



## MATERIAL LEGEND

<b>B1</b> LIGHT BRICK - CANYON MIST	<b>C1</b> ARCHITECTURAL EXPOSED CONCRETE	<b>M3</b> COMPOSITE METAL PANEL - CHAMPAGNE	<b>G1</b> RESIDENTIAL GLAZING - GREY GLASS	<b>G4</b> OFFICE CURTAIN WALL - 4-SIDED SILICON	<b>F1</b> WINDOW - BLACK FRAME	<b>C1</b> CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B2</b> DARK GREY BRICK	<b>M1</b> COMPOSITE METAL PANEL - CHARCOAL	<b>M4</b> COMPOSITE METAL PANEL - DARK BLUE	<b>G2</b> RESIDENTIAL GLAZING - SPANDREL GLASS	<b>G5</b> STOREFRONT GLAZED CURTAIN WALL	<b>F2</b> WINDOW - WHITE FRAME	<b>C2</b> CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B3</b> LIGHT GREY BRICK	<b>M2</b> COMPOSITE METAL PANEL - WHITE	<b>M5</b> COMPOSITE METAL PANEL - WOOD	<b>G3</b> ALUMINUM & GLASS GUARDRAIL	<b>G6</b> PRIVACY SCREEN - FROSTED GLASS	<b>F3</b> WINDOW - CHARCOAL/WHITE FRAME	<b>C3</b> CANOPY TYPE 3 - TUMPER RAILERS W/ GLASS CANOPY

:\PROJECTS\2021-2025\2021\221023 - CALEDONIA ST. VICTORIA\8 PRODUCTION\8.1 AUTOCAD\221023\_A300\_BUILDING ELEVATION SOUTH.DWG | 17 Mar 2025 - 3:16 PM | R

Drawing  
Scale 1/16" = 1'-0"  
Project 221023  
Sheet A300



## MATERIAL LEGEND

<b>B1</b> LIGHT BRICK - CANYON MIST	<b>C1</b> ARCHITECTURAL EXPOSED CONCRETE	<b>M3</b> COMPOSITE METAL PANEL - CHAMPAGNE	<b>G1</b> RESIDENTIAL GLAZING - GREY GLASS	<b>G4</b> OFFICE CURTAIN WALL - 4-SIDED SILICON	<b>F1</b> WINDOW - BLACK FRAME	<b>C1</b> CANOPY TYPE 1-STRUCTURAL STEEL W/ GLASS CANOPY
<b>B2</b> DARK GREY BRICK	<b>M1</b> COMPOSITE METAL PANEL - CHARCOAL	<b>M4</b> COMPOSITE METAL PANEL - DARK BLUE	<b>G2</b> RESIDENTIAL GLAZING - SPANDREL GLASS	<b>G5</b> STOREFRONT GLAZED CURTAIN WALL	<b>F2</b> WINDOW - WHITE FRAME	<b>C2</b> CANOPY TYPE 2-STRUCTURAL STEEL W/ GLASS CANOPY
<b>B3</b> LIGHT GREY BRICK	<b>M2</b> COMPOSITE METAL PANEL - WHITE	<b>M5</b> COMPOSITE METAL PANEL - WOOD	<b>G3</b> ALUMINUM & GLASS GUARDRAIL	<b>G6</b> PRIVACY SCREEN - FROSTED GLASS	<b>F3</b> WINDOW - CHARCOAL GREY FRAME	<b>C3</b> CANOPY TYPE 3-TIMBER RAFTER'S W/ GLASS CANOPY

WIZ LIGHT GREY BRICK COMPOSITE METAL PANEL - WHITE

I:\PROJECTS\2021-2025\2021\221023 - CALEDONIA ST. VICTORIA\8 PRODUCTION\8.1 AUTOCAD\221023\_A301\_BUILDING ELEVATION WEST.DWG | 17 Mar 2025 - 3:16 PM | RL

Drawing

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Scale 1/16" = 1'-0"

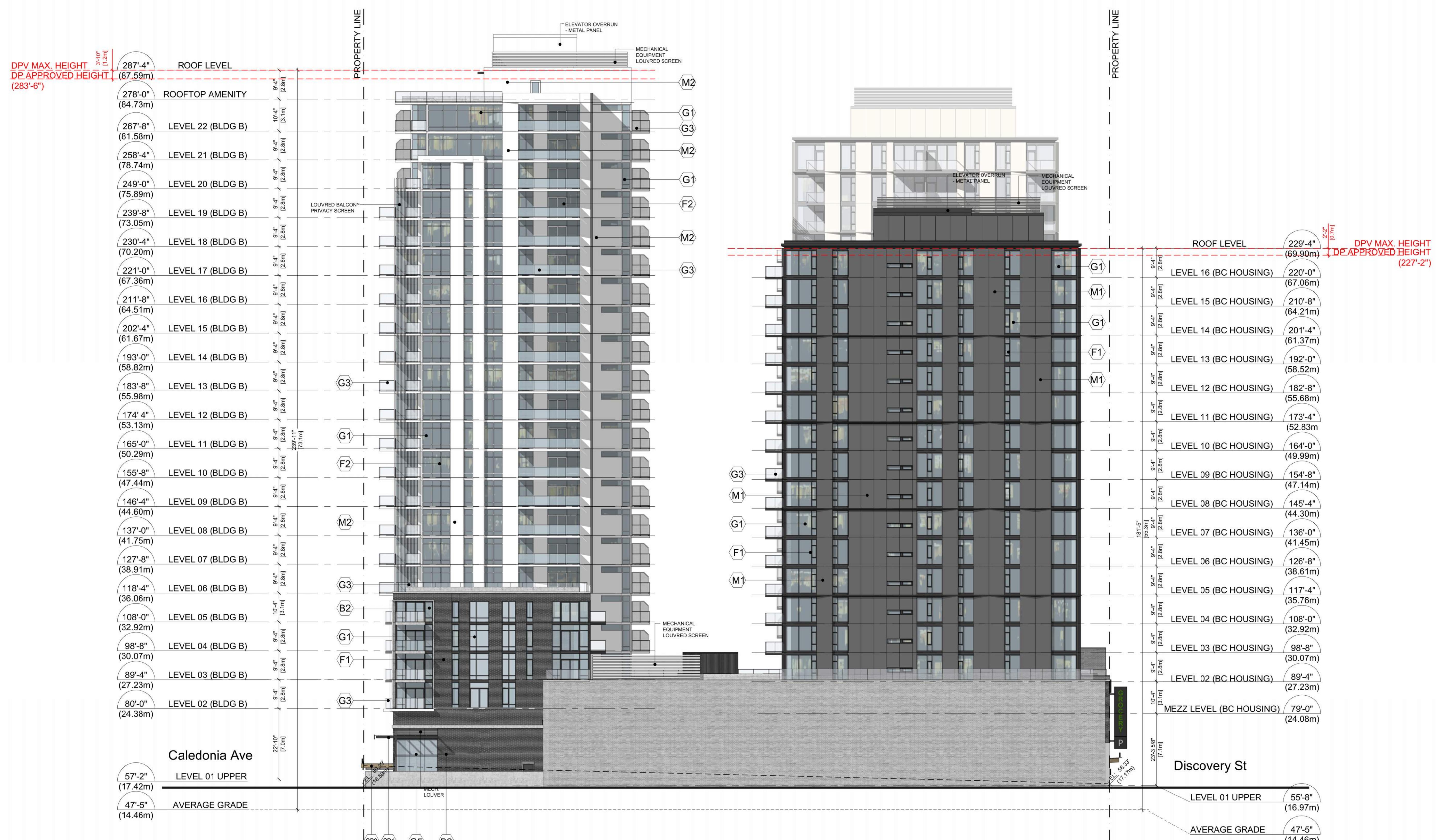
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Project 221023

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Sheet A301

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## MATERIAL LEGEND

<b>B1</b> LIGHT BRICK - CANYON MIST	<b>C1</b> ARCHITECTURAL EXPOSED CONCRETE	<b>M3</b> COMPOSITE METAL PANEL - CHAMPAGNE	<b>G1</b> RESIDENTIAL GLAZING - GREY GLASS	<b>G4</b> OFFICE CURTAIN WALL - 4-SIDED SILICON	<b>F1</b> WINDOW - BLACK FRAME	<b>C1</b> CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B2</b> DARK GREY BRICK	<b>M1</b> COMPOSITE METAL PANEL - CHARCOAL	<b>M4</b> COMPOSITE METAL PANEL - DARK BLUE	<b>G2</b> RESIDENTIAL GLAZING - SPANDREL GLASS	<b>G5</b> STOREFRONT GLAZED CURTAIN WALL	<b>F2</b> WINDOW - WHITE FRAME	<b>C2</b> CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B3</b> LIGHT GREY BRICK	<b>M2</b> COMPOSITE METAL PANEL - WHITE	<b>M5</b> COMPOSITE METAL PANEL - WOOD	<b>G3</b> ALUMINUM & GLASS GUARDRAIL	<b>G6</b> PRIVACY SCREEN - FROSTED GLASS	<b>F3</b> WINDOW - CHARCOAL/GREY FRAME	<b>C3</b> CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY

I:\PROJECTS\2021-2025\2021\221023 - CALEDONIA ST, VICTORIA\8 PRODUCTION\8.1 AUTOCAD\221023\_A302\_BUILDING ELEVATION EAST.DWG | 17 Mar 2025 - 3:16 PM | RLUT

## Drawing

Scale  $1/16" = 1'-0"$

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Project 221023

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A202

Sheet ASUZ

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A302



## MATERIAL LEGEND

<b>B1</b> LIGHT BRICK - CANYON MIST	<b>C1</b> ARCHITECTURAL EXPOSED CONCRETE	<b>M3</b> COMPOSITE METAL PANEL - CHAMPAGNE	<b>G1</b> RESIDENTIAL GLAZING - GREY GLASS	<b>G4</b> OFFICE CURTAIN WALL - 4-SIDED SILICON	<b>F1</b> WINDOW - BLACK FRAME	<b>C1</b> CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B2</b> DARK GREY BRICK	<b>M1</b> COMPOSITE METAL PANEL - CHARCOAL	<b>M4</b> COMPOSITE METAL PANEL - DARK BLUE	<b>G2</b> RESIDENTIAL GLAZING - SPANDREL GLASS	<b>G5</b> STOREFRONT GLAZED CURTAIN WALL	<b>F2</b> WINDOW - WHITE FRAME	<b>C2</b> CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
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I:\PROJECTS\2021-2025\2021\221023 - CALEDONIA ST. VICTORIA\8 PRODUCTION\8.1 AUTOCAD\221023\_A303\_BUILDING ELEVATION NORTH.DWG | 17 Mar 2025 - 3:16 PM | BLUTZ

Drawing

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Scale 1/16" = 1'-0"

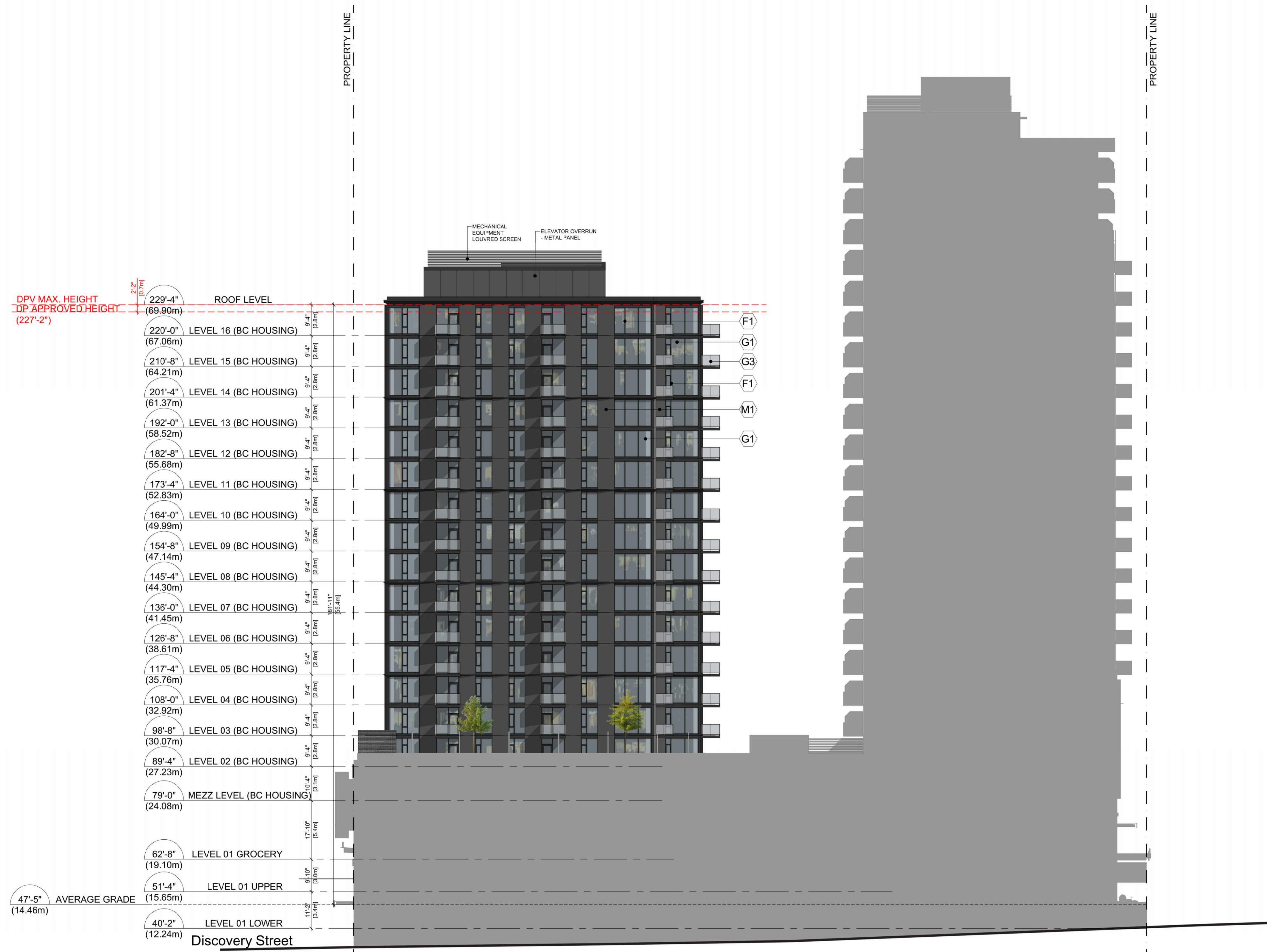
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Project 221023

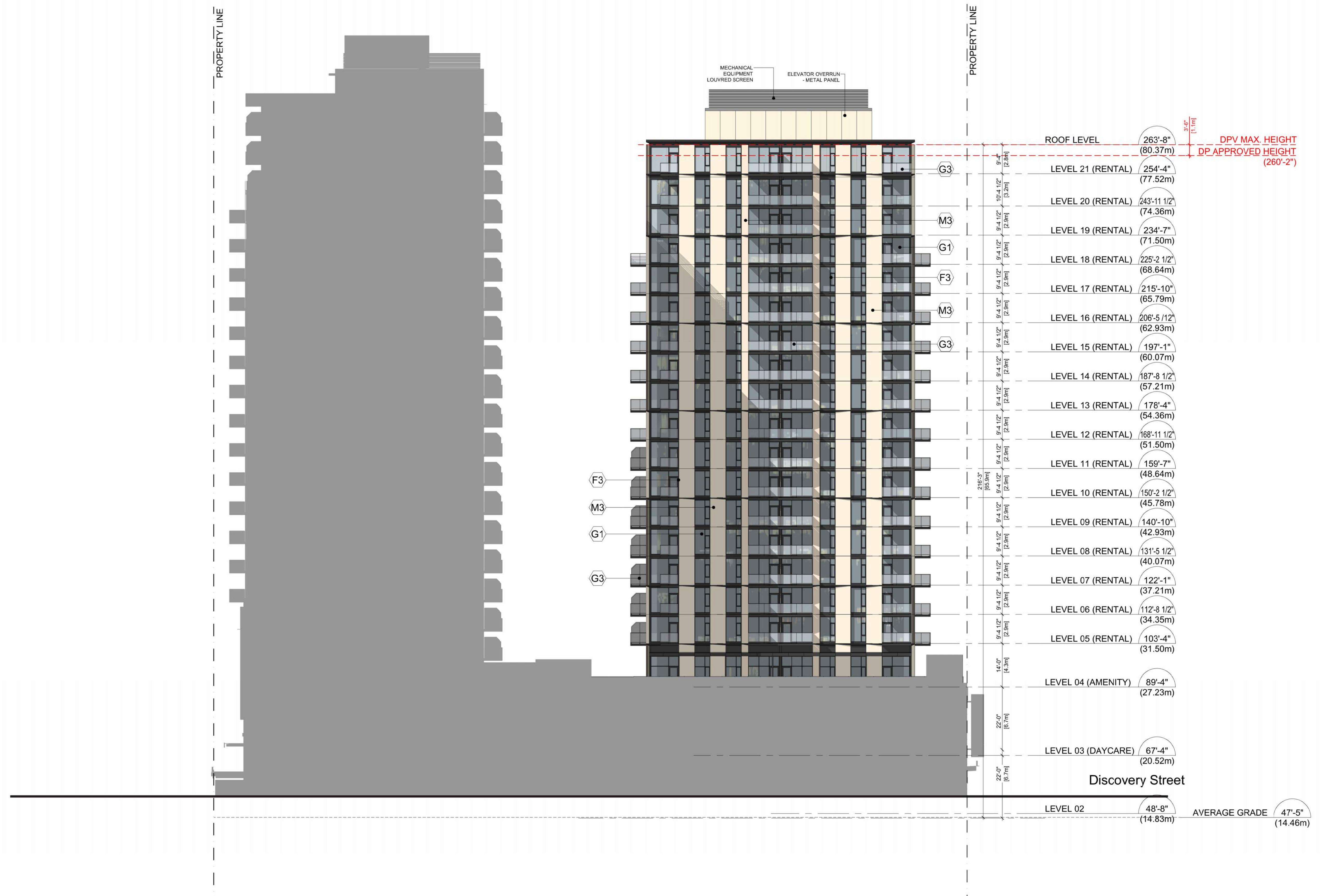
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Sheet A303

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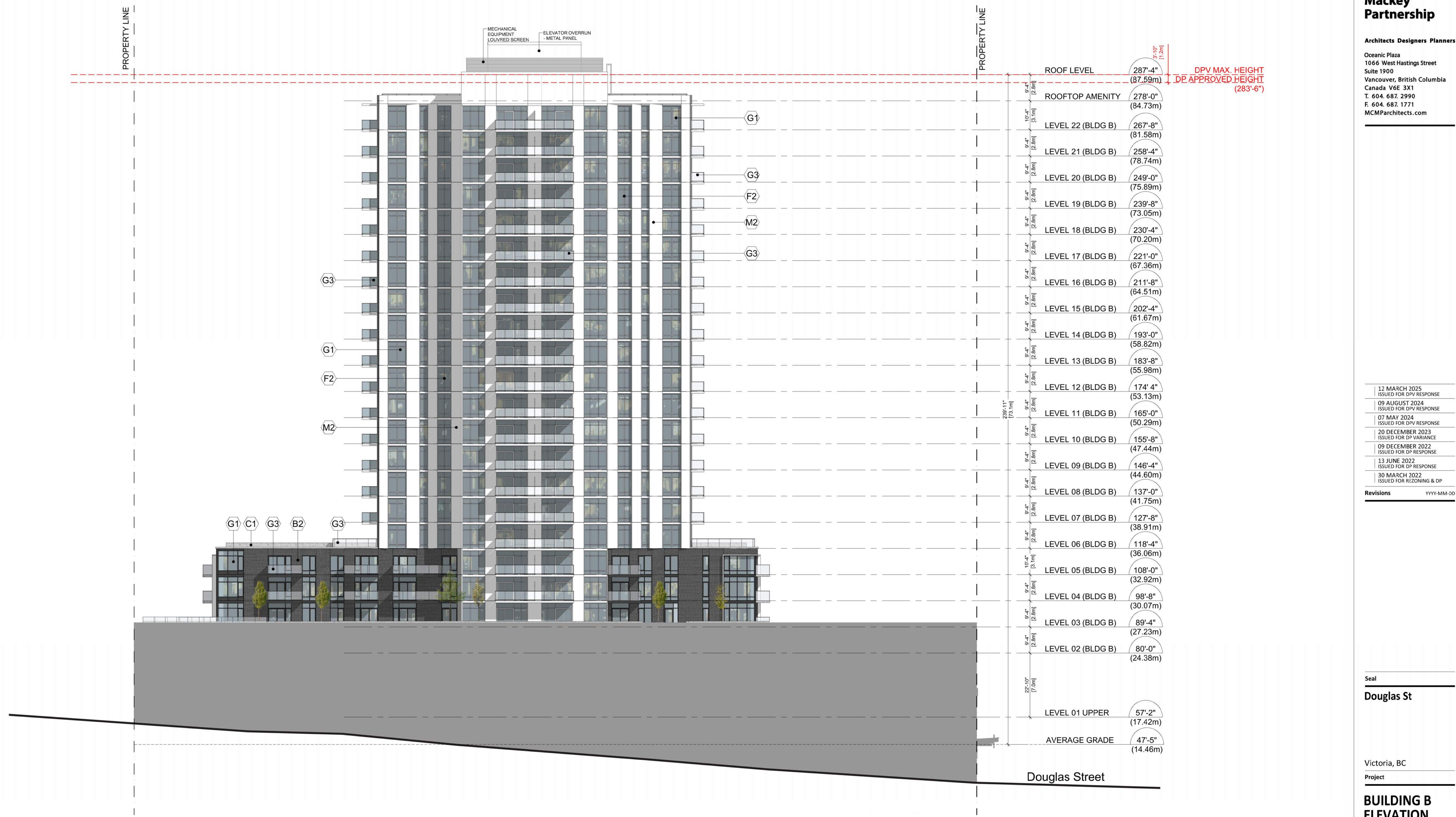
**MATERIAL LEGEND**

<b>B1</b> LIGHT BRICK - CANYON MIST	<b>C1</b> ARCHITECTURAL EXPOSED CONCRETE	<b>M3</b> COMPOSITE METAL PANEL - CHAMPAGNE	<b>G1</b> RESIDENTIAL GLAZING - GREY GLASS	<b>G4</b> OFFICE CURTAIN WALL - 4-SIDED SILICON	<b>F1</b> WINDOW - BLACK FRAME	<b>CP1</b> CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B2</b> DARK GREY BRICK	<b>M1</b> COMPOSITE METAL PANEL - CHARCOAL	<b>M4</b> COMPOSITE METAL PANEL - DARK BLUE	<b>G2</b> RESIDENTIAL GLAZING - SPANDREL GLASS	<b>G5</b> STOREFRONT GLAZED CURTAIN WALL	<b>F2</b> WINDOW - WHITE FRAME	<b>CP2</b> CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
<b>B3</b> LIGHT GREY BRICK	<b>M2</b> COMPOSITE METAL PANEL - WHITE	<b>M5</b> COMPOSITE METAL PANEL - WOOD	<b>G3</b> ALUMINUM & GLASS GUARDRAIL	<b>G6</b> PRIVACY SCREEN - FROSTED GLASS	<b>F3</b> WINDOW - CHARCOAL GREY FRAME	<b>CP3</b> CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



## MATERIAL LEGEND

B1 LIGHT BRICK - CANYON MIST	C1 ARCHITECTURAL EXPOSED CONCRETE	M3 COMPOSITE METAL PANEL - CHAMPAGNE	G1 RESIDENTIAL GLAZING - GREY GLASS	G4 OFFICE CURTAIN WALL - 4-SIDED SILICON	F1 WINDOW - BLACK FRAME	CP1 CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
B2 DARK GREY BRICK	M1 COMPOSITE METAL PANEL - CHARCOAL	M4 COMPOSITE METAL PANEL - DARK BLUE	G2 RESIDENTIAL GLAZING - SPANDREL GLASS	G5 STOREFRONT GLAZED CURTAIN WALL	F2 WINDOW - WHITE FRAME	CP2 CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
B3 LIGHT GREY BRICK	M2 COMPOSITE METAL PANEL - WHITE	M5 COMPOSITE METAL PANEL - WOOD	G3 ALUMINUM & GLASS GUARDRAIL	G6 PRIVACY SCREEN - FROSTED GLASS	F3 WINDOW - CHARCOAL GREY FRAME	CP3 CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY

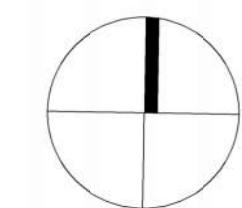


## MATERIAL LEGEND

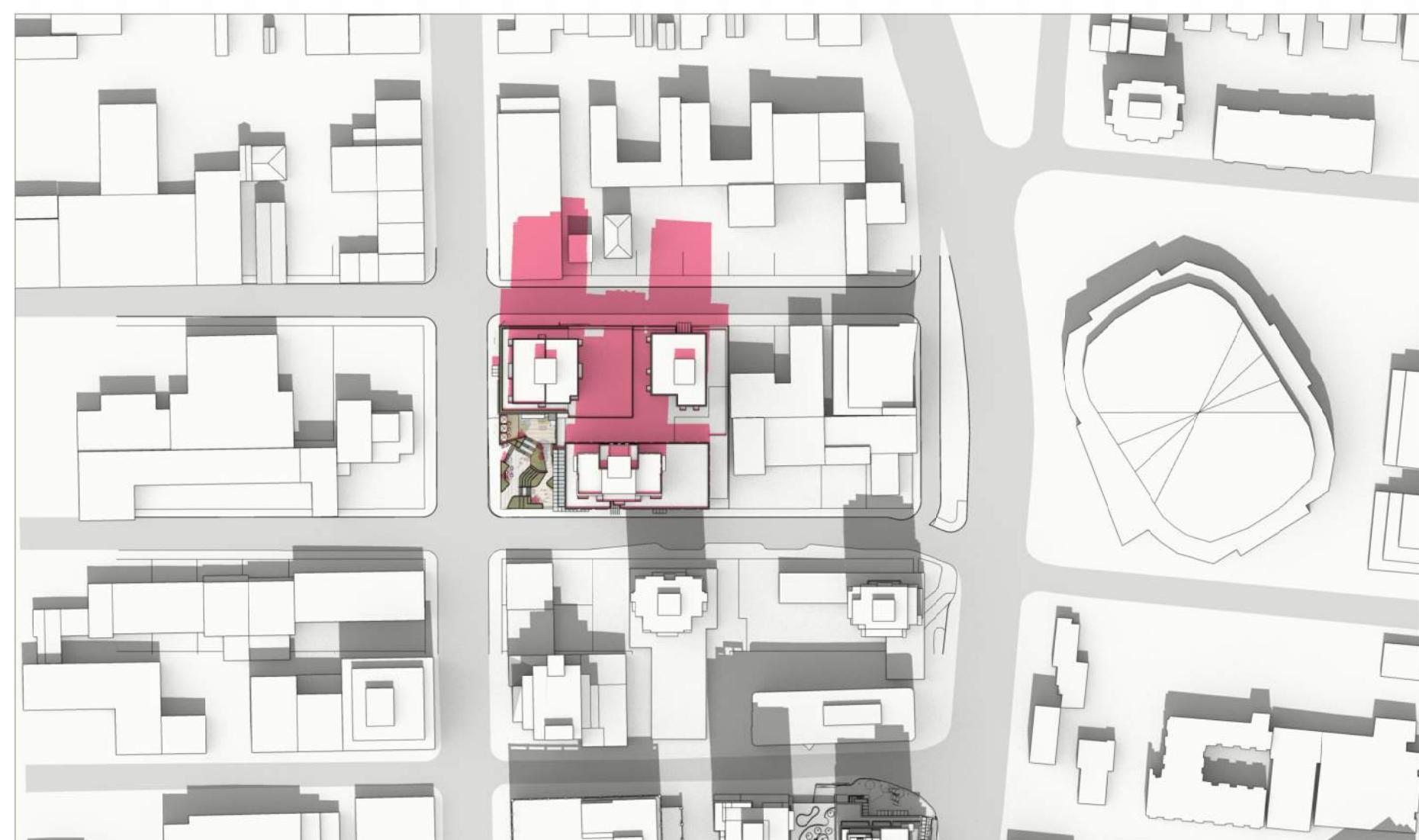
<b>B1</b> LIGHT BRICK - CANYON MIST	<b>C1</b> ARCHITECTURAL EXPOSED CONCRETE	<b>M3</b> COMPOSITE METAL PANEL - CHAMPAGNE	<b>G1</b> RESIDENTIAL GLAZING - GREY GLASS	<b>G4</b> OFFICE CURTAIN WALL - 4-SIDED SILICON	<b>F1</b> WINDOW - BLACK FRAME	<b>C1</b> CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
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I:\PROJECTS\2021-2025\2021\221023 - CALEDONIA ST. VICTORIA\8 PRODUCTION\8.1 AUTOCAD\221023\_A306\_BUILDING B ELEVATION NORTH.DWG | 17 Mar 2025 - 3:17 PM | RLTU

Drawing  
Scale 1/16" = 1'-0"  
Project 221023  
Sheet A306



1 SPRING/FALL EQUINOX - March 20 /Sept 22  
10AM



2 SPRING/FALL EQUINOX - March 20 /Sept 22  
12PM



3 SPRING/FALL EQUINOX - March 20 /Sept 22  
2PM



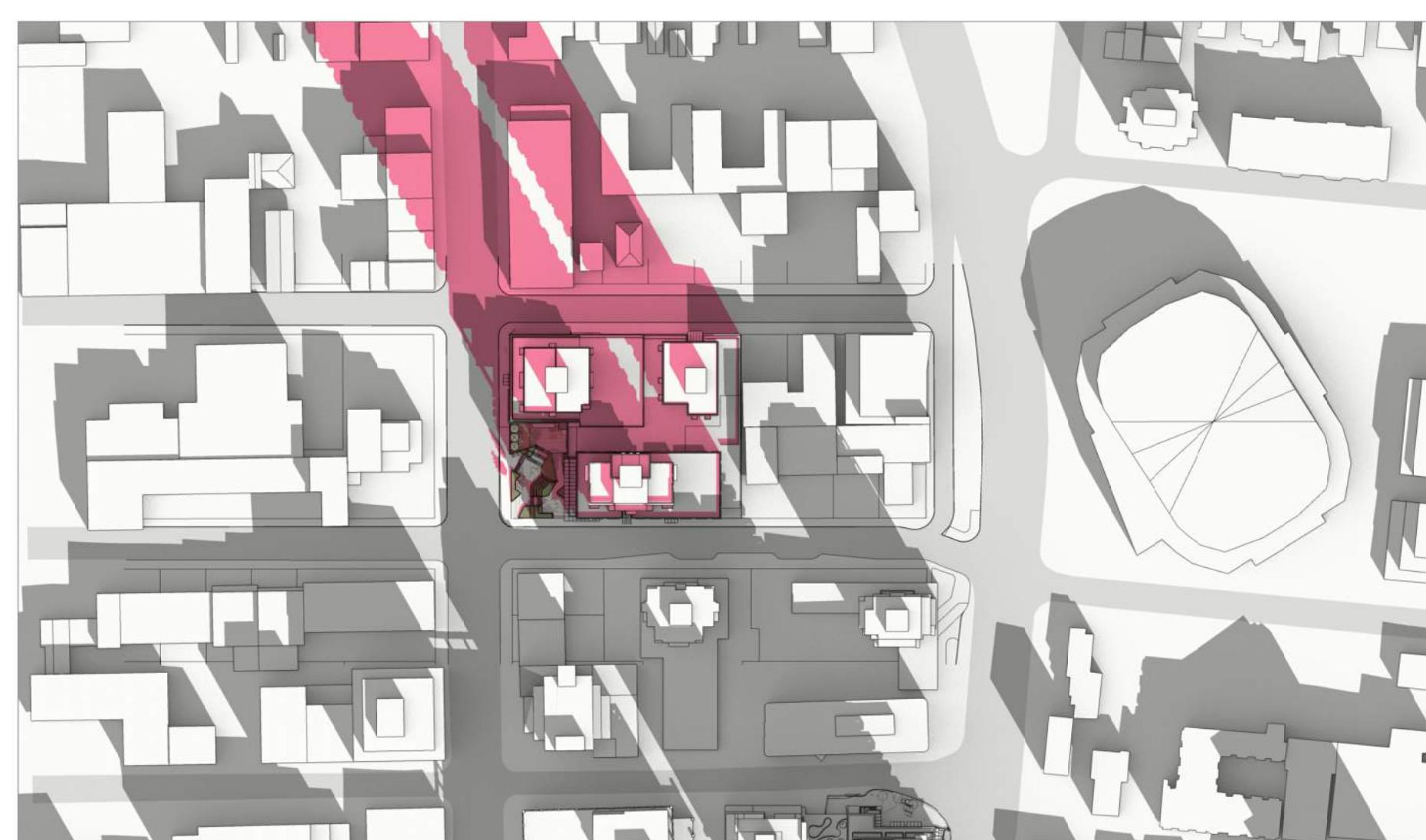
4 SUMMER SOLSTICE - June 21  
10AM



5 SUMMER SOLSTICE - June 21  
12PM



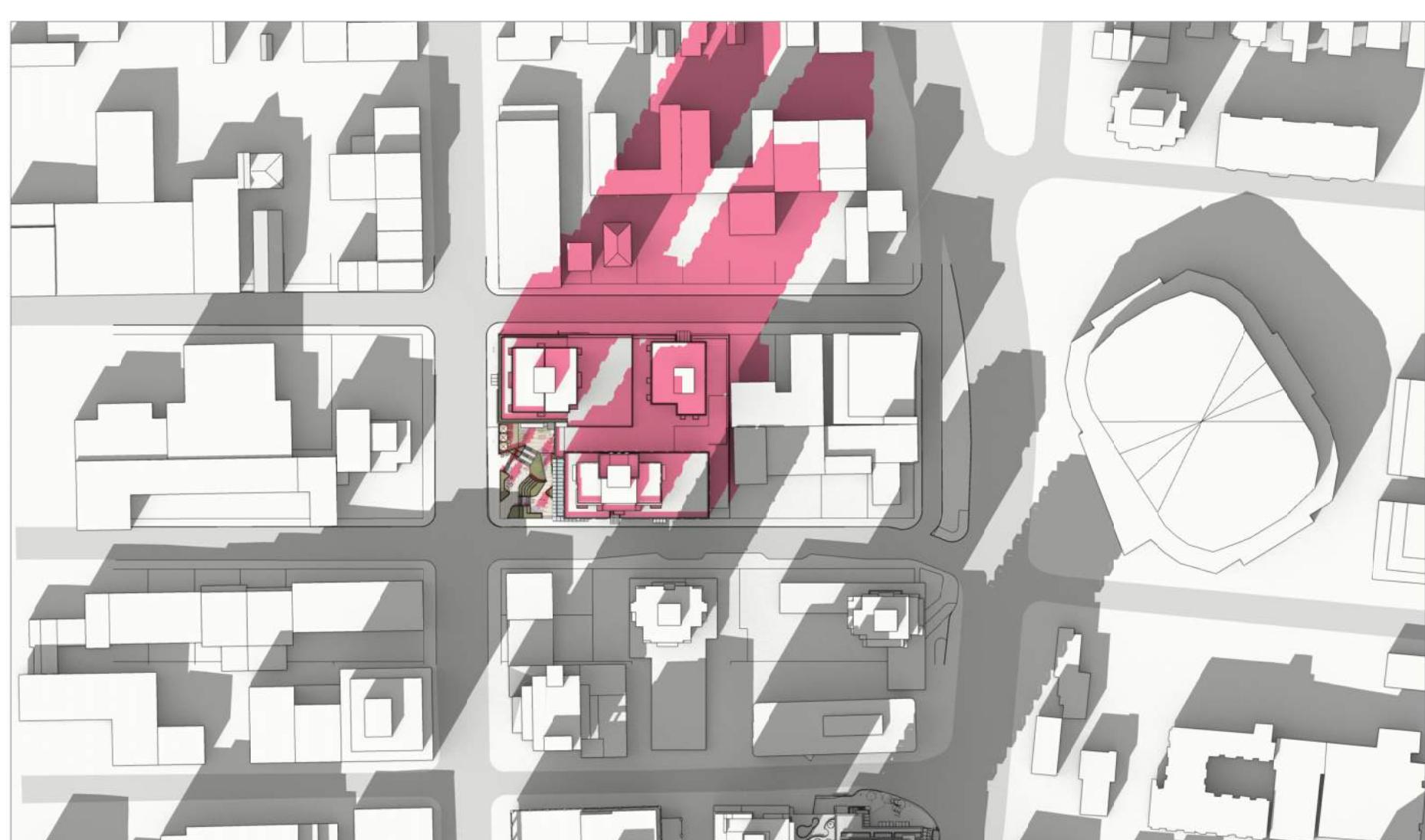
6 SUMMER SOLSTICE - June 21  
2PM



4 WINTER SOLSTICE - Dec 21  
10AM



5 WINTER SOLSTICE - Dec 21  
12PM



6 WINTER SOLSTICE - Dec 21  
2PM

12 MARCH 2025  
ISSUED FOR DPV RESPONSE  
09 AUGUST 2024  
ISSUED FOR DPV RESPONSE  
07 MAY 2024  
ISSUED FOR DPV RESPONSE  
20 DECEMBER 2023  
ISSUED FOR DPV VARIANCE  
09 DECEMBER 2022  
ISSUED FOR DP RESPONSE  
13 JUNE 2022  
ISSUED FOR DP RESPONSE  
30 MARCH 2022  
ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

Seal  
Douglas St

Victoria, BC  
Project

SHADOW / SUN  
STUDY

Drawing

Scale

Project

221023

Sheet

A500



12 MARCH 2025  
 ISSUED FOR DPV RESPONSE  
 09 AUGUST 2024  
 ISSUED FOR DPV RESPONSE  
 07 MAY 2024  
 ISSUED FOR DPV RESPONSE  
 20 DECEMBER 2023  
 ISSUED FOR DP VARIANCE  
 09 DECEMBER 2022  
 ISSUED FOR DP RESPONSE  
 13 JUNE 2022  
 ISSUED FOR DP RESPONSE  
 30 MARCH 2022  
 ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

Seal  
Douglas St

Victoria, BC

Project

## 3D VIEWS

1 CALEDONIA AVE & DOUGLAS ST - AERIAL VIEW  
N.T.S.

Drawing  
 Scale  
 Project

N.T.S.  
221023  
221023

Sheet A501A

12 MARCH 2025
ISSUED FOR DPV RESPONSE
09 AUGUST 2024
ISSUED FOR DPV RESPONSE
07 MAY 2024
ISSUED FOR DPV RESPONSE
20 DECEMBER 2023
ISSUED FOR DP VARIANCE
09 DECEMBER 2022
ISSUED FOR DP RESPONSE
13 JUNE 2022
ISSUED FOR DP RESPONSE
30 MARCH 2022
ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

Seal  
**Douglas St**

Victoria, BC  
Project

**3D VIEWS**

Drawing \_\_\_\_\_  
Scale \_\_\_\_\_  
Project \_\_\_\_\_  
221023  
Sheet **A501 B**



1 CALEDONIA AVE & DOUGLAS ST  
N.T.S.



1 DISCOVERY ST & DOUGLAS ST  
N.T.S.

12 MARCH 2025  
ISSUED FOR DPV RESPONSE  
09 AUGUST 2024  
ISSUED FOR DPV RESPONSE  
07 MAY 2024  
ISSUED FOR DPV RESPONSE  
20 DECEMBER 2023  
ISSUED FOR DP VARIANCE  
09 DECEMBER 2022  
ISSUED FOR DP RESPONSE  
13 JUNE 2022  
ISSUED FOR DP RESPONSE  
30 MARCH 2022  
ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

Seal  
Douglas St

Victoria, BC  
Project

3D VIEWS

Drawing \_\_\_\_\_  
Scale \_\_\_\_\_  
Project \_\_\_\_\_  
221023  
Sheet A501 C

1 PLAZA  
N.T.S.2 PLAZA  
N.T.S.3 PLAZA  
N.T.S.

12 MARCH 2025
ISSUED FOR DPV RESPONSE
09 AUGUST 2024
ISSUED FOR DPV RESPONSE
07 MAY 2024
ISSUED FOR DPV RESPONSE
20 DECEMBER 2023
ISSUED FOR DPV VARIANCE
09 DECEMBER 2022
ISSUED FOR DP RESPONSE
13 JUNE 2022
ISSUED FOR DP RESPONSE
30 MARCH 2022
ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

Seal  
Douglas StVictoria, BC  
Project

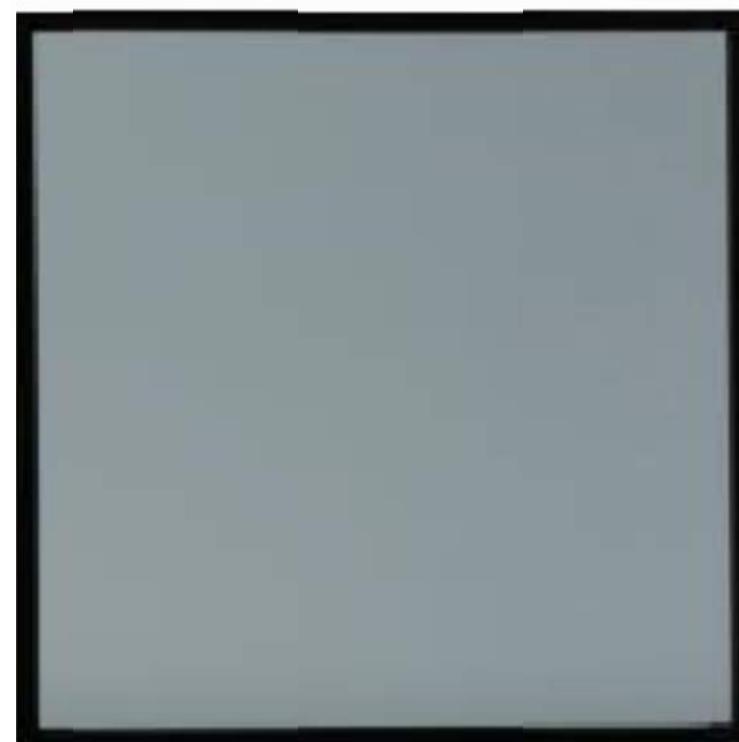
3D VIEWS

Drawing \_\_\_\_\_  
 Scale \_\_\_\_\_  
 Project \_\_\_\_\_  
 221023  
 Sheet A501 D

### Building A



Black Mullions



Grey Glass (Residential)



Metal Panel- Dusty Charcoal

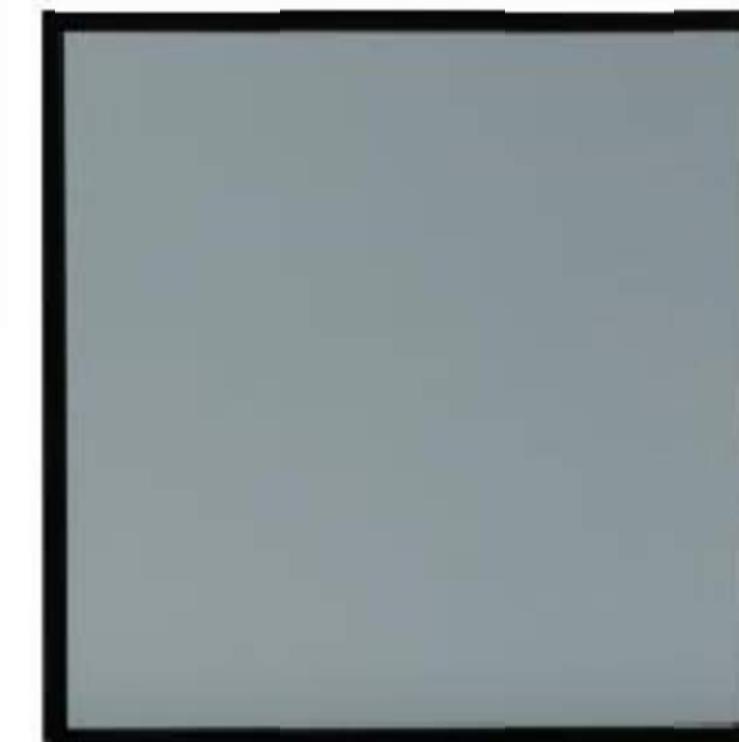


Metal Panel- Greyhound

### Building C



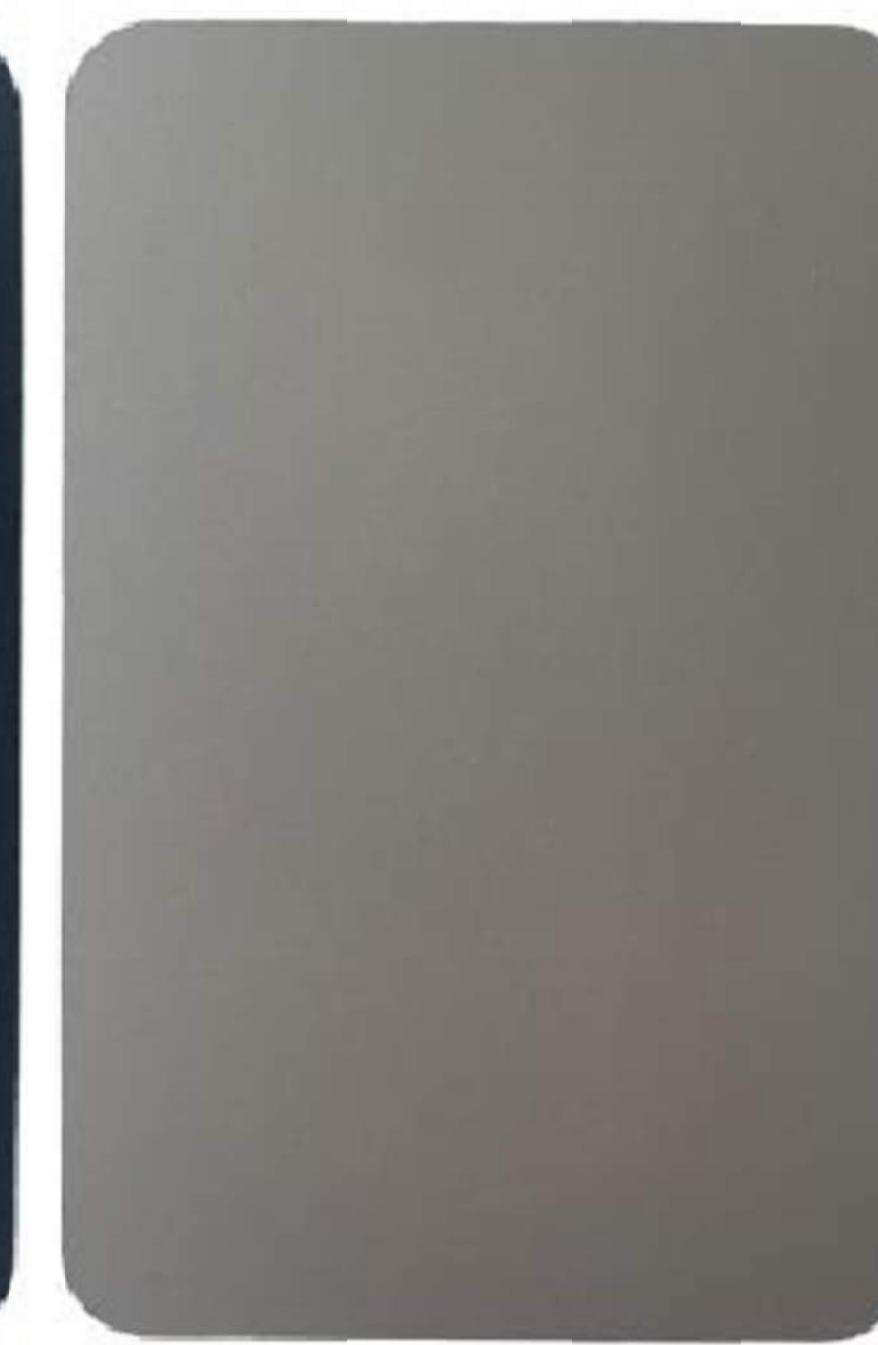
Charcoal Mullions



Grey Glass (Residential)



Metal Panel- Dusty Charcoal



Metal Panel- Champagne Metallic

12 MARCH 2025
ISSUED FOR DPV RESPONSE
09 AUGUST 2024
ISSUED FOR DPV RESPONSE
07 MAY 2024
ISSUED FOR DPV RESPONSE
20 DECEMBER 2023
ISSUED FOR DPV VARIANCE
09 DECEMBER 2022
ISSUED FOR DP RESPONSE
13 JUNE 2022
ISSUED FOR DP RESPONSE
30 MARCH 2022
ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

### Restaurant & Market Podium



Light Brick - Canyon Mist



Metal Panel-  
Natural Chestnut

C:\Users\ssethi\Downloads\CastleGray-Mission-Large (1).jpg

LIGHT BRICK - CASTLE GRAY

Seal  
Douglas St

Victoria, BC  
Project

### MATERIALS

Drawing  
Scale  
Project 221023  
Sheet A502A

### Building B Tower



White Mullions



Grey Glass (Residential)



Metal Panel- Bone White

12 MARCH 2025
ISSUED FOR DPV RESPONSE
09 AUGUST 2024
ISSUED FOR DPV RESPONSE
07 MAY 2024
ISSUED FOR DPV RESPONSE
20 DECEMBER 2023
ISSUED FOR DP VARIANCE
09 DECEMBER 2022
ISSUED FOR DP RESPONSE
13 JUNE 2022
ISSUED FOR DP RESPONSE
30 MARCH 2022
ISSUED FOR REZONING & DP

Revisions YYYY-MM-DD

### Building B Podium



Dark Brick- Coal Creek



Grey Glass (Residential)

Seal  
Douglas St

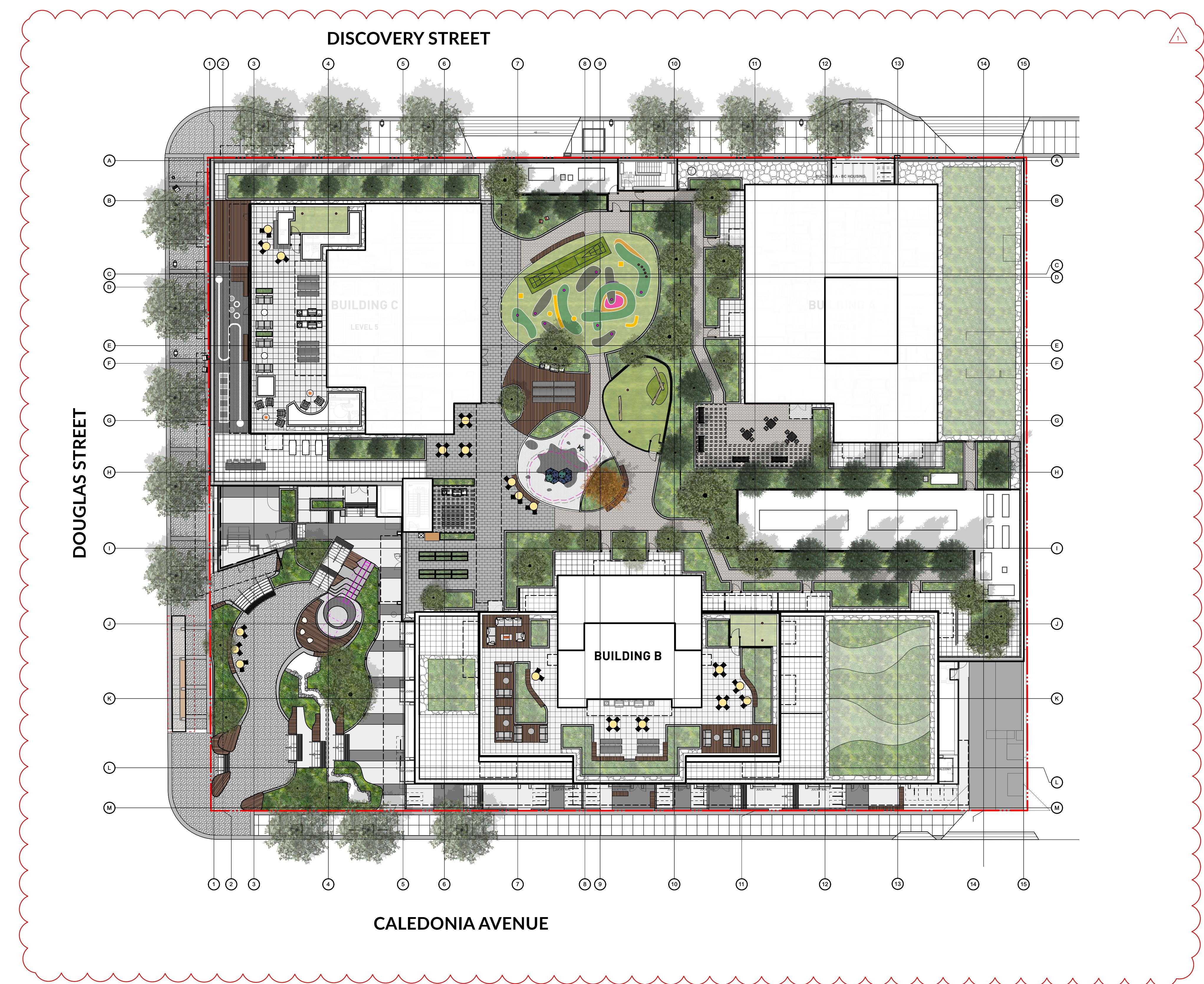
Victoria, BC  
Project

### MATERIALS

Drawing \_\_\_\_\_  
Scale \_\_\_\_\_  
Project 221023  
Sheet A502B

## DRAWING CONTENT

- L0.00 COVER
- L0.01 PRECEDENT IMAGES
- L0.02 TREE MANAGEMENT PLAN
- L0.03 NOTES AND LEGENDS
- L1.00 LAYOUT MATERIALS PLAN - PLAZA/GROUND LEVEL PLAZA & UPPER GROUND
- L1.01 LAYOUT MATERIALS PLAN - OFFICE/ ROOF AMENITY LEVEL
- L1.02 LAYOUT MATERIALS PLAN - ROOF TOP AMENITY
- L1.03 LAYOUT MATERIALS PLAN - DAYCARE & PENTHOUSE
- L1.04 LAYOUT MATERIALS PLAN - OFF SITE
- L2.01 GRADING PLAN
- L2.02 GRADING PLAN - ENLARGEMENT PLAN
- L3.00 SOIL DEPTH COORDINATION PLAN
- L3.01 PLANTING PLAN
- L3.02 SCHEMATIC LIGHTING PLAN
- L4.01 SECTIONS
- L4.02 SECTIONS
- L4.03 SECTIONS



# PWL PARTNERSHIP

5th Floor, East Asiatic House  
1201 West Pender St, Vancouver, BC V6E 2V2  
T 604.688.6111

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

# PROJECT **DOUGLAS ST**

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ADDRESS  
**1961 DOUGLAS STREET**  
VANCOUVER, BRITISH COLUMBIA, V6G 1Z3

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DRAWING TITLE

# COVER

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NORTH		SCALE
		
Scale		
PROJECT NO.		
DATE	2022-05-25	
FILE NAME	21061 PLAN.vwx	
PLOTTED	2025-03-27	
DRAWN	TT	REVIEWED
DRAWING	GB	

DPL.00

DATE	DESCRIPTION
2022-03-25	ISSUED FOR DP
2022-06-13	ISSUED FOR DP RESPONSE
2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
2023-12-08	ISSUED FOR DP VARIANCE
2024-03-15	RE-ISSUED FOR DP VARIANCE
2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
2024-08-09	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
2024-09-27	ISSUED FOR 40% PROGRESS SET
2024-10-25	ISSUED FOR 50% PROGRESS SET
2024-12-20	ISSUED FOR 80% PROGRESS SET
2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
2025-02-21	ISSUED FOR BP COORDINATION
2025-02-28	RE-ISSUED FOR FULL BP
2025-03-27	RE-ISSUED FOR DP VARIANCE

# PROJECT **DOUGLAS ST**

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ADDRESS  
**1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE VICTORIA BC**

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DRAWING TITLE

# PREFCFDENT IMAGES

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A compass rose with a vertical line pointing North and a horizontal line pointing East.

PROJECT NO.			
DATE	2022-05-25		
FILE NAME	21061 PLAN.vwx		
PLOTTED	2025-03-27		
DRAWN	TT	REVIEWED	GB
DRAWING			

# DP L0.01



REVISIONS AND ISSUES			
NO.	DATE	DESCRIPTION	
1	2022-03-25	ISSUED FOR DP	
2	2022-06-13	ISSUED FOR DP RESPONSE	
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS	
5	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS	
5	2023-12-06	ISSUED FOR DP VARIANCE	
6	2024-03-15	RE-ISSUED FOR DP VARIANCE	
7	2024-04-26	ISSUED FOR DPV PRIOR TO COTW RESPONSE	
8	2024-08-09	ISSUED FOR DPV PRIOR TO COTW RESPONSE	
9	2024-09-27	ISSUED FOR 40% PROGRESS SET	
10	2024-10-25	ISSUED FOR 50% PROGRESS SET	
11	2024-12-20	ISSUED FOR 80% PROGRESS SET	
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT	
13	2025-02-21	ISSUED FOR BP COORDINATION	
14	2025-02-27	RE-ISSUED FOR FULL BP	
15	2025-03-27	RE-ISSUED FOR DP VARIANCE	

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	C.I.P Concrete Planter N/A Colour: N/A / Finish: Light Sand Blasting
H2	C.I.P Concrete Stairs with Handrails N/A Colour: N/A / Finish: Light Sand Blasting / Handrails: Stainless steel
H3	Boulder Wall along water feature N/A Colour: N/A / Finish: N/A
H4	C.I.P Concrete Seat Wall with Timber Seat Top N/A Bench Top Material: IPE / Colour: No stain, UV Coating/ Finish: S4S
H5	Custom Terraced Seating Platform N/A Platform Material: IPE / Colour: No stain, UV Coating/ Finish: S4S
H6	Custom Seating Platform N/A Platform Material: IPE / Colour: No stain, UV Coating/ Finish: S4S
H7	C.I.P Concrete Seat Wall N/A Colour: N/A / Finish: Light Sand Blasting

#### GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

#### LANDSCAPE CONSTRUCTION NOTES

##### CONTRACT DOCUMENTS:

THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE LANDSCAPE CREW ON SITE ALWAYS HAS AND IS WORKING WITH THE LATEST CONTRACT DOCUMENTS (I.E. DRAWINGS, REVISIONS, SITE INSTRUCTIONS, ETC.)

##### COMPLIANCE:

PWL SHALL NOT ACCEPT RESPONSIBILITY OR LIABILITY AS IT RELATES TO THE LANDSCAPE CONSTRUCTION DUE TO DISREGARDS, ALTERATION OR FAILURE TO COMPLY WITH THE DESIGN, DRAWINGS, SPECIFICATIONS OR RECOMMENDATIONS OF THIS PROJECT DURING THE CONSTRUCTION STAGE.

##### CONSTRUCTION STAGE FIELD REVIEW:

- FIELD REVIEW BY PWL SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CONTROLLING THE PROGRESS, PROVIDING SAFE WORKING CONDITIONS, AND CORRECTING ANY DEVIATIONS FROM THE PROJECT REQUIREMENTS.
- FIELD REVIEW REPORT BY PWL IS THE STATEMENT OF THE FIELD REVIEWER THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, INFORMATION AND BELIEF, THE INSTALLATION IS IN ACCORDANCE WITH THE GENERAL INTENT OF THE DESIGN AND IN GENERAL COMPLIANCE WITH THE PLAN AND SPECIFICATION ON THIS PROJECT. FIELD REVIEW SERVICES DO NOT ASSUME RESPONSIBILITY FOR THE WORK OF CONTRACTORS.

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	C.I.P Concrete Paving (Pedestrian Rated) N/A Colour: Natural, Finish: Medium Broom. Pattern: Sawcut Joints.
P2	C.I.P Concrete Paving (Vehicular Rated, Refer to Civil) N/A Colour: Natural, Finish: Medium Broom. Pattern: Sawcut Joints.
P3	Coloured C.I.P Concrete Paving N/A Integral Charcoal, Finish: Medium Broom. Pattern: Sawcut Joints. No troweled frame or joints.
P4	Concrete Unit Paver Type 1 Colour: Charcoal Grey / Finish: Unsealed / Pattern: Herringbone
P5	Concrete Unit Paver Type 2 Broadway 65mm Colour: 75%Natural, 25%Ash/ Finish: Unsealed / Pattern: Running bond
P6	Concrete Unit Paver Type 3 Broadway 65mm Colour: Natural / Finish: Unsealed / Pattern: Running bond
P7	Hydropressed Slab on Pedestals Texada Hydropressed Slabs Colour: Natural
P8	Porcelain Paver on Pedestals Glocal Colour: Type GC04
P9	Artificial Turf at Dog Play SYNPro PET Colour: Field Green + Olive + Apple
P10	Maintenance Strip N/A N/A
P11	P.I.P. Rubber Safety Surface LANDSAFE® pour in place rubber surfacing Colour: TBD
P12	Composite Decking 2" Square Edge Board Trex Transcend Colour: Havana Gold

#### LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

#### PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NURSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIALS AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

SITE FURNISHING MATERIALS LEGEND			
KEY	DESCRIPTION	KEY	DESCRIPTION
F1	Outdoor Bistro Table Chipman Table Colour: Titanium Metallic / Finish: Powdercoated Metal	F22	Backless Bench MultipliCITY Bench Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe
F2	Outdoor Bistro Chair Chipman Chair Colour: Titanium Metallic / Finish: Powdercoated Metal	F23	Potting Table and Storage Custom Timber Colour: Tight knot Red Cedar, Finish: Skikkens Ceto 1 Translucent Wood Finish - 078 Natural/ Metal Colour: Powdercoated RAL 7015 Slate Grey
F3	Lounge Chair Cochran Chaise Lounge Colour: Titanium Metallic / Finish: Powdercoated Metal Fabric: MeldStoneTM Colour: Natural Ecru	F24	Fire Table Fire Table Colour: Cinder
F4	Bike Rack Edgetyre, STE110 Colour: Grey Aluminium / Finish: Powdercoated Metal	F25	Fire Bowl Hemi Firebowl Colour: Cinder
F5	E Scooter Rack Trot, STR410 Colour: Grey Aluminium / Finish: Powdercoated Metal	F26	Fire Hydrant for Dog play area Item# FAM-QL5468 Colour: Red
F6	Pebble Seat Cast Stone Colour:Light Grey, Finish:Molded fiber-reinforced light weight concrete with integral colour pigment	F27	Dog Play Log Refer to Details N/A
F7	Metal Grate Title Wave Powder Coated: Stone	F28	Metal Planter Custom Colour: Slate Finish: Durable, UV rated powder coate
F8	Glass Guardrail Custom N/A	F29	Kids Play Equipment Springer Springer Robinia Wood
F9	Post for Catenary Light Kila Metal:Powder Coated Wood:Accoya	F30	Kids Play Equipment Block Climber BLOQX 2
F10	Metal Gate at Dog Park Custom Colour: RAL- 9007 Gray aluminium/Finish: Pre-finished Aluminum, Powder Coated Black	F31	Backed Bench MBE-2300-00017 Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe
F11	Metal Fence at Dog Park Custom Colour: RAL- 9007 Gray aluminium/Finish: Pre-finished Aluminum, Powder Coated Black	F32	Cluster Seating MTB-1100-00014 Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe
F12	Privacy Fence Between Building A and B/C 4' Omega Architectural Fence Panel Colour: Black/ Finish: Pre-galvanized and Polyester powder coated	F33	Bird House Cedar Post with Bird House Natural Cedar with Clear Coat, Bird House Colour: RAL 1015
F13	Metal Gate Between Building A and B/C 6' Omega Architectural Single Swing Gate Colour: Black/ Finish: Pre-galvanized and Polyester powder coated	F34	Outdoor Sofa Lounge N/A
F14	Adirondack Chair Americana Colour: Apple Red/ Finish: High-Density Polyethylene	F35	Weatherproof Trellis at Building A Metal and Timber Trellis with Glass Top Wood components to be Cedar. Sanded with natural stain. All metal components to be galvanized. Frame structure to be painted RAL: 9007 Gray aluminium. Tampered Glass Top, thickness and attachment details per Trade's own engineer.
F15	Bar Top Jessie Rail Top Basic Unit Colour: Titanium Metallic / Finish: Powdercoated Metal	F36	Weatherproof Trellis at Public Amenity Metal and Timber Trellis with Glass Top Wood components to be Cedar. Sanded with natural stain. All metal components to be galvanized. Frame structure to be painted RAL: 9007 Gray aluminium. Tampered Glass Top, thickness and attachment details per Trade's own engineer.
F16	Bar Stool Morrison Stool Colour: Titanium Metallic / Ipe	F37	Offsite Recycling Bin Type A Litter Bin with Recycling Component, Modern Metal Bin Glossy Black (RAL 9017) Baked on Powder Coat
F17	Compost Bin Compost Bin: Free Garden Earth Colour: Black	F38	Offsite Tree Grate Square Tree Grate, Contemporary Metal
F18	Urban Agriculture Boxes Throughs Powder Coated Aluminum, Slate colour	F39	Offsite Tree Guard Metal Tree Guard Glossy Black (RAL 9017) Baked on Powder Coat
F19	BBQ Counter Meadow 36 Top Mounted Sink	F40	Offsite Bike Rack Standard Bike Rack Glossy Black (RAL 9017) Baked on Powder Coat
F20	Harvest Table MultipliCITY Table Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe	F41	Offsite Bench Wood Chair with Backrest, Heritage Chair Glossy Black (RAL9017) Baked-on Powder Coat Frame, Varnished Slats

#### PROJECT DOUGLAS ST

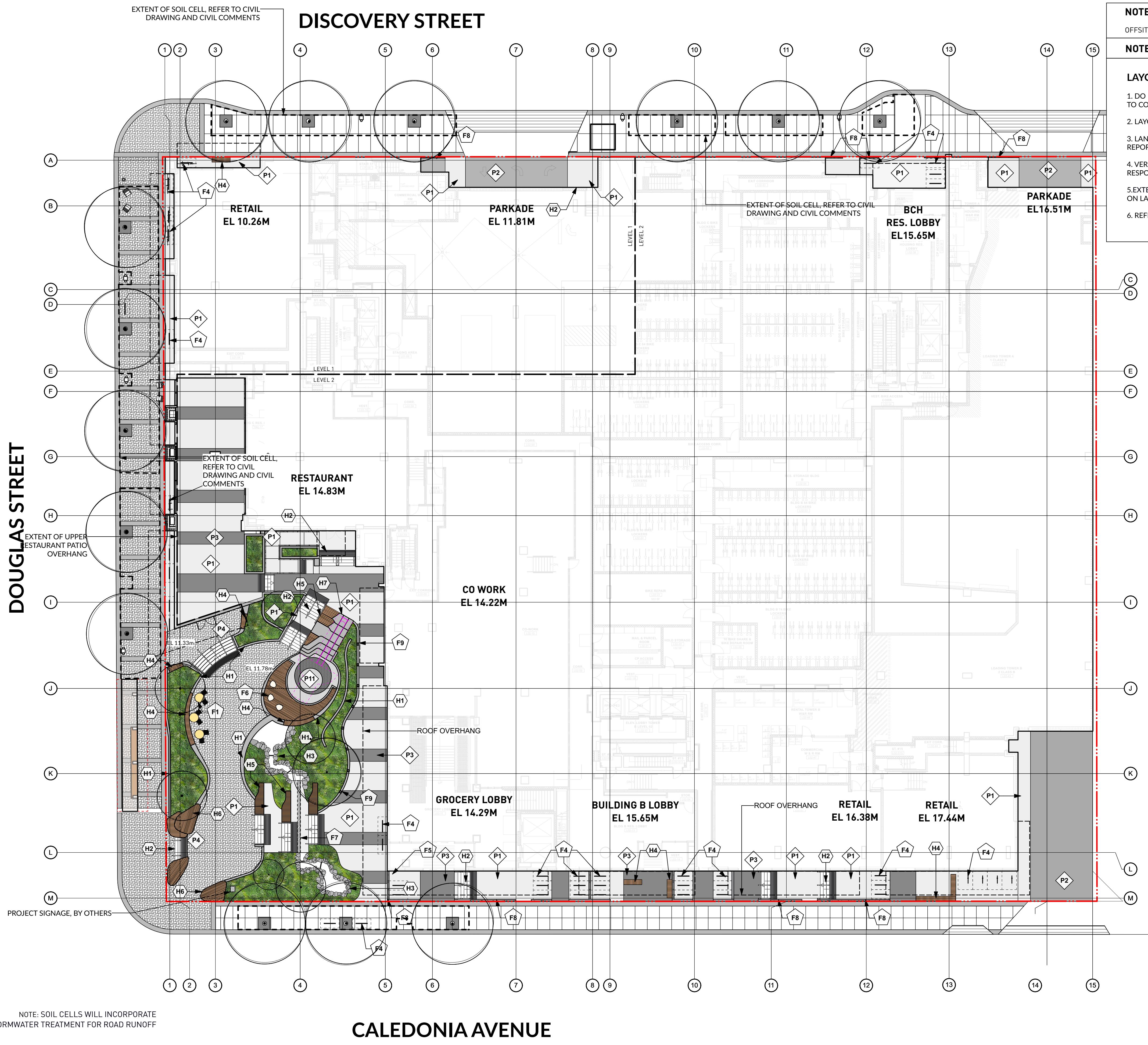
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

#### NOTES AND LEGENDS

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NOTE	SCALE
NORTH	N/A
DATE	2022-05-25
FILE NAME	21061 PLAN.vwx
PLOTTED	2025-03-27
DRAWN	TT
REVIEWED	GB
DRAWING	

DP L0.03



**NOTE:**  
OFFSITE IMPROVEMENTS TO CONFIRM TO THE CITY'S DOWNTOWN PUBLIC REALM PLAN AND STREETSCAPE STANDARDS(DPRP)

**NOTE:** REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION

**LAYOUT AND MATERIALS GENERAL NOTES**

1. DO NOT SCALE DRAWING, LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-06	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-26	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

## PROJECT DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET AND 710 CALEDONIA AVE, VICTORIA, BC

## LAYOUT AND MATERIALS PLAN PLAZA/GROUND LEVEL

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	SHORT TERM BIKE RACK REQUIRED	SHORT TERM BIKE RACK PROPOSED
RESIDENTIAL	25 (50 BIKES)	25 (50 BIKES)
COMMERCIAL	15 (30 BIKES)	15 (30 BIKES)
<b>TOTAL</b>	<b>40 (80 BIKES)</b>	<b>40 (80 BIKES)</b>

NOTE: 4 E-scooter parking stalls, 4 Oversized bike parking stalls, and 72 regular bike parking stalls are provided

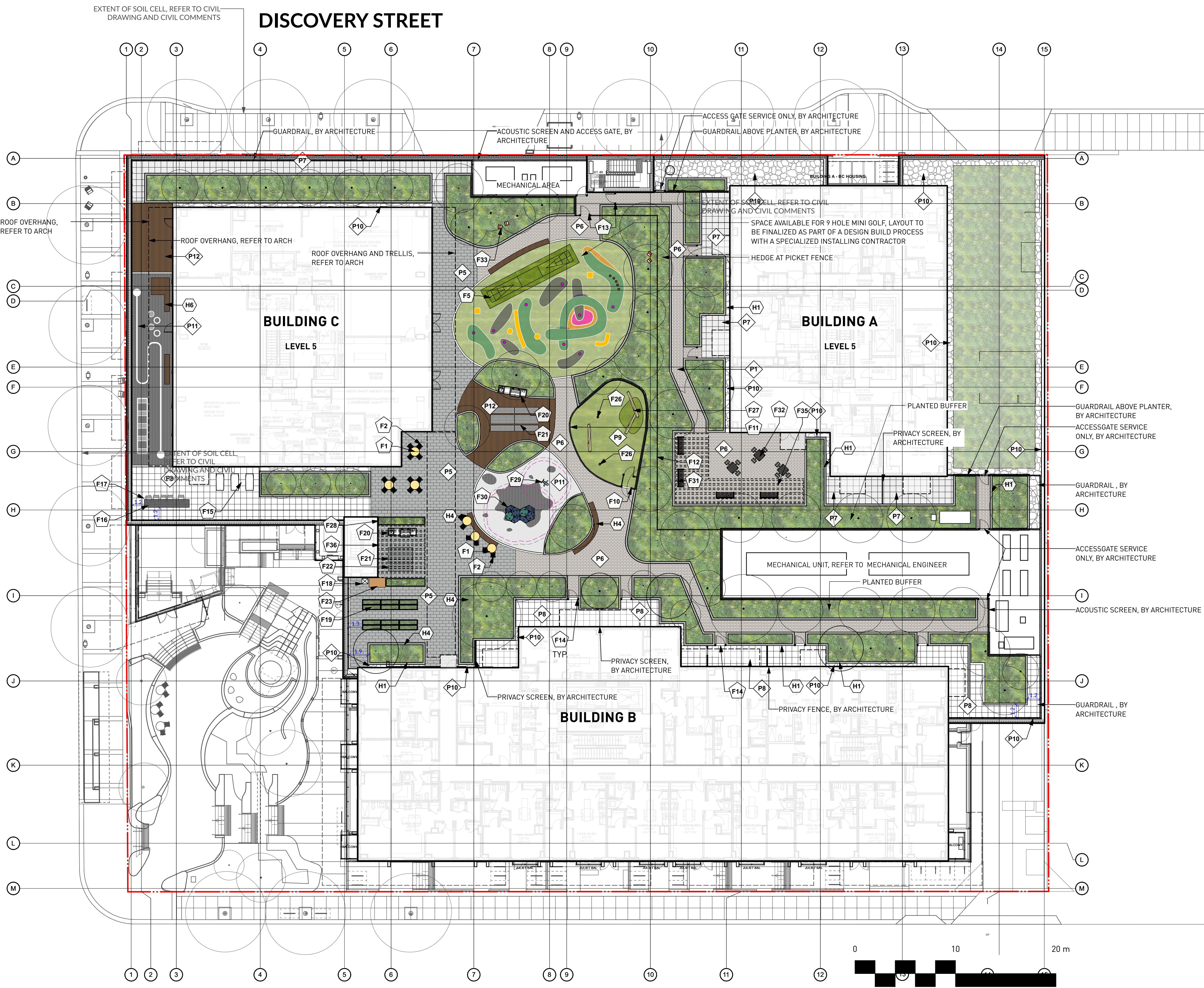
NORTH  
SCALE  
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PROJECT NO.  
DATE 2022-05-25  
FILE NAME 21061 PLAN.vwx  
PLOTTED 2025-03-27  
DRAWN TT REVIEWED GB  
DRAWING

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DP L1.00

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
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13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE



PROJECT DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

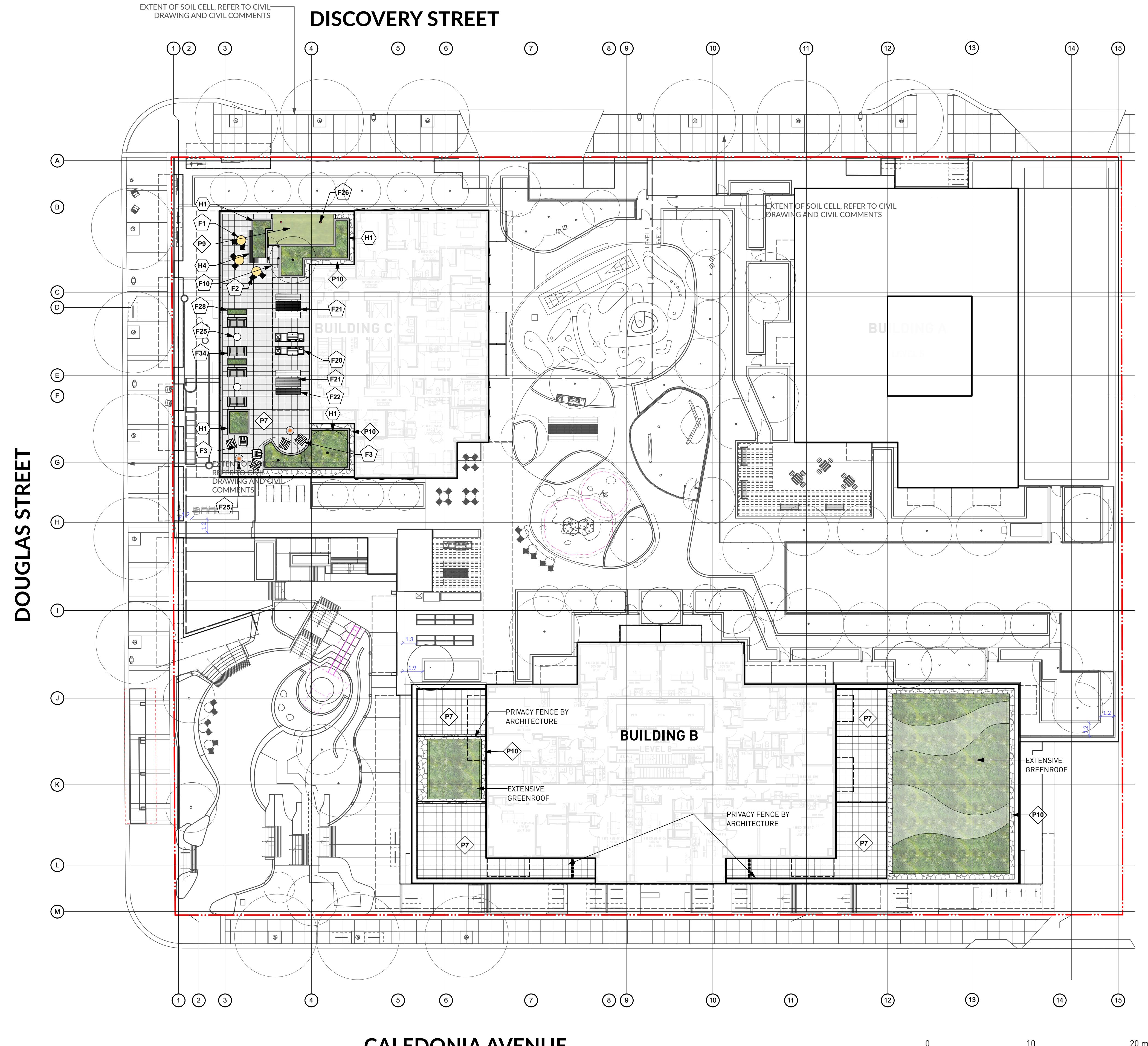
DRAWING TITLE  
LAYOUT AND MATERIALS PLAN  
L3 AMENITY LEVEL

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NORTH SCALE  
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PROJECT NO. DATE 2022-05-25  
FILE NAME 21061 PLAN.vwx  
PLOTTED 2025-03-27  
DRAWN TT REVIEWED GB  
DRAWING

DP L1.01



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[www.pwlpartnership.com](http://www.pwlpartnership.com)

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-09	ISSUED FOR DP VARIANCE
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12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

PROJECT  
**DOUGLAS ST**

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
**LAYOUT AND MATERIALS PLAN BLDG C AMENITY ROOF**

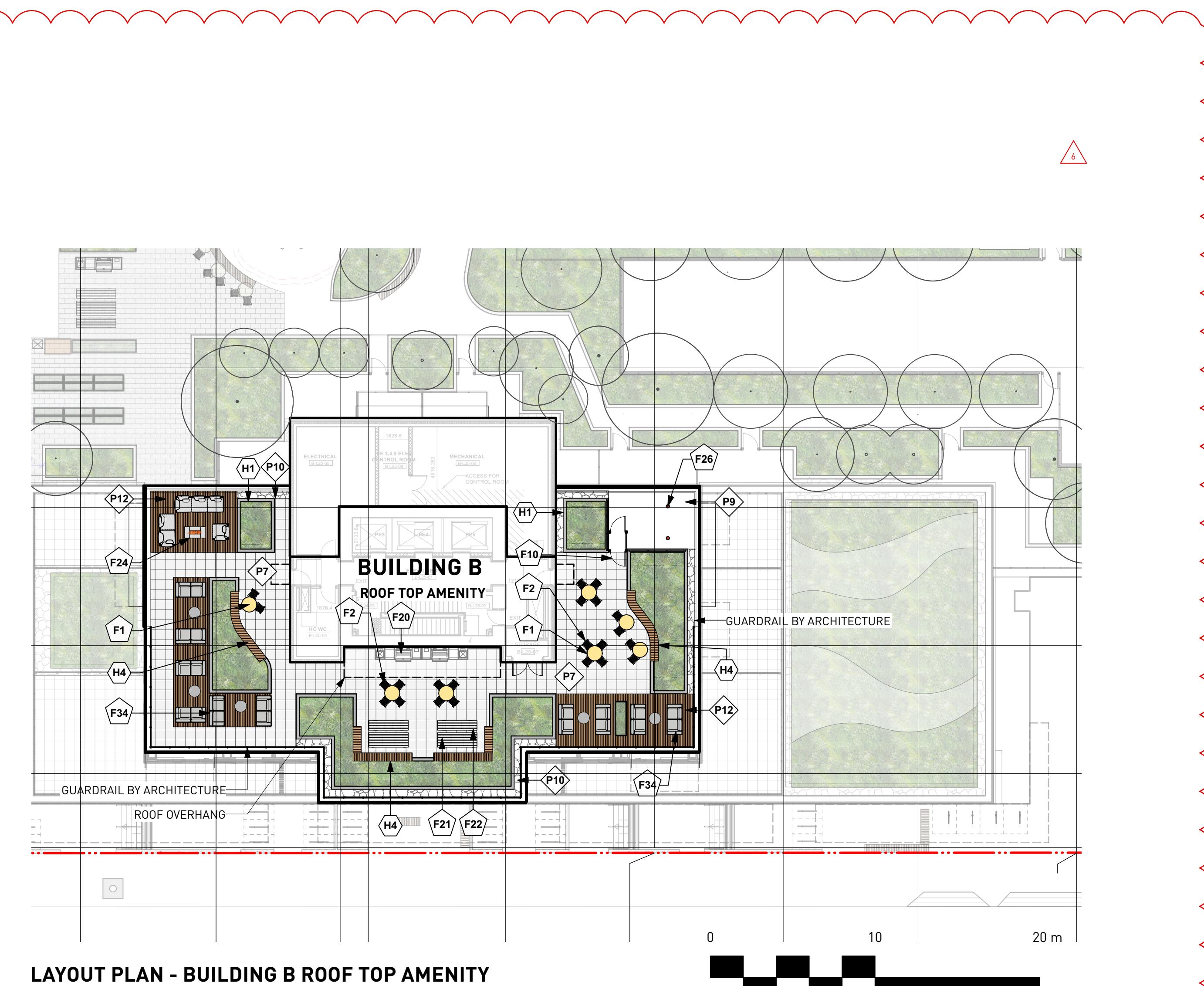
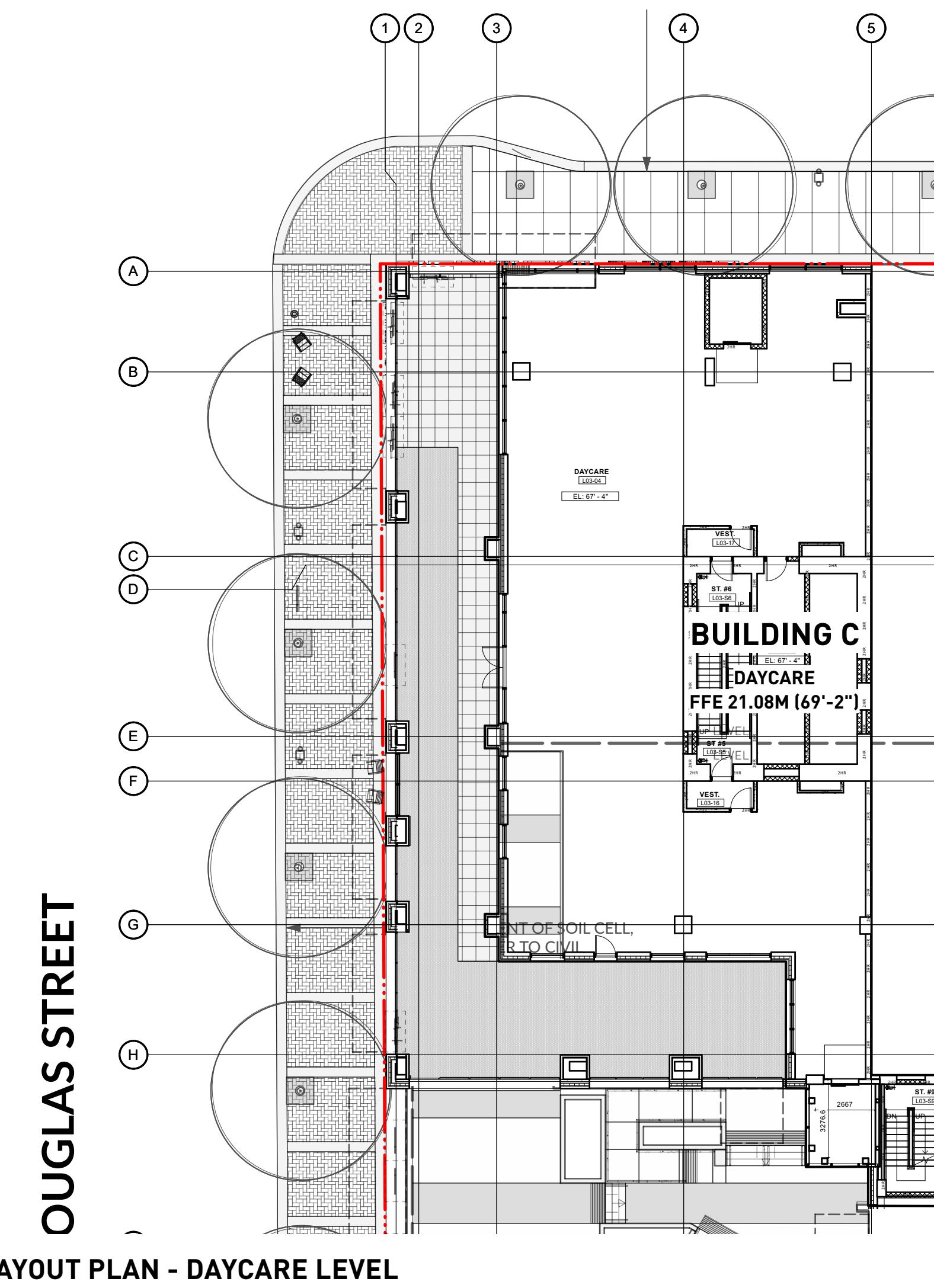
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PROJECT NO.  
DATE 2022-05-25  
FILE NAME 21061 PLAN.vwx  
PLOTTED 2025-03-27  
DRAWN TT REVIEWED GB  
DRAWING

**DP L1.02**

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
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15	2025-03-27	RE-ISSUED FOR DP VARIANCE



PROJECT  
**DOUGLAS ST**

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
**LAYOUT AND  
MATERIALS PLAN  
BLDG C DAYCARE  
BLDG B AMENITY**

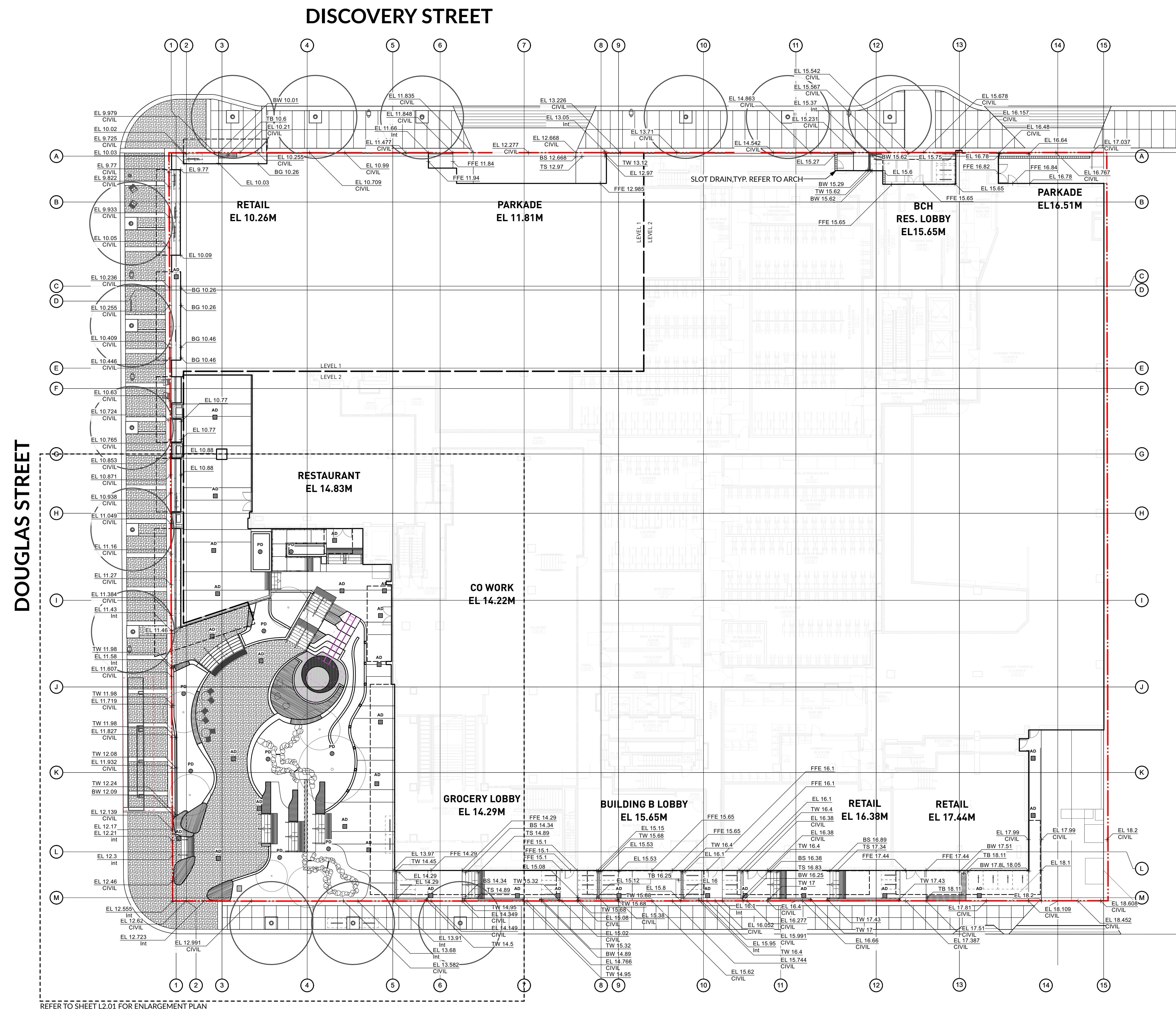
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PROJECT NO.  
DATE 2022-05-25  
FILE NAME 21061 PLAN.vwx  
PLOTTED 2025-03-27  
DRAWN TT REVIEWED GB  
DRAWING



REVISIONS AND ISSUES		
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15	2025-03-27	RE-ISSUED FOR DP VARIANCE



GRADING LEGEND	
EL 0.94m +	Existing Elevation
FFE 0.94m +	Proposed Elevation
TW 0.94m +	Finished Floor Elevation
BW 0.94m +	Proposed Top of Wall Elevation
TS 0.94m +	Proposed Bottom of Wall Elevation
BS 0.94m +	Proposed Top of Stair Elevation
TC 0.94m +	Proposed Bottom of Stair Elevation
BC 0.94m +	Proposed Top of Curb Elevation
TR 0.94m +	Proposed Bottom of Curb Elevation
BR 0.94m +	Proposed Top of Ramp Elevation
SW 0.94m +	Proposed Bottom of Ramp Elevation
--- 79.5 ---	Swale Elevation
--- 79.5 ---	Existing Contour
--- 79.5 ---	Proposed Contour
T	Trench Drain
P	Perforated Pipe
AD	Area Drain
LB	Lawn Basin
PD	Planter Drain
CB	Catch Basin
RD	Roof Drain, shown for reference only, see mechanical and architectural drawings

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

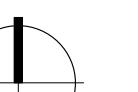
PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
GRADING PLAN

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NORTH



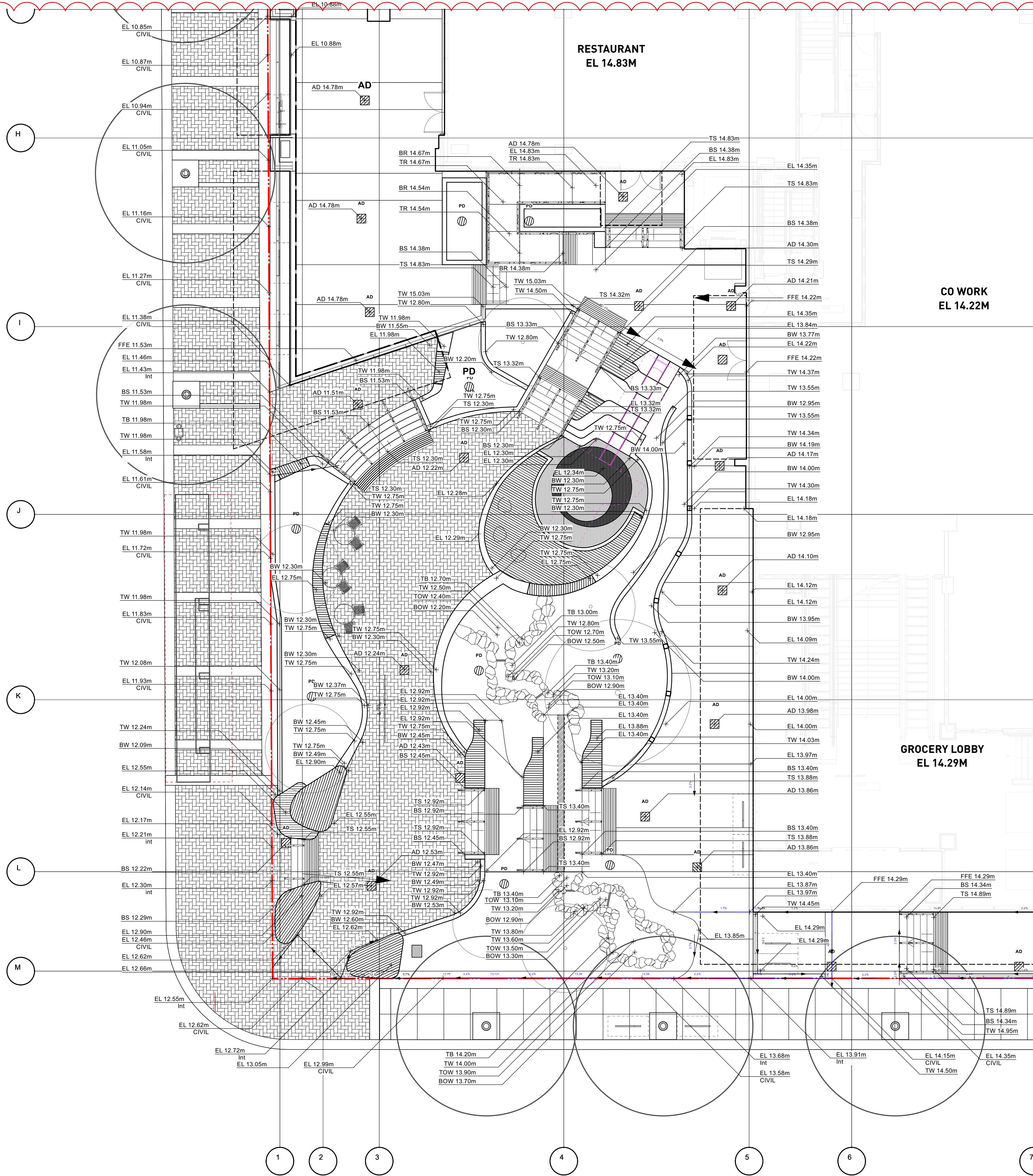
SCALE  
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PROJECT NO.	DATE	FILE NAME	PLOTTED	DRAWN	REVIEWED	GB
	2022-05-25	21061 PLAN.vwx	2025-03-27	TT		



DP L2.01

# DOUGLAS STREET



CALEDONIA AVENUE

0 10 20 m

**PWL**  
PARTNERSHIP

5th Floor, East Asiatic House  
1201 West Pender St, Vancouver, BC V6E 2V2  
T 604.688.6111

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REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-06	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

GRADING LEGEND	
	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation
	Proposed Top of Ramp Elevation
	Proposed Bottom of Ramp Elevation
	Swale Elevation
	Existing Contour
	Proposed Contour
	Trench Drain
	Perforated Pipe
	Area Drain
	Lawn Basin
	Planter Drain
	Catch Basin
	Roof Drain, shown for reference only, see mechanical and architectural drawings

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
GRADING PLAN

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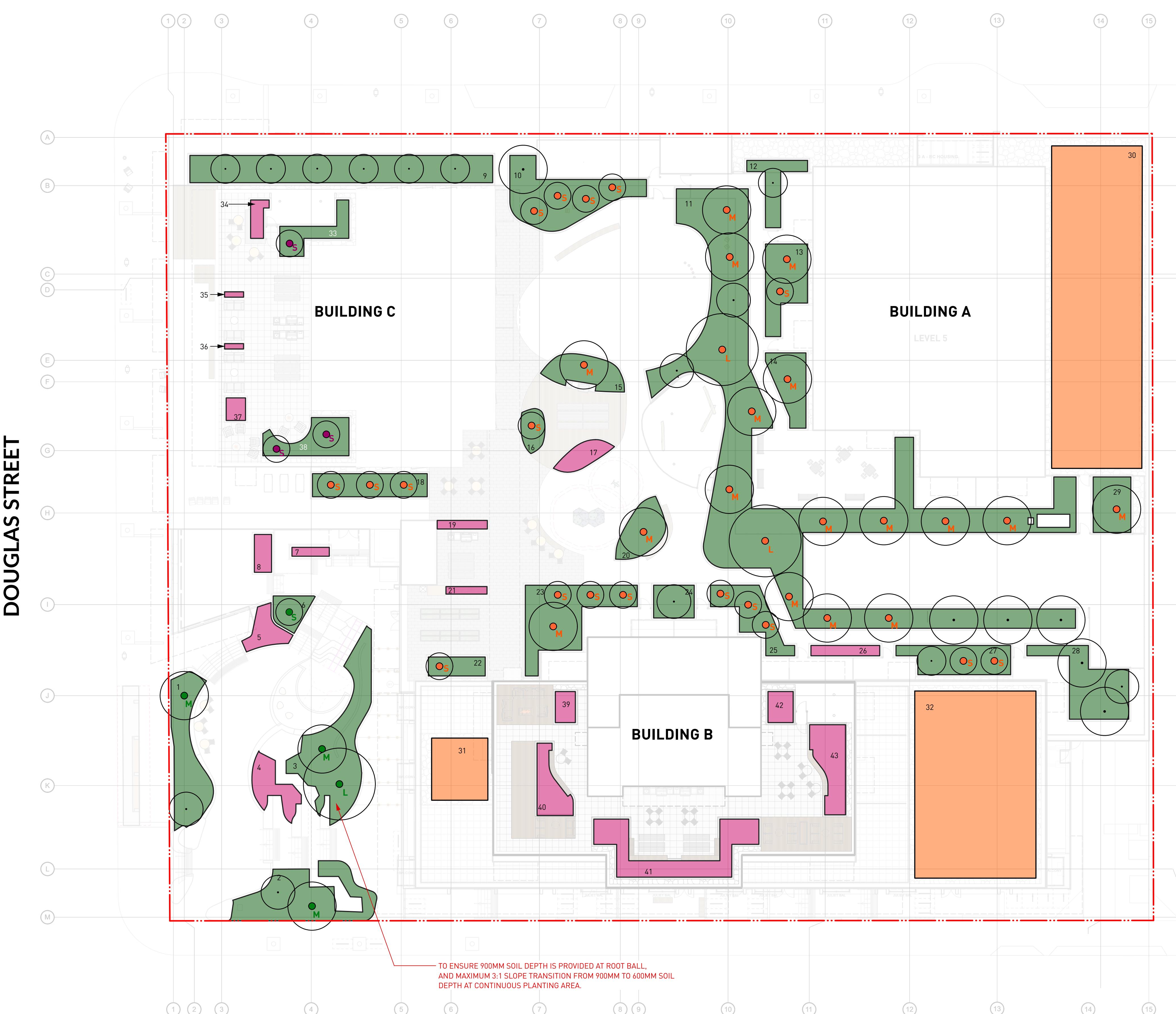
NORTH	SCALE
	1:200
PROJECT NO.	
DATE 2022-05-25	
FILE NAME 21061 PLAN.vwx	
PLOTTED 2025-03-27	
DRAWN TT REVIEWED GB	
DRAWING	

DP L2.02

DISCOVERY STREET

DOUGLAS STREET

CALEDONIA AVENUE



LEGEND

900mm DEEP PLANTING AREA	888.03M <sup>2</sup>
1	35.0M <sup>2</sup>
2	45.9M <sup>2</sup>
3	55.9M <sup>2</sup>
6	9.1M <sup>2</sup>
9	71.7M <sup>2</sup>
10	47.35M <sup>2</sup>
11	307.0M <sup>2</sup>
12	13.4M <sup>2</sup>
13	26M <sup>2</sup>
14	18.2M <sup>2</sup>
15	18.1M <sup>2</sup>
16	7.6M <sup>2</sup>
18	23.0M <sup>2</sup>
20	17.18M <sup>2</sup>
22	9.4M <sup>2</sup>
23	45.1M <sup>2</sup>
24	11.5M <sup>2</sup>
25	21.8M <sup>2</sup>
27	25.5M <sup>2</sup>
28	33.4M <sup>2</sup>
29	18.1M <sup>2</sup>
33	13.8M <sup>2</sup>
38	19.9M <sup>2</sup>

QUANTITY

1	35.0M <sup>2</sup>
2	45.9M <sup>2</sup>
3	55.9M <sup>2</sup>
6	9.1M <sup>2</sup>
9	71.7M <sup>2</sup>
10	47.35M <sup>2</sup>
11	307.0M <sup>2</sup>
12	13.4M <sup>2</sup>
13	26M <sup>2</sup>
14	18.2M <sup>2</sup>
15	18.1M <sup>2</sup>
16	7.6M <sup>2</sup>
18	23.0M <sup>2</sup>
20	17.18M <sup>2</sup>
22	9.4M <sup>2</sup>
23	45.1M <sup>2</sup>
24	11.5M <sup>2</sup>
25	21.8M <sup>2</sup>
27	25.5M <sup>2</sup>
28	33.4M <sup>2</sup>
29	18.1M <sup>2</sup>
33	13.8M <sup>2</sup>
38	19.9M <sup>2</sup>

600mm DEEP PLANTING AREA

4	146.6M <sup>2</sup>
5	13.9M <sup>2</sup>
7	9.9M <sup>2</sup>
8	2.9M <sup>2</sup>
17	5.7M <sup>2</sup>
19	9.0M <sup>2</sup>
21	3.7M <sup>2</sup>
26	2.7M <sup>2</sup>
34	6.2M <sup>2</sup>
35	4.7M <sup>2</sup>
36	0.9M <sup>2</sup>
37	3.8M <sup>2</sup>
39	5.4M <sup>2</sup>
40	13.8M <sup>2</sup>
41	36.0M <sup>2</sup>
42	20.6M <sup>2</sup>
43	6.8M <sup>2</sup>

150mm DEEP EXTENSIVE GREEN ROOF TRAY SYSTEM

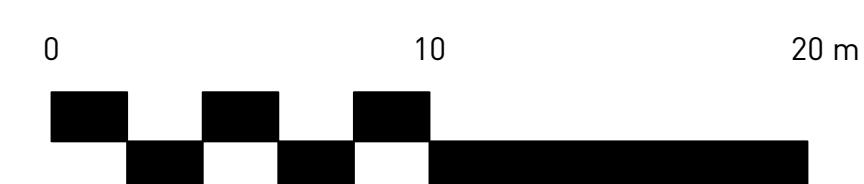
30	480.2M <sup>2</sup>
31	253.1M <sup>2</sup>
32	30.3M <sup>2</sup>

196.8M<sup>2</sup>

TREES PROPOSED FOR THE REPLACEMENT TREES

FLOOR Level	LEGEND	TREE SIZE	PROPOSED SOIL VOLUME PER TREE	QTY.	REPLACEMENT TREE COUNT
PLAZA/U PPER GROUND LEVEL	LARGE TREE	MIN. 30M <sup>3</sup> SOIL VOLUME PER TREE	1	45	TREE COUNT AS REPLACEMENT TREE
	MEDIUM TREE	MIN. 15M <sup>3</sup> SOIL VOLUME PER TREE	3		
	SMALL TREE	MIN. 6M <sup>3</sup> SOIL VOLUME PER TREE	1		
	LARGE TREE	MIN. 30M <sup>3</sup> SOIL VOLUME PER TREE	2		
LEVEL 3 AMENITY	MEDIUM TREE	MIN. 15M <sup>3</sup> SOIL VOLUME PER TREE	17		
	SMALL TREE	MIN. 6M <sup>3</sup> SOIL VOLUME PER TREE	18		
	LARGE TREE	MIN. 30M <sup>3</sup> SOIL VOLUME PER TREE	2		
LEVEL 21 ROOF TOP AMENITY	SMALL TREE	MIN. 6M <sup>3</sup> SOIL VOLUME PER TREE	3		
ALL LEVEL	SMALL TREE	MIN. 10M <sup>3</sup> SOIL VOLUME PER TREE	20		TREE DOESN'T COUNT AS REPLACEMENT TREE

NOTE: SOIL DEPTH TRANSITION AT CONTINUOUS PLANTING AREA IS ILLUSTRATED FOR REFERENCE ONLY.  
900MM SOIL DEPTH NEED TO BE PROVIDED AT TREE ROOT BALL AREA.  
MAXIMUM 3:1 SLOPE IS NEEDED AT TRANSITION AREA FROM 900MM TO 600MM SOIL DEPTH



PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
SOIL DEPTH  
COORDINATION  
PLAN

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NORTH SCALE  
1:200

PROJECT NO.

DATE 2022-05-25

FILE NAME 21061 PLAN.vwx

PLOTTED 2025-03-27

DRAWN TT REVIEWED GB

DRAWING

DP L3.00

L3 Amenity

Plant List - On Site						
ID	Botanical Name	Common Name	Scheduled Size	Proposed Canopy Cover (Trees Only)	Spacing	Remarks
<b>Trees</b>						
ACR	<i>Acer circinatum</i>	Vine Maple	2.4 m ht. [8'-0" cal.]	3.6 m	As Shown	B&B, Nursery grown, minimum 3 stems
ASR	<i>Acer griseum</i>	Paper Bark Maple	6 cm cal. [2.5" cal.]	4.5 m	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
APL	<i>Acer palmatum 'Green'</i>	Green Japanese Maple	2.4 m ht. x 1.9 m w. [6 ht. x 6 w.]	4.5 m	As Shown	B&B, Sparse and densely branched, no included bark
ARJ	<i>Acer rubrum 'Frank Jr.'</i>	Redpointe Red Maple	8 cm cal. [3" cal.]	6.6 m	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
AXA	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Serviceberry	3.0 m ht. [9'-0" ht.]	3.6 m	As Shown	B&B, Multi-stemmed, dense tree
CKO	<i>Cornus kousa</i>	Kousa Dogwood	2.4 m ht. [8'-0" ht.]	3.0 m	As Shown	B&B, Well branched, dense tree
POR-4	<i>Picea omorika</i>	Serbian Spruce	4 m ht. [13'-0" ht.]	4.9 m	As Shown	B&B, Well branched, dense tree
QCC	<i>Quercus coccinea</i>	Scarlet Oak	8 cm cal. [3" cal.]	6.7 m	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
SPS	<i>Stewartia pseudocamellia</i>	Japanese Stewartia	6 cm cal. [2.5" cal.]	4.9 m	As Shown	B&B, Well branched, dense tree
<b>Shrubs</b>						
AOL	<i>Azalea 'Orchid Lights'</i>	Orchid Lights Azalea	#2 pot	75cm [30"]	Well established	
AJC	<i>Azalea japonica 'Hino Crimson'</i>	Hino Crimson Japanese Azalea	#2 pot	60cm [24"]	Well established	
CSK	<i>Cornus sericea 'Kelseyi'</i>	Kelseyi Dogwood	#2 pot	60cm [24"]	Well established, nursery grown	
DSH	<i>Prunus pensylvanica</i>	Saskatoon	#2 pot	75cm [30"]	Well established, nursery grown	
LPL	<i>Lonicera pileata</i>	Privet Honeysuckle	#1 pot	75cm [30"]	Well established, nursery grown	
RSA	<i>Ribes sanguineum</i>	Flowering Currant	#2 pot	100cm [39"]	Well established, nursery grown	
RMP	<i>Rosa 'Midland Pink'</i>	Midland Pink Rose	#2 pot	45cm [18"]	Well established, nursery grown	
SJR	<i>Skimmia japonica 'Rubella'</i>	Red Flowered Japanese Skimmia	#2 pot	60cm [24"]	Well established	
SBA	<i>Spiraea bumalda 'Anthony Waterer'</i>	Anthony Waterer Spirea	#2 pot	60cm [24"]	Well established	
TXM	<i>Taxus x media 'H.M. Eddie'</i>	H.M. Eddie Yew	1.5m	60cm [24"]	Well established, dense hedging plant / B & B	
VCN	<i>Vaccinium corymbosum 'Northblue'</i>	Northblue Blueberry	#3 pot	120cm [48"]	Well established	
VOV	<i>Vaccinium ovalatum</i>	Evergreen Huckleberry	#3 pot	75cm [30"]	Well established, nursery grown	
<b>Ground Cover</b>						
ECP	<i>Erica carnea 'Springwood Pink'</i>	Spring Pink Winter Heath	#1 pot	45cm [18"]	15cm [6"] height	
FVS	<i>Fragaria vesca</i>	Dwarf Oregon Grape	#1 pot	25 cm [10"]	Well established, nursery grown	
MRP	<i>Mahonia nervosa</i>	Dwarf Oregon Grape	#1 pot	40cm [16"]	Well established, nursery grown	
PTM	<i>Pachysandra terminalis</i>	Japanese Spurge	#1 pot	38cm [15"]	10cm [4"] height	
<b>Perennials</b>						
ACC	<i>Anemone coronaria 'Curtain Call'</i>	Curtain Call Japanese Anemone	#1 pot	35 cm [15"]	Well established	
EPR	<i>Echinacea purpurea</i>	Purple Cone Flower	#1 pot	45 cm [18"]	Well established	
HFE	<i>Hosta 'Francee'</i>	Francee Hosta	#1 pot	40 cm [24"]	Well established	
IVC	<i>Iris versicolor</i>	Blue Flag Iris	#1 pot	40 cm [16"]	Well established	
NFW	<i>Nepeta x faassenii 'Walker's Low'</i>	Walker's Low Catmint	#1 pot	38 cm [15"]	Well established	
ORV	<i>Origanum vulgare</i>	Oregano	#1 pot	30cm [12"]	Well established	
RGB	<i>Rudbeckia fulgida 'Goldstrum'</i>	Black-Eyed Susan	#1 pot	45 cm [18"]	Well established	
SLA	<i>Stachys lanata</i>	Lamb's Ear	#1 pot	38 cm [15"]	Well established	
TGR	<i>Tellima grandiflora</i>	Fringe Cup	#1 pot	38 cm [15"]	Well established, nursery grown	
<b>Ornamental Grasses</b>						
CAK	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reedgrass	#2 pot	75 cm [30"]	Well established	
PAH	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	#1 pot	45 cm [18"]	Well established	
<b>Aquatic Plants</b>						
CSA	<i>Carex stipata</i>	Saw Beak Sedge	#1 pot	40 cm [16"]	Full dense plant, nursery grown	
JEF	<i>Juncus effusus</i>	Common Rush	#1 pot	45 cm [18"]	Well established	
<b>Ferns</b>						
BSP	<i>BLECHUM SPICANT</i>	Deer Fern	#1 pot	38 cm [15"]	Well established, nursery grown	
PMU	<i>Polygonatum multiflorum</i>	Western Sword Fern	#1 pot	45 cm [18"]	Well established, nursery grown	

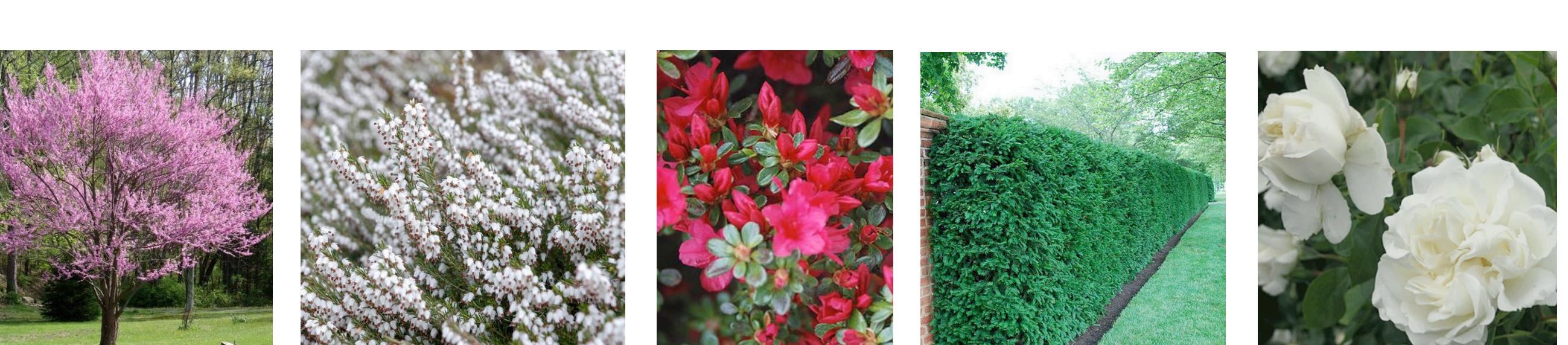
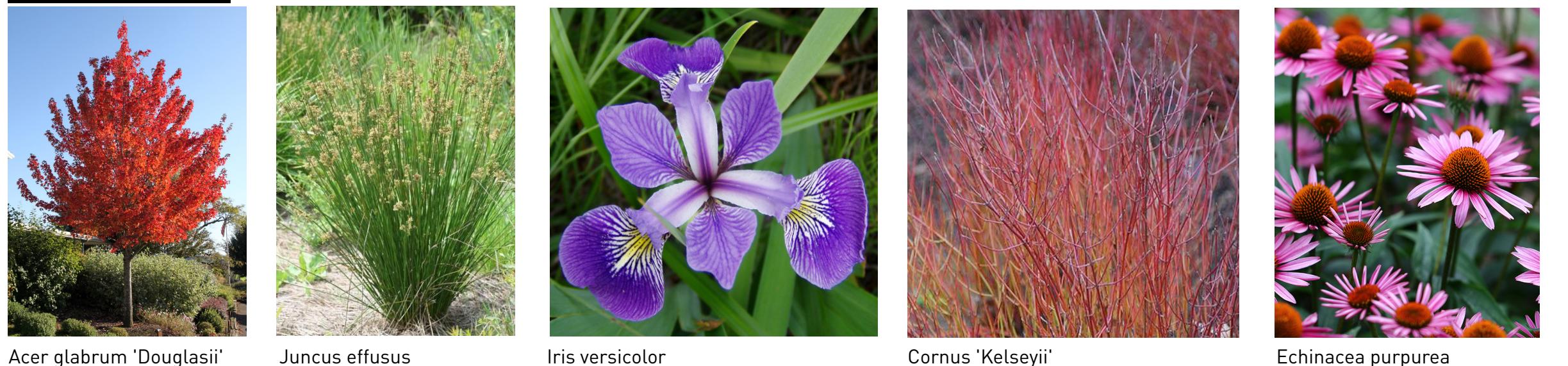
Plant List - Off Site						
ID	Botanical Name	Common Name	Scheduled Size	Proposed Canopy Cover (Trees Only)	Spacing	Remarks
<b>Trees</b>						
ARA	<i>Acer rubrum 'Armstrong'</i>	Armstrong Red Maple	8cm cal. [3" cal.]	8.0 m	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
CBF	<i>Carpinus betulus 'Fastigiata'</i>	Pyramidal European Hornbeam	5 cm cal. [2" cal.]	8.0 m	As Shown	B&B, Dense plant, good branching within 2' (0.6 m) of ground



Terraced Plaza



Water Feature



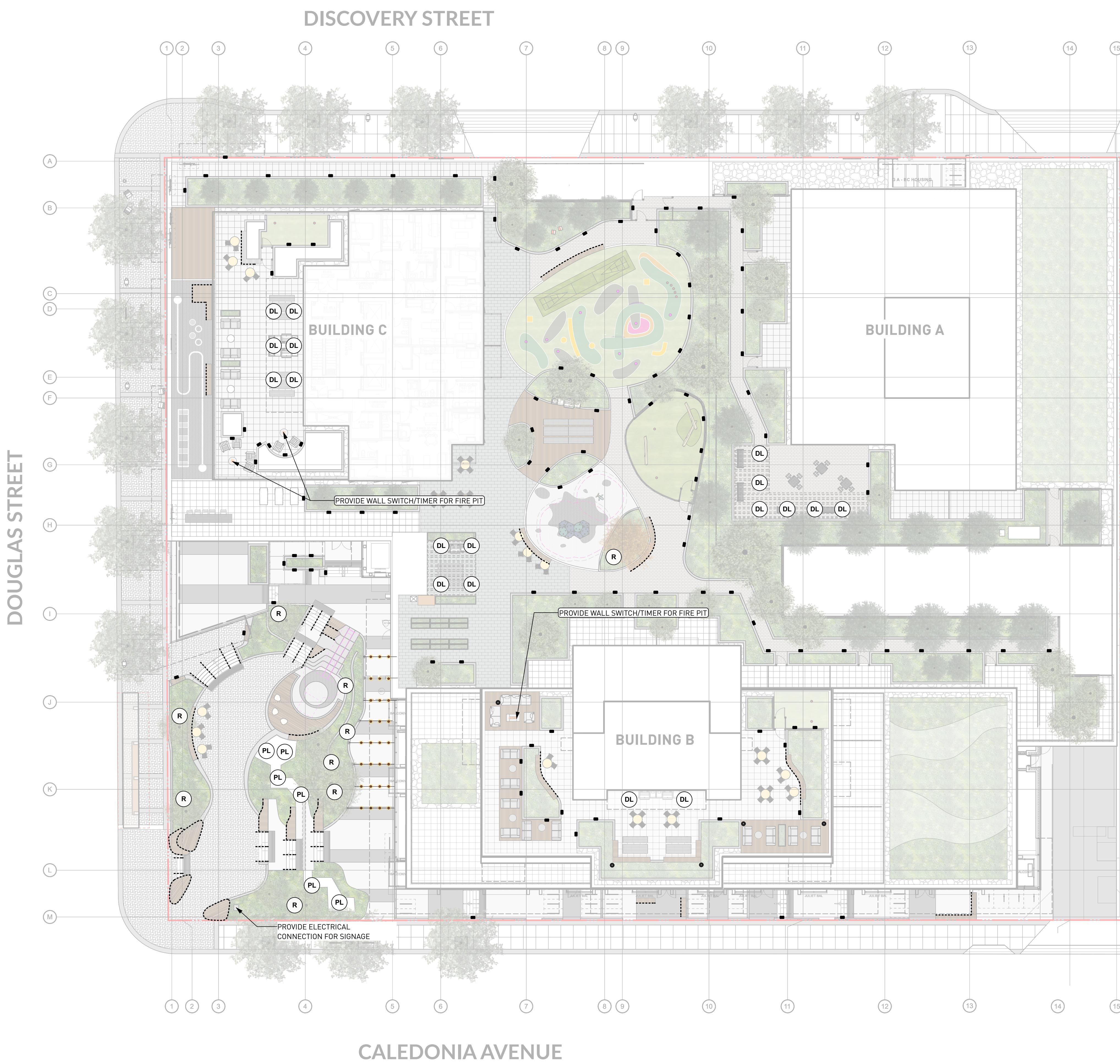
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

PLANT LIST  
ENTIRE SITE

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NORTH	SCALE
Scale	
Scale	
PROJECT NO.	
DATE	2022-05-25
FILE NAME	21061 PLAN.vwx
PLOTTED	2025-03-27
DRAWN	TT
REVIEWED	GB
DRAWING	

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
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13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-27	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE



NOTES:	
PROVIDE WALL SWITCH/TIMER FOR FIRE PIT	PROVIDE ELECTRICAL CONNECTION FOR SIGNAGE

PROJECT  
**DOUGLAS ST**

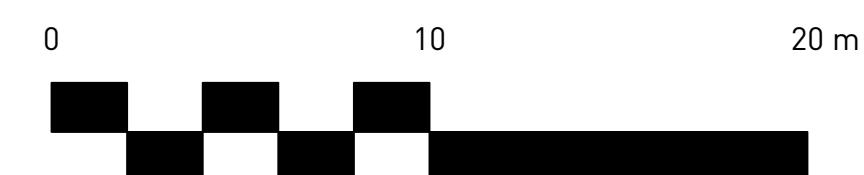
ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
**SCHEMATIC  
LIGHTING PLAN**

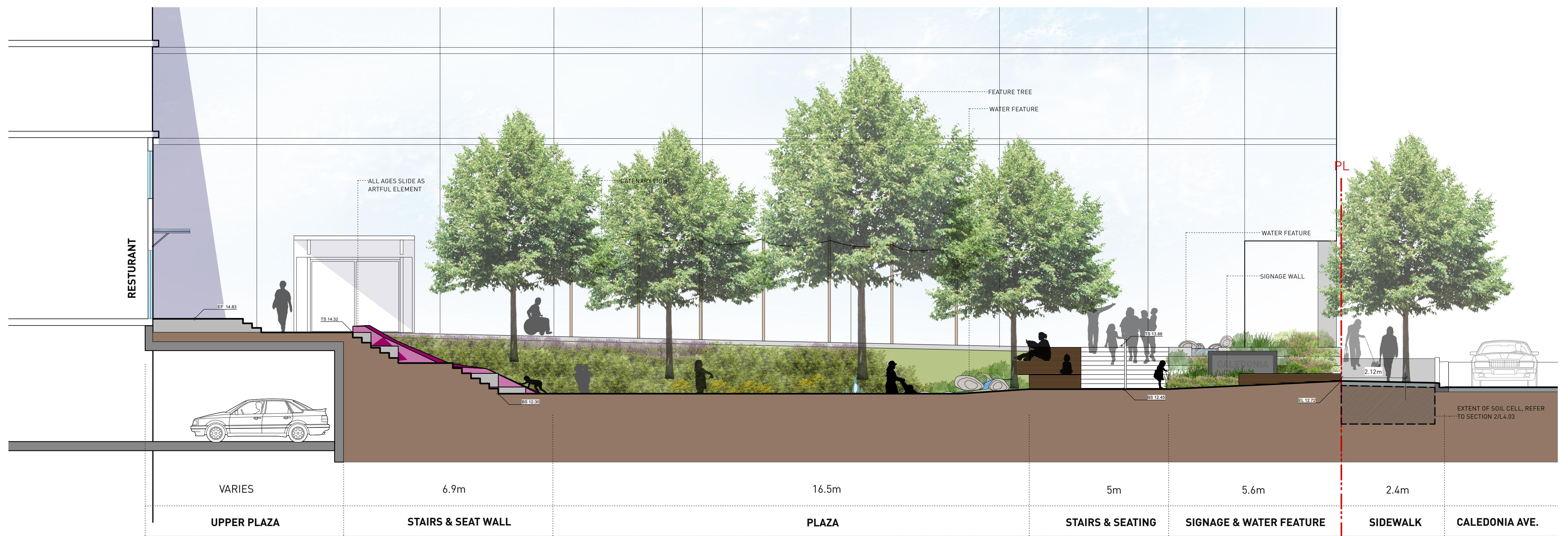
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NORTH SCALE 1:200

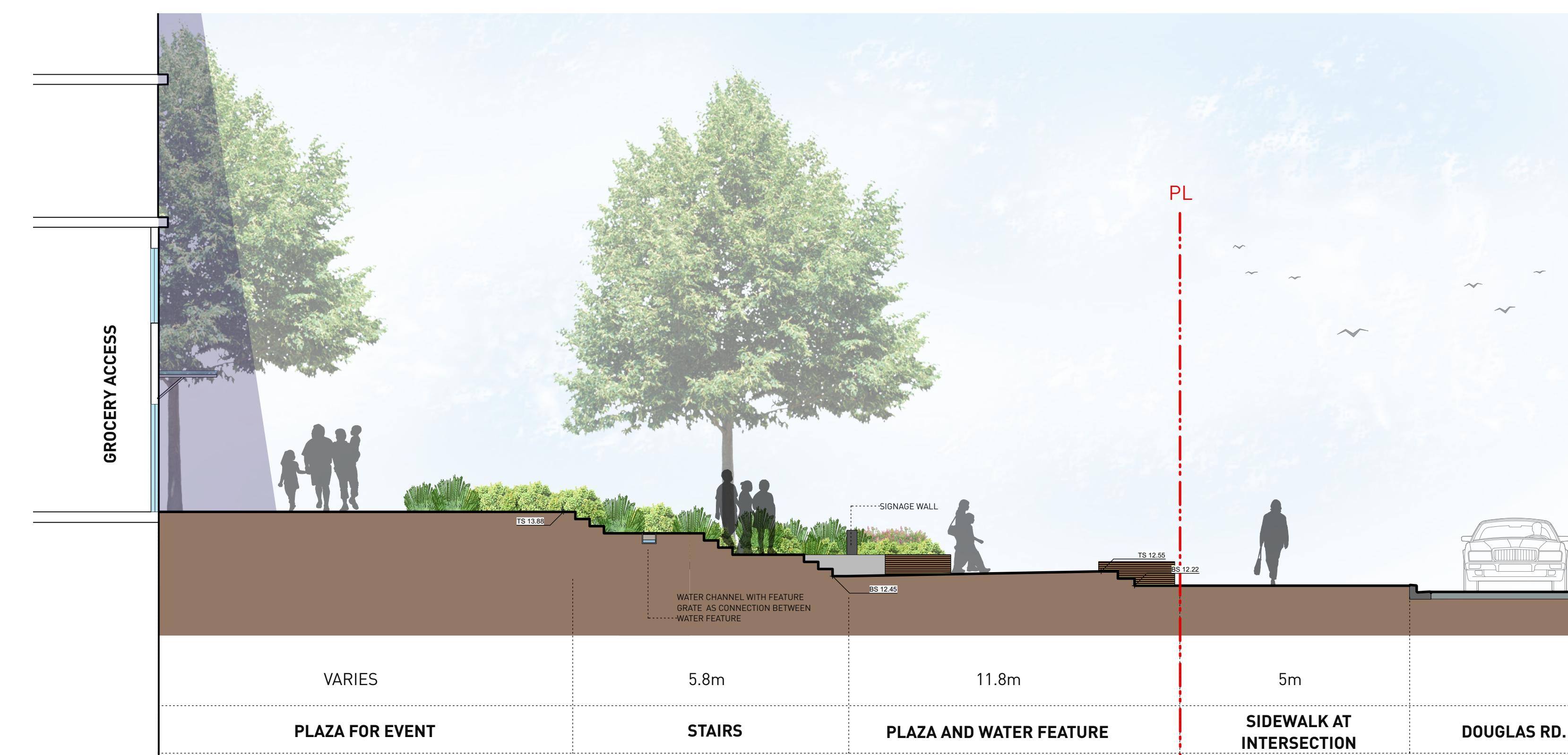
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DATE **2022-05-25**  
FILE NAME **21061 PLAN.vwx**  
PLOTTED **2025-03-27**  
DRAWN **TT** REVIEWED **GB**  
DRAWING **DP L3.02**



**DP L3.02**



1 GROUND LEVEL AND PLAZA AT GROCERY ACCESS  
Scale: 1:75

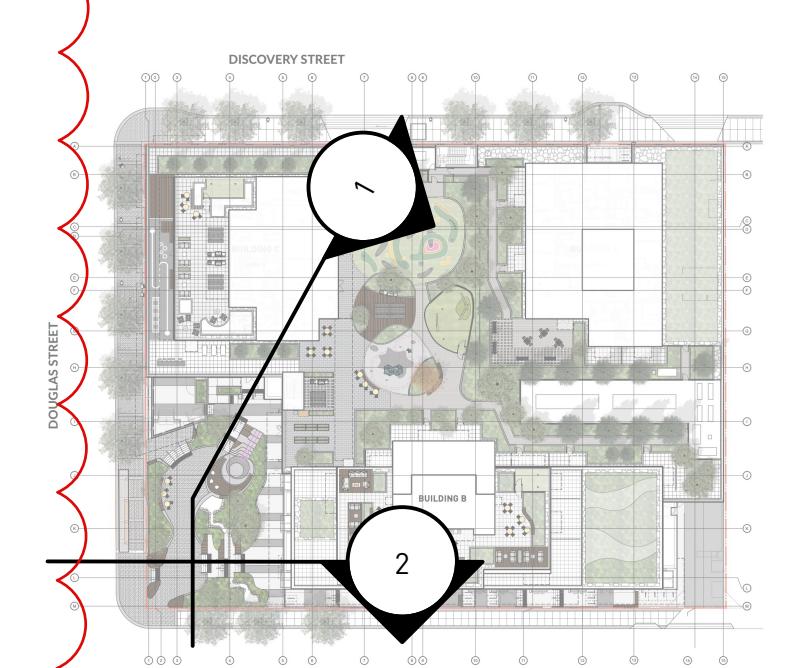


2 GROUND LEVEL AND UPPER PLAZA  
Scale: 1:75

PWL partnership

PWL Partnership Landscape Architects Inc.  
5th Floor, East Atlantic House  
1201 West Pender Street  
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www.pwlpartnership.com  
T 604.688.6111  
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REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
3	2023-07-22	REVISED AND REISSUED PER CITY COMMENTS ISSUED FOR DP VARIANCE
5	2023-12-08	RE-ISSUED FOR DP VARIANCE
6	2025-03-27	



## 710 CALEDONIA

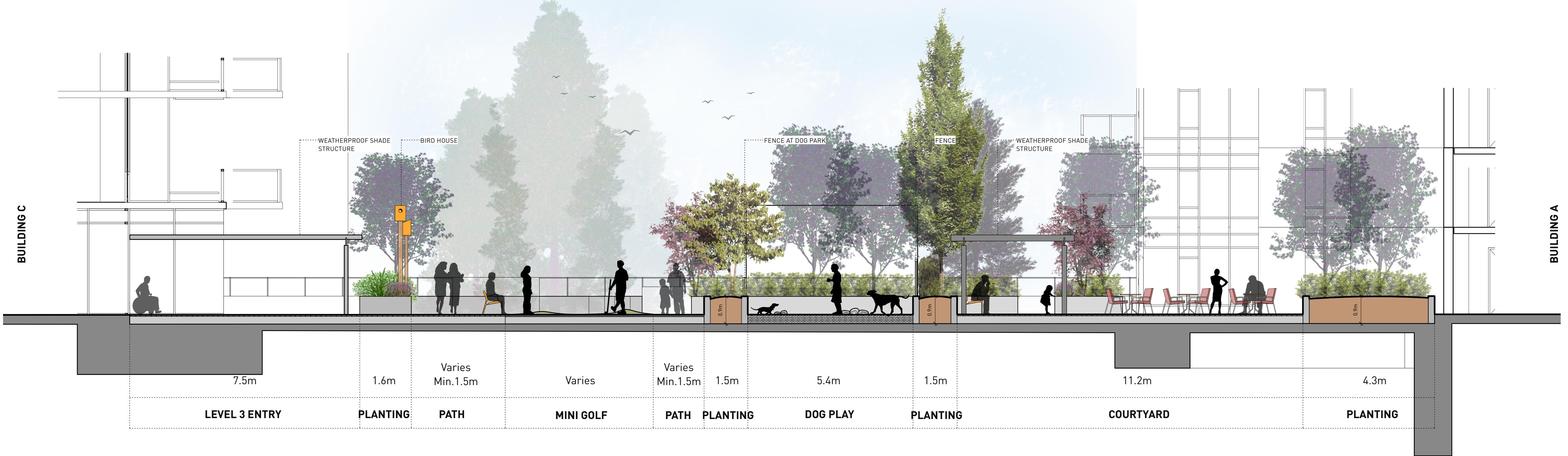
ADDRESS  
710 CALEDONIA

DRAWING TITLE  
SECTIONS

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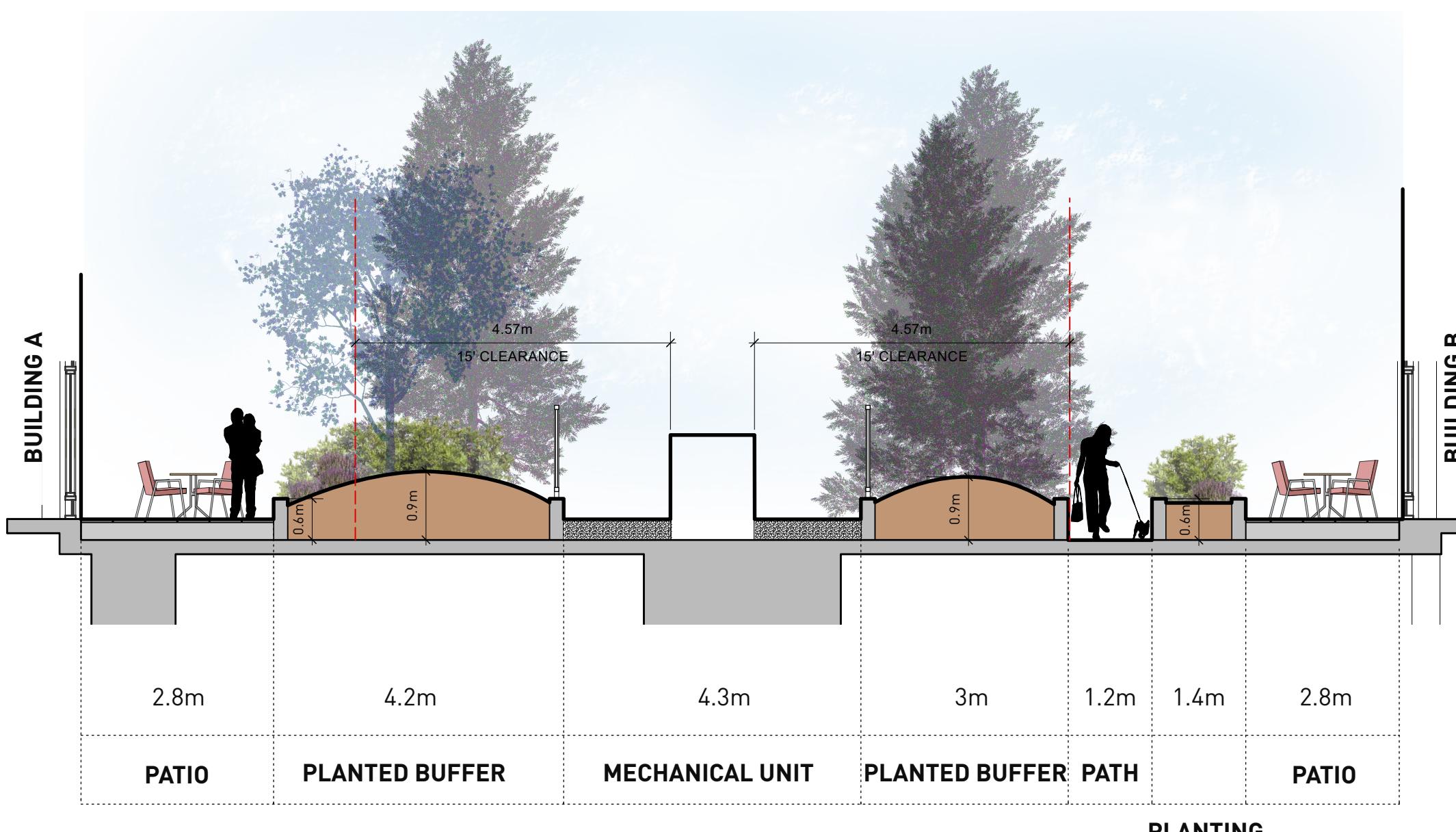
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21061	Scale
2019-05-10	
21061	
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2025-03-27	
TT	R.V.L.W.D GB
DRAWN	
DRAWING	

L4.01

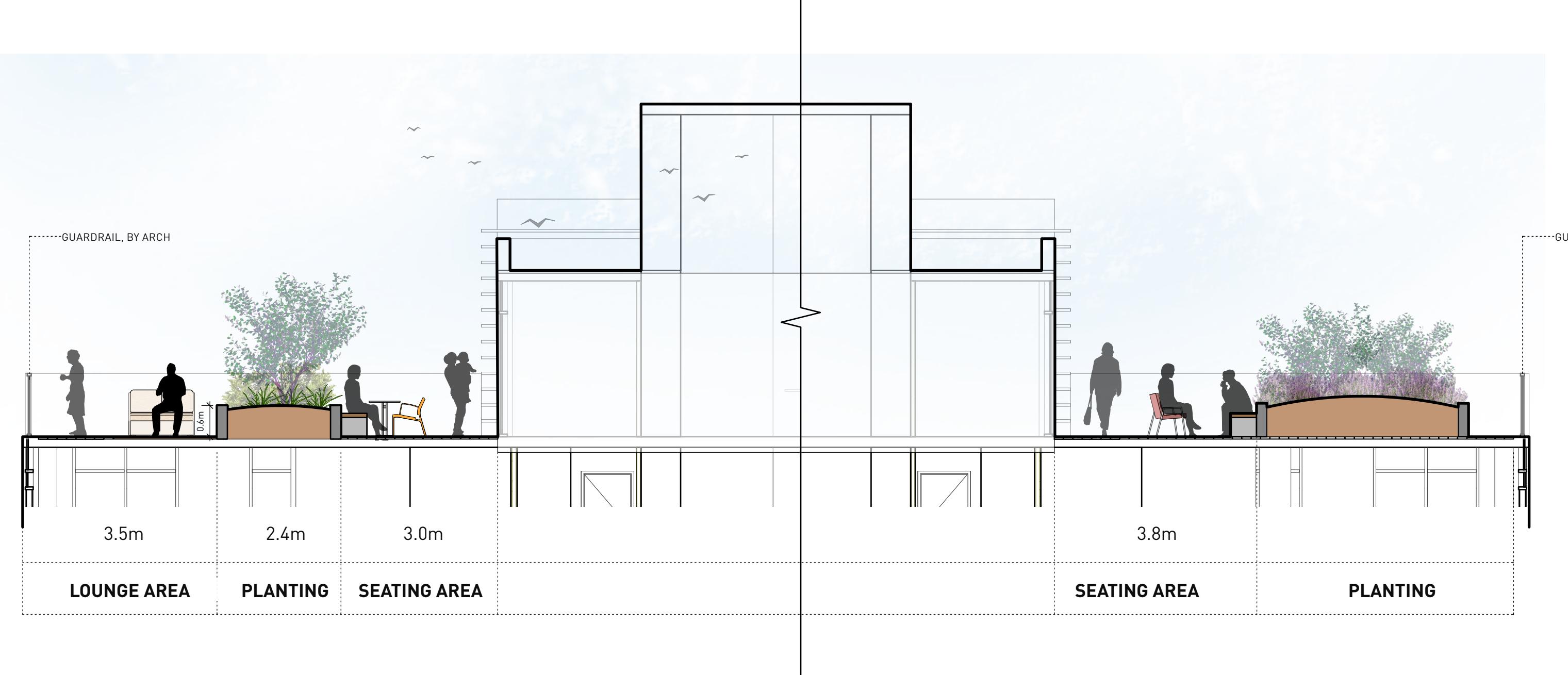


REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
3	2023-07-22	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
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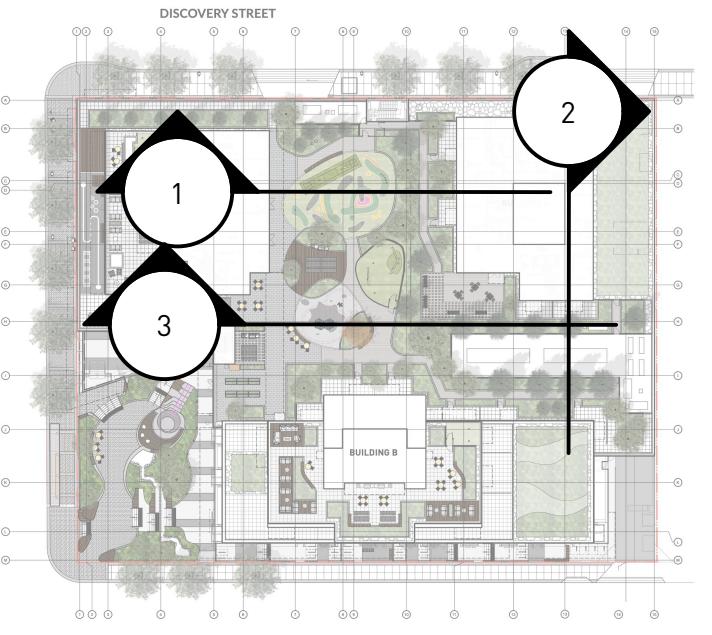
1 SECTION BETWEEN BUILDING A AND C AT L3 COURTYARD  
Scale: 1:75



2 SECTION BETWEEN BUILDING A AND B AT L3 COURTYARD  
Scale: 1:75



3 BUILDING B ROOF TOP AMENITY  
Scale: 1:75



PROJECT  
710 CALEDONIA

ADDRESS  
710 CALEDONIA

DRAWING TITLE  
SECTIONS

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NORTH	SCALE
	Scale
PROJECT NO.	21061
DAT.	2019-05-10
IL, NAM.	21061 SECTIONSS.VWX
PLOTTED	2025-03-27
DRAWN	TT R.VI,V.W.D GB
DRAWING	

L4.02

