

12 MARCH 2025	ISSUED FOR DPV RESPONSE
09 AUGUST 2024	ISSUED FOR DPV RESPONSE
07 MAY 2024	ISSUED FOR DPV RESPONSE
20 DECEMBER 2023	ISSUED FOR DP VARIANCE
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13 JUNE 2022	ISSUED FOR DP RESPONSE
30 MARCH 2022	ISSUED FOR REZONING & DP

Revisions	YYYY-MM-DD
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Seal

Douglas St

Victoria, BC

Project

BUILDING  
ELEVATION  
SOUTH

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet

A300





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Seal

Douglas St

Victoria, BC

Project

BUILDING  
ELEVATION  
WEST

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet

A301



## MATERIAL LEGEND

B1	LIGHT BRICK - CANYON MIST	C1	ARCHITECTURAL EXPOSED CONCRETE	M3	COMPOSITE METAL PANEL - CHAMPAGNE	G1	RESIDENTIAL GLAZING - GREY GLASS	G4	OFFICE CURTAIN WALL - 4-SIDED SILICON	F1	WINDOW - BLACK FRAME	CP1	CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
B2	DARK GREY BRICK	M1	COMPOSITE METAL PANEL - CHARCOAL	M4	COMPOSITE METAL PANEL - DARK BLUE	G2	RESIDENTIAL GLAZING - SPANDREL GLASS	G5	STOREFRONT GLAZED CURTAIN WALL	F2	WINDOW - WHITE FRAME	CP2	CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
B3	LIGHT GREY BRICK	M2	COMPOSITE METAL PANEL - WHITE	M5	COMPOSITE METAL PANEL - WOOD	G3	ALUMINUM & GLASS GUARDRAIL	G6	PRIVACY SCREEN - FROSTED GLASS	F3	WINDOW - CHARCOAL GREY FRAME	CP3	CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY





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30 MARCH 2022 ISSUED FOR REZONING & DP	
<b>Revisions</b>	YYYY-MM-DD

Seal

**Douglas St**

Victoria, BC

## Project

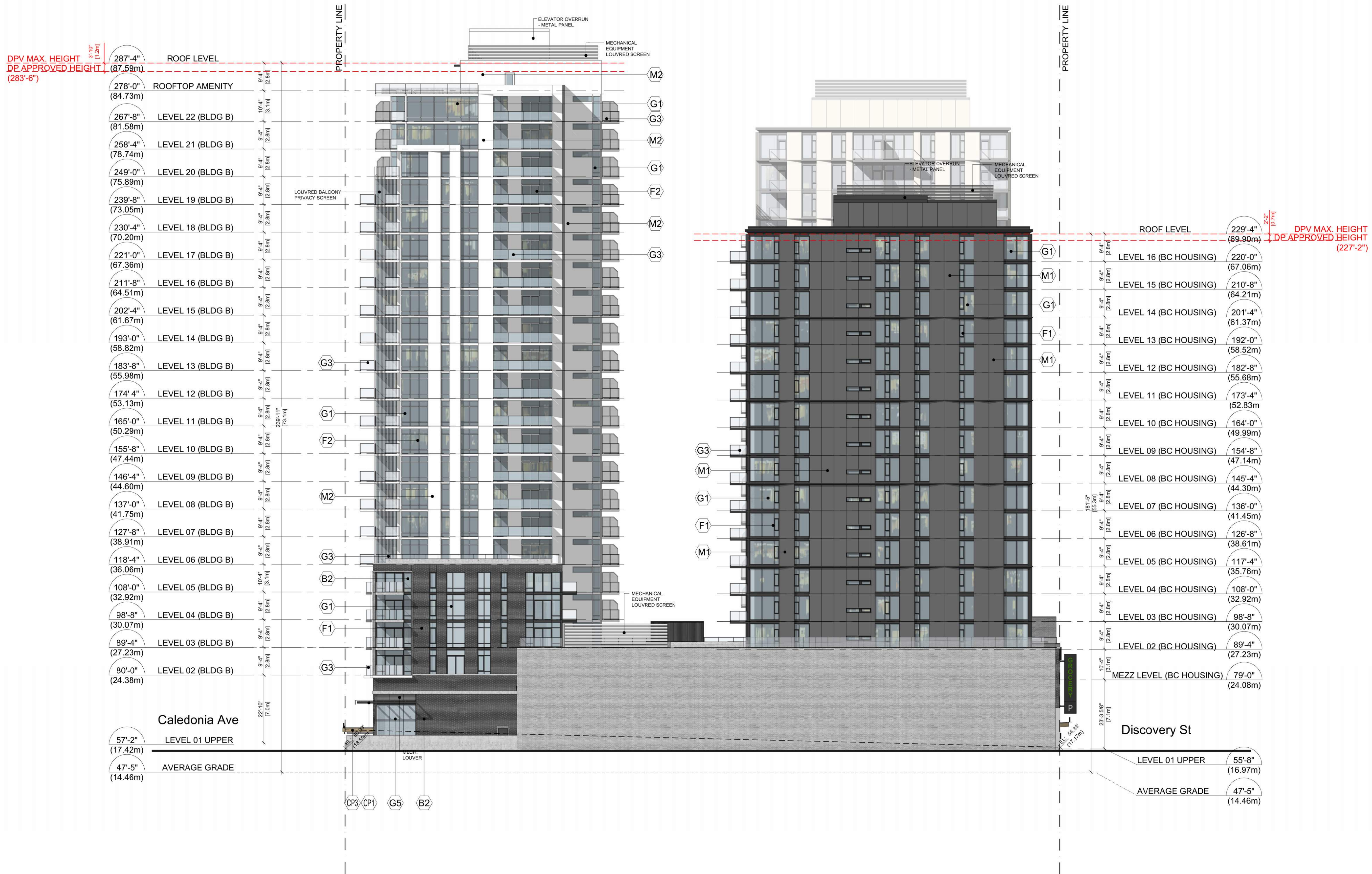
## BUILDING ELEVATION EAST

### Drawing

Scale  $1/16" = 1'-0"$

Project 221023

A 202

Sheet **A302**

## MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



**MATERIAL LEGEND**

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY

Seal

Douglas St

Victoria, BC

Project

**BUILDING  
ELEVATION  
NORTH**

Drawing

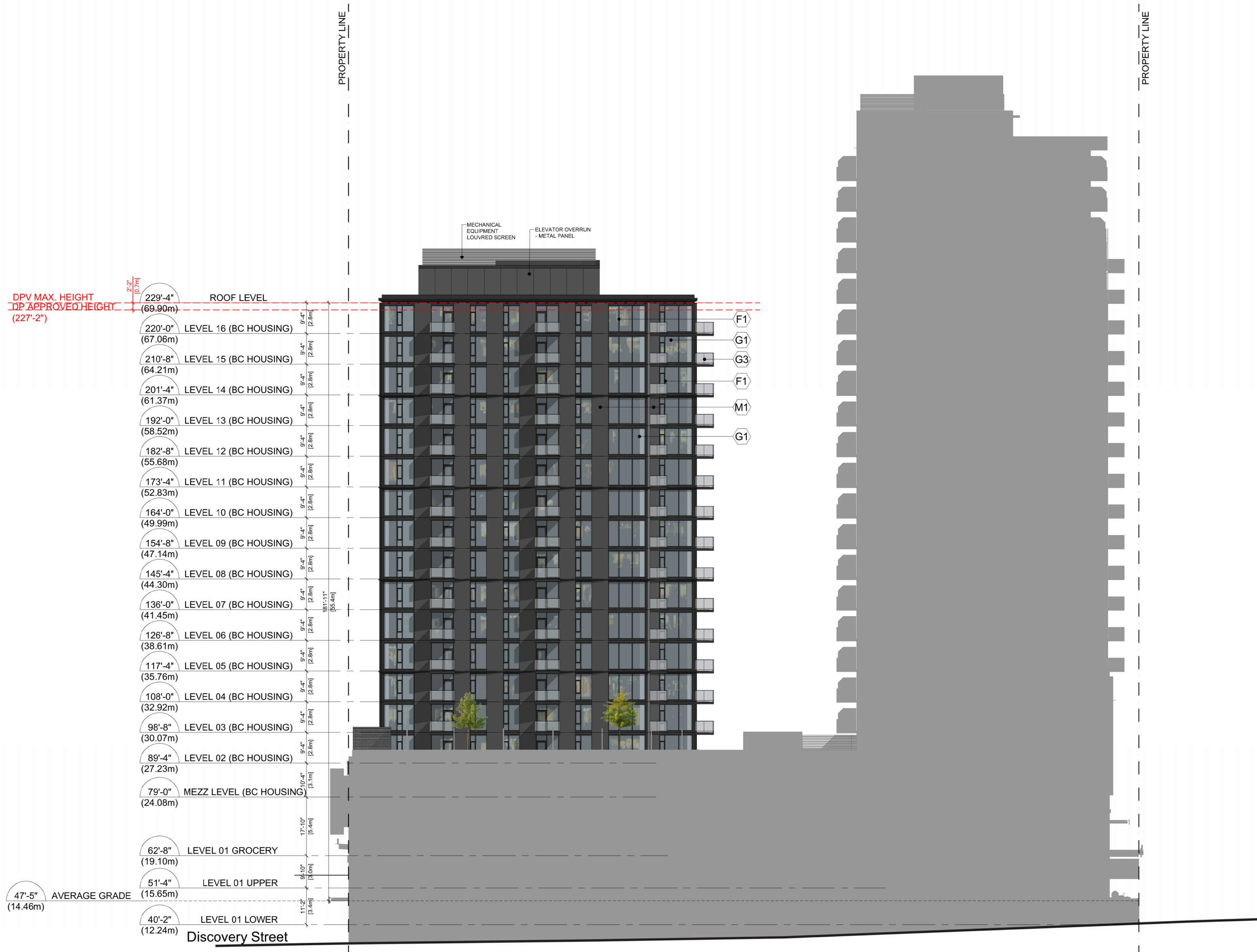
Scale 1/16" = 1'-0"

Project 221023

Sheet

**A303**





## MATERIAL LEGEND

B1 LIGHT BRICK - CANYON MIST

C1 ARCHITECTURAL EXPOSED CONCRETE

M3 COMPOSITE METAL PANEL - CHAMPAGNE

G1 RESIDENTIAL GLAZING - GREY GLASS

G4 OFFICE CURTAIN WALL - 4-SIDED SILICON

F1 WINDOW - BLACK FRAME

CP1 CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY

B2 DARK GREY BRICK

M1 COMPOSITE METAL PANEL - CHARCOAL

M4 COMPOSITE METAL PANEL - DARK BLUE

G2 RESIDENTIAL GLAZING - SPANDREL GLASS

G5 STOREFRONT GLAZED CURTAIN WALL

F2 WINDOW - WHITE FRAME

CP2 CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY

B3 LIGHT GREY BRICK

M2 COMPOSITE METAL PANEL - WHITE

M5 COMPOSITE METAL PANEL - WOOD

G3 ALUMINUM &amp; GLASS GUARDRAIL

G6 PRIVACY SCREEN - FROSTED GLASS

F3 WINDOW - CHARCOAL GREY FRAME

CP3 CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



Seal

Douglas St

Victoria, BC

Project

BUILDING A  
ELEVATION  
WEST

Drawing

Scale 1/16" = 1'-0"

Project 221023

Sheet

A304



**Musson  
Cattell  
Mackey  
Partnership**

Architects Designers Planners

Oceanic Plaza  
1066 West Hastings Street  
Suite 1900  
Vancouver, British Columbia  
Canada V6E 3X1  
T. 604. 687. 2990  
F. 604. 687. 1771  
MCMParchitects.com

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Revisions YYY-YY-MM-DD

Seal

**Douglas St**

Victoria, BC

Project

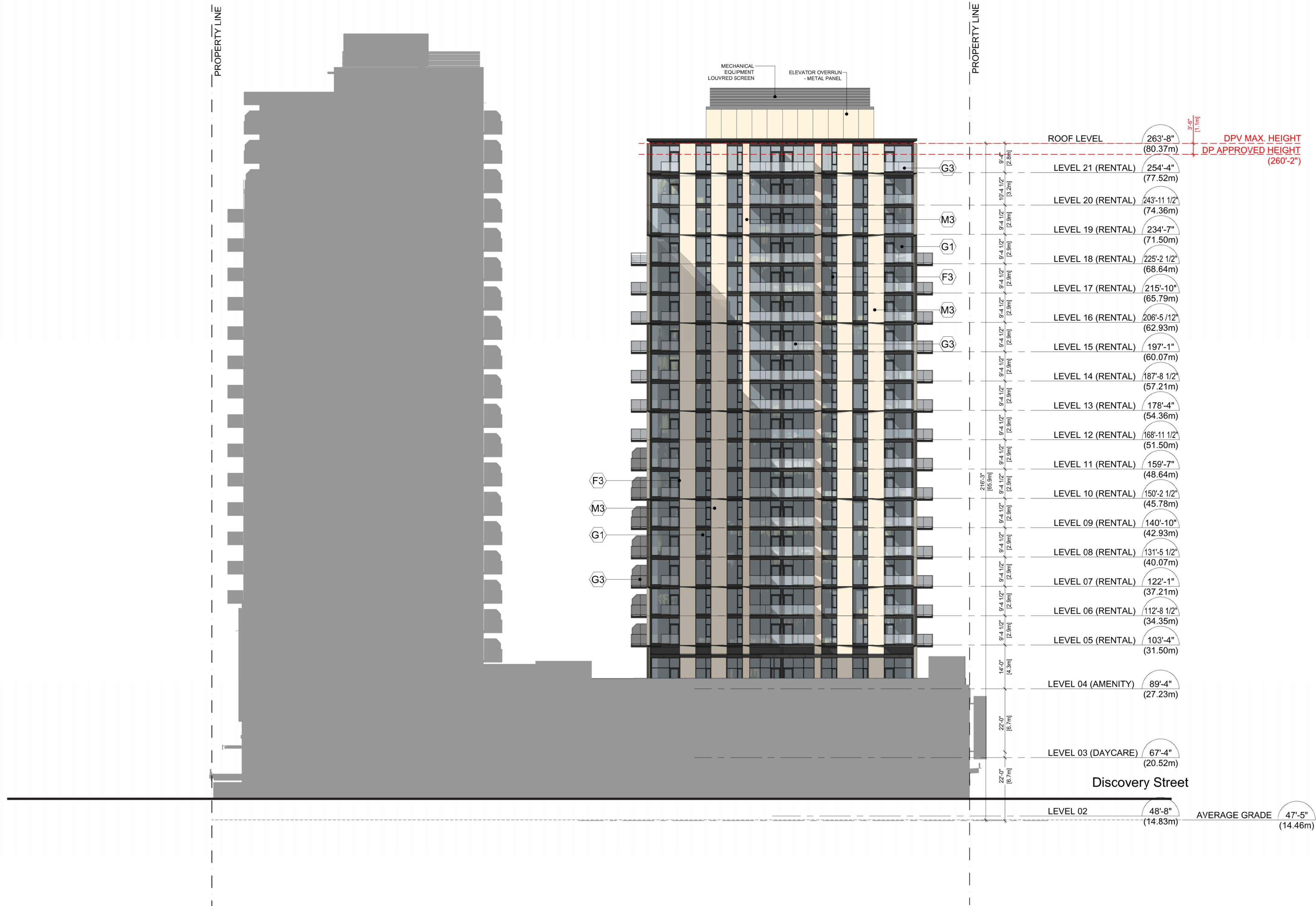
# BUILDING C ELEVATION EAST

Drawing

Scale  $1/16" = 1'-0"$

Project 221023

A305

Sheet **A505**

## MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY



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Revisions YYY-MM-DD

Seal

**Douglas St**

Victoria, BC

## Project

# BUILDING B ELEVATION NORTH

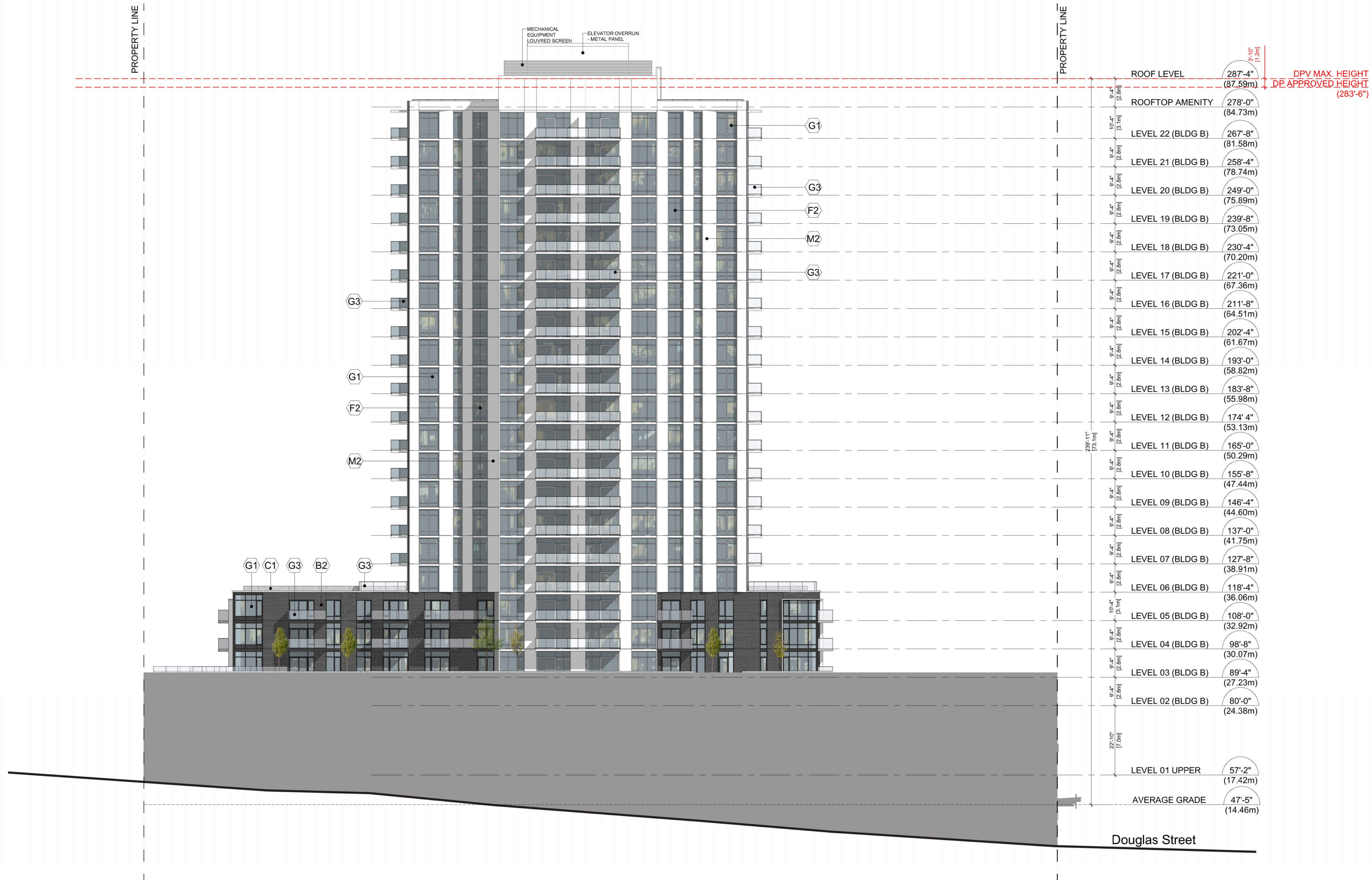
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Project	221023
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Sheet

A306

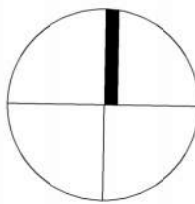


## MATERIAL LEGEND

(B1) LIGHT BRICK - CANYON MIST	(C1) ARCHITECTURAL EXPOSED CONCRETE	(M3) COMPOSITE METAL PANEL - CHAMPAGNE	(G1) RESIDENTIAL GLAZING - GREY GLASS	(G4) OFFICE CURTAIN WALL - 4-SIDED SILICON	(F1) WINDOW - BLACK FRAME	(CP1) CANOPY TYPE 1 - STRUCTURAL STEEL W/ GLASS CANOPY
(B2) DARK GREY BRICK	(M1) COMPOSITE METAL PANEL - CHARCOAL	(M4) COMPOSITE METAL PANEL - DARK BLUE	(G2) RESIDENTIAL GLAZING - SPANDREL GLASS	(G5) STOREFRONT GLAZED CURTAIN WALL	(F2) WINDOW - WHITE FRAME	(CP2) CANOPY TYPE 2 - STRUCTURAL STEEL W/ GLASS CANOPY
(B3) LIGHT GREY BRICK	(M2) COMPOSITE METAL PANEL - WHITE	(M5) COMPOSITE METAL PANEL - WOOD	(G3) ALUMINUM & GLASS GUARDRAIL	(G6) PRIVACY SCREEN - FROSTED GLASS	(F3) WINDOW - CHARCOAL GREY FRAME	(CP3) CANOPY TYPE 3 - TIMBER RAFTERS W/ GLASS CANOPY

16' 12' 8' 4' 0" 8' 16' 32' 48'





1 SPRING/FALL EQUINOX - March 20 /Sept 22 10AM



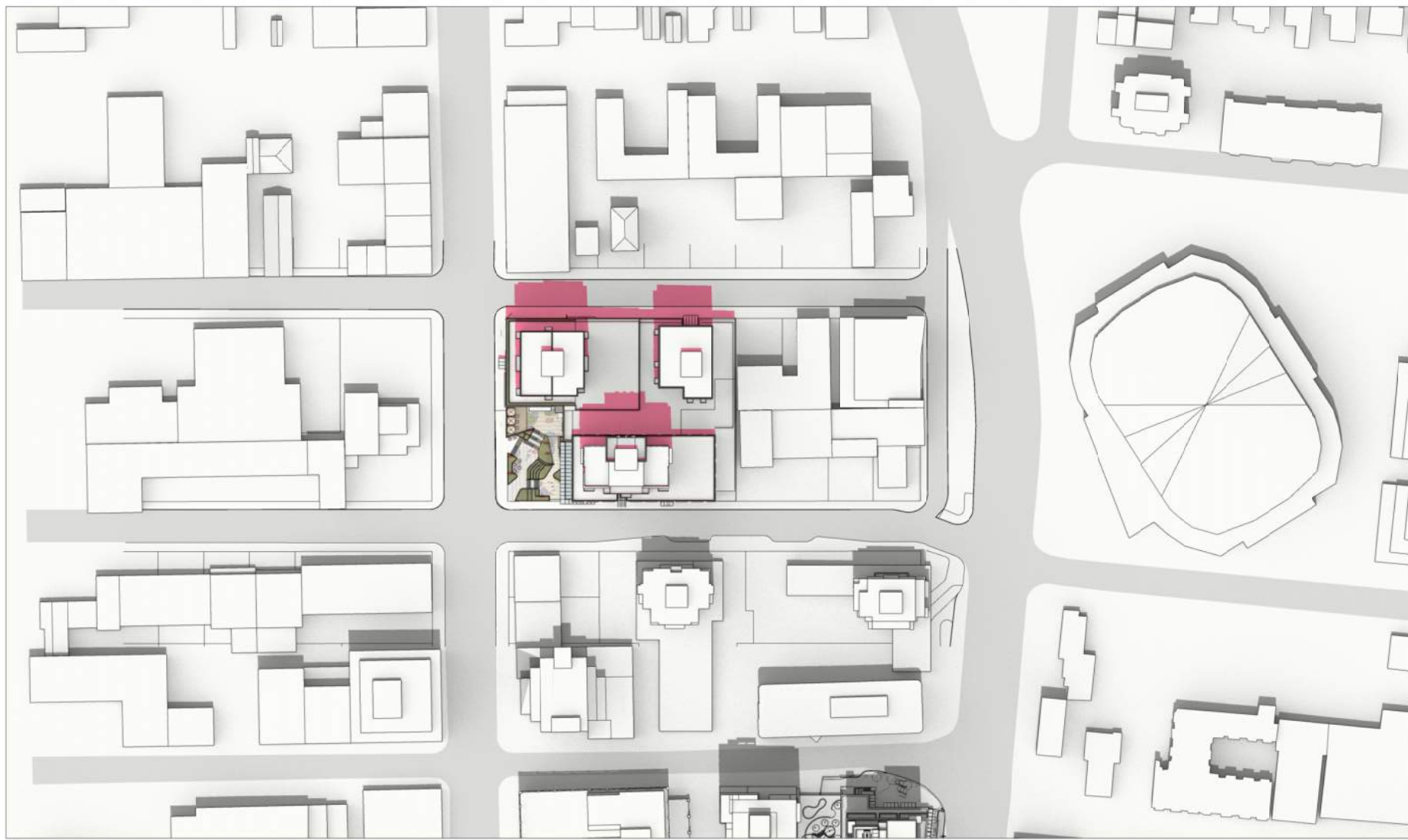
2 SPRING/FALL EQUINOX - March 20 /Sept 22 12PM



3 SPRING/FALL EQUINOX - March 20 /Sept 22 2PM



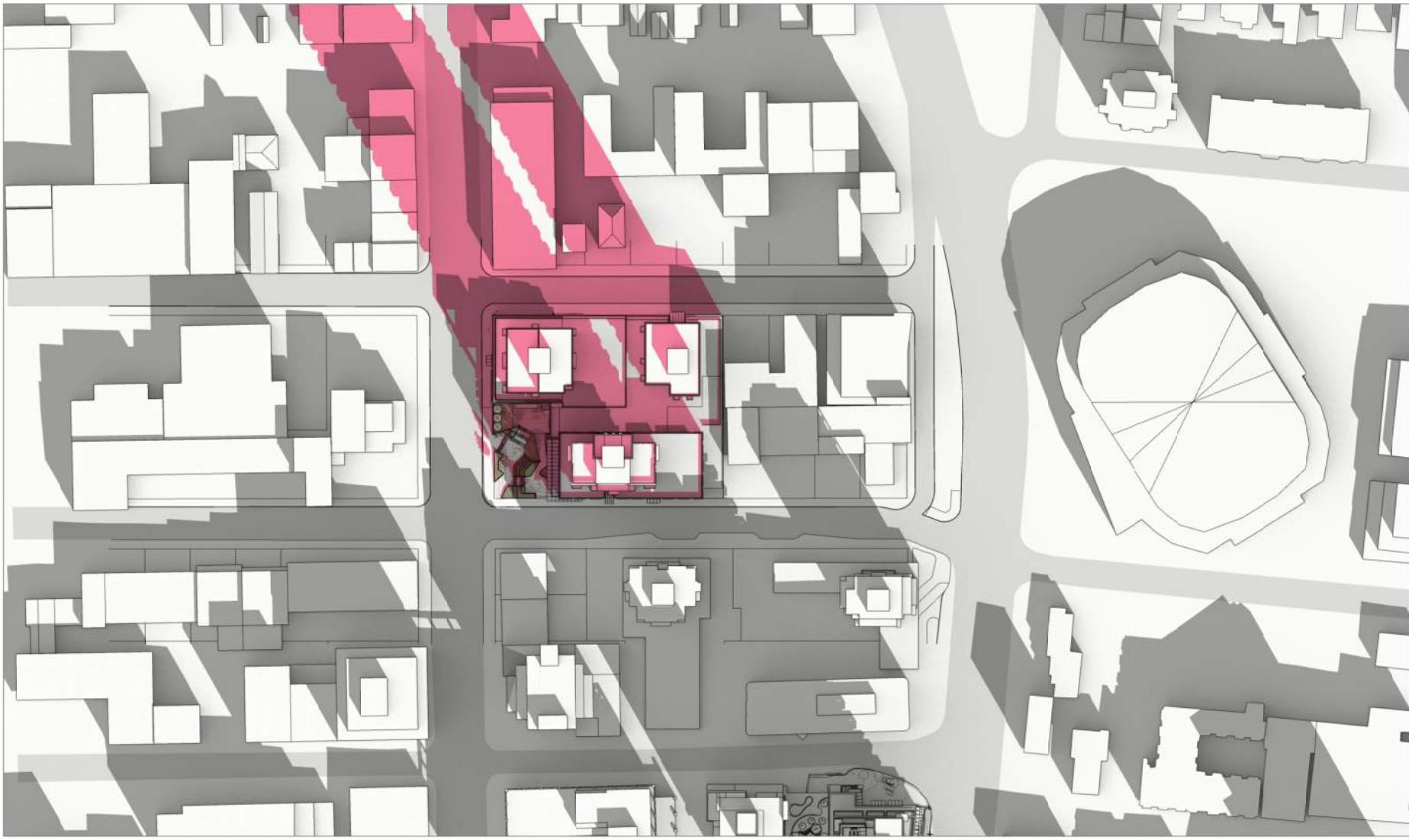
4 SUMMER SOLSTICE - June 21 10AM



5 SUMMER SOLSTICE - June 21 12PM



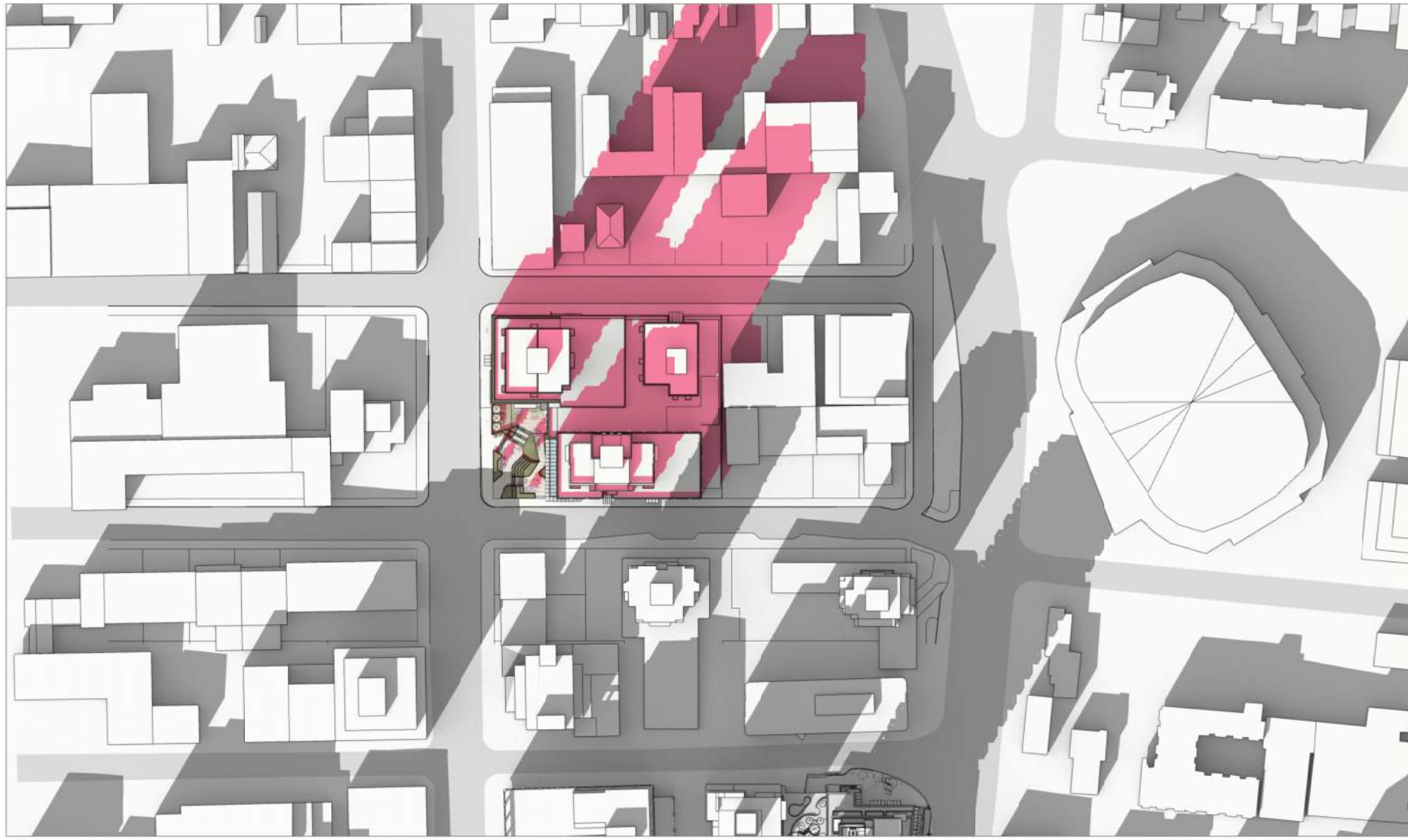
6 SUMMER SOLSTICE - June 21 2PM



4 WINTER SOLSTICE - Dec 21 10AM



5 WINTER SOLSTICE - Dec 21 12PM



6 WINTER SOLSTICE - Dec 21 2PM

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Revisions	YYYY-MM-DD

Seal  
Douglas St

Victoria, BC  
Project

SHADOW / SUN  
STUDY

Drawing  
Scale

Project 221023

Sheet A500





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Seal

Douglas St

Victoria, BC

Project

3D VIEWS

1  
-  
CALEDONIA AVE & DOUGLAS ST - AERIAL VIEW  
N.T.S.

Drawing

Scale N.T.S.

Project 221023

Sheet A501 A





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Seal

Douglas St

Victoria, BC

Project

3D VIEWS

Drawing

Scale

Project 221023

Sheet A501 B

1  
-  
CALEDONIA AVE & DOUGLAS ST  
N.T.S.





1 DISCOVERY ST & DOUGLAS ST  
- N.T.S.

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Revisions	YYYY-MM-DD
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Seal  
Douglas St

Victoria, BC  
Project

3D VIEWS

Drawing  
Scale  
Project 221023  
Sheet A501 C





1 PLAZA  
- N.T.S.



2 PLAZA  
- N.T.S.



3 PLAZA  
- N.T.S.

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Douglas St

Victoria, BC

Project

3D VIEWS

Drawing

Scale

Project 221023

Sheet A501 D



Building A



Black Mullions



Grey Glass (Residential)



Metal Panel- Dusty Charcoal

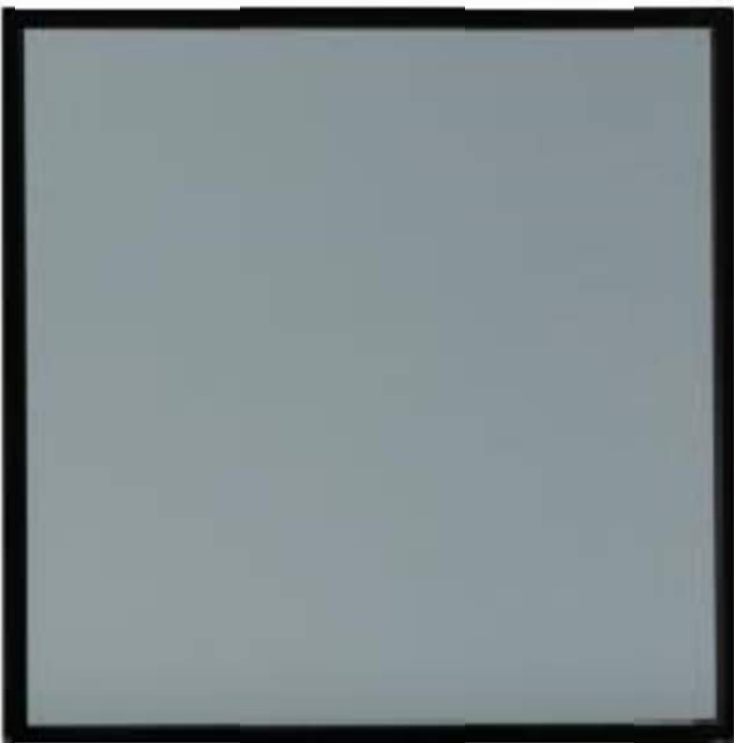


Metal Panel- Greyhound

Building C



Charcoal Mullions



Grey Glass (Residential)



Metal Panel- Dusty Charcoal



Metal Panel- Champagne Metallic

Restaurant & Market Podium



Light Brick - Canyon Mist



Metal Panel-  
Natural Chestnut

C:\Users\ssethi\Downloads\CastleGray-Mission-Large (1).jpg

LIGHT BRICK - CASTLE GRAY

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Seal
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Douglas St

Victoria, BC

Project

MATERIALS

Drawing

Scale

Project 221023

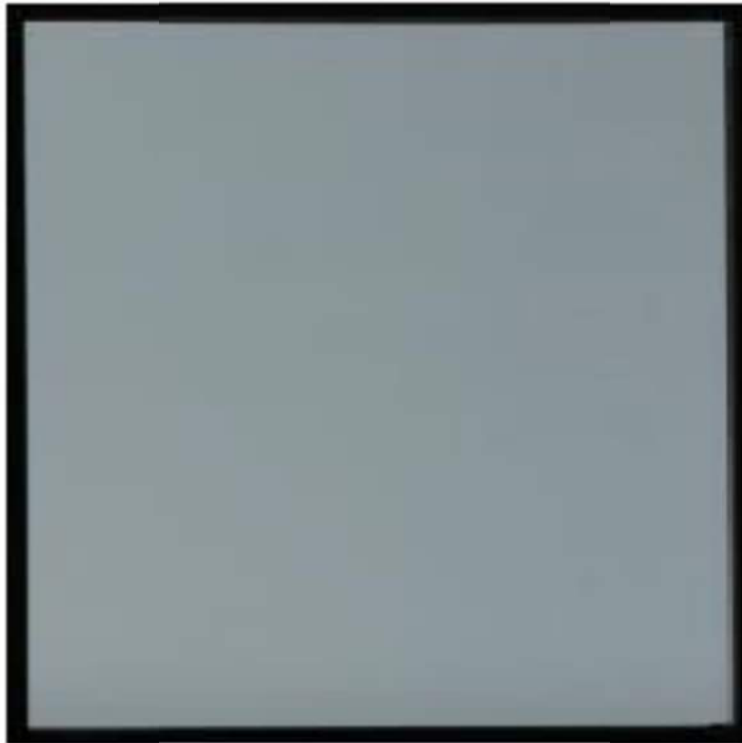
Sheet A502A



Building B Tower



White Mullions



Grey Glass (Residential)



Metal Panel- Bone White

Building B Podium



Dark Brick- Coal Creek



Grey Glass (Residential)

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Seal
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Douglas St

Victoria, BC

Project

MATERIALS

Drawing

Scale

Project 221023

Sheet A502B



DRAWING CONTENT

- L0.00 COVER
- L0.01 PRECEDENT IMAGES
- L0.02 TREE MANAGEMENT PLAN
- L0.03 NOTES AND LEGENDS
- L1.00 LAYOUT MATERIALS PLAN - PLAZA/GROUND LEVEL PLAZA & UPPER GROUND
- L1.01 LAYOUT MATERIALS PLAN - OFFICE/ ROOF AMENITY LEVEL
- L1.02 LAYOUT MATERIALS PLAN - ROOF TOP AMENITY
- L1.03 LAYOUT MATERIALS PLAN - DAYCARE & PENTHOUSE
- L1.04 LAYOUT MATERIALS PLAN - OFF SITE
- L2.01 GRADING PLAN
- L2.02 GRADING PLAN - ENLARGEMENT PLAN
- L3.00 SOIL DEPTH COORDINATION PLAN
- L3.01 PLANTING PLAN
- L3.02 SCHEMATIC LIGHTING PLAN
- L4.01 SECTIONS
- L4.02 SECTIONS
- L4.03 SECTIONS

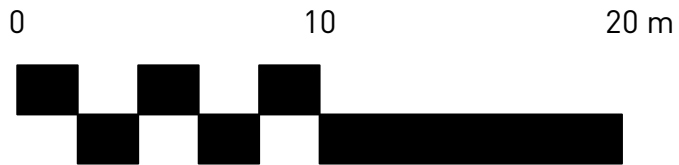
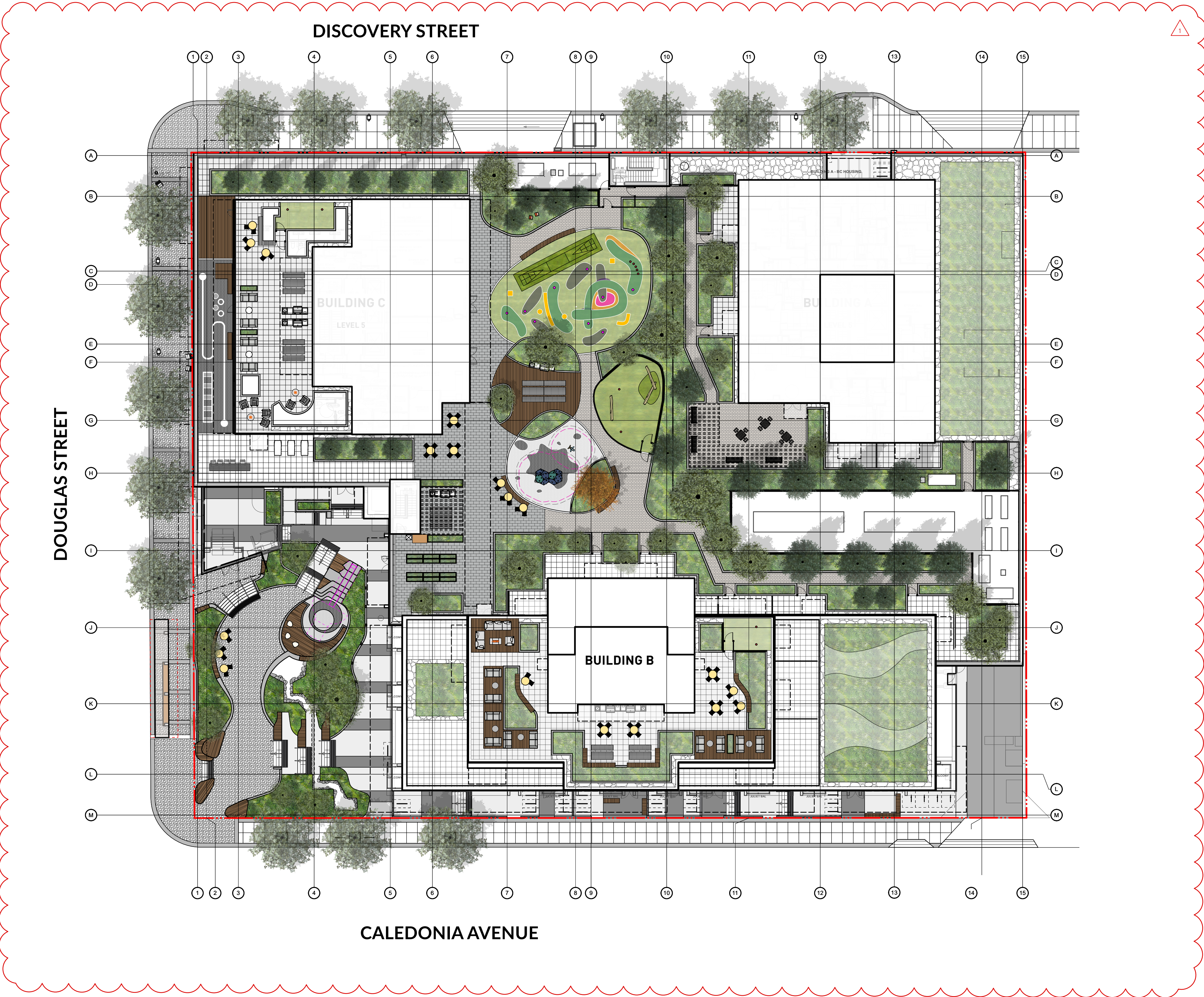


PARTNERSHIP

5th Floor, East Asiatic House  
1201 West Pender St. Vancouver, BC V6E 2V2  
T 604.688.6111

www.pwlpartnership.com

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

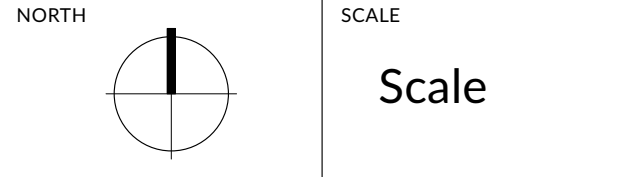


PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
COVER

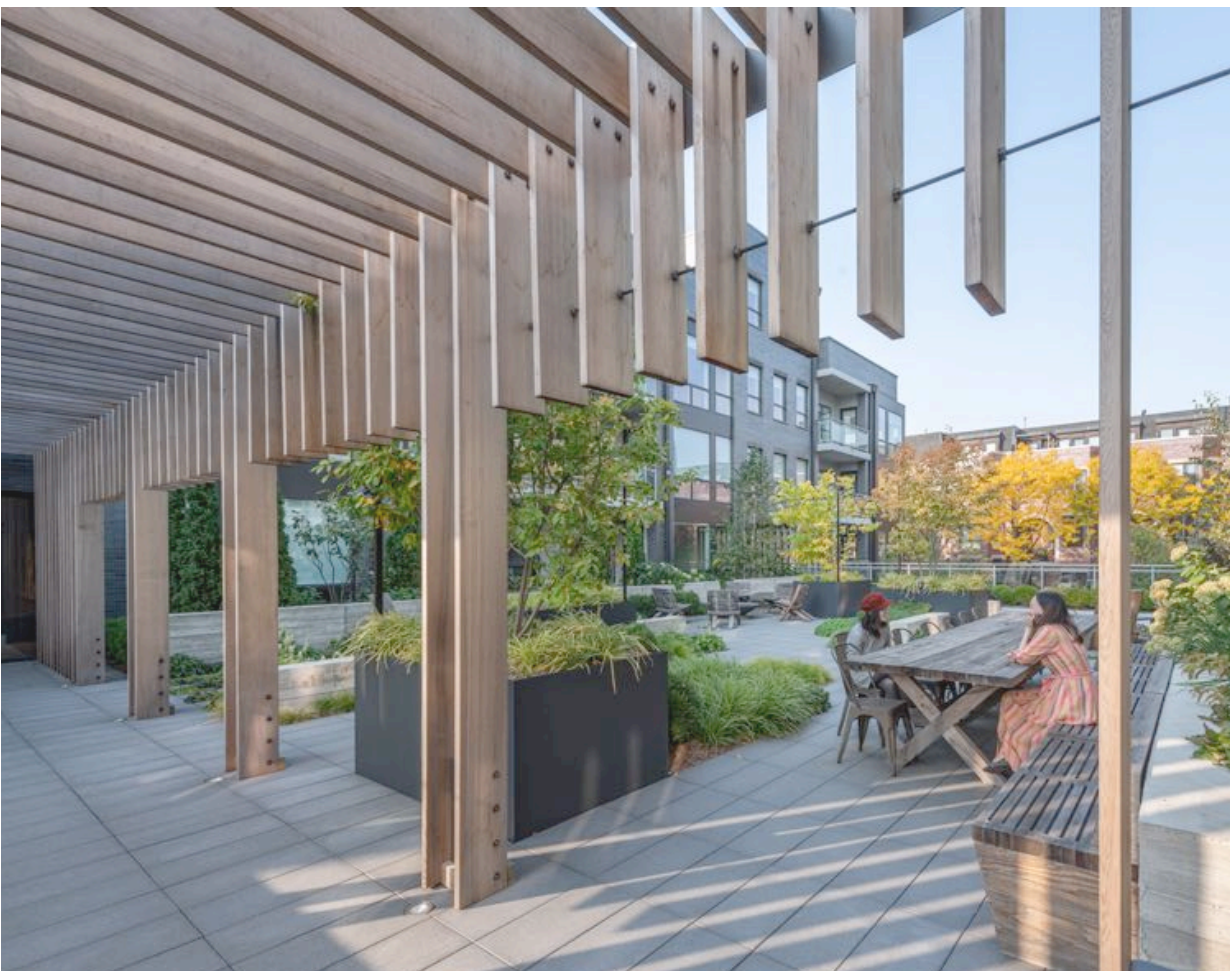
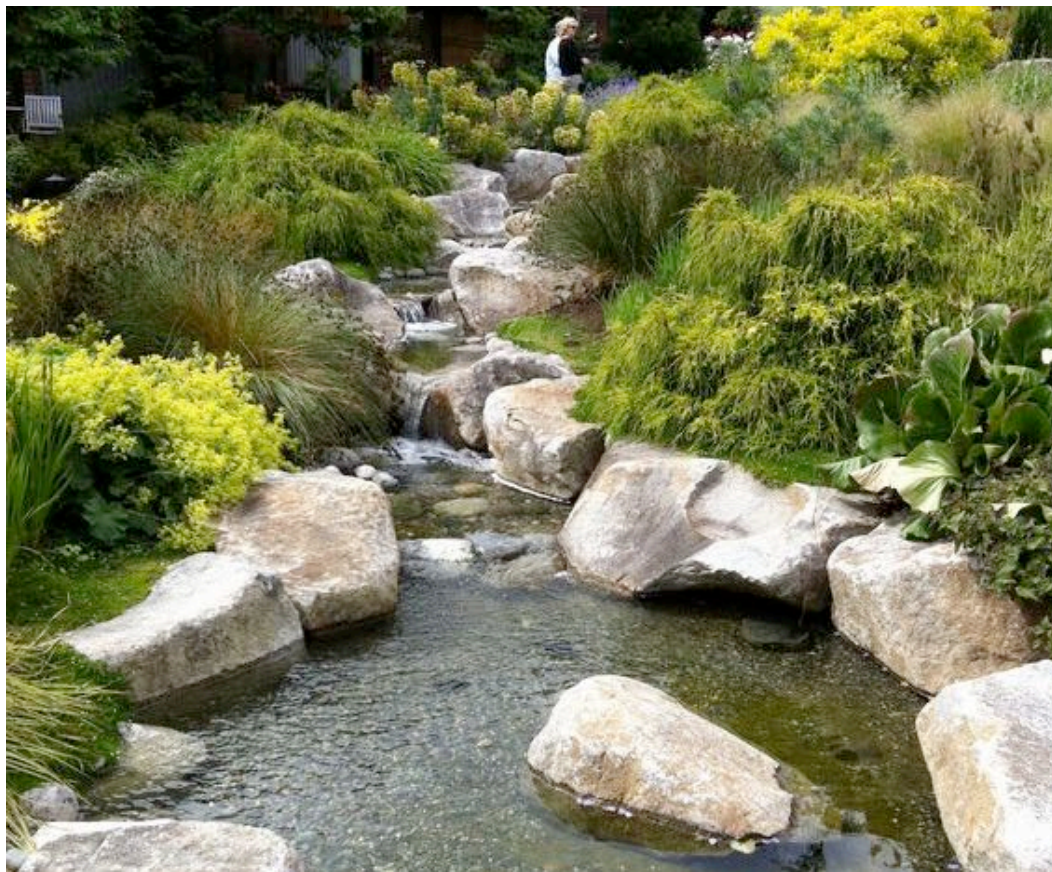
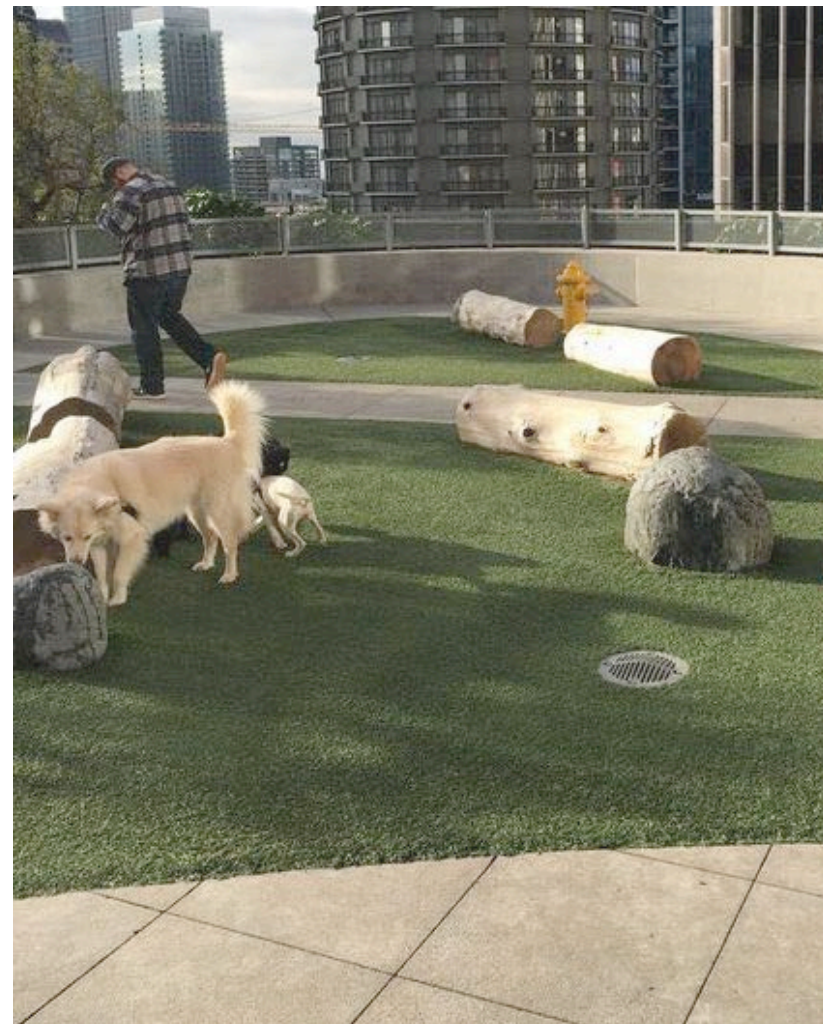
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PROJECT NO.	2022-05-25
DATE	2022-05-25
FILE NAME	21061 PLAN.vwx
PLOTTED	2025-03-27
DRAWN	TT
REVIEWED	GB
DRAWING	

DP L0.00





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PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
PRECEDENT IMAGES

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FILE NAME	21061 PLAN.vwx
PLOTTED	2025-03-27
DRAWN	TT
REVIEWED	GB

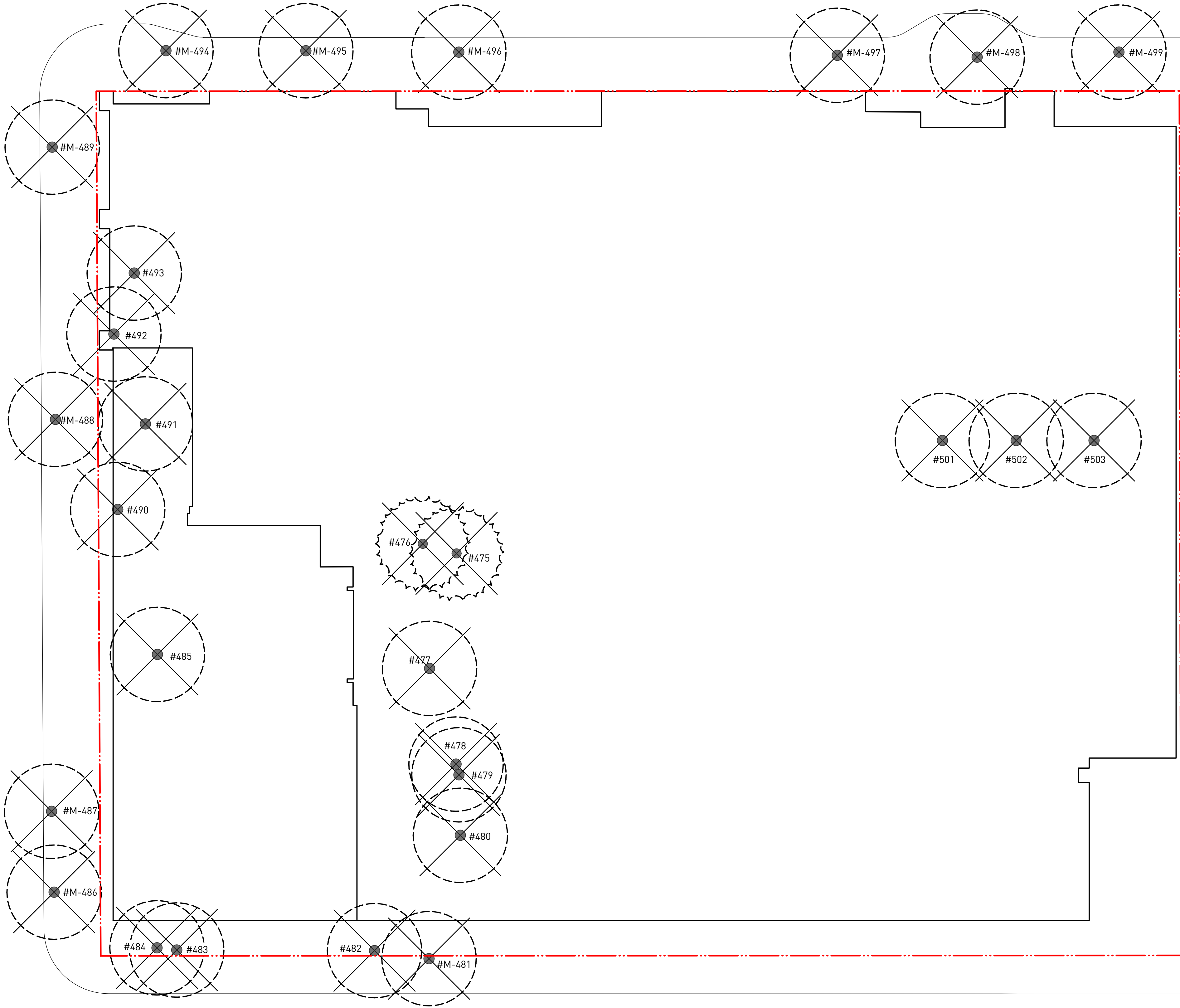
DP L0.01



DOUGLAS STREET

DISCOVERY STREET

CALEDONIA AVENUE



Tree Protection General Notes

- A. EXCAVATION AROUND TREES**

  - EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
  - DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
  - TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**

  - HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
  - USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
  - RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**

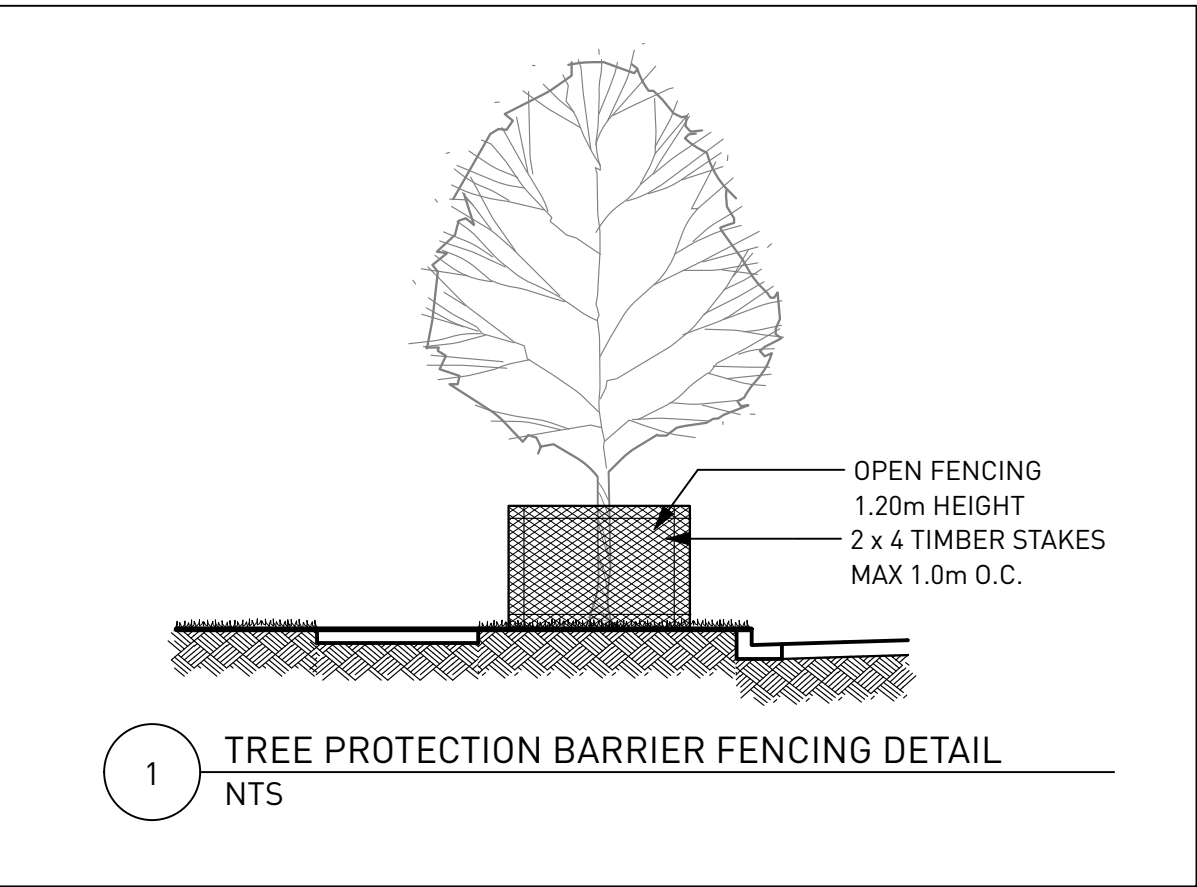
  - TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
  - DO NOT CUT MAIN LATERAL ROOTS.
  - CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
  - ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**

  - DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:

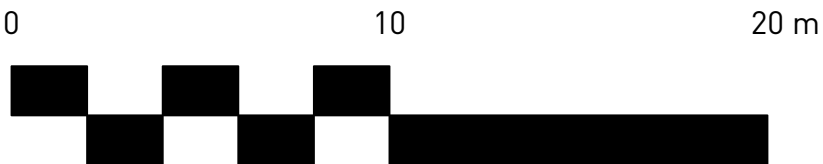
A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.

B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.

C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
  - TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
  - WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.



Tree Management Legend	
Key	Description
	DECIDUOUS TREE TO BE REMOVED
	CONIFEROUS TREE TO BE REMOVED



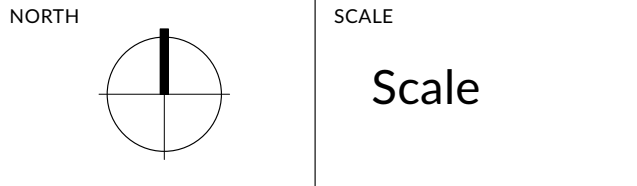
Revisions and Issues		
No.	Date	Description
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
TREE MANAGEMENT  
PLAN

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PROJECT NO.	
DATE	2022-05-25
FILE NAME	21061 PLAN.vwx
PLOTTED	2025-03-27
DRAWN	TT
REVIEWED	GB
DRAWING	

DP L0.02



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
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PROJECT

DOUGLAS ST

ADDRESS

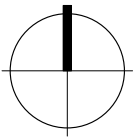
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE

NOTES AND LEGENDS

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NORTH










SCALE

N/A

PROJECT NO.			
DATE	2022-05-25		
FILE NAME	21061 PLAN.vwx		
PLOTTED	2025-03-27		
DRAWN	TT	REVISED	GB
DRAWING			

DP L0.03

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	C.I.P Concrete Planter N/A Colour: N/A / Finish: Light Sand Blasting
	C.I.P Concrete Stairs with Handrails N/A Colour: N/A / Finish: Light Sand Blasting / Handrails: Stainless steel
	Boulder Wall along water feature N/A Colour: N/A / Finish: N/A
	C.I.P Concrete Seat Wall with Timber Seat Top N/A Bench Top Material: IPE / Colour: No stain, UV Coating/ Finish: S4S
	Custom Terraced Seating Platform N/A Platform Material: IPE / Colour: No stain, UV Coating/ Finish: S4S
	Custom Seating Platform N/A PlatformMaterial: IPE / Colour: No stain, UV Coating/ Finish: S4S
	C.I.P Concrete Seat Wall N/A Colour: N/A / Finish: Light Sand Blasting

GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

LANDSCAPE CONSTRUCTION NOTES

CONTRACT DOCUMENTS:













THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE LANDSCAPE CREW ON SITE ALWAYS HAS AND IS WORKING WITH THE LATEST CONTRACT DOCUMENTS (I.E. DRAWINGS, REVISIONS, SITE INSTRUCTIONS, ETC.)

COMPLIANCE:

PWL SHALL NOT ACCEPT RESPONSIBILITY OR LIABILITY AS IT RELATES TO THE LANDSCAPE CONSTRUCTION DUE TO DISREGARDS, ALTERATION OR FAILURE TO COMPLY WITH THE DESIGN, DRAWINGS, SPECIFICATIONS OR RECOMMENDATIONS OF THIS PROJECT DURING THE CONSTRUCTION STAGE.

CONSTRUCTION STAGE FIELD REVIEW:

- FIELD REVIEW BY PWL SHOULD NOT BE CONSTRUED TO RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR BUILDING THE PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, CONTROLLING THE PROGRESS, PROVIDING SAFE WORKING CONDITIONS, AND CORRECTING ANY DEVIATIONS FROM THE PROJECT REQUIREMENTS.
- FIELD REVIEW REPORT BY PWL IS THE STATEMENT OF THE FIELD REVIEWER THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, INFORMATION AND BELIEF, THE INSTALLATION IS IN ACCORDANCE WITH THE GENERAL INTENT OF THE DESIGN AND IN GENERAL COMPLIANCE WITH THE PLAN AND SPECIFICATION ON THIS PROJECT. FIELD REVIEW SERVICES DO NOT ASSUME RESPONSIBILITY FOR THE WORK OF CONTRACTORS.










































PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	C.I.P Concrete Paving (Pedestrian Rated) N/A Colour: Natural, Finish: Medium Broom. Pattern: Sawcut Joints.
	C.I.P Concrete Paving (Vehicular Rated, Refer to Civil) N/A Colour: Natural, Finish: Medium Broom. Pattern: Sawcut Joints.
	Coloured C.I.P Concrete Paving N/A Integral Charcoal, Finish: Medium Broom. Pattern: Sawcut Joints. No troweled frame or joints.
	Concrete Unit Paver Type 1  Colou: Charcoal Grey / Finish: Unsealed / Pattern: Herringbone
	Concrete Unit Paver Type 2 Broadway 65mm Colour: 75%Natural, 25%Ash/ Finish: Unsealed / Pattern: Running bond
	Concrete Unit Paver Type 3 Broadway 65mm Colour: Natural / Finish: Unsealed / Pattern: Running bond
	Hydropressed Slab on Pedestals Texada Hydrapressed Slabs Colour: Natural
	Porcelain Paver on Pedestals Glocal Colour: Type GC04
	Artificial Turf at Dog Play SYNPro PET Colour: Field Green + Olive + Apple
	Maintenance Strip N/A N/A
	P.I.P. Rubber Safety Surface LANDSAFE® pour in place rubber surfacing Colour: TBD
	Composite Decking 2" Square Edge Board Trex Transcend Colour: Havana Gold

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN NURSERY LANDSCAPE ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.


SITE FURNISHING MATERIALS LEGEND			
KEY	DESCRIPTION	KEY	DESCRIPTION
	Outdoor Bistro Table Chipman Table Colour: Titanium Metallic / Finish: Powdercoated Metal		Backless Bench MultiplICITY Bench Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe
	Outdoor Bistro Chair Chipman Chair Colour: Titanium Metallic / Finish: Powdercoated Metal		Potting Table and Storage Custom Timber Colour: Tight knot Red Cedar, Finish: Skikkens Ceto 1 Translucent Wood Finish - 078 Natural/ Metal Colour: Powdercoated RAL 7015 Slate Grey
	Lounge Chair Cochran Chaise Lounge Colour: Titanium Metallic / Finish: Powdercoated Metal Fabric: MeldStoneTM Colour: Natural Ecru		Fire Table Fire Table Colour: Cinder
	Bike Rack Edgetyre, STE110 Colour: Grey Aluminium / Finish: Powdercoated Metal		Fire Bowl Hemi Firebowl Colour: Cinder
	E Scooter Rack Trot, STR410 Colour: Grey Aluminium / Finish: Powdercoated Metal		Fire Hydrant for Dog play area Item# FAM-QL5468 Colour: Red
	Pebble Seat Cast Stone Colour:Light Grey, Finish:Molded fiber-reinforced light weight concrete with integral colour pigment		Dog Play Log Refer to Details N/A
	Metal Grate Title Wave Powder Coated: Stone		Metal Planter Custom Colour: Slate Finish: Durable, UV rated powder coate
	Glass Guardrail Custom N/A		Kids Play Equipment Springer Springer Robinia Wood
	Post for Catenary Light Kila Metal:Powder Coated Wood:Accoya		Kids Play Equipment Block Climber BLOOX 2
	Metal Gate at Dog Park Custom Colour: RAL: 9007 Gray aluminium/Finish: Pre-finished Aluminum, Powder Coated Black		Backed Bench MBE-2300-00017 Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe
	Metal Fence at Dog Park Custom Colour: RAL: 9007 Gray aluminium/Finish: Pre-finished Aluminum, Powder Coated Black		Cluster Seating MTB-1100-00014 Colour: Titanium Metallic / Finish: Powdercoated Metal Timber:Ipe
	Privacy Fence Between Building A and B/C 4' Omega Architectural Fence Panel Colour: Black/ Finish: Pre-galvanized and Polyester powder coated		Bird House Cedar Post with Bird House Natuall Cedar with Clear Coat, Bird House Colour: RAL 1015
	Metal Gate Between Building A and B/C 6' Omega Architectural Single Swing Gate Colour: Black/ Finish: Pre-galvanized and Polyester powder coated		Outdoor Sofa Lounge N/A
	Metal Gate Custom Colour: RAL: 9007 Gray aluminium/Finish: Pre-finished Aluminum, Powder Coated Black		Weatherproof Trellis at Building A Metal and Timber Trellis with Glass Top Wood components to be Cedar. Sanded with natural stain. All metal components to be galvanized. Frame structure to be painted RAL: 9007 Gray aluminium. Tampeded Glass Top, thickness and attachment details per Trade's own engineer.
	Adirondack Chair Americana Colour: Apple Red/ Finish: High-Density Polyethylene		Weatherproof Trellis at Public Amenity Metal and Timber Trellis with Glass Top Wood components to be Cedar. Sanded with natural stain. All metal components to be galvanized. Frame structure to be painted RAL: 9007 Gray aluminium. Tampeded Glass Top, thickness and attachment details per Trade's own engineer.
	Bar Top Jessie Rail Top Basic Unit Colour: Titanium Metallic / Finish: Powdercoated Metal		Offsite Recycling Bin Type A Litter Bin with Recycling Component, Modern Metal Bin Glossy Black (RAL 9017) Baked on Powder Coat
	Bar Stool Morrison Stool Colour:Titanium Metallis/ Ipe		Offsite Tree Grate Square Tree Grate, Contemporary Metal
	Compost Bin Compost Bin: Free Garden Earth Colour: Black		Offsite Tree Guard Metal Tree Guard Glossy Black (RAL 9017) Baked on Powder Coat
	Urban Agriculture Boxes Throughs Powder Coated Aluminum, Slate colour		Offsite Bike Rack Standard Bike Rack Glossy Black (RAL 9017) Baked on Powder Coat
	BBQ Counter Meadow 36 Top Mounted Sink		Offsite Bench Wood Chair with Backrest, Heritage Chair Glossy Black (RAL9017) Baked-on Powder Coat Frame, Varnished Slats
	Harvest Table MultiplICITY Table Colour: Titanium Metallis/ Finish: Powdercoated Metal Timber:Ipe		



REVIEWS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
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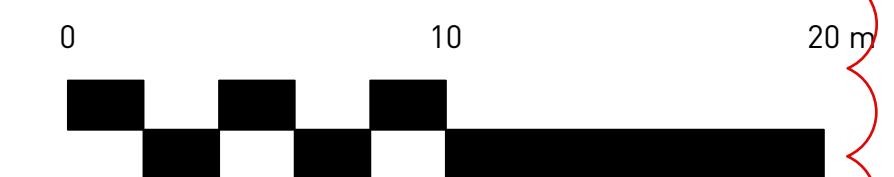
ADDRESS  
1961 DOUGLAS STREET  
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<p>NORTH</p> 	<p>SCALE</p> <p>1:200</p>
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PROJECT NO.			
DATE	2022-05-25		
FILE NAME	21061 PLAN.vwx		
PLOTTED	2025-03-27		
DRAWN	TT	REVIEWED	GB
DRAWING			

DP L1.00



**NOTE:**

OFFSITE IMPROVEMENTS TO CONFIRM TO THE CITY'S DOWNTOWN PUBLIC REALM PLAN AND STREETSCAPE STANDARDS(DPRP)

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**NOTE:** REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION

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**LAYOUT AND MATERIALS GENERAL NOTES**

1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
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6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

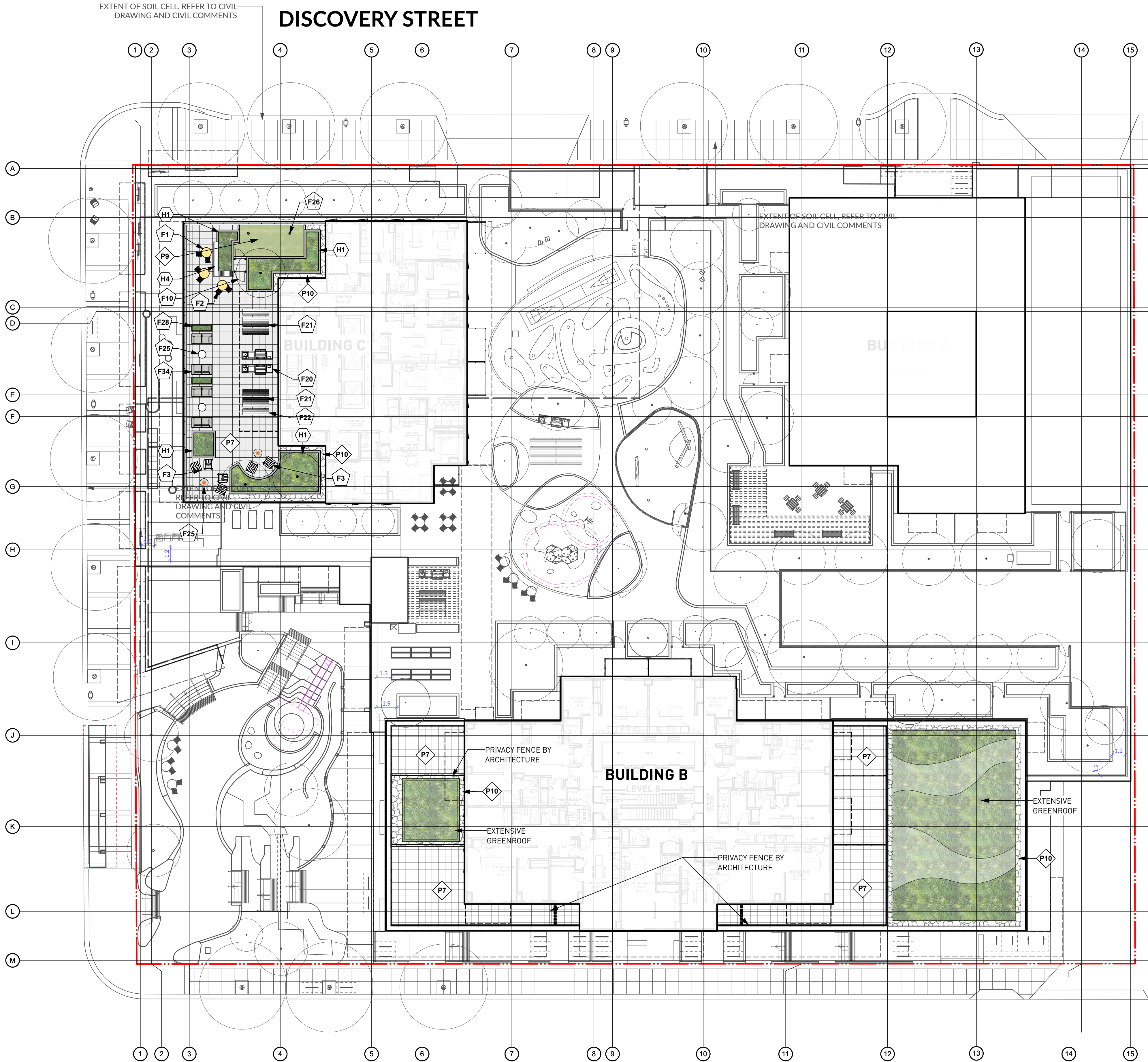




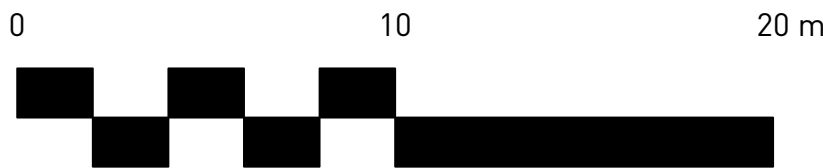
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DOUGLAS STREET



CALEDONIA AVENUE



PARTNERSHIP

5th Floor, East Asiatic House  
1201 West Pender St. Vancouver, BC V6E 2V2  
T 604.688.6111

www.pwlpartnership.com

REVISIONS AND ISSUES

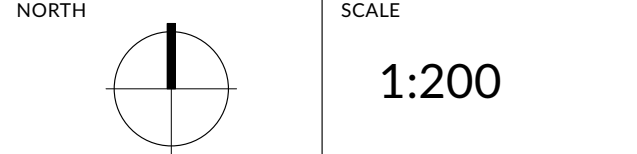
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9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
LAYOUT AND  
MATERIALS PLAN  
BLDG C AMENITY  
ROOF

BLDG B L8 LEVEL

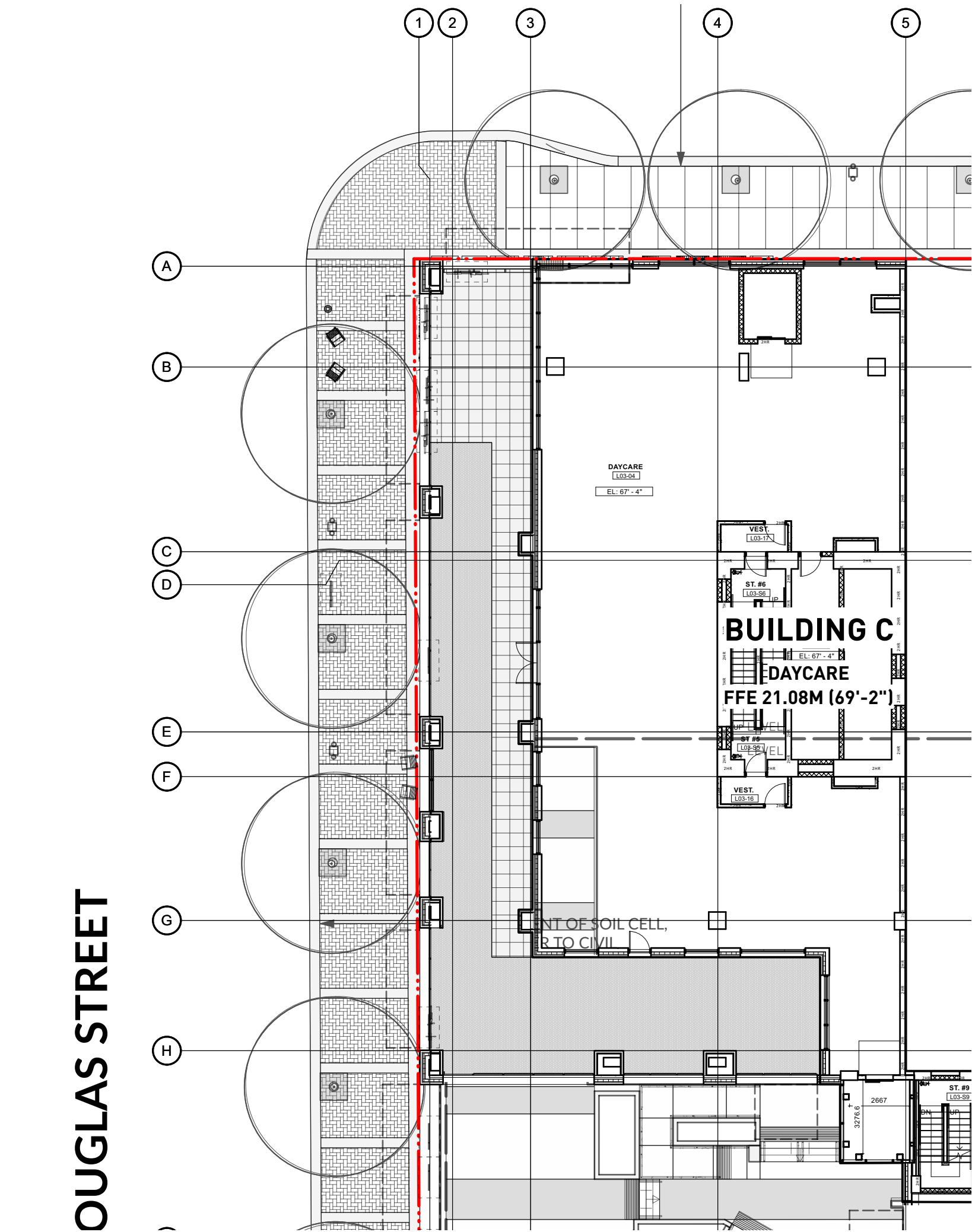


PROJECT NO.	
DATE	2022-05-25
FILE NAME	21061 PLAN.vwx
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DP L1.02

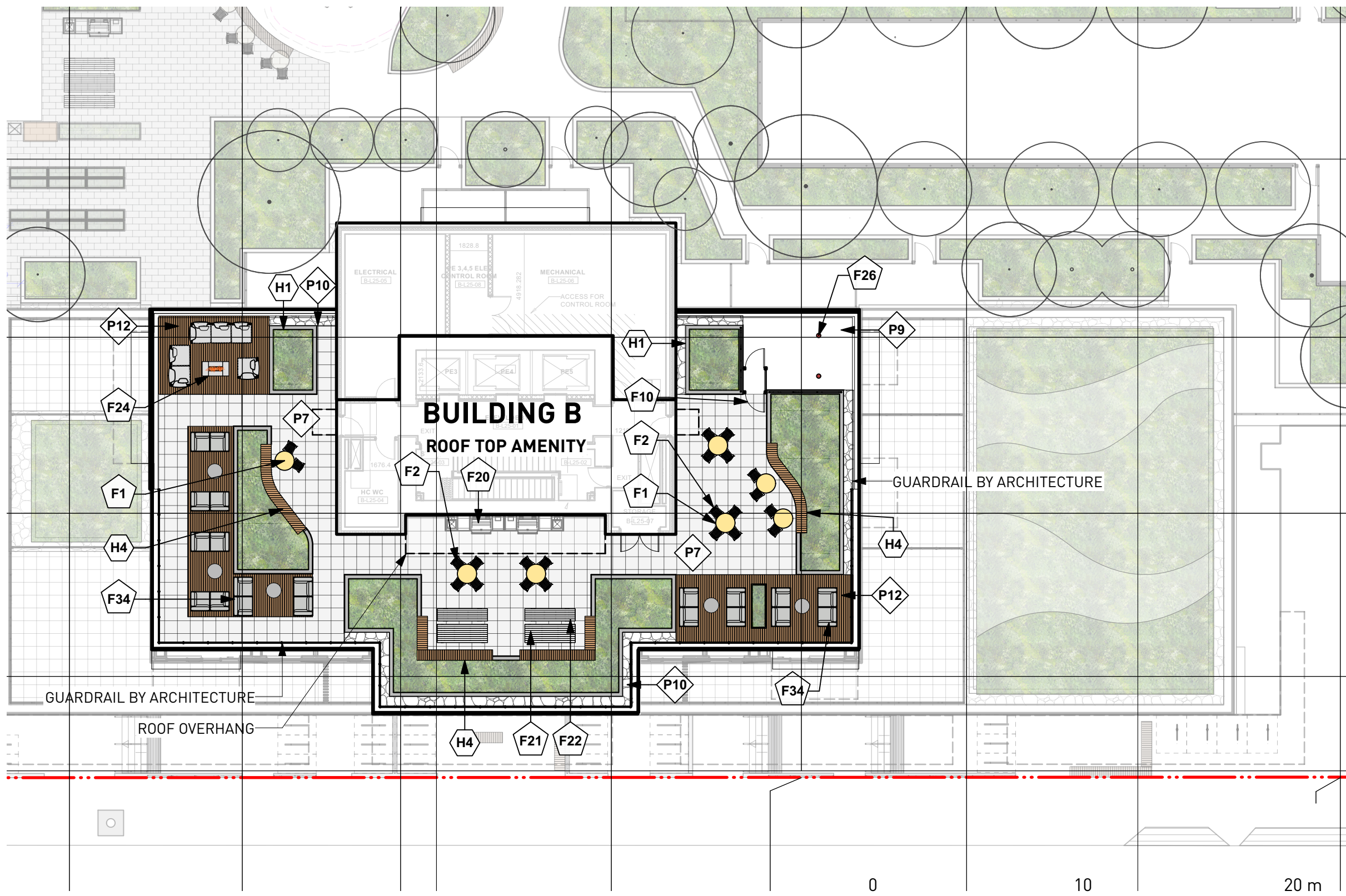


REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
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6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
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LAYOUT PLAN - DAYCARE LEVEL

NOTE: LICENCED DAYCARE PLAY AREA SHOWN FOR REFERENCE ONLY.  
THIS AREA WILL BE PART OF A SEPARATE APPLICATION BY FUTURE OPERATORS



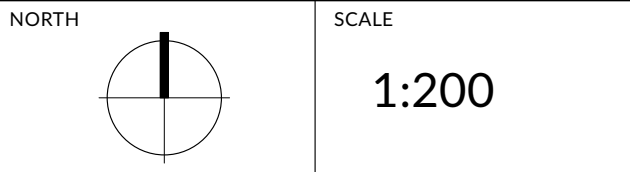
LAYOUT PLAN - BUILDING B ROOF TOP AMENITY

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BLDG C DAYCARE  
BLDG B AMENITY  
ROOF

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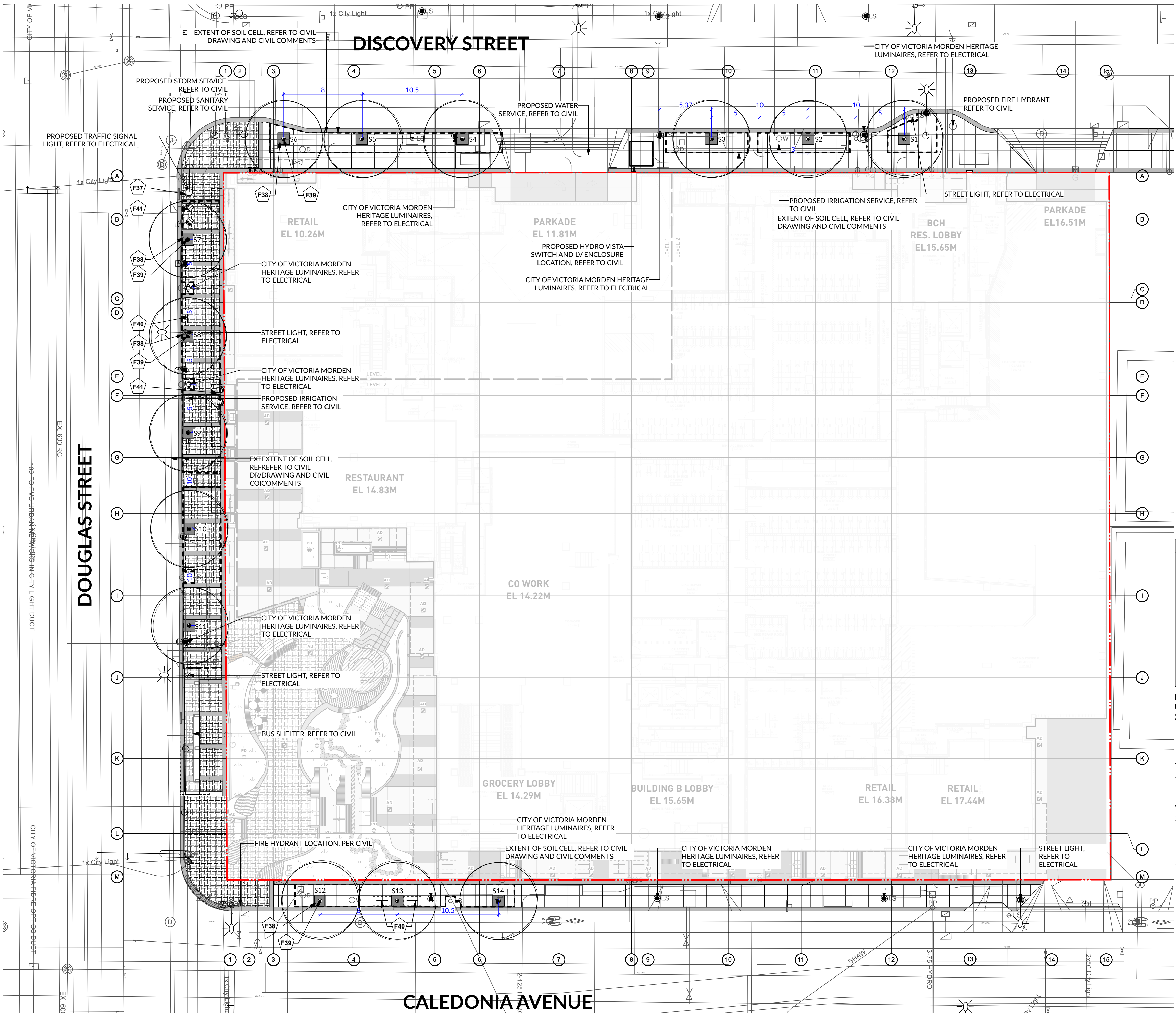


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REVIEWED	GB

DRAWING

DP L1.03





NOTE: SOIL CELLS WILL INCORPORATE STORMWATER TREATMENT FOR ROAD RUNOFF

LEGEND			
STREET TREE NO.	TREE SIZE	SOIL VOLUME REQUIRED	SOIL VOLUME PROVIDED
S1	MEDIUM	20	15
S2	MEDIUM	20	15
S3	MEDIUM	20	15
S4	MEDIUM	15	15
S5	MEDIUM	15	15
S6	MEDIUM	15	15
S7	LARGE	30	32
S8	LARGE	30	32
S9	LARGE	30	32
S10	LARGE	30	33
S11	LARGE	30	33
S12	MEDIUM	15	15.6
S13	MEDIUM	15	15.6
S14	MEDIUM	15	15.6

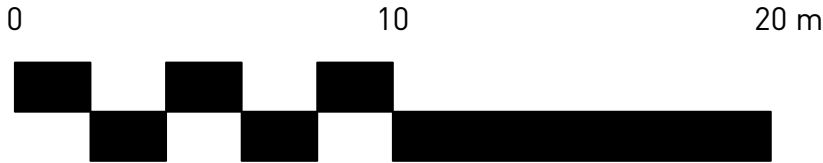
NOTE: TREE S1, S2, S3 ARE NOT IN A CONTINUOUS SOIL TRENCH DUE TO UTILITY INTERRUPTIONS, SOIL VOLUME IS REDUCE FROM REQUIRE 20M3 TO 15M3.

NOTE: THE TREE SIZE IS SELECTED BASED ON SOIL VOLUME, ACCORDING TO SCHEDULE E, ALL MUNICIPAL TREES WILL BE IRRIGATED, IRRIGATION CONNECTION REFER TO CIVIL

TREE SPACING AND TREE CLEARANCE PER SCHEDULE C:  
SMALL - MEDIUM TREE: MINIMUM 8M  
MEDIUM - LARGE TREE: MINIMUM 10M

MINIMUM CLEARANCE PER SCHEDULE C:  
5M FROM STREET LIGHTS  
7M FROM INTERSECTION  
3M FROM DRIVEWAY  
2M FROM FIRE HYDRANT

NOTE: REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION



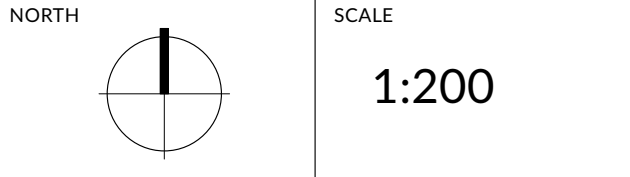
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PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
MATERIALS PLAN  
OFF SITE

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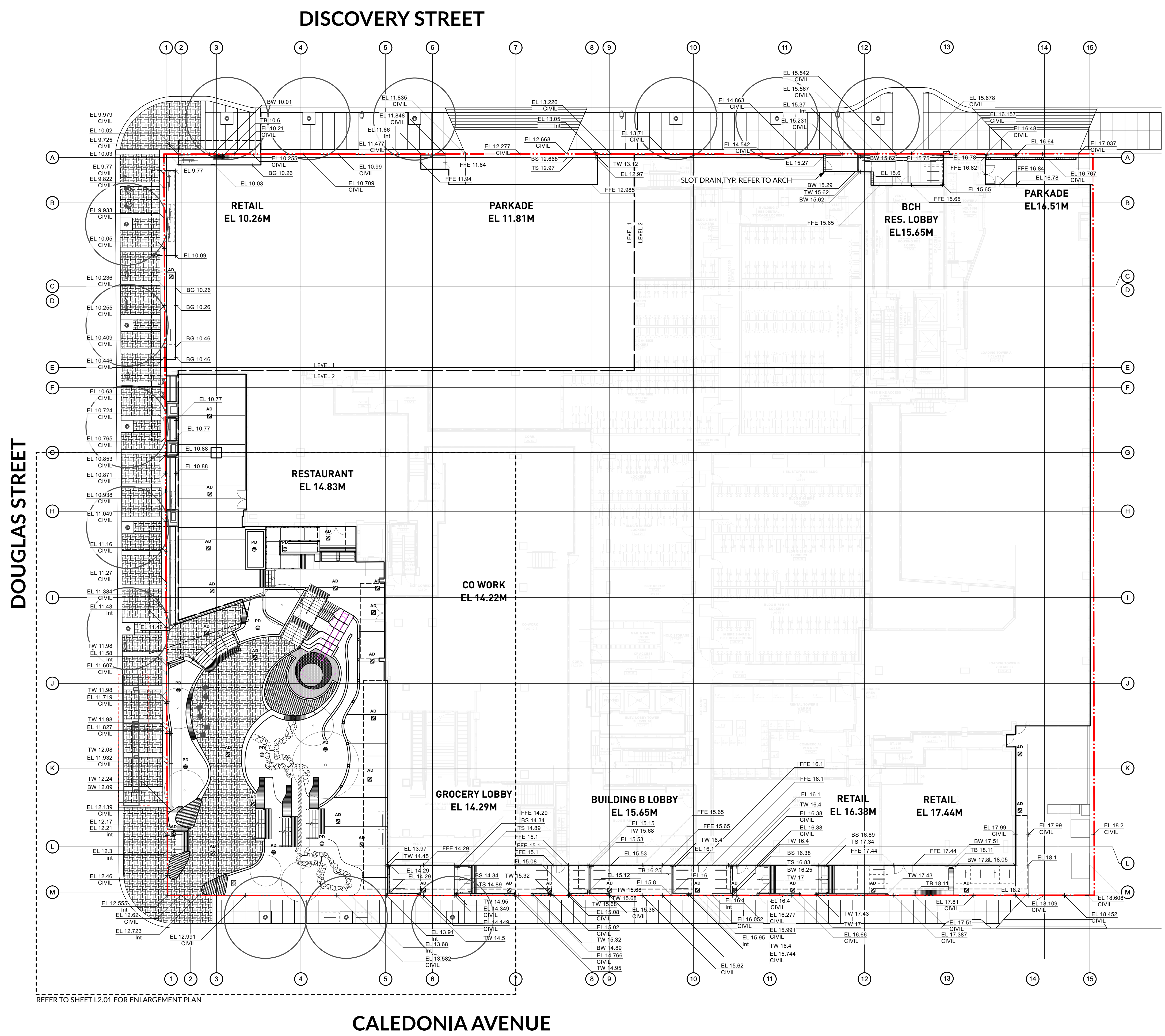


PROJECT NO.	
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DRAWN	TT
REVIEWED	GB
DRAWING	

DP L1.04



REVISIONS AND ISSUES		
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**GRADING LEGEND**

	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation
	Proposed Top of Ramp Elevation
	Proposed Bottom of Ramp Elevation
	Swale Elevation
	Existing Contour
	Proposed Contour
	Trench Drain
	Perforated Pipe
	Area Drain
	Lawn Basin
	Planter Drain
	Catch Basin
	Roof Drain, shown for reference only, see mechanical and architectural drawings

**NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.**

PROJECT  
**DOUGLAS ST**

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
**GRADING PLAN**

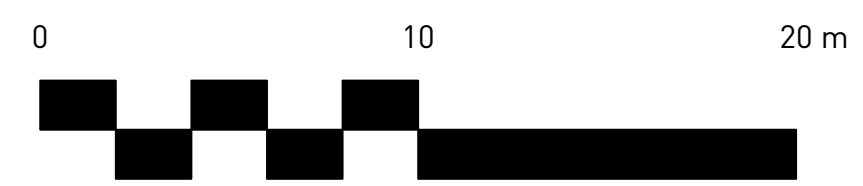
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NORTH

SCALE

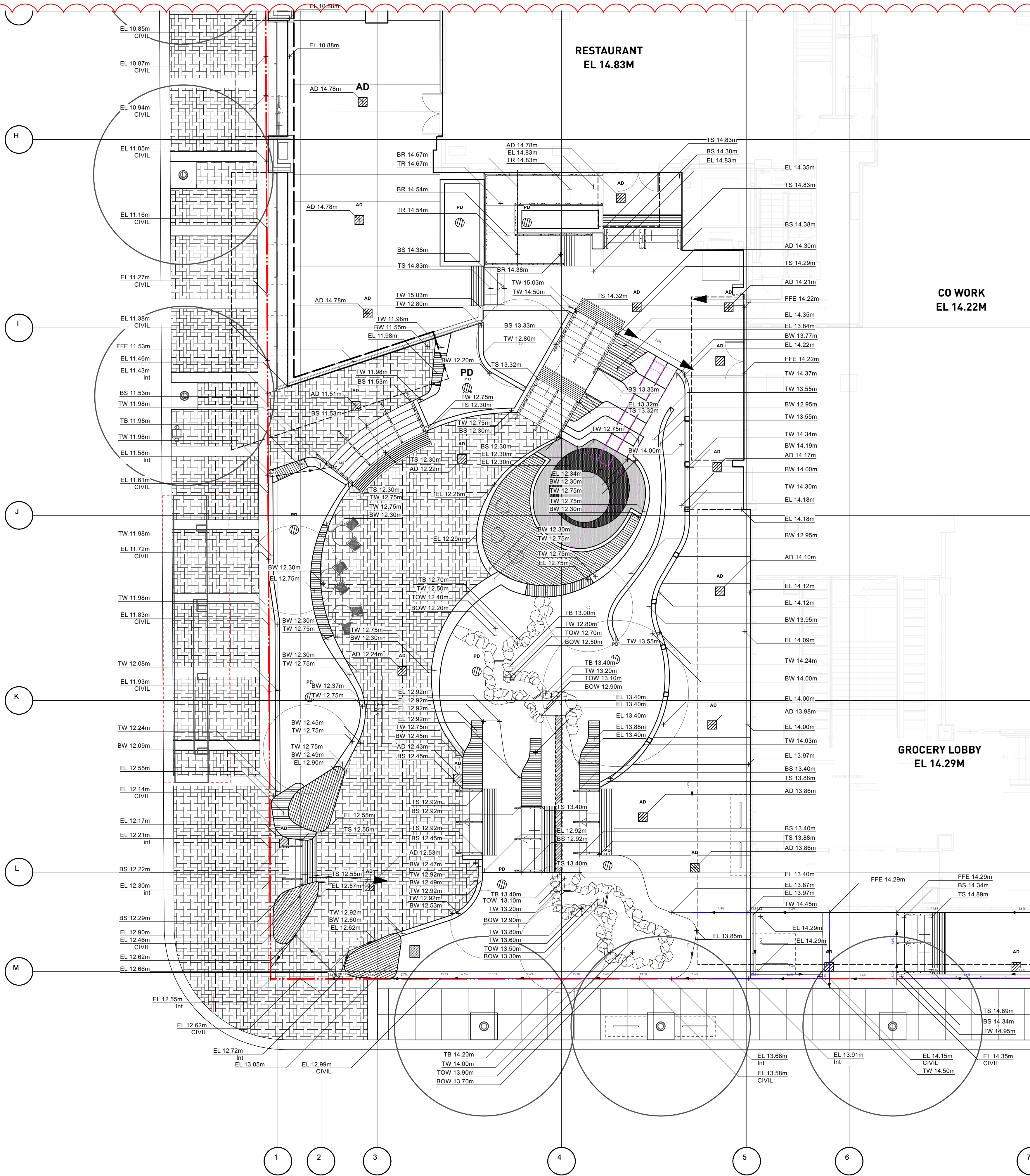
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REVIEWED	GB
DRAWING	





DOUGLAS STREET



Grading Legend

EL 0.94m

+

Existing Elevation

EL 0.94m

+

Proposed Elevation

FFE 0.94m

+

Finished Floor Elevation

TW 0.94m

+

Proposed Top of Wall Elevation

BW 0.94m

+

Proposed Bottom of Wall Elevation

TS 0.94m

+

Proposed Top of Stair Elevation

BS 0.94m

+

Proposed Bottom of Stair Elevation

TC 0.94m

+

Proposed Top of Curb Elevation

BC 0.94m

+

Proposed Bottom of Curb Elevation

TR 0.94m

+

Proposed Top of Ramp Elevation

BR 0.94m

+

Proposed Bottom of Ramp Elevation

SW 0.94m

+

Swale Elevation

--- 79.5 ---

Existing Contour

— 79.5 —

Proposed Contour

T

Trench Drain

P

Perforated Pipe

AD

Area Drain

LB

Lawn Basin

PD

Planter Drain

CB

Catch Basin

RD

Roof Drain, shown for reference only, see mechanical and architectural drawings

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

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DRAWING TITLE  
GRADING PLAN

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NORTH

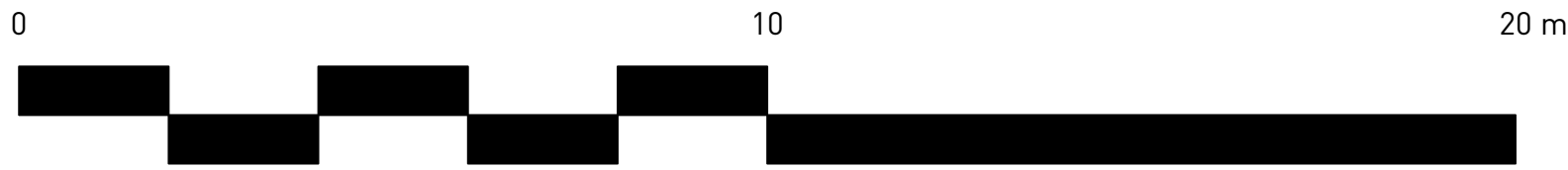
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PROJECT NO.	
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DP L2.02

CALEDONIA AVENUE

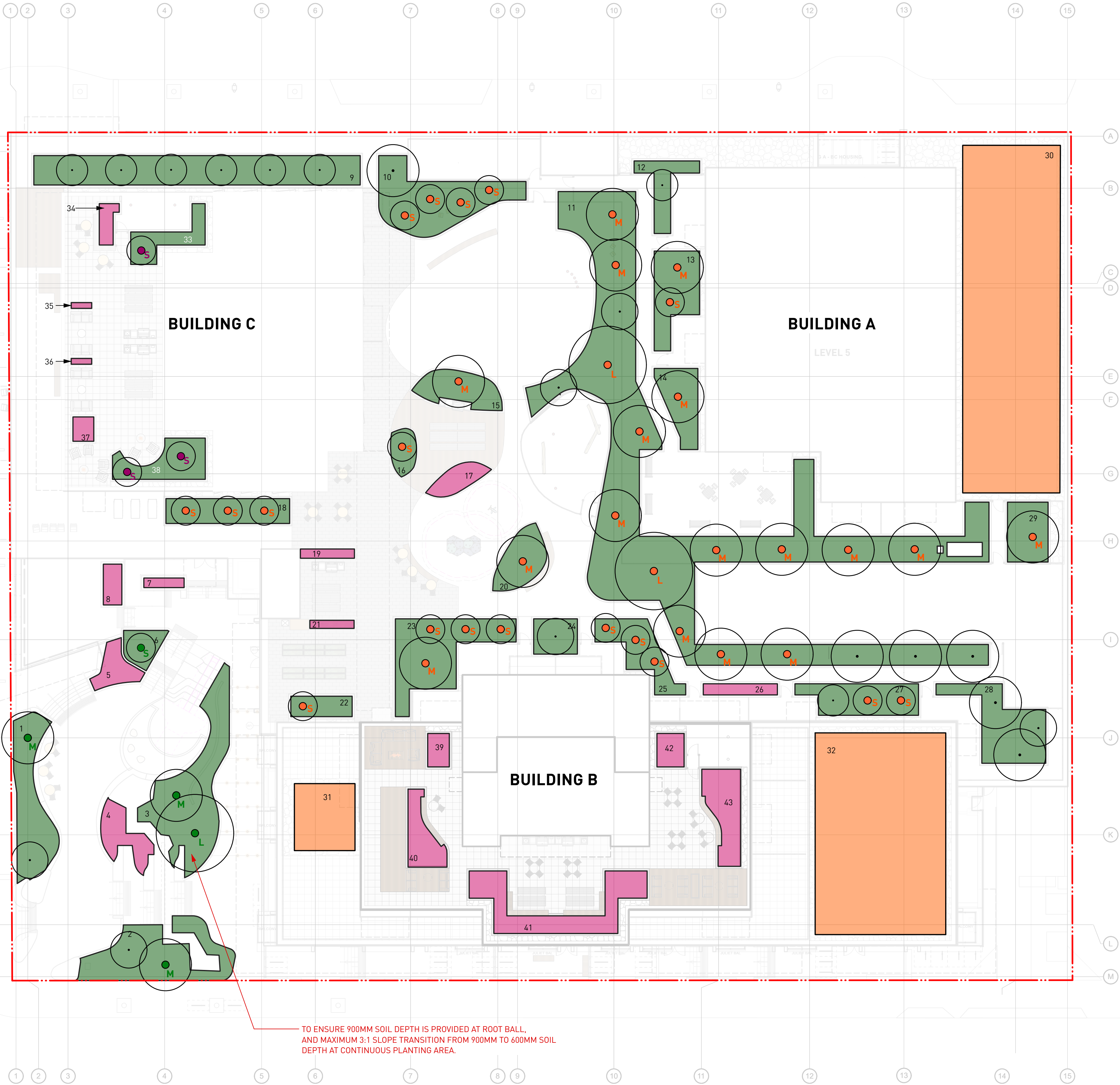




DOUGLAS STREET

DISCOVERY STREET

CALEDONIA AVENUE



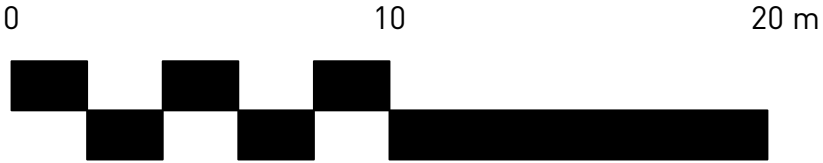
TO ENSURE 900MM SOIL DEPTH IS PROVIDED AT ROOT BALL, AND MAXIMUM 3:1 SLOPE TRANSITION FROM 900MM TO 600MM SOIL DEPTH AT CONTINUOUS PLANTING AREA.

LEGEND		QUANTITY
900mm DEEP PLANTING AREA	1	35.0M²
	2	45.9M²
	3	55.9M²
	6	9.1M²
	9	71.7M²
	10	47.35M²
	11	307.0M²
	12	13.4M²
	13	26M²
	14	18.2M²
	15	18.1M²
	16	7.6M²
	18	23.0M²
	20	17.18M²
	22	9.4M²
	23	45.1M²
	24	11.5M²
	25	21.8M²
600mm DEEP PLANTING AREA	27	25.5M²
	28	33.4M²
	29	18.1M²
	33	13.8M²
	38	19.9M²
	4	13.9M²
	5	9.9M²
	7	2.9M²
	8	5.7M²
	17	9.0M²
	19	3.7M²
	21	2.7M²
150mm DEEP EXTENSIVE GREEN ROOF TRAY SYSTEM	26	6.2M²
	34	4.7M²
	35	0.9M²
	36	0.9M²
	37	3.8M²
	39	5.4M²
	40	13.8M²
	41	36.0M²
	42	20.6M²
	43	6.8M²
	30	253.1M²
	31	30.3M²
	32	196.8M²

TREES PROPOSED FOR THE REPLACEMENT TREES

FLOOR LEVEL	LEGEND	TREE SIZE	PROPOSED SOIL VOLUME PER TREE	QTY.	REPLACEMENT TREE COUNT
PLAZA/UPPER GROUND LEVEL		LARGE TREE	MIN. 30M3 SOIL VOLUME PER TREE	1	45
		MEDIUM TREE	MIN. 15M3 SOIL VOLUME PER TREE	3	
		SMALL TREE	MIN. 6M3 SOIL VOLUME PER TREE	1	
LEVEL 3 AMENITY		LARGE TREE	MIN. 30M3 SOIL VOLUME PER TREE	2	
		MEDIUM TREE	MIN. 15M3 SOIL VOLUME PER TREE	17	
		SMALL TREE	MIN. 6M3 SOIL VOLUME PER TREE	18	
LEVEL 21 ROOF TOP AMENITY		SMALL TREE	MIN. 6M3 SOIL VOLUME PER TREE	3	TREE DOESN'T COUNT AS REPLACEMENT TREE
ALL LEVEL			MIN. 10M3 SOIL VOLUME PER TREE	20	

NOTE: SOIL DEPTH TRANSITION AT CONTINUOUS PLANTING AREA IS ILLUSTRATED FOR REFERENCE ONLY. 900MM SOIL DEPTH NEED TO BE PROVIDED AT TREE ROOT BALL AREA. MAXIMUM 3:1 SLOPE IS NEEDED AT TRANSITION AREA FROM 900MM TO 600MM SOIL DEPTH



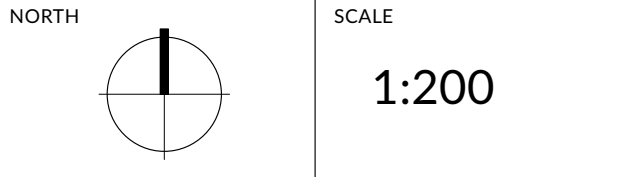
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PROJECT DOUGLAS ST

ADDRESS 1961 DOUGLAS STREET AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE SOIL DEPTH COORDINATION PLAN

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FILE NAME	21061 PLAN.vwx
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DP L3.00

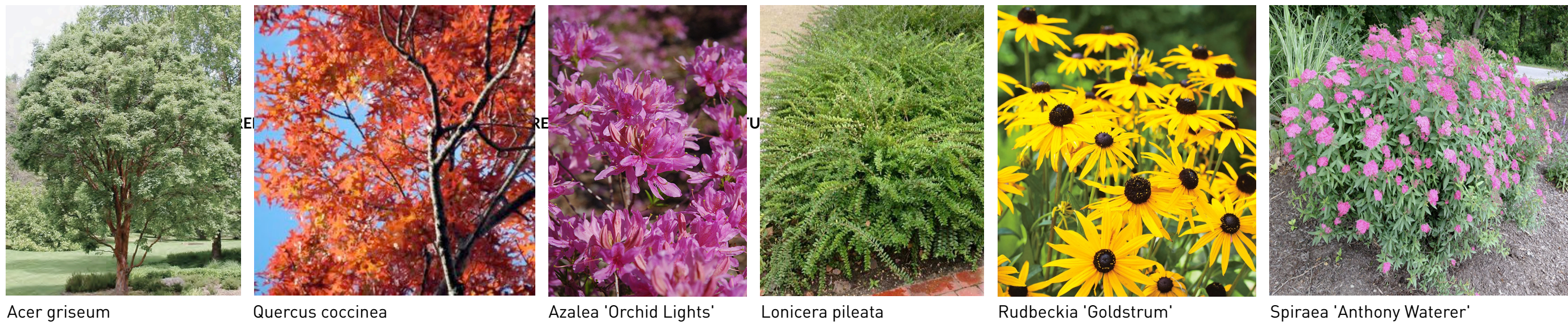


L3 Amentity

Plant List - On Site						
ID	Botanical Name	Common Name	Scheduled Size	Proposed Canopy Cover (Trees Only)	Spacing	Remarks
Trees						
ACR	Acer circinatum	Vine Maple	2.4 m ht. [8'-0" ht.]	3.6 m	As Shown	B&B, Nursery grown, minimum 3 stems
AGR	Acer griseum	Paper Bark Maple	6 cm cal. [2.5" cal.]	4.5 m	As Shown	B&B, Uniform branching, dense tree, 6' [1.8m] std.
APL	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. [8' ht. x 6' w.]	4.7 m	As Shown	B&B, Specimen and densely branched, no included bark
ARJ	Acer rubrum 'Frank Jr.'	Redpointe Red Maple	8 cm cal. [3" cal.]	6.8 m	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
AXA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3.0 m ht. [9'-0" ht.]	3.6 m	As Shown	B&B, Multi-stemmed, dense tree
CKO	Cornus kousa	Kousa Dogwood	2.4 m ht. [8'-0" ht.]	3.0 m	As Shown	B&B, Well branched, dense tree
POR-4	Picea omorika	Serbian Spruce	4 m ht. [13'-0" ht.]	4.9 m	As Shown	B&B, Well branched, dense tree
QCC	Quercus coccinea	Scarlet Oak	8 cm cal. [3" cal.]	6.7 m	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
SPS	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. [2.5" cal.]	4.9 m	As Shown	B&B, Well branched, dense tree
Shrubs						
AOL	Azalea 'Orchid Lights'	Orchid Lights Azalea	#2 pot	75cm [30"]	Well established	
AJC	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm [24"]	Well established	
CSK	Cornus sericea 'Kelseyii'	Kelseyii Dogwood	#2 pot	60cm [24"]	Well established, nursery grown	
GSH	Gaultheria shallon	Salal	#2 pot	75cm [30"]	Well established, nursery grown	
LPL	Lonicera pileata	Privet Honeysuckle	#1 pot	75cm [30"]	30 cm [12"] spread	
RSA	Ribes sanguineum	Flowering Currant	#2 pot	100cm [39"]	Well established, nursery grown	
RMP	Rosa 'Meidiland Pink'	Meidiland Pink Rose	#2 pot	45cm [18"]	Well established	
SJR	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#2 pot	60cm [24"]	Well established	
SBA	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#2 pot	60cm [24"]	Well established	
TXM	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.5m	60cm [24"]	Well established, dense hedging plant / B & B	
VCN	Vaccinium corymbosum 'Northblue'	Northblue Blueberry	#3 pot	120cm [48"]	Well established	
VOV	Vaccinium ovatum	Evergreen Huckleberry	#3 pot	75cm [30"]	Well established, nursery grown	
Ground Cover						
ECP	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	45cm [18"]	15cm [6"] height	
FVS	Fragaria vesca	Woodland Strawberry	#1 pot	25 cm [10"]	Well established, nursery grown	
MRP	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	40cm [16"]	Well established, nursery grown	
PTM	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm [15"]	10cm [4"] height	
Perennials						
ACC	Anemone hybrida 'Curtain Call'	Curtain Call Japanese Anemone	#1 pot	38 cm [15"]	Well established	
EPR	Echinacea purpurea	Purple Cone Flower	#1 pot	45 cm [18"]	Well established	
HFE	Hosta 'Francee'	Francee Hosta	#1 pot	60 cm [24"]	Well established	
IVC	Iris versicolor	Blue Flag Iris	#1 pot	40 cm [16"]	Well established	
NFW	Nepeta x faassentii 'Walker's Low'	Walker's Low Catmint	#1 pot	38 cm [15"]	Well established	
ORV	Origanum vulgare	Oregano	#1 pot	30cm [12"]	Well established	
RBG	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 pot	45 cm [18"]	Well established	
SLA	Stachys lanata	Lamb's Ear	#1 pot	38 cm [15"]	Well established	
TGR	Tellima grandiflora	Fringe Cup	#1 pot	38 cm [15"]	Well established, nursery grown	
Ornamental Grasses						
CAK	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reedgrass	#2 pot	75 cm [30"]	Well established	
PAH	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1 pot	45 cm [18"]	Well established	
Aquatic Plants						
CSA	Carex stipula	Saw Beak Sedge	#1 pot	40 cm [16"]	Full dense plant, nursery grown	
JEF	Juncus effusus	Common Rush	#1 pot	45 cm [18"]	Well established	
Ferns						
BSP	Blechnum spicant	Deer Fern	#1 pot	38 cm [15"]	Well established, nursery grown	
PMU	Polystichum munitum	Western Sword Fern	#1 pot	45 cm [18"]	Well established, nursery grown	

Plant List - Off Site						
ID	Botanical Name	Common Name	Scheduled Size	Proposed Canopy Cover (Trees Only)	Spacing	Remarks
Trees						
ARA	Acer rubrum 'Armstrong'	Armstrong Red Maple	8cm cal. [3" cal.]	8.0 m	As Shown	B&B, Uniform branching, dense tree, 7' [2.1 m] std.
CBF	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	5 cm cal. [2" cal.]	8.0 m	As Shown	B&B, Dense plant, good branching within 2' [0.6 m] of ground

Terraced Plaza



Water Feature



Roof Top Amentity



REVISIONS AND ISSUES

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5	2023-12-08	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

PROJECT

DOUGLAS ST

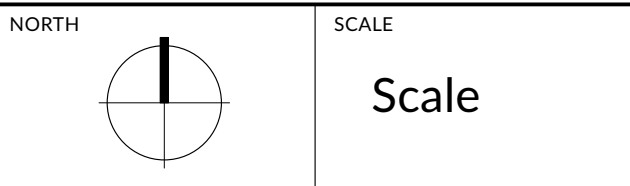
ADDRESS

1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE

PLANT LIST  
ENTIRE SITE

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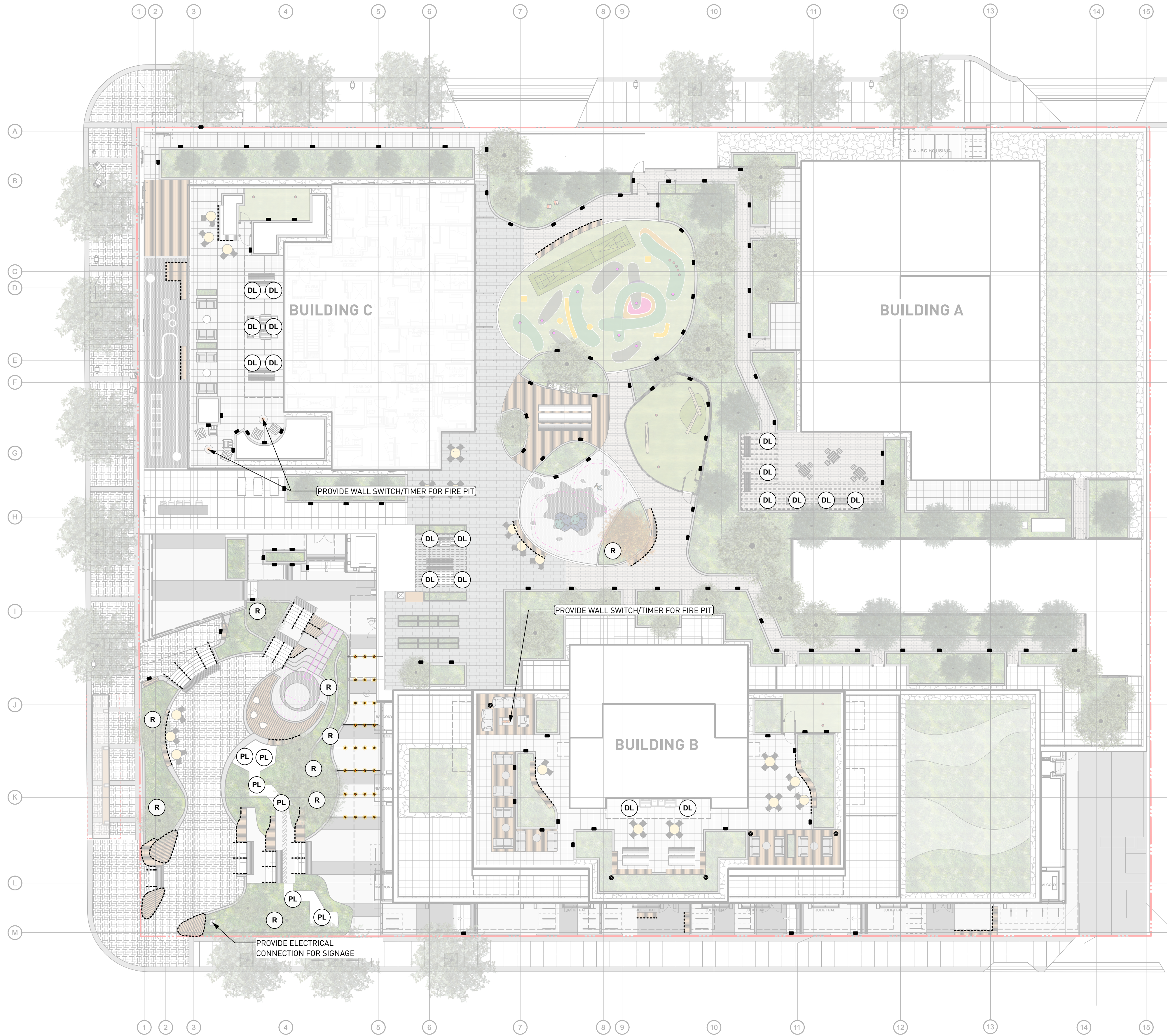
PROJECT NO.	
DATE	2022-05-25
FILE NAME	21061 PLAN.vwx
PLOTTED	2025-03-27
DRAWN	TT
REVIEWED	GB
DRAWING	



DOUGLAS STREET

DISCOVERY STREET

CALEDONIA AVENUE



**LIGHTING LEGEND**

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●●●●●

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DL

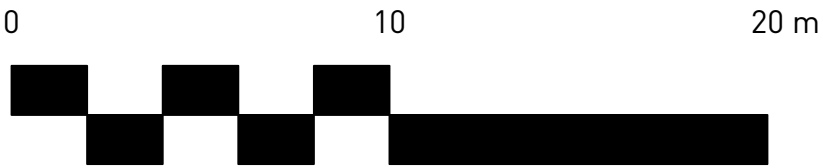
PL

R

LED Strip Light  
Catenary Light  
Bollard Light  
Wall Light  
Down Lighting at Trellis  
Light in Water feature  
Receptacle for Seasonal Light

**NOTE:** DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.

REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-03-25	ISSUED FOR DP
2	2022-06-13	ISSUED FOR DP RESPONSE
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
4	2022-12-07	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
6	2024-03-15	RE-ISSUED FOR DP VARIANCE
7	2024-04-26	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
8	2024-08-09	ISSUED FOR DPV PRIOR-TO COTW RESPONSE
9	2024-09-27	ISSUED FOR 40% PROGRESS SET
10	2024-10-25	ISSUED FOR 50% PROGRESS SET
11	2024-12-20	ISSUED FOR 80% PROGRESS SET
12	2025-01-17	ISSUED FOR EXCAVATION ONLY PERMIT
13	2025-02-21	ISSUED FOR BP COORDINATION
14	2025-02-28	RE-ISSUED FOR FULL BP
15	2025-03-27	RE-ISSUED FOR DP VARIANCE

PROJECT  
DOUGLAS ST

ADDRESS  
1961 DOUGLAS STREET  
AND 710 CALEDONIA AVE, VICTORIA, BC

DRAWING TITLE  
SCHEMATIC  
LIGHTING PLAN

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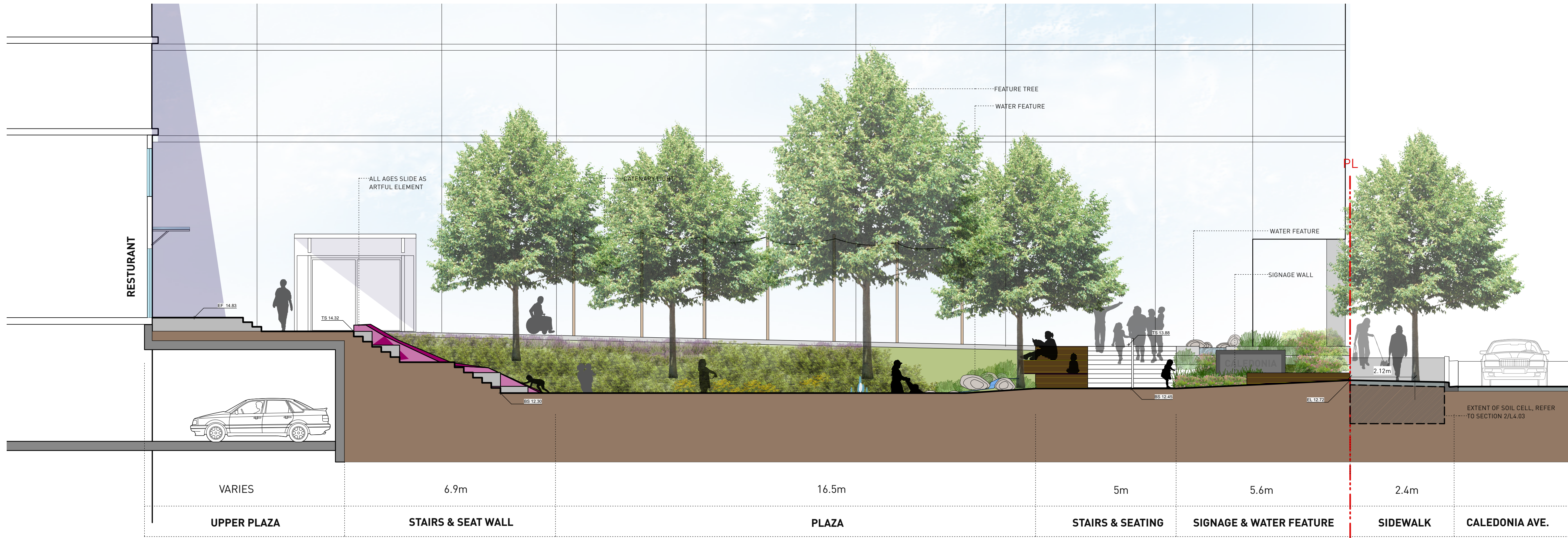
NORTH

SCALE

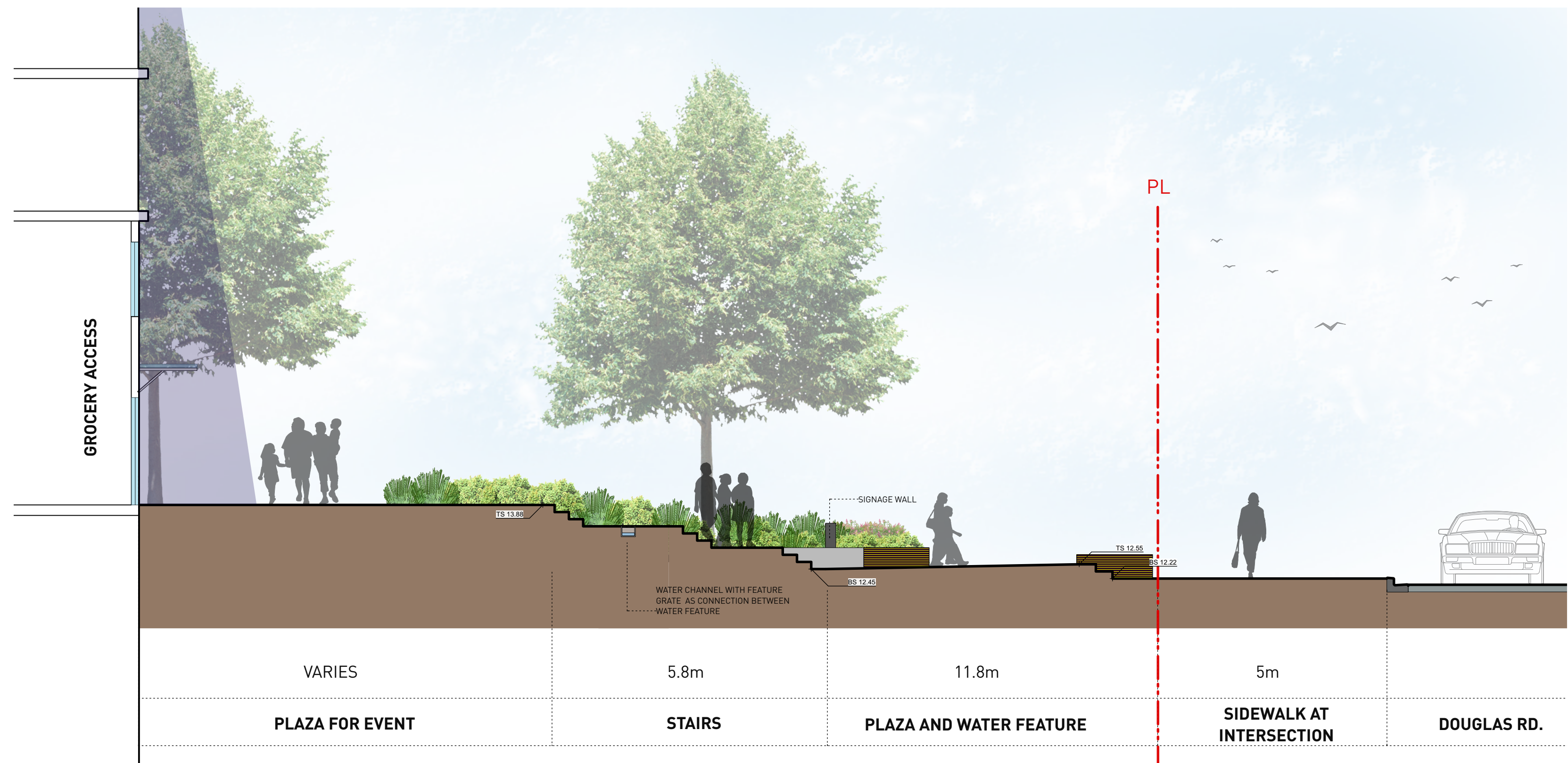
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PROJECT NO.			
DATE	2022-05-25		
FILE NAME	21061 PLAN.vwx		
PLOTTED	2025-03-27		
DRAWN	TT	REVIEWED	GB





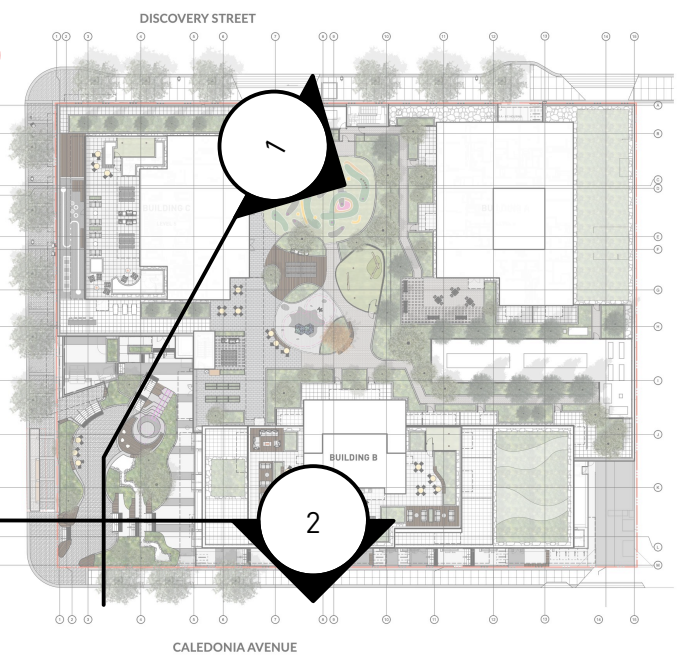
1 GROUND LEVEL AND PLAZA AT GROCERY ACCESS  
Scale: 1:75



2 GROUND LEVEL AND UPPER PLAZA  
Scale: 1:75

13

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
6	2025-03-27	RE-ISSUED FOR DP VARIANCE

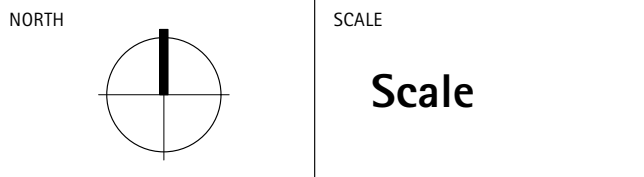


PROJECT  
**710 CALEDONIA**

ADDRESS  
710 CALEDONIA

DRAWING TITLE  
**SECTIONS**

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PROJECT NO.	21061
DAT.	2019-05-10
FILE NAME	21061 SECTIONS.vwx
PLOTTED	2025-03-27
DRAWN	TT
SCALE	R,VL,WLD
DATE	GB

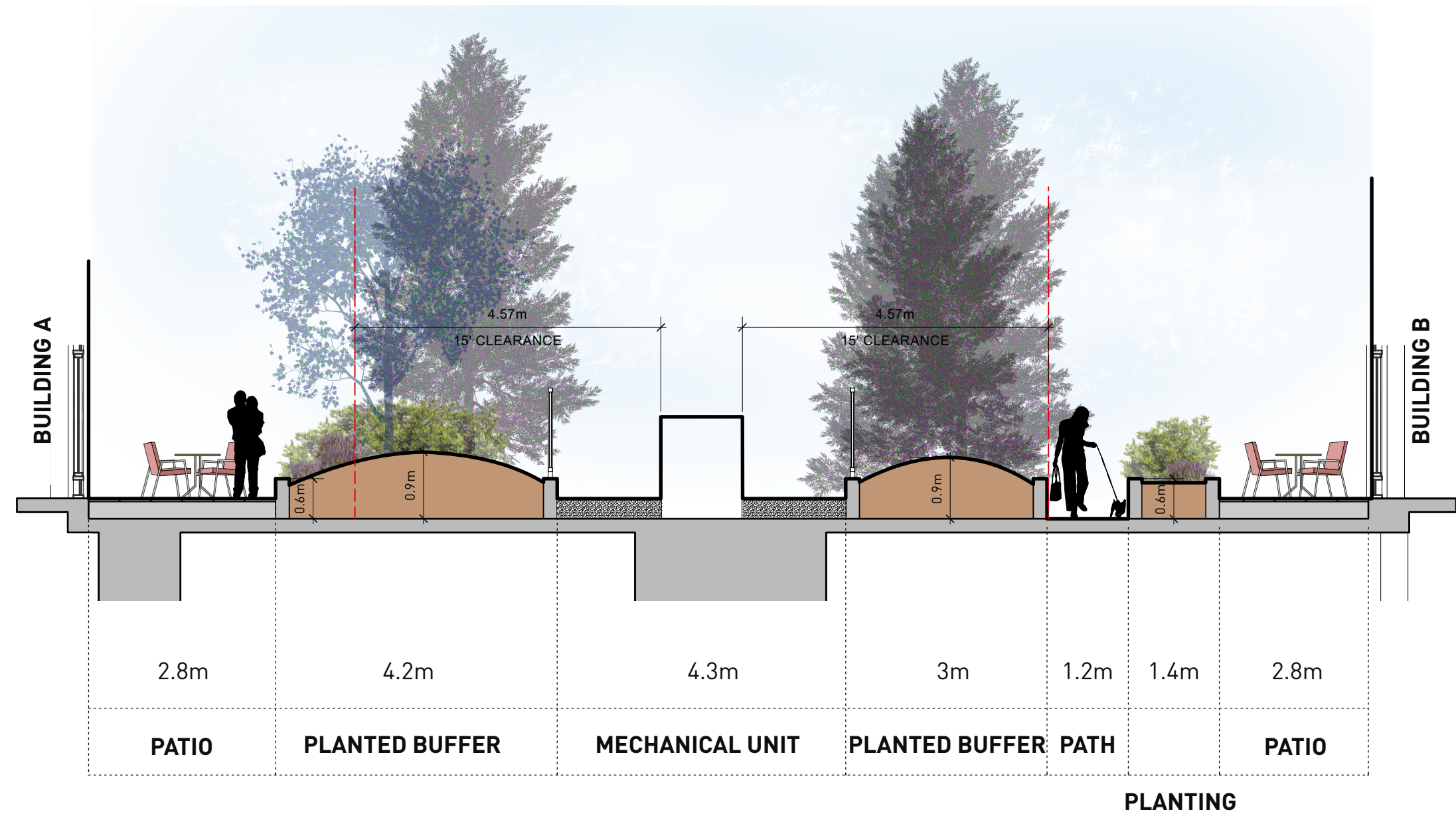
DRAWING  
**L4.01**



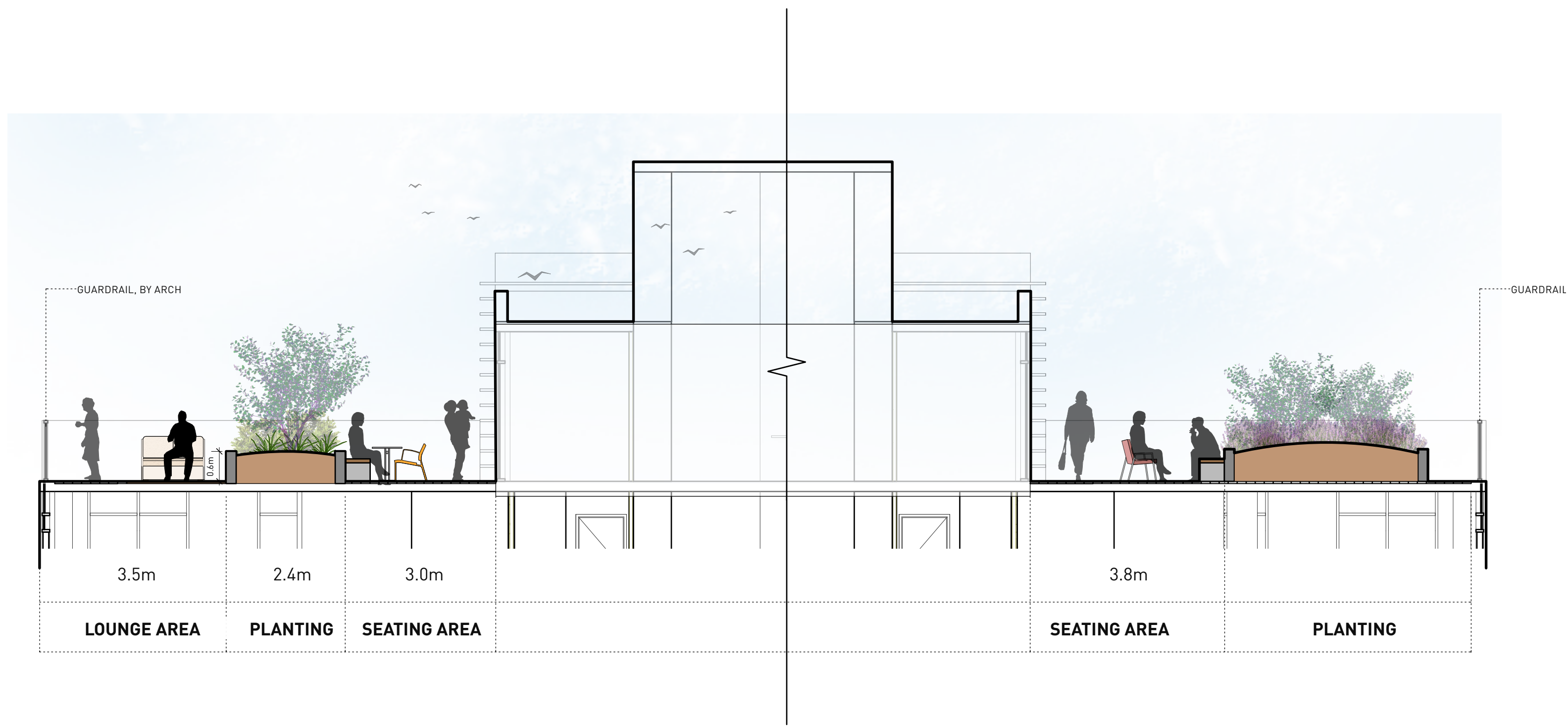
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
3	2022-07-22	REVISED AND REISSUED PER CITY COMMENTS
5	2023-12-08	ISSUED FOR DP VARIANCE
6	2025-03-27	RE-ISSUED FOR DP VARIANCE



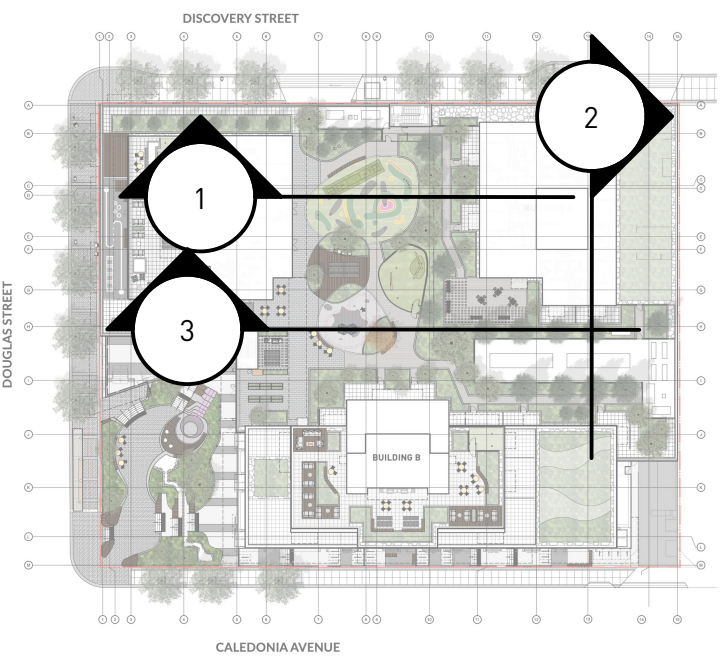
1 SECTION BETWEEN BUILDING A AND C AT L3 COURTYARD  
Scale: 1:75



2 SECTION BETWEEN BUILDING A AND B AT L3 COURTYARD  
Scale: 1:75



3 BUILDING B ROOF TOP AMENITY  
Scale: 1:75

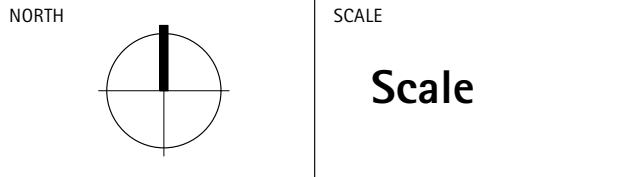


PROJECT  
**710 CALEDONIA**

ADDRESS  
710 CALEDONIA

DRAWING TITLE  
**SECTIONS**

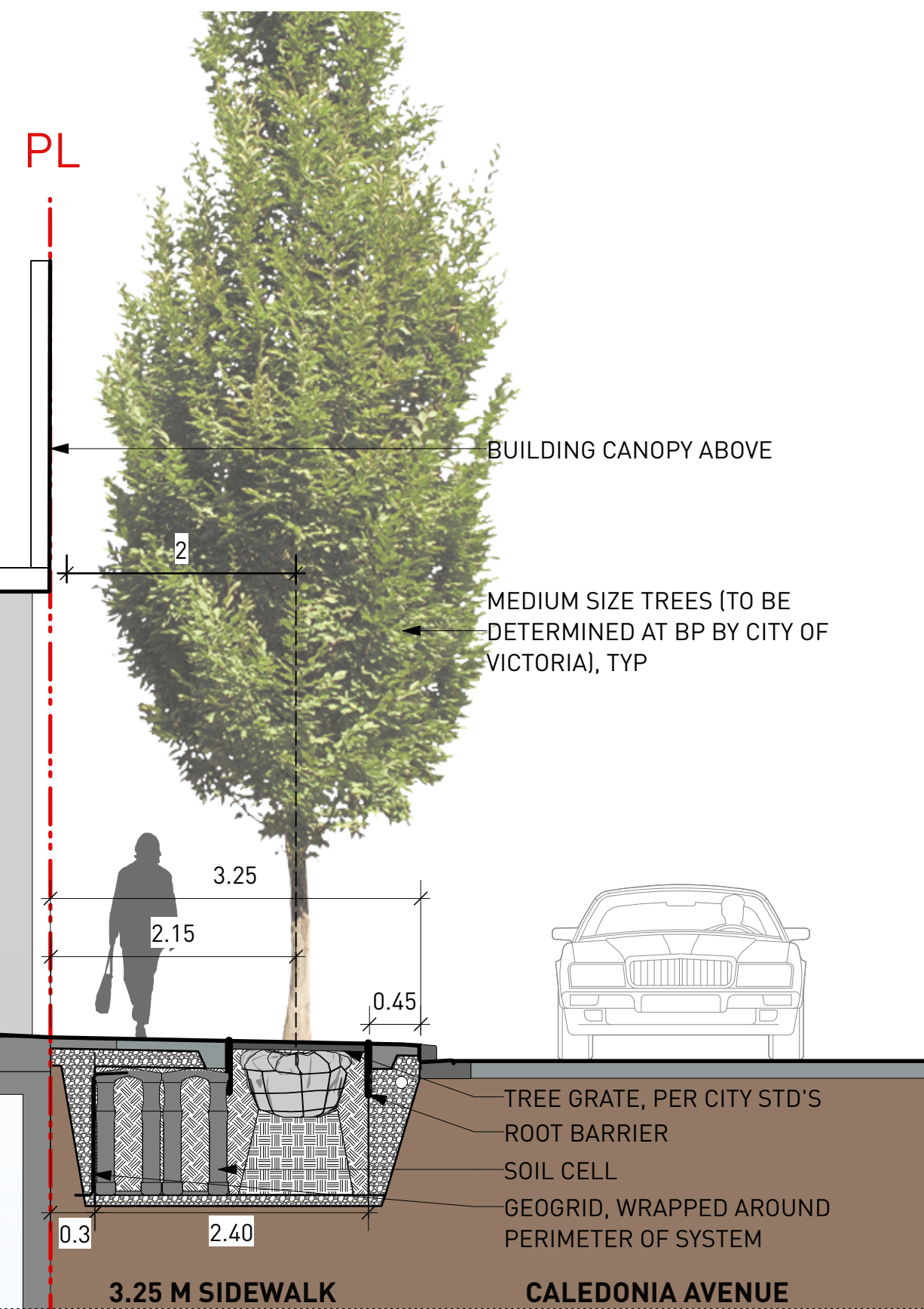
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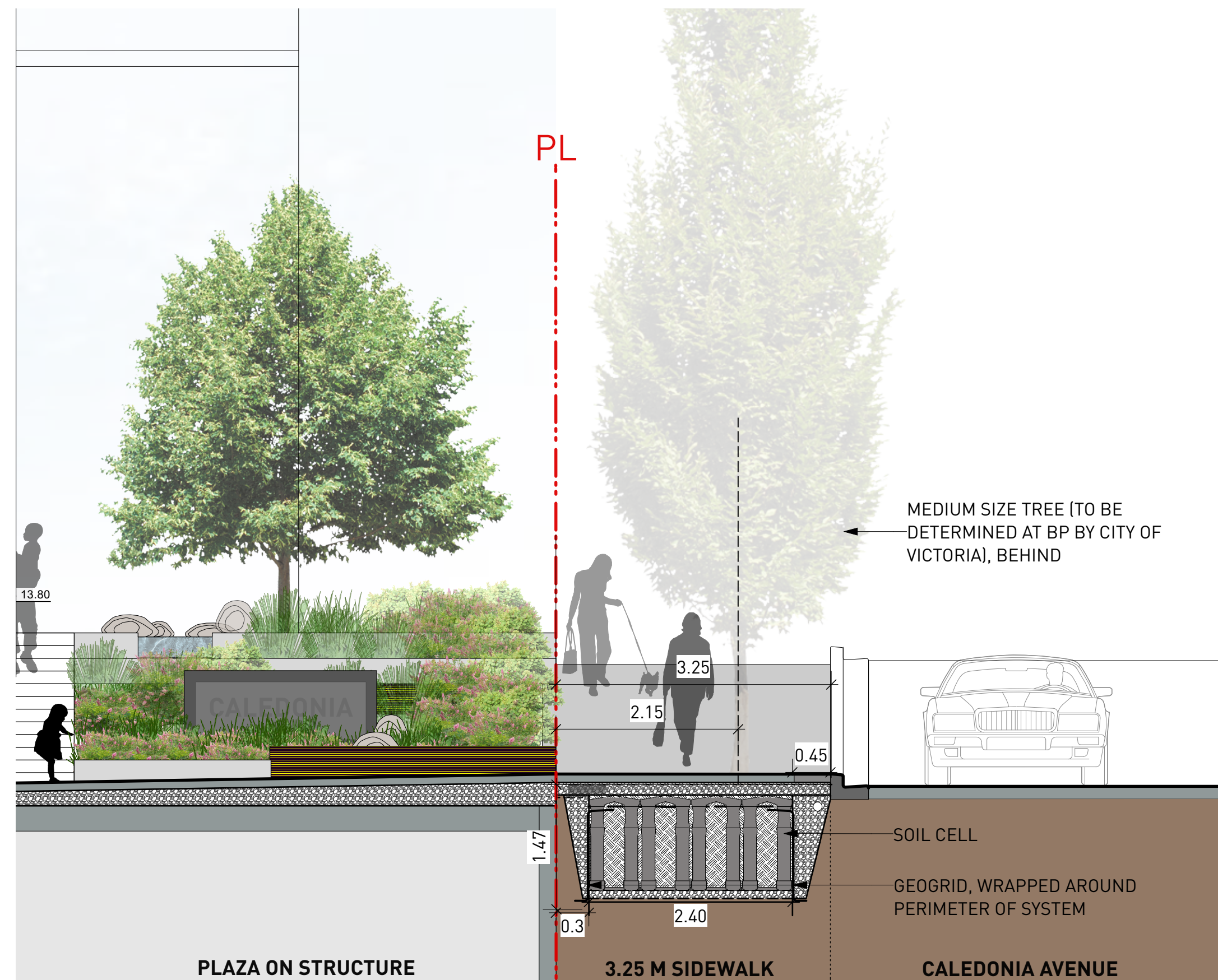
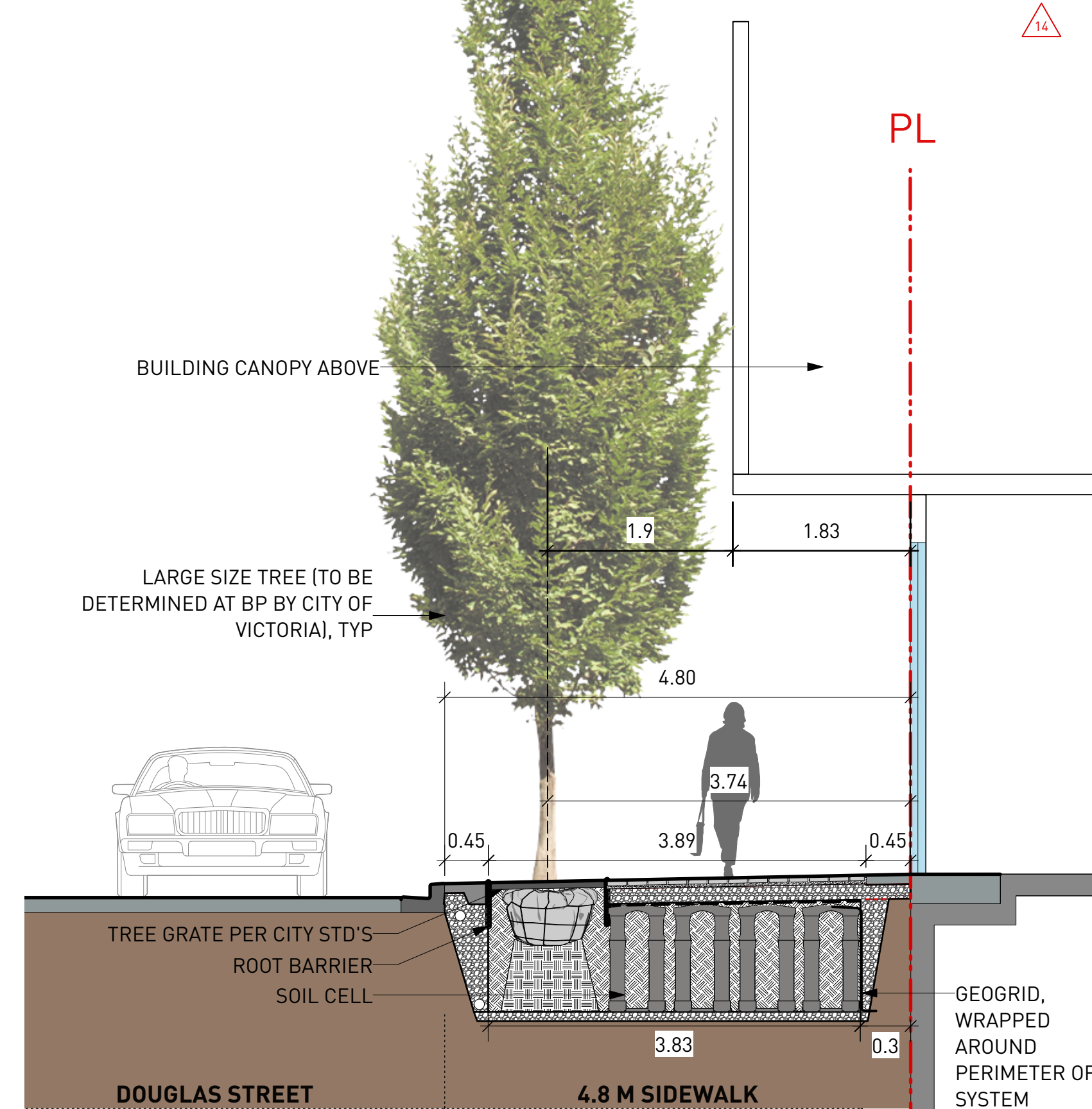
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DAT.	2019-05-10
FILE NAME	21061 SECTIONS.vwx
PLOTTED	2025-03-27
DRAWN	TT
SCALE	R,VL,W,D
GB	

DRAWING  
**L4.02**

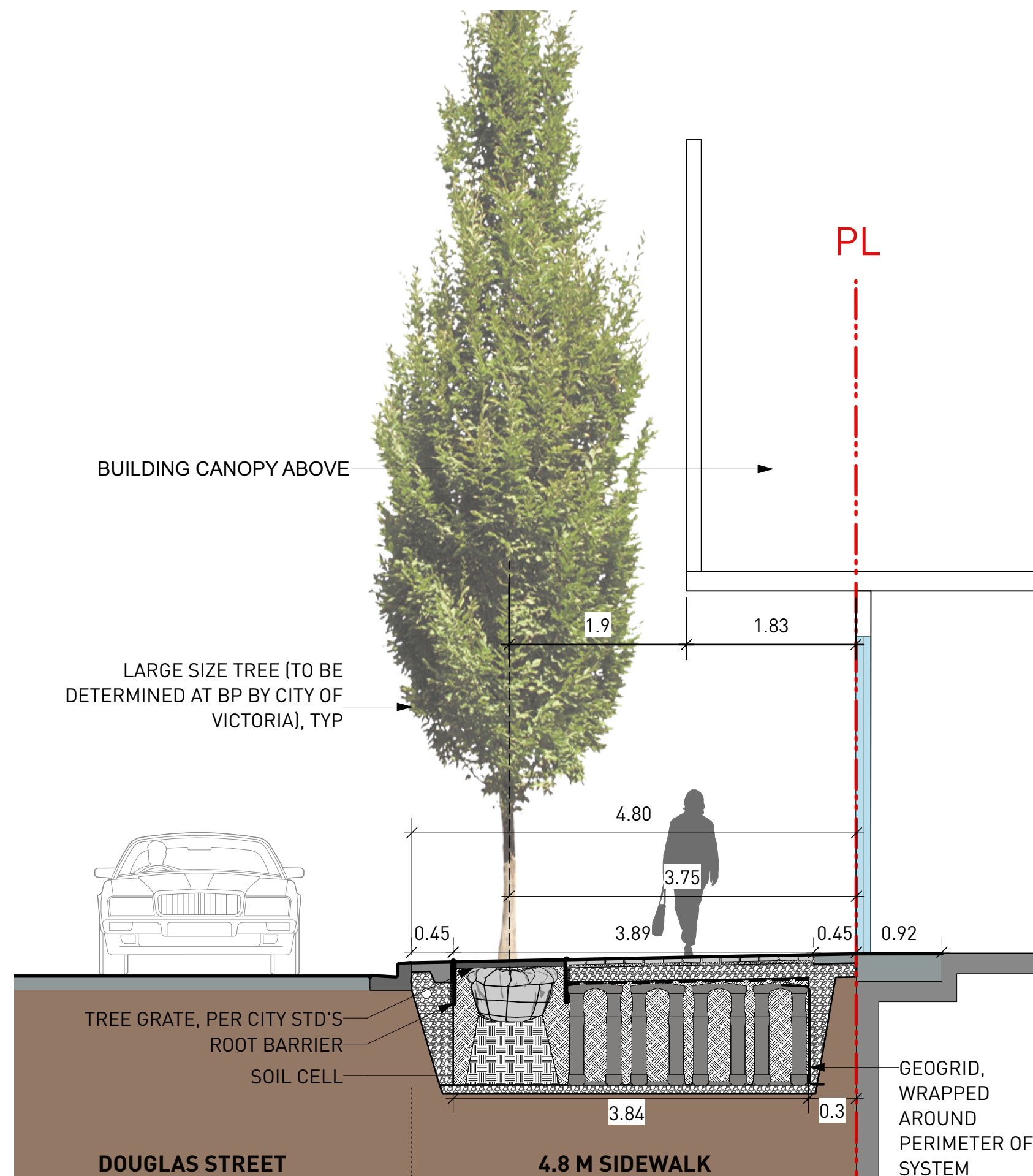




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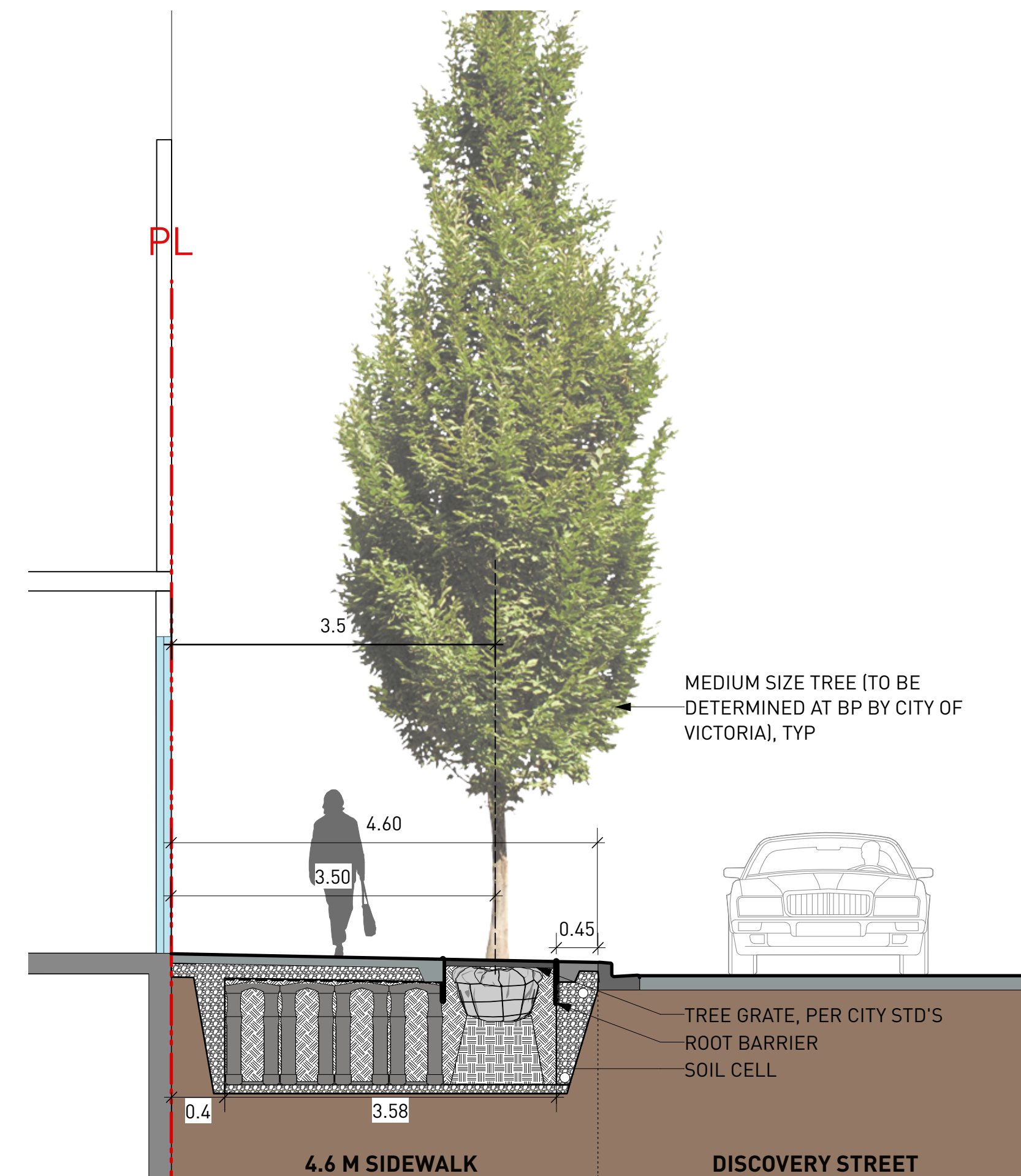
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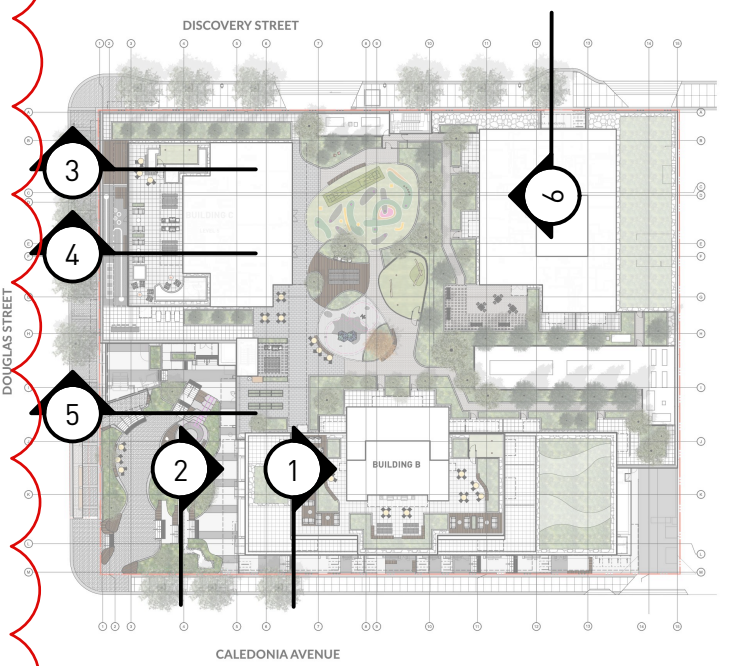
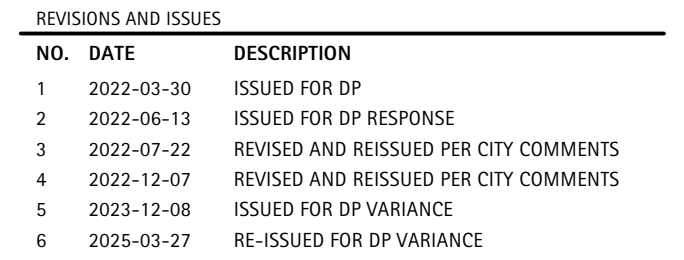
(4



( )



(



ADDRESS  
710 CALEDONIA

DRAWING TITLE

SECTIONS \_ OFFSITE

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PROJECT NO.	21061		
DATE	2019-05-10		
FILE NAME	21061 SECTIONS.vwx		
PLOTTED	2025-03-27		
DRAWN	TT	R.V.L.W.D	GB
DRAWING			

# L4.03