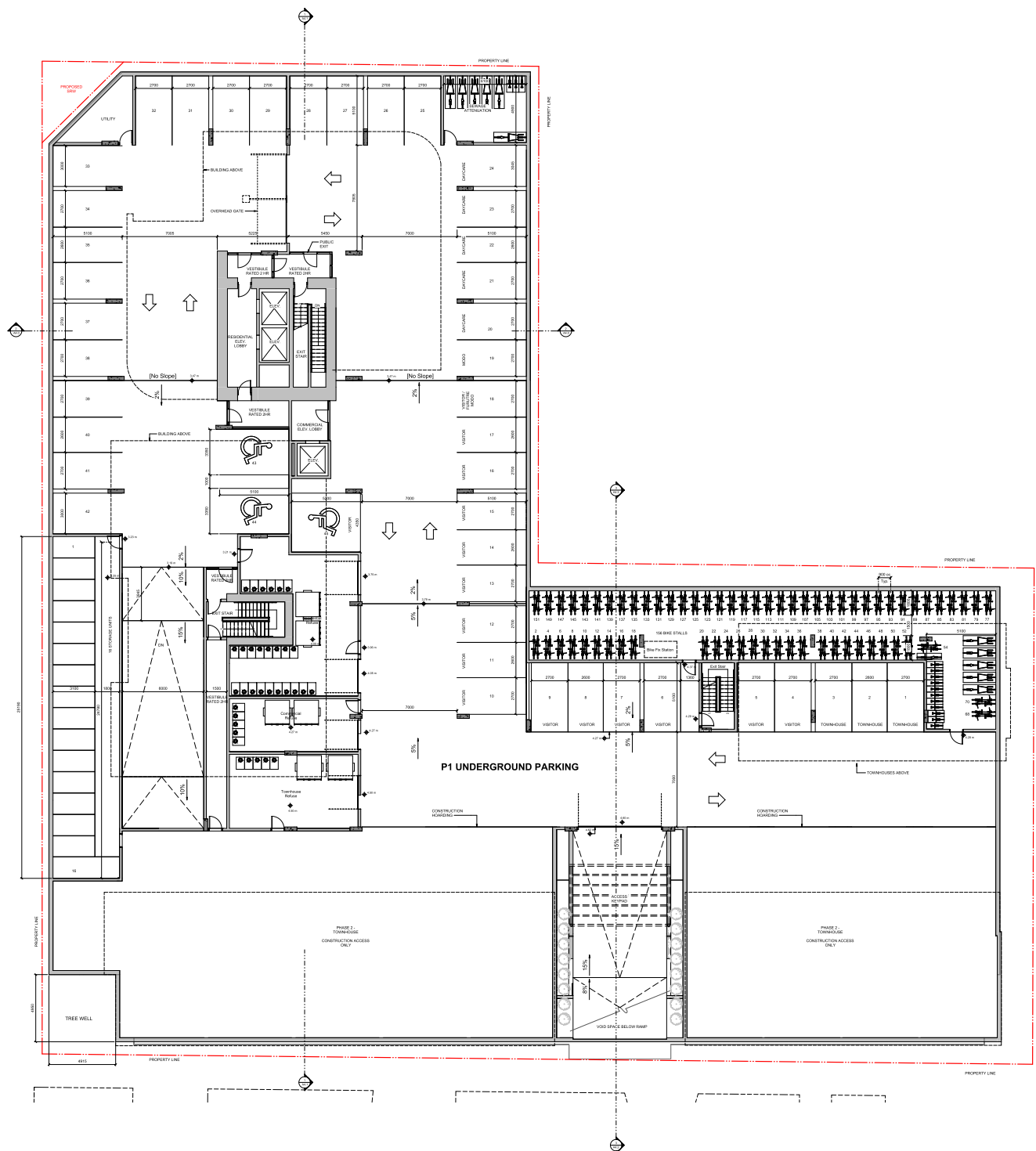
SHEET NO.
A.13

9	Rezoning OIP Resubmission	24.12
7	Rezoning OIP Resubmission	24.09
6	Rezoning OIP Resubmission	23.12
5	Rezoning OIP Resubmission	22.12
4	Issued for ADIP	22.08
2	Issued for Rezoning / OIP	21.12
1	Issued for Dev. Tracker	21.10
row no.	description	date

sheet title
P1 Phasing Plan

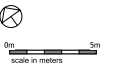
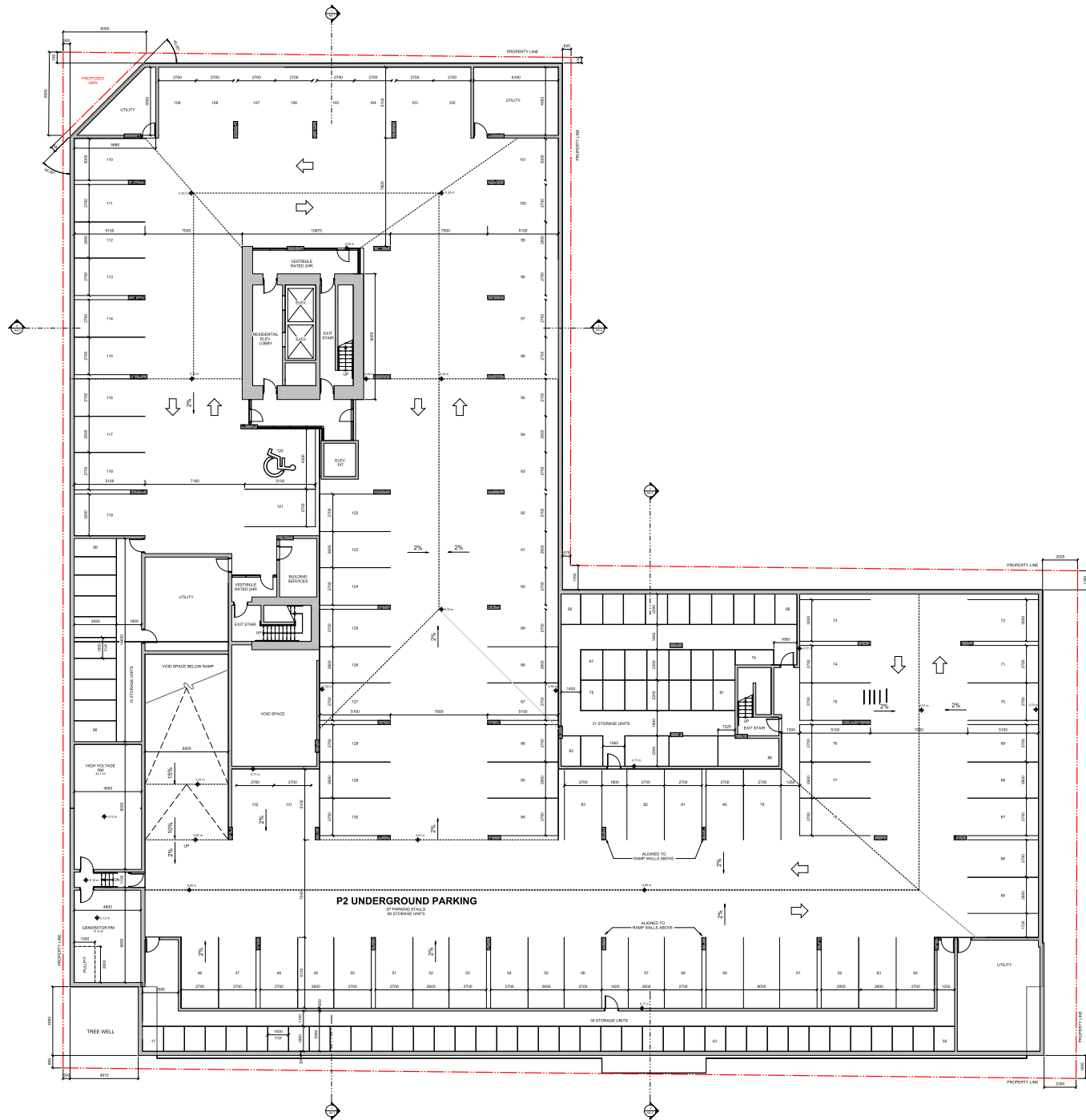
scale	1 : 10
drawn by	Author

05/23/24	A1.4
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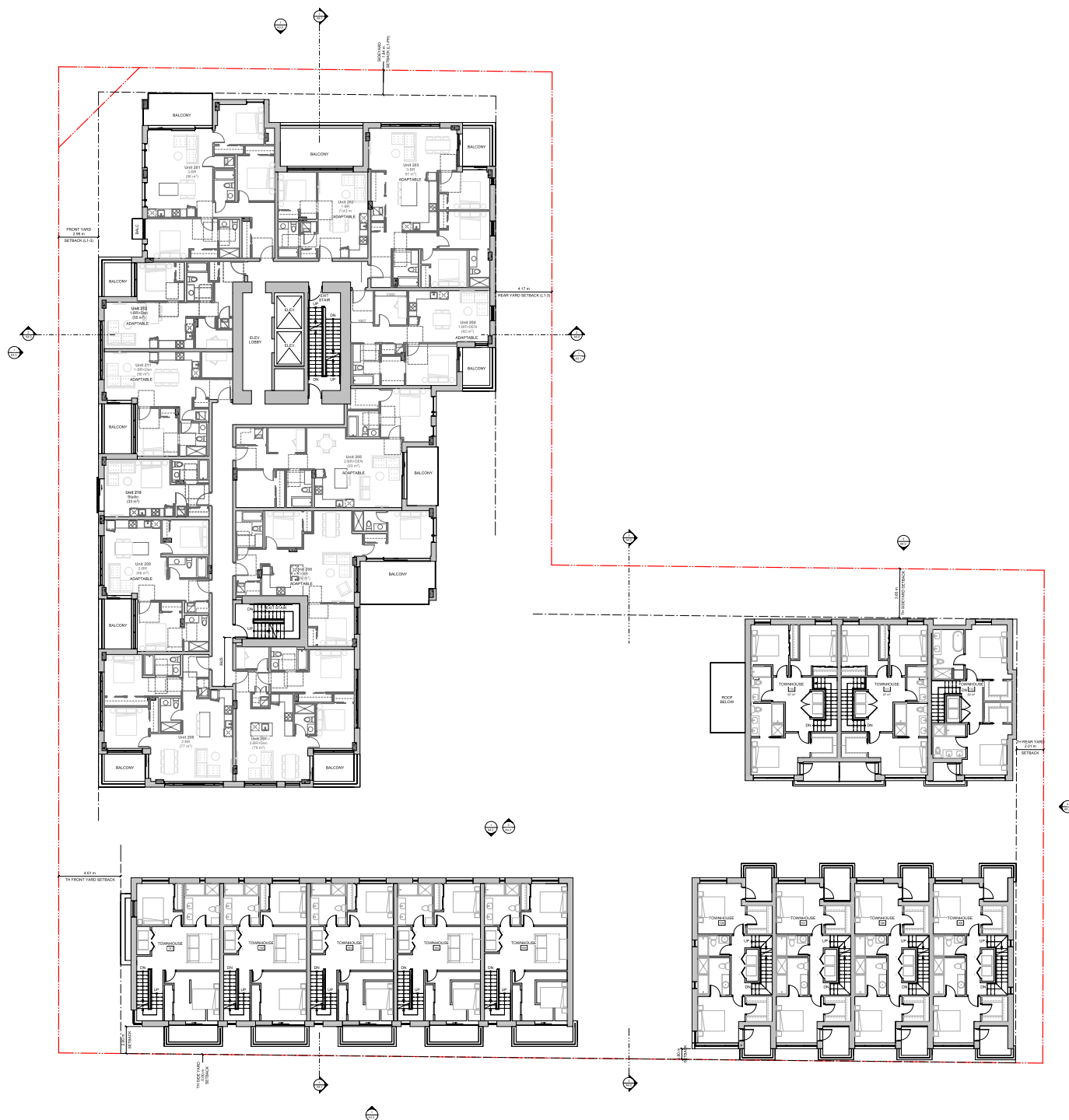
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NO.	DESCRIPTION	QTY
1	CONCRETE	1000
2	STEEL	500
3	GLASS	200
4	WOOD	100
5	PAINT	50
6	CEILING	100
7	FLOORING	100
8	WALLS	100
9	DOORS	10
10	WINDOWS	10
11	STAIRS	10
12	ELEVATORS	10
13	UTILITY	10
14	MECHANICAL	10
15	ELECTRICAL	10
16	PLUMBING	10
17	LANDSCAPE	10
18	EXTERIOR	10
19	INTERIOR	10
20	FINISHES	10
21	MECHANICAL	10
22	ELECTRICAL	10
23	PLUMBING	10
24	LANDSCAPE	10
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26	INTERIOR	10
27	FINISHES	10
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36	ELECTRICAL	10
37	PLUMBING	10
38	LANDSCAPE	10
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40	INTERIOR	10
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96	INTERIOR	10
97	FINISHES	10
98	MECHANICAL	10
99	ELECTRICAL	10
100	PLUMBING	10



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0m 5m
scale in meters

9	Rezoning/CP Resubmission	24.12
7	Rezoning/CP Resubmission	24.05
6	Rezoning/CP Resubmission	23.12
5	Rezoning/CP Resubmission	22.12
4	Issued for ADP	22.08
2	Issued for Rezoning / CP	21.12
1	Issued for Dev. Tracker	21.10

project name
Montreal and Quebec
205 Quebec Street

sheet title
Level 2 Plan

project no.	#21-1
scale	1:100

drawn by	RP / GK / G
date issued	sheet no.

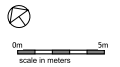
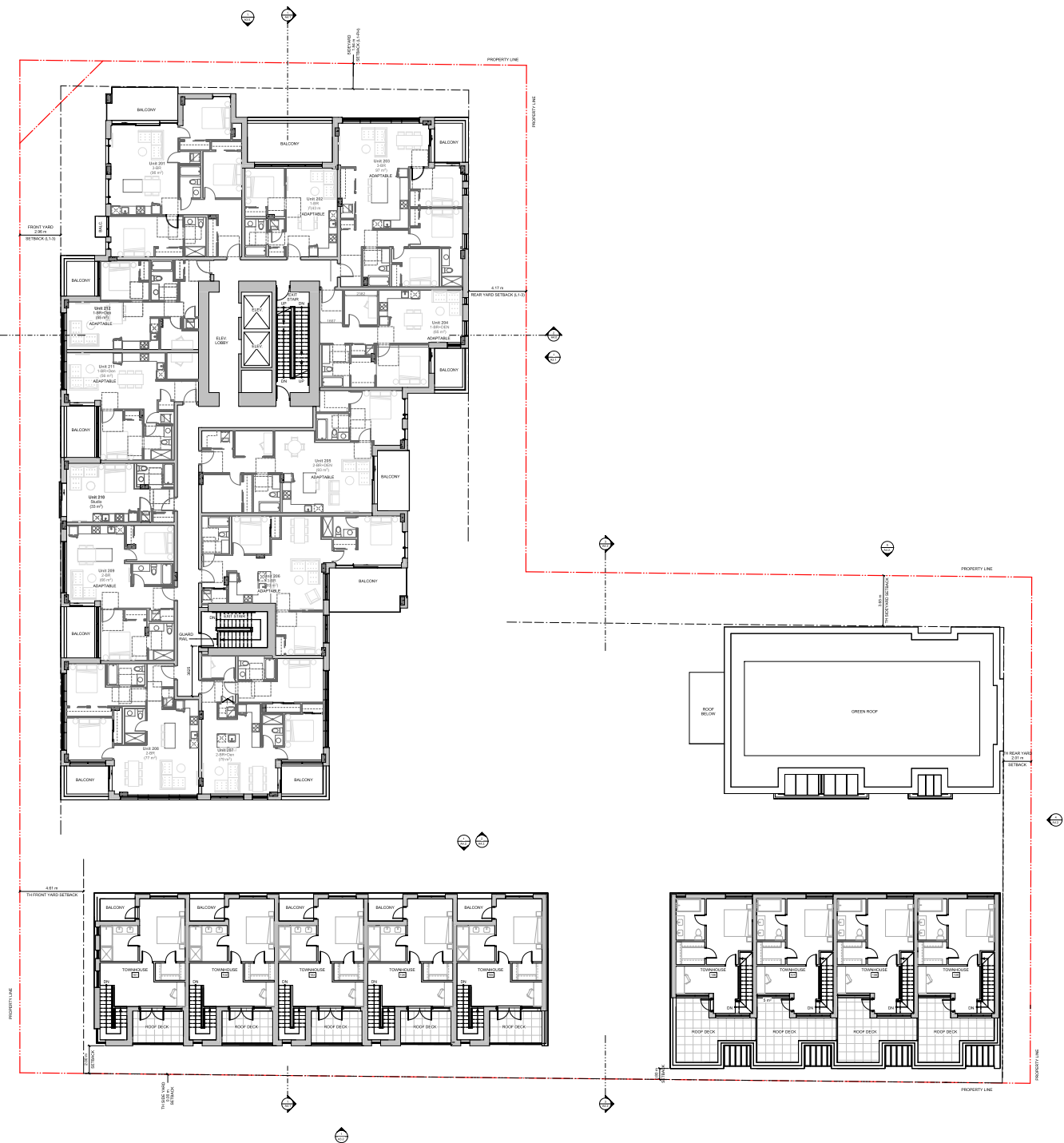
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A2.3



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NOTES
1. REFER TO ALL DRAWING PLANS FOR
INFORMATION ON MATERIALS, FINISHES,
PLANTING, AND TREES.



NO.	DESCRIPTION	DATE
1	Revised for Planning (GP)	24.12.20
2	Revised for Planning (GP)	25.12.20
3	Revised for Planning (GP)	25.12.20
4	Revised for Planning (GP)	25.12.20
5	Revised for Planning (GP)	25.12.20
6	Revised for Planning (GP)	25.12.20
7	Revised for Planning (GP)	25.12.20
8	Revised for Planning (GP)	25.12.20
9	Revised for Planning (GP)	25.12.20
10	Revised for Planning (GP)	25.12.20

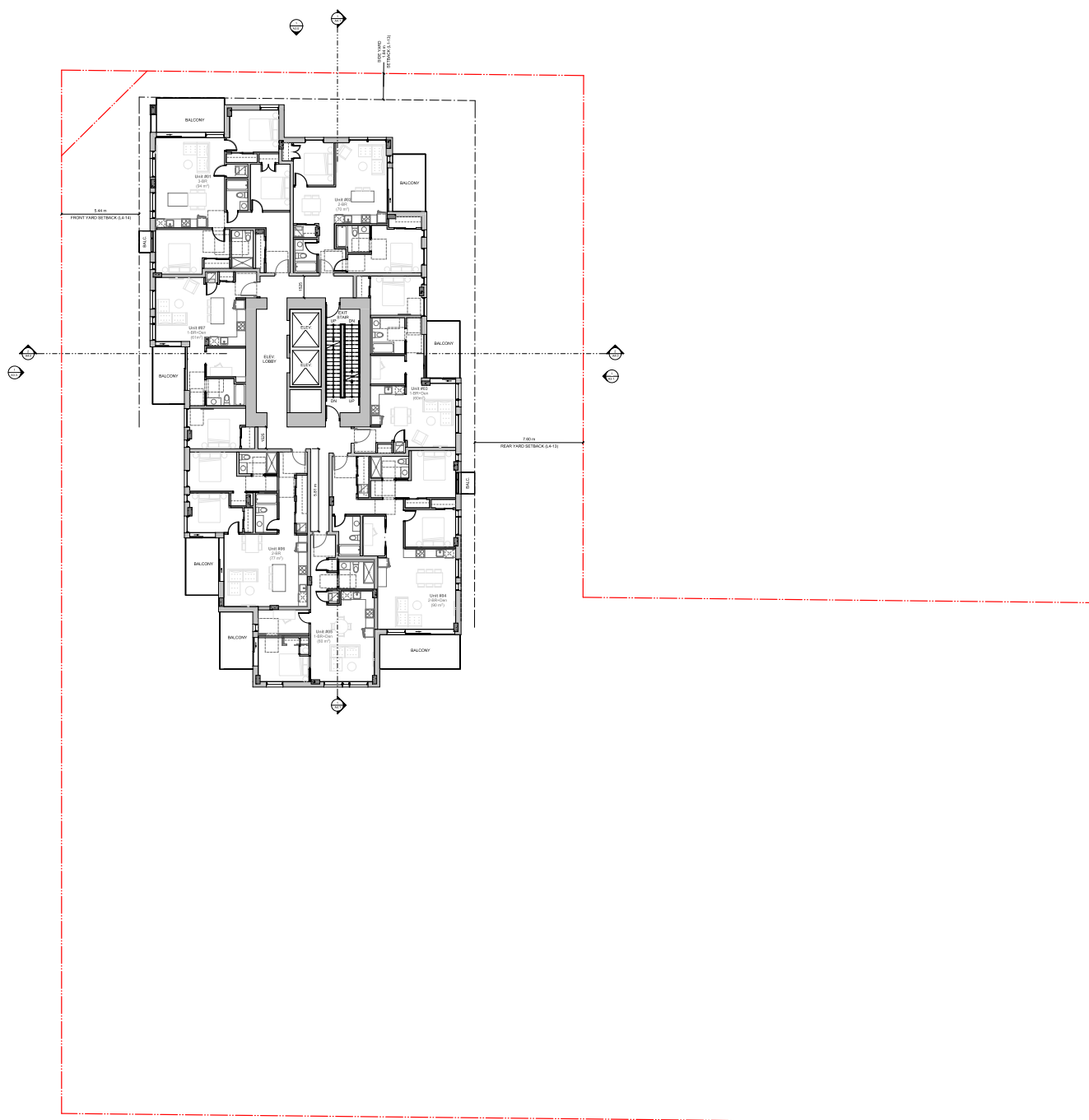
Project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

Sheet title
Level 3 Plan

Project no. 821-18
Scale 1:100
Drawn by RFP / GK / GB
Date issued 12/20/24
Sheet no. A2.4

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0m 5m
scale in meters

9	Rezoning/OP Resubmission	24.12
7	Rezoning/OP Resubmission	24.05
6	Rezoning/OP Resubmission	23.12
5	Rezoning/OP Resubmission	22.12
4	Issued for ADP	22.08
2	Issued for Rezoning / OP	21.12
1	Issued for Dev. Tracker	21.10

rev no	description	date
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project name
Montreal and Quebec
205 Quebec Street

sheet title
Level 5-13 Plan

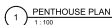
project no.	821-1
marks	5 : 30

drawn by	RP / GK / G
date issued	sheet no.

12/20/24
A2.6

A2.6

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0m 5m
scale in meters

9	Rezoning/CIP Resubmission	24.12.20
7	Rezoning/CIP Resubmission	24.09.23
6	Rezoning/CIP Resubmission	23.12.22
5	Rezoning/CIP Resubmission	22.12.04
4	Issued for ADP	22.08.02
2	Issued for Rezoning / CIP	21.12.15
1	Issued for Dev. Tracker	21.10.16

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Penthouse + Roof Plan

project no.		#21-18
scale		1 : 100
drawn by		RP / GK / GB
date issued	sheet no.	
12/20/24	A2 7	



2024-12-19

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ELEVATION MATERIALS KEY:

- 1 Concrete Panel System
- 2 Glass Curtain Wall
- 3 Running Balcony
- 4 Glass Curtain Panel
- 5 Glass Curtain Panel
- 6 Glass Curtain Panel
- 7 Glass Curtain Panel
- 8 Glass Curtain Panel
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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

Sheet Title
North Elevation

project no. 821-18
scale 1:100
drawn by CF / RP / GB
date issued 12/20/24
sheet no. A3.0







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- ELEVATION MATERIALS KEY:
- 1 Concrete Panel System
 - 2 Glass Curtain Wall
 - 3 Glass Curtain Wall
 - 4 Glass Curtain Wall
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 - 6 Glass Curtain Wall
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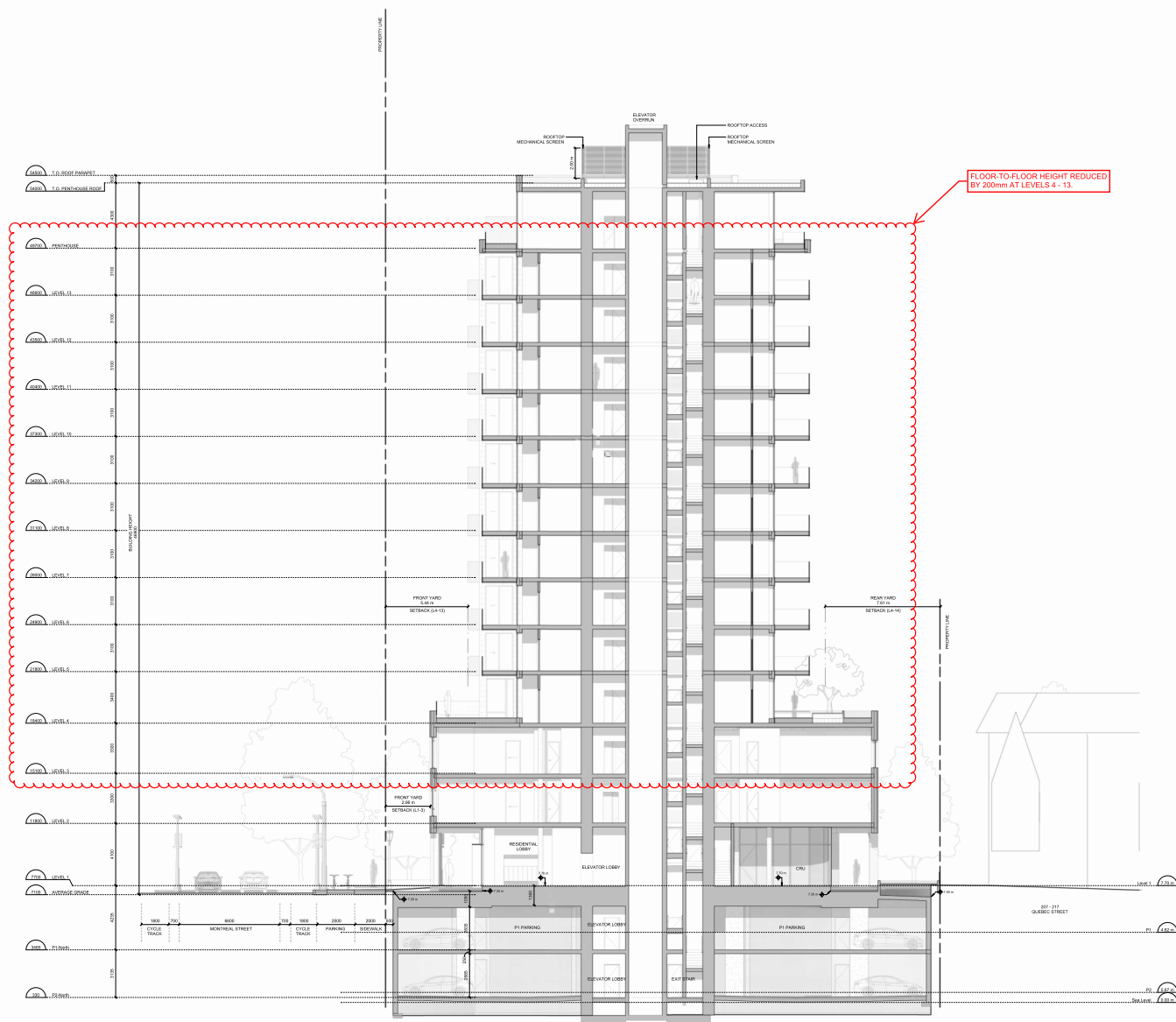


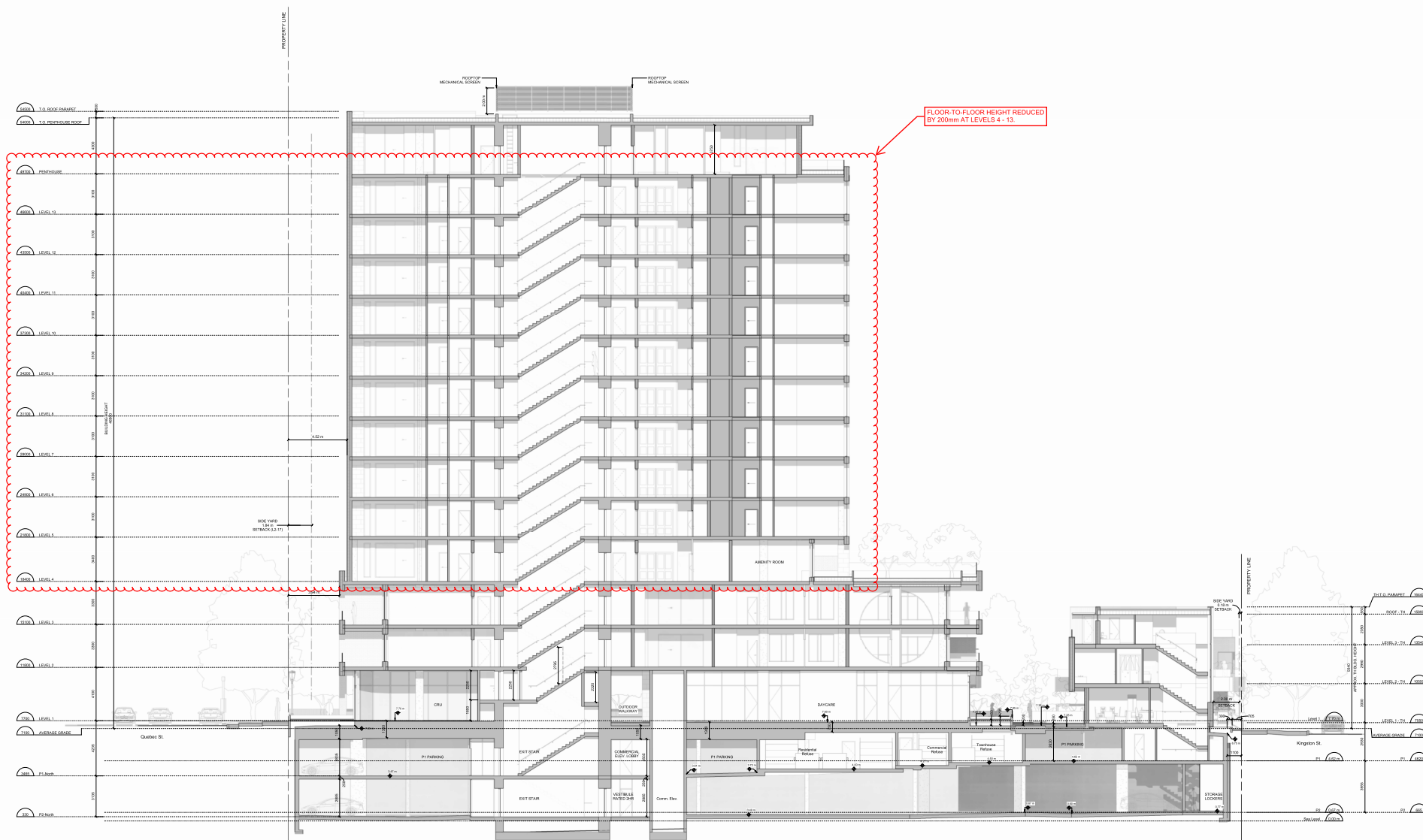
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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
West Elevation

project no. 821-18
scale 1:100
drawn by CF / RP / GB
date issued 12/20/24
sheet no. A3.3





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6	Rezonning OP Resubmission	23.12.22
5	Rezonning OP Resubmission	22.12.06
4	issued for ADP	22.08.02
3	Rezonning OP Resubmission	22.04.14
2	issued for Rezonning I DP	21.12.15
rev no	description	date

project name	Montreal and Quebec
205 Quebec Street	
Victoria, BC	
sheet title	Building Sections

project no.		#21-18
scale		1 : 100
drawn by		RP
date issued	sheet no.	
12/20/24	A4.1	

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- 3 Lumber Siding
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1 North Elevation - Townhouse
1:100



2 South Elevation - Townhouse
1:100



3 P1 Ramp @ Kingston St
1:100



4 East Elevation - Townhouse
1:100



5 North Elevation - Townhouse
1:100

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Project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

Sheet title
Building Section /
Elevations

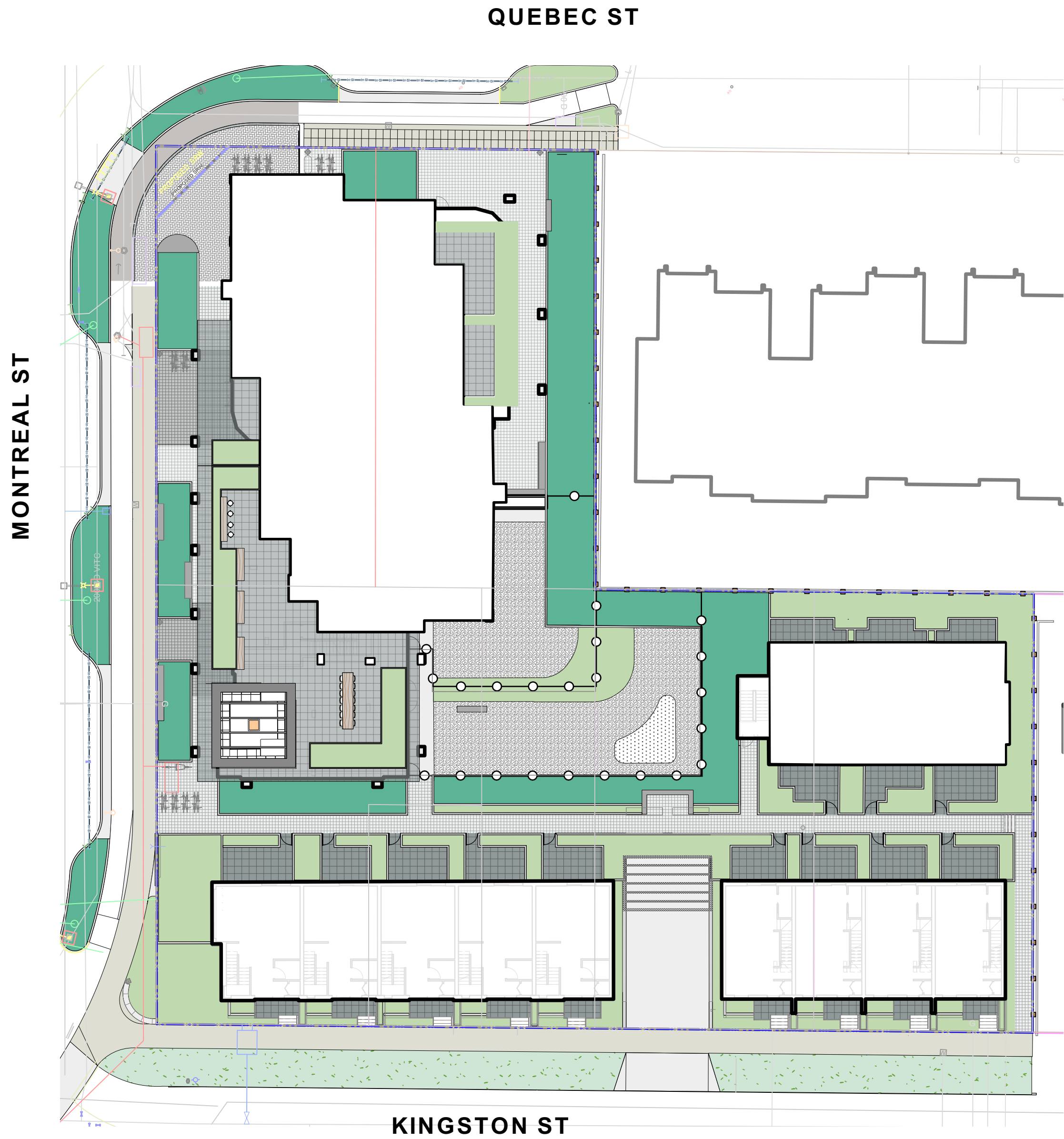
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Date issued 12/20/24
Sheet no. A4.2

Mike Geric Construction

Quebec & Montreal

Victoria, BC

KEY PLAN



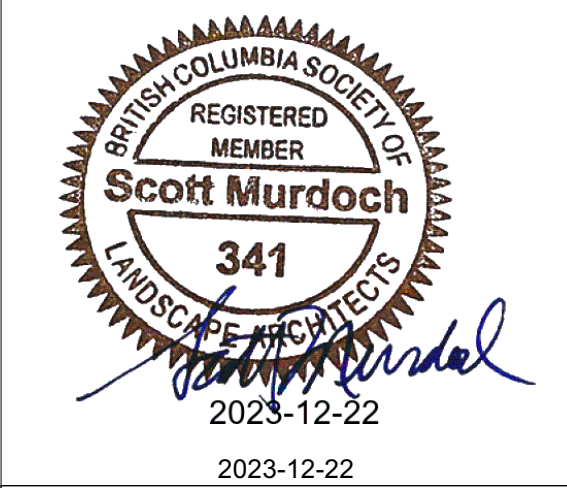
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Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Survey Plan
L0.03	Tree Management Plan
L1.01	Landscape Materials - Ground Level
L1.02	Landscape Materials - Level 4
L1.03	Stormwater Management & Grading
L1.04	Landscape Precedents
L1.05	Landscape Materials - Sections
L1.06	Landscape Materials - Sections
L1.07	Replacement Tree Plan
L3.01	Planting Plan - Ground Level
L3.02	Planting Plan - Level 4
L4.01	Landscape Details

rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19



3388A Terryson Ave.
Victoria, BC V8Z 3P6

Phone: 250.412.2891
Fax: 250.412.2892



client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Cover

project no.	121.23
scale	1: ### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L0.00

1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing condition prior to the start of construction at no additional cost to the owner.
5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all sub-areas as-built information including irrigation.

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

1. All elevations are in meters.
2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

1. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
5. Refer to electrical drawings for electrical service.
6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
9. Contractor to field test irrigation system around existing trees, to limit disturbance to root systems.
10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
12. Trees within shrub or rain garden areas to be irrigated with spray heads.
13. Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system
14. Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
15. Irrigation Inspections: required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.

1. Refer to Landscape Specifications for growing medium properties by soil type.
2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9. p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
5. Landscape installation to carry a 1 year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance. The Contractor will not be responsible for plant loss due to extreme climatic conditions such as abnormal freezing temperatures or hail which occur after Acceptance. The Contractor shall be responsible for plant loss due to inadequate acclimatization of plants for their planted location.

1. For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A) A 100mm wide gap will exist between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the following conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
5. Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and as hard copies, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
8. Soil volume for boulevard trees to be as follows: 8 cu. m. for small trees, 12 cu. m. for medium trees, and 16 cu. m. for large trees.

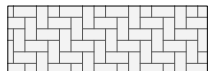
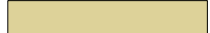
1. Irrigation drawings must be submitted to Parks Division for review and approval 30 days prior to installation work.
2. Irrigation Systems on City Property shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-02, Subdivision 1, Bylaw.
3. The following irrigation and sleeping inspections by Parks Staff are required by Schedule C. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
 - (1) Irrigation sleeping prior to backfilling
 - (2) Open trench main line and pressure test
 - (3) Open trench lateral line
 - (4) Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly is to have an inspection tag completed and attached.

1. The following inspections are required for all off-site horticulture areas:
 - (1) Excavated and scarified subgrade prior to placement of growing media.
 - (2) Installed and prepared growing media prior to planting.
 - (3) Plant material on-site prior to planting.
 - (4) Planted landscape prior to mulch installation.
 - (5) At time that planted and mulched landscape meets the conditions for Total Performance as required by MMCD.

MATERIALS LEGEND

1.1		Asphalt. See Civil
1.2		CIP Concrete <i>Light Broom Finish with Tooled Control Joints. Colour: Natural.</i>
1.3		CIP Concrete <i>Light Broom Finish with Radial Control Joints. Colour: Natural</i>
1.4		Standard Paver <i>8x8 tile pattern, colour Natural</i>
1.5		Standard Paver <i>8x8 tile pattern, colour Charcoal</i>
1.6		Patio <i>'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.</i>

See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.

1.7		Trowel Joint Concrete. See L4.01 For Pattern Details
1.8		Granite Pavers @ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
1.9		Grey Basalt Entry Band Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed
1.10		Granite Pavers Solider Course Border 200mm Granite Pavers
2.0	DAYCARE <i>Design TBD by input from Daycare provider</i>	
2.1		Sand
2.2		Safety Surfacing
3.0	WALLS	
3.1		Concrete Retaining Wall
3.2		Concrete Bench
3.3		Concrete Curb - See Civil.

4.1 Downtown Bicycle Rack As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.

4.2		Fire pit
4.3		Trash Bin
4.4		Trellis
4.5		Benches
4.6		Tables
4.7		Shed. See Architecture.

5.1 1800mm Wood Fence

5.2 Picket Fence

7.1 Shrub Area

7.4 Rain Garden (See Dwg 1
L1.03 & 4.01)

- · — · — · — · — Property line
- - - - - Extent of Parkade, below
- - - - - Pedestrian Sightline

(Shown for reference only - refer to Civil Engineer's drawings).

— Civil Typical Inlet Drain

	17.70	Existing Landscape Grade	
	17.70	Civil Grade, provided for reference only	
	16.90	Architectural grade, provided for reference only	
	17.70	Proposed Landscape Grade	
TOW	Top of Wall	BP	Bottom of Pool
BW	Bottom of Wall	TS	Top of Stairs
TOC	Top of Curb	BS	Bottom of Stairs
BC	Bottom of Curb	HP	High Point
TP	Top of Pool	LP	Low Point

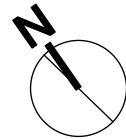
-

Irrigation Point of Connection
Proposed Irrigation Point of Connection.
Provide water service and electrical service from irrigation controller to valves.
- Irr SI — Irr SI —

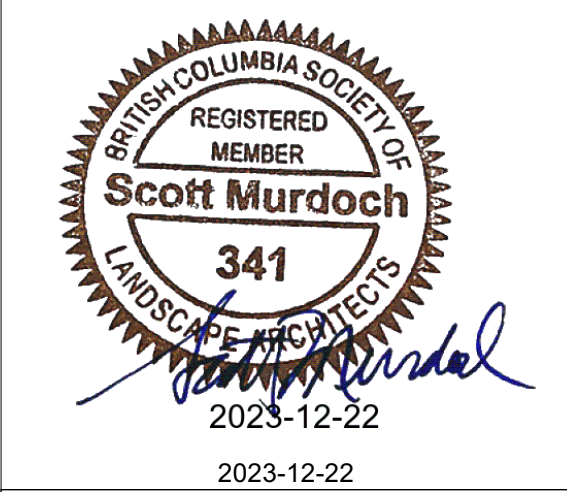
Irrigation Sleeve
Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.

	Perforated Underdrain
	Sched 40 PVC
	Clean out
	Rain Garden Overflow Drain
	8" Square drain with ductile iron grate.
	Trench Drain
	Aco K100 Trench Drain, Load Class 'A'.

SD BL AD Mechanical Drains
(For reference only)



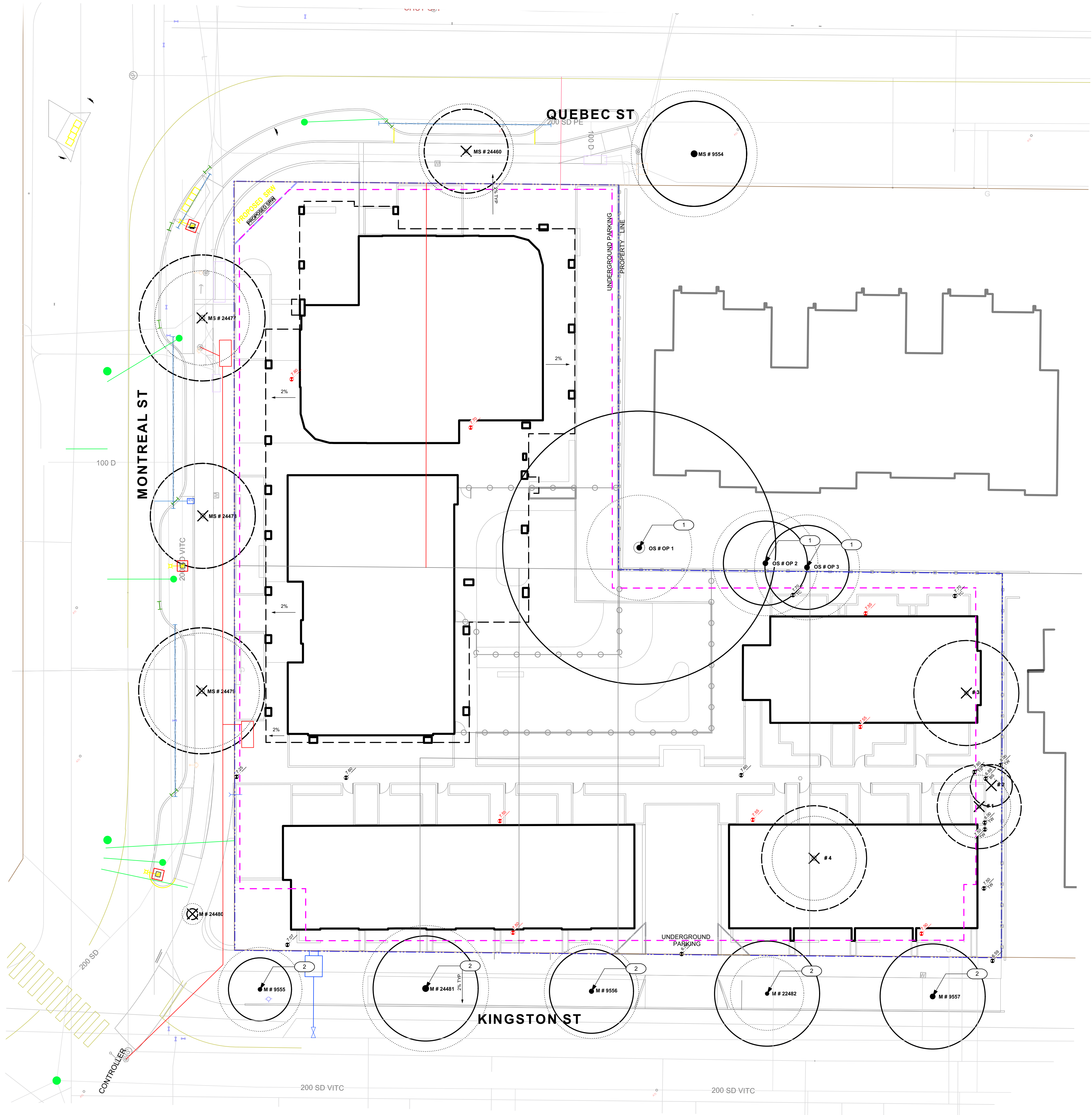
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date



client Mike Geric Construction 4520 West Saanich Rd Saanich, BC	
project QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC	

sheet title	
General Information Sheet	
project no.	121.23
scale	NA @ 24"x36"
drawn by	MDI
checked by	SM
revision no. 8	sheet no. L0.01

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.



- LINE TYPE LEGEND**
- Property line
 - Right of Way
 - Extent of Roof, above
 - Extent of Parkade, below
 - Rain garden - TOP OF POOL
 - Rain garden - BOTTOM OF POOL

GRADING LEGEND

Existing Landscape Grade

- UNDERGROUND UTILITIES**
(Shown for reference only - refer to Civil Engineer's drawings).
- | EXISTING | | PROPOSED |
|----------|-------------|----------|
| | Storm drain | |
| | Sewer | |
| | Water | |
| | Electrical | |
| | Gas | |
| | Hydro Tel | |

- EXISTING PLANT LEGEND**
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).
- Retaining
- Tree Reference ID
Canopy Extent
Protected Root Zone
- Removal
- Tree Reference ID
Canopy Extent
- 0 5 10 m

EXISTING TREE INVENTORY*

TREE TAG #	DBH (cm)	CRZ	Species	Crown Spread (m)	Height (m)
9555	27	3	Betula papyrifera	8	9
24481	39	5	Prunus cerasifera	12	9
24482	38	5	Prunus cerasifera	7	9
9557	39	4	Betula pendula	10	11
9554	42	5	Aesculus carnea	12	9
Op1	105	12	Thuja plicata	10	14
Op2	35	4	Cedrus dreadar	9	18
Op3	35	4	Sequoiadendron giganteum	9	10
2556	34	4	Betula papyrifera	9	10

TOTAL TREES TO BE RETAINED: 9

REMOVED TREES

TREE TAG #	DBH (cm)	Species	Crown Spread (m)	Height (m)
24460	35	Sorbus intermedia	9	0
24480	3	Prunus sargentii	1	3
24479	53	Prunus cerasifera	11	8
24478	44	Prunus cerasifera	10	8
24477	50	Prunus cerasifera	9	8
1	35	Thuja plicata smaragd	3	6
2	14	Thuja plicata smaragd	2	6
3	39	Pyrus sp.	5	4
4	44	Ilex aquifolium	4	6

TOTAL TREES TO BE REMOVED: 9

* Based on Arborist's Report recieved from Arborist, 09/28/2021. Refer to Arborist report for details on tree conditions and Arborist recommendations.

- REFERENCE NOTES**
- 1 Requires onsite supervision of trees during excavation
- 2 Potentially impacted by site serving and grading

D. Clark Arboriculture
2741 The Rise Victoria B.C. V8T-3T4
(250)474-1552 (250)208-1568
clarkarbor@gmail.com
www.dclarkarboriculture.com
Certified Arborist PN-6523A

rev no	description	date
8	REV RZ/DP	2023-12-22
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2	DP	2021-12-16
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MDI
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3388A Terryson Ave.
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Phone: 250.412.3891
Fax: 250.412.2892

Scott Murdoch
REGISTERED MEMBER
LANDSCAPE ARCHITECTS
341
2023-12-22

client

Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

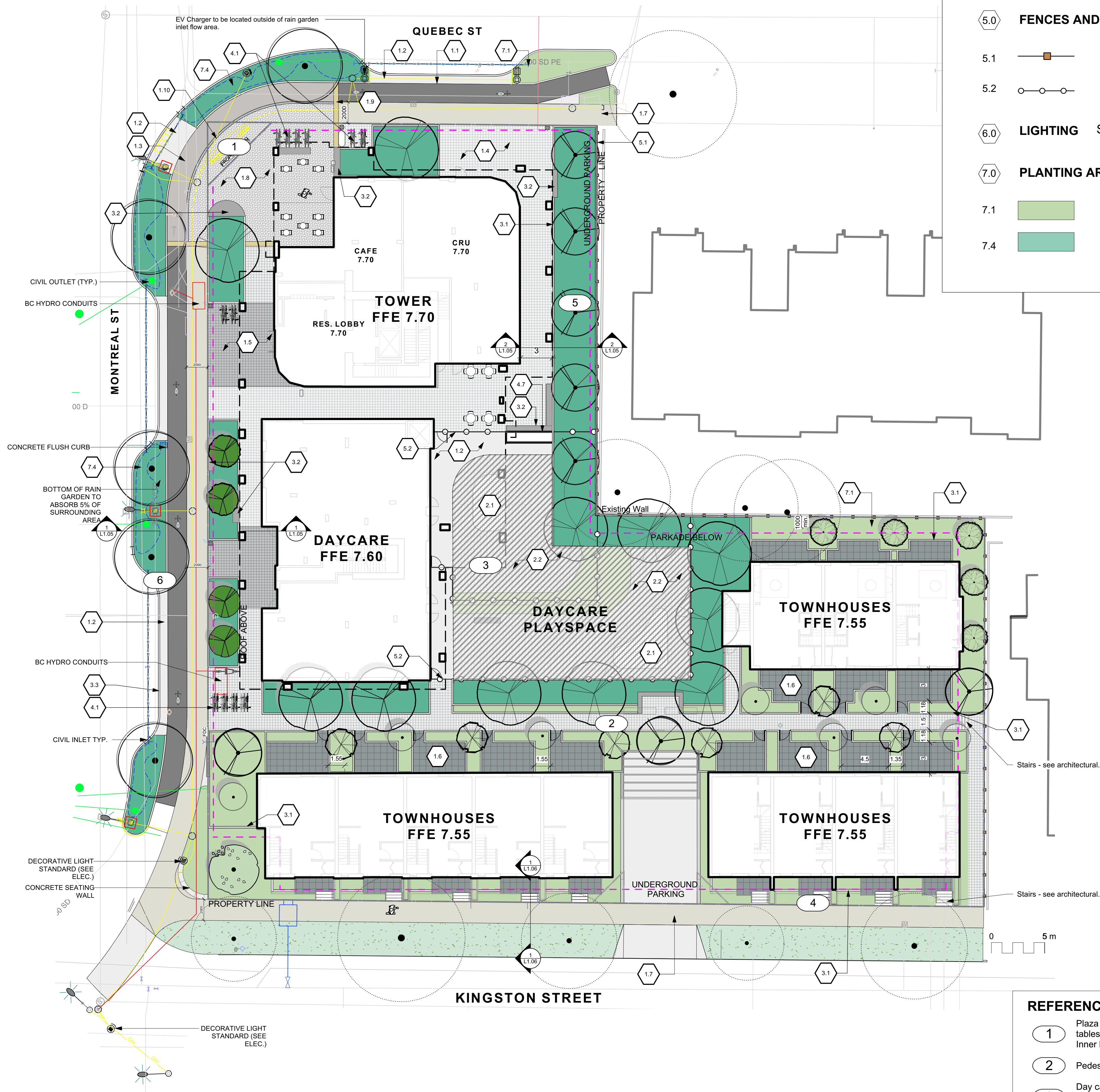
project

QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title

Tree Management Plan

project no.	121.23
scale	1: 200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L0.03



- 5.0 FENCES AND BARRIERS**
- 5.1 1800mm Wood Fence
- 5.2 Picket Fence
- 6.0 LIGHTING** See Arch and Electrical
- 7.0 PLANTING AREAS**
- 7.1 Shrub Area
- 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

MATERIALS LEGEND

- 1.0 HARDSCAPE**
- 1.1 Asphalt. See Civil
- 1.2 CIP Concrete
Light Broom Finish with Tooled Control Joints. Colour: Natural.
- 1.3 CIP Concrete
Light Broom Finish with Radial Control Joints. Colour: Natural
- 1.4 Standard Paver
8x8 tile pattern, colour Natural
- 1.5 Standard Paver
8x8 tile pattern, colour Charcoal
- 1.6 Patio
'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.

- 1.0 HARDSCAPE: CITY STANDARDS**
- See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.

- 1.7 Trowel Joint Concrete.
See L4.01 For Pattern Details
- 1.8 Granite Pavers
@ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
- 1.9 Grey Basalt Entry Band
Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed

- 1.10 Granite Pavers
Solider Course Border 200mm Granite Pavers

- 2.0 DAYCARE**
Design TBD by input from Daycare provider

- 2.1 Sand
- 2.2 Safety Surfacing

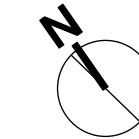
- 3.0 WALLS**
- 3.1 Concrete Retaining Wall
- 3.2 Concrete Bench
- 3.3 Concrete Curb - See Civil.

- 4.0 FURNISHINGS**
- 4.1 'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.

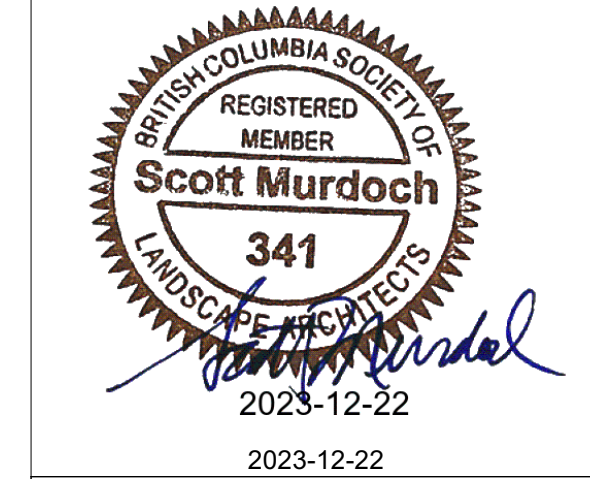
- 4.2 Fire pit
- 4.3 Trash Bin
- 4.4 Trellis
- 4.5 Benches
- 4.6 Tables
- 4.7 Shed. See Architecture.

REFERENCE NOTES

- 1 Plaza with built-in concrete benches with built in tables, covered patio seating and bike parking. Inner harbour paving materials.
- 2 Pedestrian walkway through site.
- 3 Day care spaces. Design to be confirmed / modified to meeting Island Health ECE Standards and input from daycare provider.
- 4 Residential streetscape with walk-up patios. Retained street trees.
- 5 Runoff from the condo and day care rooftops managed in rain gardens.
- 6 Rain gardens integrated into streetscape to manage street runoff.



rev no	description	date
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client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
**Landscape
Materials - Ground
Level**

project no. 121.23
scale 1:200 @ 24"x36"
drawn by MDI
checked by SM

revision no. sheet no.
8 L1.01



5.0 FENCES AND BARRIERS

- 5.1 1800mm Wood Fence
- 5.2 Picket Fence

6.0 LIGHTING See Arch and Electrical

7.0 PLANTING AREAS

- 7.1 Shrub Area
- 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

REFERENCE NOTES

- 1 Fire pit nook with seating.
- 2 Dining area. with long harvest-style picnic tables.
- 3 Pergola.
- 4 High table with bar stools
- 5 Private patio spaces.

MATERIALS LEGEND

1.0 HARDSCAPE

- 1.1 Asphalt. See Civil
- 1.2 CIP Concrete
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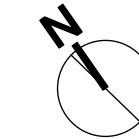
- 2.1 Sand
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BRITISH COLUMBIA SOCIETY OF
REGISTERED
MEMBER
Scott Murdoch
341
LANDSCAPE ARCHITECTS
2023-12-22

client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC	
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC	
sheet title	Landscape Materials - Level 4	
project no.	121.23	
scale	1:150	@ 24"x36"
drawn by	MDI	
checked by	SM	
revision no.	sheet no.	
8	L1.02	



LEGEND

--- PROPERTY LINE
--- EXTENT OF UNDERGROUND PARKING (INDICATIVE)
--- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- - - RAIN GARDEN - TOP OF POOL
- - - RAIN GARDEN - BOTTOM OF POOL
16.50 EXISTING GRADE (APPROXIMATE)
16.45 PROPOSED ARCH GRADE
16.35 PROPOSED LANDSCAPE GRADE
TP TOP OF POOL
BP BOTTOM OF POOL
- - - DIRECTION OF FLOW
RAIN GARDEN ON GRADE
IMPERVIOUS AREAS
ROOF DRAINS TO RAIN GARDEN
ROAD / HARDSCAPE DRAINS TO RAIN GARDEN

RAIN WATER MANAGEMENT NOTES

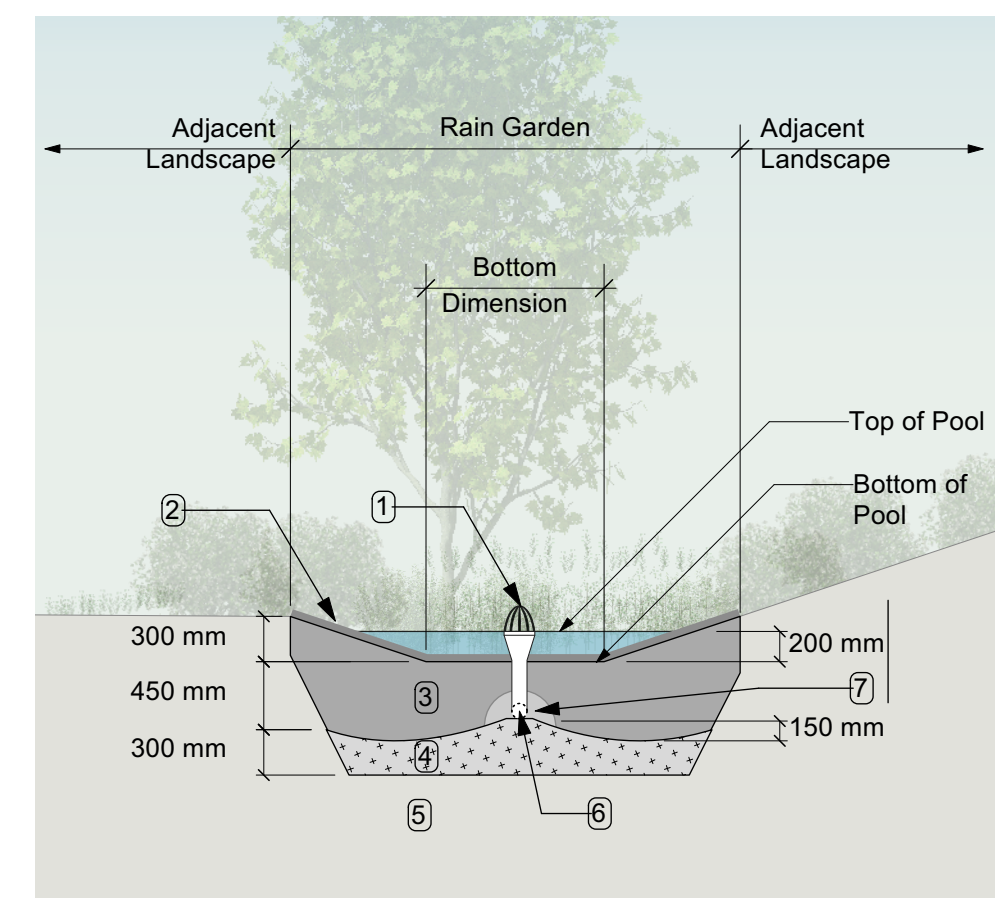
Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high-capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area to meet or exceed City of Victoria Green Stormwater Infrastructure Guidelines.

Boulevard rain gardens to be designed to City of Victoria Standards

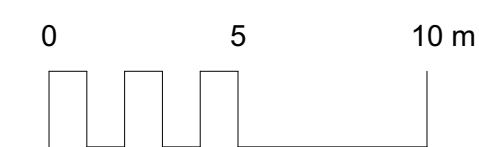


- RAIN GARDEN MATERIALS
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50 -70 mm depth
 3. Bio-retention growing medium, 450 mm depth
 4. Scarified/tilled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

GRADING NOTES

1. All grades slope 2% from the building to back of curb.
2. Slab grade varies
3. All landscape walls are an average of 500mm height.
4. Kingston St Townhouses require 3-4 risers to meet grade.
5. Proposed curb grades to be determined by Civil (proposed grades will be similar to existing grades. See Civil for details)
6. All sidewalk slope 2% to back of curb.



8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date

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Fax: 250.412.2892

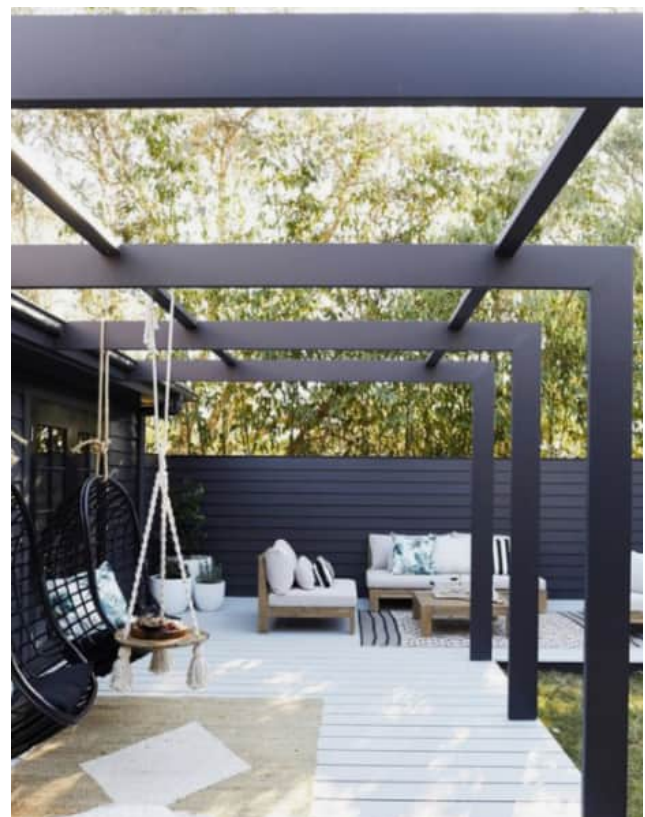
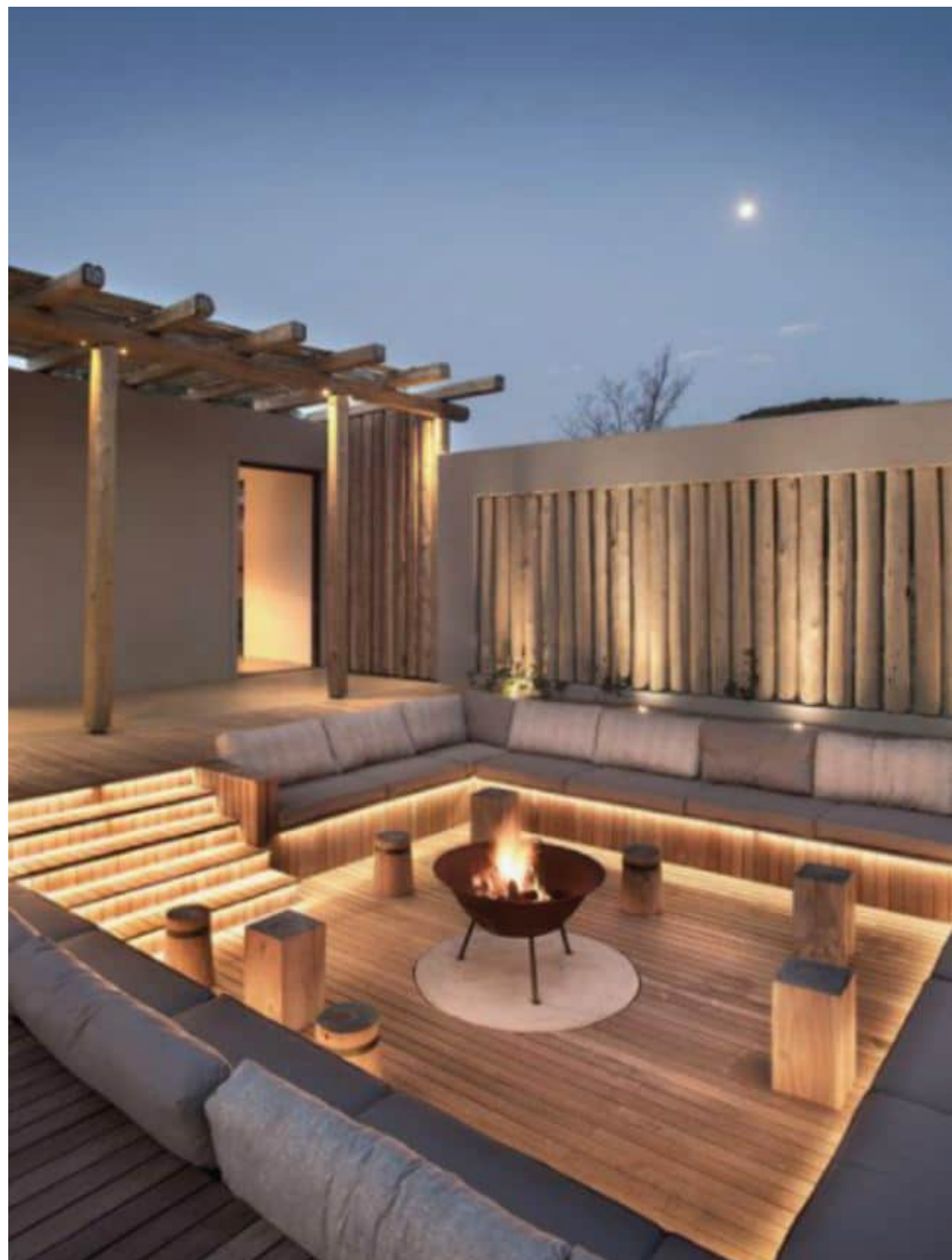
REGISTERED MEMBER
Scott Murdoch
341
LANDSCAPE ARCHITECTS
Scott Murdoch
2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

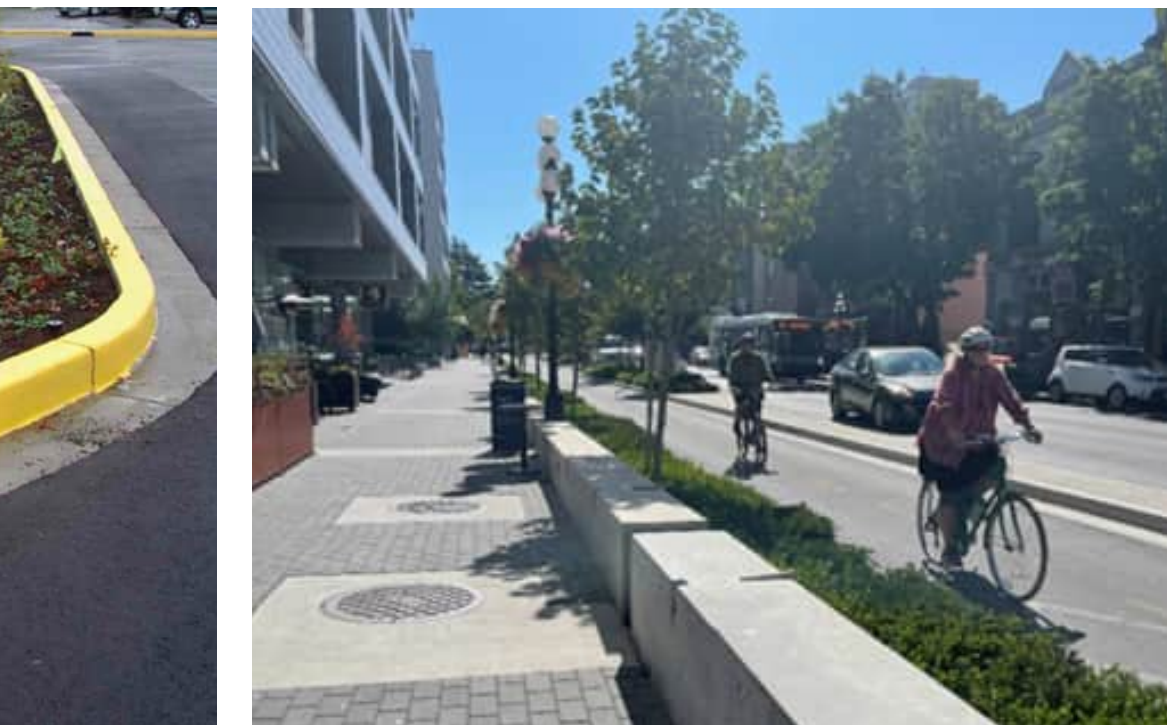
sheet title
Stormwater Management & Grading

project no.	121.23
scale	1: ### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L1.03



ROOFTOP COMMON SPACE

DAYCARE - PLAY



STREETSCAPE MONTREAL & QUEBEC

STREETSCAPE KINGSTON



rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
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2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

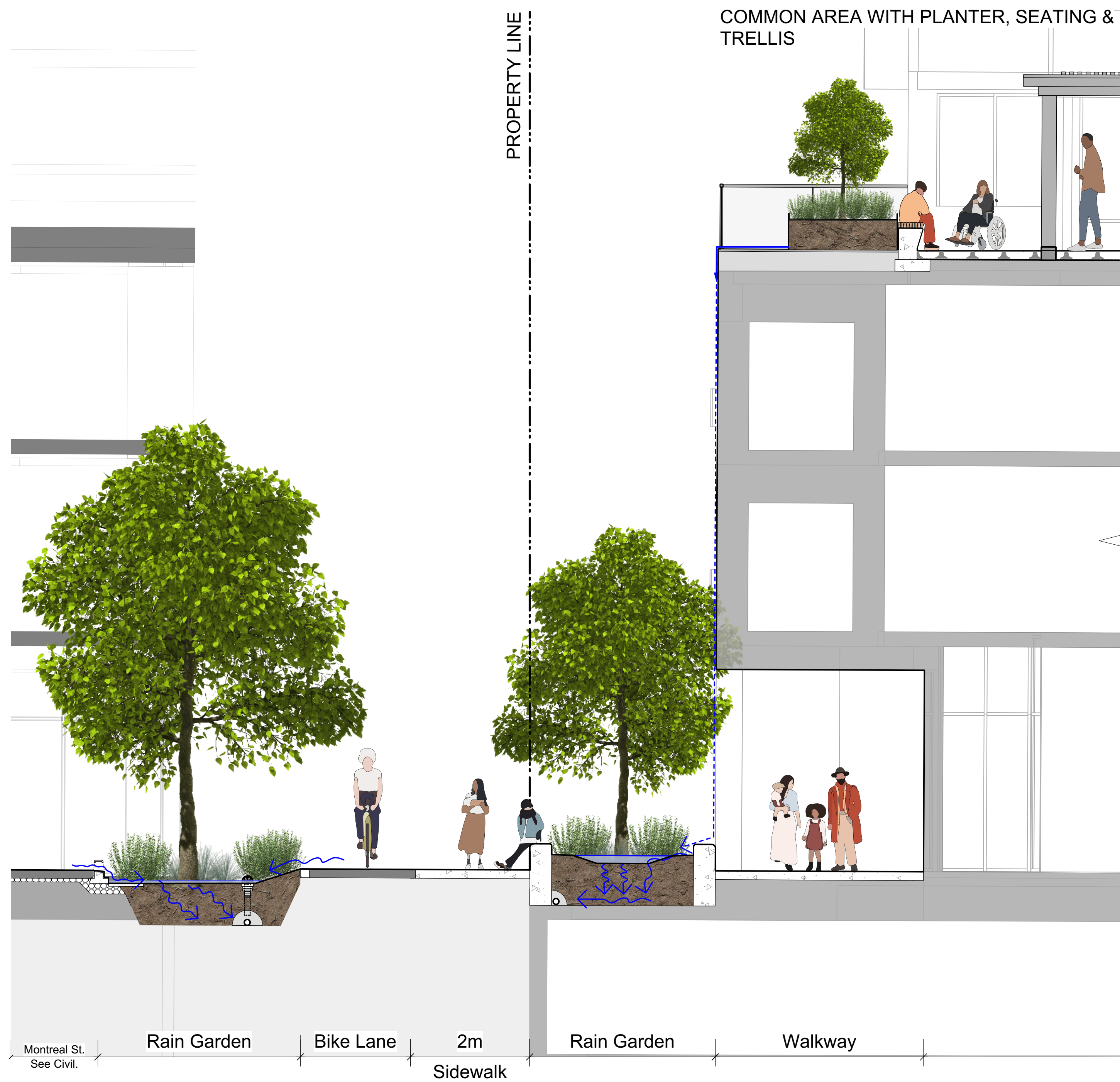
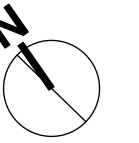
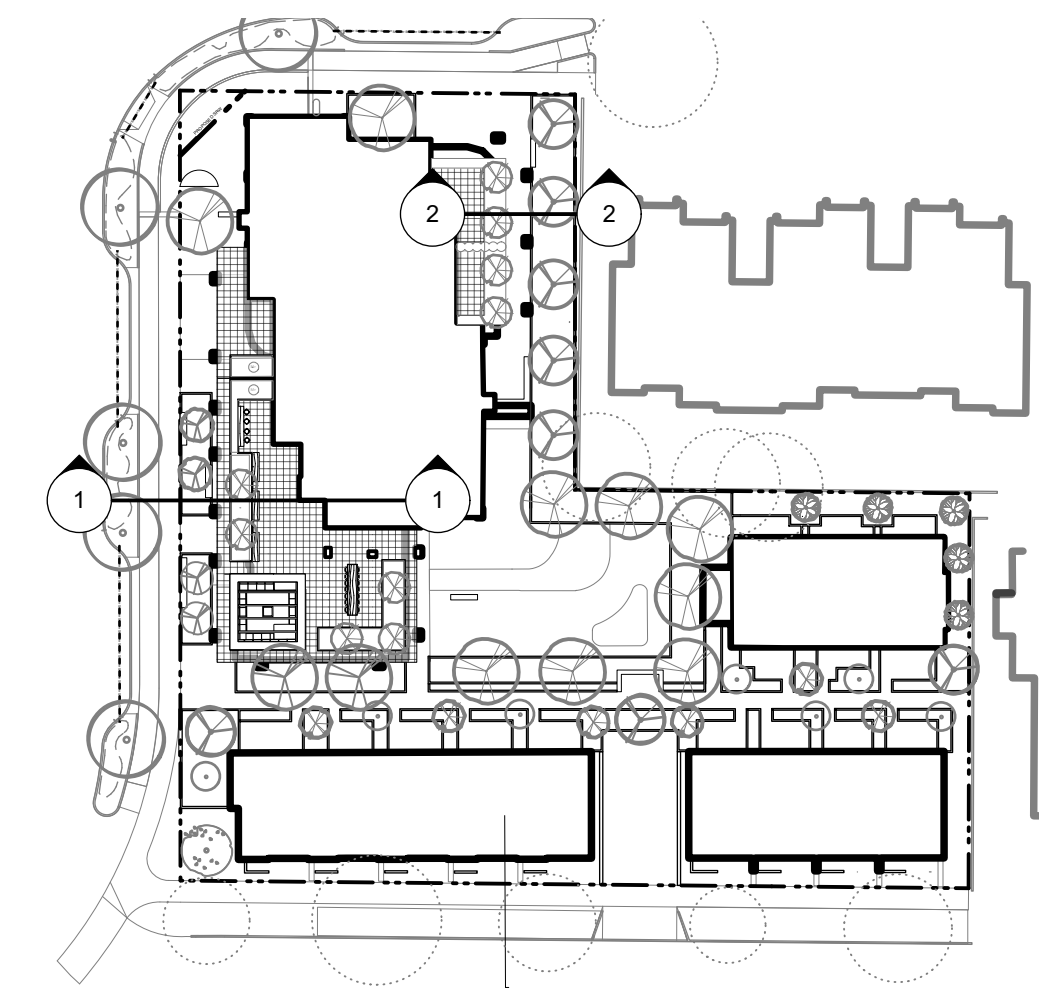


client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

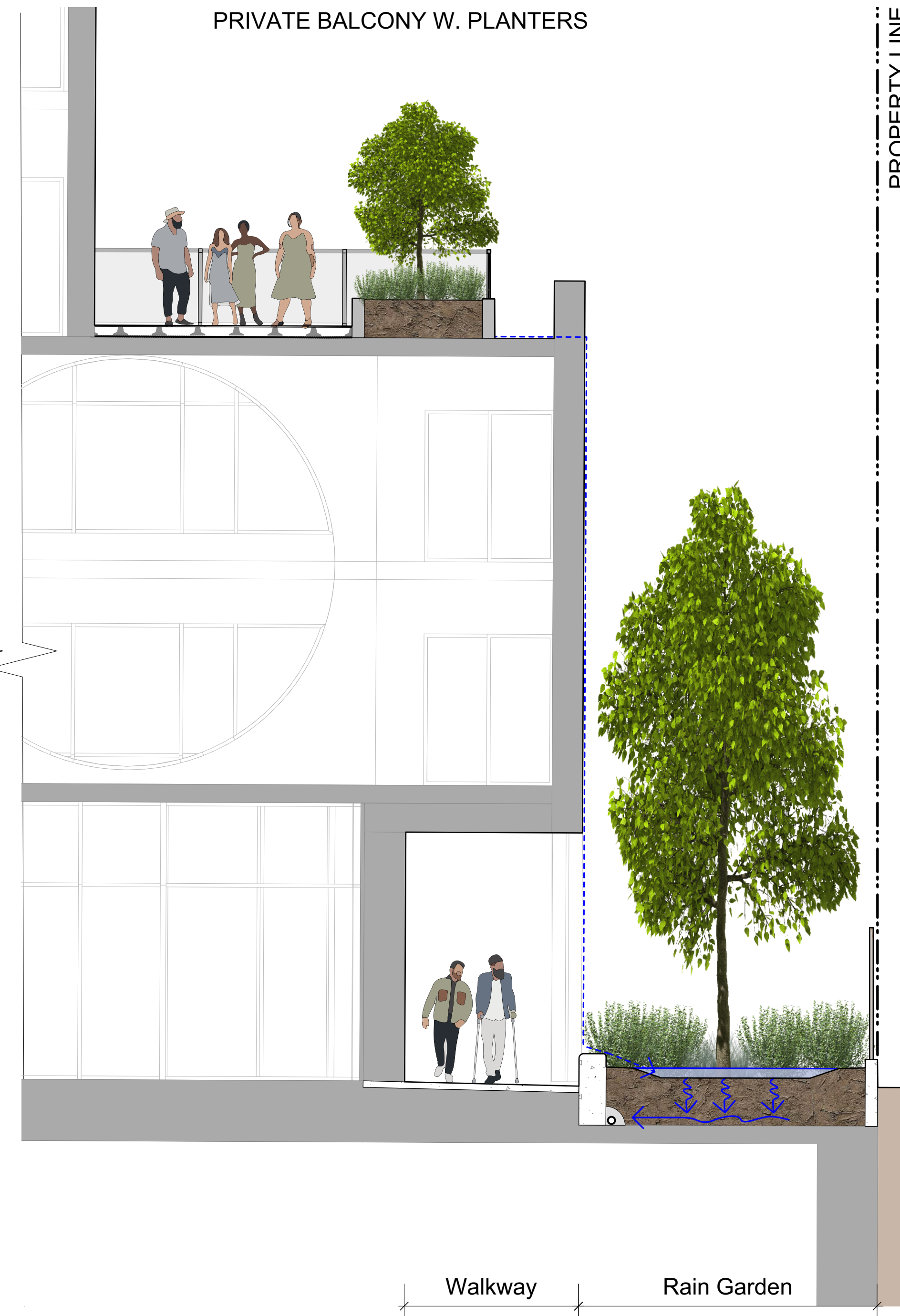
project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
**Landscape
Precedents**

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drawn by	MDI
checked by	SM
revision no.	sheet no.

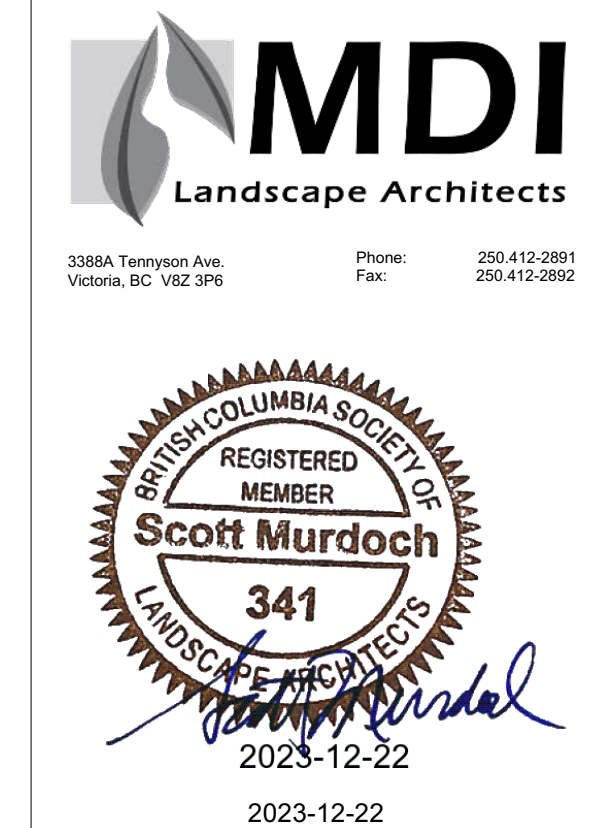


1 Montreal Street Section



2 Section w. Neighbouring Townhomes

8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
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rev no	description	date



client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project

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501-502 MONTREAL ST.
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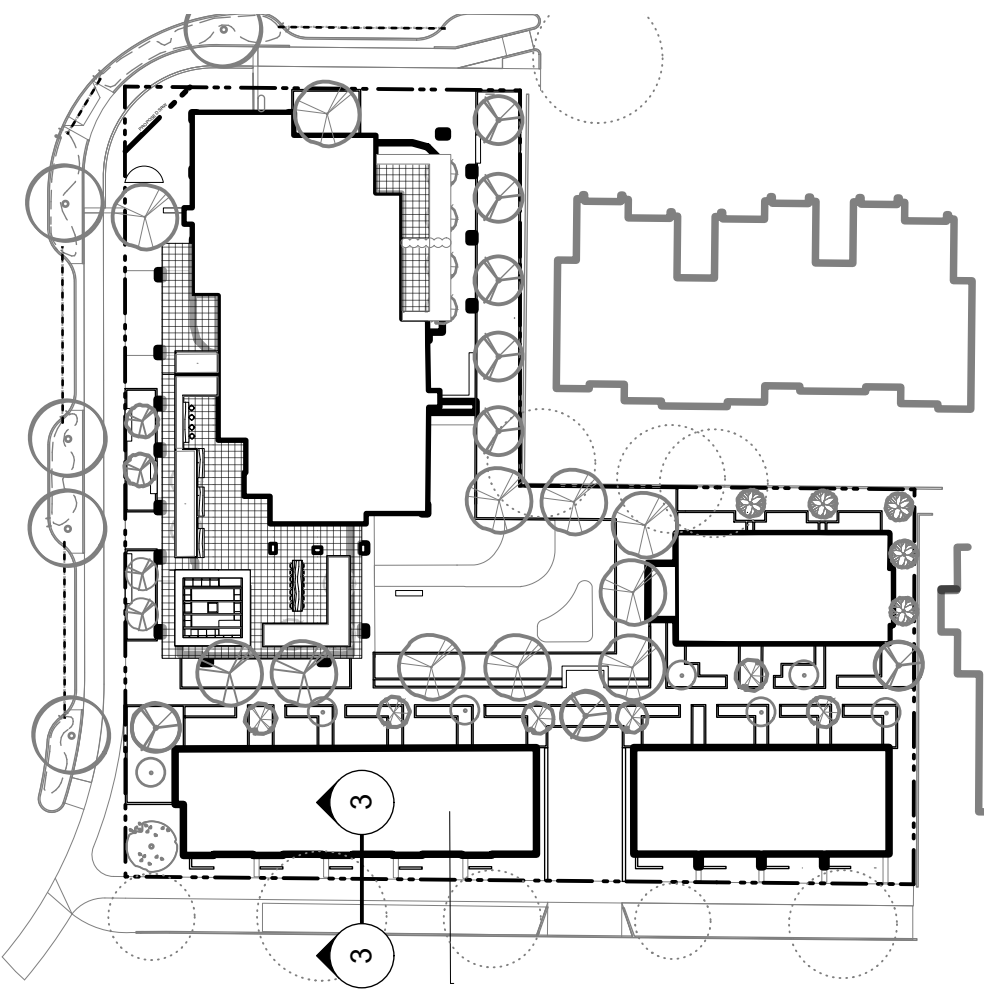
sheet title

**Landscape
Materials - Sections**

project no.	121.23	
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drawn by	MDI	
checked by	SM	
revision no.	sheet no.	
	L1.05	



1 Typical Kingston Street Section

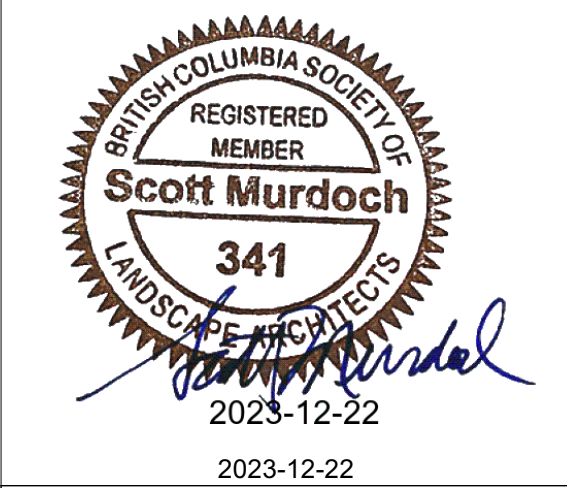


rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
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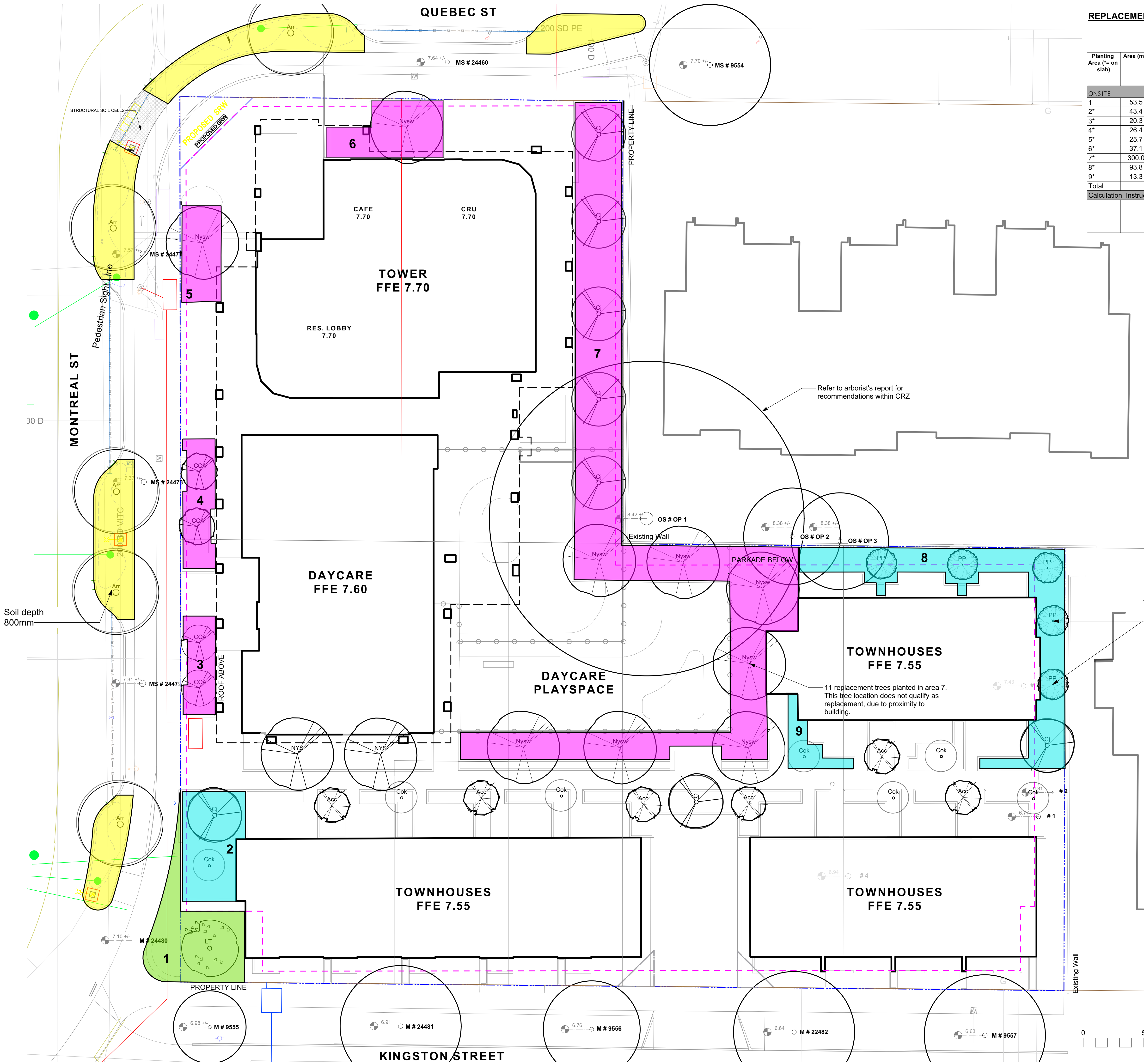
client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
**Landscape
Materials - Sections**

project no.	121.23
scale	1:50 @ 24"x36"
drawn by	MDI
checked by	SM

revision no.	sheet no.
8	L1.06



REPLACEMENT TREE SOIL VOLUME TABLE

				TREES PROPOSED			SOIL VOLUME REQUIRED (m3)			
Planting Area ("= on slab)	Area (m2)	Soil Volume Multiplier	A. Estimated Soil Volume (m3)	B. Small	C. Medium	D. Large	E. Small	F. Medium	G. Large	Total
ONSITE										
1	53.5	1	53.5			1	0	0	30	30
2*	43.4	0.6	26.0	1	1		6	15	0	21
3*	20.3	0.6	12.2	2			12	0	0	12
4*	26.4	0.6	15.8	2			12	0	0	12
5*	25.7	0.6	15.4		1		0	15	0	15
6*	37.1	0.6	22.3		1		0	15	0	15
7*	300.0	0.6	180.0		12		0	180	0	180
8*	93.8	0.6	56.3	5	1		30	15	0	45
9*	13.3	0.6	8.0	1	1		6	15	0	21
Total				11	17	1				
Calculation Instructions							E	F	G	Total
							If B=1, Bx8, If B>1, Bx6	If C=1, Cx20, If C>1, Cx15	If D=1, Dx35, If D>1, Dx30	E+F+G

PROPOSED TREE LIST

Sym	Qty	Botanical Name	Schd. Size	Common Name
Acc	6	Acer circinatum	2.4 m ht, 1.5 width	Vine Maple
Arr	15	Acer rubrum 'Red Sunset'	6.0cm cal, b&b	Red Sunset Red Maple
Cj	9	Cercidiphyllum japonicum	6.0cm cal, b&b	Katsura Tree
CCA	4	Cercis canadensis	5.0cm cal, b&b	Eastern Redbud
Cok	7	Cornus kousa 'Milky Way'	5.0cm cal, b&b	Milky Way Kousa Dogwood
LT	2	Liriodendron tulipifera	6.0cm cal, b&b	Tuliptree
NYS	2	Nyssa sylvatica 'Tupelo Tower'	6.0cm cal, b&b	Tupelo
Nysw	9	Nyssa sylvatica 'Wildfire'	6.0cm cal, b&b	Tupelo
PP	5	Parrotia persica	2.4 m ht, 1.5 width	Persian Ironwood

LEGEND

- Rain Garden over Slab 600mm
- Rain Garden on Grade w. Boulevard 600mm avg (or as specified on plan)
- Planter over Slab or Raised Planter - 600mm
- Tree soil on Grade - 600mm

NOTES

- Small Tree: min 6-8 cubic metres of soil
- Medium Tree: min 15-20 cubic metres of soil
- Large Tree: 30-35 cubic metres of soil

3 small and 1 medium replacement trees planted in area 8. These tree locations do not qualify as replacements, due to proximity to building.

11 replacement trees planted in area 7. This tree location does not qualify as replacement, due to proximity to building.

Refer to arborist's report for recommendations within CRZ

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Scott Murdoch
341
2023-12-22

client

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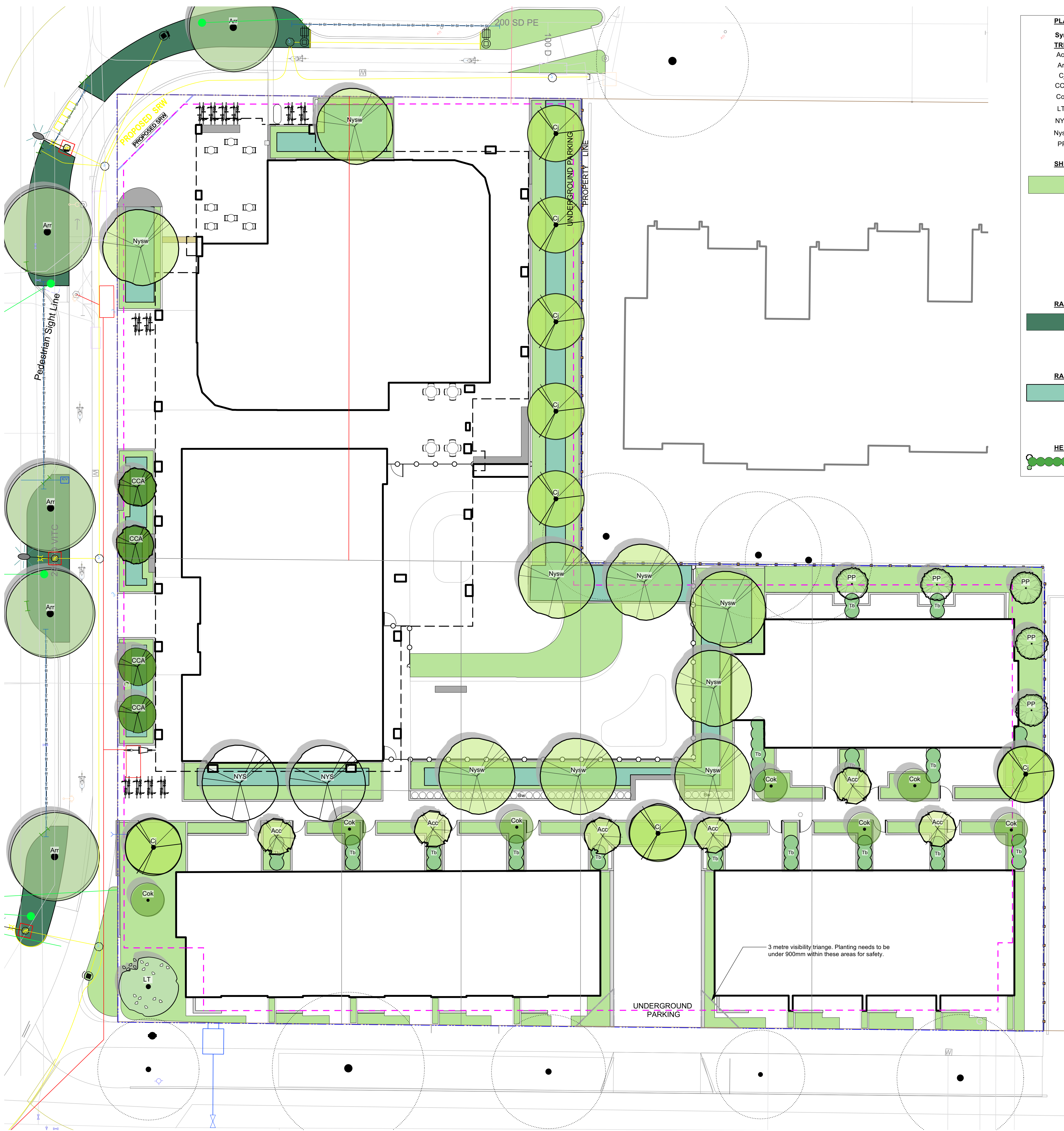
project

QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title

Replacement Tree Plan

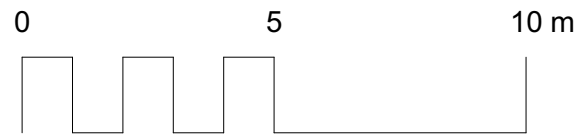
project no.	121.23
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L1.07



PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
Acc	6	Acer circinatum	Vine Maple
Arr	15	Acer rubrum 'Red Sunset'	Red Sunset Red Maple
Cj	9	Cercidiphyllum japonicum	Katsura Tree
CCA	4	Cercis canadensis	Eastern Redbud
Cok	7	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood
LT	2	Liriodendron tulipifera	Tuliptree
NYS	2	Nyssa sylvatica 'Tupelo Tower'	Tupelo
Nysw	9	Nyssa sylvatica 'Wildfire'	Tupelo
PP	5	Parrotia persica	Persian Ironwood
SHRUBS:			
178		Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern
85		Chamaecyparis pisifera 'Sungold'	False Cypress 'Sungold'
43		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood
70		Eupatorium cannabinum	Hemp Agrimony
419		Gaultheria shallon	Salal
503		Liriope muscari	Lily turf
262		Lonicera pileata	Privet Honeysuckle
70		Miscanthus sinensis 'Adagio'	Adagio Maiden Grass
57		Polystichum munitum	Sword Fern
178		Taxus baccata 'Repandens'	English Weeping Yew
130		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry
70		Verberna bonariensis	Purpletop Vervain
RAIN GARDEN PLANTERS STREET:			
356		Juncus 'Carmen's Grey'	Soft Common Rush
356		Carex obnupta	Slough Sedge
71		Gaultheria shallon	Salal
71		Mahonia nervosa	Oregon Grape Holly
43		Spiraea japonica 'Gold Mound'	Gold Mound Spiraea
RAIN GARDEN SITE:			
431		Carex obnupta	Slough Sedge
34		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood
453		Juncus 'Carmen's Grey'	Soft Common Rush
431		Liriope muscari	Lily turf
87		Schizostylis coccinea 'Oregon Sunset'	Crimson Flag
HEDGING/SCREENING:			
35		Buxus microphylla 'Winter Gem'	Littleleaf Boxwood
51		Taxus baccata	English Yew
Schd. Size / Plant Spacing			
		2.4 m ht, 1.5 width	
		6.0cm cal, b&b	
		6.0cm cal, b&b	
		5.0cm cal, b&b	
		5.0cm cal, b&b	
		6.0cm cal, b&b	
		6.0cm cal, b&b	
		6.0cm cal, b&b	
		2.4 m ht, 1.5 width	

REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.



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client

Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project

QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title

**Planting Plan -
Ground Level**

project no.

121.23

scale

1: ### @ 24"x36"

drawn by

MDI

checked by

SM

revision no.

sheet no.

8

L3.01



PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
Acc	4	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
Ajv	5	Acer japonicum 'Vitifolium'	Japanese Maple	1.8 m height, specimen quality
Mr	2	Magnolia stellata 'Royal Star'	Royal Star Magnolia	1.2m b&b
SHRUBS & PERENNIALS				
	24	Abelia x grandiflora 'Prostrata'	Prostrate White Abelia	#2 pot
	32	Cistus x corbariensis	Rock Rose	#1 pot
	35	Eriophyllum lanatum	Wooly Sunflower	#1 pot
	107	Hebe topiaria	Topiartist's hebe	#1 pot
	63	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot
	107	Mahonia repens	Prostrate Oregon Grape	#1 pot
	16	Nepeta x faassenii	Catmint	Sp3
	16	Rosmarinus officinalis	Rosemary	#2 pot
	16	Salvia officinalis	Culinary Sage	#1 pot
	24	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
	0			
EVERGREEN HEDGE:				
	6	Taxus baccata 'Repandens'	English Weeping Yew	#3 pot

REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.

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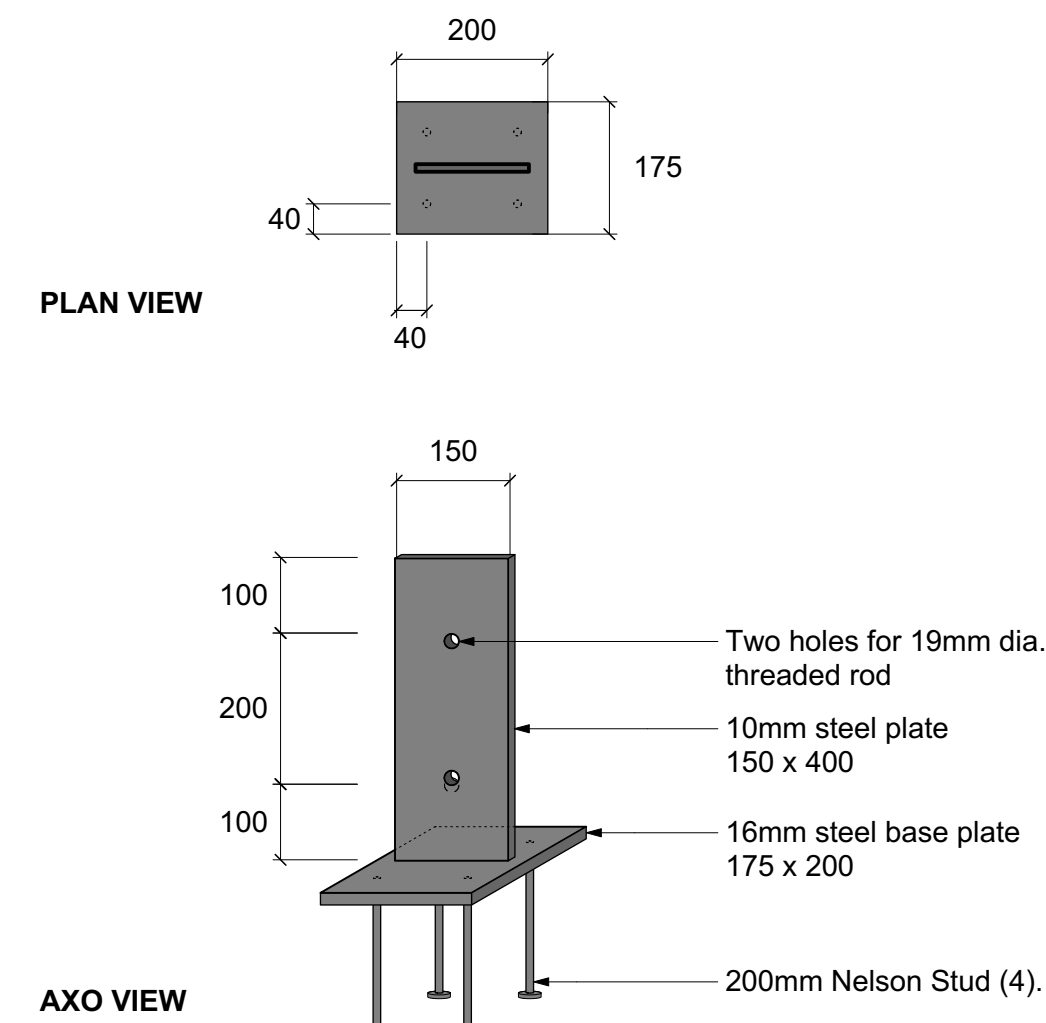
2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Planting Plan - Level 4

project no.	121.23
scale	1: ### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.



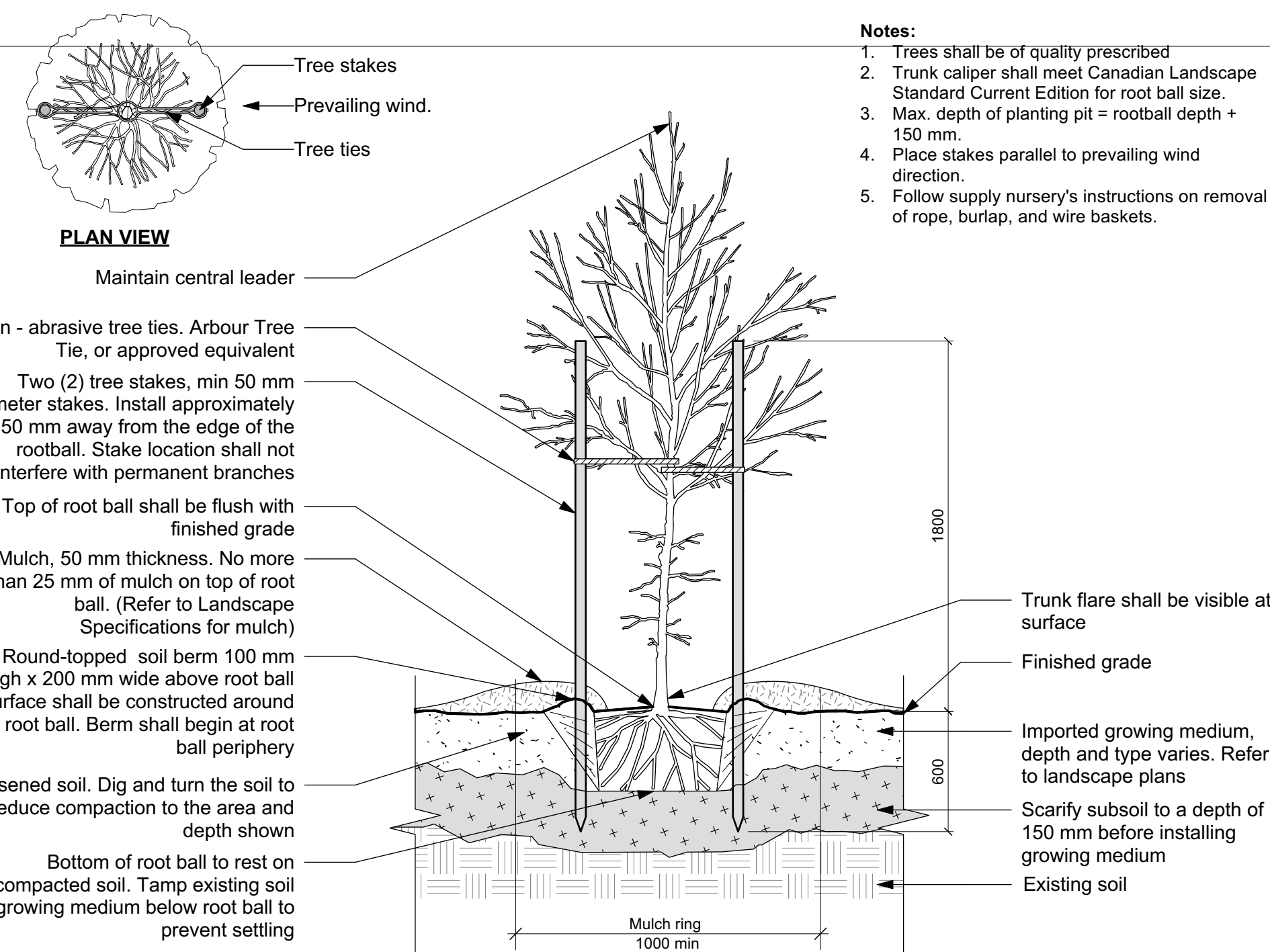
1. All fasteners to be galvanized only.
2. All lumber to be locally sourced Western Red Cedar (except Posts).
3. Coating system to be Sikkens - SRD. Colour to complement Architectural palette. Final selection to be confirmed by LA prior to application.

1. All steel to be galvanized only.

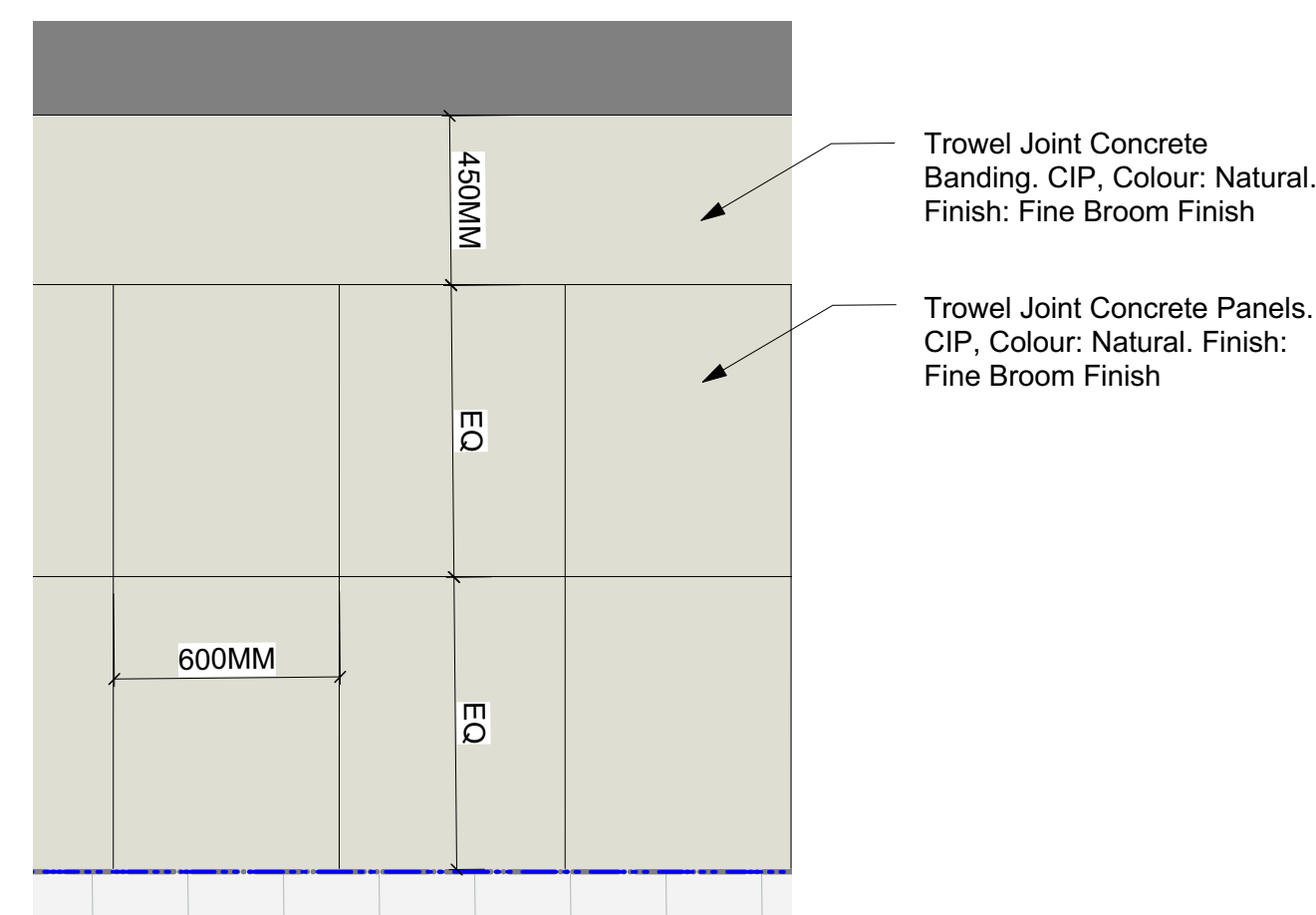
1. Subgrade shall be sloped to drain with perforated pipe. Min. 0.5%.
2. Planting areas shall be mulched 50 mm depth.
3. Finish grade of mulch to be 25 mm below sidewalk.

- 100 mm Perforated PVC pipe, see landscape plans for pipe location. Install at 0.5% slope in drain rock (20mm dia.) Depth of drain rock below pipe shall be 100 mm min. Cover pipe with min. 50 mm pea gravel

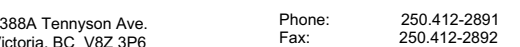
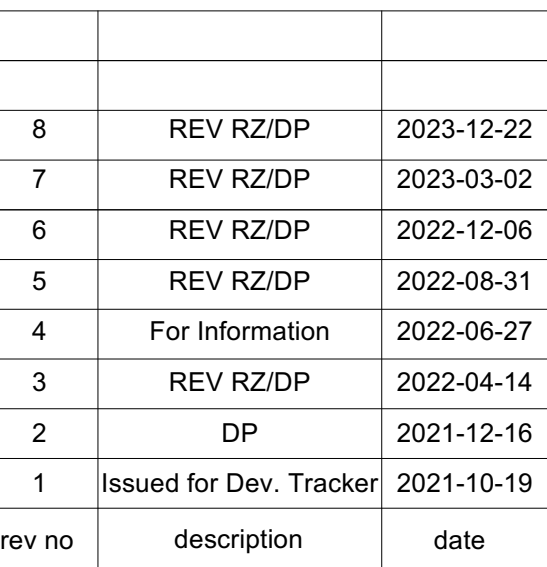
2 Fence Post Knife Plate
Scale: 1:10



5 Tree Planting Detail on Grade
Scale: 1:25



7 City of Victoria Paving Detail
Scale: 1:20



project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

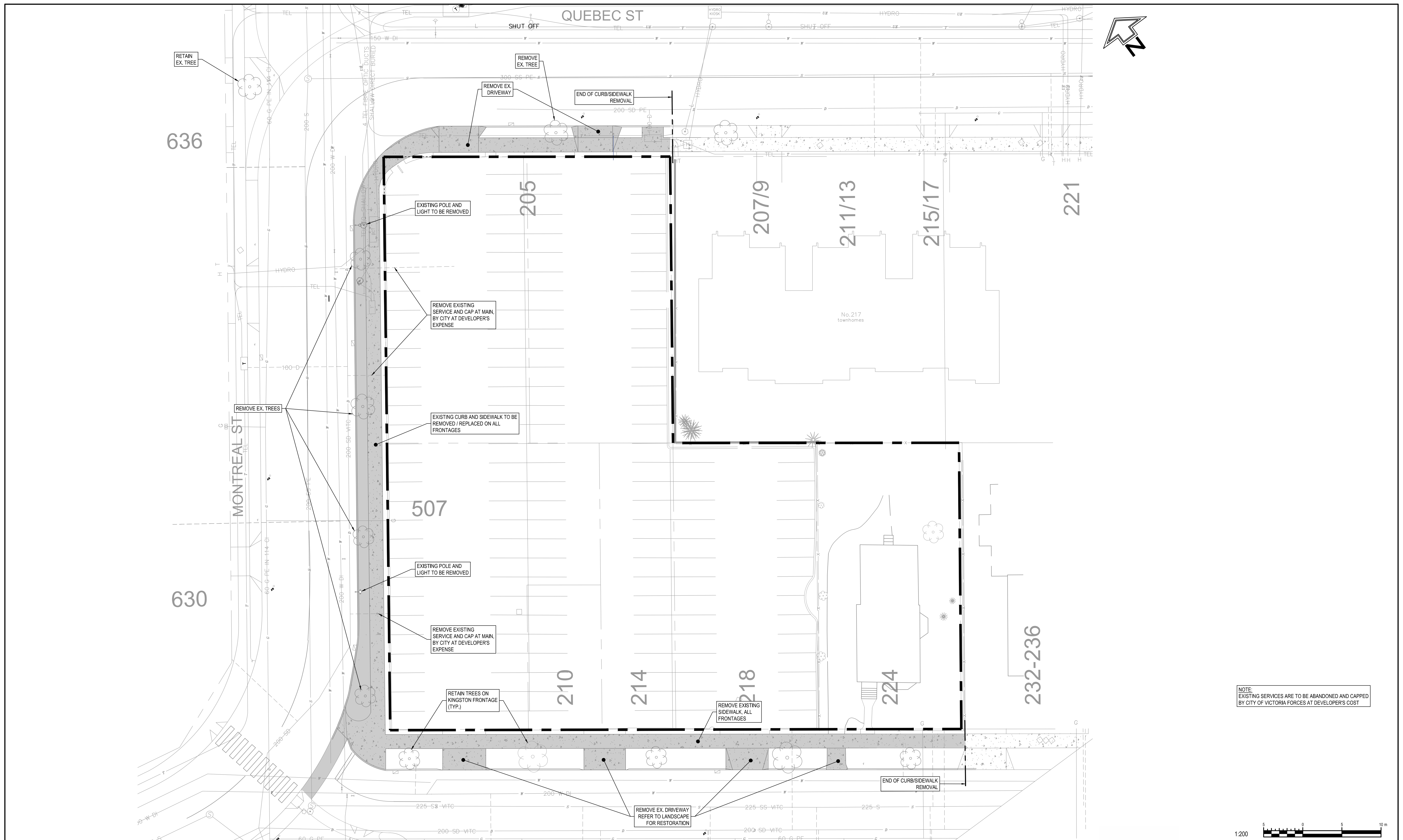
Landscape Details

checked by SM

1.4.01

L4.01

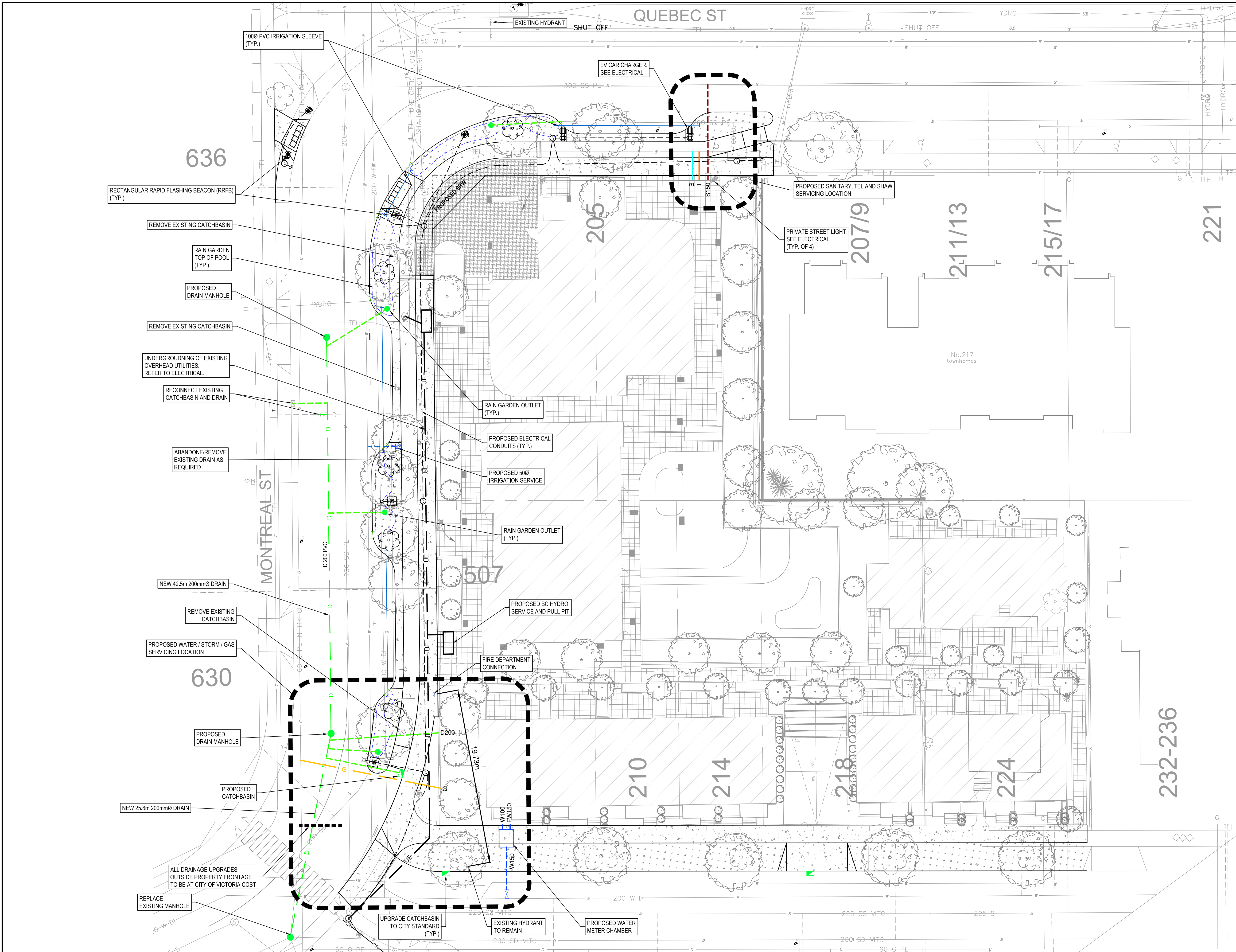
ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.



NOTE:
EXISTING SERVICES ARE TO BE ABANDONED AND CAPPED
BY CITY OF VICTORIA FORCES AT DEVELOPER'S COST

1:200

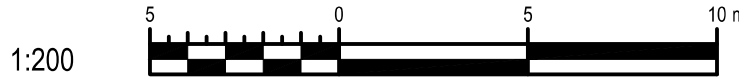
LEGEND										ENGINEERING AND PUBLIC WORKS			GENERAL NOTES			PROFESSIONAL SEAL	PROJECT KINGSTON RESIDENTIAL/CONCEPTUAL SITE DEMOLITION							
SURFACE DETAIL																	CHECKED BY		CITY ENGINEER		APPROVED BY:		SCALE	
Ⓢ STORM DRAIN MANHOLE																	J. SOMERVILLE		R. KENNY		—		AS SHOWN	
Ⓢ STORM DRAIN VENT																	DRAWN BY		DESIGN BY		SHT. No.		DATE	
Ⓢ CATCH BASIN																	S. GAGNON		J. SOMERVILLE		1 OF 3		21.12.13	
Ⓢ DRAIN CLEANOUT																								
Ⓢ DRAIN LATERAL																								
Ⓢ SANITARY SEWER MANHOLE																	Engineers and Geoscientists BC Permit to Practice #1000200							
Ⓢ SANITARY SEWER VENT																								
Ⓢ SEWER CLEANOUT																								
																2023-12-21								
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NOTE:
IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH
MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER,
BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT), CALL
CITY OF VICTORIA PARKS 250-361-0600 MIN. 2 DAYS IN ADVANCE TO ARRANGE
FOR IRRIGATION INSPECTIONS.

SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST (\$) ¹
Water	150mm	City of Victoria	City of Victoria	At cost
Water (boulevard irrigation)	³ Unconfirmed	City of Victoria	City of Victoria	At cost
Sanitary	150mm	City of Victoria	City of Victoria	At cost
Storm drain	200mm	City of Victoria	City of Victoria	At cost
Gas	² Unconfirmed	Fortis	Utility Contractor	Based on size
Hydro	² Unconfirmed	BC Hydro	Utility Contractor	Based on size
Communications	² Unconfirmed	Telus/Shaw	Utility Contractor	Based on size

¹ City of Victoria Schedule of fees for Service Connections Provided in Appendix A
² Design loads and service size to be confirmed by Mechanical and Electrical consultants during detailed design stage.
³ Service size to be confirmed by Landscape consultants during detailed design stage.



SURFACE DETAIL

- Ⓢ STORM DRAIN MANHOLE
- Ⓟ STORM DRAIN VENT
- Ⓢ CATCH BASIN
- Ⓢ DRAIN CLEANOUT
- Ⓢ DRAIN LATERAL
- Ⓢ SANITARY SEWER MANHOLE
- Ⓢ SANITARY SEWER VENT
- Ⓢ SEWER CLEANOUT
- Ⓢ HYDRO MANHOLE
- Ⓢ HYDRO POLE
- Ⓢ HYDRO POLE WITH DIP
- Ⓢ JOINT POLE
- Ⓢ HYDRO POLE WITH LIGHT
- Ⓢ HYDRO SERVICE BOXES
- Ⓢ HYDRO VAULT

SEWER LATERAL

- Ⓢ WATER VALVE ON MAIN
- Ⓢ WATER SERVICE VALVE
- Ⓢ WATER METER
- Ⓢ BOULEVARD SERVICE
- Ⓢ FIRE HYDRANT
- Ⓢ REDUCER
- Ⓢ LIGHT MANHOLE
- Ⓢ LIGHT PULL BOX - SIDEWALK

TEL MANHOLE

- Ⓢ TEL POLE
- Ⓢ TEL POLE WITH DIP
- Ⓢ TEL POLE WITH LIGHT
- Ⓢ TEL SERVICE BOXES
- Ⓢ TEL VAULT
- Ⓢ POLE ANCHOR
- Ⓢ HYDRO/TEL POLE TO BE RELOCATED

SIGNAL PULL BOX - SIDEWALK

- Ⓢ LIGHT/SIGNAL PULL BOX - STREET
- Ⓢ SIGNAL POLE (STEEL)
- Ⓢ LIGHT/SIGNAL POLE (STEEL)
- Ⓢ CLUSTER LAMP - TYPE A
- Ⓢ CLUSTER LAMP - TYPE B
- Ⓢ STREET SIGN
- Ⓢ PARKING METER

HYDRO/TEL POLE TO BE REMOVED

- Ⓢ GAS METER
- Ⓢ GAS VALVE
- Ⓢ GAS SNIFFER
- Ⓢ TEST HOLE
- Ⓢ FENCE LINE
- Ⓢ RETAINING WALL
- Ⓢ TREE
- Ⓢ ROCK OUTCROP

ENGINEERING AND PUBLIC WORKS

3	REZONING/DP REISSUE 2	2023.12.22
2	REZONING/DP RESUBMISSION	2022.04.14
1	ISSUED FOR REZONING	2021.02.28
NO.	REVISION DESCRIPTION	DATE

GENERAL NOTES

MC - MOUNTABLE CURB
NMC - NON MOUNTABLE CURB
IG - INVERT GUTTER

PROFESSIONAL SEAL

2023-12-21

PROJECT

KINGSTON RESIDENTIAL/CONCEPTUAL SITE SERVICING PLANT

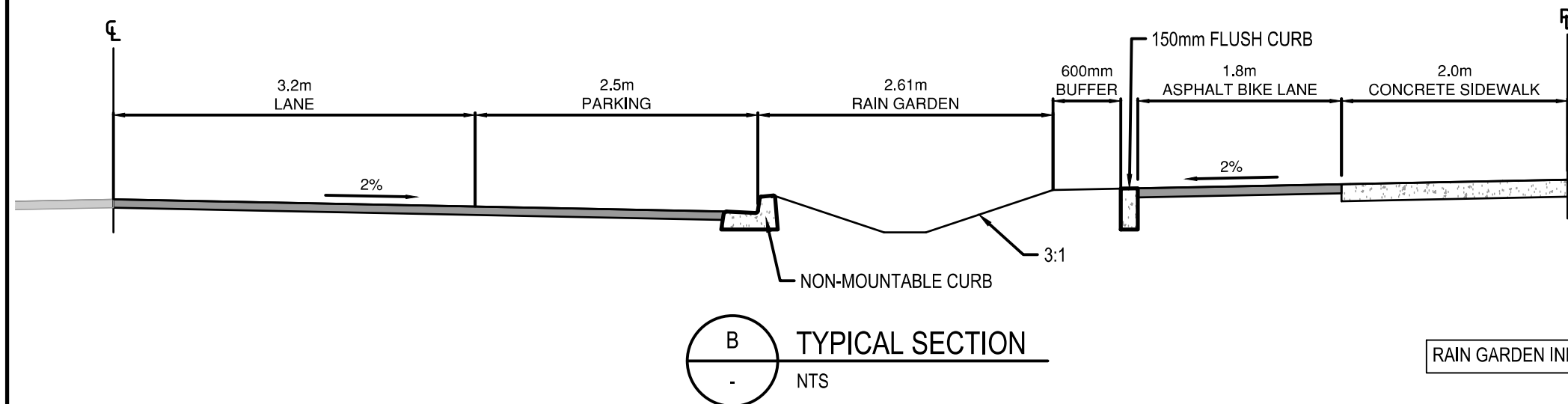
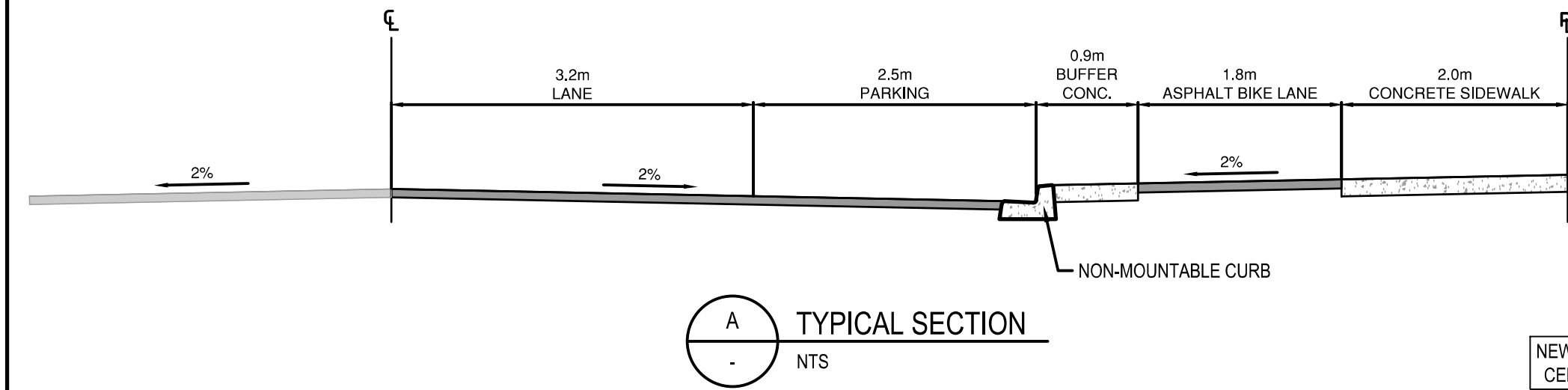
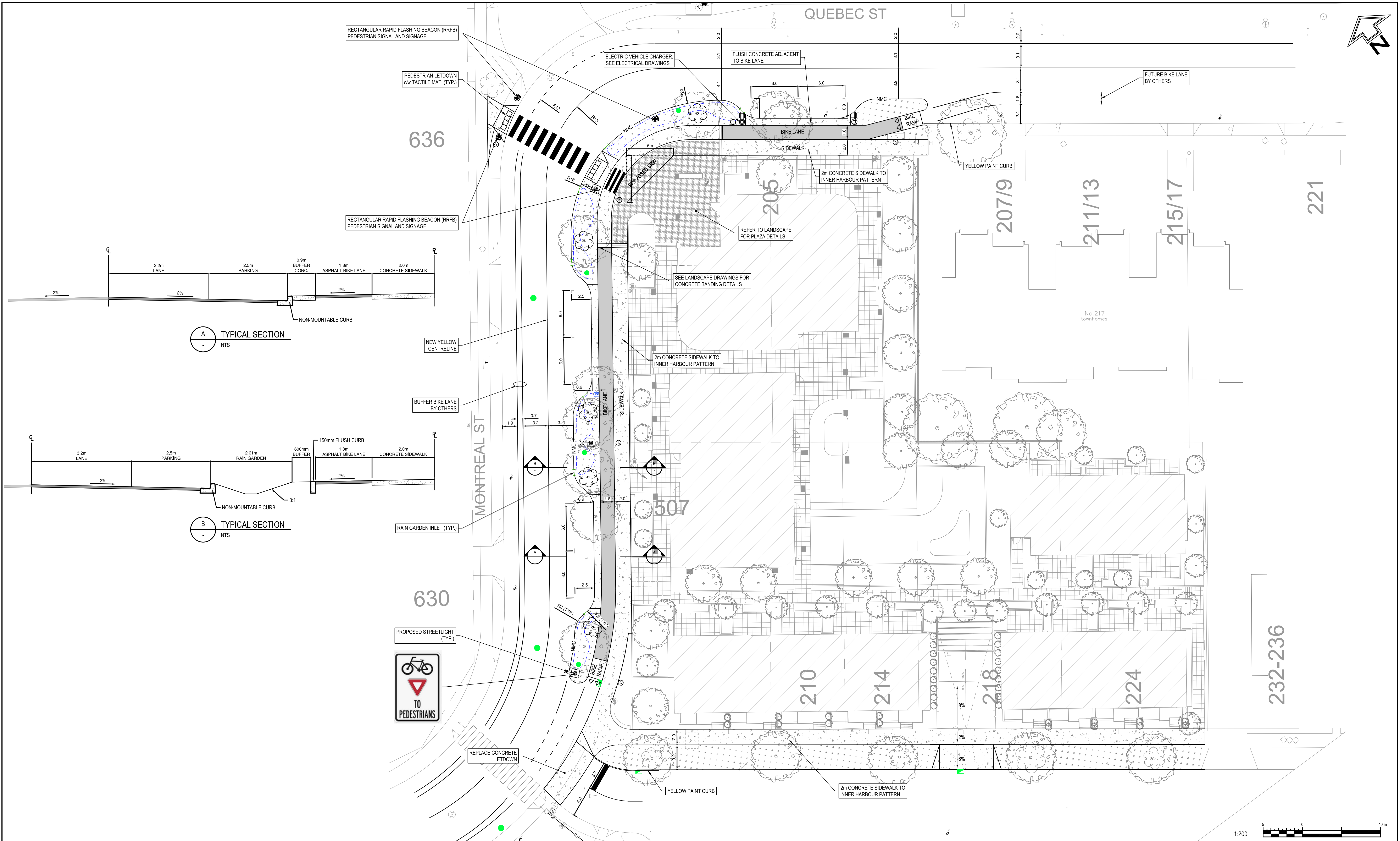
CHECKED BY J. SOMERVILLE	CITY ENGINEER R. KENNY	APPROVED BY: —	SCALE AS SHOWN
DRAWN BY S. GAGNON	DESIGN BY J. SOMERVILLE	SHT. No. 2 OF 3	DATE 21.12.13

2023-12-21

C2.0

DRAWING NUMBER

Engineers and Geoscientists BC
Permit to Practice #1000200



SURFACE DETAIL

- Ⓢ STORM DRAIN MANHOLE
- Ⓢ STORM DRAIN VENT
- Ⓢ CATCH BASIN
- Ⓢ DRAIN CLEANOUT
- Ⓢ DRAIN LATERAL
- Ⓢ SANITARY SEWER MANHOLE
- Ⓢ SANITARY SEWER VENT
- Ⓢ SEWER CLEANOUT

- Ⓢ HYDRO MANHOLE
- Ⓢ HYDRO POLE
- Ⓢ HYDRO POLE WITH DIP
- Ⓢ JOINT POLE
- Ⓢ HYDRO POLE WITH LIGHT
- Ⓢ HYDRO SERVICE BOXES
- Ⓢ HYDRO VAULT

- Y SEWER LATERAL
- Ⓢ WATER VALVE ON MAIN
- Ⓢ WATER SERVICE VALVE
- Ⓢ WATER METER
- Ⓢ BOULEVARD SERVICE
- Ⓢ FIRE HYDRANT
- Ⓢ REDUCER
- Ⓢ LIGHT MANHOLE
- Ⓢ LIGHT PULL BOX - SIDEWALK

LEGEND

- Ⓢ TEL MANHOLE
- Ⓢ TEL POLE
- Ⓢ TEL POLE WITH DIP
- Ⓢ TEL POLE WITH LIGHT
- Ⓢ TEL SERVICE BOXES
- Ⓢ TEL VAULT
- Ⓢ POLE ANCHOR
- Ⓢ HYDRO/TEL POLE TO BE RELOCATED

- Ⓢ SIGNAL PULL BOX - SIDEWALK
- Ⓢ LIGHT/SIGNAL PULL BOX - STREET
- Ⓢ LIGHT POLE (STEEL)
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- Ⓢ RETAINING WALL
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ENGINEERING AND PUBLIC WORKS

NO.	REVISION DESCRIPTION	DATE
3	REZONING/DP REISSUE 2	2023.12.22
2	REZONING/DP RESUBMISSION	2022.04.14
1	ISSUED FOR REZONING	2021.02.28

GENERAL NOTES

- MC - MOUNTABLE CURB
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PROFESSIONAL SEAL

2023-12-21

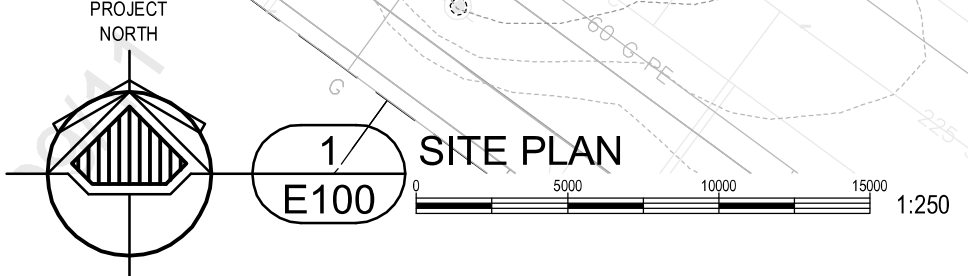
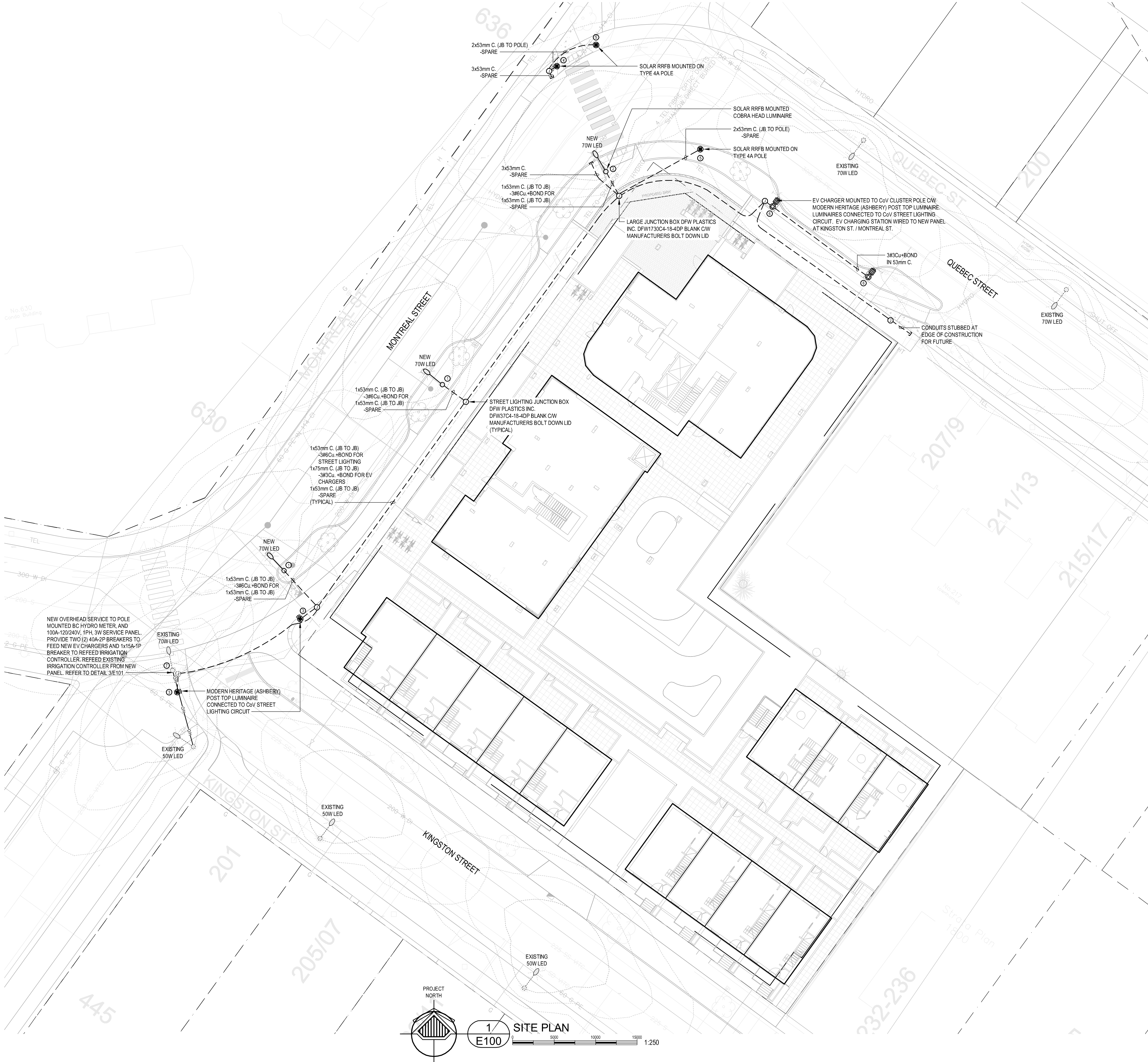
Engineers and Geoscientists BC
Permit to Practice #1000200

PROJECT KINGSTON RESIDENTIAL/CONCEPTUAL SITE SURFACE WORKS			
CHECKED BY J. SOMERVILLE	CITY ENGINEER R. KENNY	APPROVED BY -	SCALE AS SHOWN
DRAWN BY S. GAGNON	DESIGN BY J. SOMERVILLE	SHT. No. 3 OF 3	DATE 21.12.13

C3.0
DRAWING NUMBER

OFF-SITE ELECTRICAL SPECIFICATIONS

- 16010 - DEVELOPERS SCOPE
1. Provide all items, material, equipment and labour required to complete the work or operations mentioned herein or indicated on the drawings.
 2. Pay for all associated fees such as electrical permits, and inspection services by the Provincial Inspection Branch
- 16011 - DISCREPANCY
1. Carefully examine all plans and specifications pertaining to this contract and visit site to determine all factors affecting costs and include in contract sum. Notify engineer of discrepancies or conflicting information before submitting price. Failing such notification, this contractor shall meet all such requirements without extra cost to the owner.
- 16012 - COORDINATION
1. Consult with all other trades to confirm locations of equipment, underground utilities and BC Hydro pad mount transformers, and cooperate with all trades to ensure progress of installation without conflict. In case of difference of opinion, refer the matter to the Engineer for final decision.
 2. The contractor is responsible for coordination of signal works including poles, bases, junction boxes and City forces staff time at the developers expense.
- 16013 - CODES AND PERMITS
1. All work shall be in accordance with the current edition of the Canadian Electrical Code as amended and adapted by the Province of British Columbia. Obtain all necessary permits and licenses and pay all fees in connection with the work.
 2. All underground work to be inspected by City of Victoria Electrical Inspector prior to covering.
- 16014 - WORKMANSHIP
1. Carry out all work in a neat and workmanlike manner to the engineer's satisfaction.
 2. Provide engineer with a minimum 5 business days notice prior to covering any portion of the electrical system. After engineer has reviewed the site, correct any deficiencies in the work to the satisfaction of the engineer.
 3. Provide engineer with a minimum 5 business days notice prior to project completion. After engineer has reviewed the site, correct any deficiencies in the work to the satisfaction of the engineer.
- 16015 - C.S.A.
1. All electrical material, equipment and fittings must bear evidence of C.S.A. approval or special certifications acceptable to the Chief Electrical Inspector. Unapproved items shall be immediately returned to the supplier in exchange for approved items.
- 16016 - EQUIPMENT/DEVICES
1. All equipment shall be installed as shown on plans and details.
 2. Street lighting system shall consist of a complete operating system, including but not necessarily limited to; luminaires, poles, concrete bases, anchor bolts, conduit, wire, in-line fuses, and all other equipment shown on plans.
- 16017 - INTERRUPTIONS
1. Ensure that existing services of any kind are not unduly disturbed and/or interrupted by this installation. Coordinate service interruptions with the Engineer.
 2. Lighting must be maintained during construction. Two lights in a row cannot be out at the same time without prior written approval from the city.
- 16018 - EXTRAS
1. Obtain an official written work order before the start of extra work. No claim shall be raised without such written work order.
 2. No extra will be allowed on this contract due to lack of proper survey of existing conditions by this contractor.
- 16019 - AS-BUILT DRAWINGS
1. Keep a set of white prints and make all changes in red. Make this set of prints available to the engineer at any time. Submit the set of as-built drawings to the electrical engineer at the time of the final inspection.
 2. Should the contractor require the electrical consultant to prepare the as-built bond or cad disk, the cost would be \$275 per plan, unless excessive changes have been required costs associated with such excessive changes should be included with the change orders.
- 16020 - CONDUIT AND BOXES
1. All conduit to be RPVC as indicated. All connectors and coupling shall be installed as per manufactures instructions. All conduits to have bell ends installed prior to pulling conductors.
 2. All unused conduits to be complete with pull strings and capped in junction boxes.
 3. Junction box lid to be secured with manufactures provided material.
- 16021 - CONDUCTORS
1. Shall be sized to not exceed a voltage drop of 5% over the length of the run.
 2. Shall be standard copper, with RW-90 (x-link) insulation. Minimum sizes to be as follows:
#6 AWG - for incoming Hydro
#6 AWG - for feeder runs
#10 AWG - for run between junction box and pole
#12 AWG - in pole
#14 AWG - for control
- 16022 - FUSES
1. Each luminaire shall be protected by a 2-5 amp HRC fuse with HEB waterproof fuse holders located inside the hand hold of each pole. Conductors shall allow for the fuse holder to be removed from the pole base for maintenance.
- 16023 - JUNCTION BOXES
1. Junction Boxes to be DFW 37C4-18-4DP-Blank or DFW 173C4-18-4DP-Blank.
- 16024 SHOP DRAWINGS
1. The electrical contractor is to submit to the engineer, for review, shop drawings for signal equipment.
 2. All drawings are to be submitted in true digital PDF format (no scans) and a reviewed copy will be returned to the coordinating professions for distribution to the electrical trade.
 3. The engineer's review of shop drawings is to be for general design only and will not relieve the electrical trade or suppliers from responsibility for errors, proper fitting, construction of work, and furnishing of materials. Review will not be construed as approving departures from contract document requirements if such departures are not specifically noted. The electrical trade is responsible for verifying all dimensions.

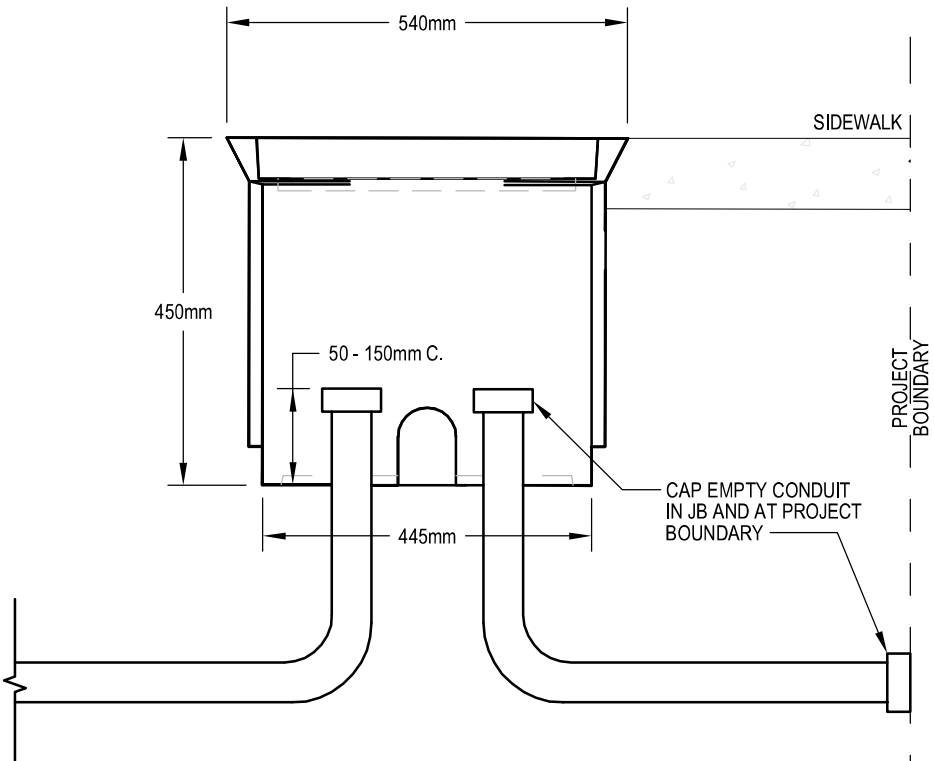


ELECTRICAL SYMBOL LEGEND	
NOTE	EQUIPMENT SHOWN DOTTED IS EXISTING AND TO REMAIN UNLESS INDICATED OTHERWISE
	POLE LUMINAIRE
	DAVIT ARM MOUNTED LUMINAIRE
	JUNCTION BOX
CCT-#	DENOTES CIRCUIT

ILLUMINATION DESIGN CRITERIA		
	DESIGN REQUIREMENTS	DESIGN ACHIEVED
STREET NAME	QUEBEC	
PEDESTRIAN CONFLICT	HIGH	
ROAD CLASSIFICATION	COLLECTOR	
ILLUMINANCE LEVEL (AVG)	10.0 lux	11.0 lux
ILLUMINANCE UNIFORMITY RATIO (AVG/MIN)	4.0:1	2.8:1

ILLUMINATION DESIGN CRITERIA		
	DESIGN REQUIREMENTS	DESIGN ACHIEVED
STREET NAME	MONTREAL	
PEDESTRIAN CONFLICT	HIGH	
ROAD CLASSIFICATION	COLLECTOR	
ILLUMINANCE LEVEL (AVG)	10.0 lux	15.0 lux
ILLUMINANCE UNIFORMITY RATIO (AVG/MIN)	4.0:1	3.0:1

ILLUMINATION DESIGN CRITERIA		
	DESIGN REQUIREMENTS	DESIGN ACHIEVED
STREET NAME	KINGSTON	
PEDESTRIAN CONFLICT	HIGH	
ROAD CLASSIFICATION	COLLECTOR	
ILLUMINANCE LEVEL (AVG)	10.0 lux	10.0 lux
ILLUMINANCE UNIFORMITY RATIO (AVG/MIN)	4.0:1	2.5:1



- NOTES:
1. STREET LIGHTING (SMALL JUNCTION BOX) - DFW PLASTICS INC. DFW37C4-18-4DP BLANK C/W MANUFACTURERS BOLT DOWN LID.
 2. TRAFFIC SIGNALS (LARGE JUNCTION BOX) - DFW PLASTICS INC. DFW173C4-18-4DP. JUNCTION BOX SHALL BE SECURED WITH MANUFACTURERS LID SUPPLIED DEVICE.

2 JUNCTION BOX DETAIL
E100 NOT TO SCALE

ENGINEERING AND PUBLIC WORKS

3

2

1

NO.

REVISION DESCRIPTION

DATE

DEVELOPMENT PERMIT RE-SUBMISSION

DEVELOPMENT PERMIT RE-SUBMISSION

DEVELOPMENT PERMIT RE-SUBMISSION

DEC. 21/23

DEC. 6/22

APR. 14/22

GENERAL NOTES

Permit to Install and Locate

2023-12-21

PROJECT KINGSTON & MONTREAL 205 QUEBEC ST., VICTORIA, BC
OFFSITE LIGHTING DESIGN & DETAILS

CHECKED BY B. KLEAR

CITY ENGINEER -

DESIGN BY S. SEYMOUR

DESIGN BY S. SEYMOUR

SHR. No. 1 of 2

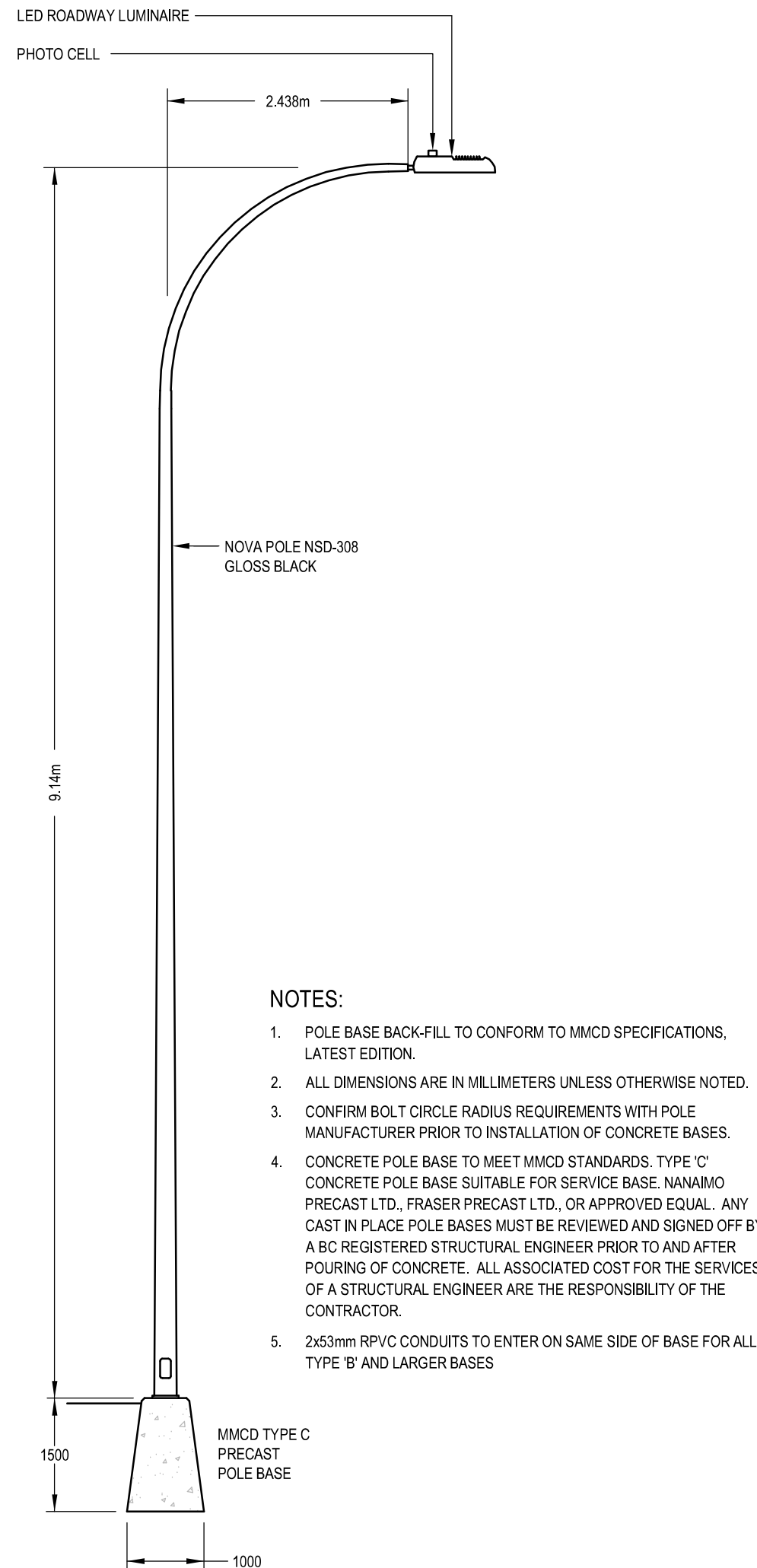
DATE DECEMBER 2023

250-759-0500 (toll-free) 250-381-1878 (local)
250.381.8333 | www.aesbc.com

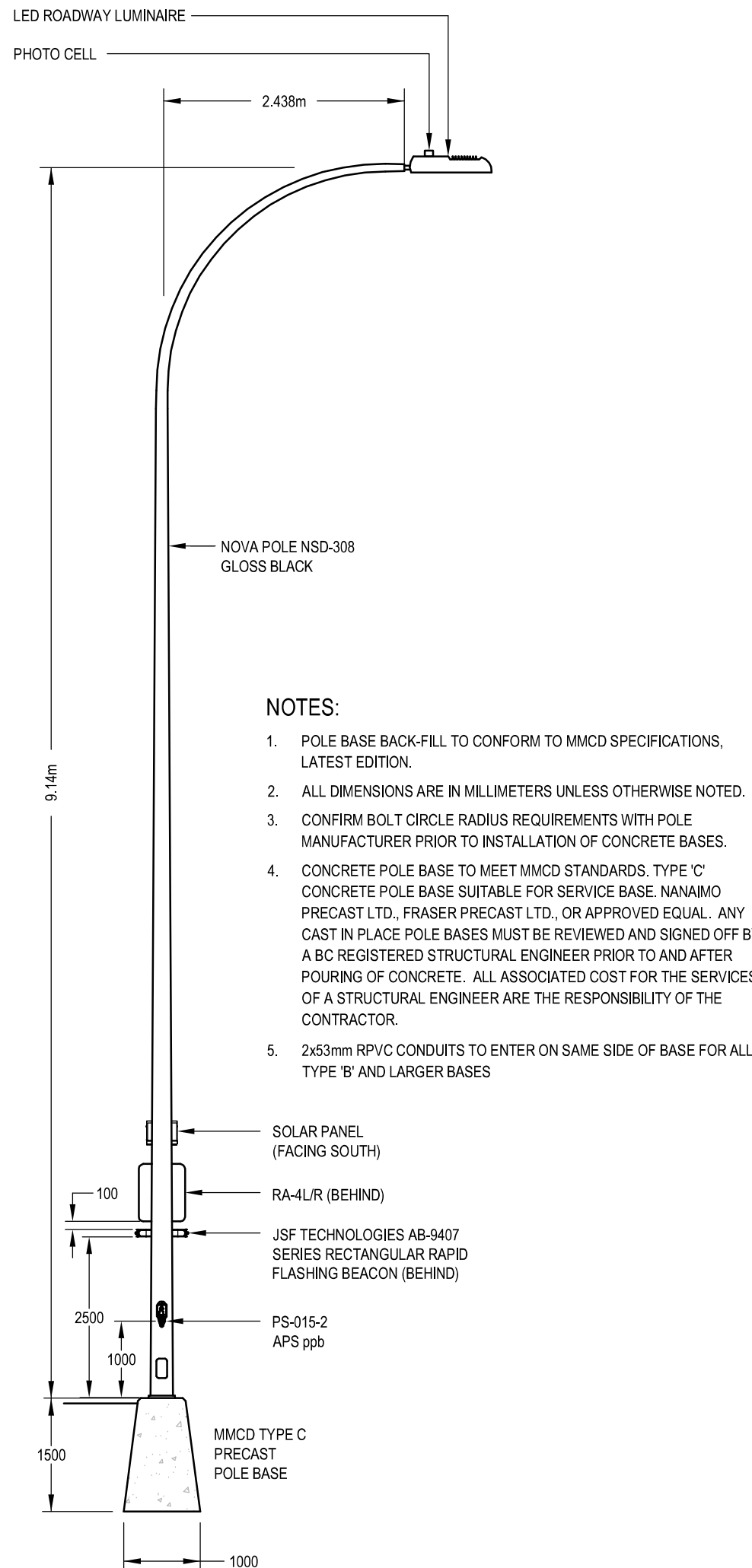
CALGARY | VICTORIA | VANCOUVER | PEVORIA

E100

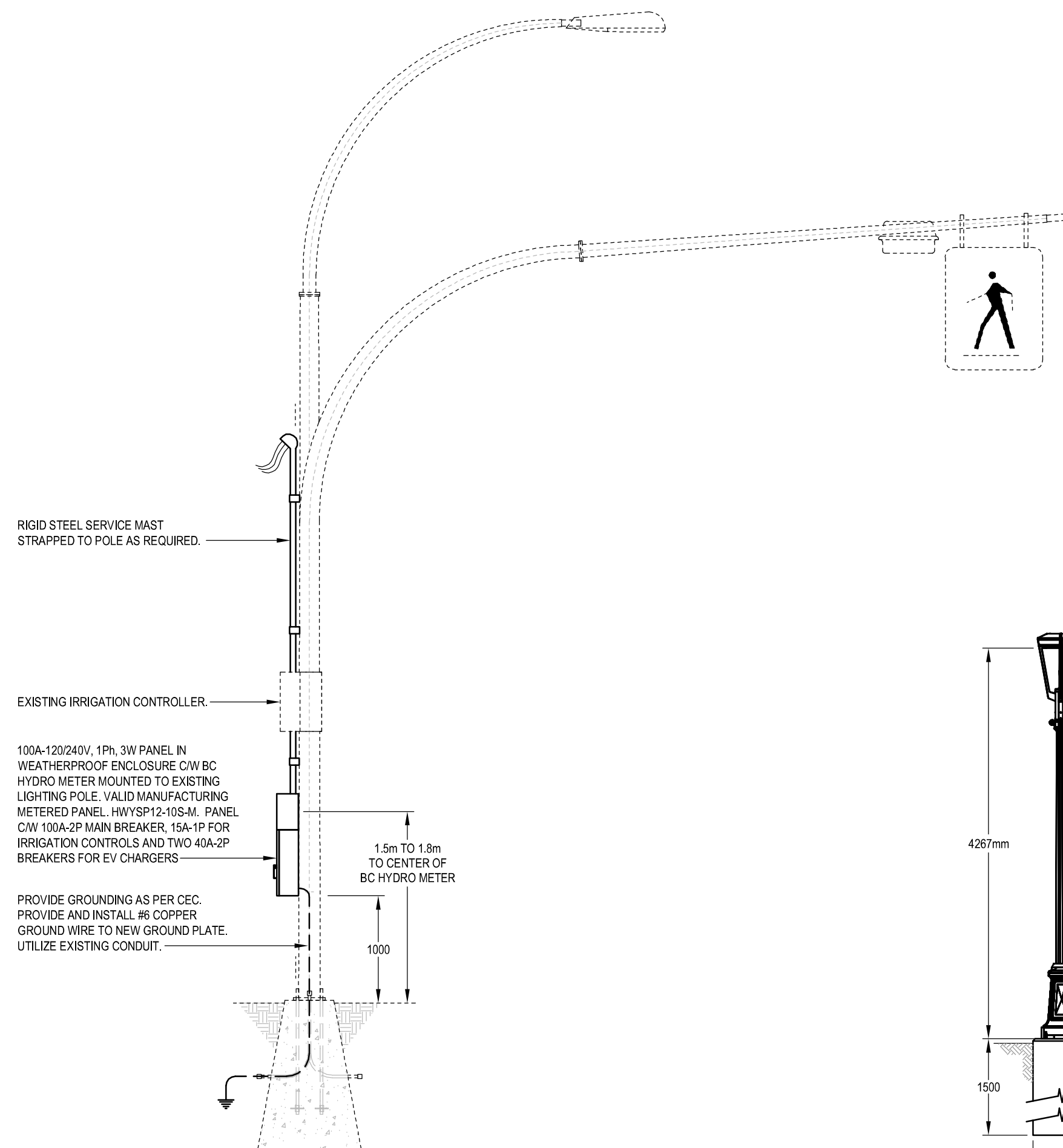
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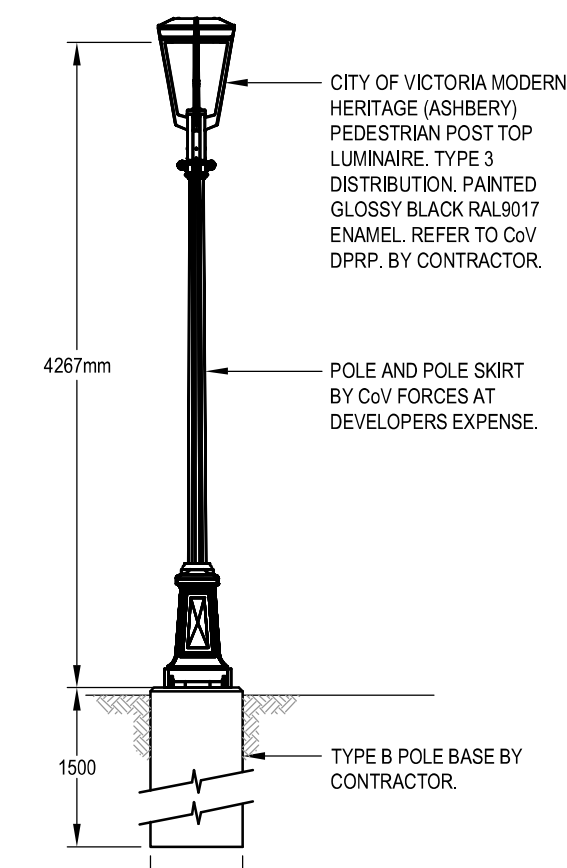
1 ROADWAY LIGHTING DETAIL 1 x2
E101 NOT TO SCALE



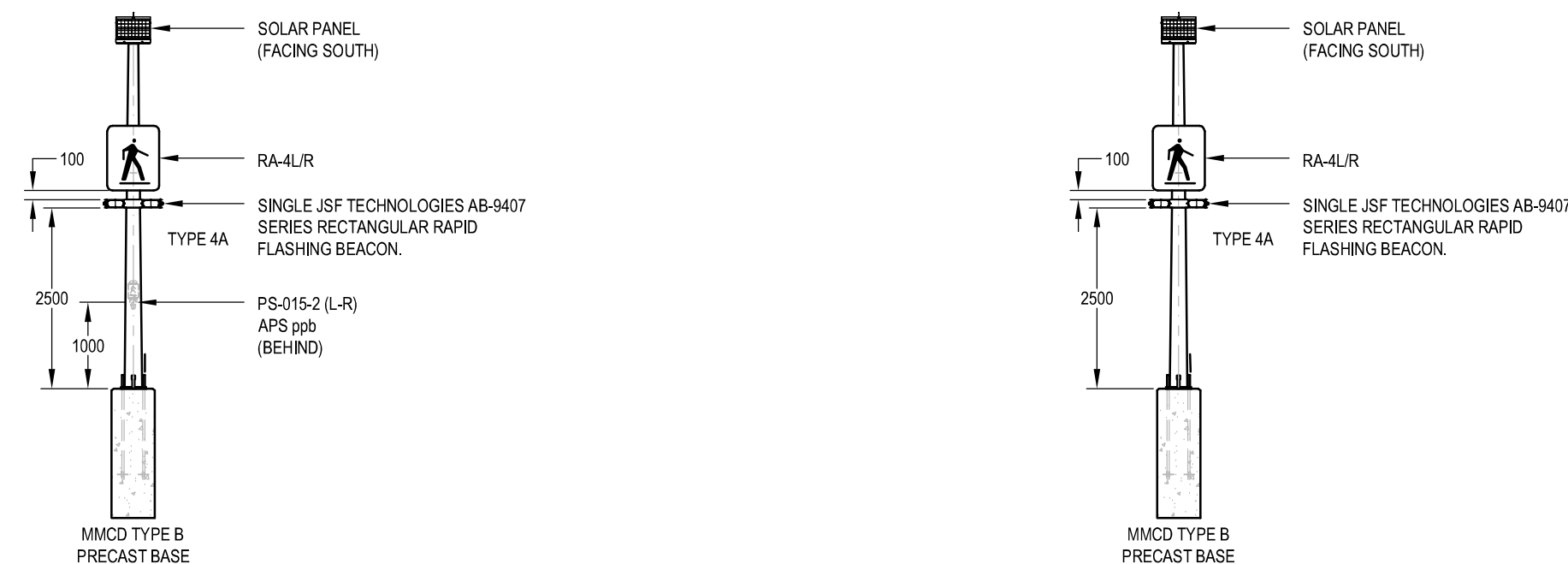
2 ROADWAY LIGHTING WITH RRFB DETAIL 2 x1
E101 NOT TO SCALE



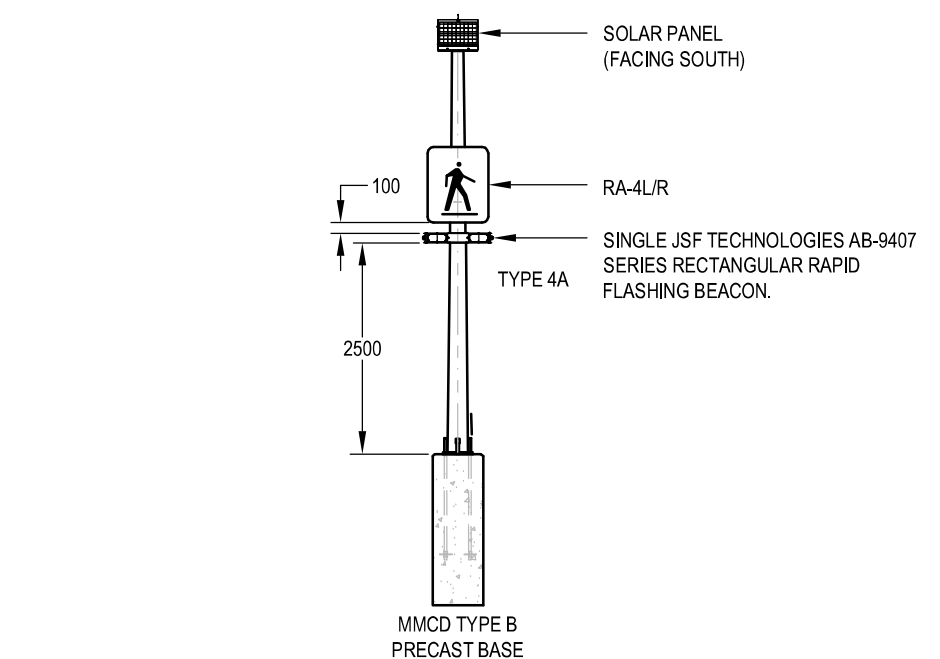
3 ROADWAY LIGHTING DETAIL 7 x1
E101 NOT TO SCALE



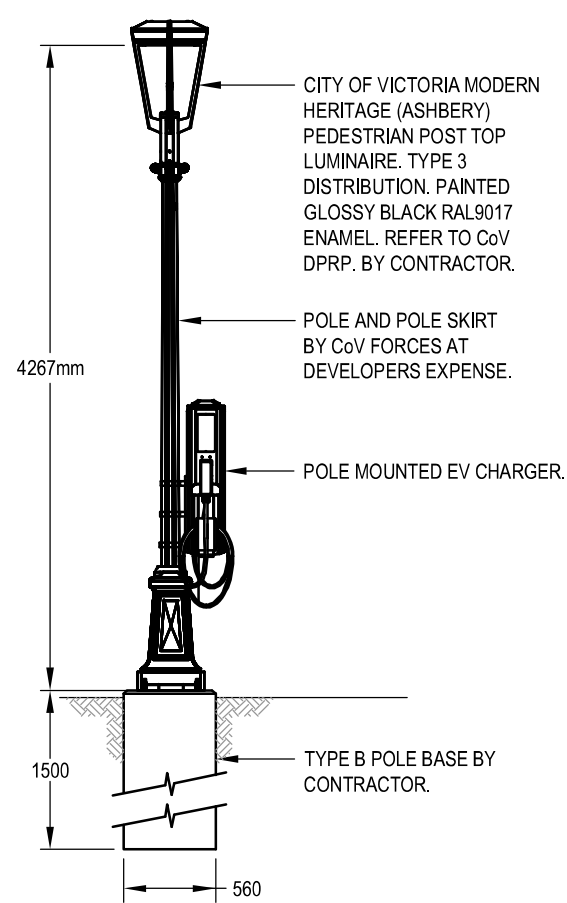
4 PEDESTRIAN POST TOP LUMINAIRE DETAIL 3 x2
E101 NOT TO SCALE



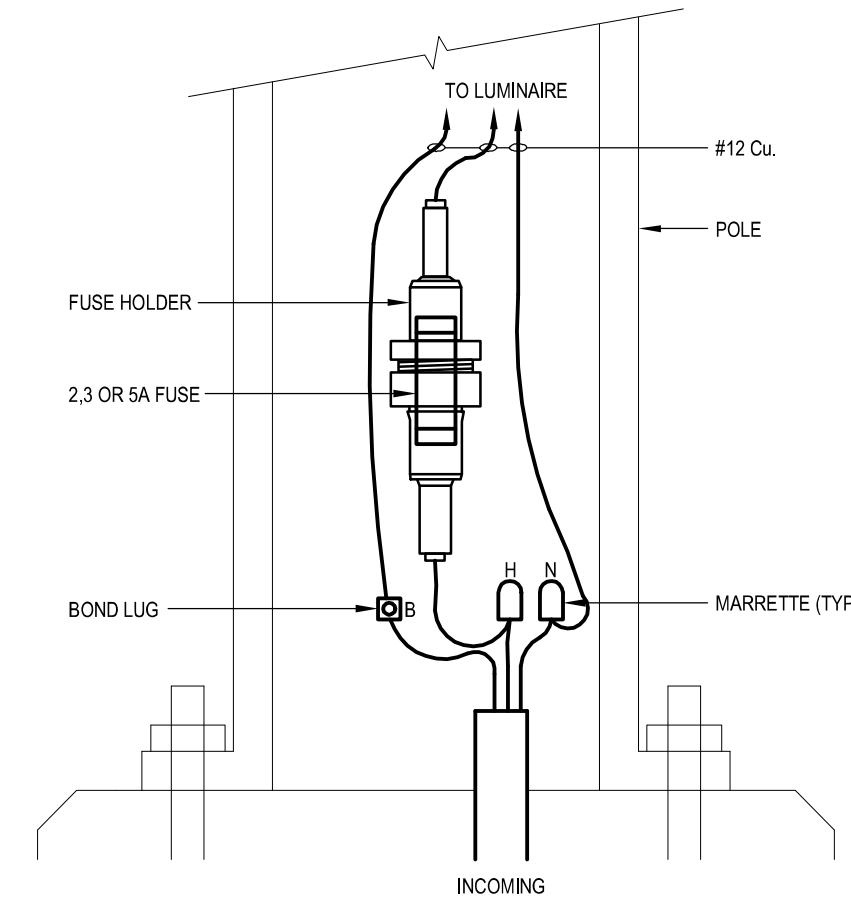
5 SOLAR POWERED RRFB DETAIL C/W PUSH BUTTON 4 x1
E101 NOT TO SCALE



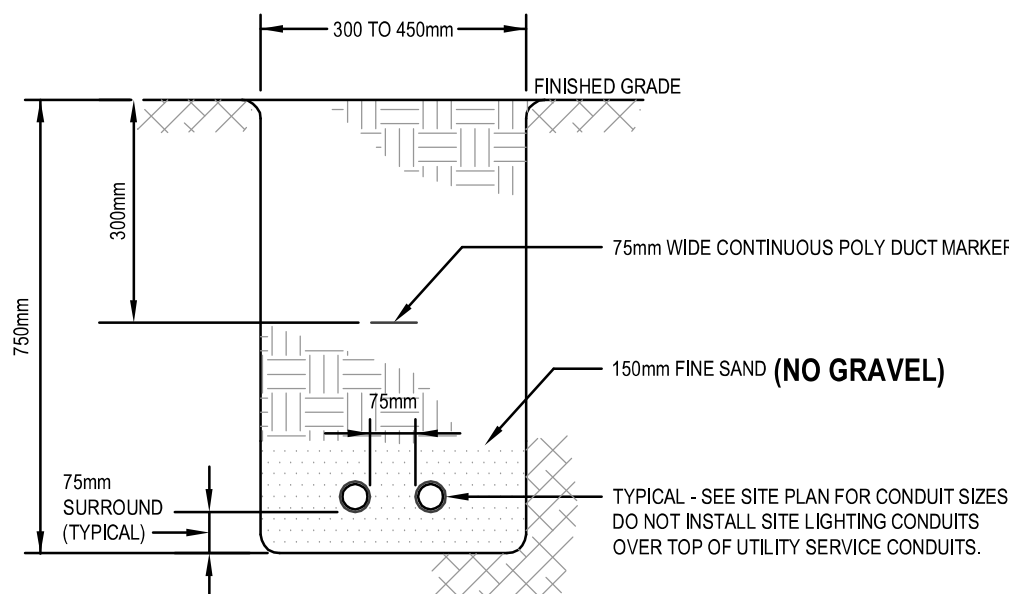
6 SOLAR POWERED RRFB DETAIL 5 x2
E101 NOT TO SCALE



7 PEDESTRIAN POST TOP LUMINAIRE C/W POLE MOUNTED EV CHARGER 6 x2
E101 NOT TO SCALE



8 POLE WIRING DIAGRAM
E101 NOT TO SCALE



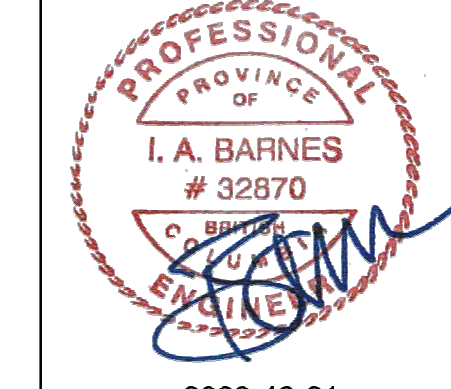
9 TYPICAL TRENCH SECTION
E101 NOT TO SCALE

ENGINEERING AND PUBLIC WORKS

NO.	REVISION DESCRIPTION	DATE
3	DEVELOPMENT PERMIT RE-SUBMISSION	DEC. 21/23
2	DEVELOPMENT PERMIT RE-SUBMISSION	DEC. 6/22
1	DEVELOPMENT PERMIT RE-SUBMISSION	APR. 14/22

GENERAL NOTES

Permit to Roadwork 1000-36



PROJECT KINGSTON & MONTREAL 205 QUEBEC ST., VICTORIA, BC OFFSITE LIGHTING DESIGN & DETAILS			
CHECKED BY B. KLEAR	CITY ENGINEER -	APPROVED BY -	SCALE AS SHOWN
DRAWN BY S. SEYMOUR	DESIGN BY S. SEYMOUR	SHT. No. 1 of 2	DATE DECEMBER 2023
			E101
CALGARY WEDDING VANCOUVER VICTORIA			DRAWING NUMBER