NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimension are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

14	ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18	RESPONSE TO DELEGATED	2024.11.22

2024.11.22 COMMENTS

SCALE 11/22/2024 10:32:04 AM CHECKED BY CZ

DRAWING NO.

REVISION

DP0.0



DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2024.11.22

Design Team

BC HOUSING

BC Housing Sean Rorison PHONE: N/A EMAIL:srorison@bchousing.org

S2 Architecture Michael Defina PHONE: 403.670.7000 EMAIL:m.defina@s2architecture.com LANDSCAPE: WSP Michael Holm PHONE: 604.631.9637 EMAIL:michael.holm@wsp.com

Lawson Engineering & Development Stuart Purves PHONE: 250.832.3220 EMAIL:stuart@lawsondevelopments.com ELECTRICAL: **HPF Engineering** Neil Rogers PHONE: 250.828.7992 EMAIL:neal@hpfengineering.com

MECHANICAL:

Falcon Engineering

PHONE: 778.313.0407

EMAIL:loic.letailleur@falcon.ca

Loic Letailleur

S2ARCHITECTURE





Drawing List

DP0.1

DP0.3

DP1.0

DP1.2

DP2.1

DP2.2

DP2.4

DP2.5

C102

C103

C501

L-00 L-01

L-02

L-03

L-04

L-05

L-06

L-07

L-08

COVER SHEET

SITE SURVEY

ENLARGED W&R

SHADOW STUDY

ROOF PLAN

UNIT PLANS

TITLE

COVER

LEVEL 1 & 2 FLOOR PLANS

LEVEL 3 & 4 FLOOR PLANS

LEVEL 5 & 6 FLOOR PLANS LEVEL 7 & 8 FLOOR PLANS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING SECTIONS

BUILDING SECTIONS

SITE SERVICING PLAN

SITE GRADING PLAN

LAYOUT PLAN

LANDSCAPE PLAN

PLANTING DETAILS

FENCING DETAILS

HARDSCAPE DETAILS

SITE FURNISHING DETAILS

PLANTING PLAN

STORMWATER MANAGEMENT PLAN

GENERAL NOTES & DETAILS

OFFSITE SURFACE WORKS, LINE PAINTING & SIGN

TREE REPLACEMENT & STORMWATER AREA PLAN

SITE PLAN

PROJECT STATISTICS & SITE PHOTOS

W&R ACCESS AND FIRE CONNECTION PLAN

Municipal Address

722 and 726 DISCOVERY STREET

Legal Address

LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151

By-Law Zoning

CURRENT ZONING: R-108 MULTIPLE DWELLING PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary

SITE AREA:	1,348.6m ² (0.33 ac)
PROPOSED BUILDING FOOTPRINT PROPOSED BICYCLE ENCLOSURE TOTAL FOOTPRINT	573.00 m2 62.00 m2 635.00m ²

Site Coverage

SITE AREA:	1,348.6m ² (0.33 ac)
SITE COVERAGE:	613.00m ² (45.4%)
OPEN SITE SPACE:	735.6m² (54.6%)

By-Law Setback

PROPOSED BUILDING SETBACK	S
FRONT (DISCOVERY STREET):	10.0m
REAR (NORTH):	4.0m
SIDE (EAST):	2.5m
SIDE (WEST):	3.0m

Proposed Development

REST HOME - CLASS C (SUPPORTIVE HOUSING) BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE: BUILDING 'C': GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height

MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m

MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT:
• PARAPETS: 1.0m

ROOFTOP STRUCTURES: 5.0m

PROPOSED BUILDING HEIGHT: +/-27.0m PROPOSED PARAPET HEIGHT: +/-1.0m PROPOSED ROOFTOP STRUCTURES: +/-2.1m TOTAL PROPOSED BUILDING HEIGHT: 29.4m

Floor Space Ratio

MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.
3.5	3.34

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	GFA (SQM)
LEVEL 1	613
LEVEL 2	581
LEVEL 3	581
LEVEL 4	581
LEVEL 5	581
LEVEL 6	581
LEVEL 7	581
LEVEL 8	581
TOTAL GFA	4,680

Dwelling Unit Count

UNIT SUMMARY				
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL
A1/A2	STUDIO	33-36	74	82%
A3	ACCESSIBLE STUDIO	34	8	8%
A3	ADAPTABLE STUDIO	34	8	8%
TOTAL 90 100.0%				

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	UNIT COUNT	AREA (m2)	FACTOR	REQUIRED	PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m2	1	0
TOTAL PARKING				28	0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.

NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPOPRTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

RESIDENTIAL - LONG TERM PARKING DESCRIPTION QUANTITY FACTOR REQUIRED PROVIDED					
l	UNIT COUNT	90	1 PER UNIT	90	30
	UNIT COUNT		1 PER UNIT	90	

5 FLOOR MOUNTED BIKE STALLS

ESSIT MOSIVIES BINE STREES				✓	•
RESIDENTIAL	- SHORT TE	RM PARKING			5
DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED	Z
UNIT COUNT	90	0.1	9	9	•
			1	\	

Waste & Recycling Requirements

SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

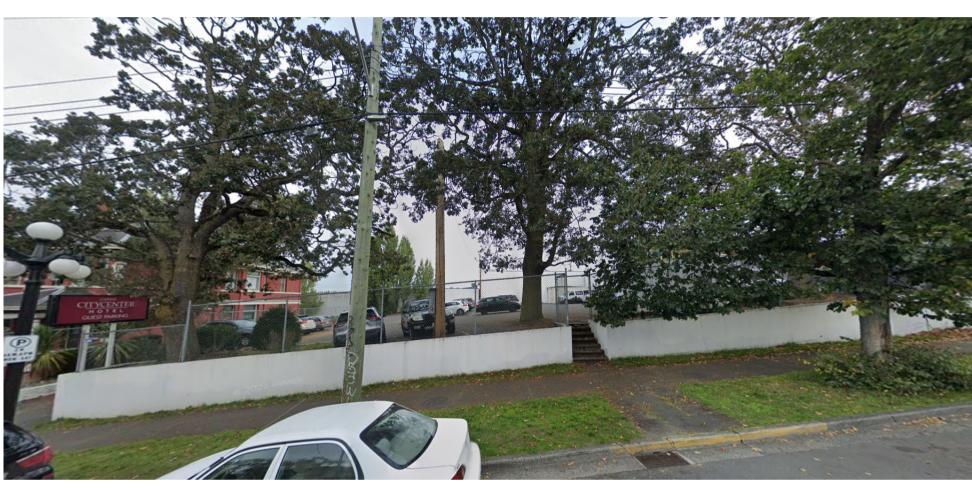
 4yd³ WASTE BIN 4yd³ RECYCLE BIN

TWO 189L ORGANICS BINS

NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.



1 Looking North-West



2 Looking North



3 Looking North-East



VICTORIA, B.C. BC HOUSING HOUSING

SITE

PP0 DISC STR

SCOVERY

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

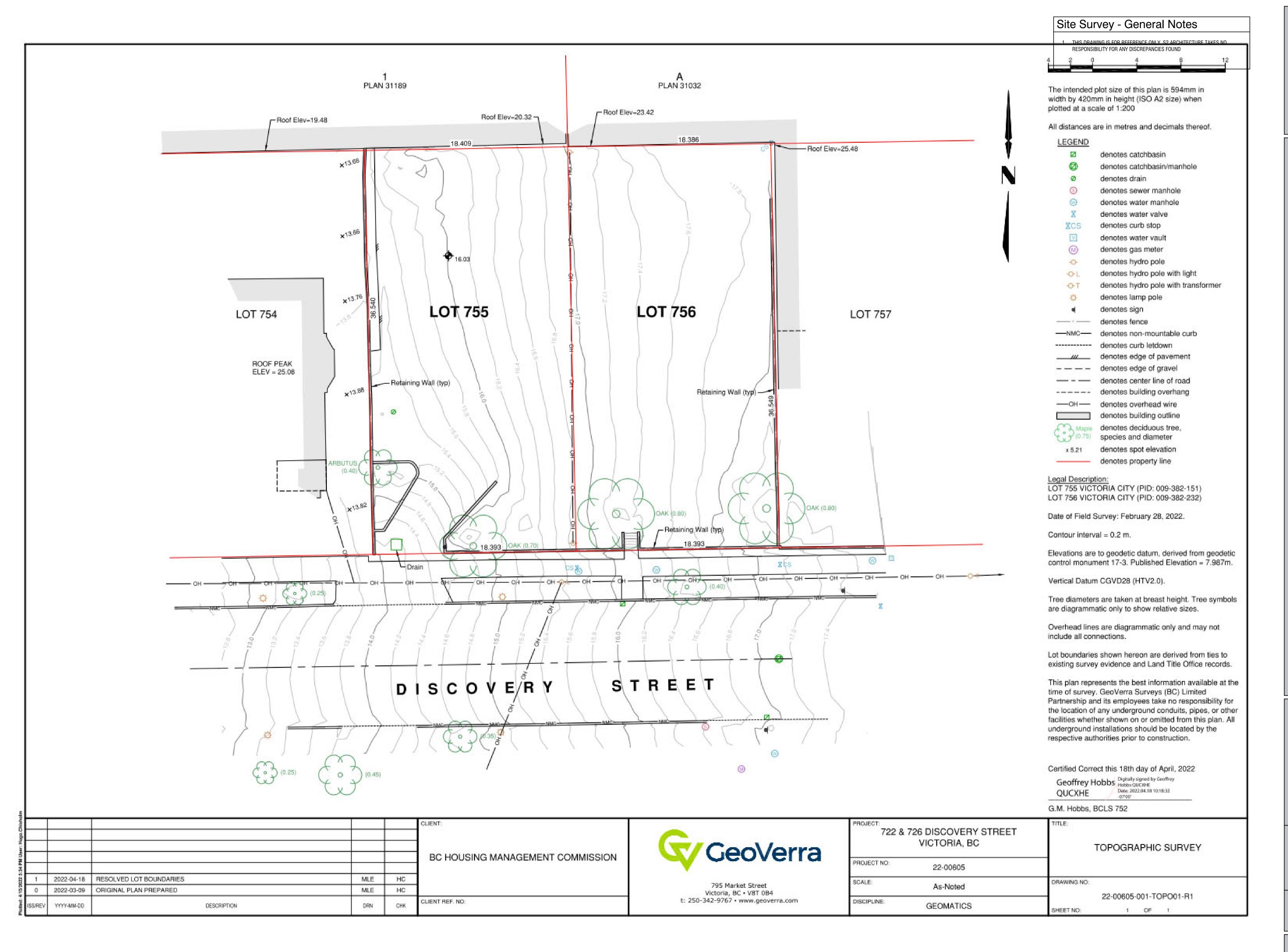
14 ISSUED FOR DELEGATED DP 2024.08.15 18 RESPONSE TO DELEGATED 2024.11.22 DEVELOPMENT PERMIT COMMENTS

SCALE 1:50 DATE 11/22/2024 10:32:15 AM DRAWN BY MD/AN/KM CHECKED BY CZ

DRAWING NO.

REVISION

DP0.1





ITE SURVEY

'E HOUSING ET, VICTORIA, B.C.

STREET SUPPORTIVE H

1

COVE

S

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

EVISION	DATE
DP RE-SUBMISSON ISSUED FOR SCHEMATIC TENDER ULAND USE & D.P. SUBMISSION	07.04.2023 07.10.2023 04.29.2022

 SCALE
 1:1

 DATE
 11/22/2024 9:54:39 AM

 DRAWN BY
 MD/AN

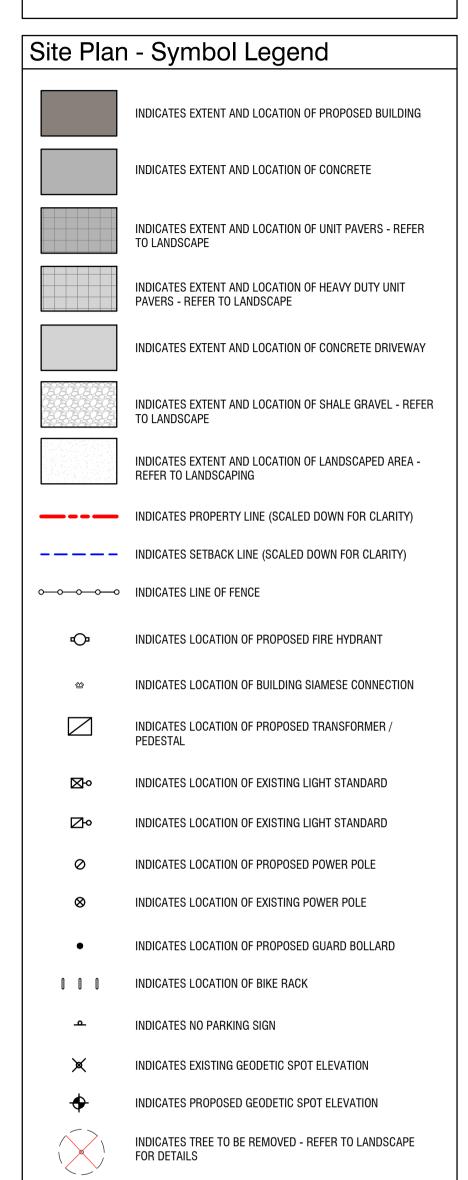
 CHECKED BY
 CZ

DRAWING NO.

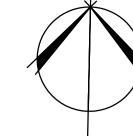
DP0.3

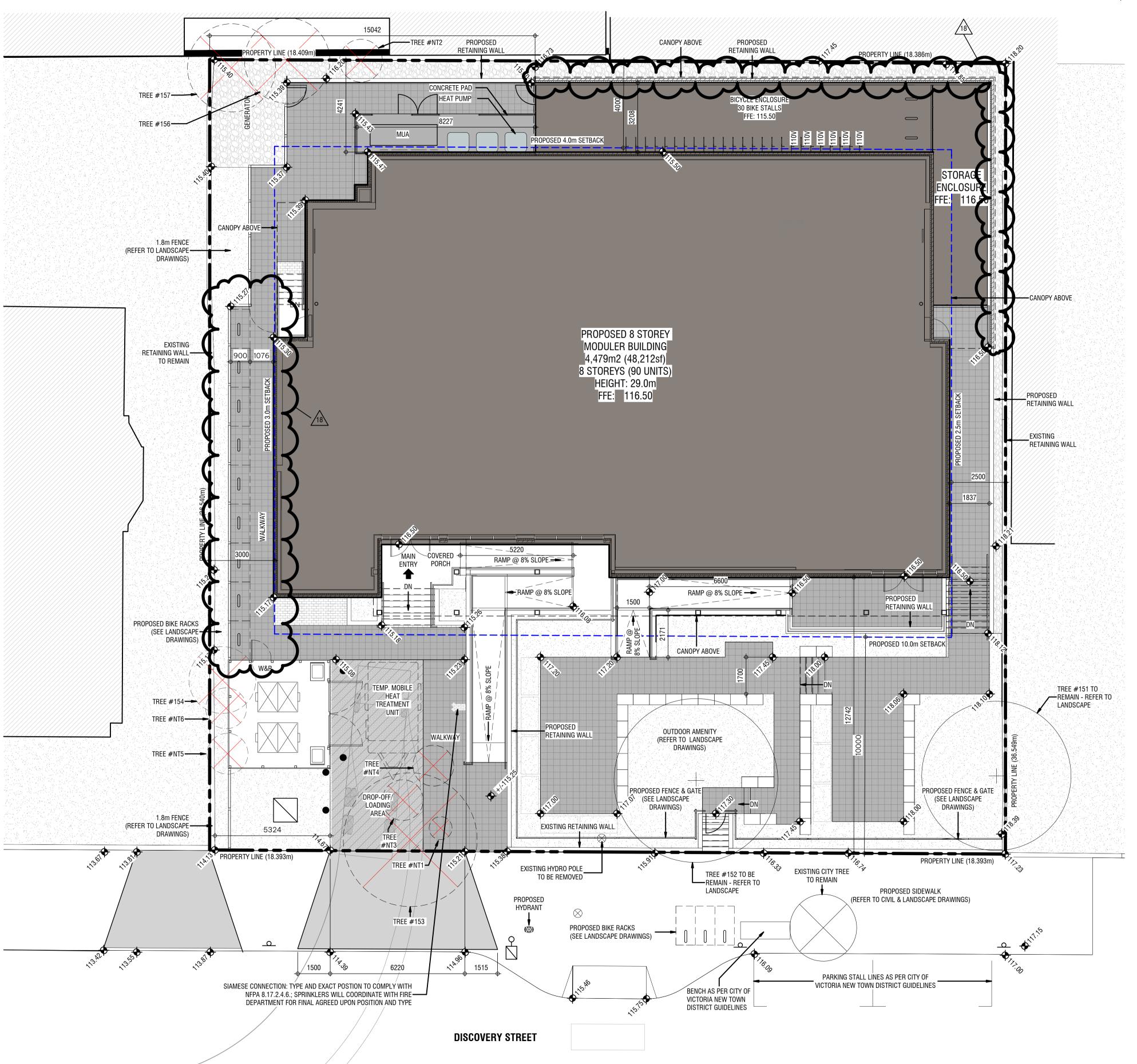
Site Plan - General Notes

- 1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE
- 2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES



1 Site Plan







HOUSING
VICTORIA, B.C.
BC HOUSING

26 DISCOVERY STREET, V

DISCOVERY STREET SUPPORTIVE

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

14 ISSUED FOR DELEGATED DP 2024.08.15 SUBMISSION
18 RESPONSE TO DELEGATED 2024.11.22 DEVELOPMENT PERMIT

SCALE As indicated

DATE 11/22/2024 10:32:34 AM

DRAWN BY MD/AN/KM

CHECKED BY CZ

DRAWING NO.

COMMENTS

REVISION

DP1.0

Site Plan - General Notes

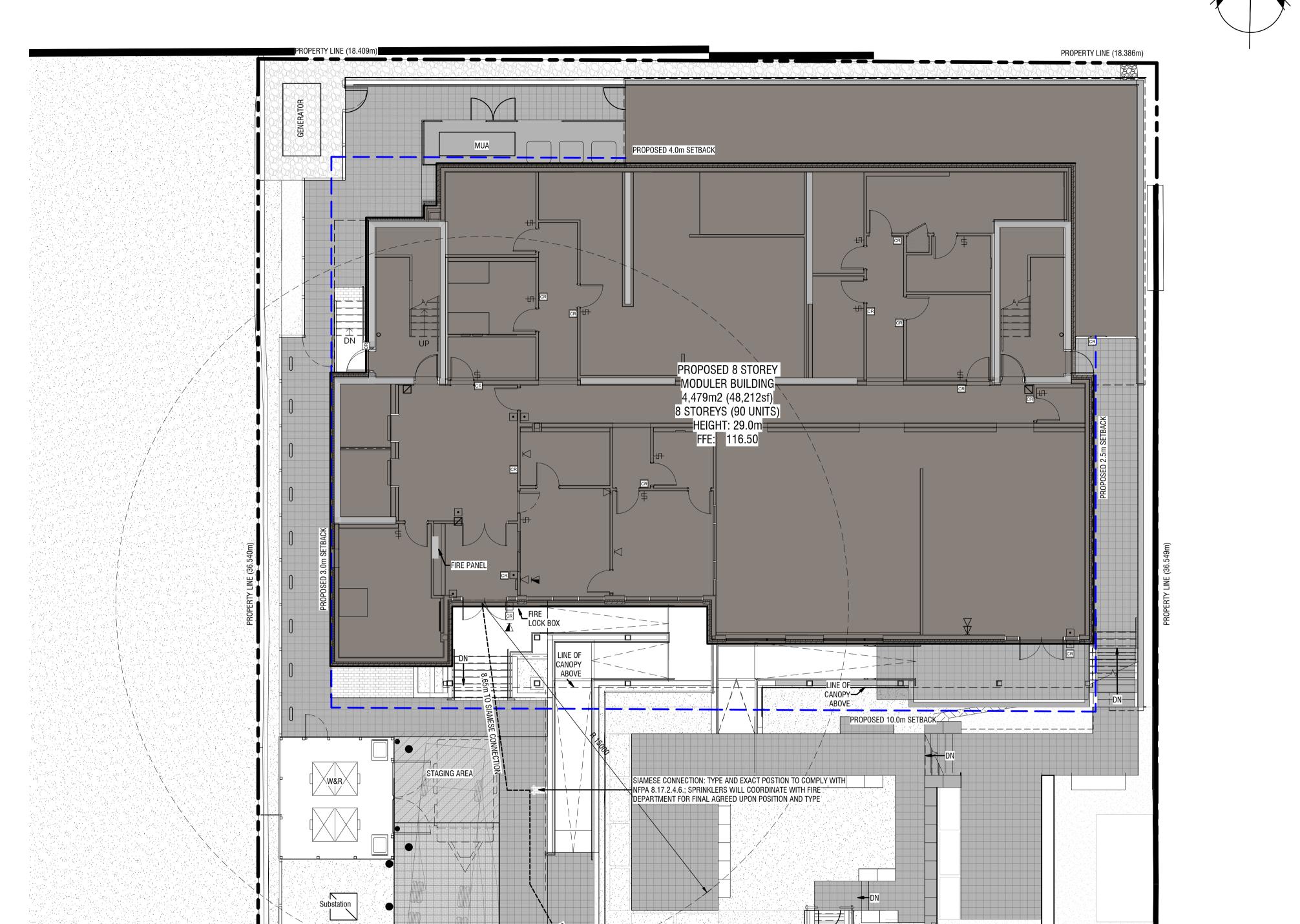
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.

2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

Site Plan - Symbol Legend INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING INDICATES EXTENT AND LOCATION OF CONCRETE INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY) ---- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY) •—•—• INDICATES LINE OF FENCE INDICATES LOCATION OF PROPOSED FIRE HYDRANT INDICATES LOCATION OF BUILDING SIAMESE CONNECTION INDICATES LOCATION OF PROPOSED TRANSFORMER / INDICATES LOCATION OF EXISTING LIGHT STANDARD INDICATES LOCATION OF EXISTING LIGHT STANDARD INDICATES LOCATION OF PROPOSED POWER POLE INDICATES LOCATION OF EXISTING POWER POLE INDICATES LOCATION OF PROPOSED GUARD BOLLARD INDICATES NO PARKING SIGN INDICATES EXISTING GEODETIC SPOT ELEVATION INDICATES PROPOSED GEODETIC SPOT ELEVATION

INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE

FOR DETAILS



PROPOSED HYDRANT

DISCOVERY STREET

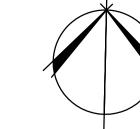
ROAD CENTERLINE

PROPERTY LINE (18.393m)

_

WASTE VEHICLE

1 Site Access Plan
DP1.1 SCALE: 1: 100





HOUSING

VICTORIA, B.C. BC HOUSING

SCOVERY

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

PROPERTY LINE (18.393m)

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

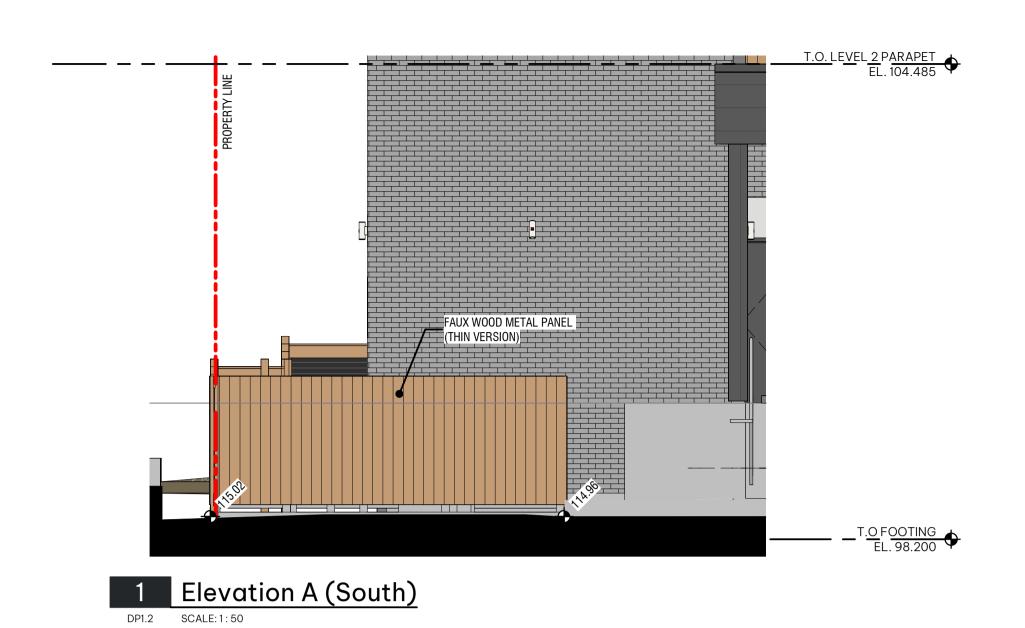
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

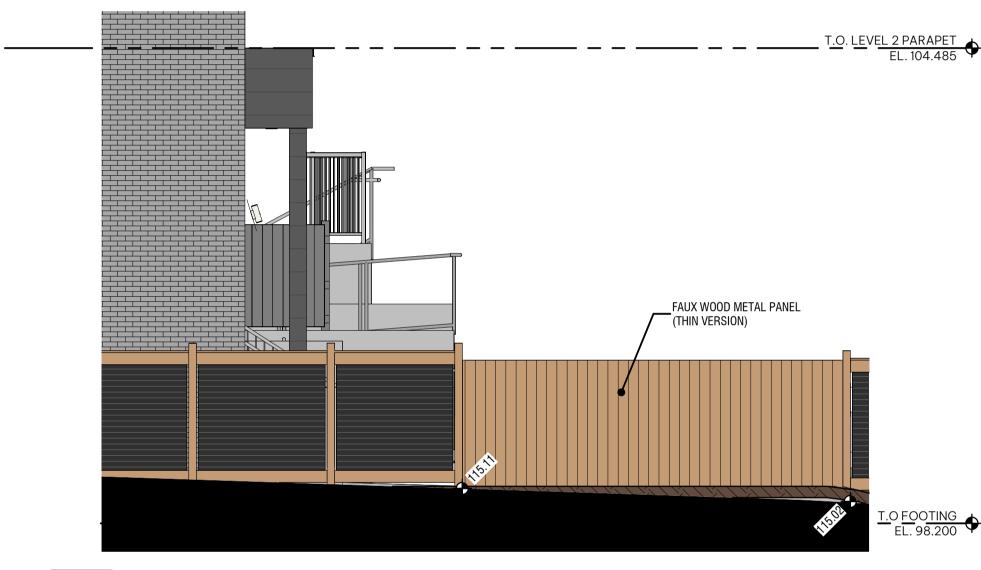
6	RE-ISSUED FOR	09.18.202
10	DEVELOPMENT PERMIT LAND USE & D.P. SUBMISSION	04.29.202

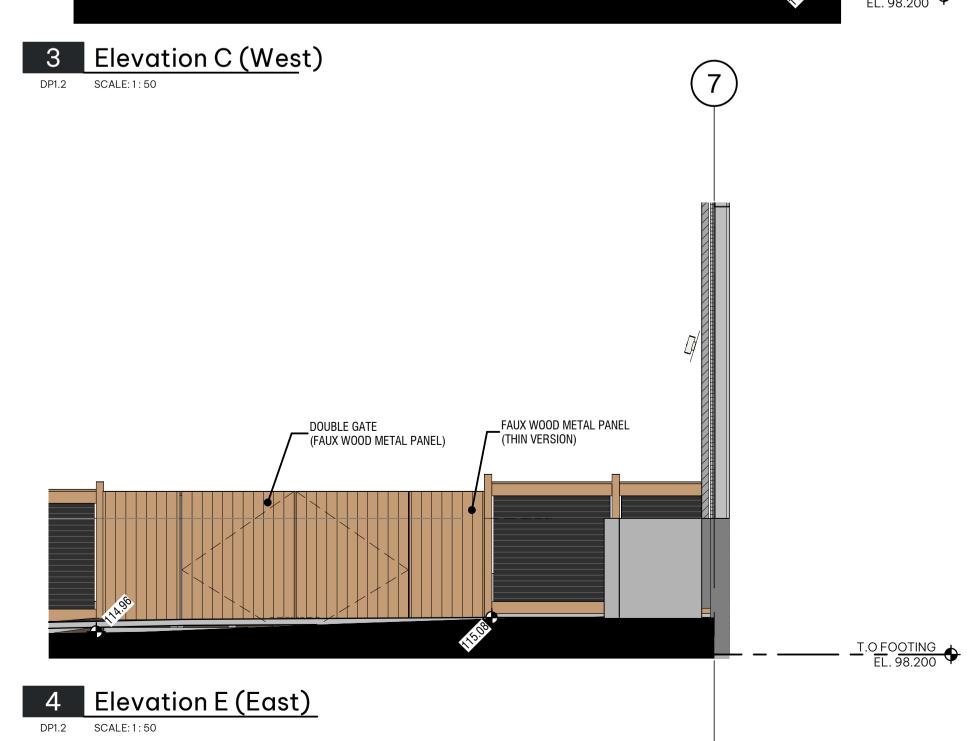
SCALE As indicated DATE 11/22/2024 10:18:37 AM DRAWN BY MD/AN/KM CHECKED BY CZ

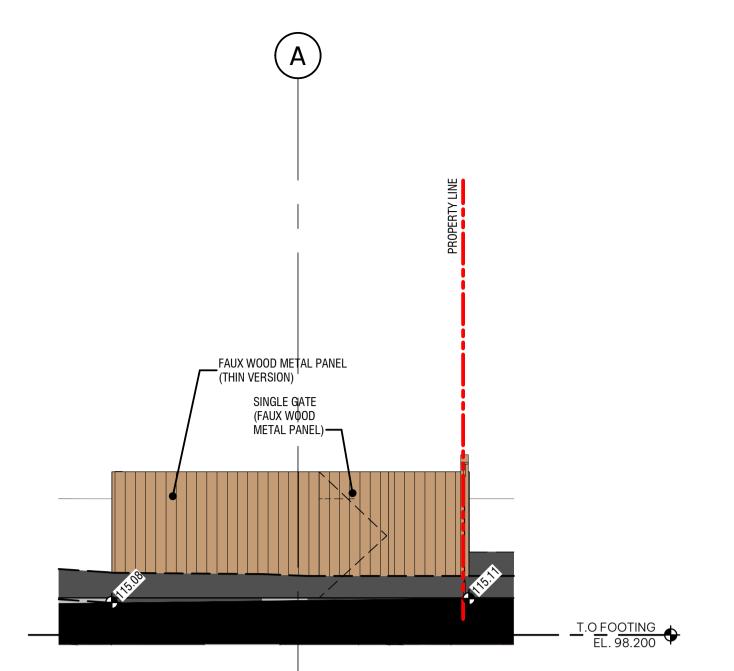
DRAWING NO.

REVISION

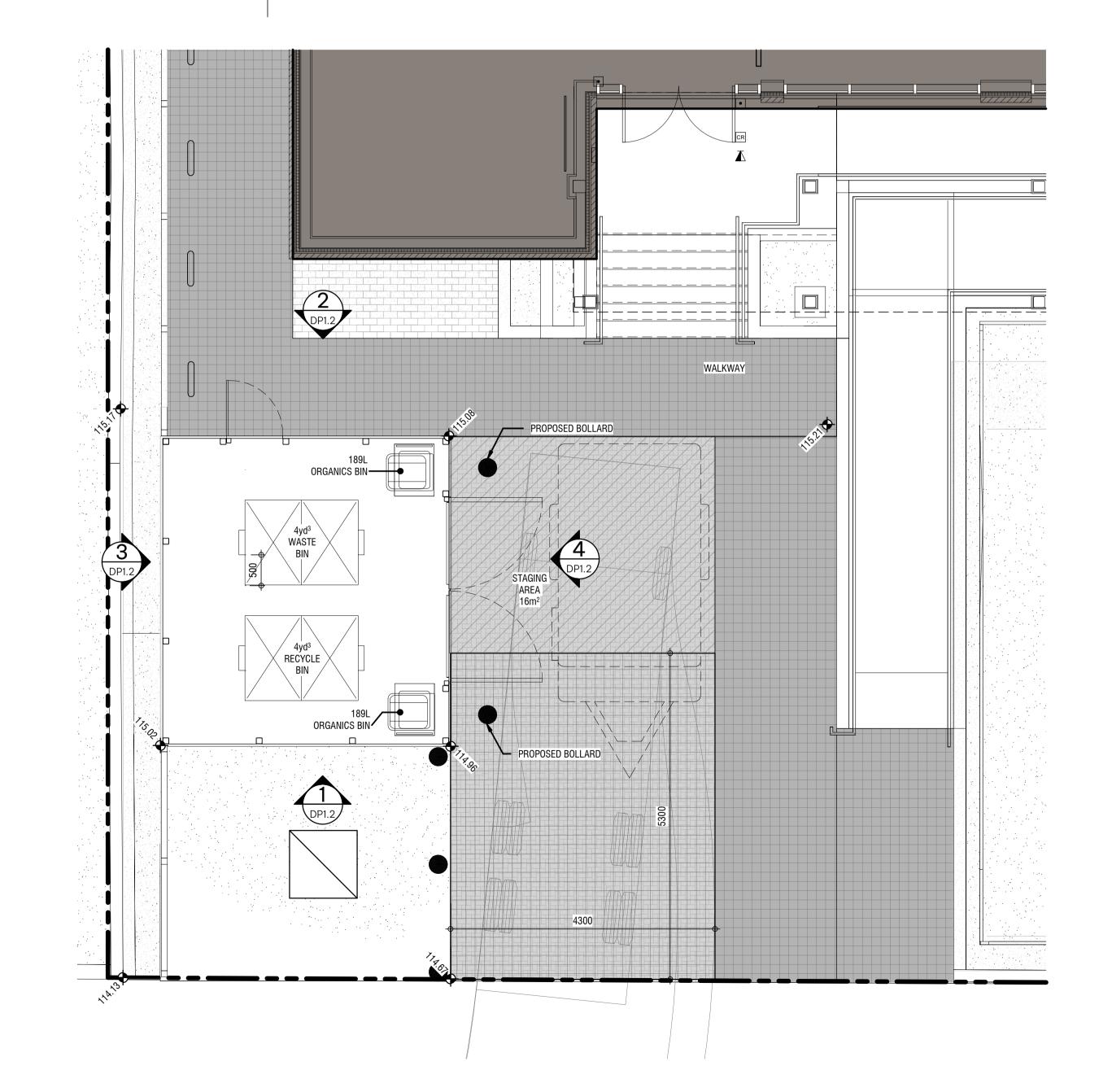








2 Elevation B (North)
DP1.2 SCALE: 1: 50



5 Enlarged W&R & Bicycle Enclosure



VICTORIA, B.C. BC HOUSING HOUSING

ENLARGED W&R

SUPPORTIVE STREET

ISCOVERY

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION 10 LAND USE & D.P. SUBMISSION 04.29.2022 14 ISSUED FOR DELEGATED DP 2024.08.15 SUBMISSION

SCALE 1:50 DATE 11/22/2024 9:55:27 AM DRAWN BY MD/KM CHECKED BY CZ

DRAWING NO.

SHADOW STUDY

STREET

ISCOVERY

CONSTRUCTION

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

4 DP RE-SUBMISSON 5 ISSUED FOR SCHEMATIC TENDER

REVISION

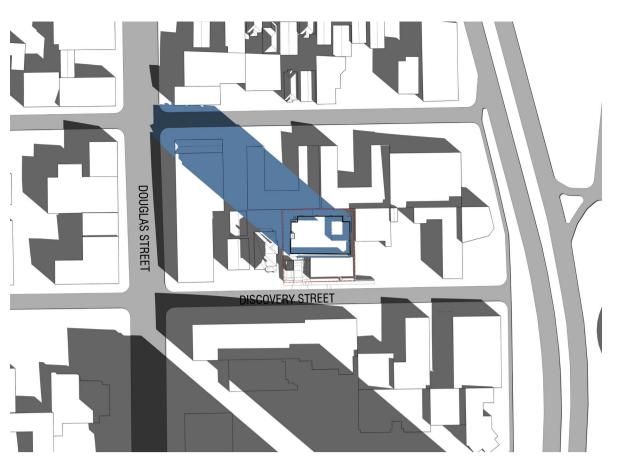
07.10.2023 10 LAND USE & D.P. 04.29.2022 SUBMISSION

SCALE DATE 11/22/2024 10:06:42 AM DRAWN BY KM CHECKED BY CZ

DRAWING NO.

DATE

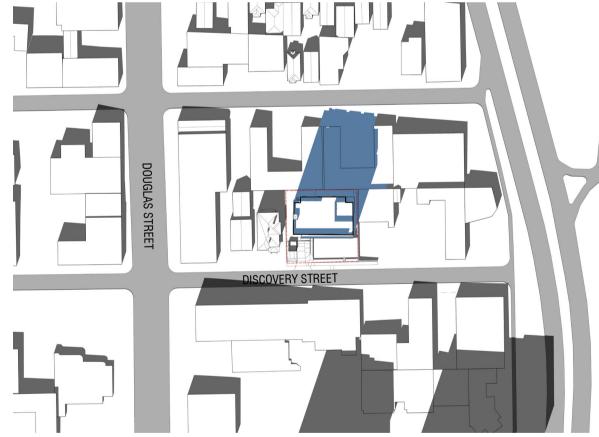
07.04.2023



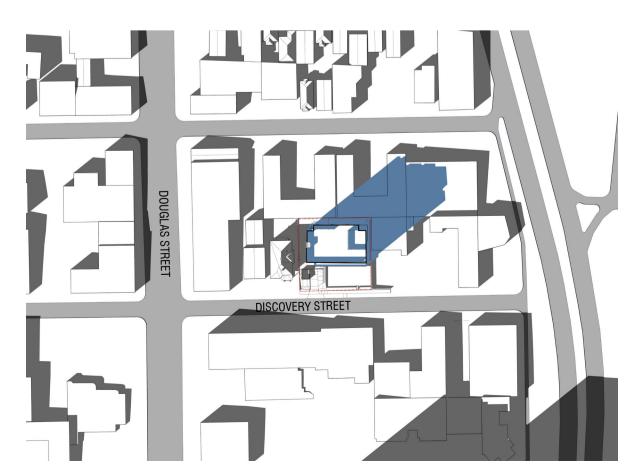
MARCH 21 - 10:00 AM



MARCH 21 - 12:00 PM



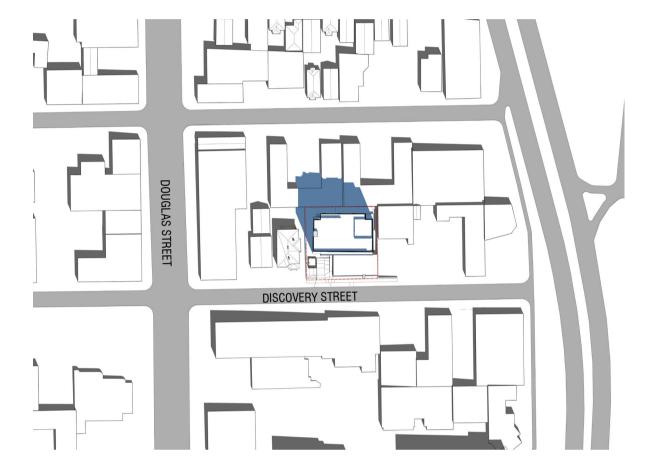
MARCH 21 - 2:00 PM



MARCH 21 - 4:00PM



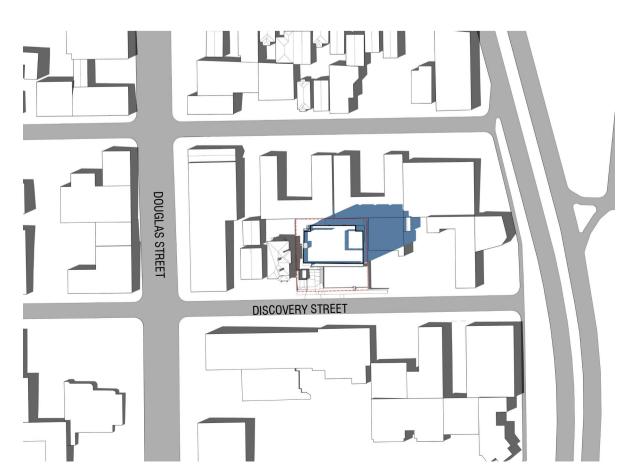
JUNE 21 - 10:00 AM



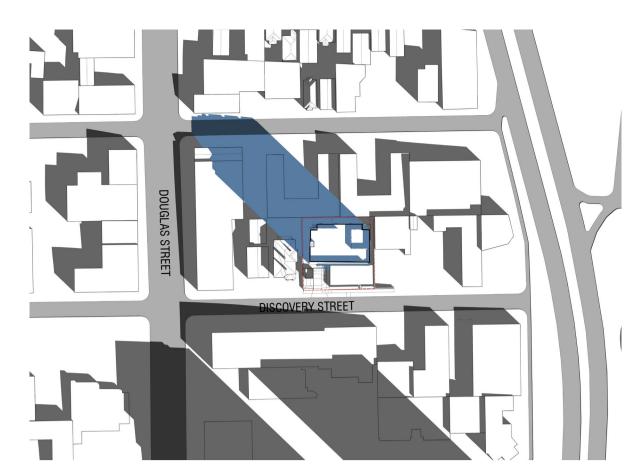
JUNE 21 - 12:00 PM



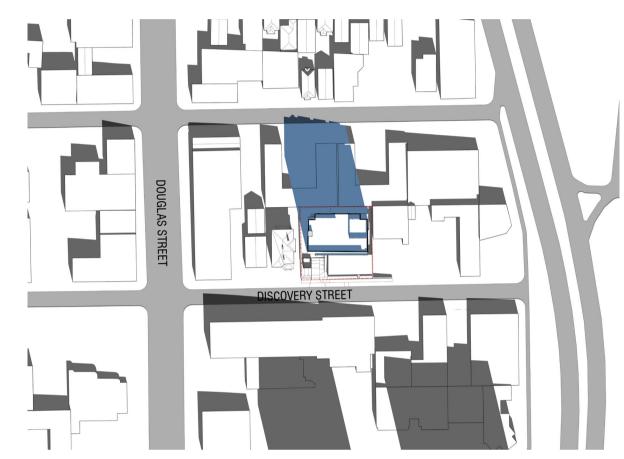
JUNE 21 - 2:00 PM



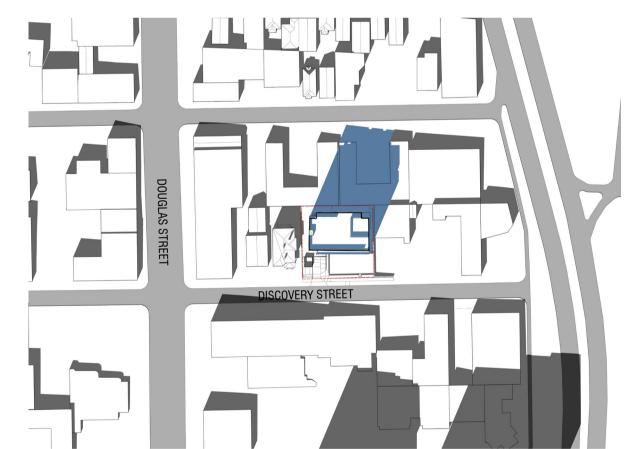
JUNE 21 - 4:00PM



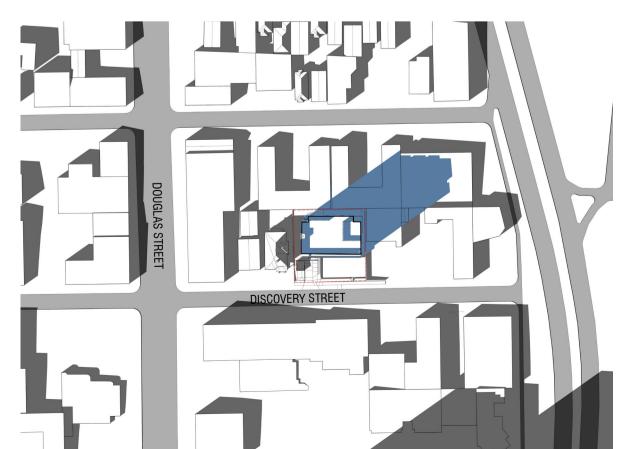
SEPTEMBER 21 - 10:00 AM



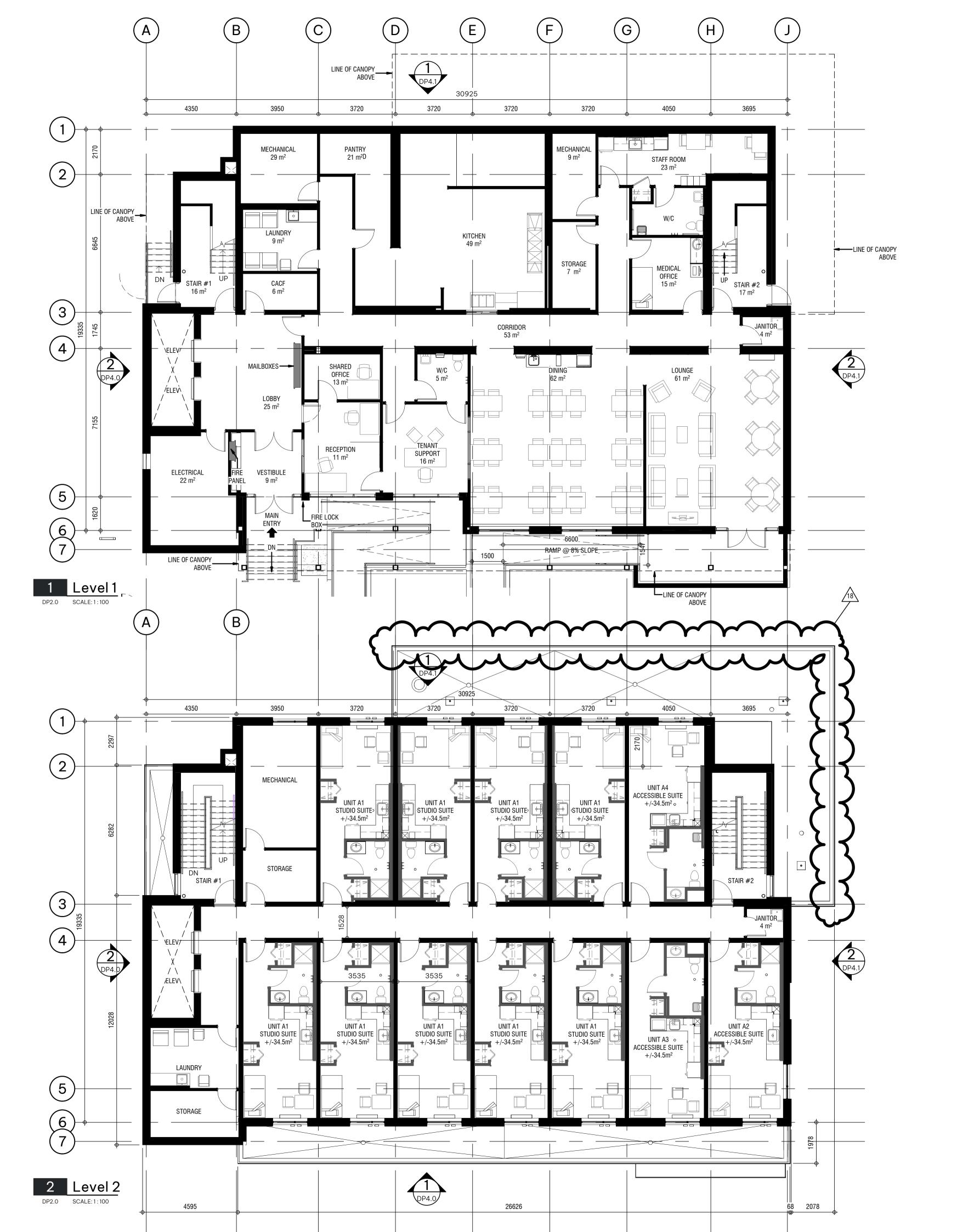
SEPTEMBER 21 - 12:00 PM

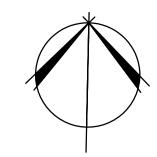


SEPTEMBER 21 - 2:00 PM



SEPTEMBER 21 - 4:00PM







STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

2 FLOOR PLANS

∞

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

ISCOVERY

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

14	ISSUED FOR DELEGATED DP
	SUBMISSION
18	RESPONSE TO DELEGATED
	DEVELOPMENT PERMIT
	COMMENTS

SCALE 1 : 100
DATE 11/22/2024 10:32:42 AM
DRAWN BY MD/AN/KM

DRAWING NO.

CHECKED BY CZ

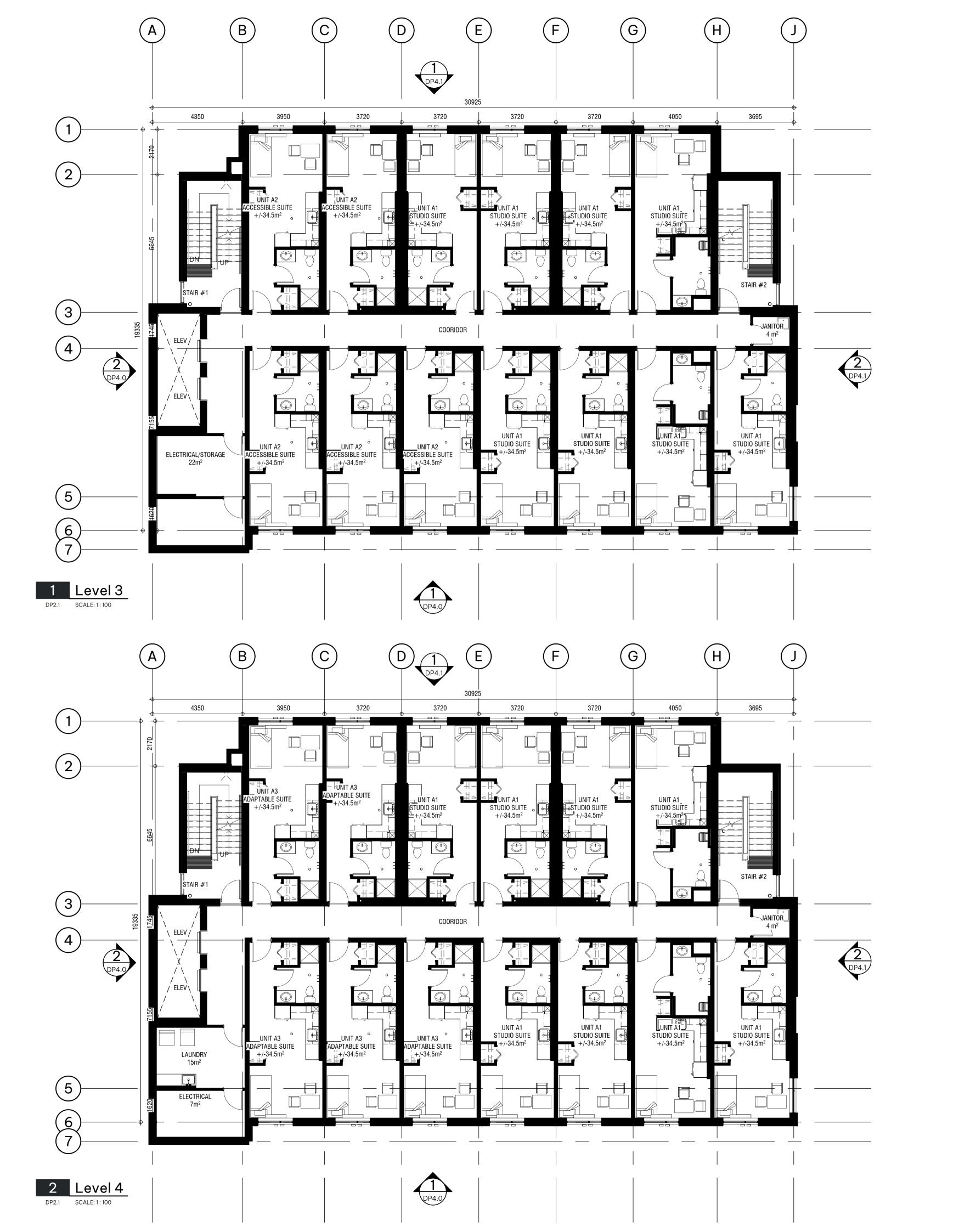
REVISION

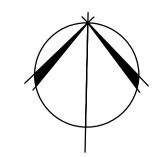
DP2.0

DATE

2024.08.15

2024.11.22







4 FLOOR PLANS

LEVEL 3 & 4

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

1	DP RE-SUBMISSON	
,	ISSUED FOR SCHEMATIC	
	TENDER	
0	LAND USE & D.P.	
	SUBMISSION	

SCALE 1 : 100

DATE 11/22/2024 10:10:39 AM

DRAWN BY MD/AN/KM

CHECKED BY CZ

DRAWING NO.

REVISION

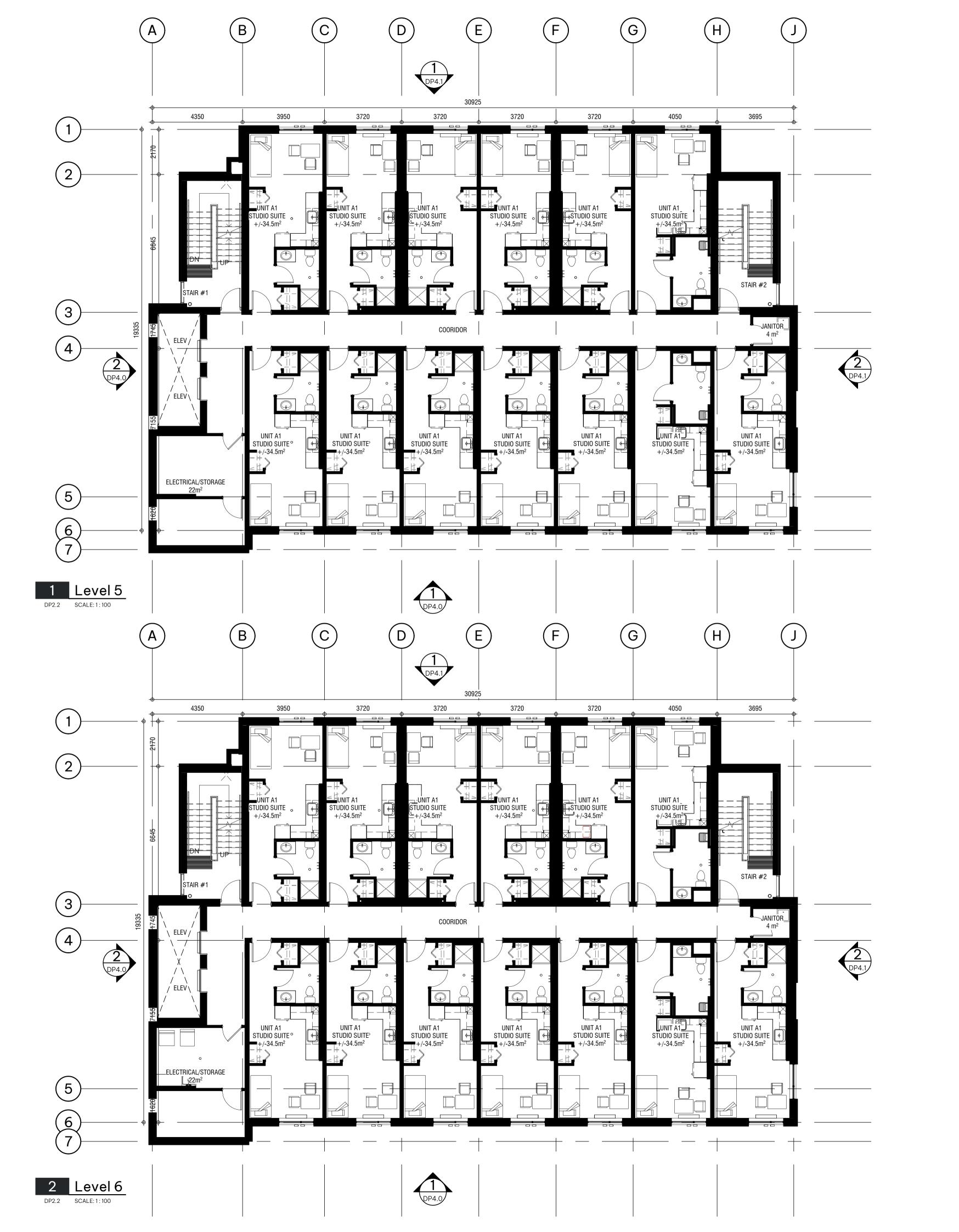
DP2.1

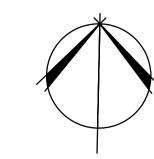
DATE

07.04.2023

07.10.2023

04.29.2022







ISCOVERY STREET SUPPORTIVE HOUSING 722 and 726 DISCOVERY STREET, VICTORIA, B.C. BC HOUSING

5 & 6 FLOOR PLANS

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

4	DP RE-SUBMISSON
5	ISSUED FOR SCHEMATIC
	TENDER
10	LAND USE & D.P.
	CLIDMICCIONI

SCALE 1 : 100

DATE 11/22/2024 10:10:52 AM

DRAWN BY MD/AN/KM

CHECKED BY CZ

DRAWING NO.

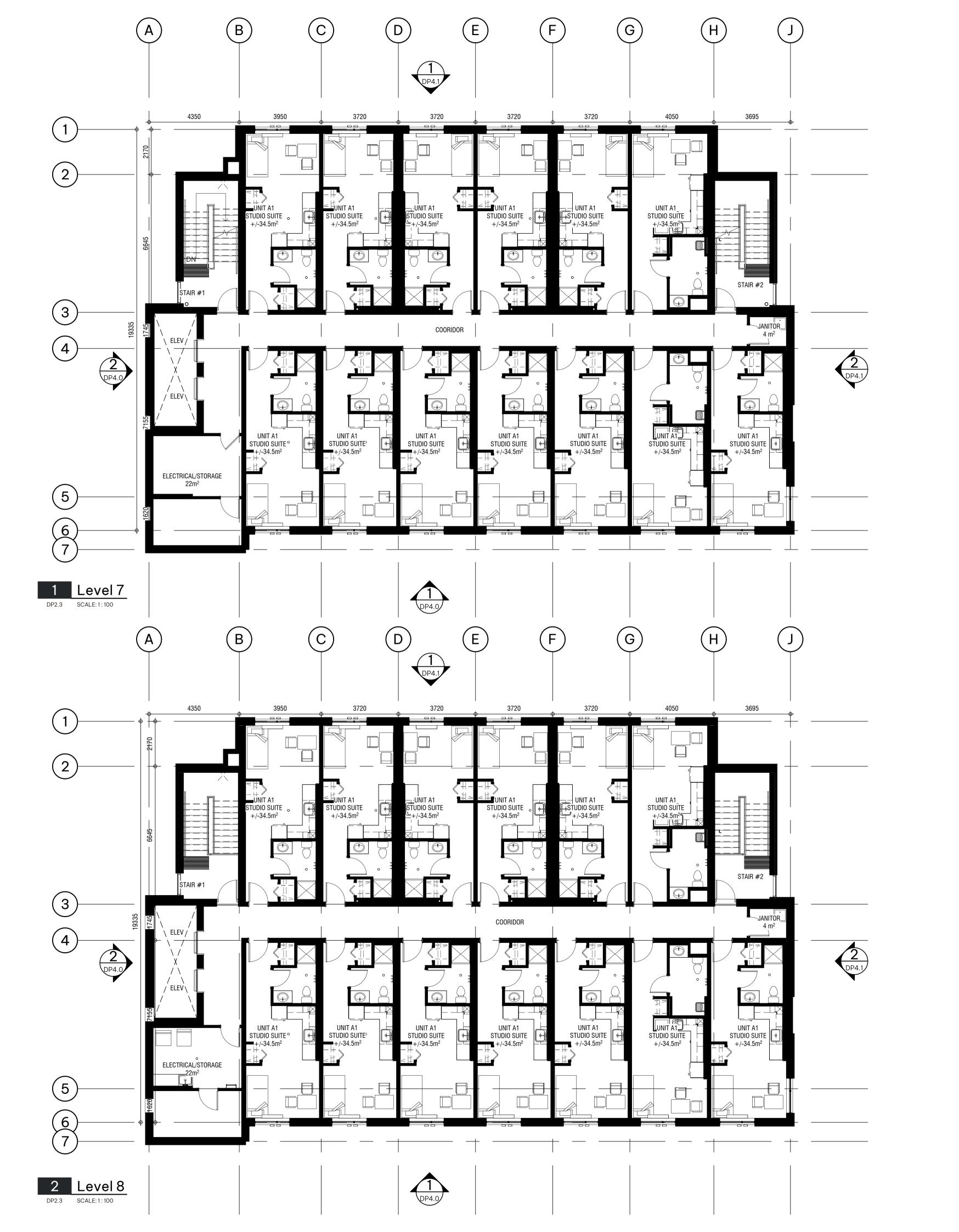
REVISION

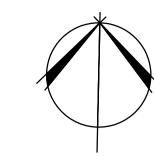
DP2.2

DATE

07.04.2023 07.10.2023

04.29.2022







VICTORIA, B.C. BC HOUSING HOUSING SUPPORTIVE STREET **ISCOVERY**

DISCOVERY

7 & 8 FLOOR PLANS

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

1	DP RE-SUBMISSON	
,	ISSUED FOR SCHEMATIC	
	TENDER	
0	LAND USE & D.P.	
	SUBMISSION	

04.29.2022 SCALE 1:100 DATE 11/22/2024 10:11:04 AM

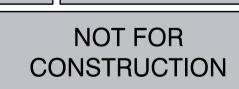
DRAWN BY MD/AN/KM CHECKED BY CZ

DRAWING NO.

REVISION

07.04.2023 07.10.2023

ISCOVERY STREET SUPPORTIVE HOUSING 722 and 726 DISCOVERY STREET, VICTORIA, B.C. BC HOUSING 821243



This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

nev	ISION	04.29.202 DP 2024.08.1
10	LAND USE & D.P. SUBMISSION	04.29.202
14	ISSUED FOR DELEGATED DP SUBMISSION	2024.08.1

SCALE 1 : 100

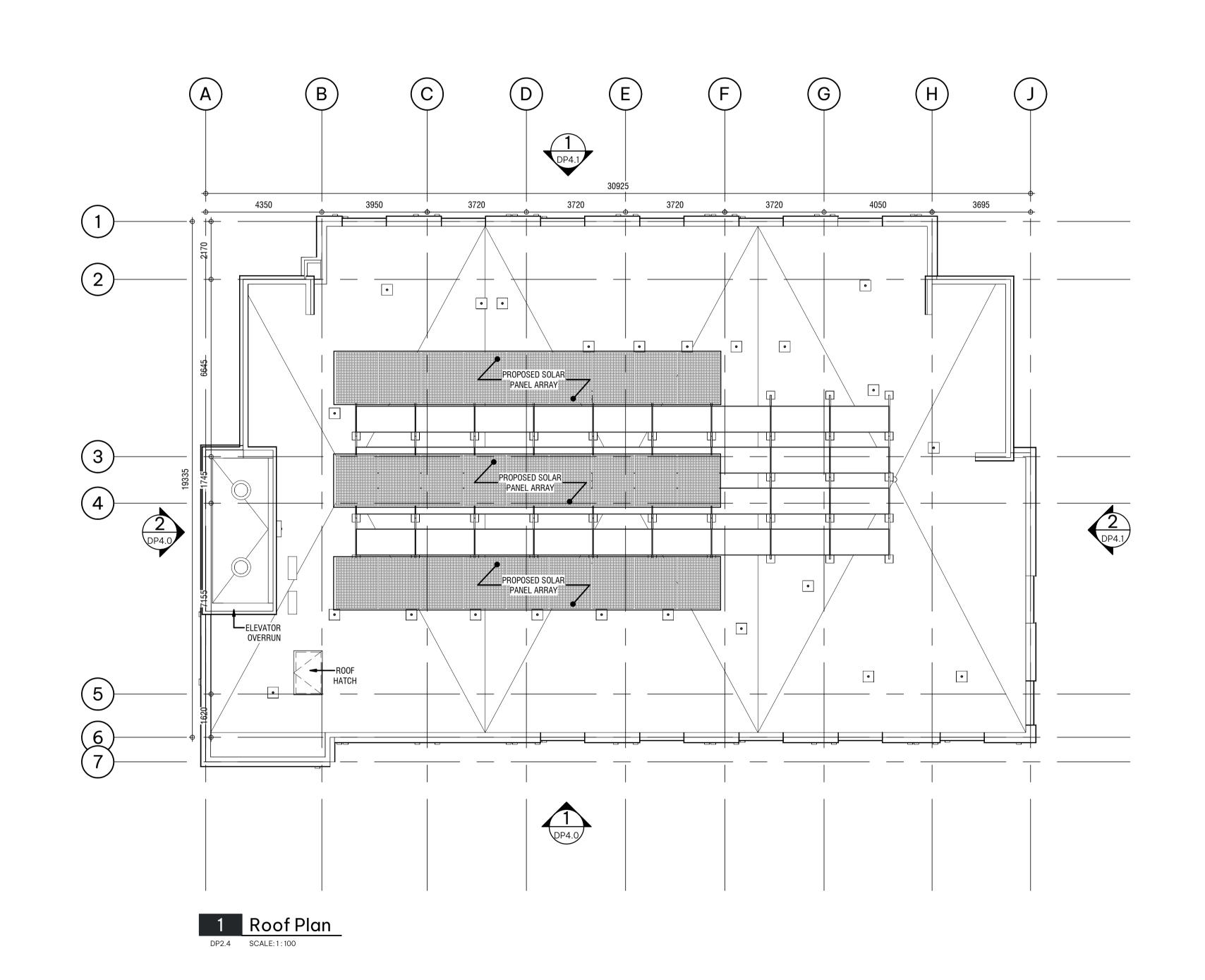
DATE 11/22/2024 10:11:11 AM

DRAWN BY MD/AN

CHECKED BY CZ

DRAWING NO.

DP2.4



SUPPORTIVE HOUSING

BC DISCOVERY STREET, VICTORIA, B.C.

BC HOUSING

ISCOVERY STREET SUPPORTIN

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

5 ISSUED FOR SCHEMATIC 07.10.2023
TENDER

SCALE 1 : 20

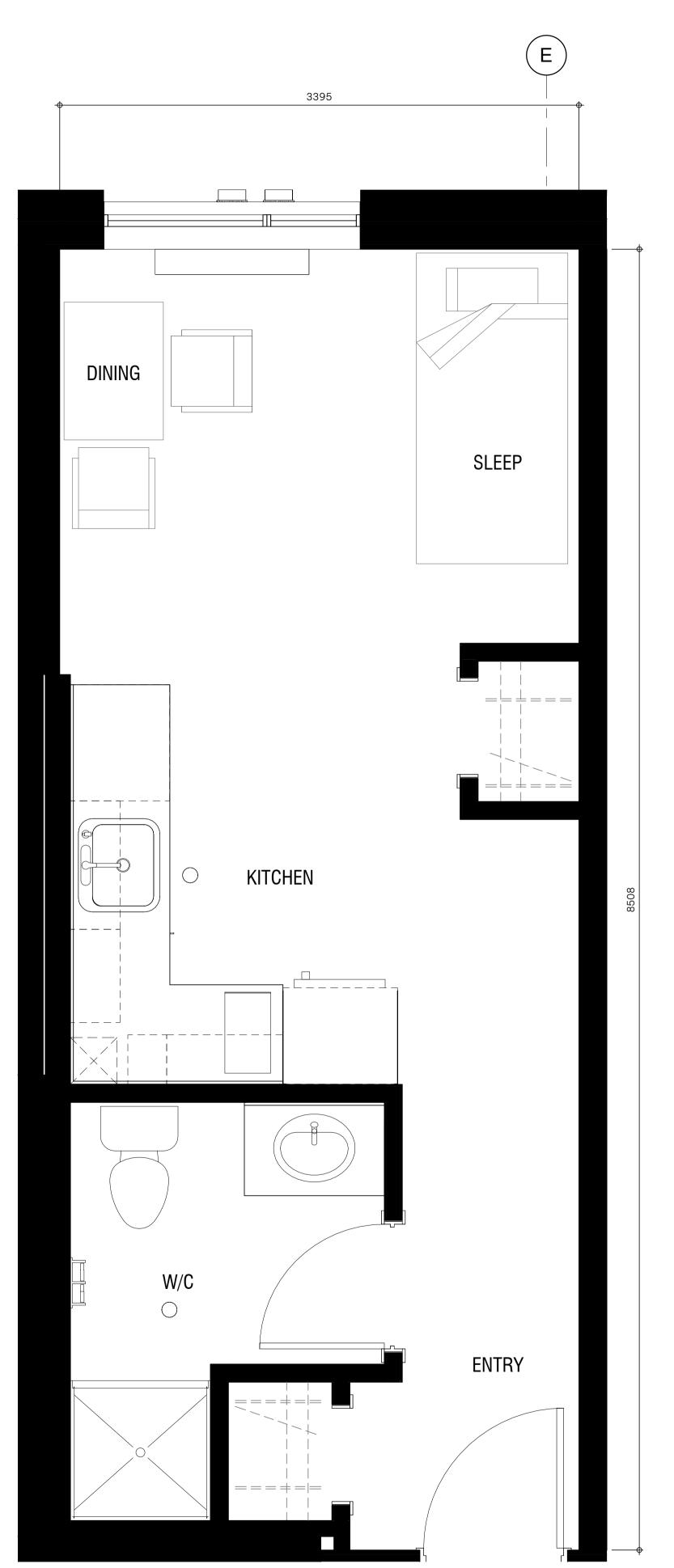
DATE 11/22/2024 10:11:20 AM

DRAWN BY Author

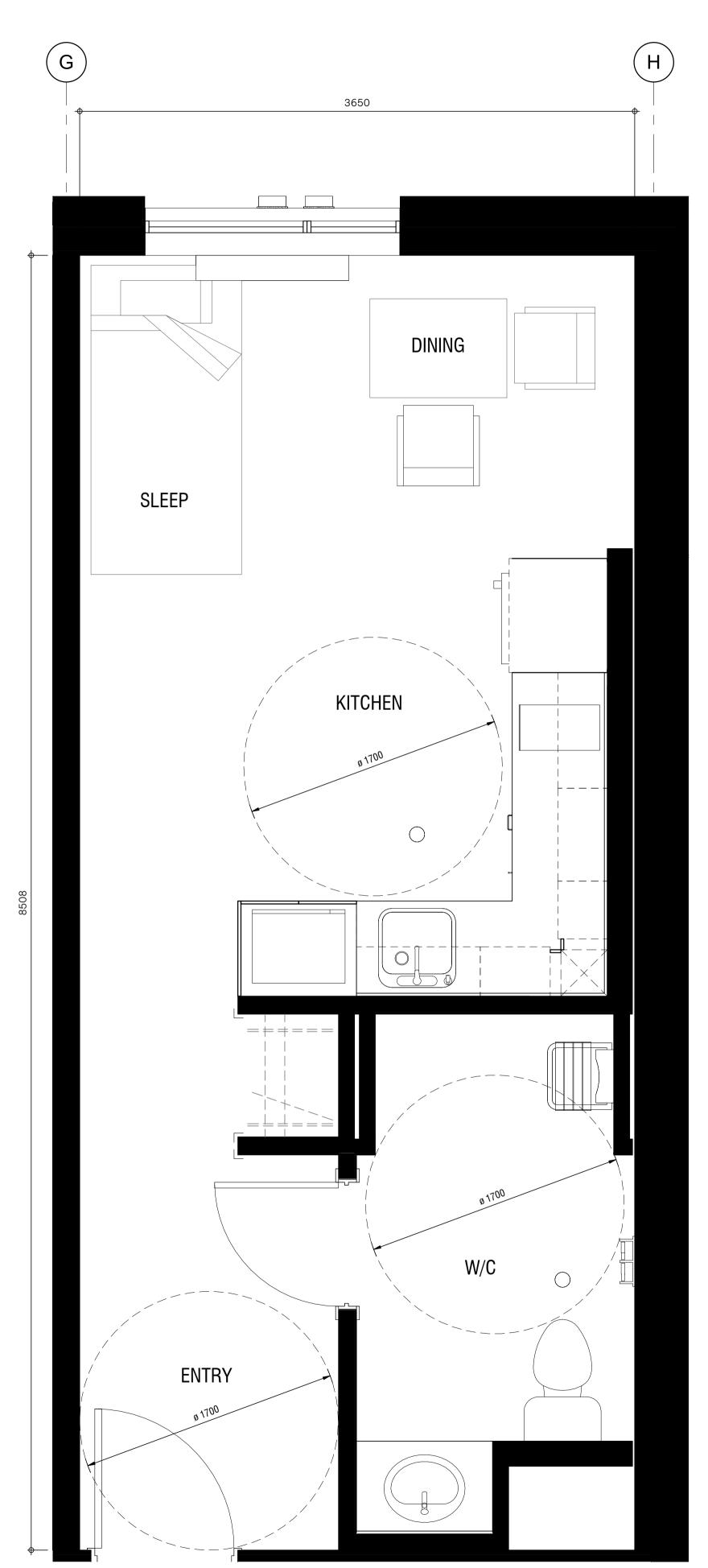
CHECKED BY Checker

DRAWING NO.

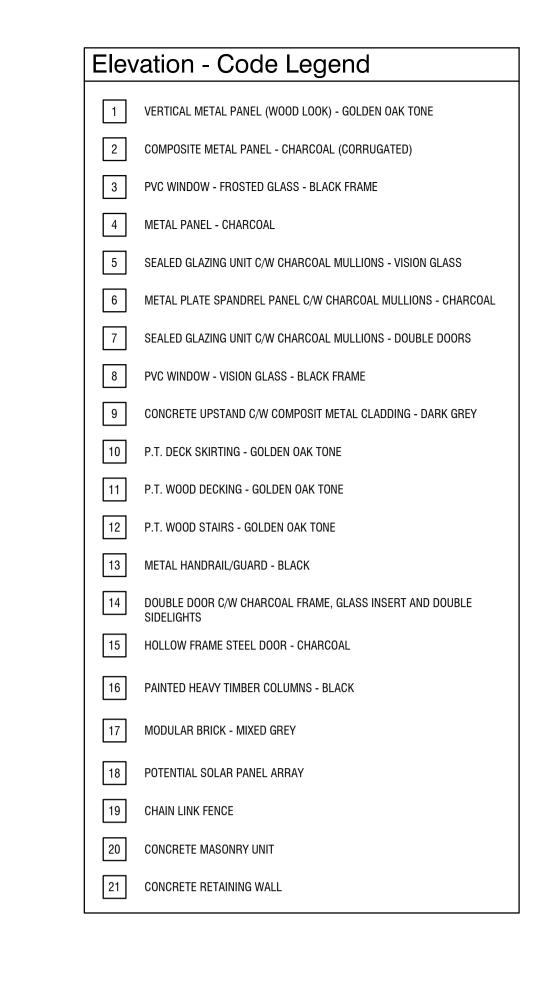
DP2.5



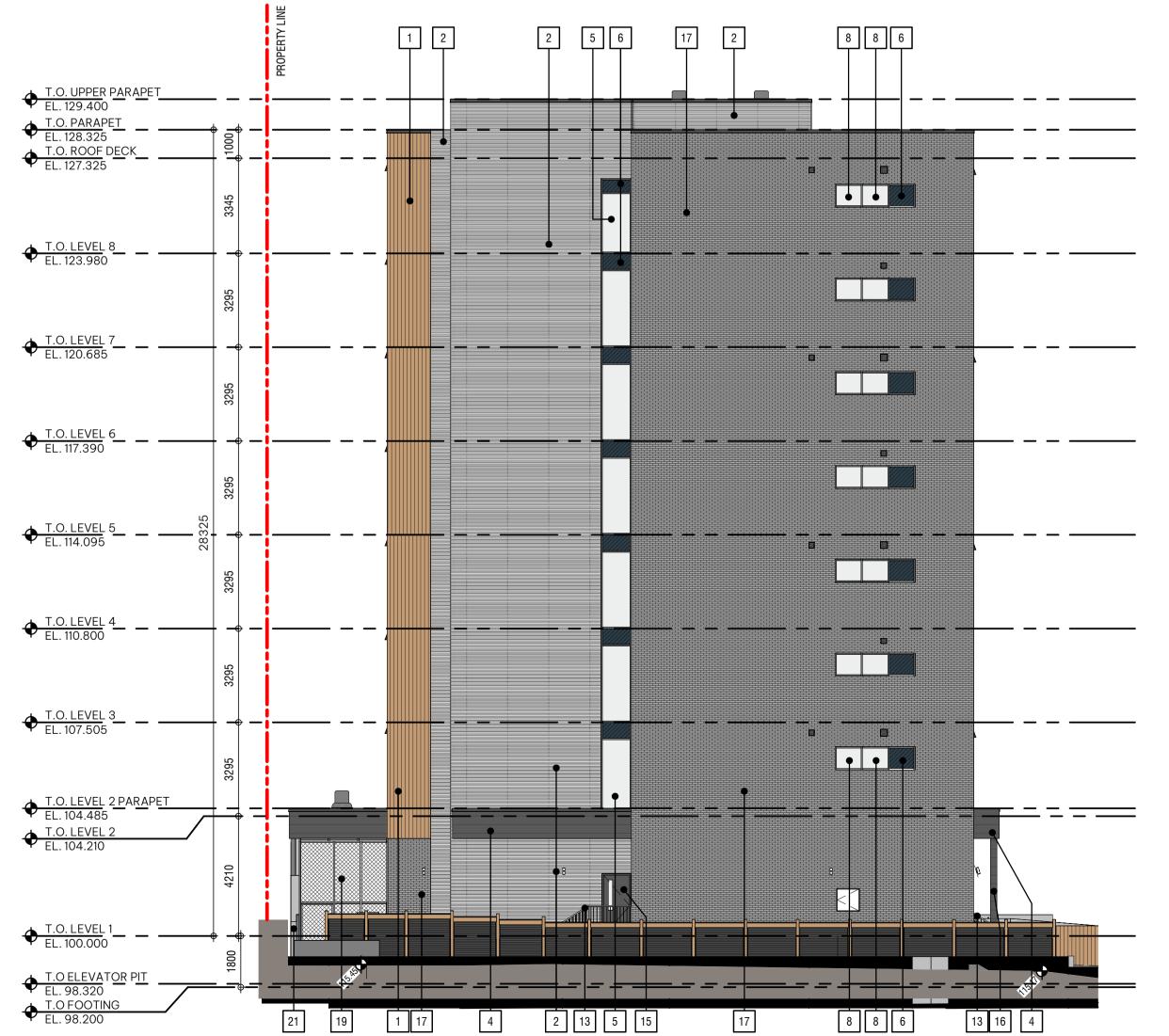




Unit A2/A3 - Accessible & Adaptable Units ±34.5 sqm







2 West Elevation

architecture 6th Floor, 220 - 12th Avenue SW Calgary, AB, Canada T2R 0E9 T 403.670.7000 www.s2architecture.com

HOUSING

BUILDING ELEVATIONS

VICTORIA, B.C. BC HOUSING

DISCOVERY

SUPPORTIVE STREE ISCOVERY

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

10 LAND USE & D.P. SUBMISSION 14 ISSUED FOR DELEGATED DP 2024.08.15 SUBMISSION

SCALE As indicated 11/22/2024 10:11:34 AM

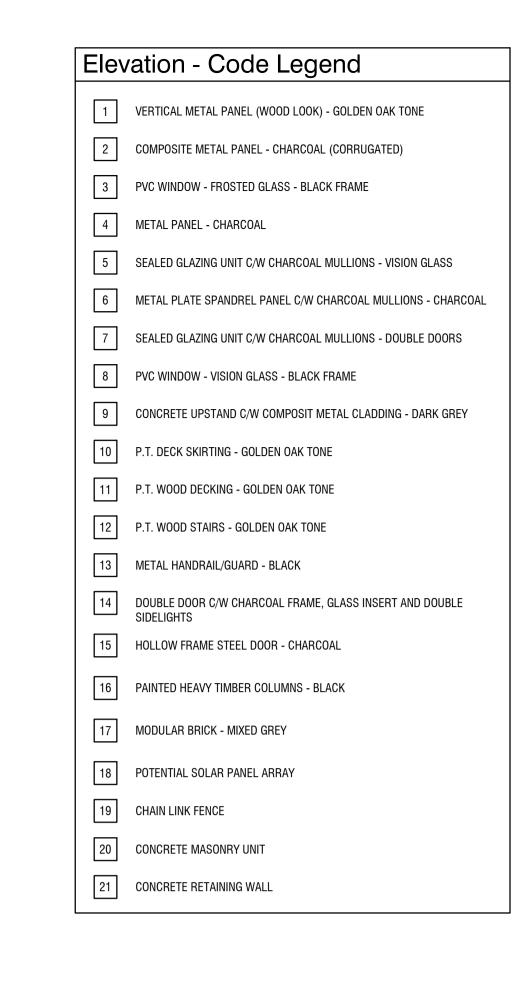
DRAWN BY MD/AN/KM CHECKED BY CZ

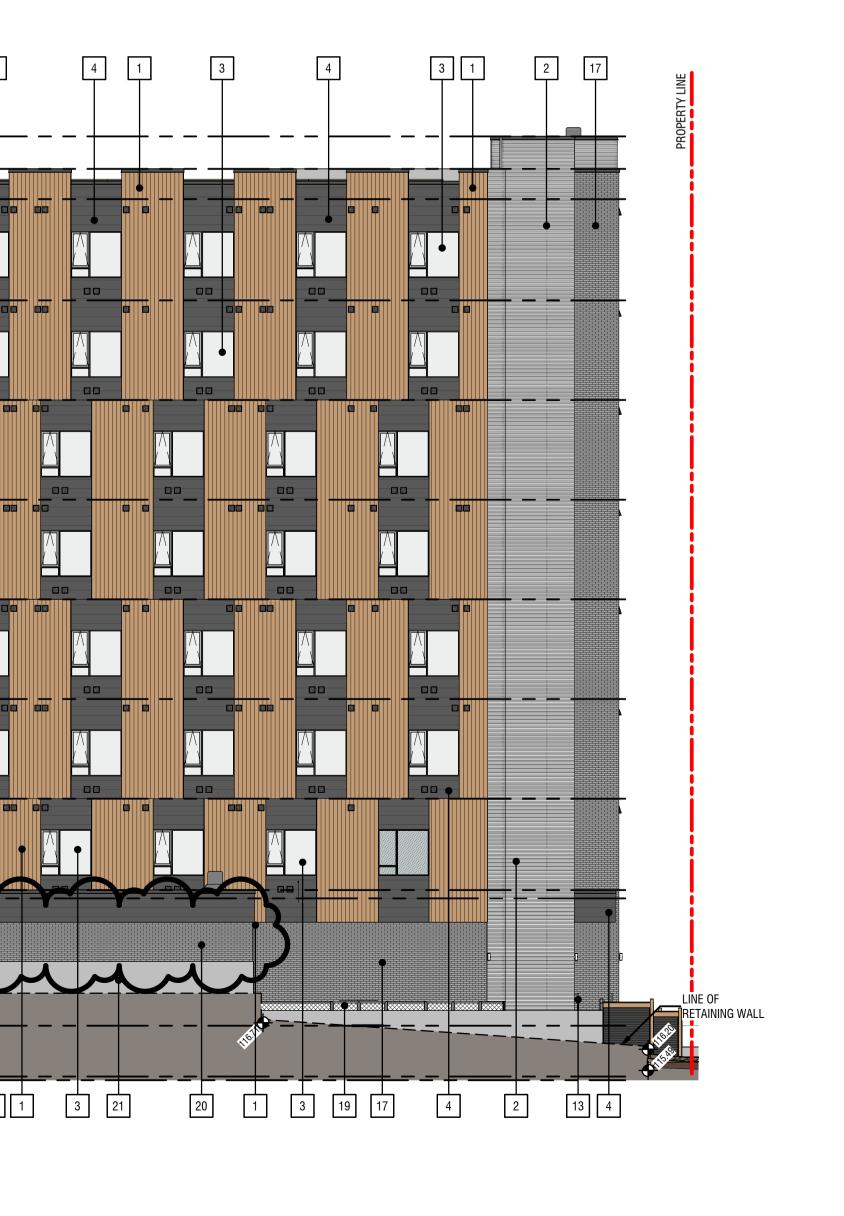
DRAWING NO.

REVISION

DP4.0

04.29.2022





T.O. UPPER PARAPET EL. 129.400

T.O. LEVEL 2 PARAPET
EL. 104.485
T.O. LEVEL 2
EL. 104.210

1 North Elevation

DP4.1 SCALE:1:125

T.O. LEVEL 1
EL. 100.000

◆ T.O. PARAPET EL. 128.325

T.O. UPPER PARAPET EL. 129.400 T.O. PARAPET

EL. 128.325

T.O. ROOF DECK

EL. 127.325 **T.O. LEVEL 8** EL. 123.980 T.O. LEVEL 6
EL. 117.390 T.O. LEVEL 4
EL. 110.800 T.O. LEVEL 3
EL. 107.505 T.O. LEVEL 2 PARAPET
EL. 104.485
T.O. LEVEL 2
EL. 104.210 T.O. LEVEL 1
EL. 100.000 T.O ELEVATOR PIT EL. 98.320
T.O FOOTING
EL. 98.200

2 East Elevation
DP4.1 SCALE:1:125

16 13

architecture 6th Floor, 220 - 12th Avenue SW Calgary, AB, Canada T2R 0E9 T 403.670.7000 www.s2architecture.com

HOUSING

BUILDING ELEVATIONS

VICTORIA, B.C. BC HOUSING

DISCOVERY

SUPPORTIVE

STRE

ISCOVERY

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

14 ISSUED FOR DELEGATED DP 2024.08.15 SUBMISSION 18 RESPONSE TO DELEGATED 2024.11.22 DEVELOPMENT PERMIT

REVISION

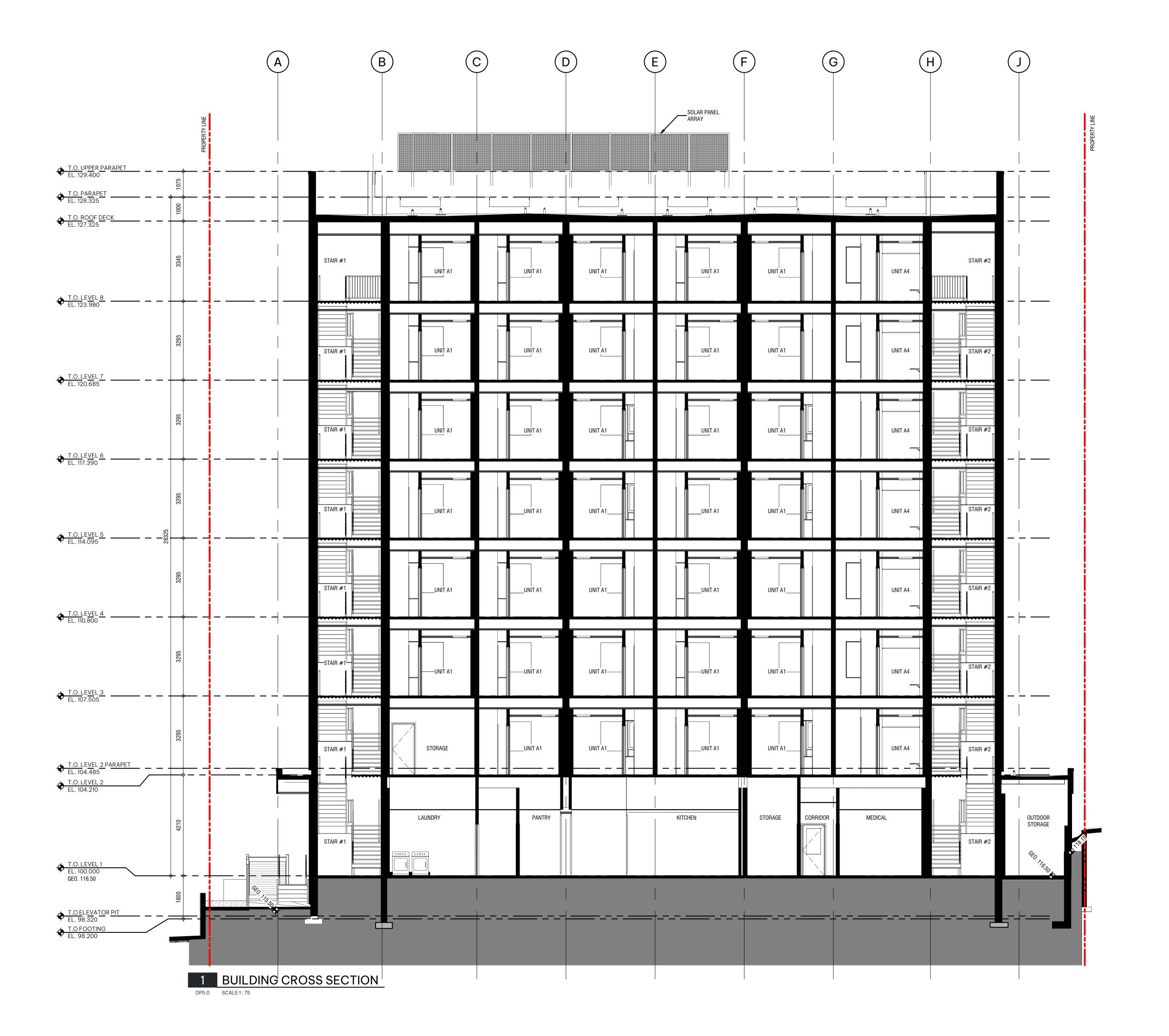
As indicated 11/22/2024 10:32:52 AM DRAWN BY MD/AN/KM

CHECKED BY CZ

COMMENTS

DRAWING NO.

DP4.1





VICTORIA, B.C. BC HOUSING

DISCOVERY

BUILDING SECTIONS

ISCOVERY STREET SUPPORTIVE HOUSING

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

TEVIOIOIV		
	D USE & D.P. MISSION	04.29.2022
14 ISSI	JED FOR DELEGATED DP MISSION	2024.08.15

SCALE 1 : 75

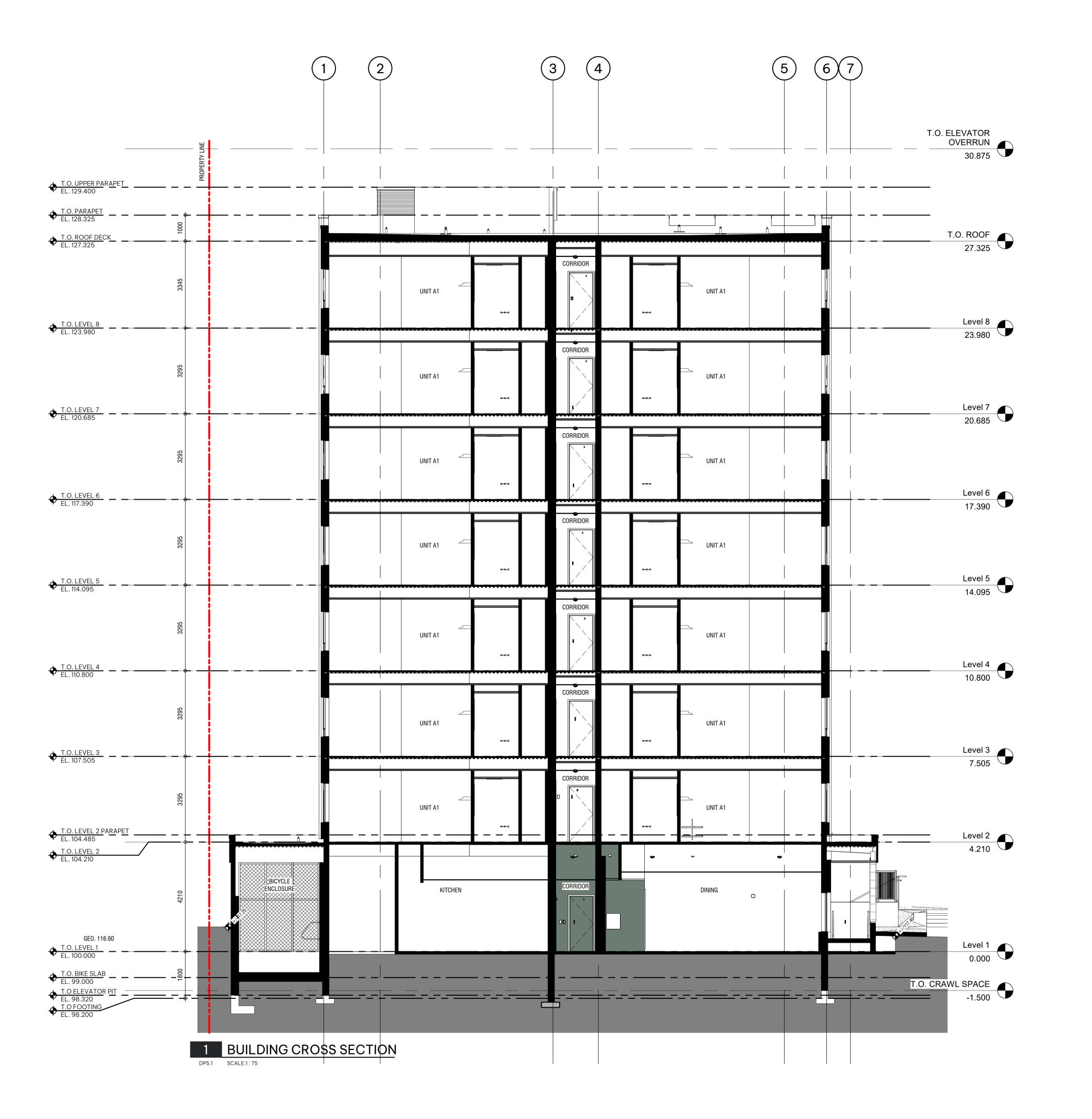
DATE 11/22/2024 10:12:00 AM

DRAWN BY MD/AN

CHECKED BY CZ

DRAWING NO.

DP5.0





BUILDING SECTIONS

STREET SUPPORTIVE HOUSING 722 and 726 DISCOVERY STREET, VICTORIA, B.C. BC HOUSING

ISCOVERY

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

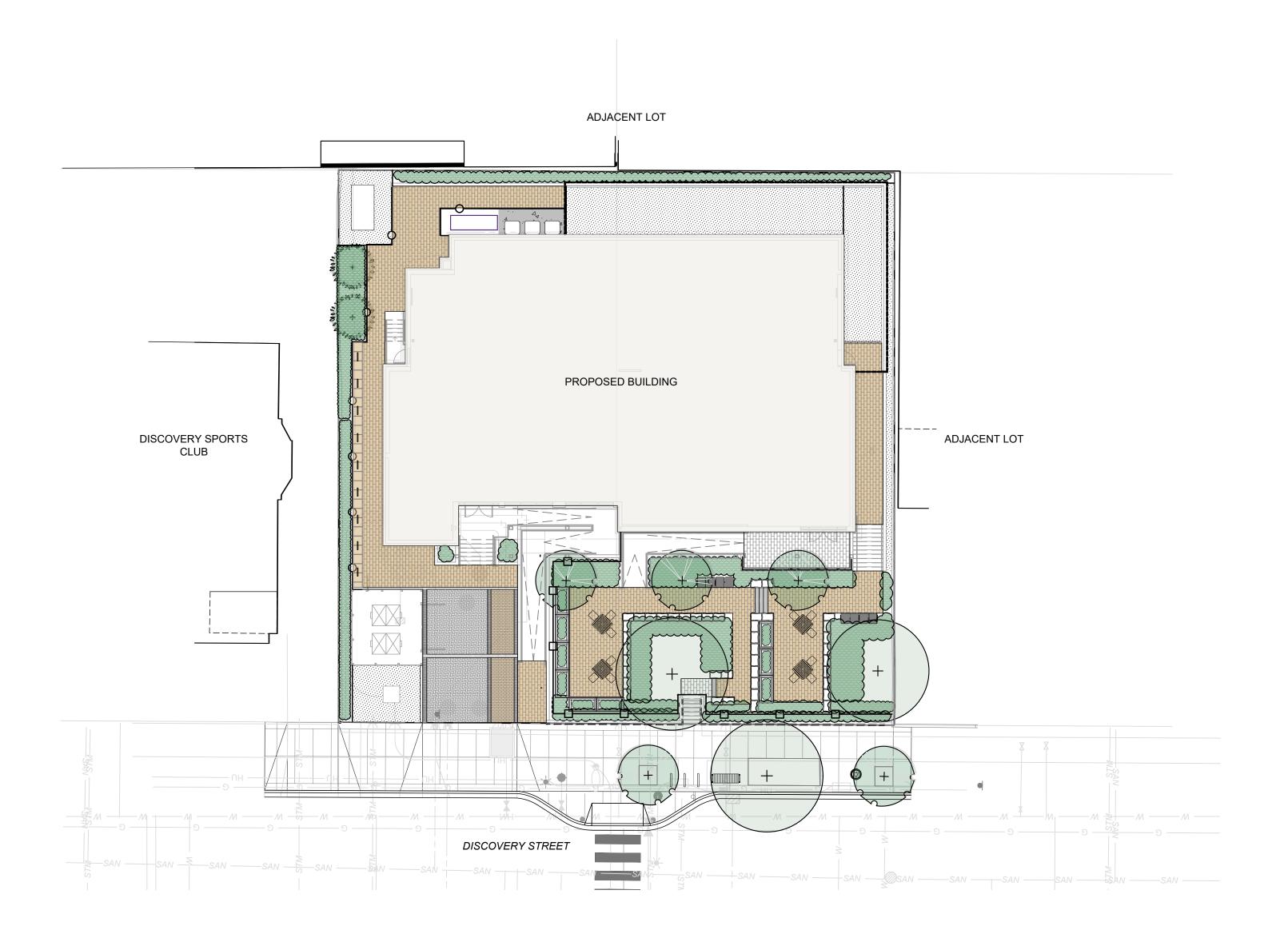
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

	REV	DATI	
	4	DP RE-SUBMISSON	07.04.2023
	5	ISSUED FOR SCHEMATIC TENDER	07.10.2023
	14	ISSUED FOR DELEGATED DP SUBMISSION	2024.08.1
Ī			

SCALE 1:75
DATE 11/22/2024 10:12:17 AM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

DP5.1



PROJECT NOTES

CANADIAN LANDSCAPE STANDARD:

Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Contractors will have a current copy of the document (digital or hardcopy) present with them on site.

Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.

AS-BUILTS:

Contractor is expected to provide a copy of marked up as-builts noting any construction changes at the time of substantial performance of the project.

SUBMITTALS:

Submittals on landscape include but are not limited to:

- a. Shop drawings on all specified furnishings including notes on colour and dimensions
- b. Shop drawings on all custom site elements (i.e. walls, railings, fences, etc.) including notes on colour, finishes and dimensions c. A growing medium (or amended soil report, if required) submittal compliant with the Canadian Landscape Standard
- d. Seed or sod mix designs (Canada No. 1 grade) as defined within with drawings and in compliance with Canadian Landscape
- e. A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues
- with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate. Bark mulch to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L
- sample or website information prior to purchase Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern, and compaction. Mix design and supplier information of hard surface poured or placed materials (i.e. aggregates, concrete, asphalt), including
- base preparation materials and affiliated compaction testing i. Primer and paint submittals, if required for project

LANDSCAPE SCHEDULE

The contractor is to supply a schedule outlining the intended dates for landscape installation. The contractor is to request (with 72h notice) a review for tree protection fencing, tree stake layout, and substantial completion. Additional key meetings identified for requested by the landscape architect at project kick-off or in construction are to be provided with 72h notice. Examples of critical reviews are outlined below. The contractor is expected to provide weekly emails summarizing progress on landscape and the 'look ahead' of the intended schedule for the following week.

LANDSCAPE CRITICAL REVIEWS:

- Landscape critical review meetings include (but are not limited to):
- a. Tree protection fencing setup requires a review by the arborist prior to construction. Project kick-off on landscape, and review of stockpile and preservation of existing materials
- Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape
- Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of compliancy of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
- Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections. Delivery of the plant material to site (mobilization of planting works)
- General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc).
- Substantial and total performance of the landscape
- Commissioning reviews, if required

BCH DISCOVERY STREET

722, 726 / 732 Discovery Street, Victoria, B.C.

RESPONSE TO DDP COMMENTS

DRAWING LIST

L-00	COVER
L-01	NOTES
L-02	TREE REPLACEMENT & STORMWATER AREA PLAN
L-03	LANDSCAPE PLAN
L-04	PLANTING PLAN
L-05	PLANTING DETAILS
L-06	HARDSCAPE DETAILS
L-07	SITE FURNISHING DETAILS
L-08	FENCING DETAILS
L-09	SOIL CELL SECTION

WSP LANDSCAPE ARCHITECTURE

GURPREETH SINGH PROJECT MANAGER Email: Gurpreeth.Singh@wsp.com Phone: (778) 940 - 1327

RENZO CORTES Landscape Designer Email: glennrenzo.cortes@wsp.com Phone: (226) 203-8444

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

HIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA ROUP LTD. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND IMMEDIATELY REPORT ANY ERRORS OR OMISSIONS TO WSP WADA GROUP LTD. (DO NOT SCALE DRAWINGS)

BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.

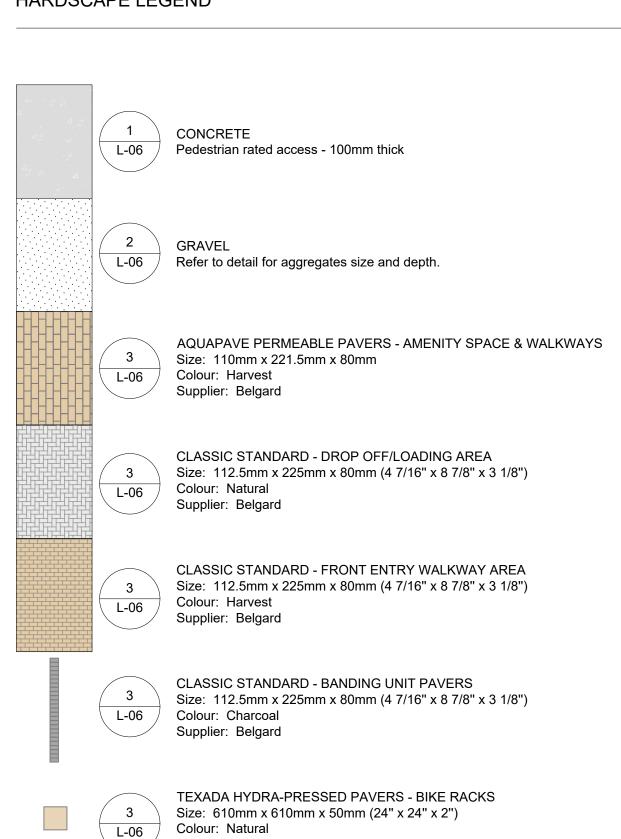
BC Housing



ORIG	SEALED			
11	24/11/22	RESPONSE TO DDP COMMENTS	RC	1
10	24/11/15	ISSUED FOR TENDER	RC	İ
9	24/11/13	ISSUED FOR COORDINATION	RC	İ
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC	İ
NIO		DECORPTION	DV	İ

MjH SHEET TITLE **DESIGN BY** COVER DRAWN BY ER/RC CHECKED BY GS/TC PROJECT# 211-01841-00 SHEET NO. SCALE L-00 N/A

SITE LEGEND & LANDSCAPE MATERIALS LEGEND SITE LEGEND PROPERTY LINE ____ EXISTING FENCE TO BE REMOVED TREE PROTECTION FENCING Refer to detail and arborist report. TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report. REPLACEMENT / PROPOSED TREE L-05 REPLACEMENT TREE SOIL VOLUME (m³) SOIL CELLS _____ TREE TO BE REMOVED HARDSCAPE LEGEND



Supplier: Belgard

WOOD CHIPS

L-05 / At 100mm depth with filter fabric

4 \

SITE FURNISHINGS LEGEND

SITE FURNISHING LEGEND

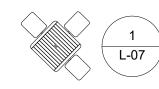
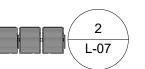
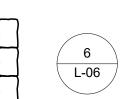


TABLE SEATING Refer to detail for product specifications and sizes.

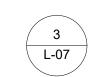


BENCH SEATING Refer to detail for product specifications and sizes.

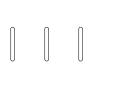




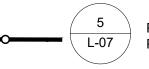
ROCK EDGE SEAT WALL- 0.50m W x 0.75m L x 0.45 m H.



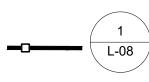
KEY BIKE RACK Refer to detail for product specifications and sizes.



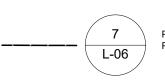
STREET BIKE RACK Model: Standard Bike Rack Mount: Sleeve Material: 1.5" Galvanized Steel Pipe Colour: Glossy Black (RAL 917) Baked-on Power Coat Dimensions: 12" Length, 3' Height Manufacurer: City of Victoria



PROPOSED 1.8m HIGH FENCE Provide shop drawing of fence prior to fabrication. Refer to detail.



PROPOSED 1.2m HIGH FENCE L-08 Provide shop drawing of fence prior to fabrication. Refer to detail.



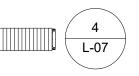
PROPOSED 1.2m HIGH ALUMINUM GUARDRAIL Provide shop drawing of fence prior to fabrication. Refer to detail.



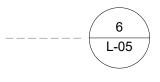
CEDAR PLANTER Refer to detail for product specifications and sizes.



EDGER Refer to detail



MODERN STREET BENCH Refer to detail for product specifications and sizes.



ROOT BARRIER Refer to detail for product specifications and sizes.



STREET WASTE BIN Type: Type A Litter Bin with Recycling Component Material: Metal Frame Colour: Glossy Black (RAL 917) Baked-on Power Coat Dimensions: 42" Height Manufacurer: City of Victoria

STORM WATER AREAS & PLANTING PLAN LEGEND

STORM WATER INFILTRATION AREAS



SHRUB BED AREAS = 170m2

Drainage Composition.

Min. 450mm Depth



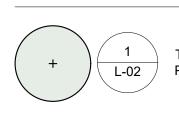
BELGARD PERMEABLE PAVERS AREAS: (refer to L-02 for material info)

Refer to Canadian Landscape Standard for Growing Medium - 2P for Soil &

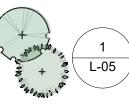


WOOD CHIPS AREA = 27m2 At 100mm depth with filter fabric

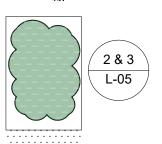
SOFTSCAPE LEGEND



TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report.



PROPOSED / REPLACEMENT TREE Provide tree protection fencing. Refer to detail and arborist report.



SHRUB PLANTING Minimum 450mm import growing medium complete with mulch. Refer to details. Installed as per Canadian Landscape Standards



EXISTING TURF AREA TO BE RETAINED

TREE SPECIES

SYM	QTY	BOTANTICAL NAME	COMMON NAME	SIZE	SPACING
	3	Magnolia Kobus	Kobus magnolia	B&B, 6cm cal., 1.8m ht standard	As shown
+ 10000000 m	3	Magnolia Stellata 'Royal Star'	Star Magnolia	B&B, 6cm cal., 1.8m ht standard	As shown

SHRUB SPECIES

SYM	QTY	BOTANTICAL NAME	COMMON NAME	SIZE	SPACING
AD	27	Aruncus dioicus * ***	Goat's Beard	#2 Pot, full	1200mm o.c.
AM	20	Achillea millefolium ***	Common yarrow	#2 Pot, full	600mm o.c.
AU	65	Arctostaphylos uva-ursi * ** ***	Kinnikinnick	#2 Pot, full	600mm o.c.
GS	6	Gaultheria shallon * ** ***	Salal	#2 Pot, full	900mm o.c.
JC	1	Juniperus communis **	Common juniper	#2 Pot, full	2200mm o.c.
JS	15	Juniperus scopulorum 'Blue Arrow' **	'Blue Arrow' juniper	#2 Pot, full	1200mm o.c.
LP	92	Lavandula x intermedia 'Provence' ***	Provence lavender	#2 Pot, full	600mm o.c.
LC	19	Lonicera ciliosa * ***	Orange honeysuckle	#2 Pot, full	1200mm o.c.
ND	19	Nandina domestica 'Gulf Stream' ***	'Gulf Stream' dwarf nandina	#2 Pot, full	900mm o.c.

81% of total proposed species are either native, food-bearing and/or pollinator habitat.

- ** Food-bearing Species

TREE PROTECTION NOTES & PLANTING NOTES

TREE PROTECTION NOTES:

- Refer to arborist report prepared by Capital Tree Service Inc.. Refernce made to Arborist report for all Tree Numbers, Diameters and Canopy sizes. - Existing trees to remain protected as indicated on drawings. Contractor to provide tree protection fencing in accordance with the arborist report, and City of Victoria Tree By-law and request review from project arborist prior to mobilization. Arborist will provide any cut-back or health management to trees as deemed required from a public health and safety perspective. Contractor to be present for tree protection fencing review with arborist, and make any adjustments to protection fencing requested under arborist supervision.

PLANTING NOTES

The following are core requirements of plant selection and installation:

- a. Plants are to be regionally sourced, with preference on local nurseries. Key plants or tree species that cannot be locally sourced should be explored for regional availability within the cascade region, complete from BC south through Washington, Oregon and California.
- b. Preparation and fine grading of soft landscapes (lawns, planting beds, trees) to be in accordance with Canadian Landscape Standards
- Composted bark mulch to be continuously be provided within plantings beds (unless stated otherwise), at a 50mm depth, increasing to 100mm depth in tree watering well locations. Watering wells to be 1m
- diameter around trees, in accordance with Canadian Landscape Standards. d. Plant materials are to be protected and stored to prevent damage from freezing or weather events prior to installation. Protect and insulate material in accordance with Canadian Landscape Standards as
- e. Depths of growing medium to be as follows: 900mm depth required for trees and 450mm depth required for shrubs within all new planting beds, in accordance with 'Level 2P' mix design as defined in the Canadian Landscape Standard. New lawn spaces are to receive 150mm depth growing medium, in accordance with 'Level 2L' mix design as defined in the Canadian Landscape Standard.
- f. Lawn restoration, if required, to meet flush with existing and demonstrate even blend and complete establishment and integration with existing lawn.
- Lawn material (i.e. sod or seed/over-seed or hydroseed) to be provided in accordance with drawing notes. Ensure mix design submittal is provided of product. Sod (if required) is to be non-netted. Seed (if required) is to be evenly distributed. Hydroseed (if required) is to be applied in even distribution in accordance with manufacturer's specifications. Hydroseed to include tackifier in accordance with manufacturer's blend. Incidentally increase tackifier under the guidance of the supplier in winter months in applications where slope stability is required.
- h. Parks shall be contacted prior to planting the trees to inspect the planting areas, growing medium, root barriers, and trees. Trees shall be inspected for pests, diseases and defects. Following completed
- planting, mulching, staking, and installation of tree grates a final inspection is required. i. Applicant is responsible for procuring and planting the proposed municipal trees.

ESTABLISHMENT MAINTENANCE FOR PLANTING BEDS

Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Maintenance to be compliant with 'Level 2' (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.

ESTABLISHMENT MAINTENANCE FOR LAWN SPACES

Lawns that are constructed with sod are to be 100% established and in accordance with Canadian Landscape Standards. Sodded lawns should appear evenly integrated with adjacent rolls and non-visible for edges or lifts in finish. Seeded lawns are to be evenly covered and established with vigorous growth. All lawns to appear with vigorous growth and maintenance with a minimum of 2 cuttings to a 60mm height for substantial review. Incidentally mow to a continued 60mm height until the time of substantial completion. Do not allow lawns to exceed an 80mm height between cuttings.

Landscape watering to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils; as defined in 'Establishment Watering' requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.

TREE REPLACEMENT SCHEDULES "C"

TREE IMPACT SUMMARY

Tree Status	Protected Trees	Trees to be removed	New or replacement trees to be planted	Non-protected trees counted as replacements	Net change
Onsite Trees	8	10	5	0	-2
Offsite Trees	0	2	0	0	0
Municipal Trees	1	2	N/A	N/A	0
Total	9	10	5	0	-2

		Count	Multiplier	Total	
e	Protected trees removed	6	1	6	독
Onsite minimum replacement tree	Replacement trees proposed per Schedule "E", Part 1		1	0	Offsite Tree Minimum
m replace	Replacement trees proposed per Schedule "E", Part 2	5	0.5	2.5	Offsite Tre
e minimu	Replacement trees proposed per Schedule "E", Part 3		1	0	Cash-in-lieu (
nsit	Total replacement trees propo	2	<u>-</u>		
ō	Onsite replacement tree defic	4	ash		
шn	Tree minimum on lot	7	U		
Onsite tree minimum	Protected trees retained (other than specimen trees)	2	1	2	
	Specimen trees retained	0	3	0	
Onsit	Tree per lot deficiency	5			

	Offsite Tree Minimu	proposed per Schedule "E", part 1 or 3	1	0
0		Replacement trees proposed per Schedule "E", part 2	0.5	0
2.5		Total Replacement trees proposed		0
		Offsite replacement tree deficiency		0
0	ieu	Onsite trees proposed of cash-in-lieu		4
2	ι÷	Offsite trees proposed for cash-in-lieu		0
7	Cash-in-lieu	\$8000		
/				
2				

Protected trees removed

Replacement trees

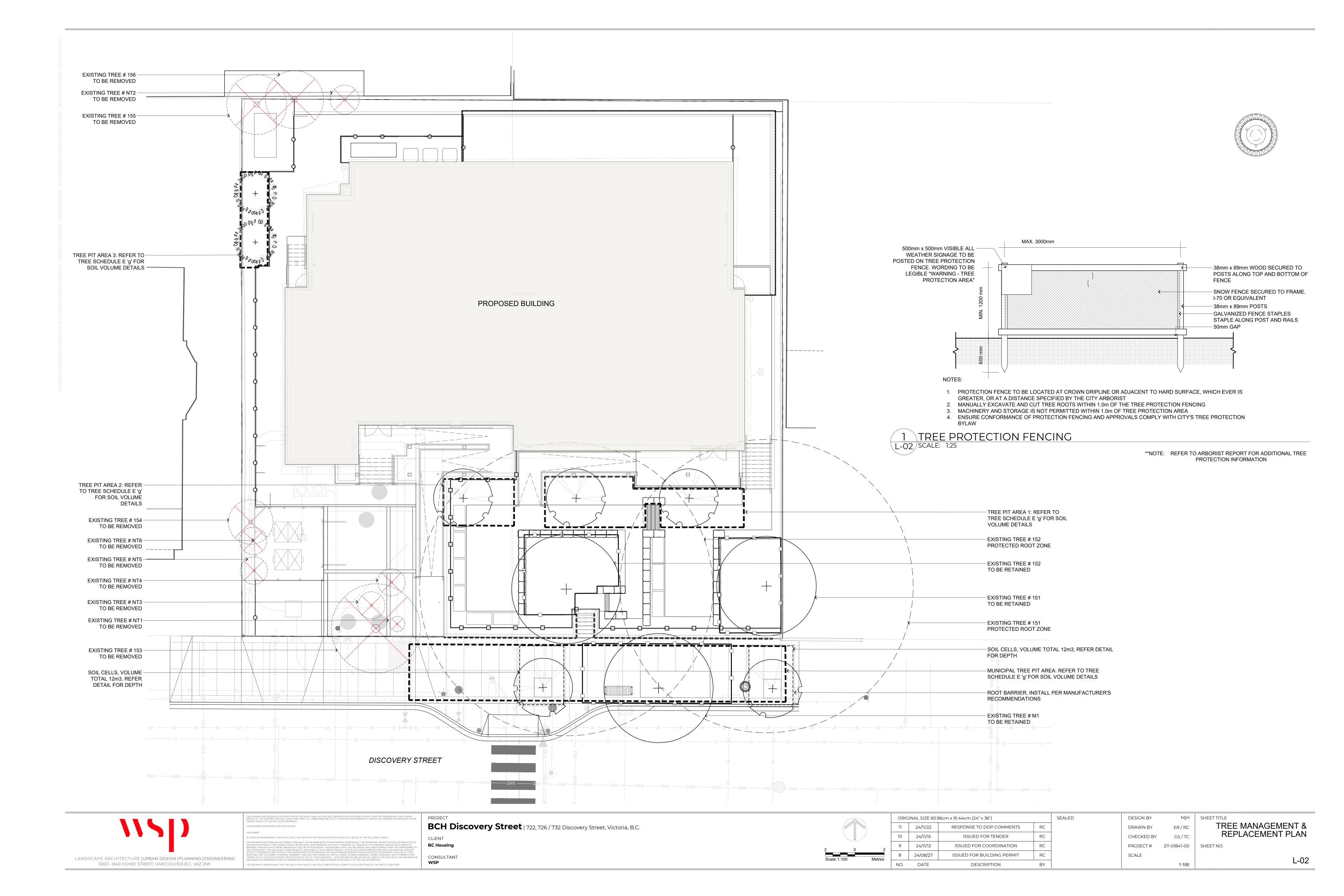
Native Species

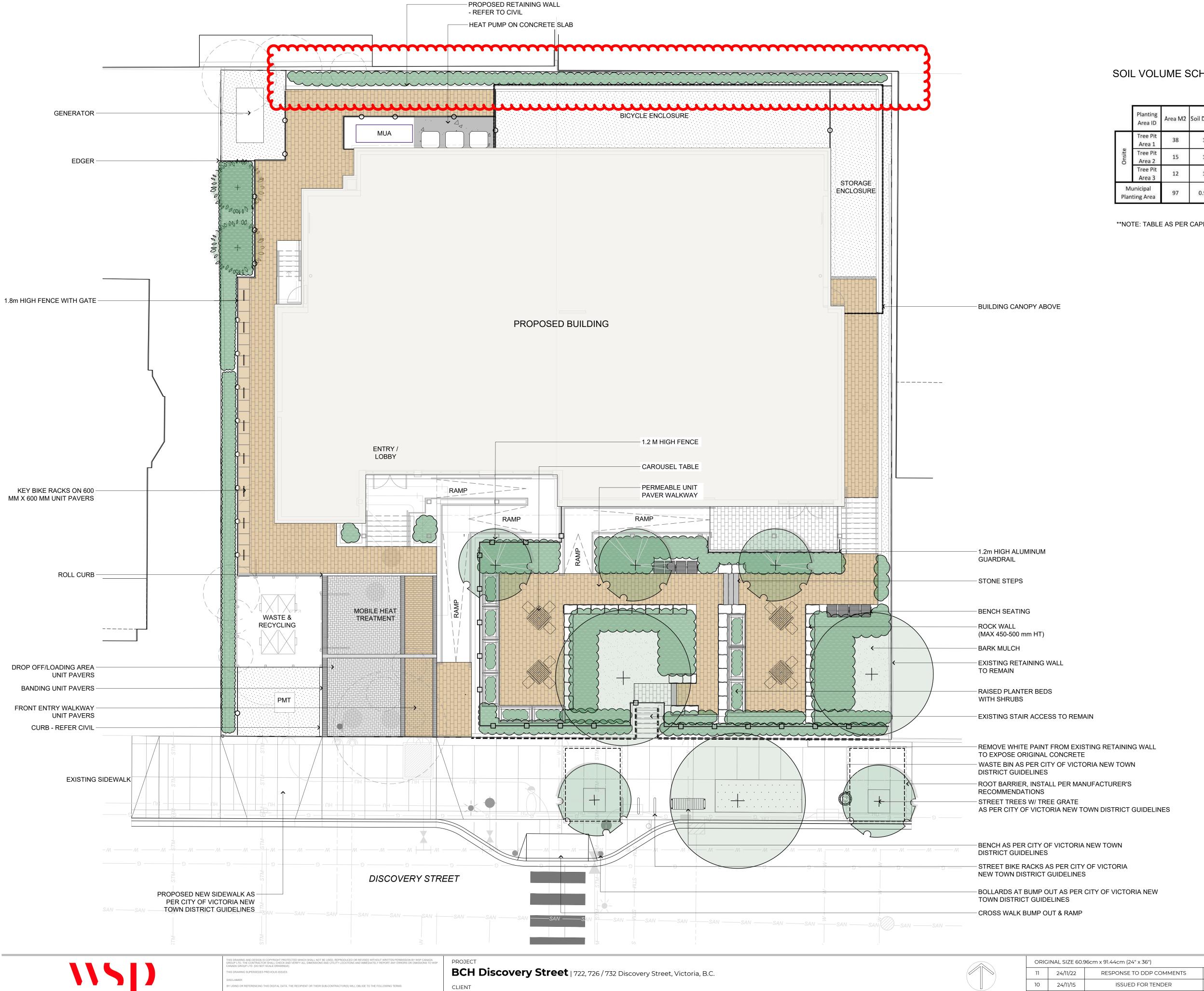
*** Pollinator Species

	THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA GROUP LTD. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND IMMEDIATELY REPORT ANY ERRORS OR OMISSIONS TO WSP CANADA GROUP LTD. (DO NOT SCALE DRAWINGS) THIS DRAWING SUPERSEDES PREVIOUS ISSUES.	PROJECT BCH Discov
	DISCLAIMER	
	BY USING OR REFERENCING THIS DIGITAL DATA, THE RECIPIENT OR THEIR SUB-CONTRACTOR(S) WILL OBLIGE TO THE FOLLOWING TERMS:	CLIENT
	CAD INFORMATION STORED IN ELECTRONIC FORM MUST NOT BE MODIFIED BY OTHER PARTIES, INTENTIONALLY OR OTHERWISE, WITHOUT NOTICE OR INDICATION OF SAID MODIFICATIONS TO WSP CANADA GROUP LIMITED (WSP). WSP RESERVES THE RICHT TO REMOVE ALL INDICES OF ITS OWNERSHIP AND/OR INVOLVEMENT IN MATERIAL FROM EACH ELECTRONIC MEDIUM NOT HELD IN 1ST POSSESSION. THIS MATERIAL SHALL NOT EDED BY ANY UNAUTHORIZED PARTY OR TRANSFERRED TO ANY OTHER PARTY FOR USE IN ANY OTHER PROJECTS, ADDITIONS TO THE CURRENT PROJECT, OR FOR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT	BC Housing
LANDSCAPE ARCHITECTURE URBAN DESIGN PLANNING ENGINEERING	STRICTLY INTENDED BY WSP WITHOUT OUR EXPRESS WRITTEN PERMISSION. ANY UNAUTHORIZED MODIFICATION OR REUSE OF THE MATERIAL SHALL BE AT YOUR SOLE RISK, AND YOU AGREE TO DEFEN, INDEMNIPY. AND HOLD WSP HARMLESS FOR ALL CLAIMS, INJURIES, DAMAGES, LOSSES, EXPENSES, AND ATTORNEYS FEES ARISING OUT OF THE UNAUTHORIZED MODIFICATION OR USE OF THESE MATERIALS. WSP ASSUMES NO OBLIGATION OR LUBLITY FOR THE USE OF GAD INFORMATION AND MAKES NO REPRESENTATIONS OR WARRANTIES REGARDING THE COMPLETENESS OR ACCURACY OF ITS CAD INFORMATION.	CONSULTANT
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1	THE RECIPIENT UNDERSTANDS THAT THE USE OF ANY PROJECT RELATED COMPUTER DATA CONSTITUTES ACCEPTANCE OF THE ABOVE CONDITIONS.	WSP



^{**}NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST





BC Housing

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

CONSULTANT

SOIL VOLUME SCHEDULE E 'g'

	Ver				Propose	d Replaceme	ent Trees		Soil Volume	e Required	
	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Total (m3)
	Tree Pit Area 1	38	1	38 m3		2			30		30
Onsite	Tree Pit Area 2	15	1	15 m3		1			15		15
2572	Tree Pit Area 3	12	1	12 m3	1			12			12
	unicipal iting Area	97	0.92	89 m3	2	1		12	15		27

**NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST

SEALED

BY

ISSUED FOR COORDINATION

ISSUED FOR BUILDING PERMIT

DESCRIPTION

24/08/27

DATE

NO.

DESIGN BY

DRAWN BY

CHECKED BY

PROJECT#

SCALE

MjH SHEET TITLE

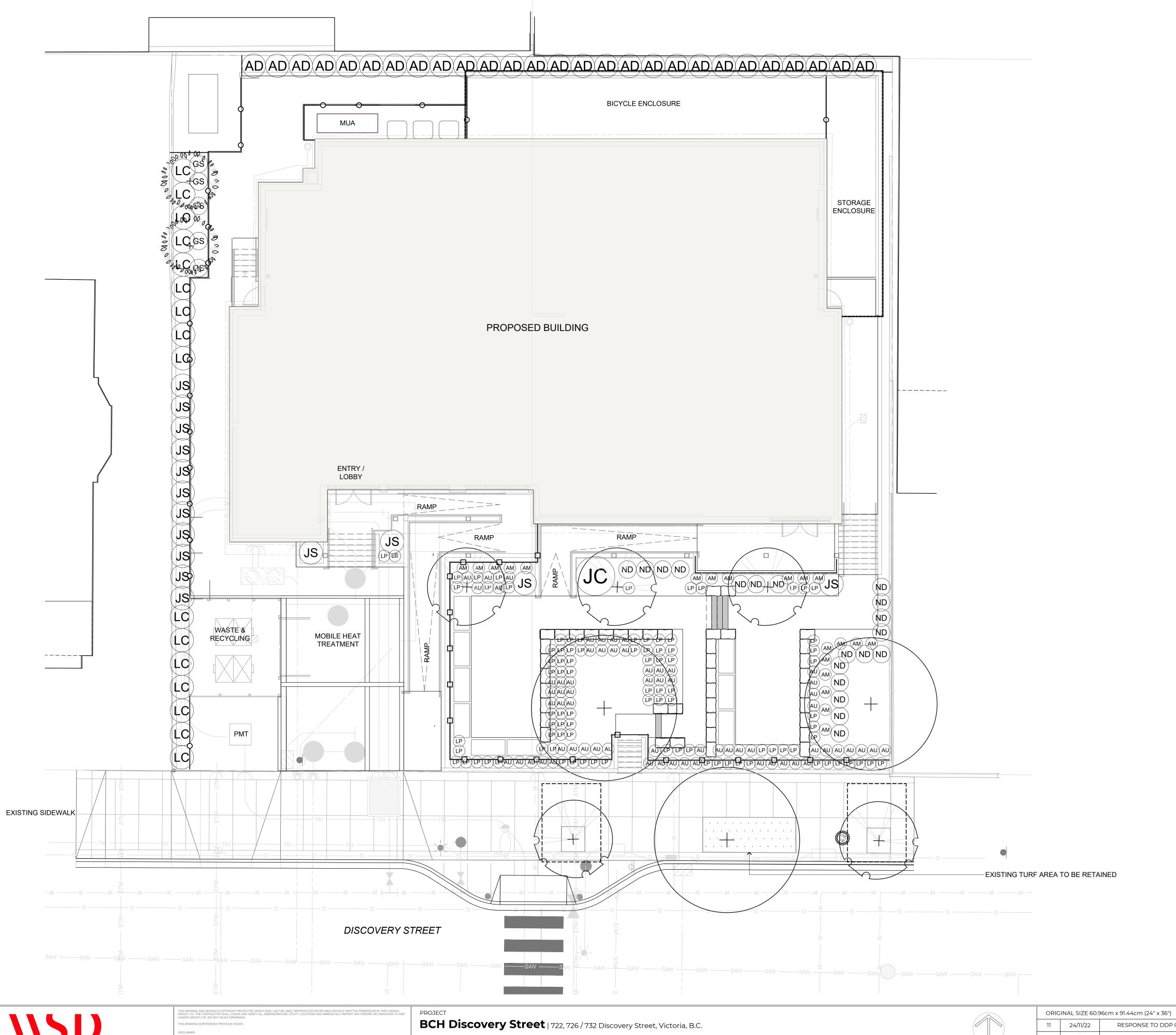
ER/RC

211-01841-00 SHEET NO.

1:100

LANDSCAPE PLAN

L-03



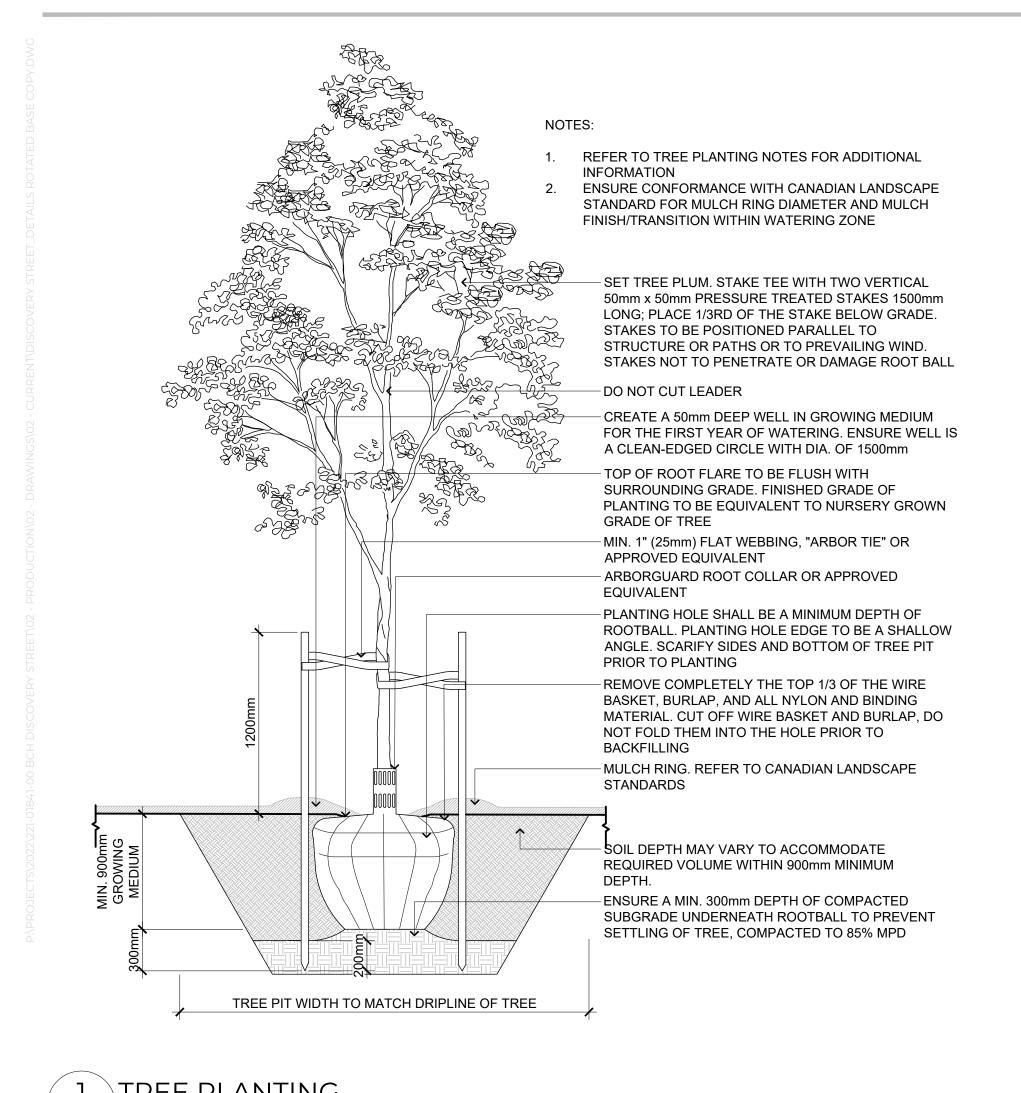
LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

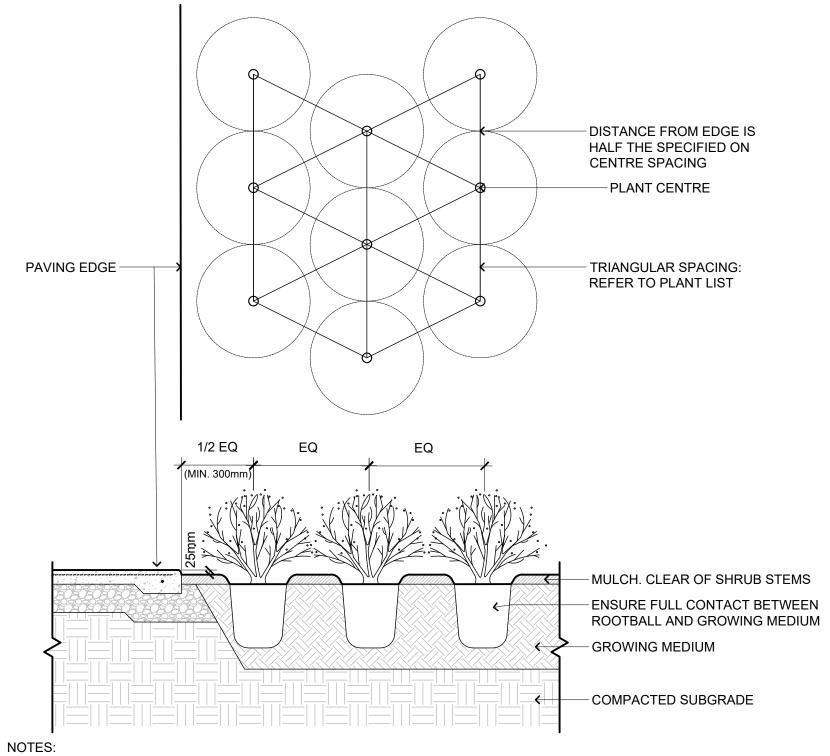
CLIENT **BC Housing**

2	0	2	
Scale:1	:100	Metres	

	ORIG	SEALED			
	11	24/11/22	RESPONSE TO DDP COMMENTS	RC	
	10	24/11/15	ISSUED FOR TENDER	RC	
2	9	24/11/13	ISSUED FOR COORDINATION	RC	
Metres	8	24/08/27	ISSUED FOR BUILDING PERMIT	RC	
IVICU GS	NO.	DATE	DESCRIPTION	BY	

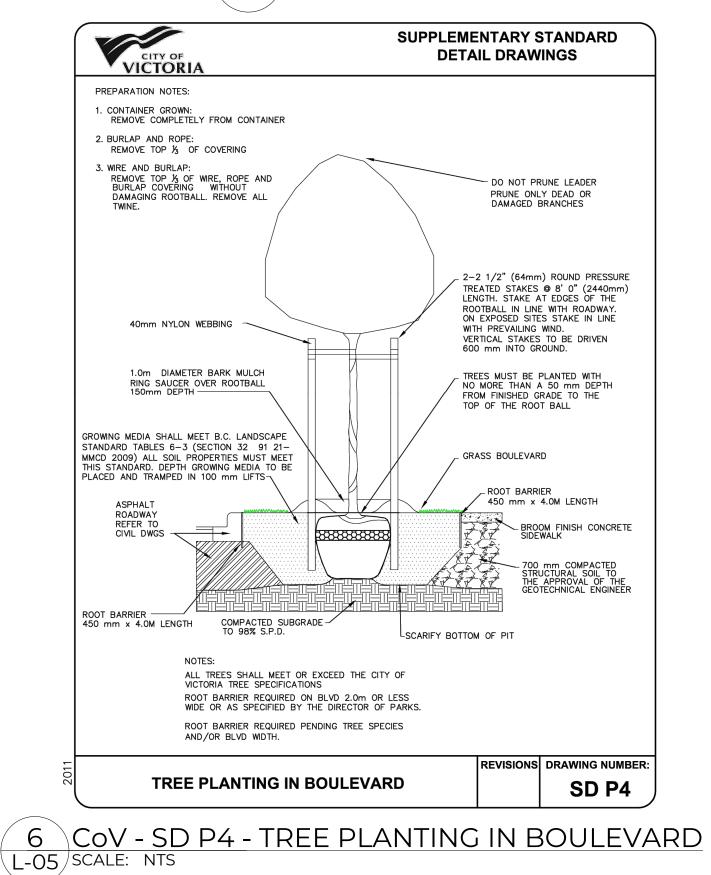
DESIGN BY MjH SHEET TITLE PLANTING PLAN DRAWN BY CHECKED BY PROJECT# 211-01841-00 SHEET NO. SCALE L-04 1:100

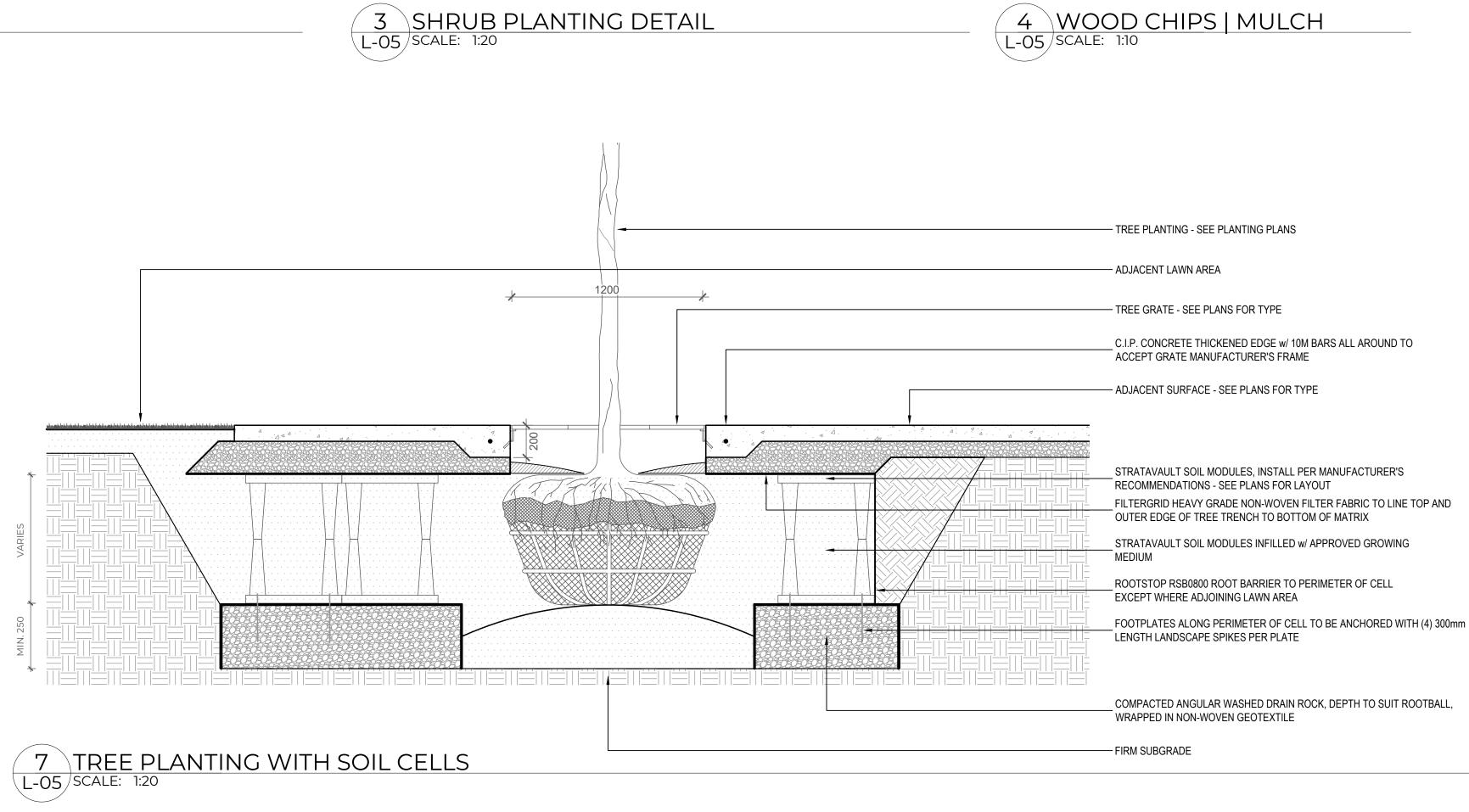




- 1. REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS 2. REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM
- 3. ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY 4. COMPACTION RATE TO BE 95% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT







- REMOVE BURLAP AND ROPE FROM

ALL 'ORGANIC' POTS PRIOR TO PLANTING. LIGHTLY LOOSEN OR

PLACEMENT. DO NOT DAMAGE OR

- 450mm IMPORT GROWING MEDIUM

ACCORDANCE WITH THE CANADIAN

- COMPACTED SUBGRADE OR NATIVE

MATERIAL. SCARIFY SURFACE

PRIOR TO PLACEMENT OF SHRUB

SLOPE SURFACE TO DRAIN AWAY

TO STANDARDS IN LEVEL 2P IN

MASSAGE ROOTS PRIOR TO

COMPOSTED BARK MULCH

LANDSCAPE STANDARD

FROM ROOTBALL

2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF

4. DISTURBED SUBGRADE, NATIVE MATERIAL, OR IMPORT FILL TO BE SUITABLY COMPACTED IN

OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD

6. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED

ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL

PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED,

TEAR ROOTS

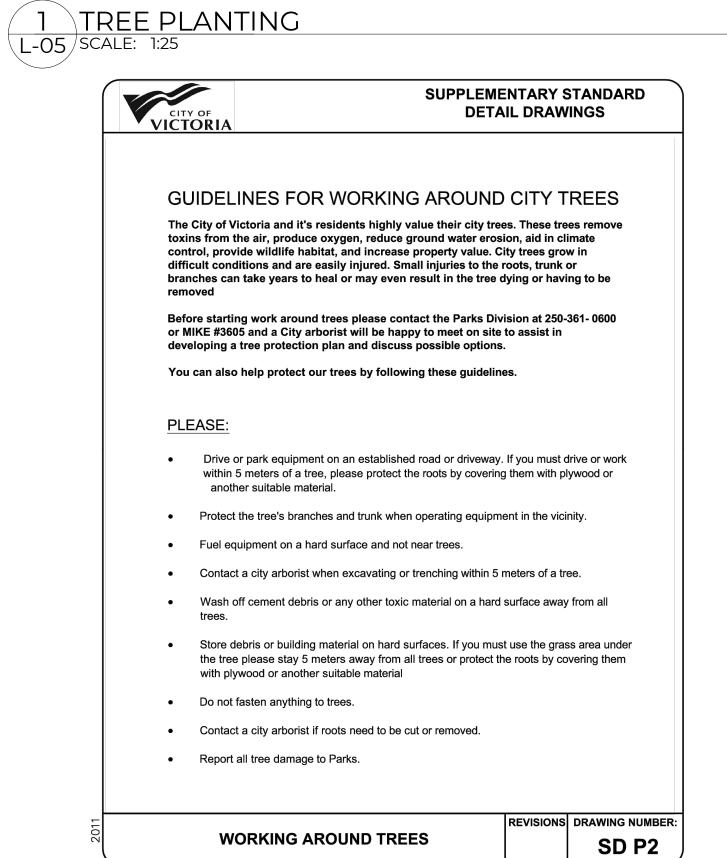
FINISH GRADE

NOTES:

1. SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE

3. PLANTING PIT MUST BE FREE DRAINING

AROUND BASE OF SHRUB. REMOVE





BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C. CLIENT **BC Housing**

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36") SEALED 24/11/22 RESPONSE TO DDP COMMENTS 24/11/15 ISSUED FOR TENDER 24/11/13 ISSUED FOR COORDINATION 8 24/08/27 ISSUED FOR BUILDING PERMIT NO. DATE DESCRIPTION

DESIGN BY MjH SHEET TITLE PLANTING DETAILS DRAWN BY ER/RC CHECKED BY GS/TC PROJECT# 211-01841-00 SCALE AS SHOWN

L-05

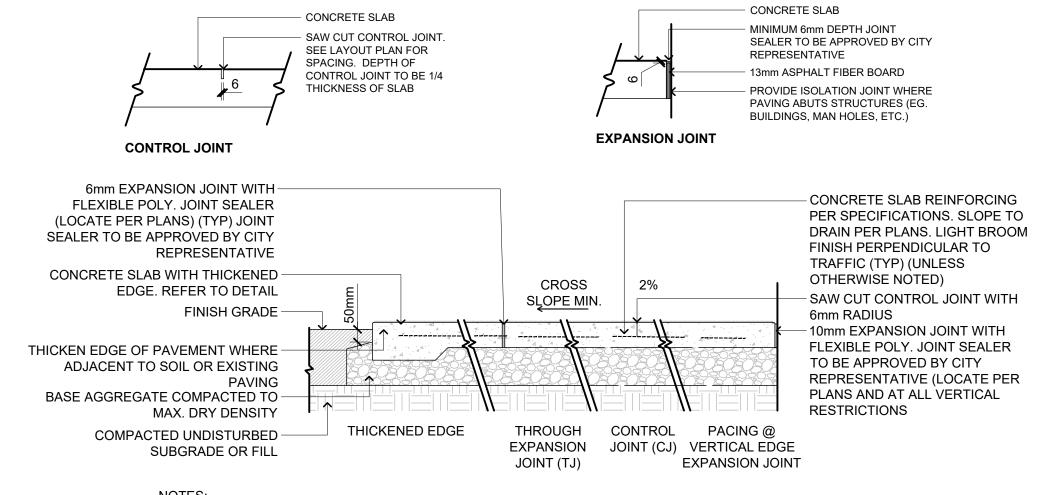
- WOOD CHIPS

- FILTER CLOTH

COMPACTED SUBGRADE

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

CONSULTANT



NOTES:

- 1. CONTROL JOINTS AS PER DETAIL TO BE PROVIDED 3.0m MAX. o.c. UNLESS SHOWN OTHERWISE ON PLAN.
- 2. EXPANSION JOINTS COME WITH FIBREBOARD TO BE PROVIDED 9.0m MAX. o.c. AND AT INTERFACE WITH STRUCTURE SUCH AS WALLS, STEPS, AND CURBS
- 3. REFER TO DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS
- 4. USE OF THICKENED EDGE TO BE AS NEEDED TO SUIT FIELD CONDITIONS. APPLICATION OF THICKENED EDGE TO
- BE SPECIFIED IN DRAWINGS 5. REINFORCING TO BE AS PER GEOTECHNICAL REPORT

HYDRA- PRESSED PAVERS-

- NATURAL STONE STEPS

150mm AGGREGATE BASE

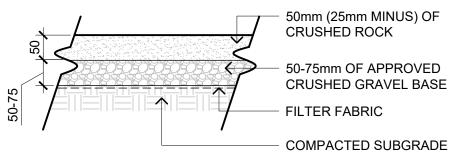
COMPACTED SUBGRADE

REFER TO DETAIL 2

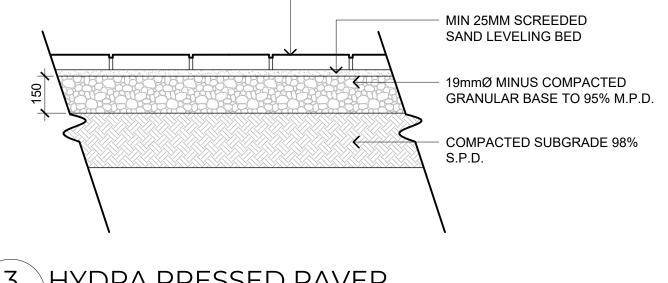
AS SPECIFIED

- 6. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED
- 7. CONCRETE FINISH TO BE SPECIFIED ON PLANS. ASSUME BROOM FINISH WITH NO TROWELED EDGES UNLESS



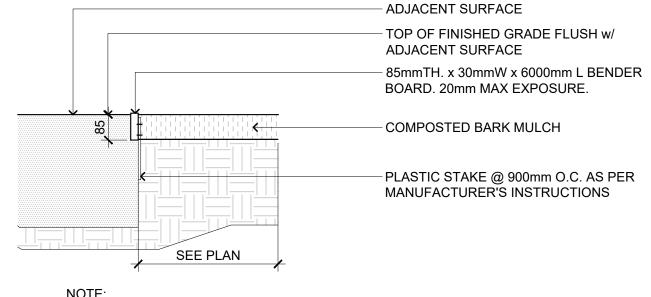






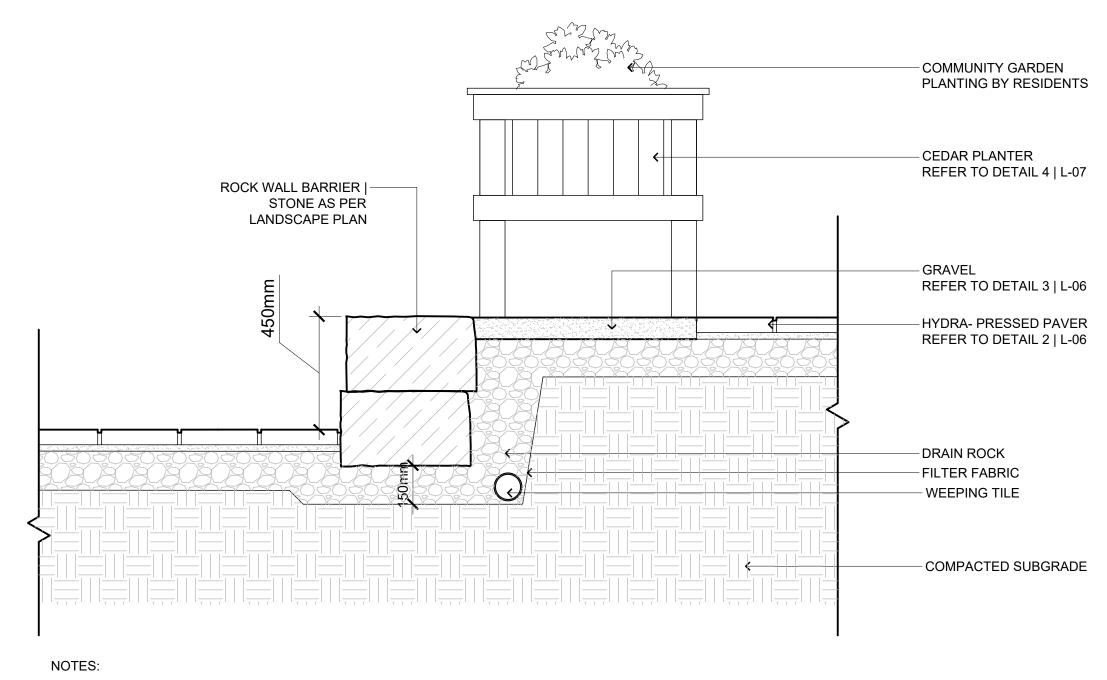
HYDRA-PRESSED PAVER



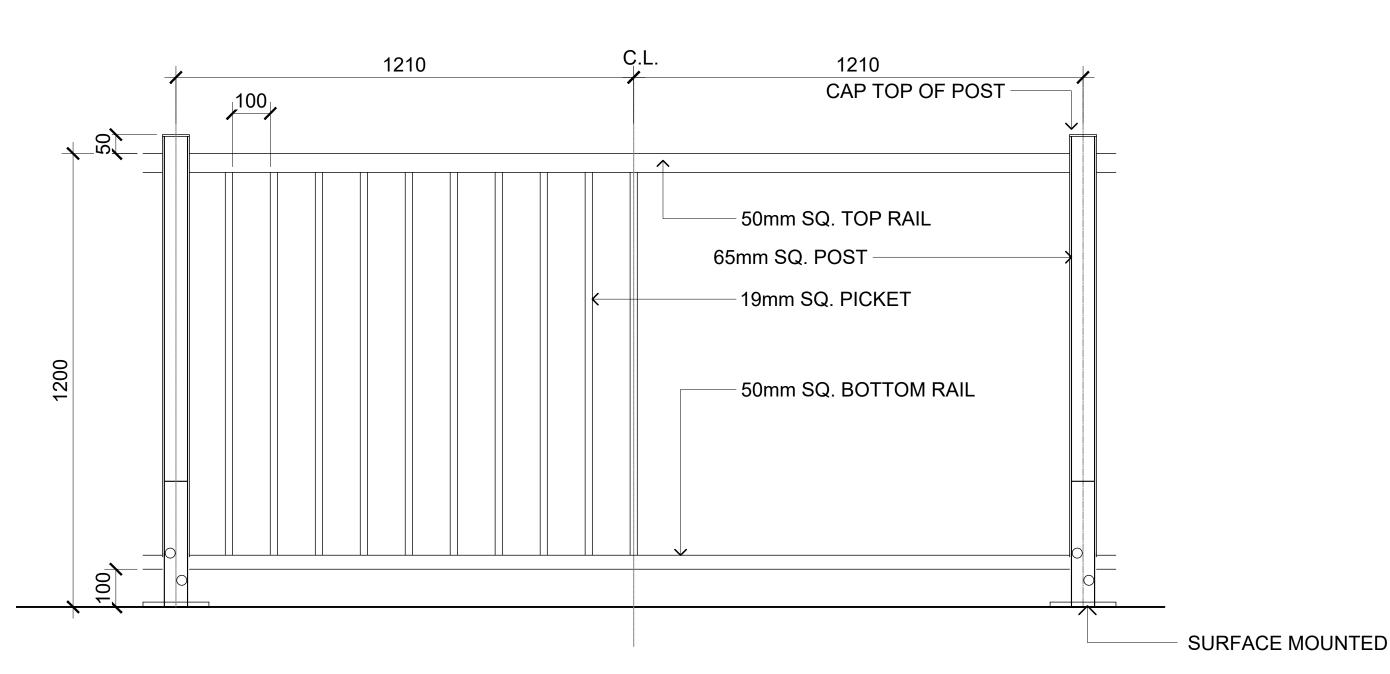


- 1. SLIP JOINTS MUST BE ABLE TO EXPAND AND CONTACT AS
- TEMPERATURES CHANGE. DON'T SCREW THROUGH THE SLIP JOINT.
- COLOUR BROWN.
- USE COARSE WOOD WORKING TOOLS FOR CUTTING & DRILLING.
- 5. USE PLATED SCREWS TO JOIN BOARD TO STAKE.





- ALL VOID SPACES TO BE FILLED WITH CLEAR CRUSHED AGGREGATE & CONSOLIDATED TO PREVENT MIGRATION
- OF FILL MATERIALS ALL ROCKS TO BE STRUCTURALLY SOUND & FREE OF ANY SPALLING, CRACKS, CREVICES OF SPLINTERS.
- PLACE ROCKS TO FACILITATE SLOPE STABILITY - ROCK TO BE BURIED 150MM DEPTH INTO GROUND
- 6 ROCK EDGE SEAT WALL
 L-06 SCALE: 1:15



- 1. METAL GUARDRAIL TO BE ALUMINUM.POWDER COAT FINISH. COLOR: BLACK.SURFACE MOUNTED.
- 2. SHOP DWGS TO BE PROVIDED FOR CONSULTANT APPROVAL PRIOR TO FABRICATION.

7 1.2m HIGH ALUMINUM GUARDRAIL L-06 SCALE: 1:15



HYDRA- PRESSED PAVERS-

REFER TO DETAIL 2

BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C. **BC Housing**

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")					
11	24/11/22	RESPONSE TO DDP COMMENTS	RC		
10	24/11/15	ISSUED FOR TENDER	RC		
9	24/11/13	ISSUED FOR COORDINATION	RC		
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC		
NO	DATE	DESCRIPTION	BV		

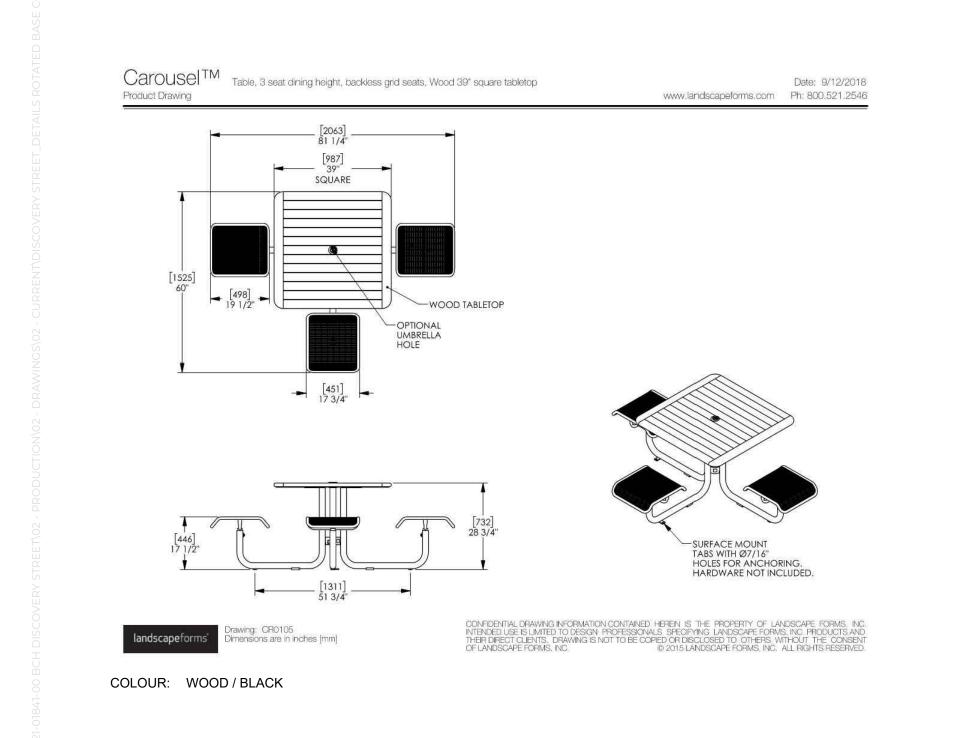
MjH SHEET TITLE **DESIGN BY** HARDSCAPE DETAILS DRAWN BY CHECKED BY PROJECT# 211-01841-00 SCALE

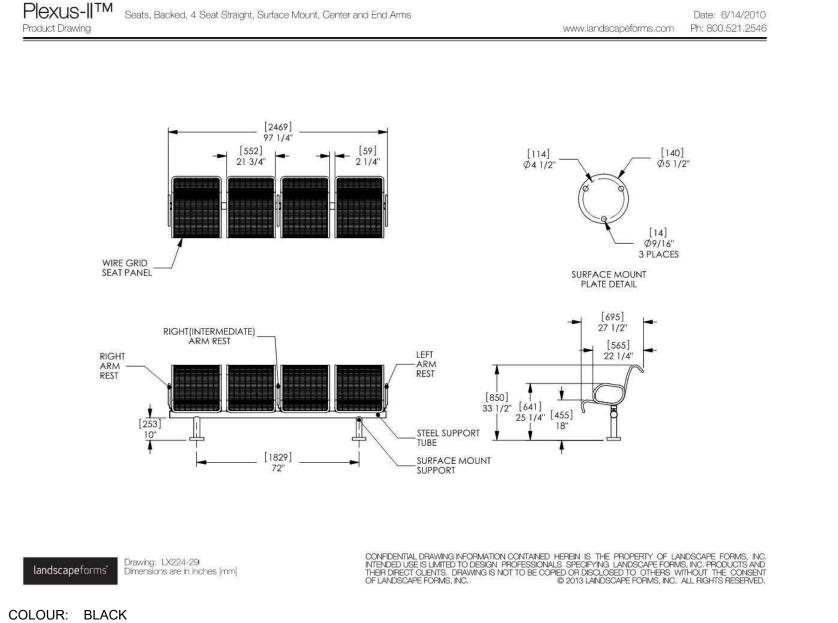
AS SHOWN

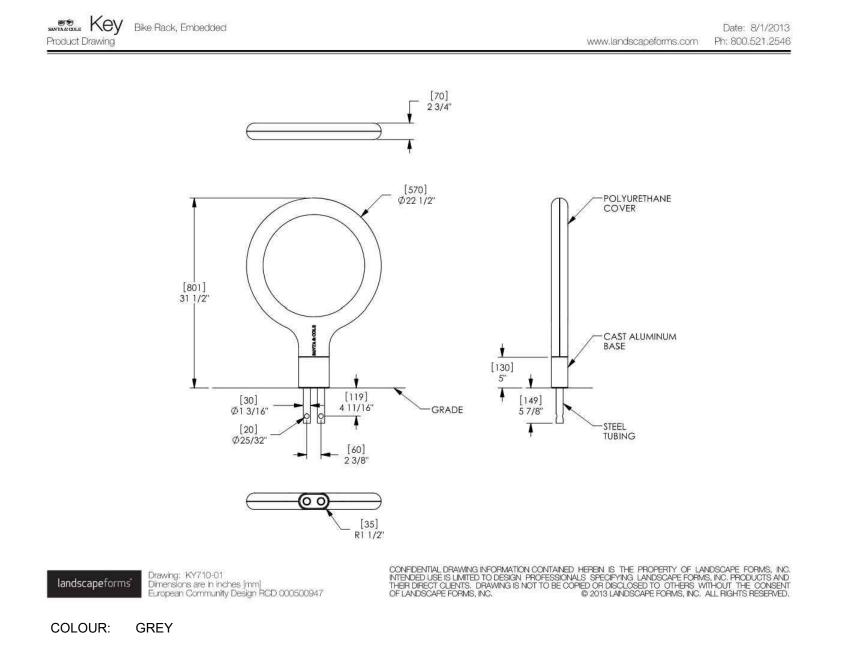
L-06

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

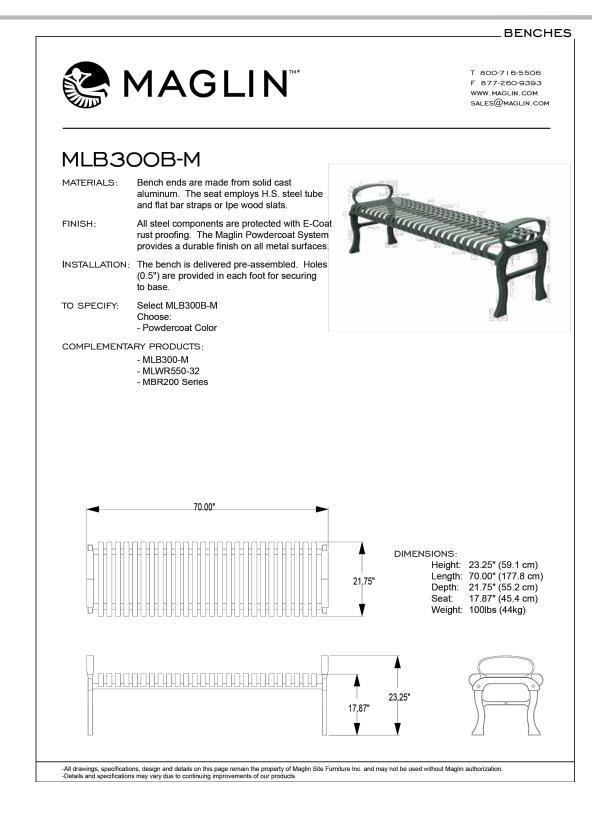
CONSULTANT



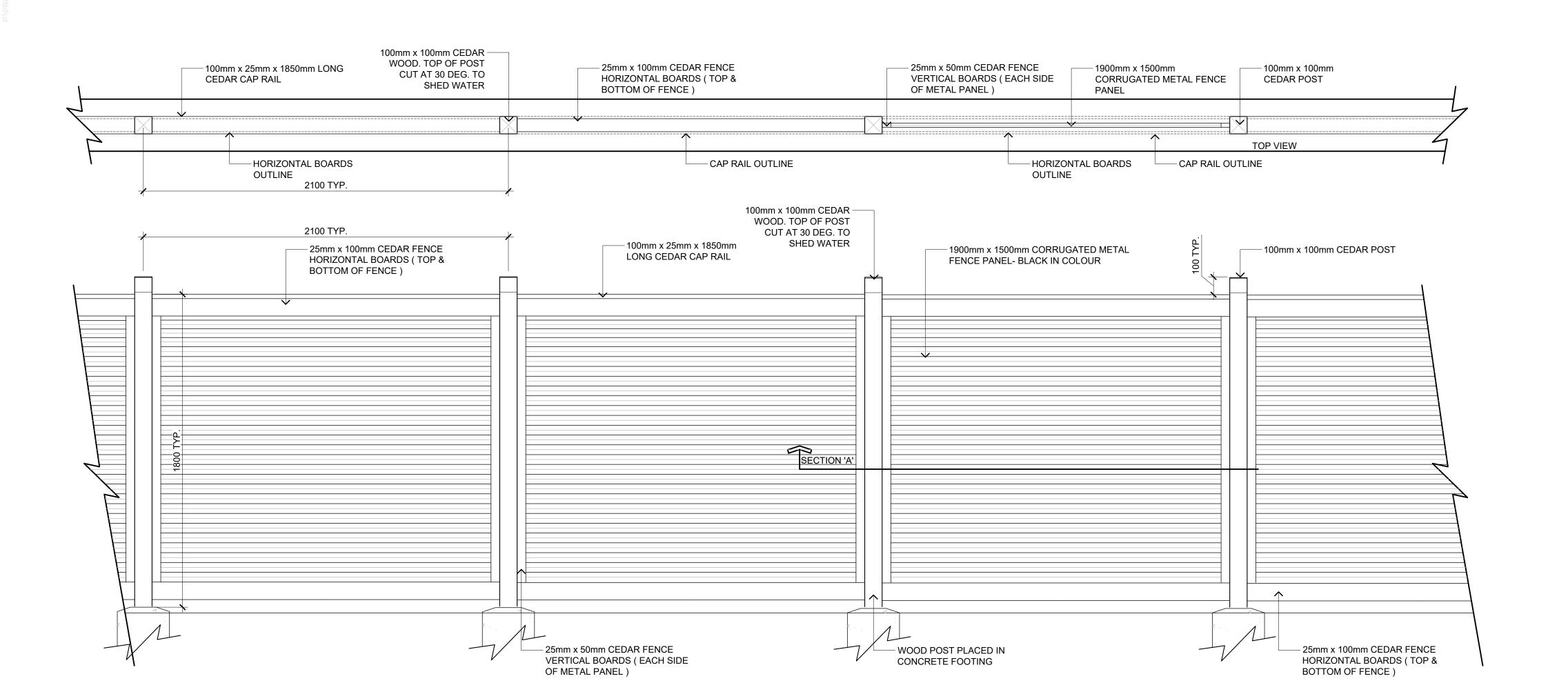




3 KEY BIKE RACK L-07 SCALE: N.T.S.







2 BENCH SEATING L-07 SCALE: N.T.S.



MODEL: RAISED PLANTER
SIZE: 6' L X 3' W X 3' H
SUPPLIER: ZOFF'S GREENHOUSE PLANTER

Install as per manufacturer's standard. Each planter requires the

manufacturer's staining package and poly liner.

6 CEDAR PLANTER L-07 SCALE: N.T.S.

AS SHOWN

5 1.8m HIGH FENCE L-07 SCALE: 1:15

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

1 CAROUSEL TABLE

L-07 SCALE: N.T.S.

THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANAD GROUP LTD. THE CONTRACTOR SHALL CHECK AND VERRY ALL DIMENSIONS AND UTILITY LOCATIONS AND IMMEDIATELY REPORT ANY ERRORS OR OMISSIONS TO CANADA GROUP LTD. (DO NOT SCALE DRAWINGS)

THIS DRAWING SUPERSEDES PREVIOUS ISSUES.

DISCLAIMER

BY USING OR REFERENCING THIS DIGITAL DATA, THE RECIPIENT OR THEIR SUB-CONTRACTOR(S) WILL OBLIGE TO THE FOLLOWING TERMS:

CAD INFORMATION STORED IN ELECTRONIC FORM MUST NOT BE MODIFIED BY OTHER PARTIES, INTENTIONALLY OR OTHERWISE, WITHOUT NOTICE OR INDICATION SAID MODIFICATIONS TO WSP CANADA GROUP LIMITED (WSP.) WSP RESERVES THE RICHT TO REMOVE LIMITED SO THE TIS OWNERSHIP AND/OR INVOLVEMENT IN MATERIAL REPORT SAID THE TOP MY AND IT AND ITS PONSESSION THIS PARTIES, WILL NOICES OF ITS OWNERSHIP AND/OR INVOLVEMENT IN MATERIAL REPORT SAID THE TOP MY AND ITS PONSESSION THIS PARTIES IN SAID WAS ALL INDICES OF ITS OWNERSHIP AND/OR INVOLVEMENT IN MATERIAL REPORT SAID THE PARTIES IN THE PROPER PARTIES THE PARTIES AND THE INTERPROPER TO THE PARTIES AND

BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.

CLIENT
BC Housing

CONSULTANT

 ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")
 SEALED

 11
 24/11/22
 RESPONSE TO DDP COMMENTS
 RC

 10
 24/11/15
 ISSUED FOR TENDER
 RC

 9
 24/11/13
 ISSUED FOR COORDINATION
 RC

 8
 24/08/27
 ISSUED FOR BUILDING PERMIT
 RC

 NO.
 DATE
 DESCRIPTION
 BY

DESIGN BY

DRAWN BY

CHECKED BY

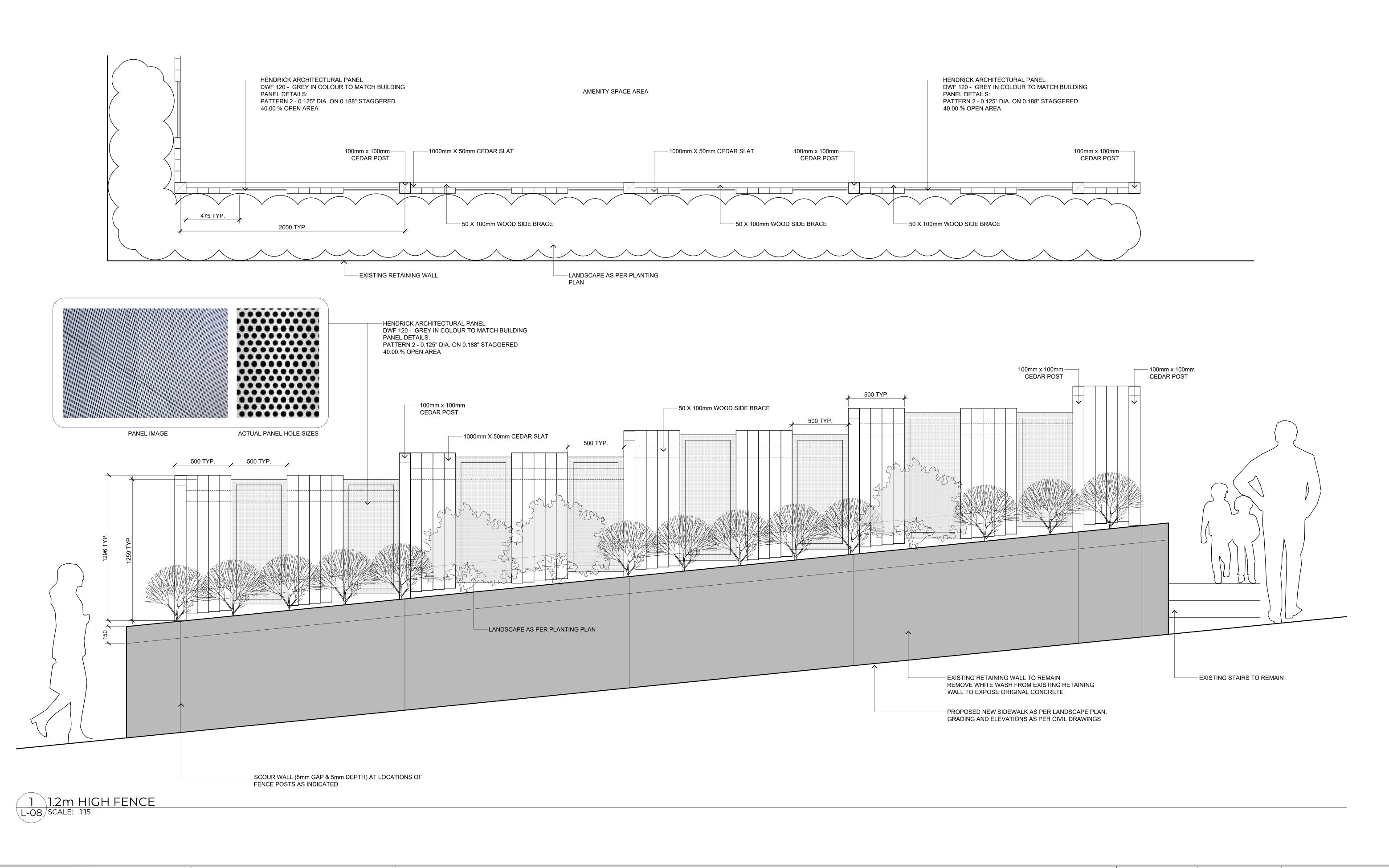
PROJECT # 211-01841-00

SCALE

SITE FURNISHING DETAILS
TC

O.

L-07



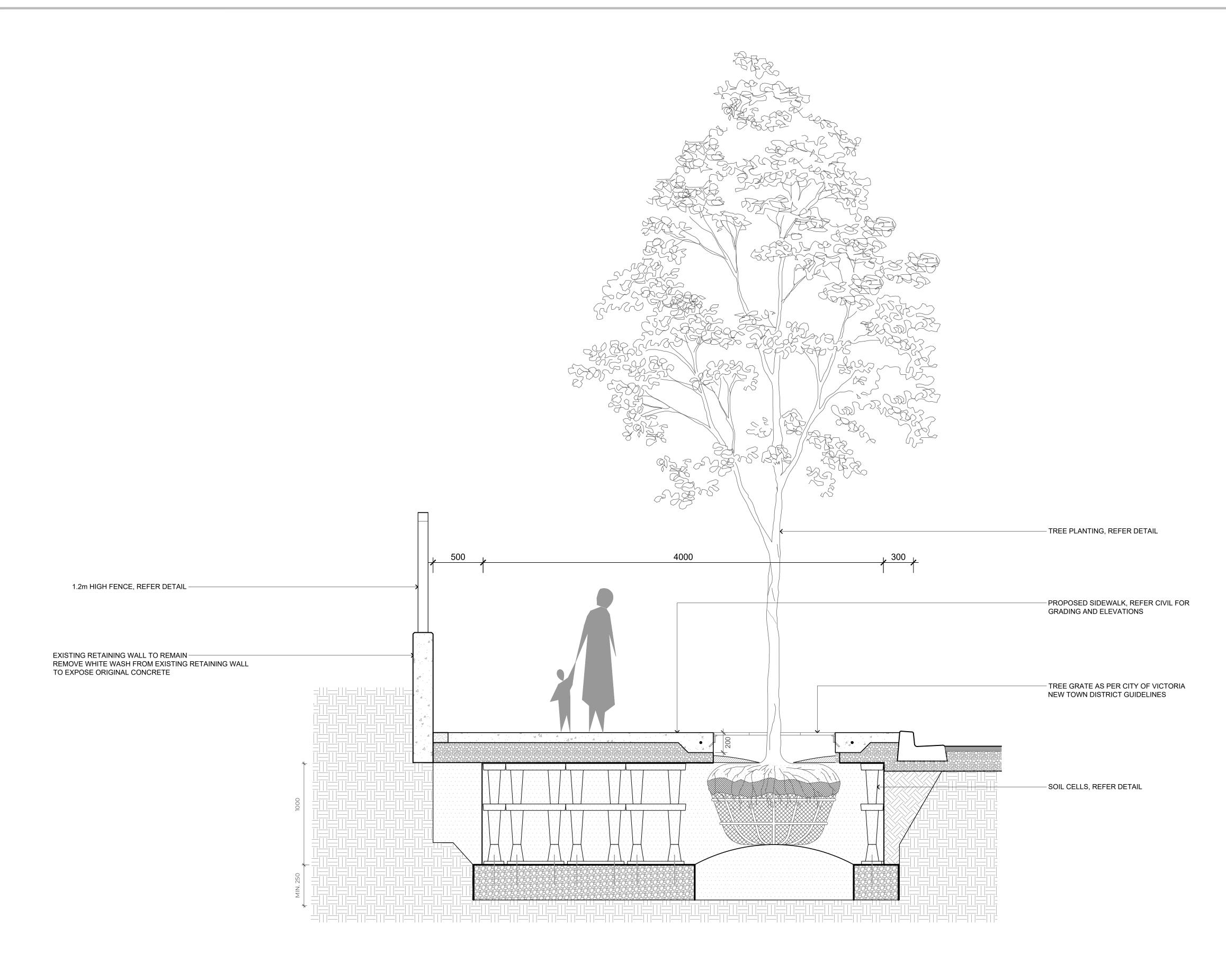
LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C. **BC Housing** CONSULTANT

SEALED ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36") RESPONSE TO DDP COMMENTS 24/11/15 ISSUED FOR TENDER 24/11/13 ISSUED FOR COORDINATION 8 24/08/27 ISSUED FOR BUILDING PERMIT NO. DATE DESCRIPTION

DESIGN BY MjH SHEET TITLE FENCING DETAILS DRAWN BY CHECKED BY PROJECT# 211-01841-00 SCALE AS SHOWN

L-08



1 SECTIONS - SOIL CELL LAYOUT L-09 SCALE: 1:20

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C. **BC Housing** CONSULTANT **WSP**

ORIG	ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")					
11	24/11/22	RESPONSE TO DDP COMMENTS	RC			
10	24/11/15	ISSUED FOR TENDER	RC			
9	24/11/13	ISSUED FOR COORDINATION	RC			
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC			
NO.	DATE	DESCRIPTION	BY			

DESIGN BY MjH SHEET TITLE SOIL CELL SECTION DRAWN BY CHECKED BY PROJECT# 211-01841-00 SHEET NO. SCALE L-09 AS SHOWN