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COVER SHEET

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22 | 243



DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2024.11.22

Design Team

CLIENT: BC Housing Sean Rorison PHONE: N/A EMAIL: srorison@bchousing.org	ARCHITECT: S2 Architecture Michael Defina PHONE: 403.670.7000 EMAIL: m.defina@s2architecture.com	LANDSCAPE: WSP Michael Holm PHONE: 604.631.9637 EMAIL: michael.holm@wsp.com	CIVIL: Lawson Engineering & Development Stuart Purves PHONE: 250.832.3220 EMAIL: stuart@lawsondevelopments.com	ELECTRICAL: HPF Engineering Neil Rogers PHONE: 250.828.7992 EMAIL: neal@hpfengineering.com	MECHANICAL: Falcon Engineering Loic Letailleur PHONE: 778.313.0407 EMAIL: loic.letailleur@falcon.ca
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S2ARCHITECTURE



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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

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DATE	11/22/2024 10:32:04 AM
DRAWN BY	MD/AN/KM
CHECKED BY	CZ

DRAWING NO.	DP0.0
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Municipal Address

722 and 726 DISCOVERY STREET
VICTORIA, B.C.
CANADA

Legal Address

LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151

By-Law Zoning

CURRENT ZONING: R-108 MULTIPLE DWELLING
PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary

SITE AREA: 1,348.6m² (0.33 ac)
PROPOSED BUILDING FOOTPRINT: 573.00 m²
PROPOSED BICYCLE ENCLOSURE: 62.00 m²
TOTAL FOOTPRINT: 635.00m²

Site Coverage

SITE AREA: 1,348.6m² (0.33 ac)
SITE COVERAGE: 613.00m² (45.4%)
OPEN SITE SPACE: 735.6m² (54.6%)

By-Law Setback

PROPOSED BUILDING SETBACKS
FRONT (DISCOVERY STREET): 10.0m
REAR (NORTH): 4.0m
SIDE (EAST): 2.5m
SIDE (WEST): 3.0m

Proposed Development

REST HOME - CLASS C (SUPPORTIVE HOUSING)
BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE:
BUILDING 'C': GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height

MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m
MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT:
• PARAPETS: 1.0m
• ROOFTOP STRUCTURES: 5.0m
PROPOSED BUILDING HEIGHT: +/-27.0m
PROPOSED PARAPET HEIGHT: +/-1.0m
PROPOSED ROOFTOP STRUCTURES: +/-2.1m
TOTAL PROPOSED BUILDING HEIGHT: 29.4m

Floor Space Ratio

MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.
3.5	3.34

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	GFA (SQM)
LEVEL 1	613
LEVEL 2	581
LEVEL 3	581
LEVEL 4	581
LEVEL 5	581
LEVEL 6	581
LEVEL 7	581
LEVEL 8	581
TOTAL GFA	4,680

Dwelling Unit Count

UNIT SUMMARY				
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL
A1/A2	STUDIO	33-36	74	82%
A3	ACCESSIBLE STUDIO	34	8	8%
A3	ADAPTABLE STUDIO	34	8	8%
TOTAL			90	100.0%

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	UNIT COUNT	AREA (m2)	FACTOR	REQUIRED	PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m2	1	0
TOTAL PARKING				28	0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.

NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPORTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

RESIDENTIAL - LONG TERM PARKING					
DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90		1 PER UNIT	90	30

NOTE: LONG TERM PARKING COUNT INCLUDES:
25 WALL MOUNTED BIKE STALLS
5 FLOOR MOUNTED BIKE STALLS

RESIDENTIAL - SHORT TERM PARKING					
DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90		0.1	9	9

Waste & Recycling Requirements

SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

- 4yd³ WASTE BIN
- 4yd³ RECYCLE BIN
- TWO 189L ORGANICS BINS

NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.



1 Looking North-West
DP0.1



2 Looking North
DP0.1



3 Looking North-East
DP0.1



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PROJECT STATISTICS & SITE PHOTOS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22 | 243

NOT FOR
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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE 1 : 50
DATE 11/22/2024 10:32:15 AM
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DP0.1

Project: 4-15-2022 5:24 PM User: Hugo Chisholm

ISS#	REV	DATE	DESCRIPTION	DRN	CHK
1	0	2022-04-18	RESOLVED LOT BOUNDARIES	MLE	HC
0	0	2022-03-09	ORIGINAL PLAN PREPARED	MLE	HC

CLIENT:	BC HOUSING MANAGEMENT COMMISSION
CLIENT REF. NO:	



795 Market Street
Victoria, BC • V8T 0B4
t: 250-342-9767 • www.geoverra.com

PROJECT:	722 & 726 DISCOVERY STREET VICTORIA, BC
PROJECT NO:	22-00605
SCALE:	As-Noted
DISCIPLINE:	GEOMATICS

TITLE:	TOPOGRAPHIC SURVEY
DRAWING NO:	22-00605-001-TOPO01-R1
SHEET NO:	1 OF 1



Site Survey - General Notes

1 THIS DRAWING IS FOR REFERENCE ONLY. S2 ARCHITECTURE TAKES NO RESPONSIBILITY FOR ANY DISCREPANCIES FOUND

4 2 0 4 8 12

The intended plot size of this plan is 594mm in width by 420mm in height (ISO A2 size) when plotted at a scale of 1:200

All distances are in metres and decimals thereof.

LEGEND

- denotes catchbasin
- denotes catchbasin/manhole
- denotes drain
- denotes sewer manhole
- denotes water manhole
- denotes water valve
- denotes curb stop
- denotes water vault
- denotes gas meter
- denotes hydro pole
- denotes hydro pole with light
- denotes hydro pole with transformer
- denotes lamp pole
- denotes sign
- denotes fence
- denotes non-mountable curb
- denotes curb letdown
- denotes edge of pavement
- denotes edge of gravel
- denotes center line of road
- denotes building overhang
- denotes overhead wire
- denotes building outline
- denotes deciduous tree, species and diameter
- denotes spot elevation
- denotes property line

Legal Description:
LOT 755 VICTORIA CITY (PID: 009-382-151)
LOT 756 VICTORIA CITY (PID: 009-382-232)

Date of Field Survey: February 28, 2022.

Contour interval = 0.2 m.

Elevations are to geodetic datum, derived from geodetic control monument 17-3. Published Elevation = 7.987m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Overhead lines are diagrammatic only and may not include all connections.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

Certified Correct this 18th day of April, 2022

Geoffrey Hobbs
QUCXHE

Digitally signed by Geoffrey Hobbs QUOXHE
Date: 2022.04.18 10:18:32 -0700

G.M. Hobbs, BCLS 752

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SITE SURVEY

DISCOVERY STREET SUPPORTIVE HOUSING

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BC HOUSING

221243

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REVISION	DATE
4	DP RE-SUBMISSION 07.04.2023
5	ISSUED FOR SCHEMATIC TENDER 07.10.2023
10	LAND USE & D.P. SUBMISSION 04.29.2022

SCALE 1:1

DATE 11/22/2024 9:54:39 AM

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CHECKED BY CZ

DRAWING NO.

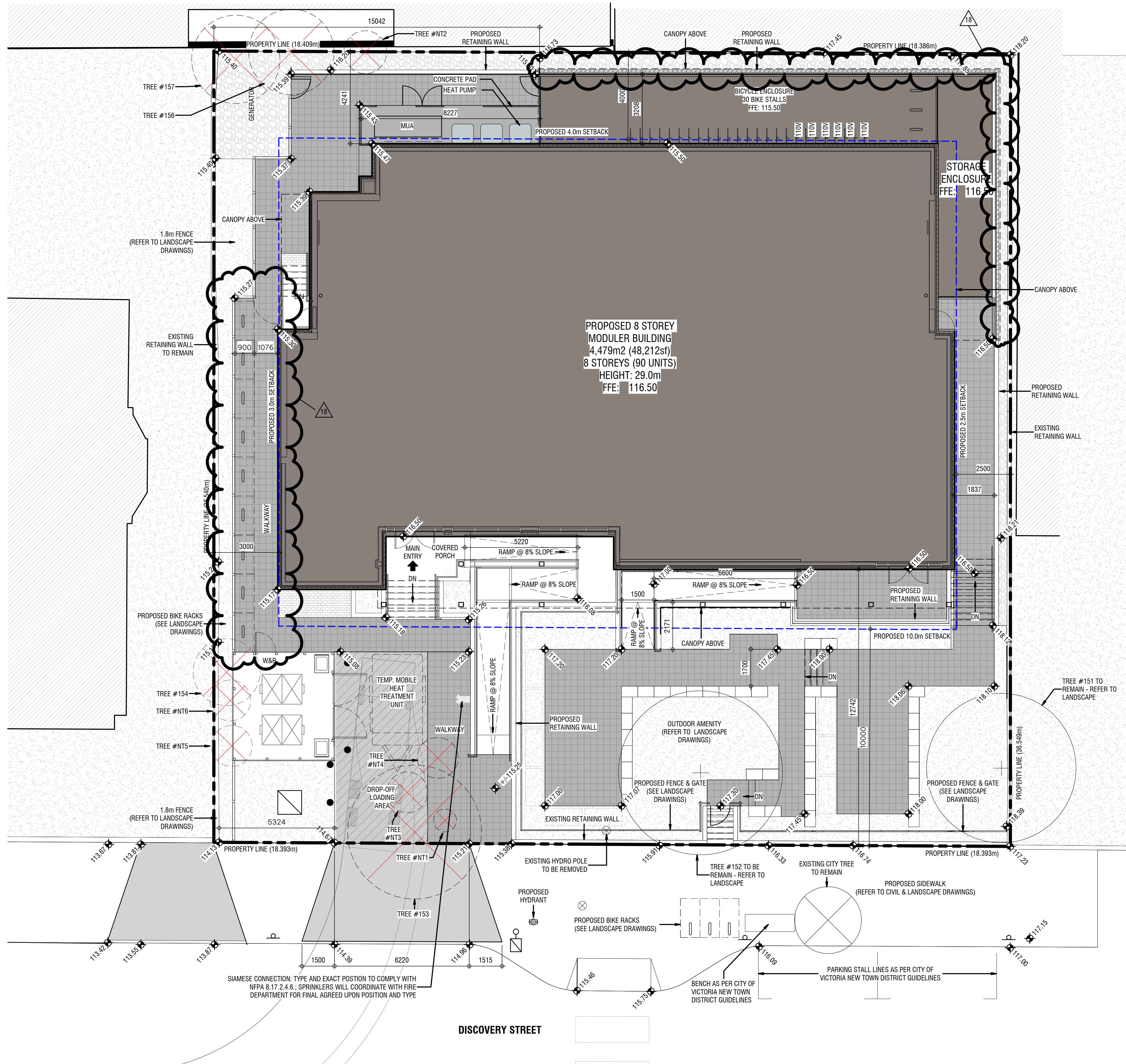
DP0.3

Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

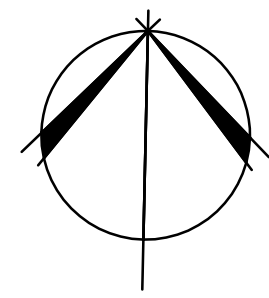
Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY
- INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS



1 Site Plan

DP1.0 SCALE: 1:100



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SITE PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/24/3

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18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE As Indicated
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DP1.0

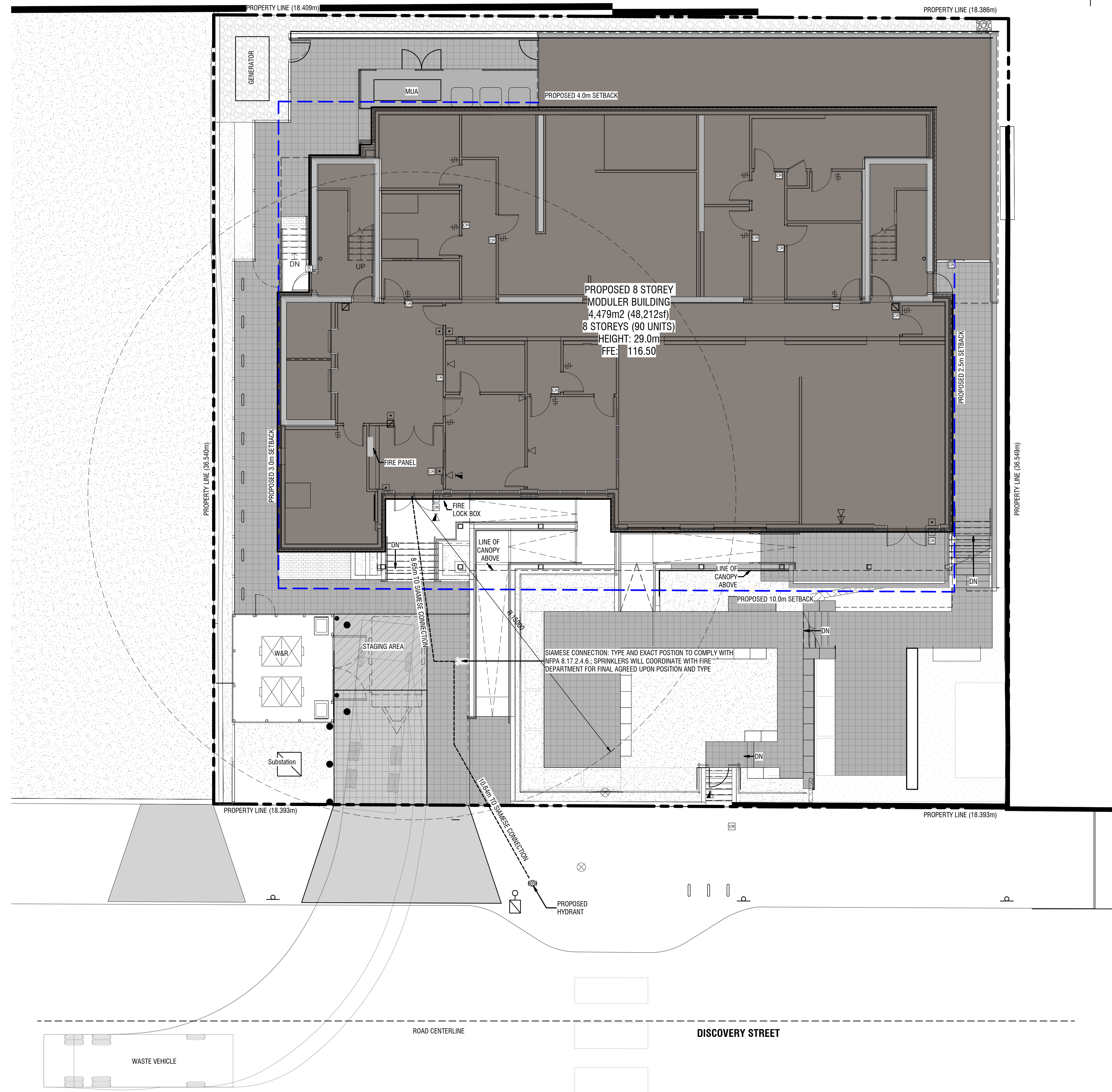
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Site Plan - General Notes

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2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

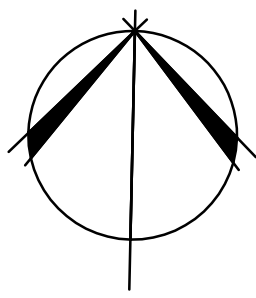
Site Plan - Symbol Legend

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1 Site Access Plan

DP1.1 SCALE: 1:100



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W&R ACCESS AND FIRE CONNECTION PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

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REVISION	DATE
6 RE-ISSUED FOR DEVELOPMENT PERMIT	09.18.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE	As Indicated
DATE	11/22/2024 10:18:37 AM
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DP1.1

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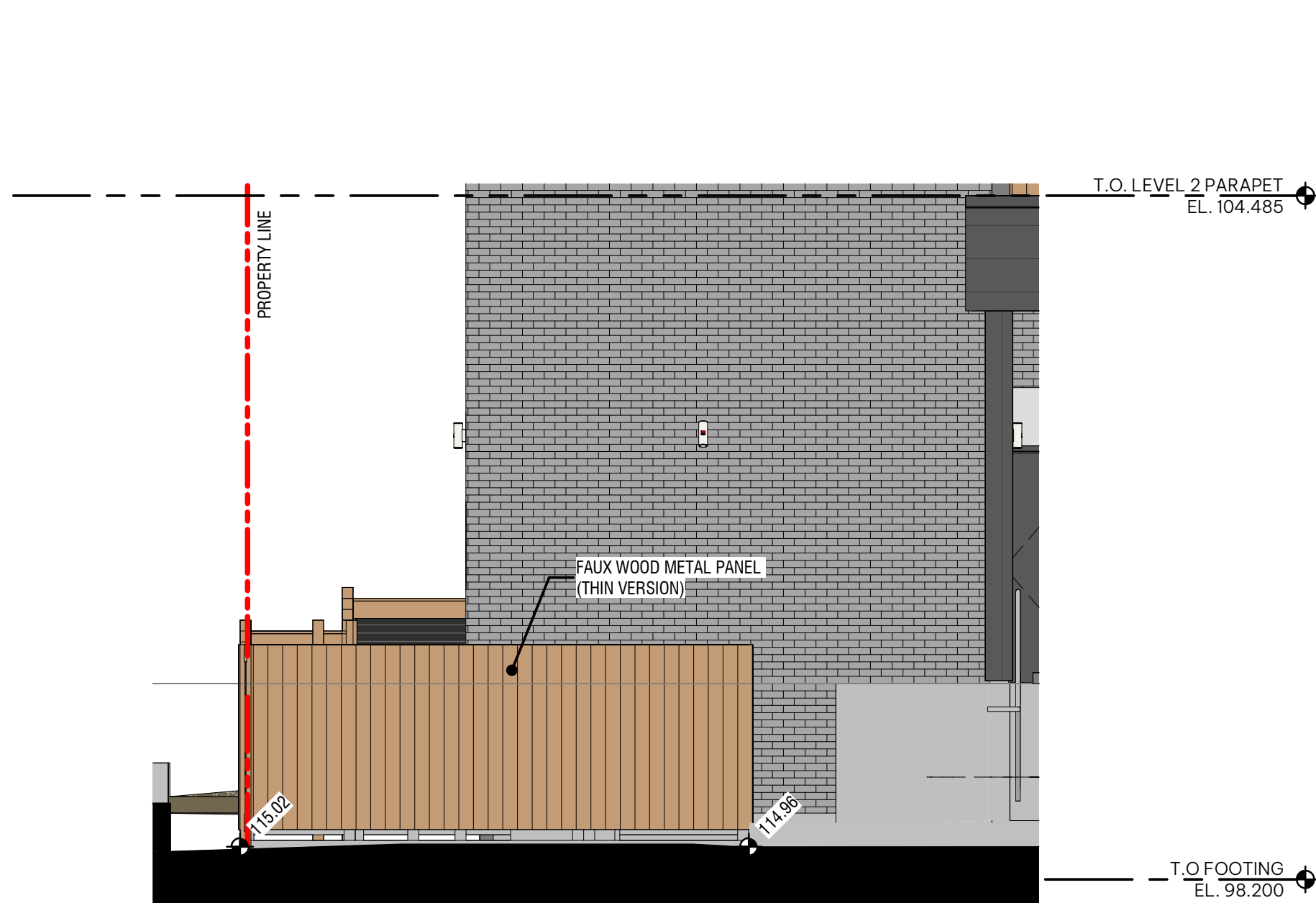
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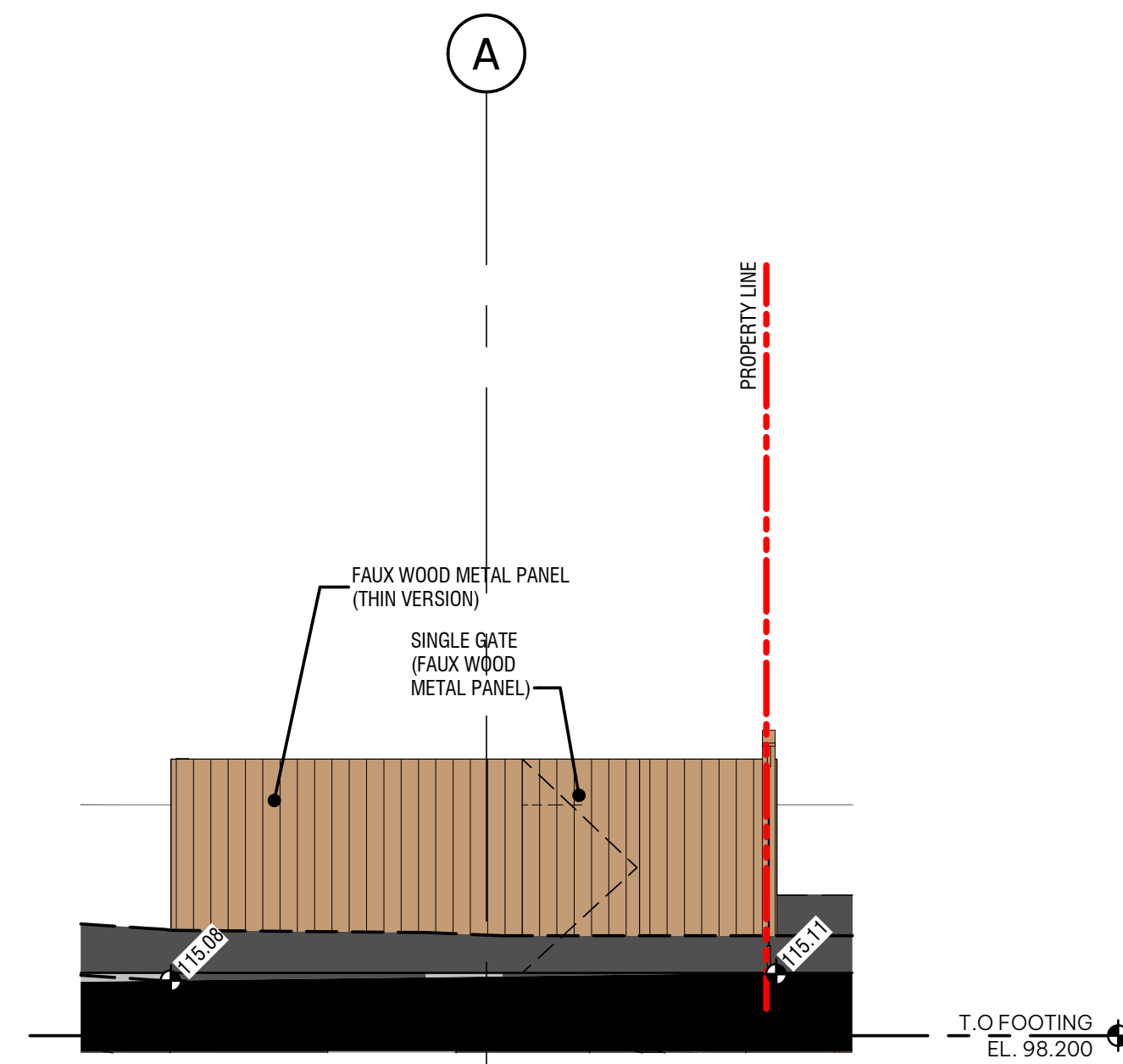
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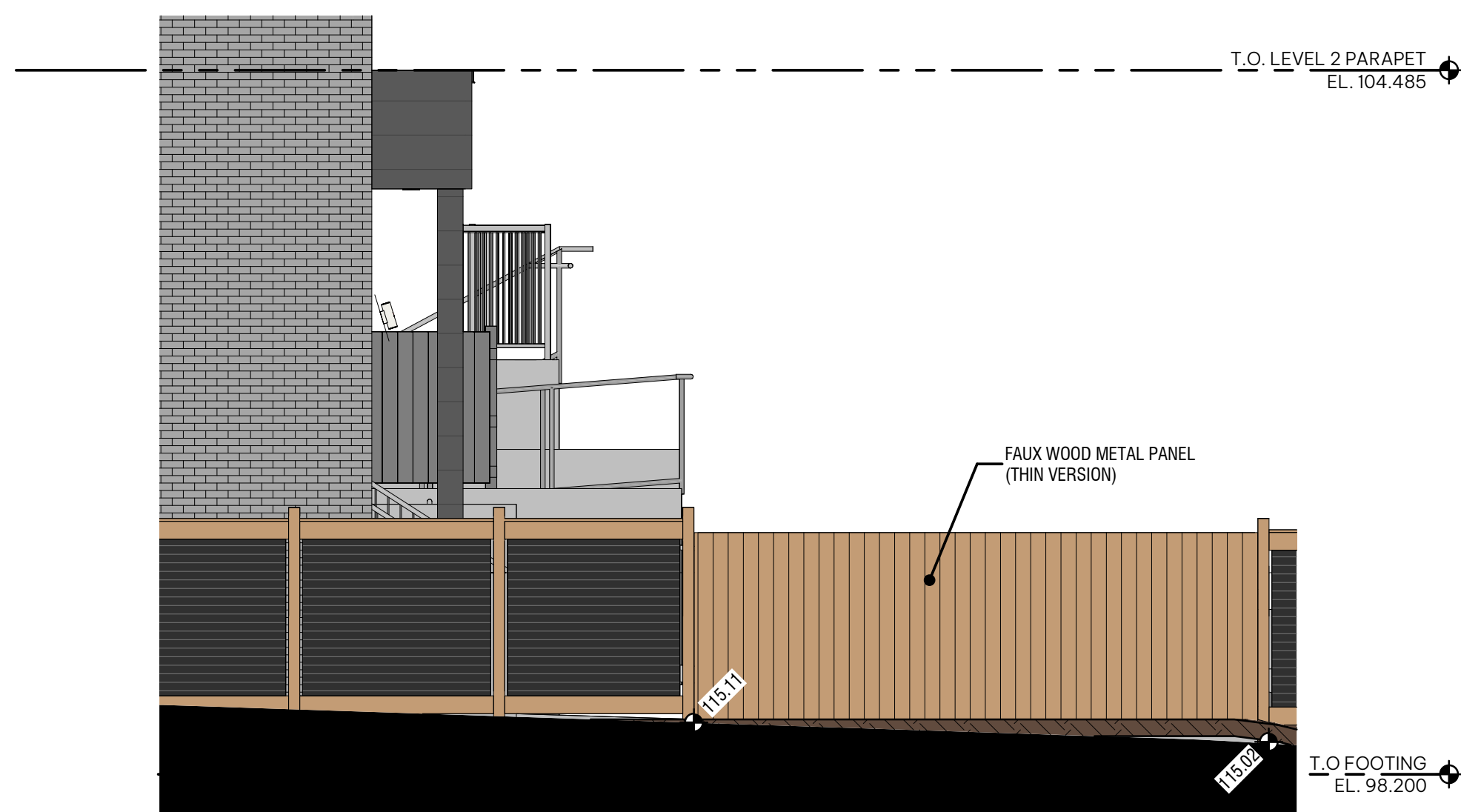
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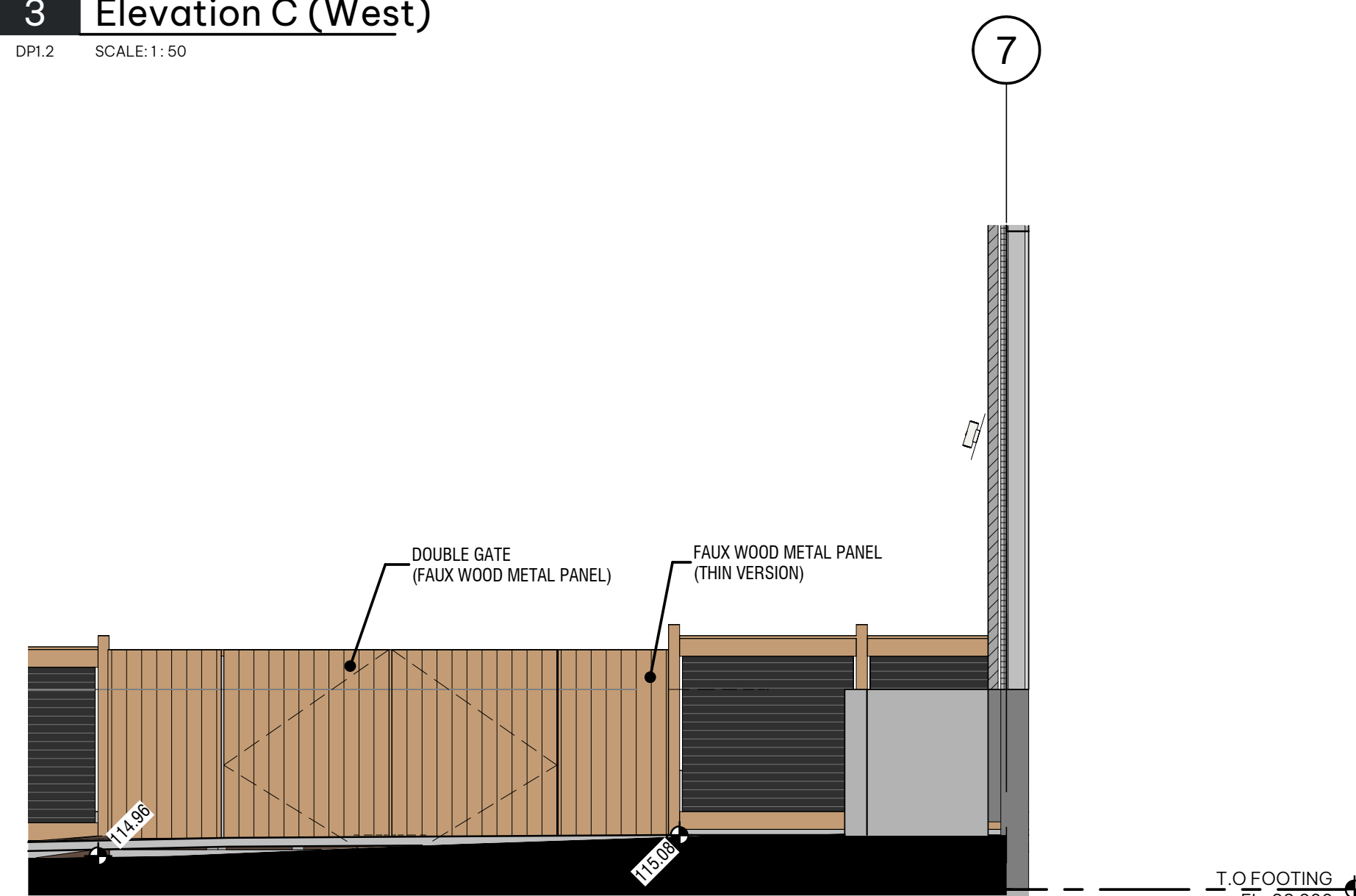
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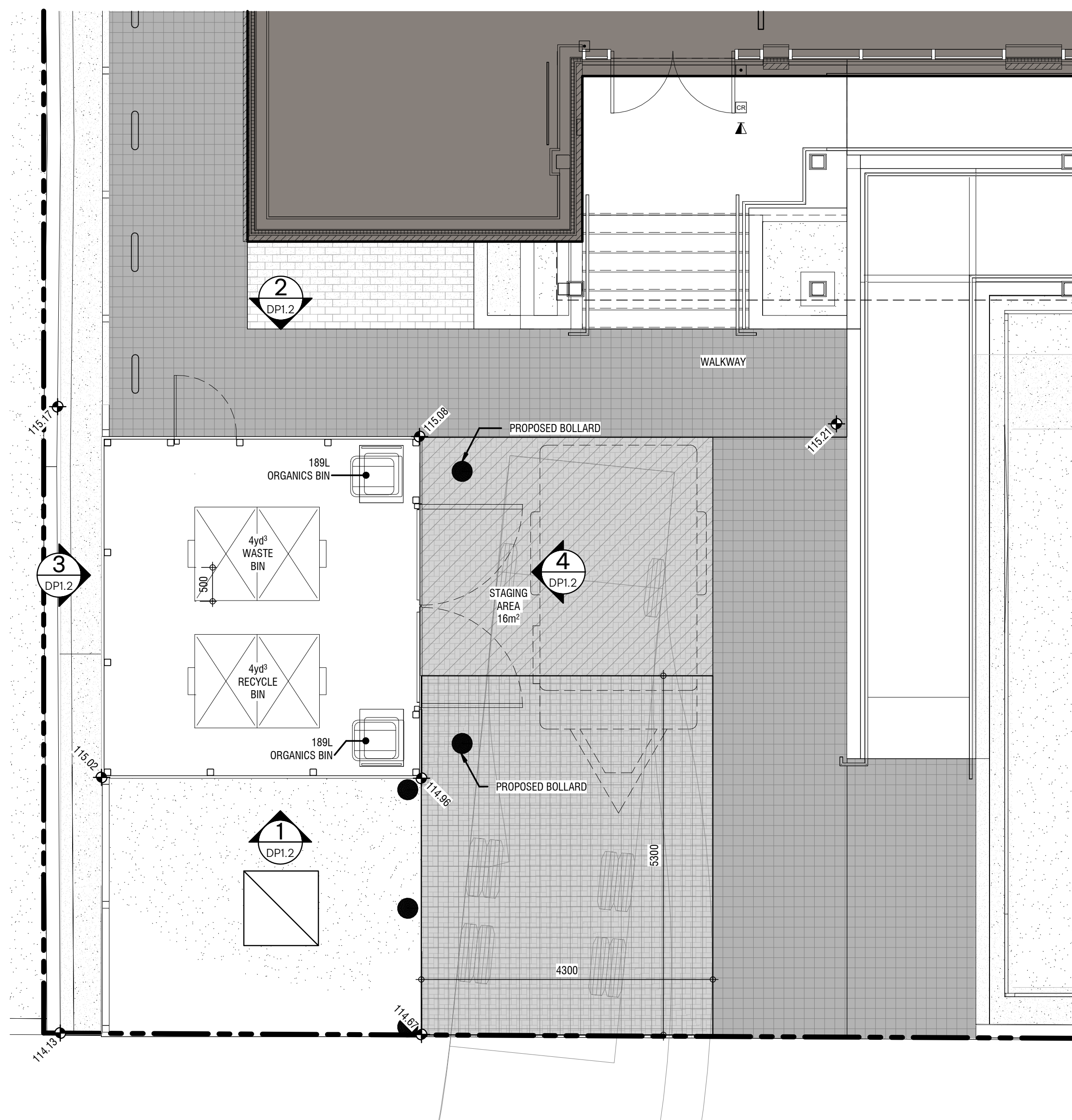
3 Elevation C (West)

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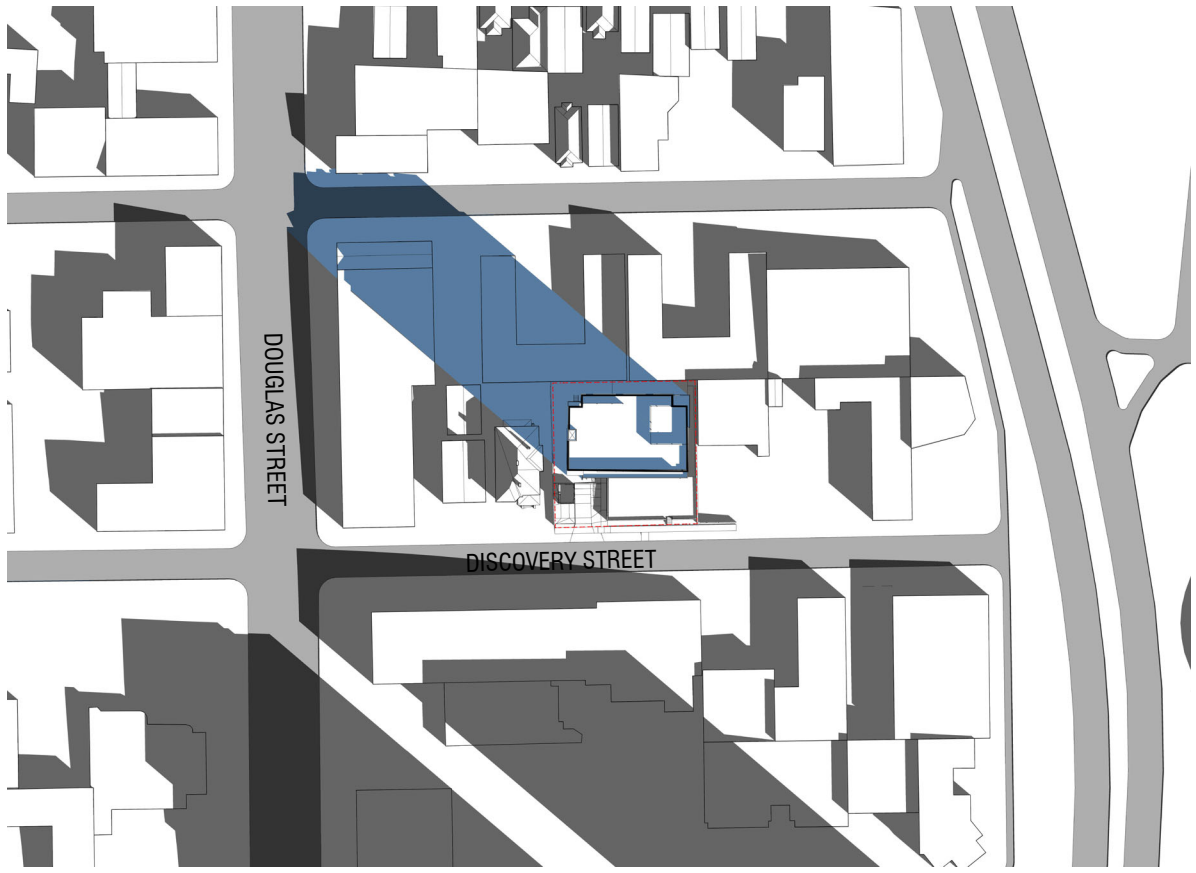
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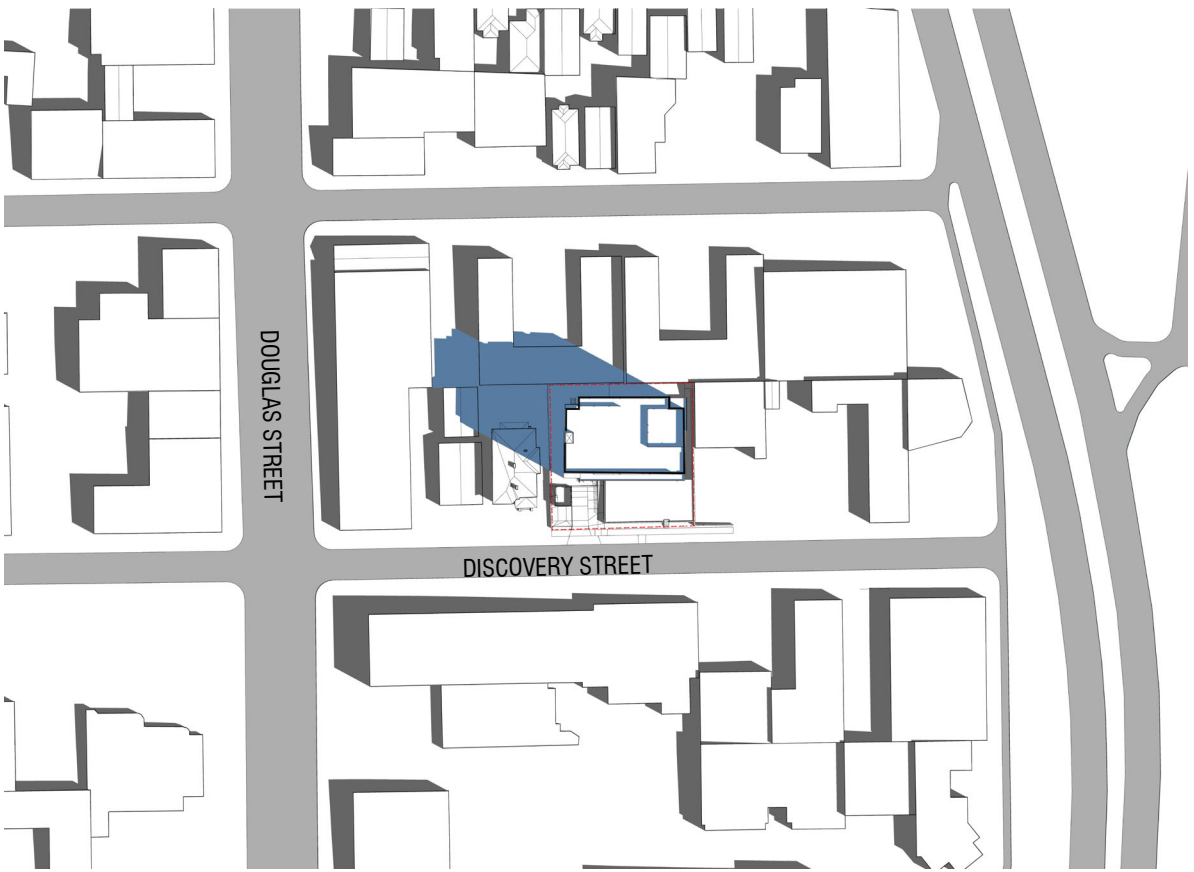


5 Enlarged W&R & Bicycle Enclosure

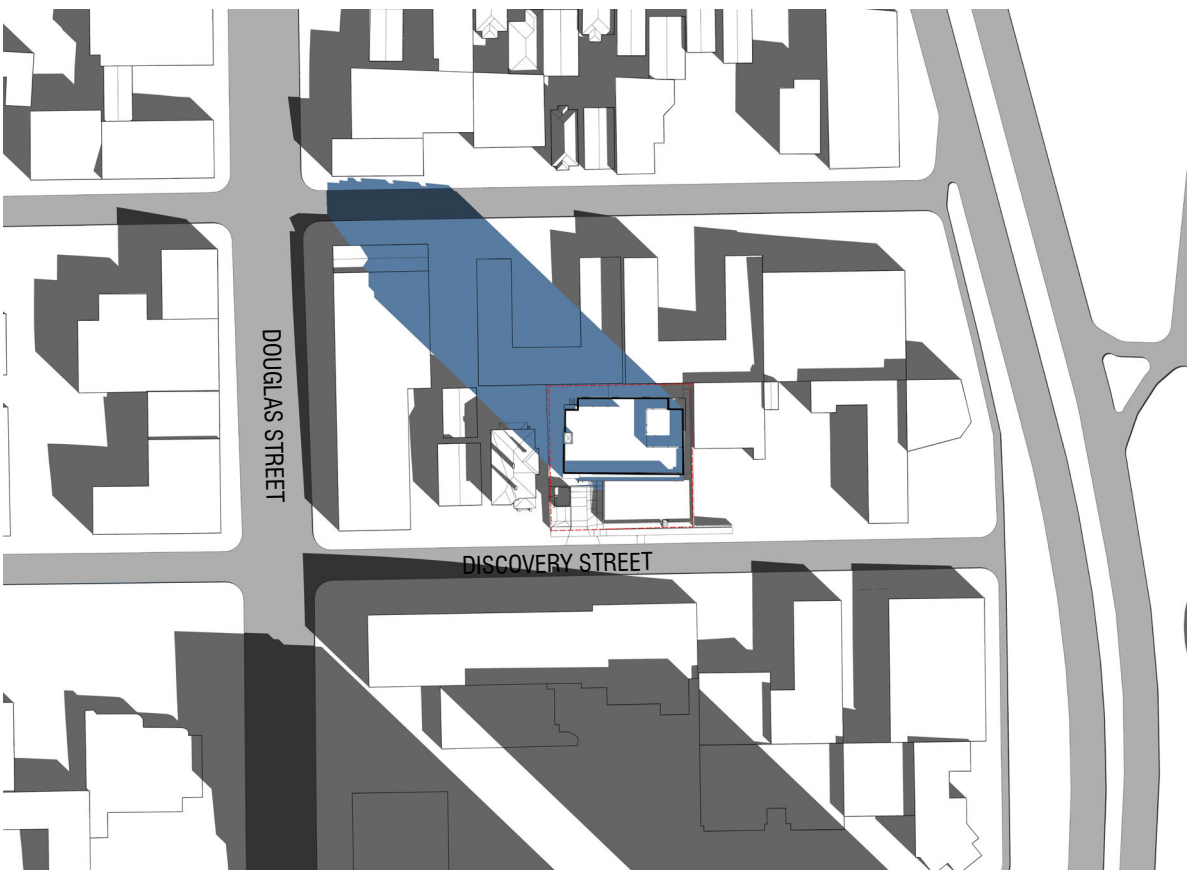
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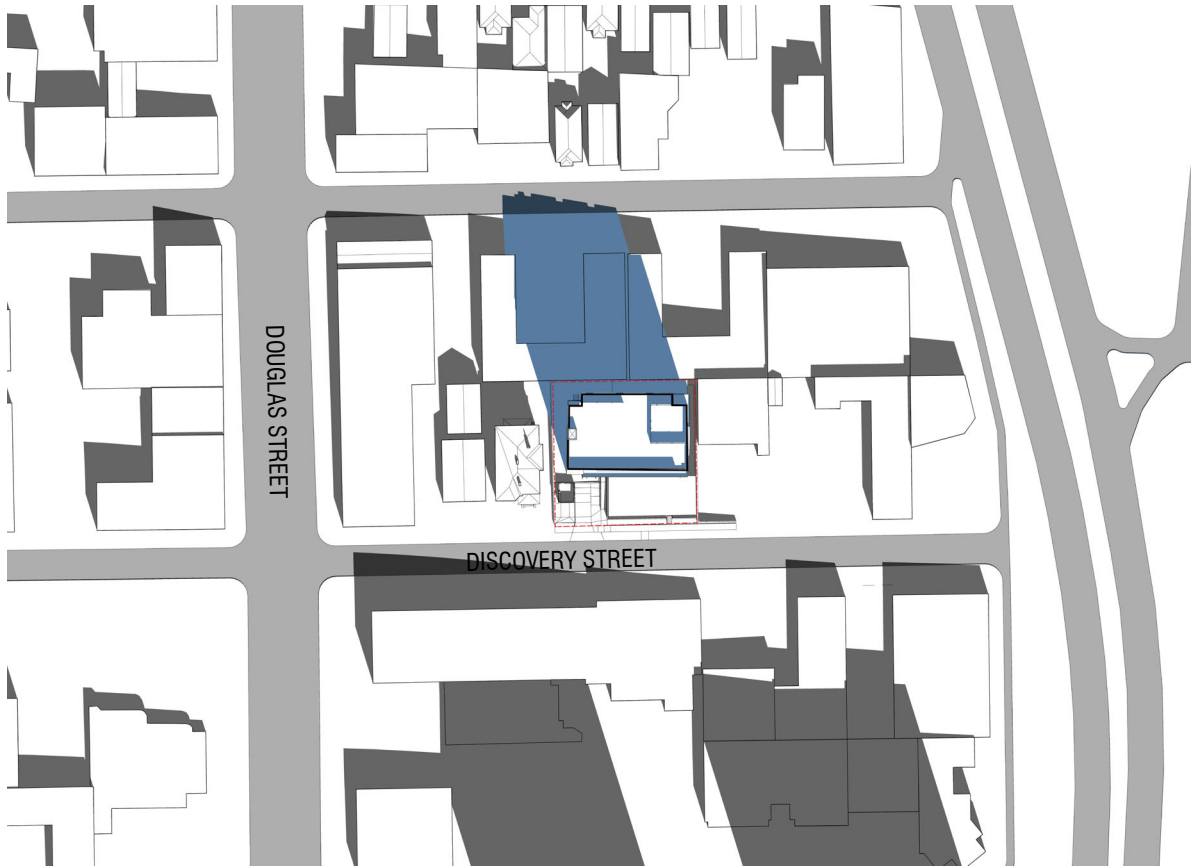
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JUNE 21 - 10:00 AM



SEPTEMBER 21 - 10:00 AM



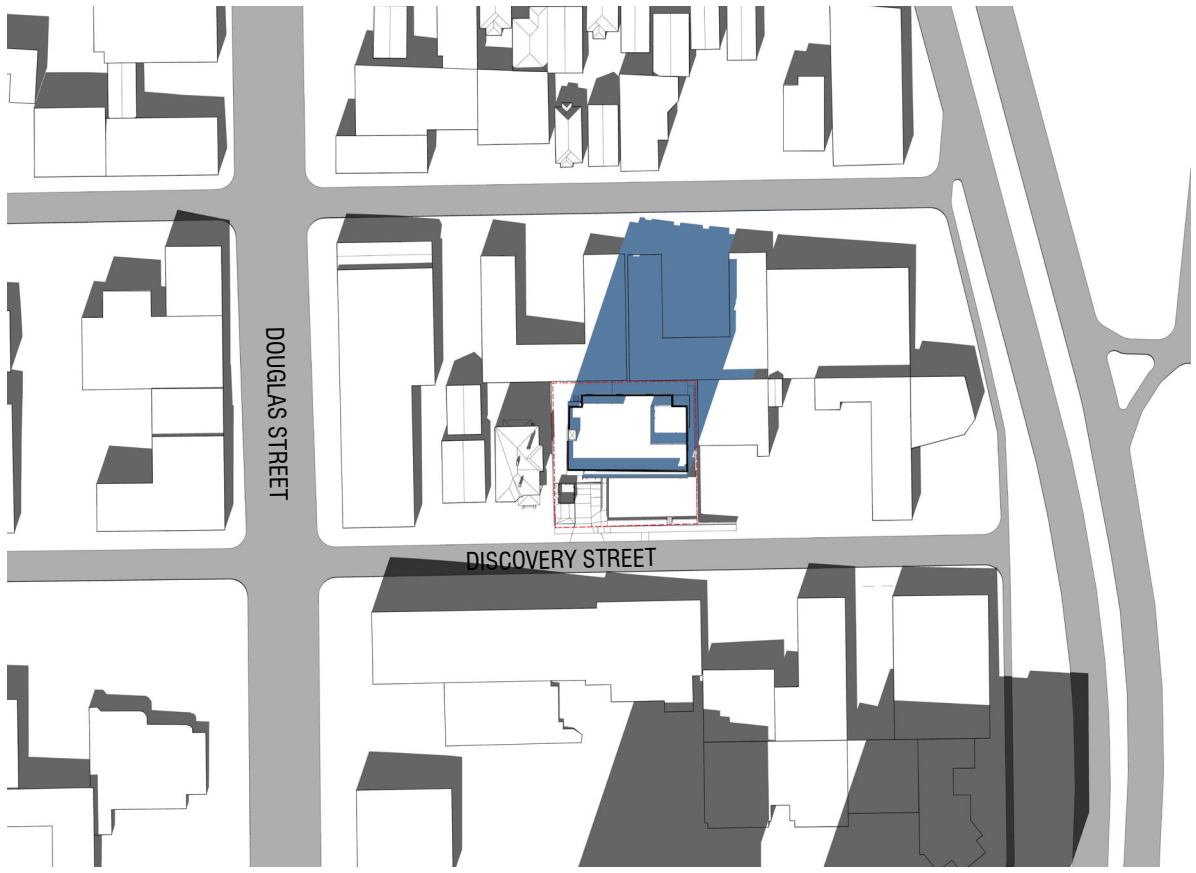
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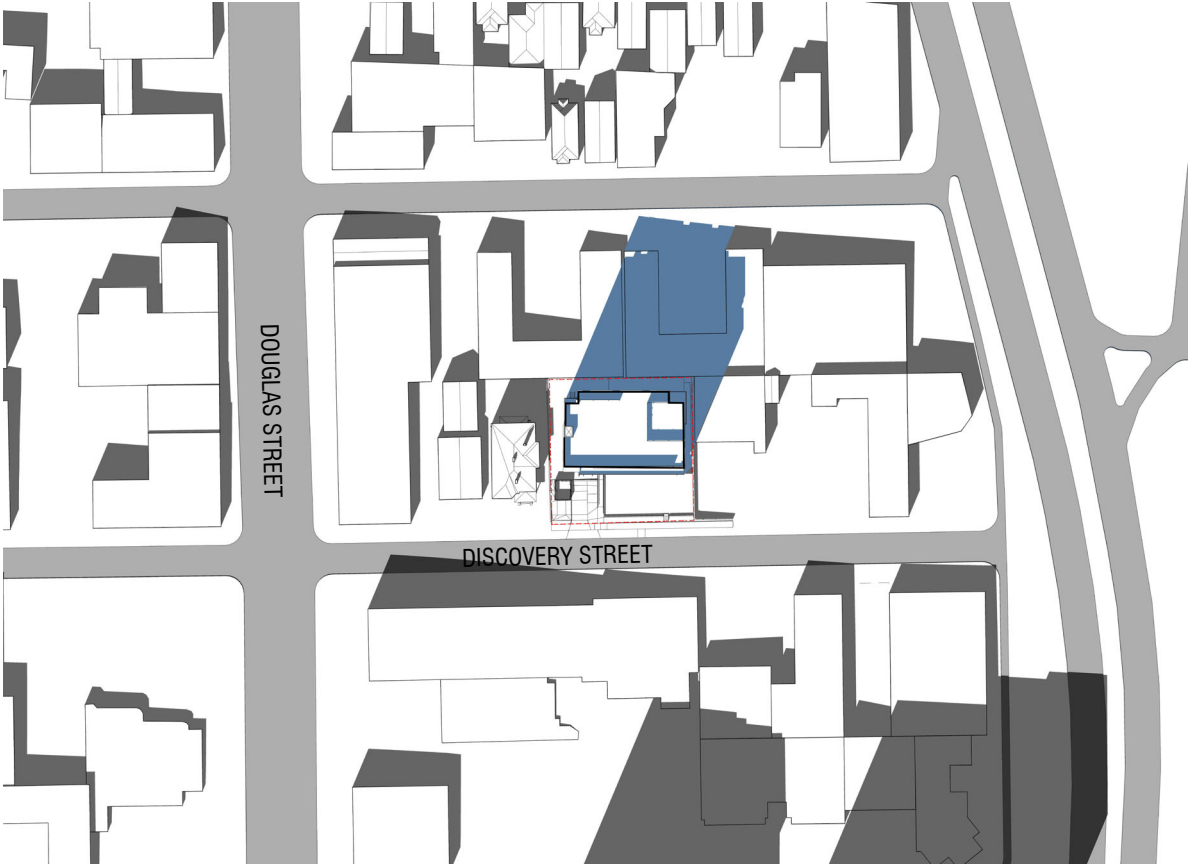
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MARCH 21 - 2:00 PM



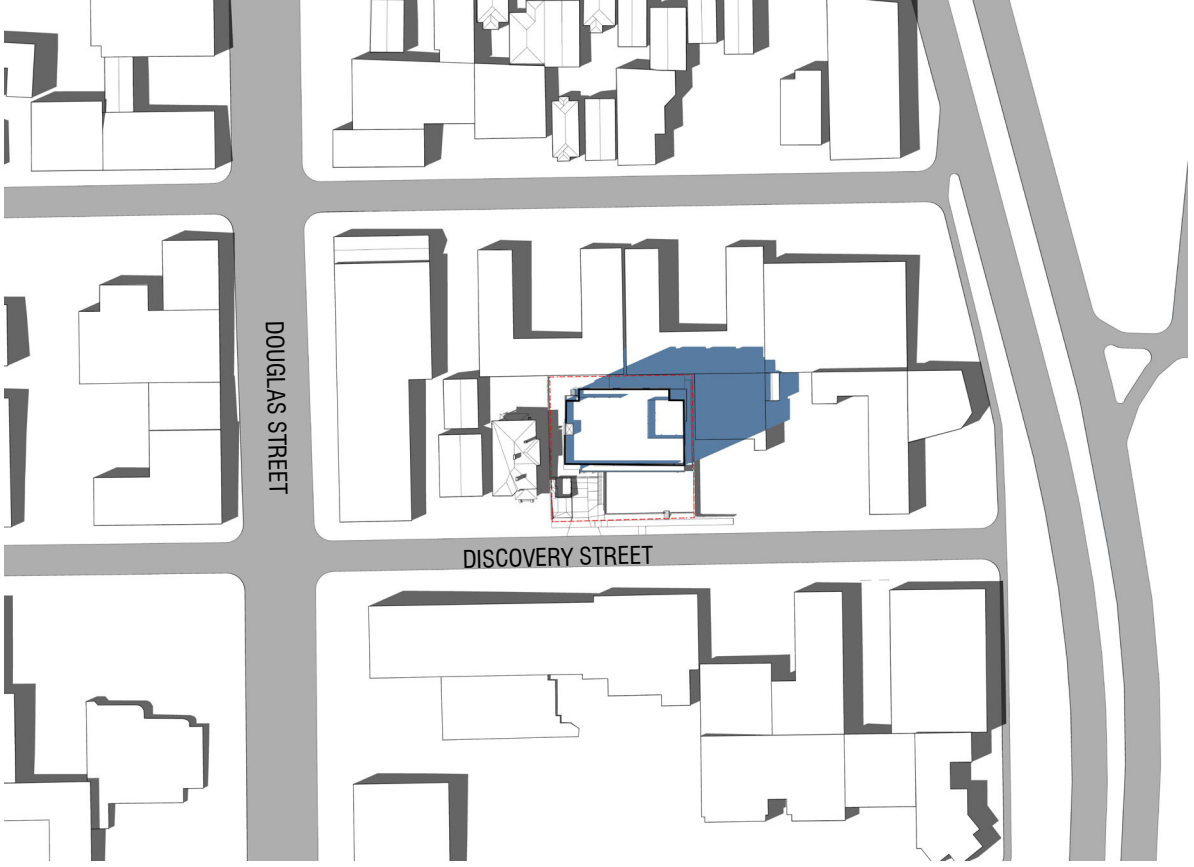
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SEPTEMBER 21 - 2:00 PM



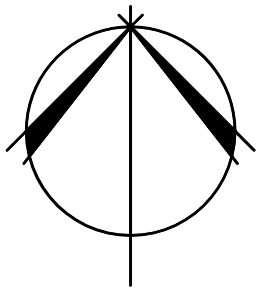
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JUNE 21 - 4:00PM



SEPTEMBER 21 - 4:00PM



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SHADOW STUDY

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

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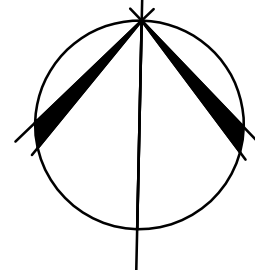
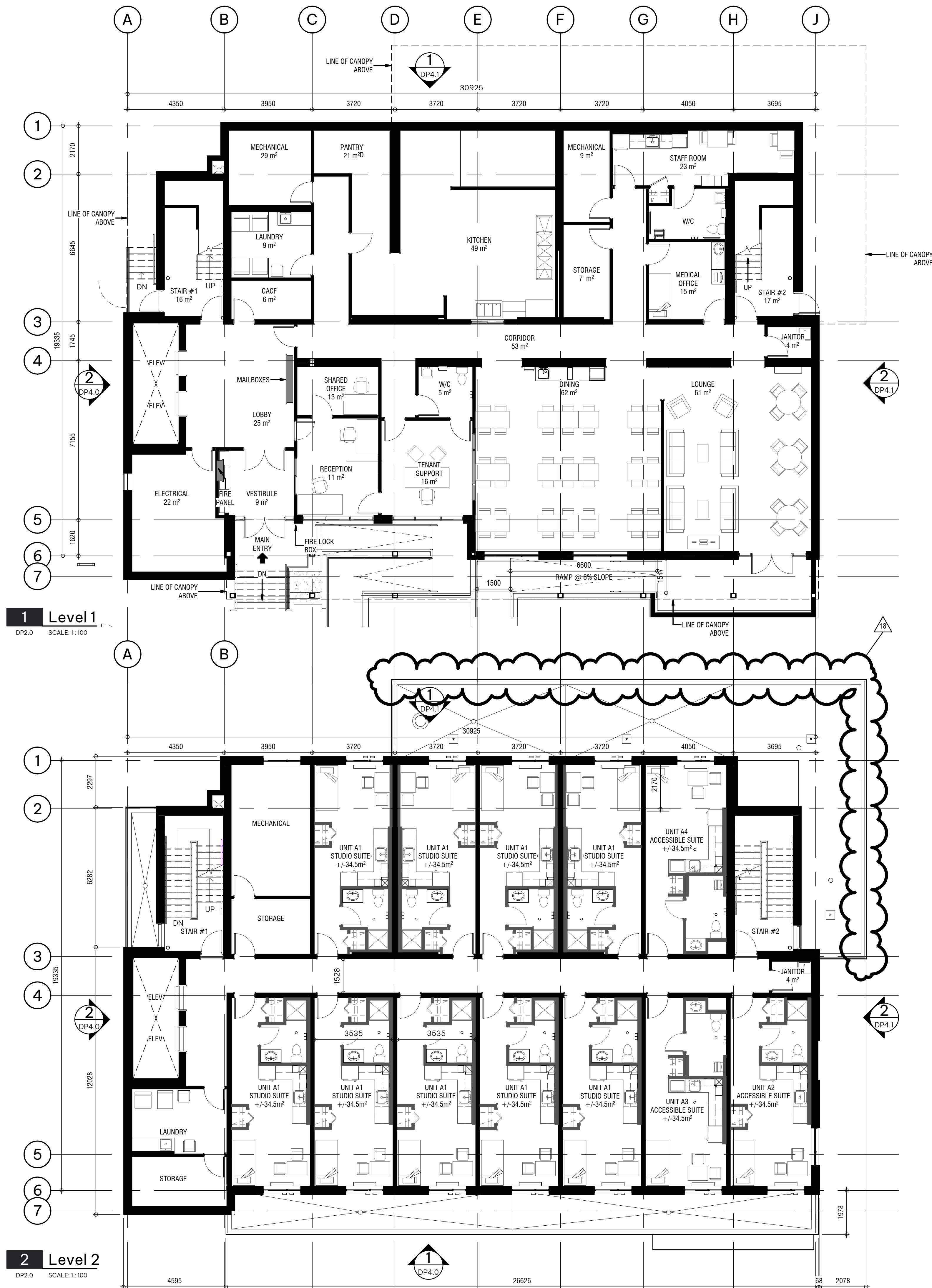
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4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE	
DATE	11/22/2024 10:06:42 AM
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CHECKED BY	CZ

DRAWING NO.	DP1.4
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LEVEL 1 & 2 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/24/3

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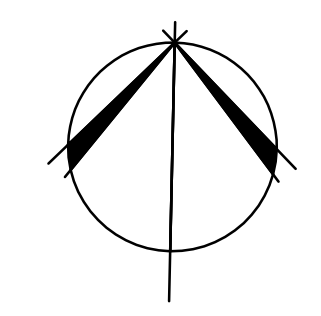
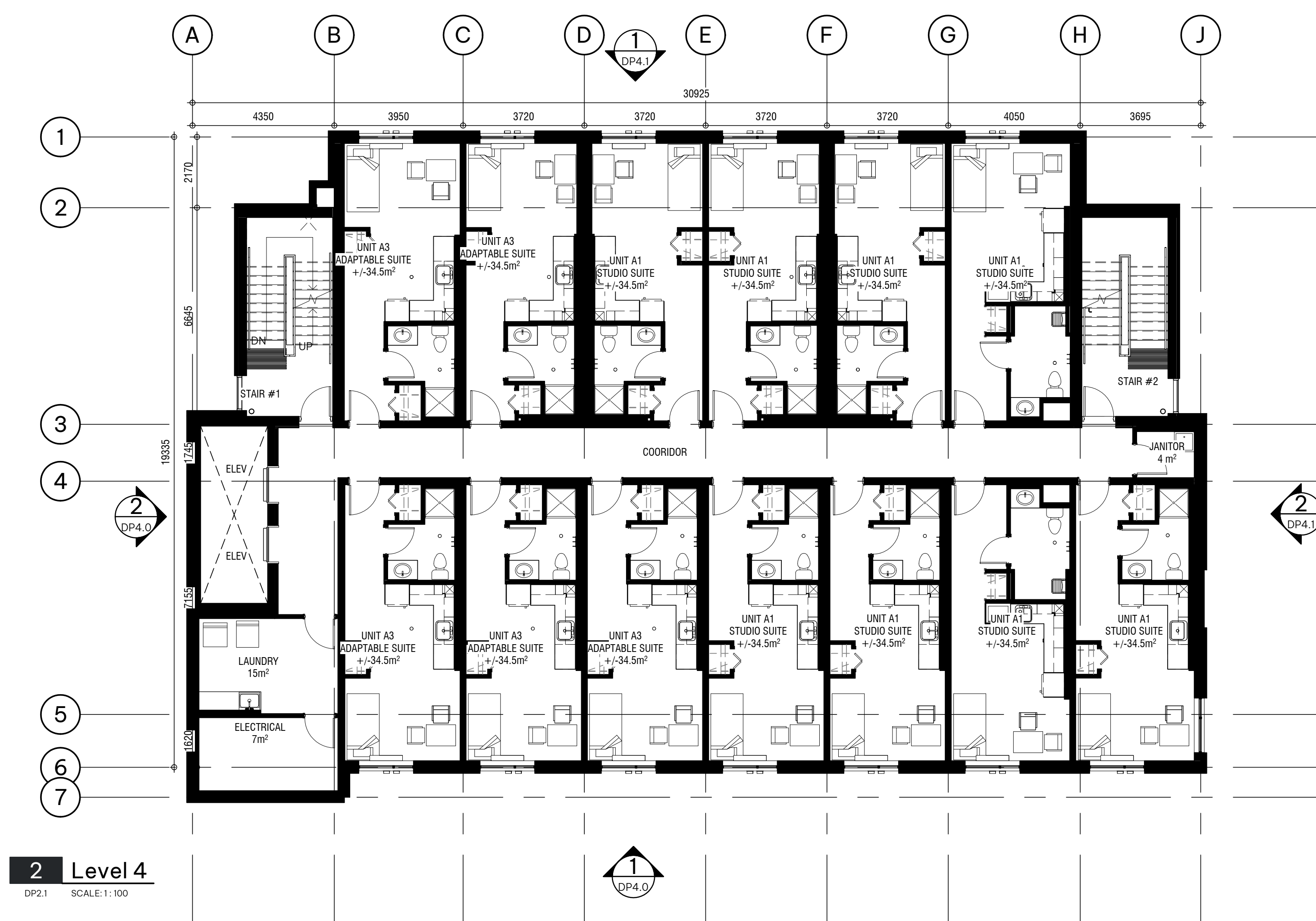
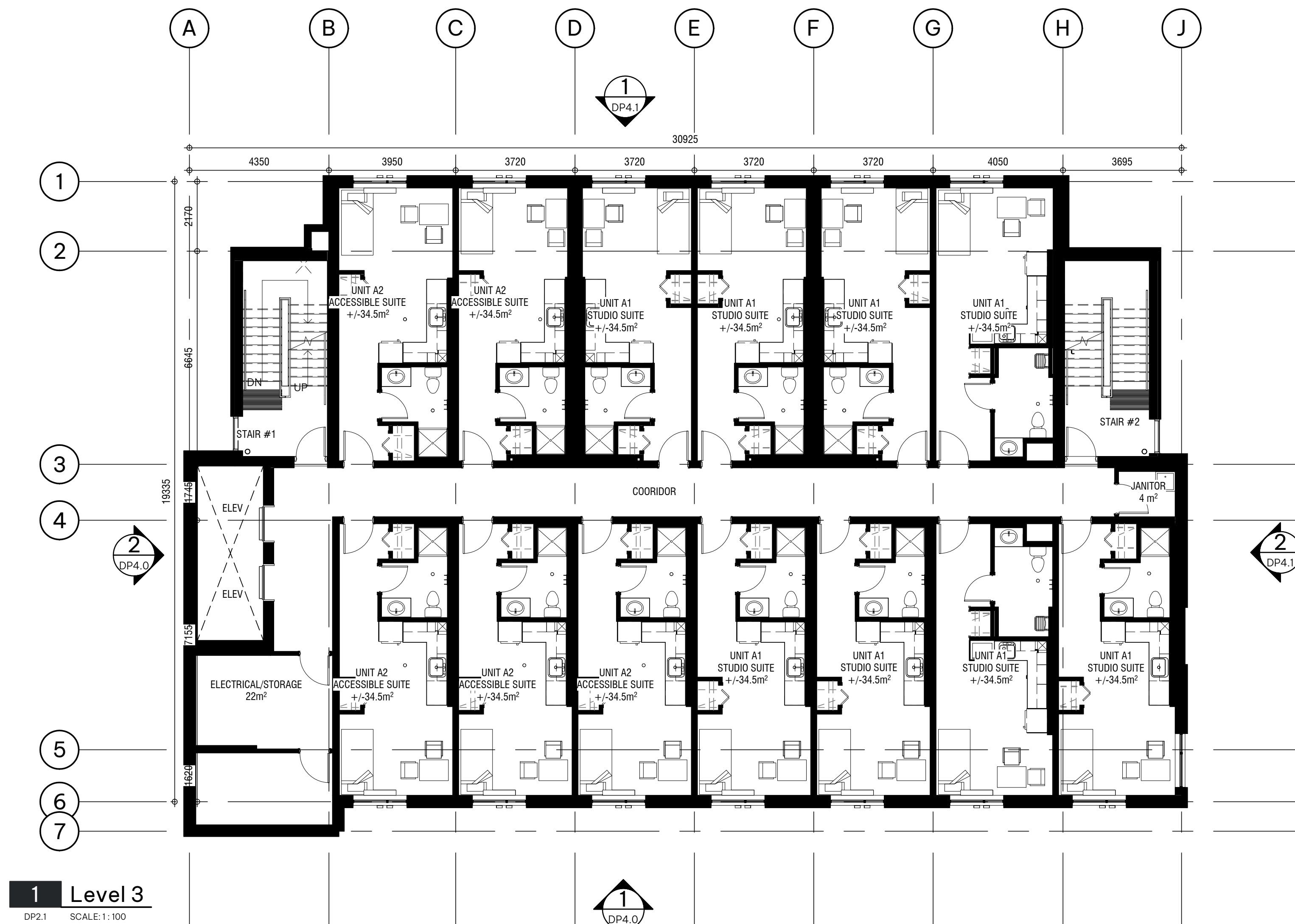
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REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE	1:100
DATE	11/22/2024 10:32:42 AM
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DRAWING NO.	DP2.0
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LEVEL 3 & 4 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

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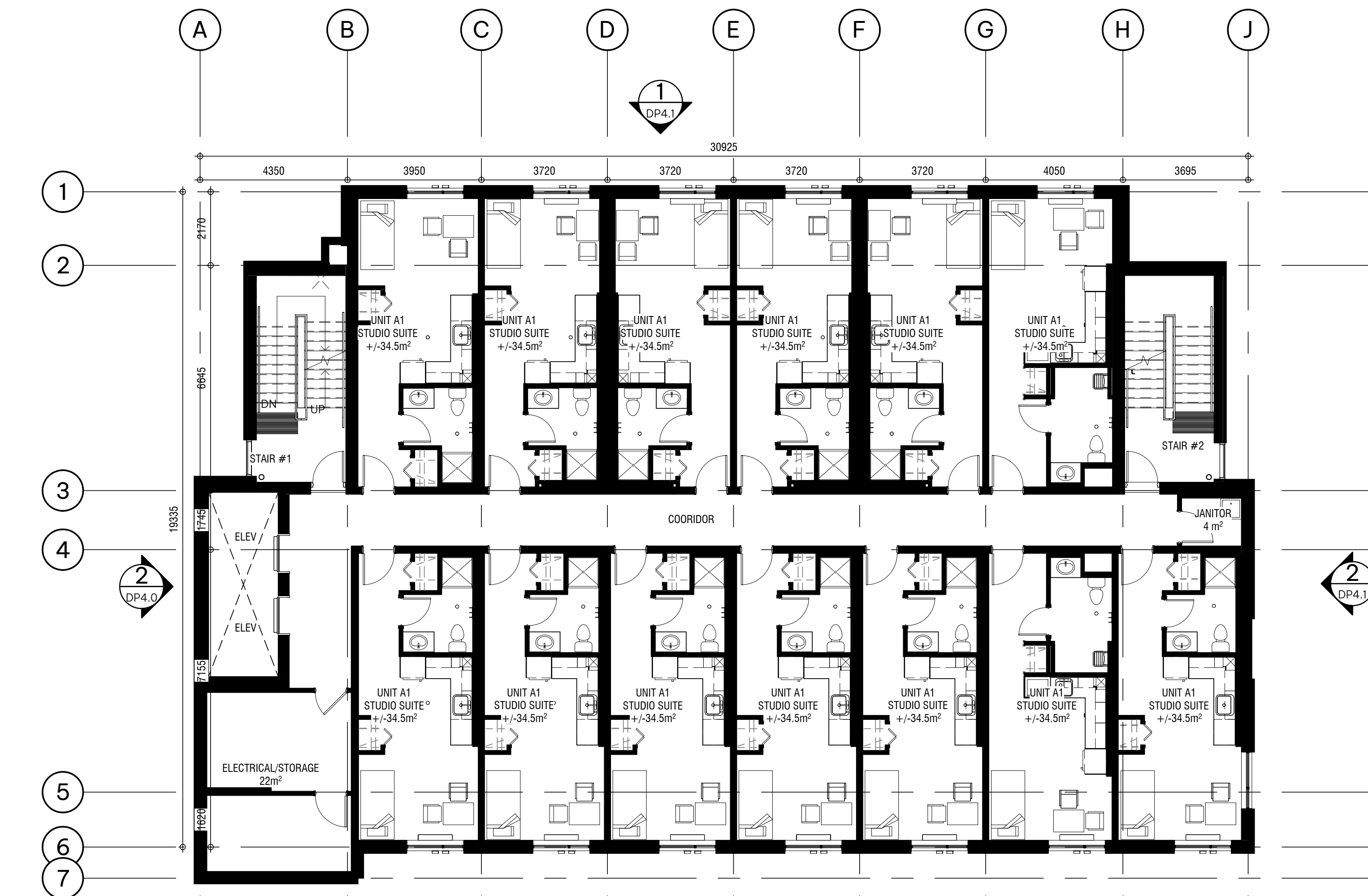
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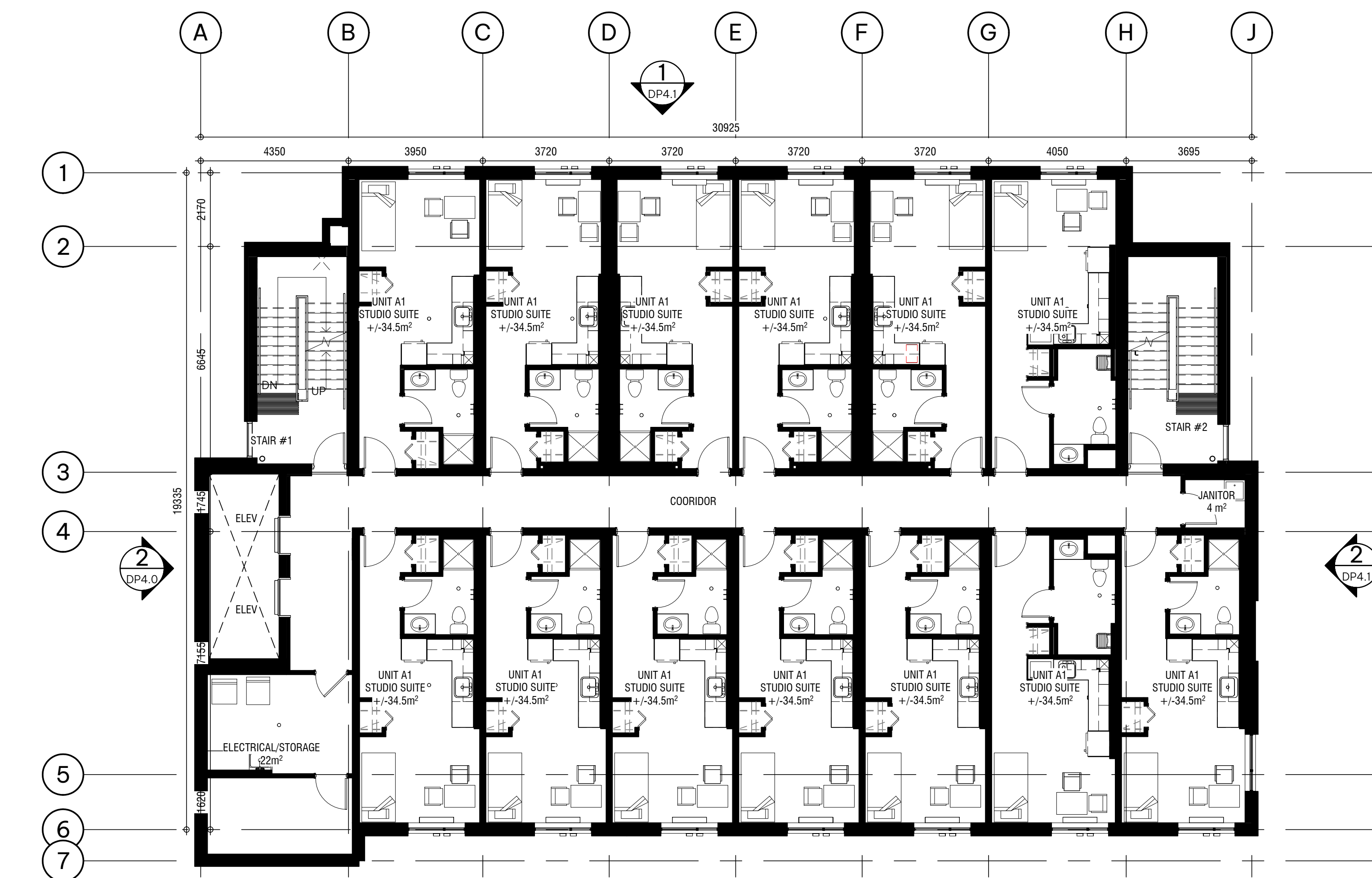
REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

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DRAWN BY	MD/AN/KM
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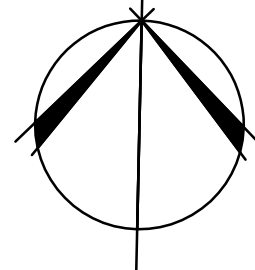
DRAWING NO. **DP2.1**



1 Level 5
DP2.2 SCALE: 1:100



2 Level 6
DP2.2 SCALE: 1:100



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LEVEL 5 & 6 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

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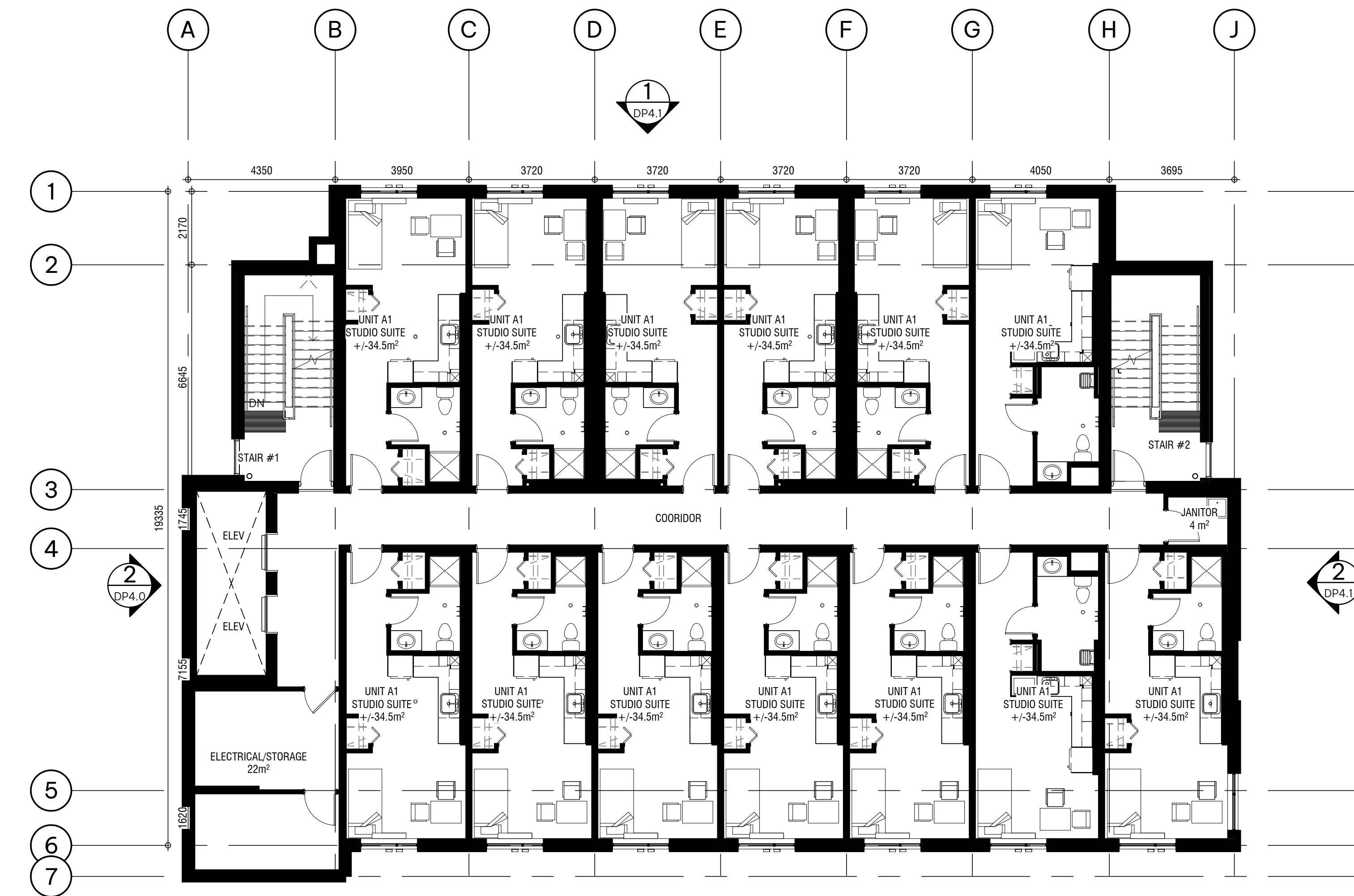
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4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

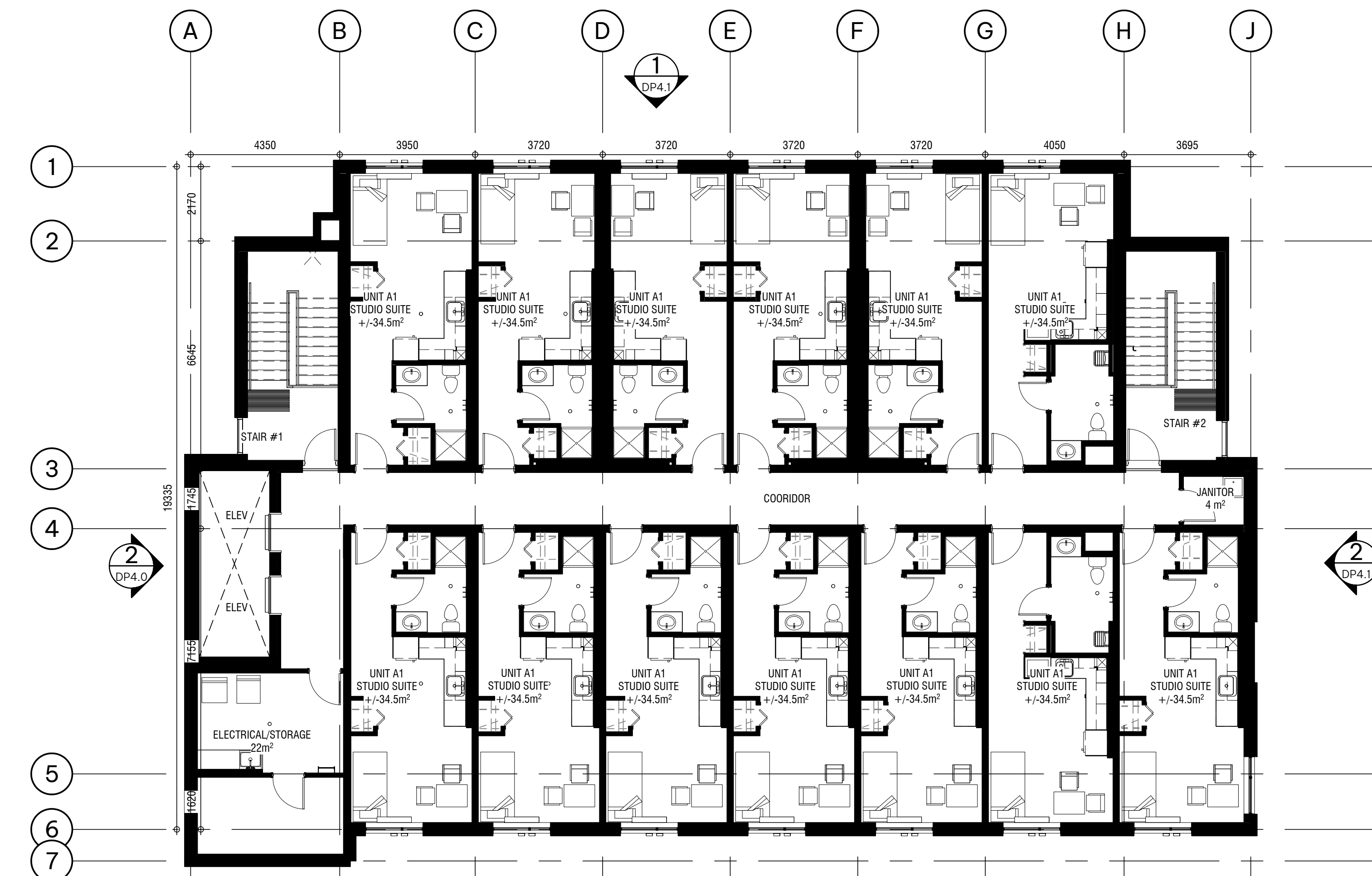
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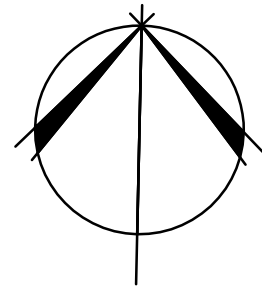
DP2.2



1 Level 7
DP2.3 SCALE: 1:100



2 Level 8
DP2.3 SCALE: 1:100



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LEVEL 7 & 8 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

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10 LAND USE & D.P. SUBMISSION	04.29.2022

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DP2.3

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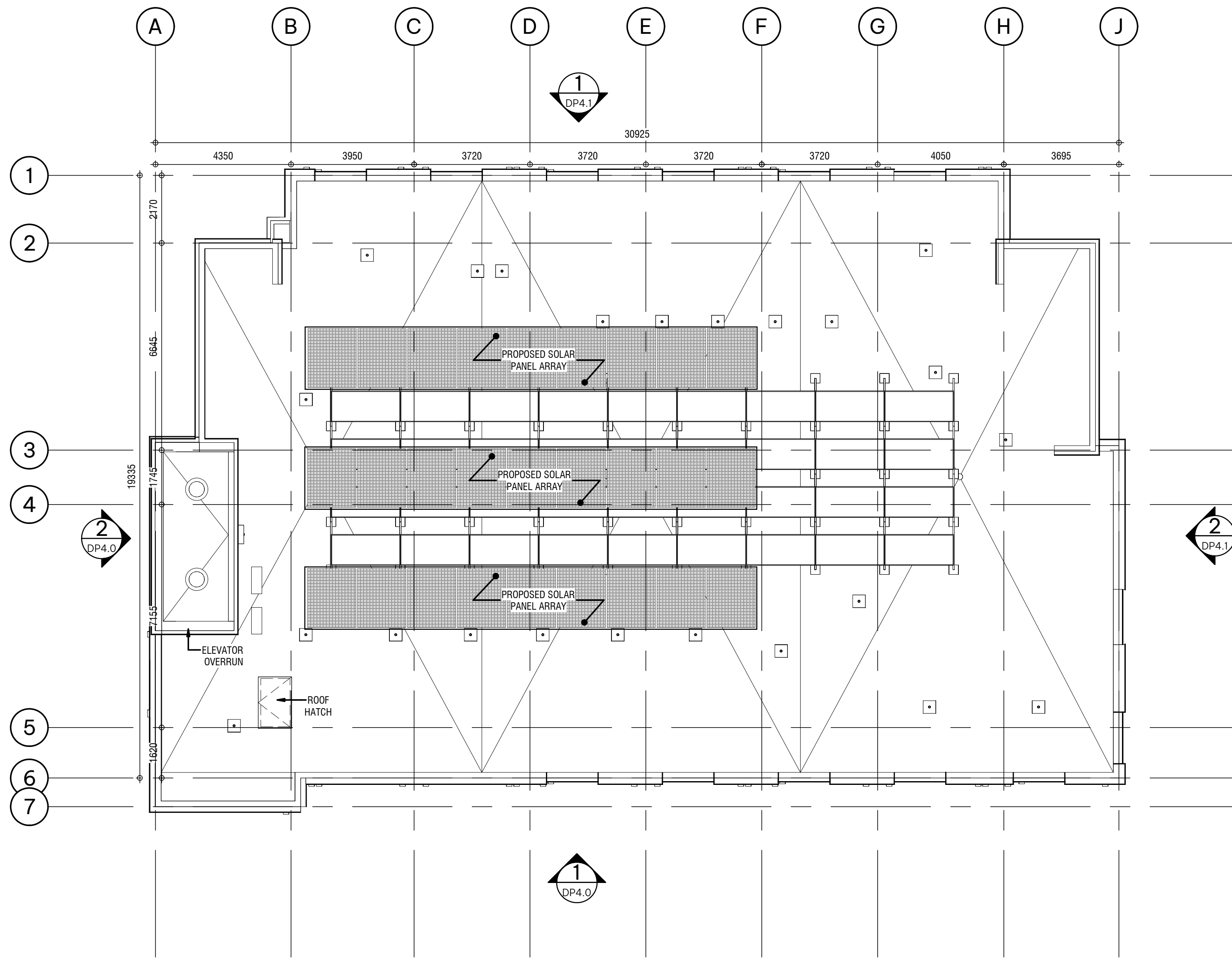
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14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

SCALE 1:100
DATE 11/22/2024 10:11:11 AM
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DP2.4



1 Roof Plan

DP2.4 SCALE: 1:100

NOTE: Dimensions are for reference only and are subject to changed based on construction documentation.



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UNIT PLANS

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722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

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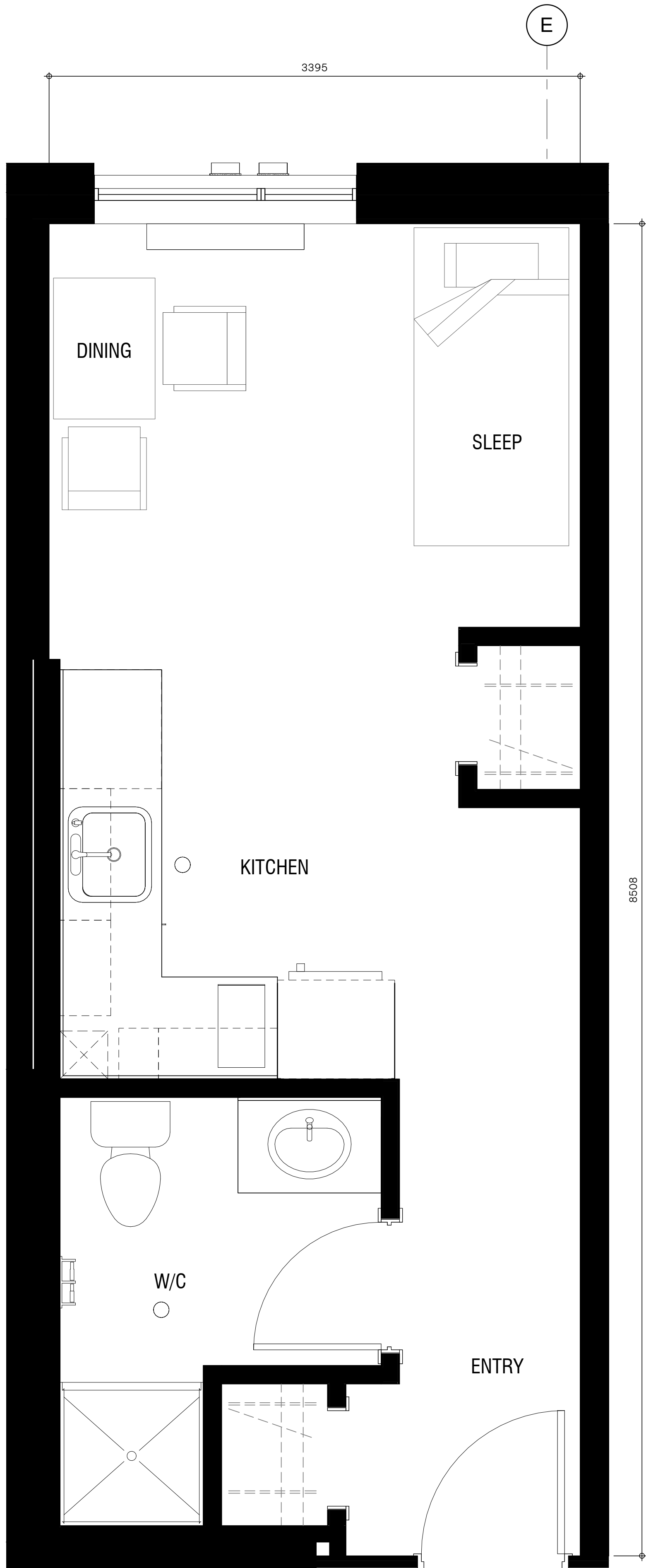
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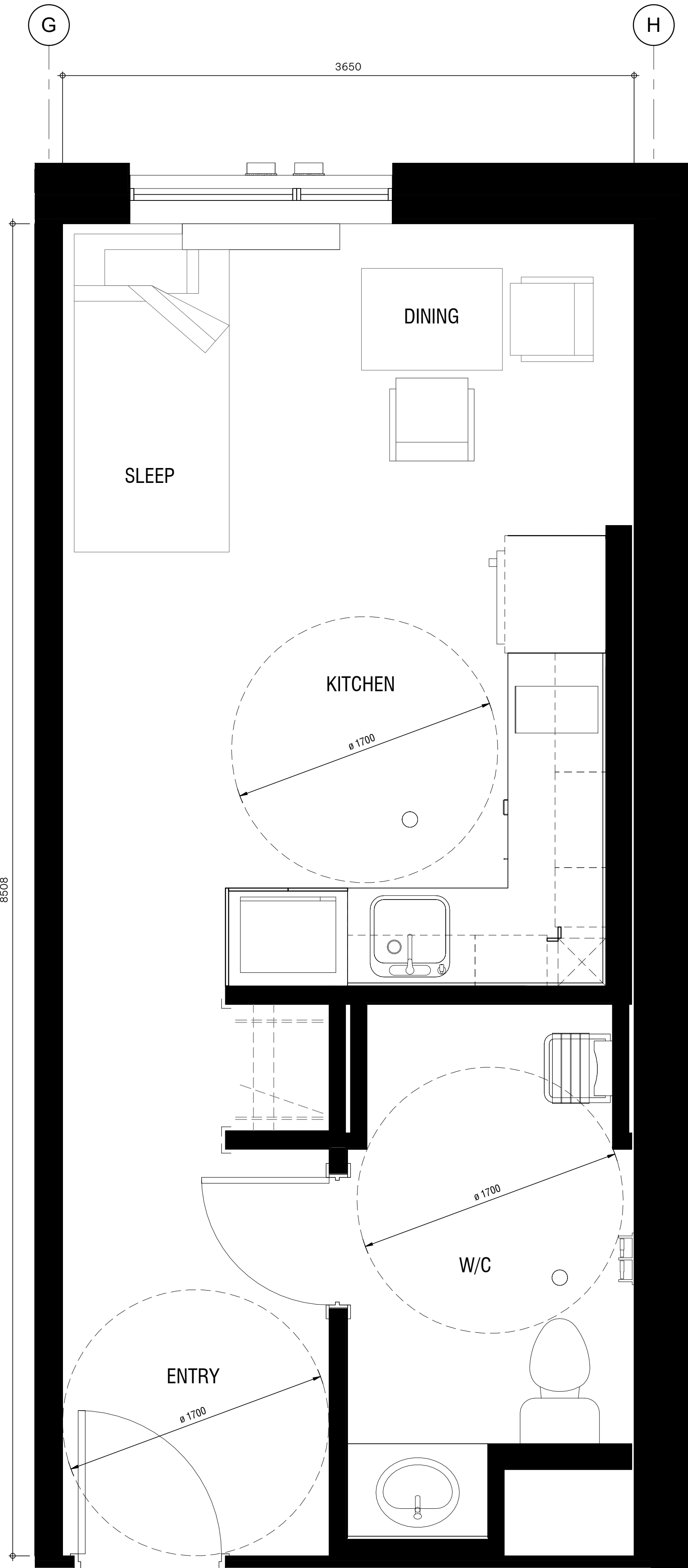
DRAWING NO.
DP2.5

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1 Unit A1 - Typical Studio Unit | ±34.5sqm

DP2.5 SCALE:1:20



2 Unit A2/A3 - Accessible & Adaptable Units | ±34.5sqm

DP2.5 SCALE:1:20



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BUILDING ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

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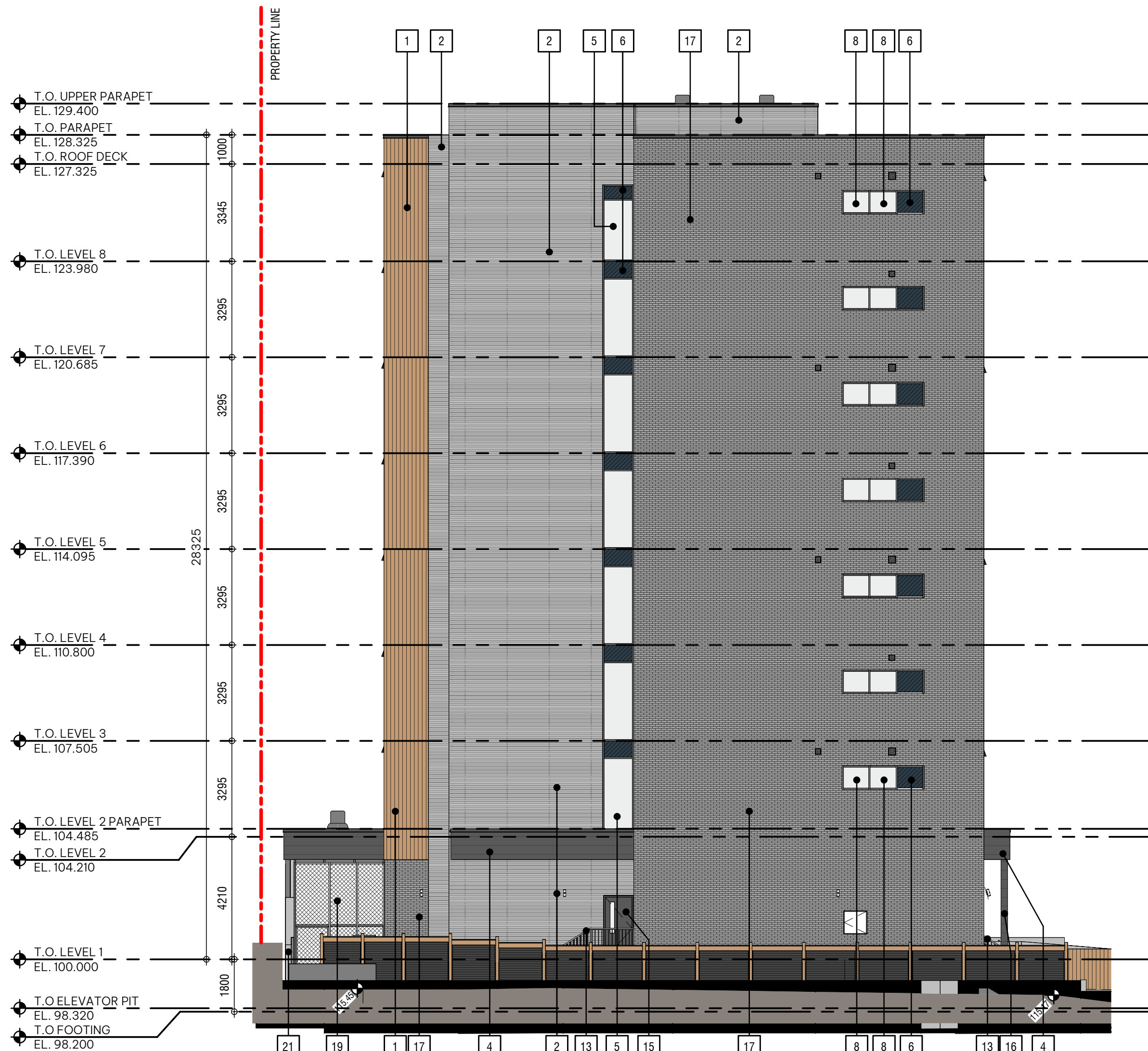
REVISION	DATE
10 LAND USE & D.P. SUBMISSION	04.29.2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

SCALE As Indicated
DATE 11/22/2024 10:11:34 AM
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CHECKED BY CZ

DRAWING NO.
DP4.0

Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - FROSTED GLASS - BLACK FRAME
- 4 METAL PANEL - CHARCOAL
- 5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- 6 METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- 7 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- 8 PVC WINDOW - VISION GLASS - BLACK FRAME
- 9 CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- 10 P.T. DECK SKIRTING - GOLDEN OAK TONE
- 11 P.T. WOOD DECKING - GOLDEN OAK TONE
- 12 P.T. WOOD STAIRS - GOLDEN OAK TONE
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
- 15 HOLLOW FRAME STEEL DOOR - CHARCOAL
- 16 PAINTED HEAVY TIMBER COLUMNS - BLACK
- 17 MODULAR BRICK - MIXED GREY
- 18 POTENTIAL SOLAR PANEL ARRAY
- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL





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BUILDING ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
22/243

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18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

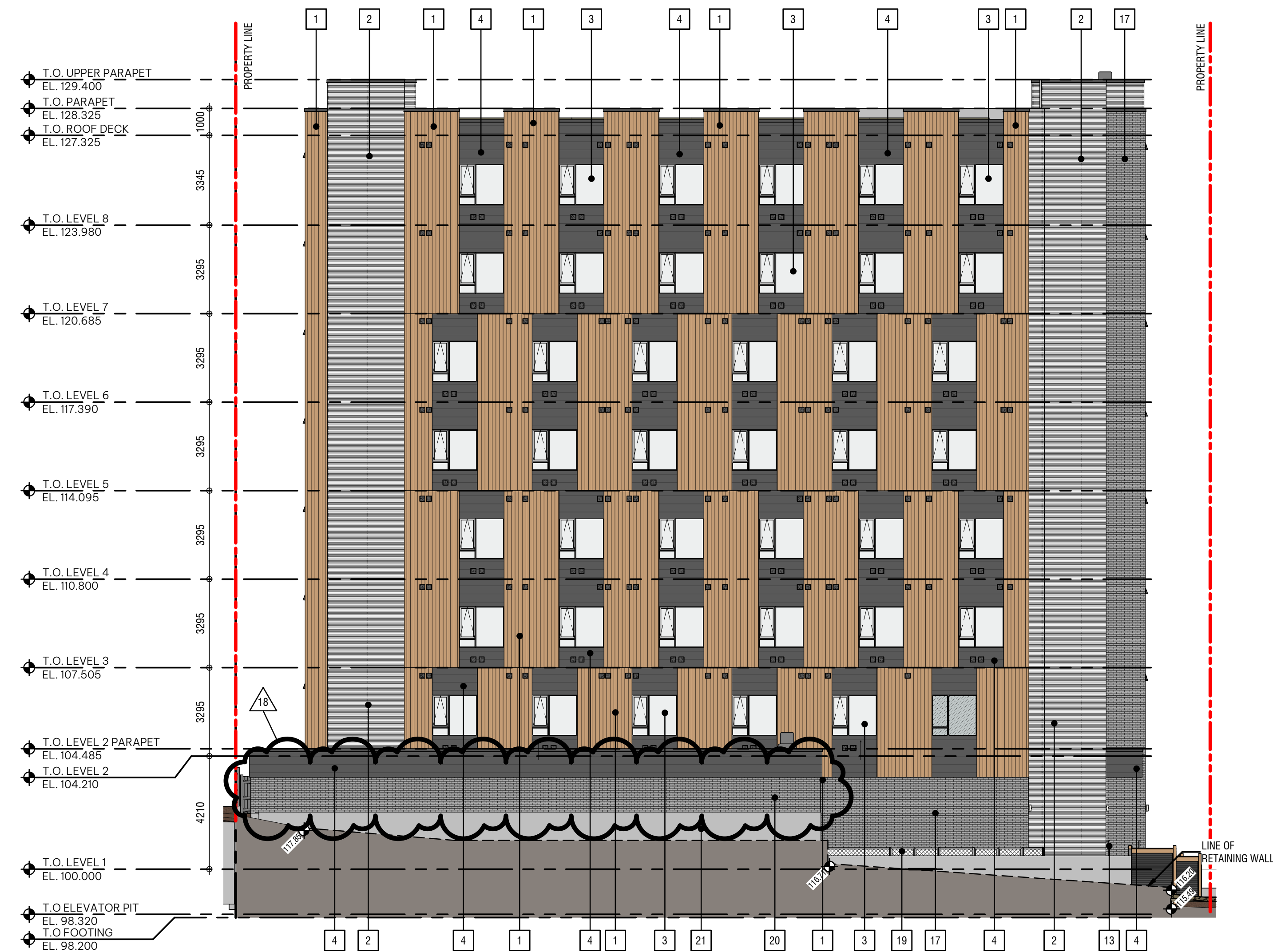
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DP4.1

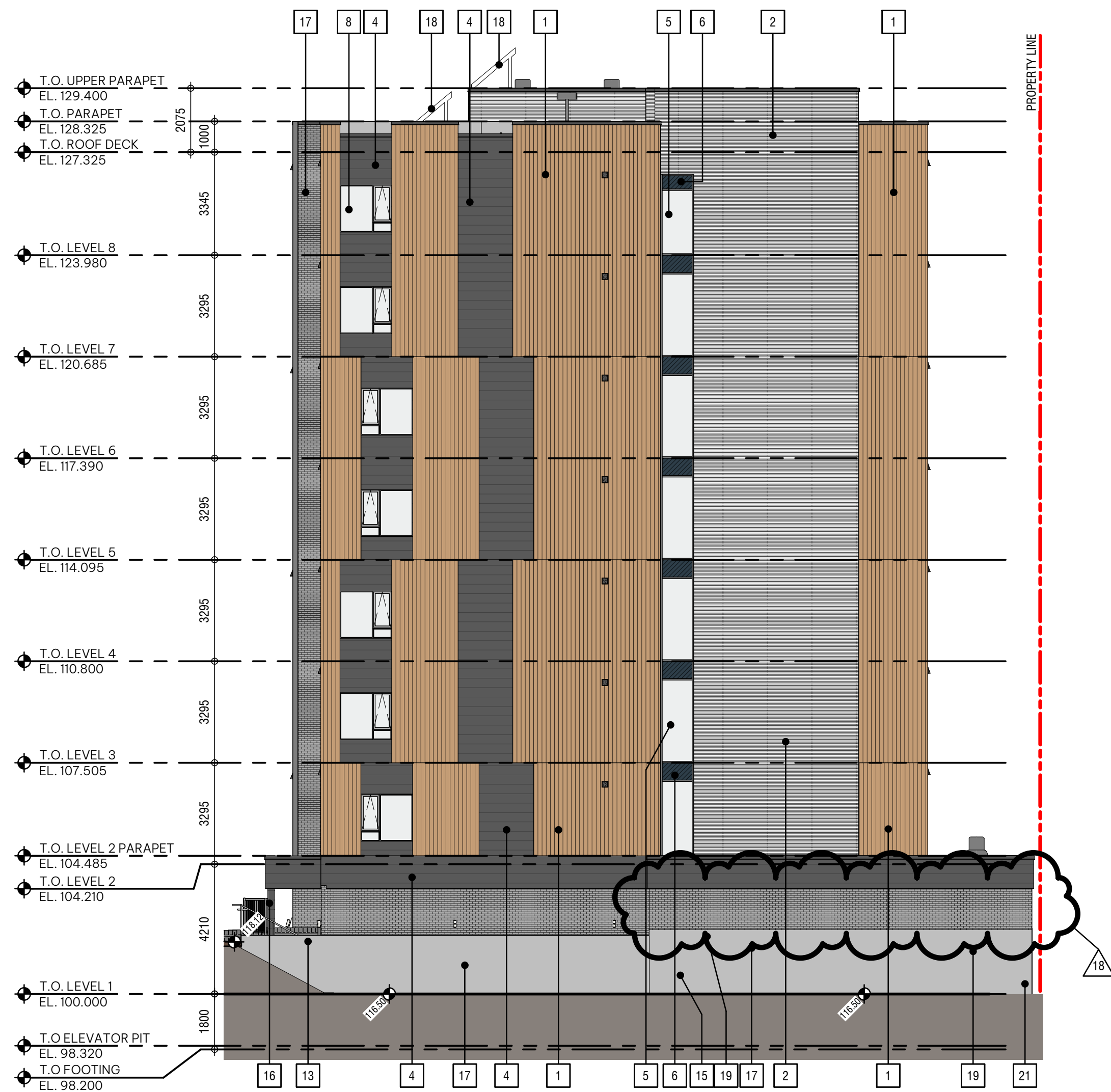
Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - FROSTED GLASS - BLACK FRAME
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- 18 POTENTIAL SOLAR PANEL ARRAY
- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL



1 North Elevation

DP4.1 SCALE:1:125



2 East Elevation

DP4.1 SCALE:1:125

BUILDING SECTIONS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

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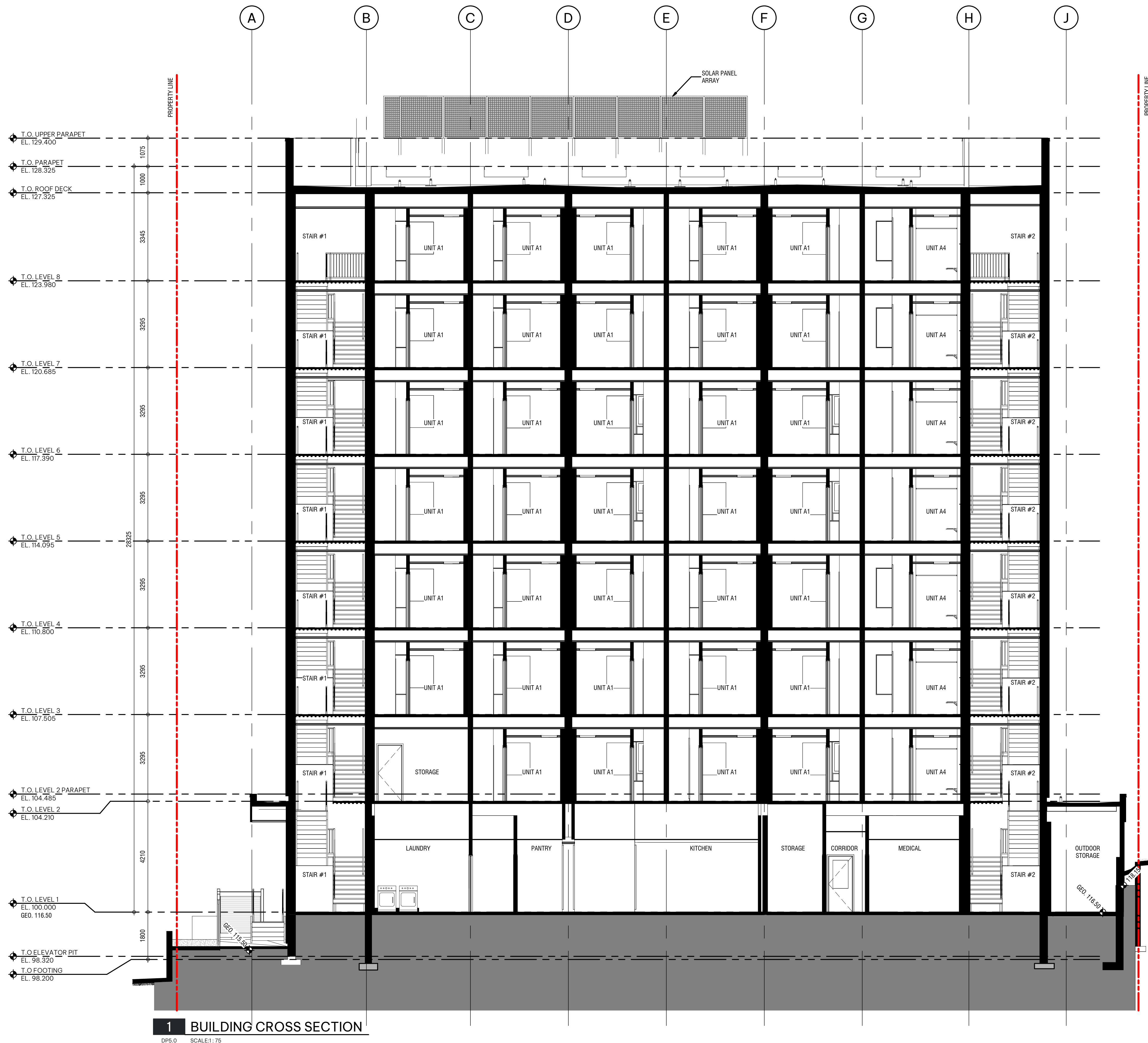
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REVISION	DATE
10 LAND USE & D.P. SUBMISSION	04.29.2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

SCALE 1 : 75
DATE 11/22/2024 10:12:00 AM
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DRAWING NO.

DP5.0





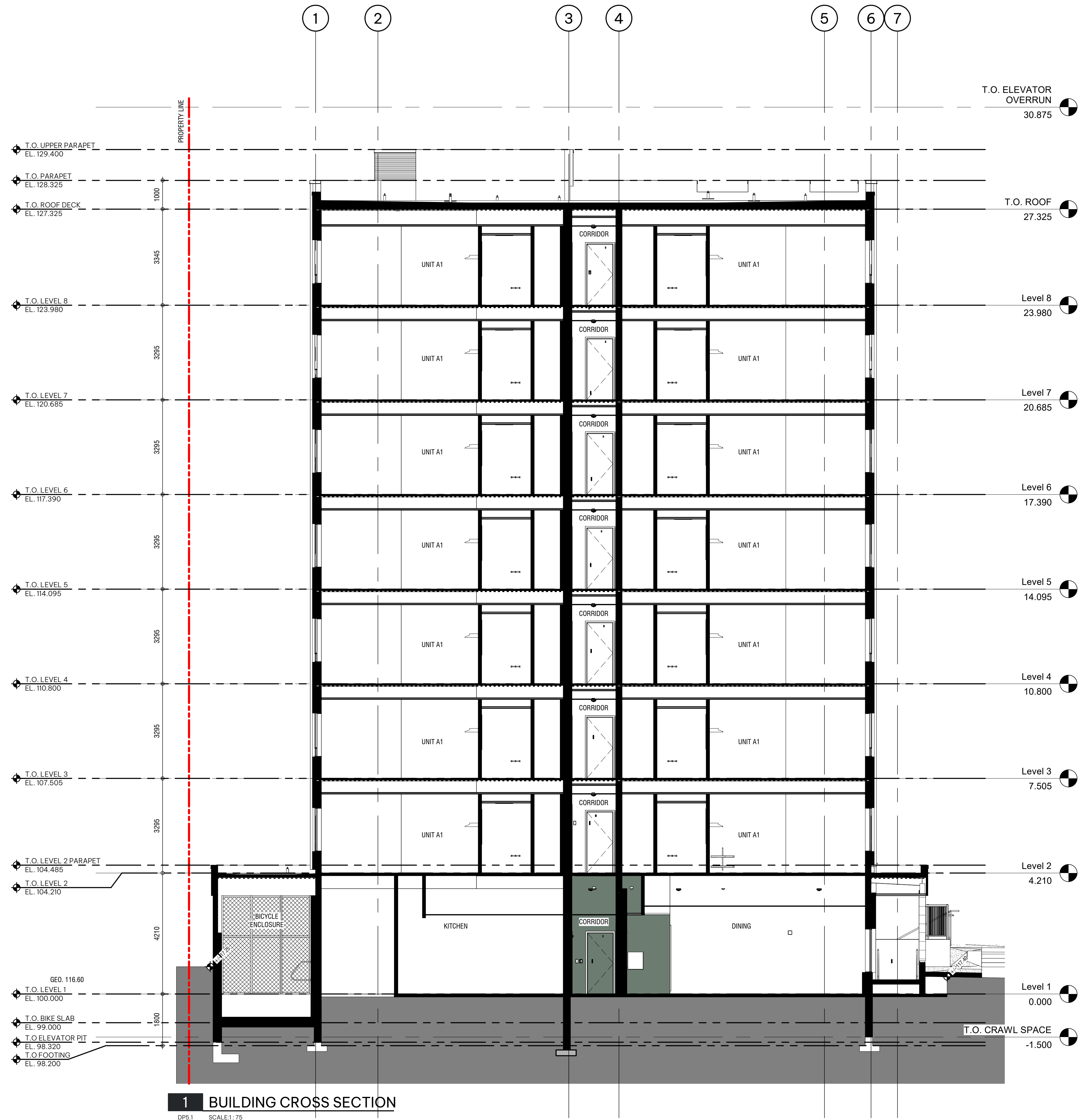
DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

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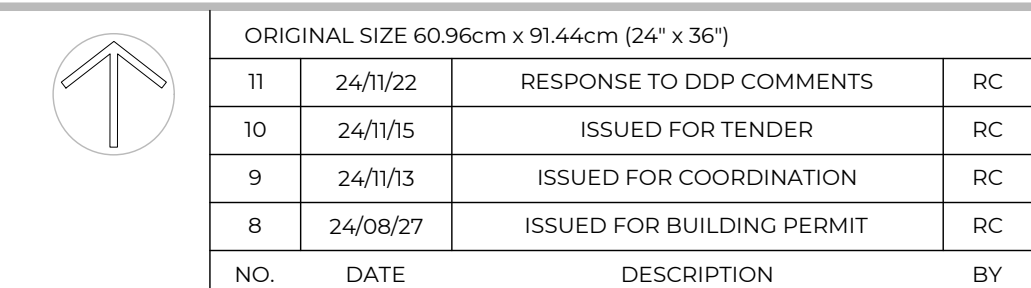
DP5.1



1 BUILDING CROSS SECTION

DP5.1 SCALE:1:75

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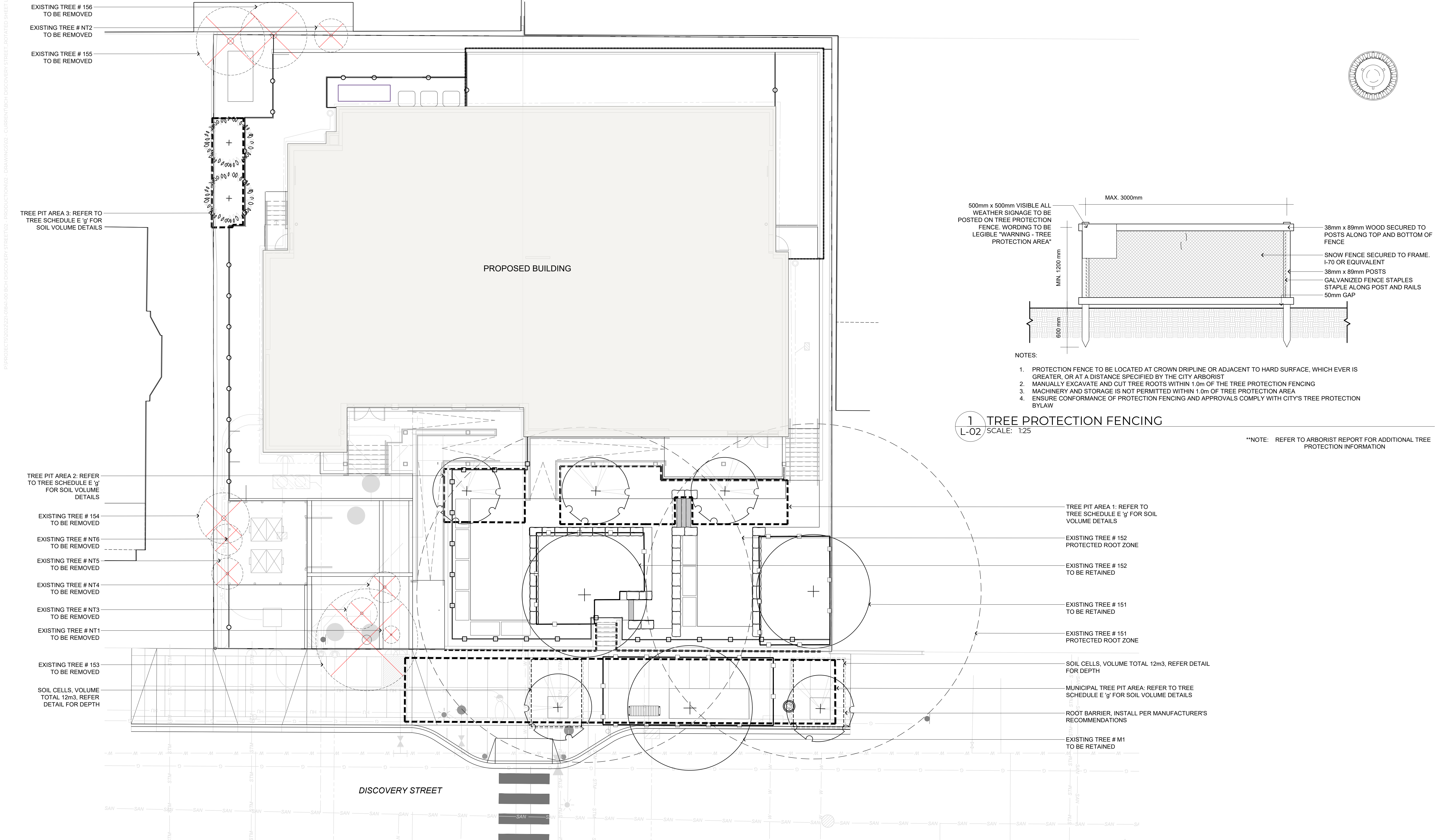
RENZO CORTES
Landscape Designer
Email: glennrenzo.cortes@wsp.com
Phone: (226) 203-8444

LANDSCAPE CRITICAL REVIEWS:
Landscape critical review meetings include (but are not limited to):

- Tree protection fencing setup requires a review by the arborist prior to construction.
- Project kick-off on landscape, and review of stockpile and preservation of existing materials
- Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape drawings
- Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of compliancy of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
- Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections.
- Delivery of the plant material to site (mobilization of planting works)
- General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc).
- Substantial and total performance of the landscape
- Commissioning reviews, if required

L-01

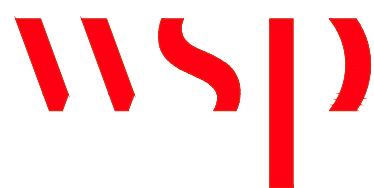
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1 TREE PROTECTION FENCING

L-02 SCALE: 1:25

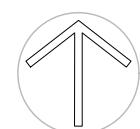
**NOTE: REFER TO ARBORIST REPORT FOR ADDITIONAL TREE PROTECTION INFORMATION



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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BC Housing
CONSULTANT
WSP



2 0 2
Scale: 1:100 Metres

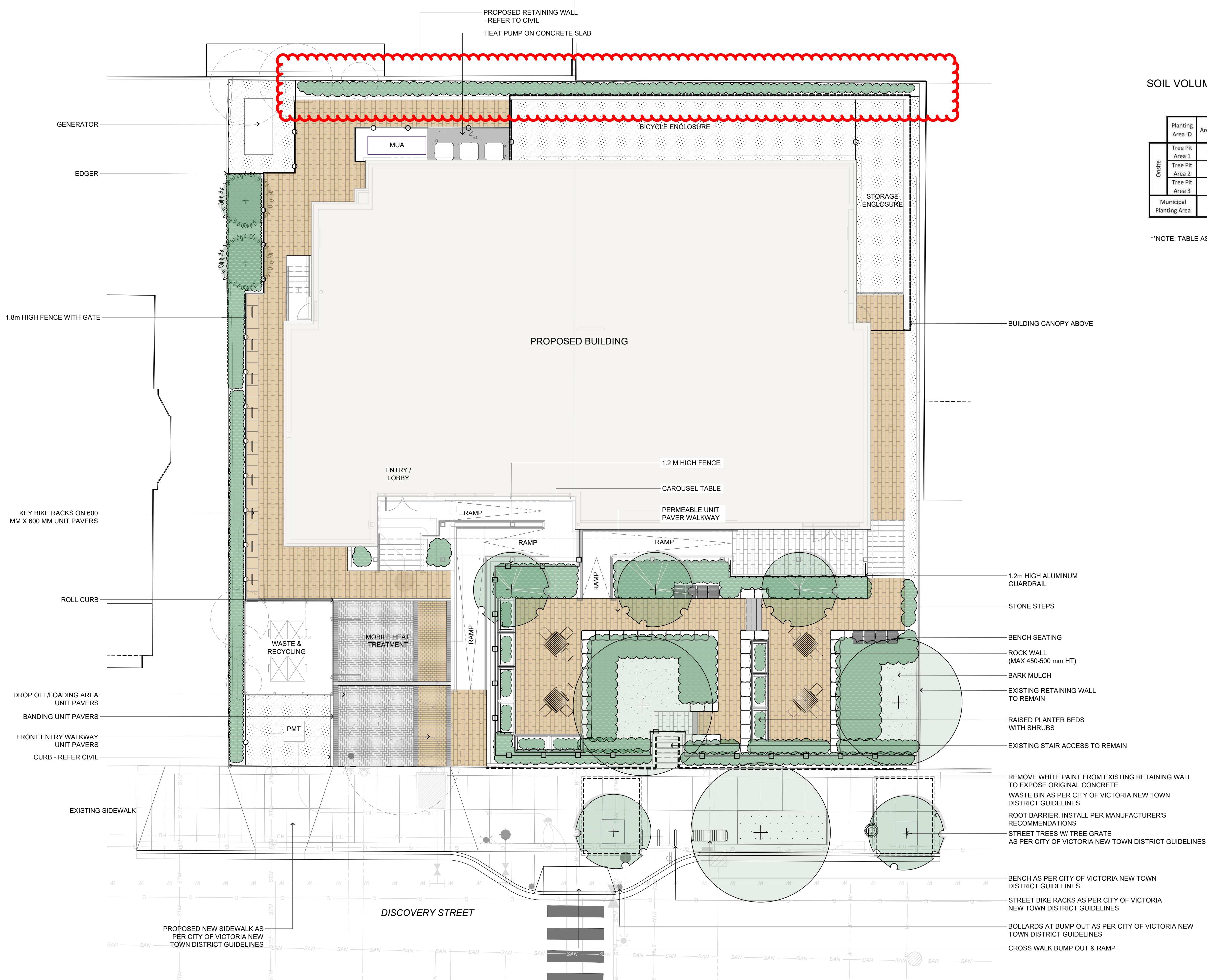
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9	24/11/13	ISSUED FOR COORDINATION	RC
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC
NO.	DATE	DESCRIPTION	BY

SEALED

DESIGN BY MJH
DRAWN BY ER / RC
CHECKED BY GS / TC
PROJECT # 211-01841-00
SCALE 1:100

SHEET TITLE
TREE MANAGEMENT & REPLACEMENT PLAN
SHEET NO.

L-02



SOIL VOLUME SCHEDULE E 'g'

					Proposed Replacement Trees			Soil Volume Required			
	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Total (m3)
Onsite	Tree Pit Area 1	38	1	38 m3		2			30		30
	Tree Pit Area 2	15	1	15 m3		1			15		15
	Tree Pit Area 3	12	1	12 m3	1			12			12
Municipal Planting Area		97	0.92	89 m3	2	1		12	15		27

**NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST



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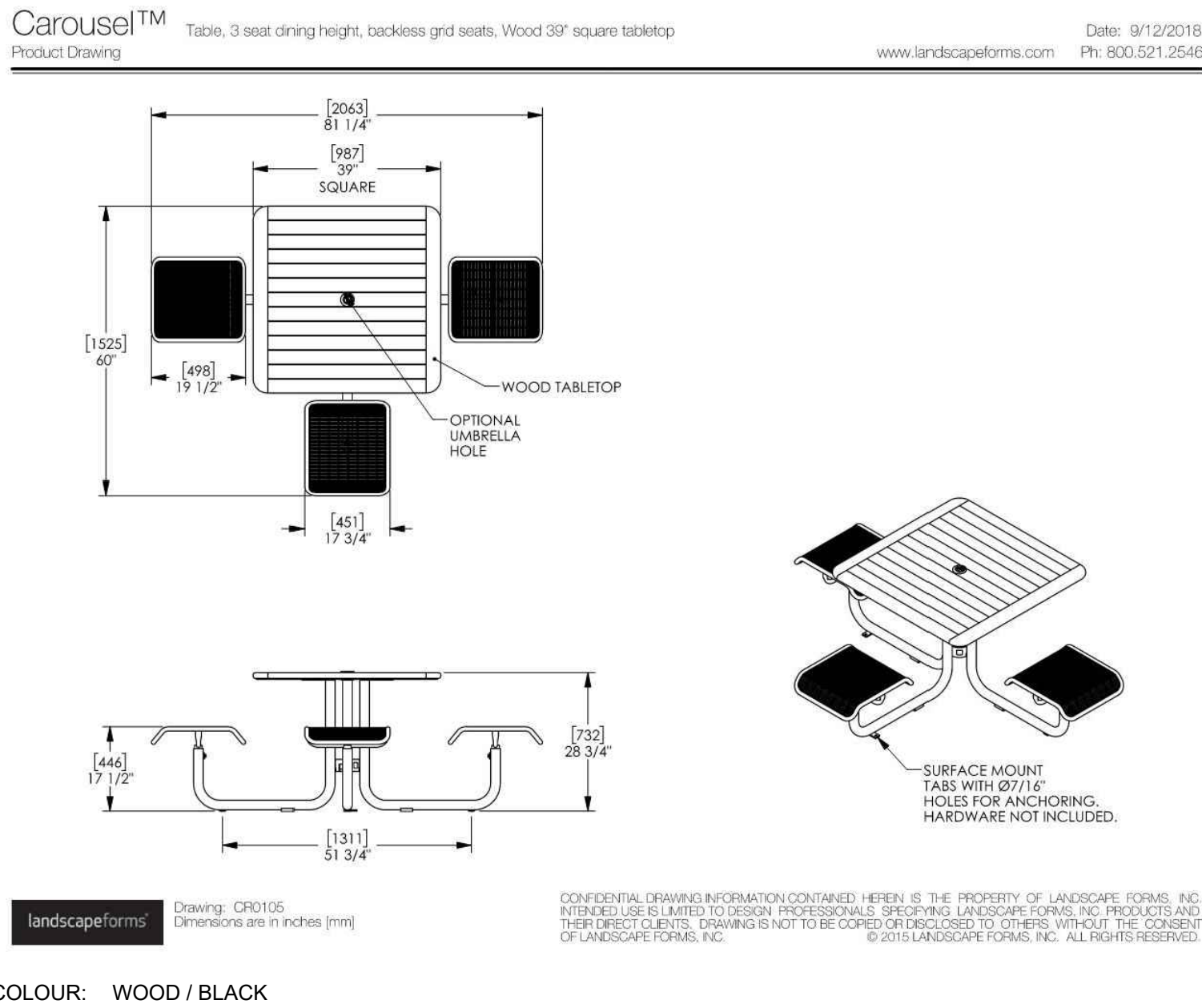
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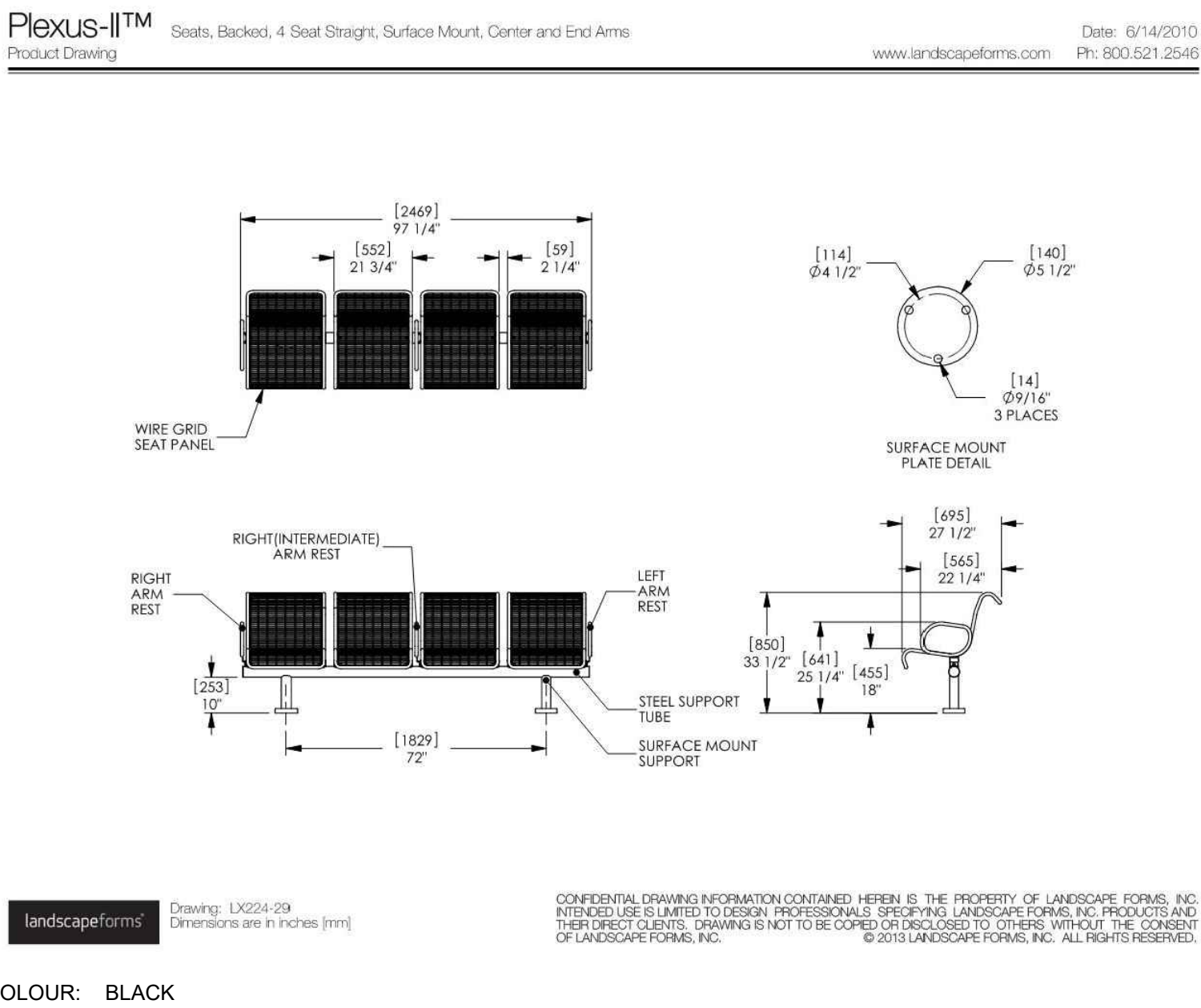
L-04

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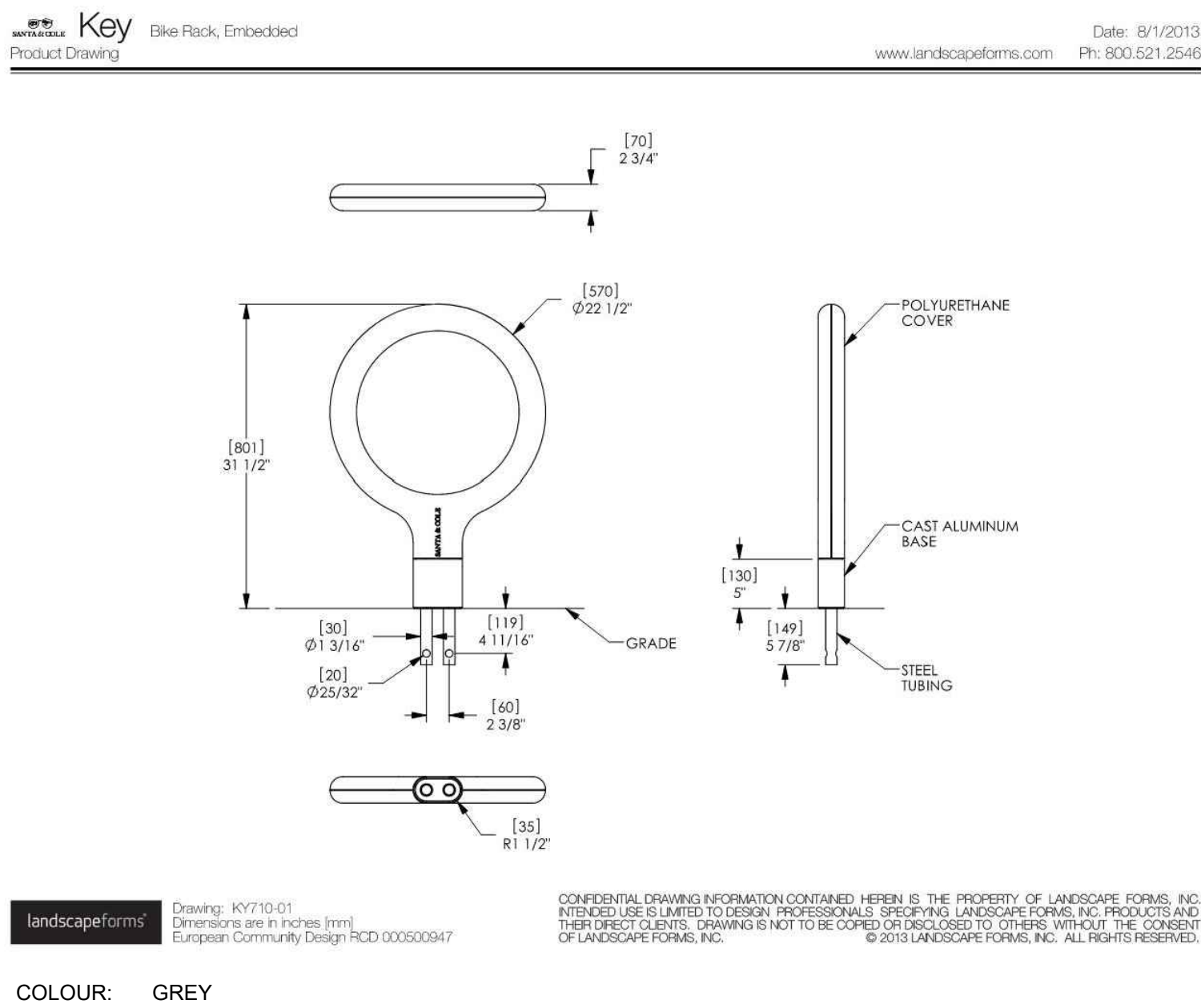
COLOUR: WOOD / BLACK

1 CAROUSEL TABLE
L-07 SCALE: N.T.S.



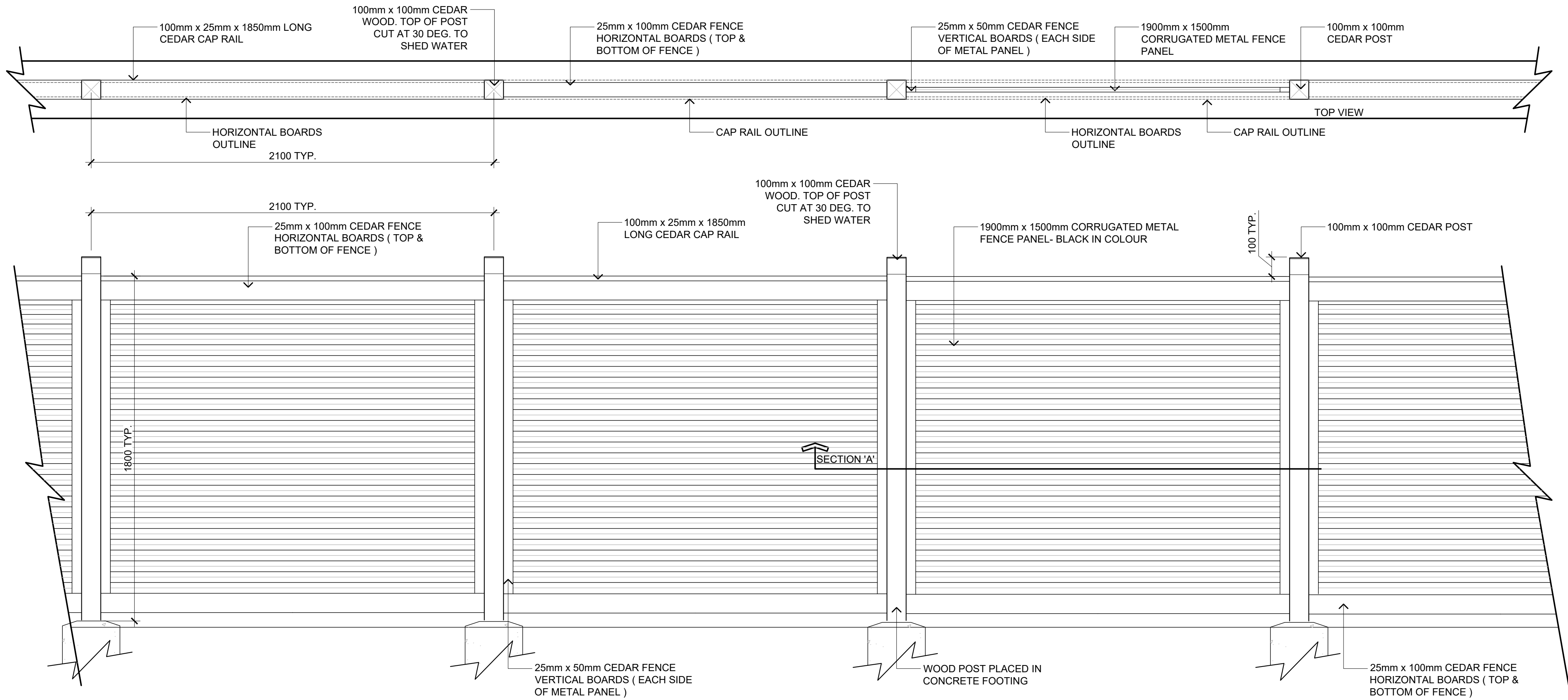
COLOUR: BLACK

2 BENCH SEATING
L-07 SCALE: N.T.S.



COLOUR: GREY

3 KEY BIKE RACK
L-07 SCALE: N.T.S.



5 1.8m HIGH FENCE
L-07 SCALE: 1:15



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F: 617-860-6363
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MLB300B-M

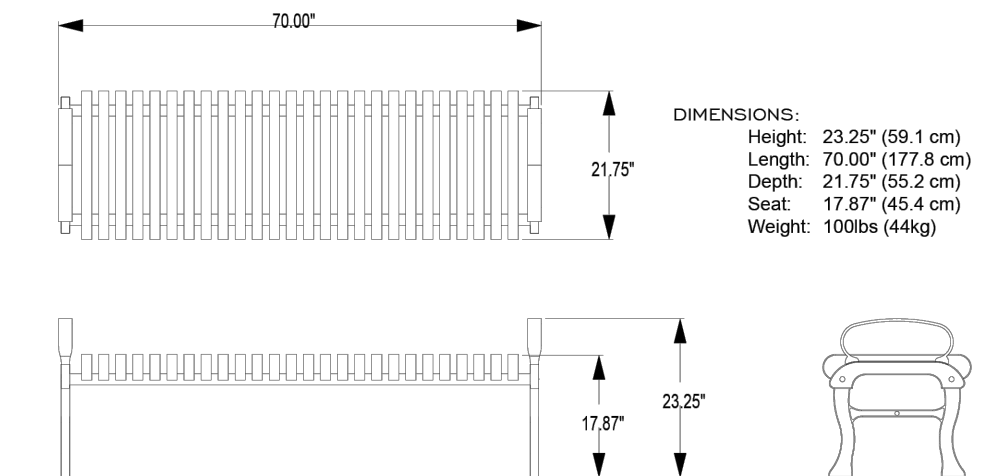
MATERIALS: Bench ends are made from solid cast aluminum. The seat employs 1/2" steel tube and flat bar straps or ipe wood slats.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. Holes (Ø.5") are provided in each foot for securing to base.

TO SPECIFY: Select MLB300B-M
Choose:
- Powdercoat Color

COMPLEMENTARY PRODUCTS:
- MLB300-M
- MLVR550-32
- MBR200 Series



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4 MODERN STREET BENCH
L-07 SCALE: N.T.S.



MODEL: RAISED PLANTER
SIZE: 6' L X 3' W X 3' H
SUPPLIER: ZOFF'S GREENHOUSE PLANTER

Install as per manufacturer's standard. Each planter requires the manufacturer's staining package and poly liner.

6 CEDAR PLANTER
L-07 SCALE: N.T.S.



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PROJECT
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CLIENT
BC Housing

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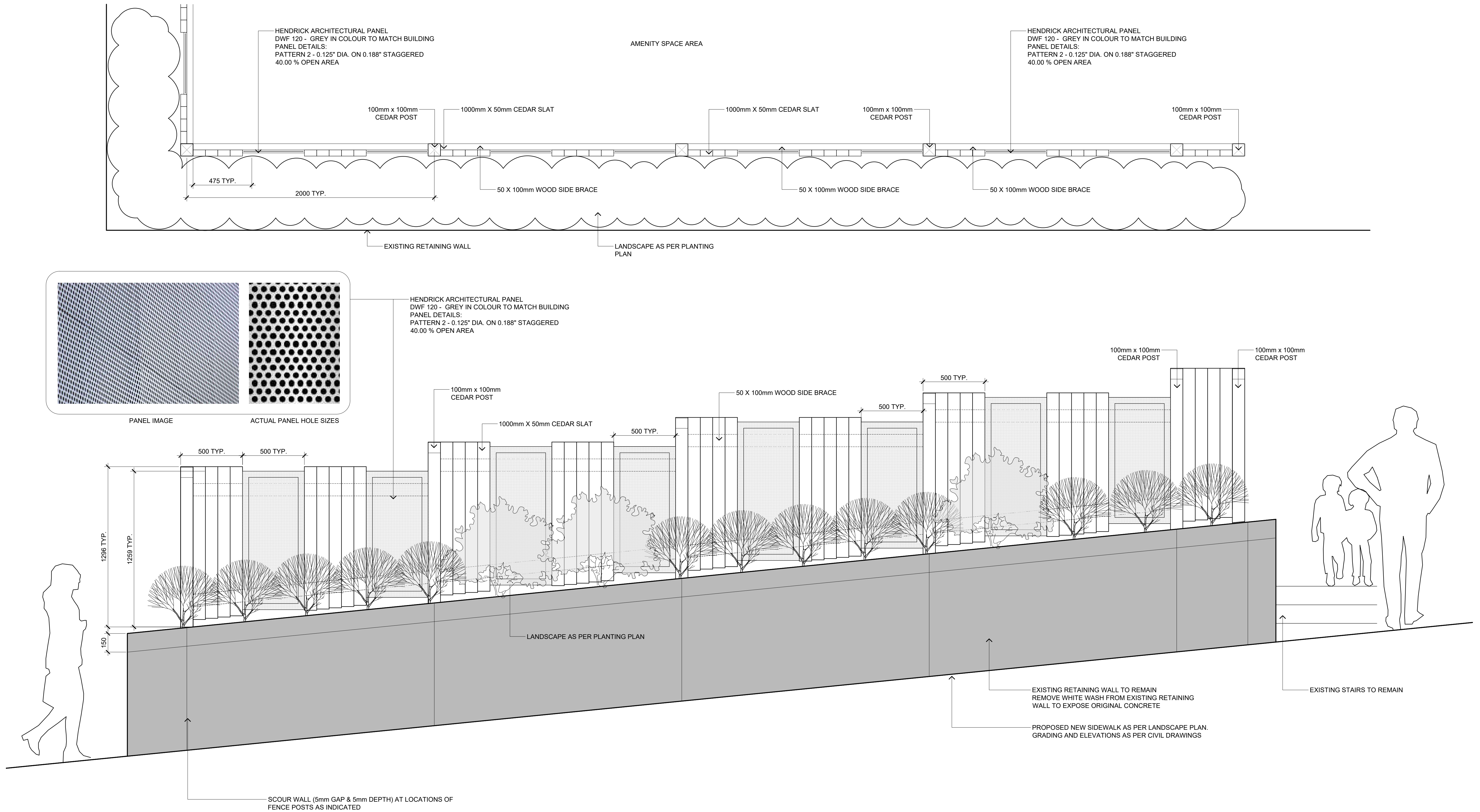
ORIGINAL SIZE 60.96cm x 91.44cm [24" x 36"]			
11	24/11/22	RESPONSE TO DDP COMMENTS	RC
10	24/11/15	ISSUED FOR TENDER	RC
9	24/11/13	ISSUED FOR COORDINATION	RC
8	24/08/27	ISSUED FOR BUILDING PERMIT	RC
NO.	DATE	DESCRIPTION	BY

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DRAWN BY ER / RC
CHECKED BY GS / TC
PROJECT # 211-01841-00
SCALE AS SHOWN

SHEET TITLE
SITE FURNISHING DETAILS
SHEET NO.

L-07



1 1.2m HIGH FENCE
L-08 SCALE: 1:15



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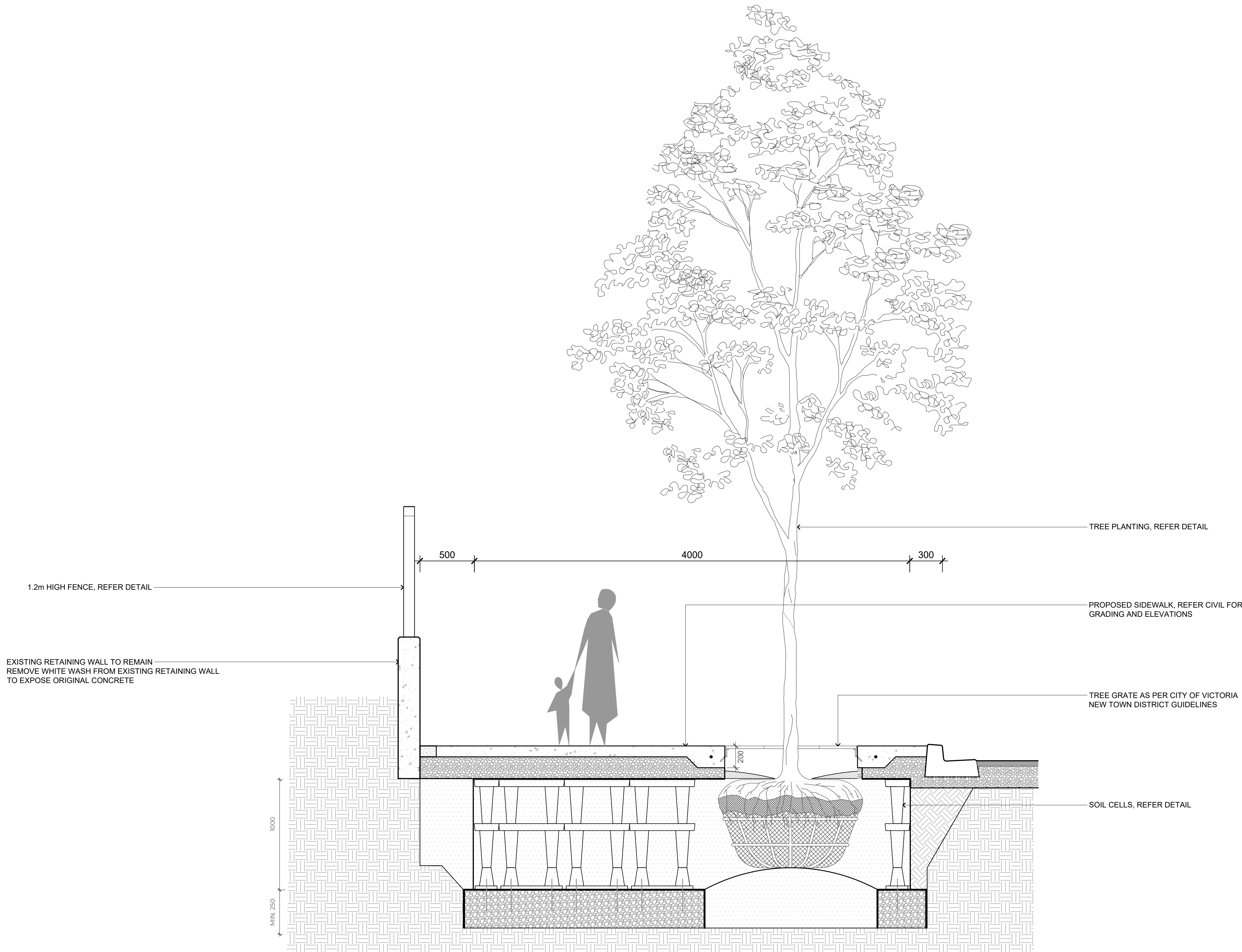
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SCALE AS SHOWN

SHEET TITLE
FENCING DETAILS
SHEET NO.

L-08

P:\PROJECTS\2022\221-0184-100 BCH DISCOVERY STREET\02 - DRAWINGS\02 - PRODUCTION\02 - DISCOVERY STREET DETAILS ROTATED BASE COPY.DWG



1 SECTIONS - SOIL CELL LAYOUT
L-09 SCALE: 1:20



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PROJECT # 211-01841-00
SCALE AS SHOWN

SHEET TITLE
SOIL CELL SECTION
SHEET NO.

L-09