

GENERAL NOTES

1. ALL CONSTRUCTION IS TO COMPLY WITH THE 2018 BRITISH COLUMBIA BUILDING CODE (BCBC), AS WELL AS OTHER LOCAL GOVERNING CODES, BYLAWS, AND ORDINANCES.
2. ALL WORK TO BE OF THE BEST PRACTICES OF THE LOCAL TRADES INVOLVED.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. DO NOT SCALE DRAWINGS.
5. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND LANDSCAPE DRAWINGS, SPECIFICATIONS, GEOTECHNICAL AND ARBORIST REPORTS. ANY DISCREPENCIES MUST BE REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK.
6. ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING. UNLESS NOTED OTHERWISE.
7. ALL INTERIOR DIMENSIONS ARE TO CENTERLINE OF STUD. UNLESS NOTED OTHERWISE.
8. ALL WALLS ARE TO EXTEND TO U/S OF STRUCTURE. UNLESS NOTED OTHERWISE.
9. ALL WINDOWS AND DOORS ON PLAN ARE DIMENSIONED TO THE CENTRE OF ROUGH OPENING (R.O.). UNLESS NOTED OTHERWISE.
10. ALL WINDOWS ARE DIMENSIONED ON THE FLOOR PLANS ROUGH OPENING (R.O.). UNLESS NOTED OTHERWISE.
11. ALL DOORS ARE A MIN. OF 4" (100 mm) FROM FACE OF ADJACENT WALLS. UNLESS NOTED OTHERWISE.

PROJECT TEAM

DEVELOPER

NVision Properties
301-1106 Cook St.,
Victoria, BC
V8V 3Z9
T 250.883.5579

ARCHITECT

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DRAWING INDEX

ARCHITECTURAL

SHEET NO.	SHEET TITLE	SCALE
A0.00	Cover Sheet	As Noted
A0.02	Site Context	AS NOTED
A0.03	Shadow Studies	As Noted
A1.01	Existing Site Plan	AS NOTED
A1.02	Site Plan	As Noted
A2.01	Main Floor Plan	As Noted
A2.02	2nd Floor Plan	As Noted
A2.03	3rd Floor Plan	As Noted
A2.04	4th Floor Plan	As Noted
A2.05	5th Floor Plan	As Noted
A2.06	6th Floor Plan	As Noted
A2.07	Roof Plan	As Noted
A3.01	Building Elevations	As Noted
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A3.04	Building Elevations	As Noted
A4.01	Building Sections	As Noted
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A8.01	Window Schedule	As Noted
A8.02	Door Schedule	As Noted



1301 HILLSIDE
1301 Hillside Ave.
Victoria, BC

REZONING APPLICATION



CITY OF
VICTORIA

Revisions

Received Date:
September 13, 2019

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Issues
Consultant

Architect

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Cover Sheet

Issue Date	Plot Date	Sheet No.
	2019.09.12	A0.00
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 Context Plan
1/64"=1'-0"



4 Birdview looking East
NTS



5 Streetview looking East
NTS



2 Streetscape 1 from Hillside Avenue
1/32"=1'-0"



3 Streetscape 2 from Cook Street
1/32"=1'-0"

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Project Title

1301 Hillside Ave.

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Sheet Title

Site Context

Issue Date	Plot Date	Sheet No.
	2019.09.12	A0.02

Designed By	Reviewed By
NR	NR
Drawn By	Checked By
OEM	NR
Project ID	Scale
217.29	AS NOTED

Issue/Revision



1 JUNE 21 - 9 AM
NTS



2 JUNE 21 - 12 PM
NTS



3 JUNE 21 - 3 PM
NTS



4 MAR/SEPT 21 - 9 AM
NTS



5 MAR/SEPT 21 - 12 pm
NTS



6 MAR/SEPT 21 - 3 pm
NTS

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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

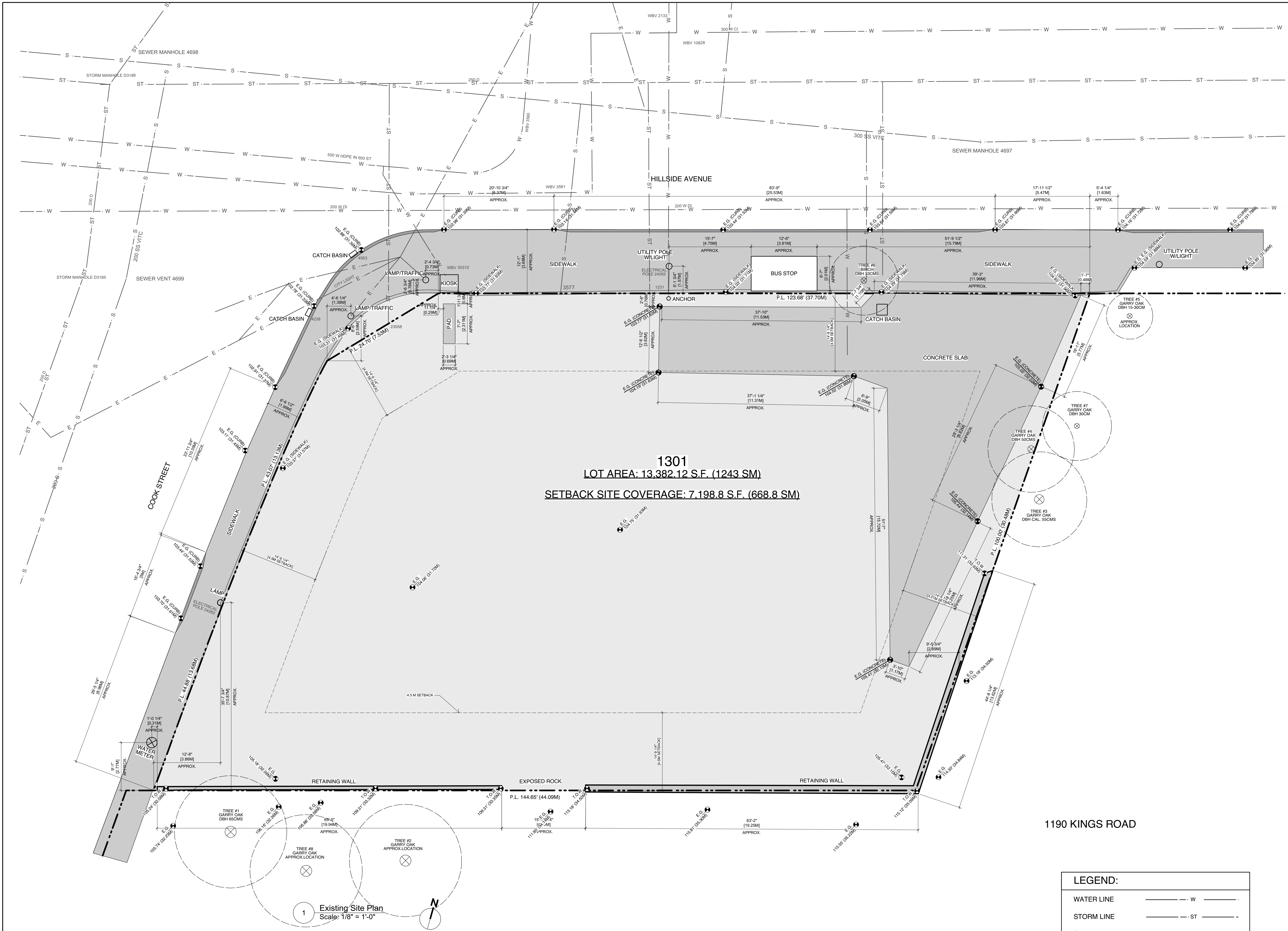
Shadow Studies

Issue Date	Plot Date	Sheet No.
	2019.09.12	

Designed By	Reviewed By
NR	NR
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Project ID	Scale	Issue/Revision
217.29	As Noted	

A0.03



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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Existing Site Plan

LEGEND:	
WATER LINE	— W —
STORM LINE	— ST —
SEWER LINE	— S —
ELECTRICITY LINE	— E —

Issue Date	Plot Date	Sheet No.
	2019.09.12	A1.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
DEM	NR	
Project ID	Scale	Issue/Revision
217.29	AS NOTED	

File name: 2019.09.11 1301 Hillside.vwx



LEGEND:

WATER LINE	---	W
STORM LINE	---	ST
SEWER LINE	---	S
ELECTRICITY LINE	---	E

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No. Date Issue Notes

Issues

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Site Plan

AVERAGE GRADE CALCULATION

$$\begin{aligned} & \left[\frac{(E) 108.14' [32.96 M] + (SE) 115.12' [35.09 M]}{2} \right] \times \frac{62.66' [19.10 M]}{2} = 6994.74' [2132.00 M] \\ & \left[\frac{(SE) 115.12' [35.09 M] + (SW) 105.44' [32.14 M]}{2} \right] \times \frac{110.48' [33.67 M]}{2} = 12183.73' [3713.60 M] \\ & \left[\frac{(SW) 105.44' [32.14 M] + (W) 104.04' [31.71 M]}{2} \right] \times \frac{43.00' [13.11 M]}{2} = 4503.82' [1372.76 M] \\ & \left[\frac{(W) 104.04' [31.71 M] + (NW) 103.67' [31.60 M]}{2} \right] \times \frac{14.86' [4.53 M]}{2} = 1548.19' [471.89 M] \\ & \left[\frac{(NW) 103.67' [31.60 M] + (NE) 105.05' [32.02 M]}{2} \right] \times \frac{10.85' [3.3 M]}{2} = 1128.40' [343.94 M] \\ & \left[\frac{(NE) 105.05' [32.02 M] + (E) 108.14' [32.96 M]}{2} \right] \times \frac{14.46' [4.4 M]}{2} = 1501.45' [457.64 M] \\ & \left[\frac{(E) 108.14' [32.96 M] + (SE) 115.12' [35.09 M]}{2} \right] \times \frac{16.27' [4.90 M]}{2} = 1692.08' [512.52 M] \\ & \left[\frac{(SE) 115.12' [35.09 M] + (SW) 105.44' [32.14 M]}{2} \right] \times \frac{109.21' [33.29 M]}{2} = 11415.18' [3479.35 M] \\ & \left[\frac{(SW) 105.44' [32.14 M] + (W) 104.04' [31.71 M]}{2} \right] \times \frac{28.56' [8.70 M]}{2} = 3044.35' [927.92 M] \\ & \left[\frac{(W) 104.04' [31.71 M] + (NW) 103.67' [31.60 M]}{2} \right] \times \frac{44011.94' [13414.84 M]}{2} = 44011.94' [13414.84 M] \end{aligned}$$

$$\begin{aligned} & 44011.94' [13414.84 M] / (\text{BUILDING PERIMETER}) 410.35' [125.07x M] = \\ & \text{AVERAGE GRADE} = 107.25' [32.69 M] \end{aligned}$$

SITE DATA

Civic Address	1301 HILLSIDE AVENUE VICTORIA, BC
Legal Address	PID 014-979-675 LOTS A, SECTION 4, VICTORIA DISTRICT, PLAN 38000
Site Area	13382.12 sq. ft. [1243.24 sq. m.]
Site Coverage	10097.33 sq. ft. [938.07 sq. m.] (75.5%)
Open Site Space	2796.09 sq. ft. [259.77 sq. m.] (20.9%)

DEVELOPMENT STATISTICS

Zoning Uses	C-SS (CA Proposed) Multiple Dwelling
Number of Units	Existing (C-SS) 1 SERVICE STATION
Number of Storeys	Proposed (CA) 6
Height	57' 2" [17.42 M]
Front Yard	4.5 M
Side Yard (West)	4.5 M
Side Yard (East)	4.5 M
Rear Yard Setback	4.5 M
Combined Sideyards	13.5 M
Parking Spaces	23 (19 + 4 visitor)
Bicycle Spaces	75 LONG TERM 6 SHORT TERM

FSR SUMMARY

TOTAL SITE AREA = 13,382.12 sq.ft.		
CURRENT ZONE: C-SS		
	EXISTING/LOT	PROPOSED
MAIN FLOOR	0.00 sq.ft.	1,591.74 sq.ft. [147.88 sq.m.]
SECOND FLOOR	0.00 sq.ft.	6,573.71 sq.ft. [610.72 sq.m.]
THIRD FLOOR	0.00 sq.ft.	6,596.27 sq.ft. [612.81 sq.m.]
FOURTH FLOOR	0.00 sq.ft.	6,596.27 sq.ft. [612.81 sq.m.]
FIFTH FLOOR	0.00 sq.ft.	5,089.91 sq.ft. [472.87 sq.m.]
SIXTH FLOOR	0.00 sq.ft.	5,089.91 sq.ft. [472.87 sq.m.]
GROSS FSR	0.00	2.36
TOTAL	0.00 sq.ft.	31,537.81 sq.ft. [2,929.96 sq.m.]
COMMERCIAL FLOOR AREA	0.00 sq.ft.	928.93 sq.ft. [86.30 sq.m.]

PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12
TOTAL UNITS	49	(33% BACH, 43% 1BR, 24% 2BR)	
GROUND ORIENTED UNITS		0	
MIN. UNIT FLOOR AREA		335.74 sq. ft. [31.19 sq. m.]	
TOTAL RESIDENTIAL FLOOR AREA		27339.85 sq. ft. [2539.96 sq. m.]	

Issue Date
2019.09.12

Plot Date
2019.09.12

Sheet No.
A1.02

Designed By
NR

Reviewed By
NR

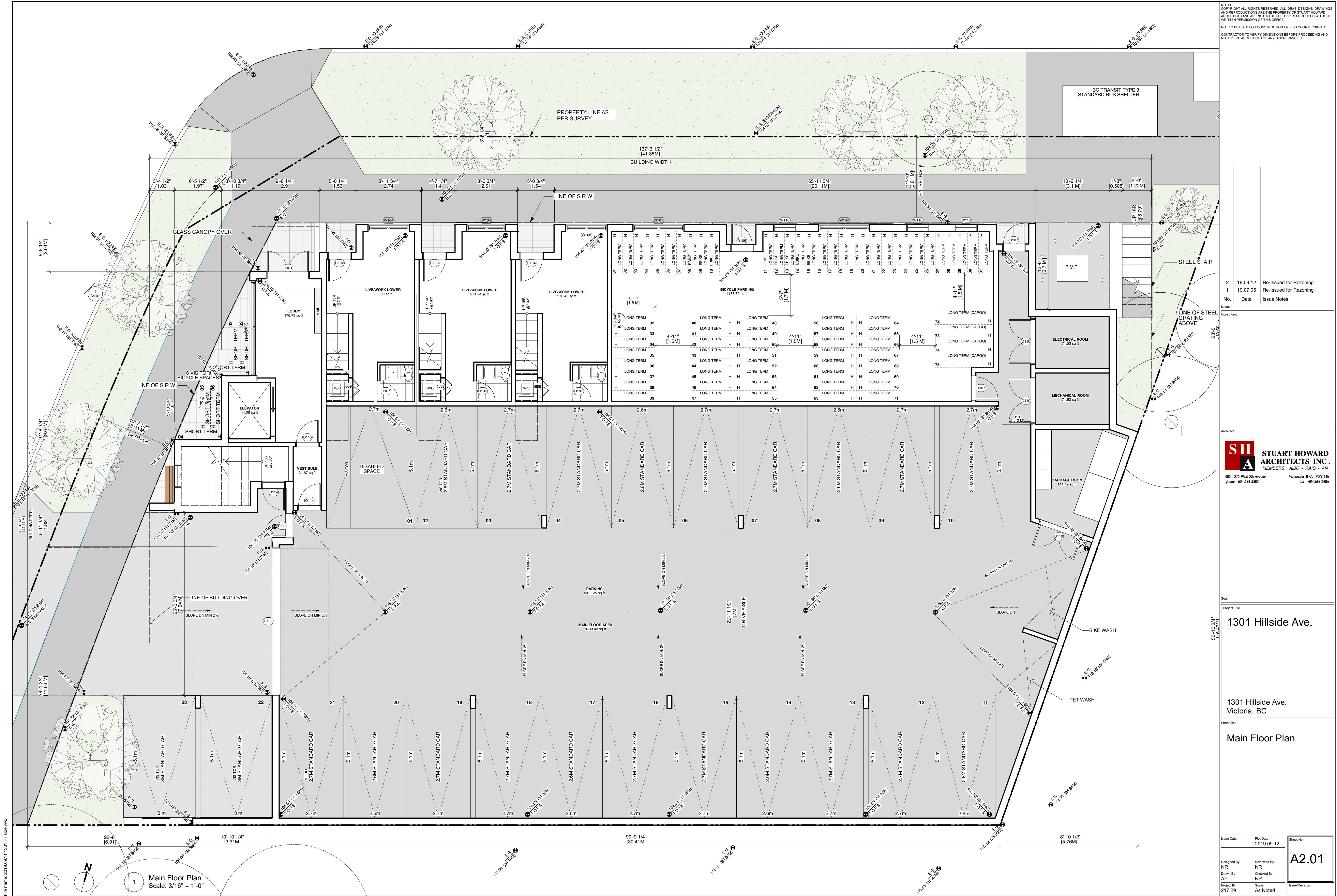
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AP

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Project ID
217.29

Scale
As Noted

Issue/Revision





File name: 2019.09.11 1301 Hillside.vwk



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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
Issues		
Consultant		

Architect

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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

3rd Floor Plan

Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.03
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

SECOND	BACH	1BR	2BR
THIRD	6	1	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12
TOTAL UNITS	49	(33% BACH, 43% 1BR, 24% 2BR)	

GROUND ORIENTED UNITS	0
MIN. UNIT FLOOR AREA	335.74 sq.ft [31.19 sq.m.]
TOTAL RESIDENTIAL FLOOR AREA	27339.85 sq.ft [2539.96 sq.m.]

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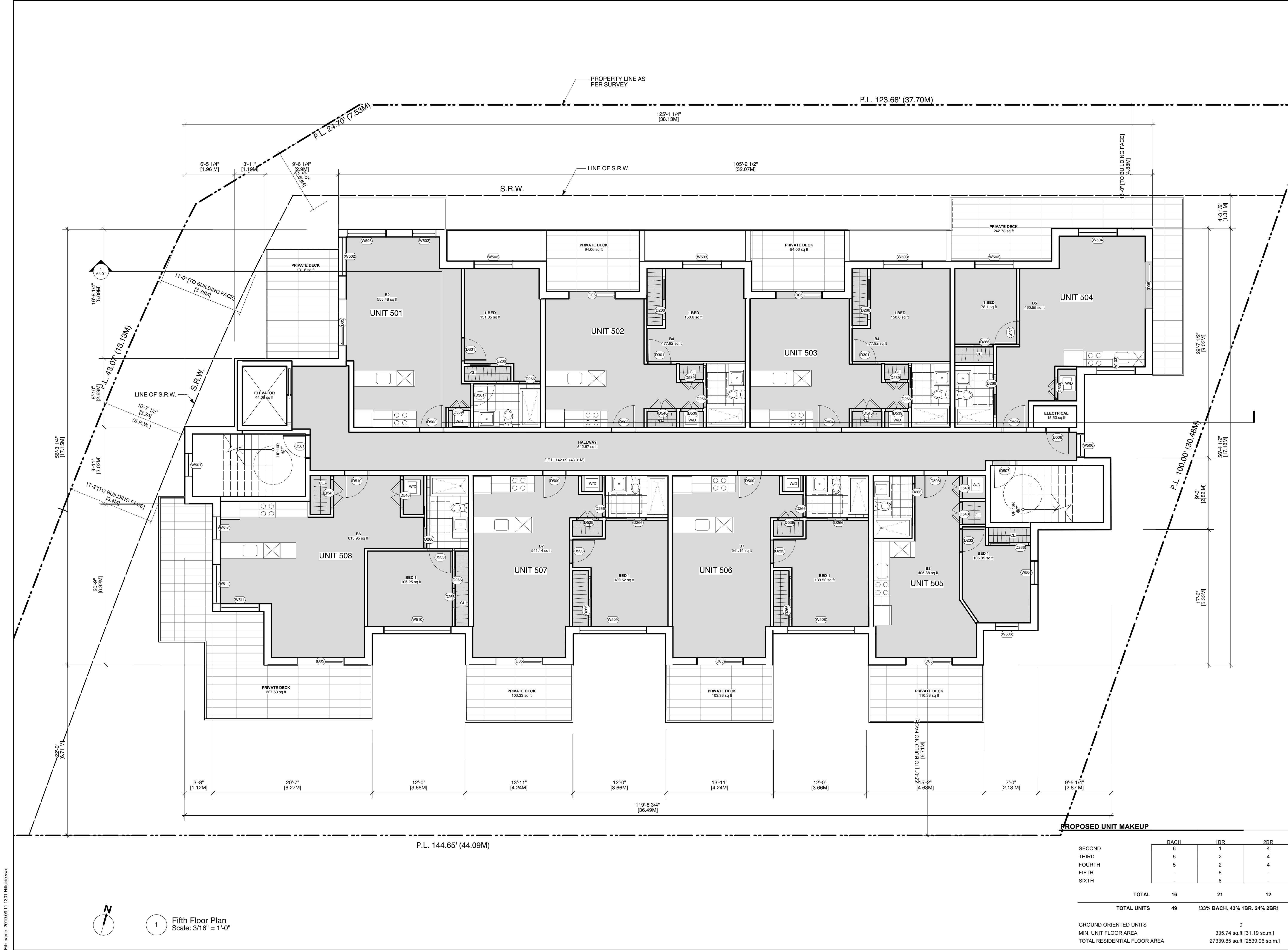
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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title		
5th Floor Plan		
Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.05
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12
TOTAL UNITS	49	(33% BACH, 43% 1BR, 24% 2BR)	
GROUND ORIENTED UNITS	0		
MIN. UNIT FLOOR AREA	335.74 sq.ft [31.19 sq.m.]		
TOTAL RESIDENTIAL FLOOR AREA	27339.85 sq.ft [2539.96 sq.m.]		

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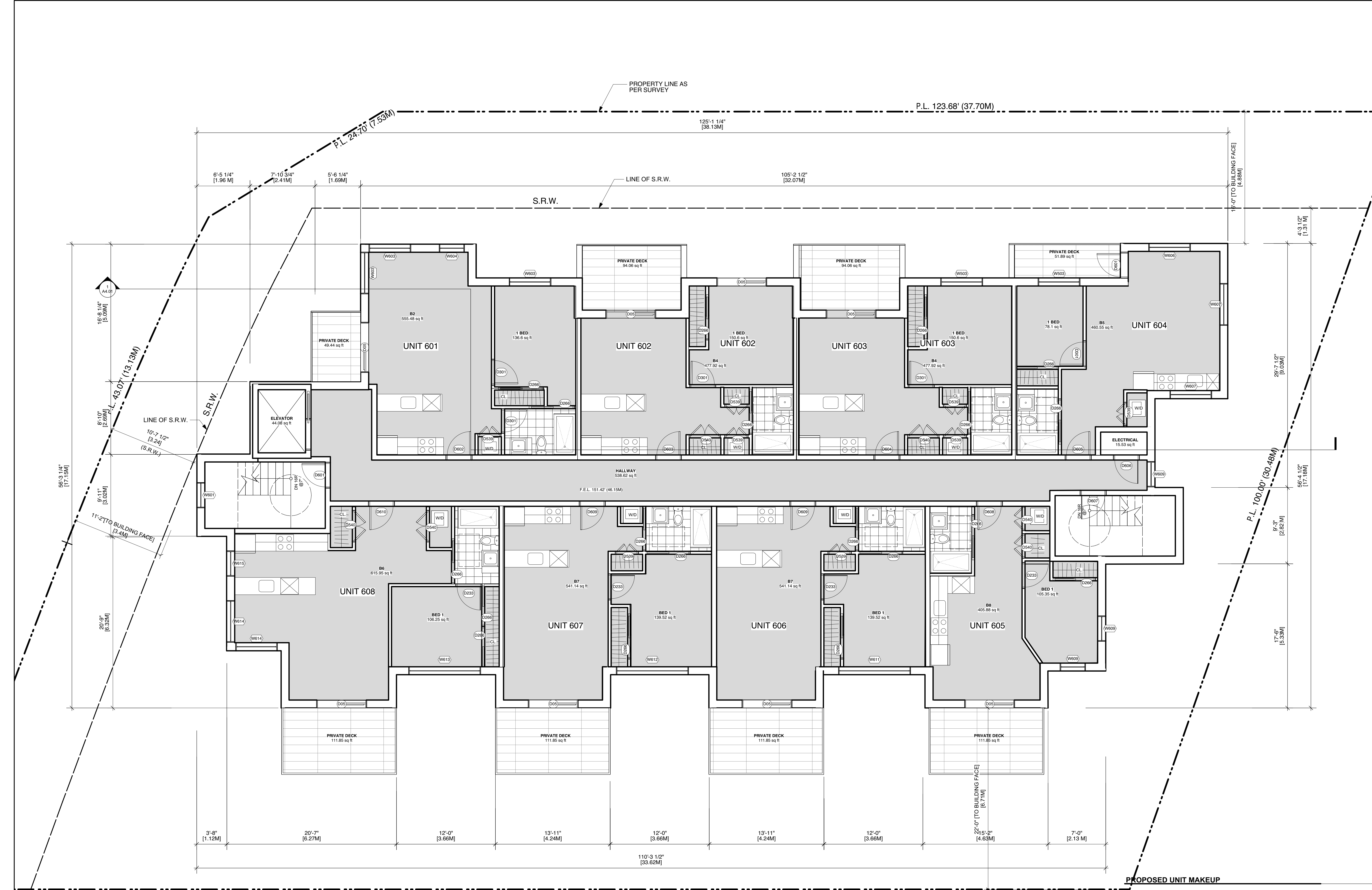
Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

6th Floor Plan



PROPOSED UNIT MAKEUP

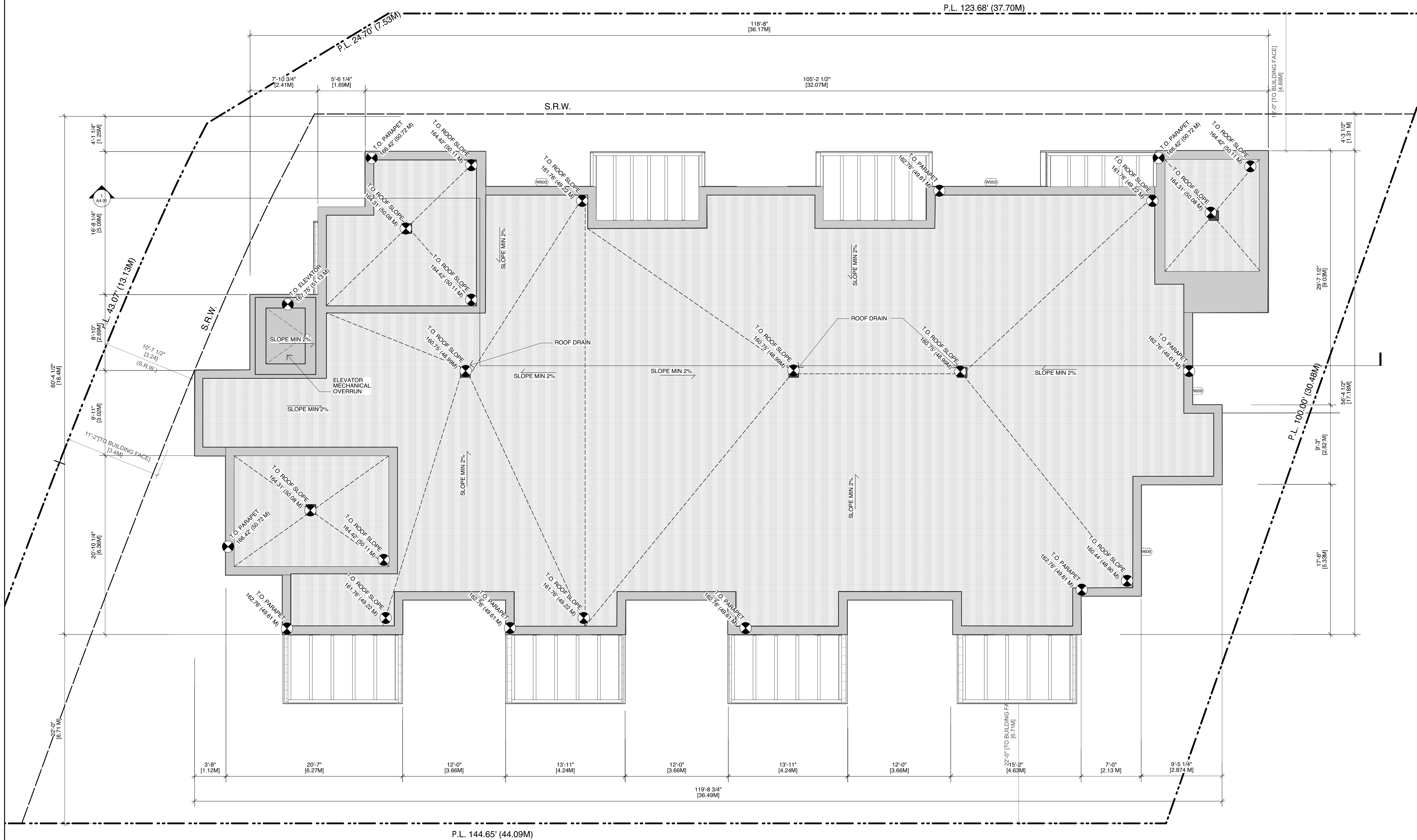
	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12

TOTAL UNITS 49 (33% BACH, 43% 1BR, 24% 2BR)

GROUND ORIENTED UNITS 0
MIN. UNIT FLOOR AREA 335.74 sq.ft [31.19 sq.m.]
TOTAL RESIDENTIAL FLOOR AREA 27339.85 sq.ft [2539.96 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.06
Designed By	Reviewed By	
NR	NR	
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Seal

Project Title

1301 Hillside Ave.

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Victoria, BC

Roof Plan

Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.07
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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Seal

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1301 Hillside Ave.

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Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.01
Designed By	Reviewed By	
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Drawn By	Checked By	
AP	NR	
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138'-5 3/4" [BUILDING WIDTH]
[41.21M]



1 North Elevation
Scale: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Issues

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Architect

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.02
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



EXTERIOR FINISH SCHEDULE

- A

BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B

FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C

METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D

VINYL FRAME GLAZING
- E

METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F

CURTAIN WALL GLAZING
- G

GLASS GUARDS
- H

PILASTER- STUCCO CLADDING
- I

WOOD FASCIA
- J

BRICK CORNICE
- K

METAL O/H GARAGE DOOR
- L

SLIDING GLASS DOOR
- M

3' SWING GLASS DOOR

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.03
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

1 East Elevation
Scale: 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Seal

Project Title

1301 Hillside Ave.

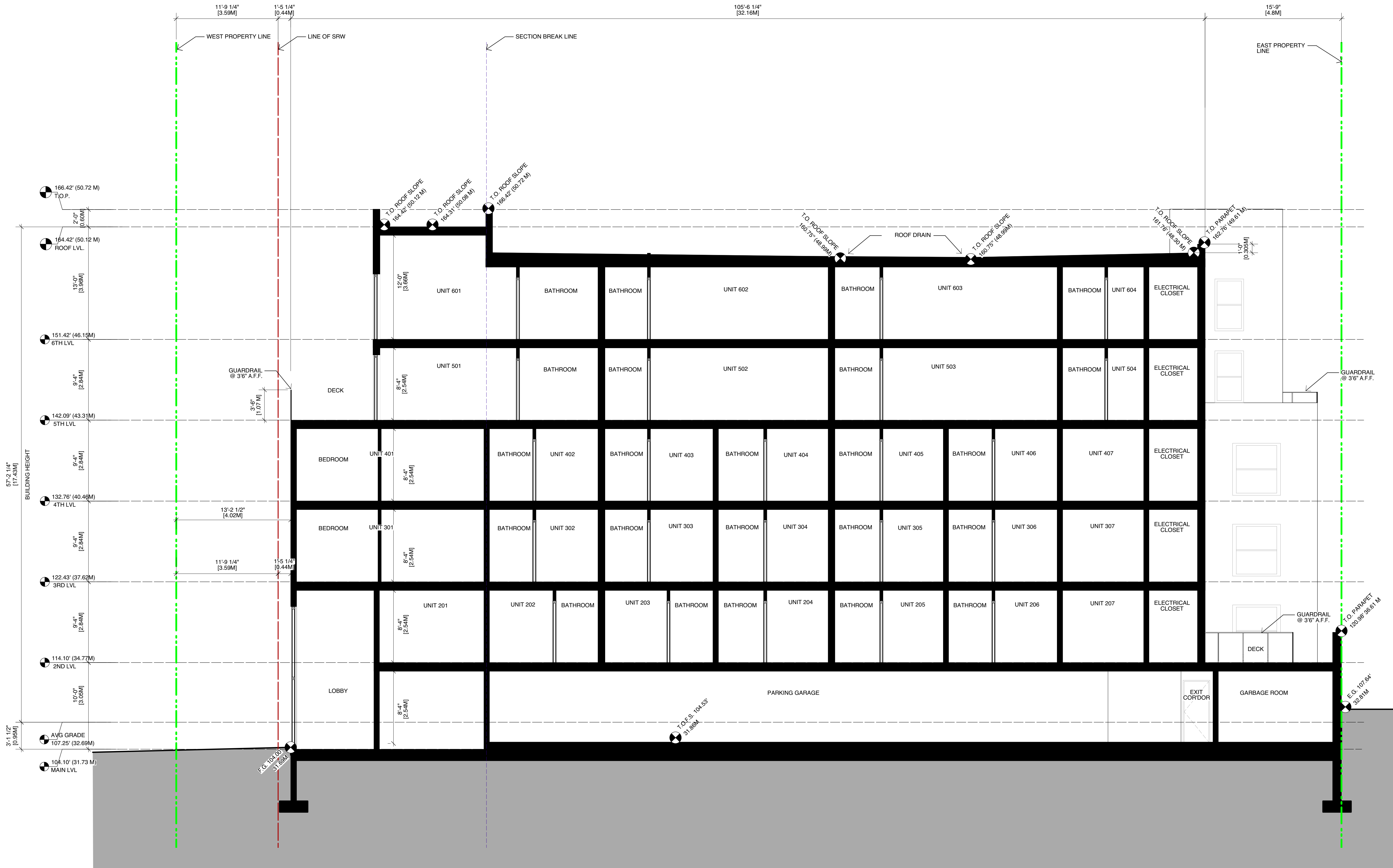
1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.04
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

File name: 2019.09.11 1301 Hillside.vwk



1 SECTION VIEW (FROM SOUTH)
Scale: 3/16" = 1'-0"

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
Issues		
Consultant		

Architect

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title	
Building Sections	
Issue Date	Plot Date
	2019.09.12
Designed By	Reviewed By
NR	NR
Drawn By	Checked By
AP	NR
Project ID	Scale
217.29	As Noted
Issue/Revision	
A4.01	



1 NW Corner - Aerial
NTS



2 NW Corner - Street Level
NTS



3 SW Corner - Aerial
NTS



4 NE - Aerial
NTS

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No. Date Issue Notes

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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Perspectives

Issue Date	Plot Date	Sheet No.
	2019.09.12	A7.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.

Victoria, BC

Sheet Title

Perspectives

Issue Date	Plot Date	Sheet No.
	2019.09.12	A7.02
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

WINDOW SCHEDULE									
WINDOW SPEC.				Size	Window Data				
QUANTITY	WINDOW NO.	WINDOW ID.		O.A. WIDTH	O.A. Height	Mfr	Model No.	Accessories	Notes
1		W103		5'0"	7'6"				
1		W103		13'0"	4'0"	-	-		-
1		W104		5'8"	4'0"	-	-		-
1		W104		5'4"	4'0"	-	-		-
1		W106		5'8"	4'0"	-	-		-
1		W107		7'0"	4'0"	-	-		-
1		W107		7'0"	4'0"	-	-		-
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W1201		3'0"	7'6"				
1		W1204		13'0"	7'6"				
1		W1205		8'0"	7'6"				
1		W1206		3'0"	7'6"				
1		W1207		3'0"	7'6"				
1		W1208		3'0"	7'6"				
1		W1208		5'0"	7'6"				
1		W1209		5'0"	7'6"				
1		W1210		3'0"	7'6"				
1		W1211		5'0"	7'6"				
1		W1213		7'0"	7'6"				
1		W1215		7'0"	7'6"				
1		W1217		7'0"	7'6"				
1		W1218		5'0"	7'6"				
1		W1219		3'0"	7'6"				
1		W1219		3'0"	7'6"				
1		W1220		5'0"	7'6"				
1		W1223		8'8"	7'6"				
1		W1224		8'8"	7'6"				
1		W1225		8'8"	7'6"				
1		W1226		8'8"	7'6"				
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1		W1228		8'8"	7'6"				
1		W1301		3'0"	7'6"				
1		W1302		5'0"	7'6"				
1		W1303		3'0"	7'6"				
1		W1304		5'0"	7'6"				
1		W1305		3'0"	7'6"				
1		W1306		8'8"	7'6"				
1		W1307		5'0"	7'6"				
1		W1308		5'0"	7'6"				
1		W1308		5'0"	7'6"				
1		W1309		3'0"	7'6"				
1		W1310		5'0"	7'6"				
1		W1312		8'8"	7'6"				
1		W1312		8'8"	7'6"				
1		W1312		8'8"	7'6"				
1		W1313		8'8"	7'6"				
1		W1314		8'8"	7'6"				
1		W1315		8'8"	7'6"				
1		W1316		5'0"	7'6"				
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1		W1318		8'8"	7'6"				
1		W1319		3'0"	7'6"				
1		W1401		3'0"	7'6"				
1		W1402		5'0"	7'6"				
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1		W1406		8'8"	7'6"				
1		W1407		5'0"	7'6"				
1		W1408		5'0"	7'6"				
1		W1409		5'0"	7'6"				
1		W1410		3'0"	7'6"				
1		W1411		5'0"	7'6"				
1		W1413		8'8"	7'6"				
1		W1413		8'8"	7'6"				
1		W1413		8'8"	7'6"				
1		W1414		8'8"	7'6"				
1		W1415		8'8"	7'6"				
1		W1416		8'8"	7'6"				
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1		W1503		5'0"	7'6"				
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1		W1603		5'0"	7'6"				
1		W1603		5'0"	7'6"				
1		W1604		3'0"	7'6"				
1		W1606		5'0"	7'6"				
1		W1607		5'0"	7'6"				
1		W1607		5'0"	7'6"				
1		W1609		3'0"	7'6"				
1		W1609		3'0"	7'6"				
1		W1609		3'0"	7'6"				
1		W1611		8'8"	7'6"				
1		W1612		8'8"	7'6"				
1		W1613		8'8"	7'6"				
1		W1614		5'0"	7'6"				
1		W1614		5'0"	7'6"				
1		W1615		3'0"	7'6"				

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2	19.09.12	Re-Issued for Rezonong
1	19.07.05	Re-Issued for Rezonong

No.	Date	Issue Notes
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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.

Victoria, BC

Sheet Title

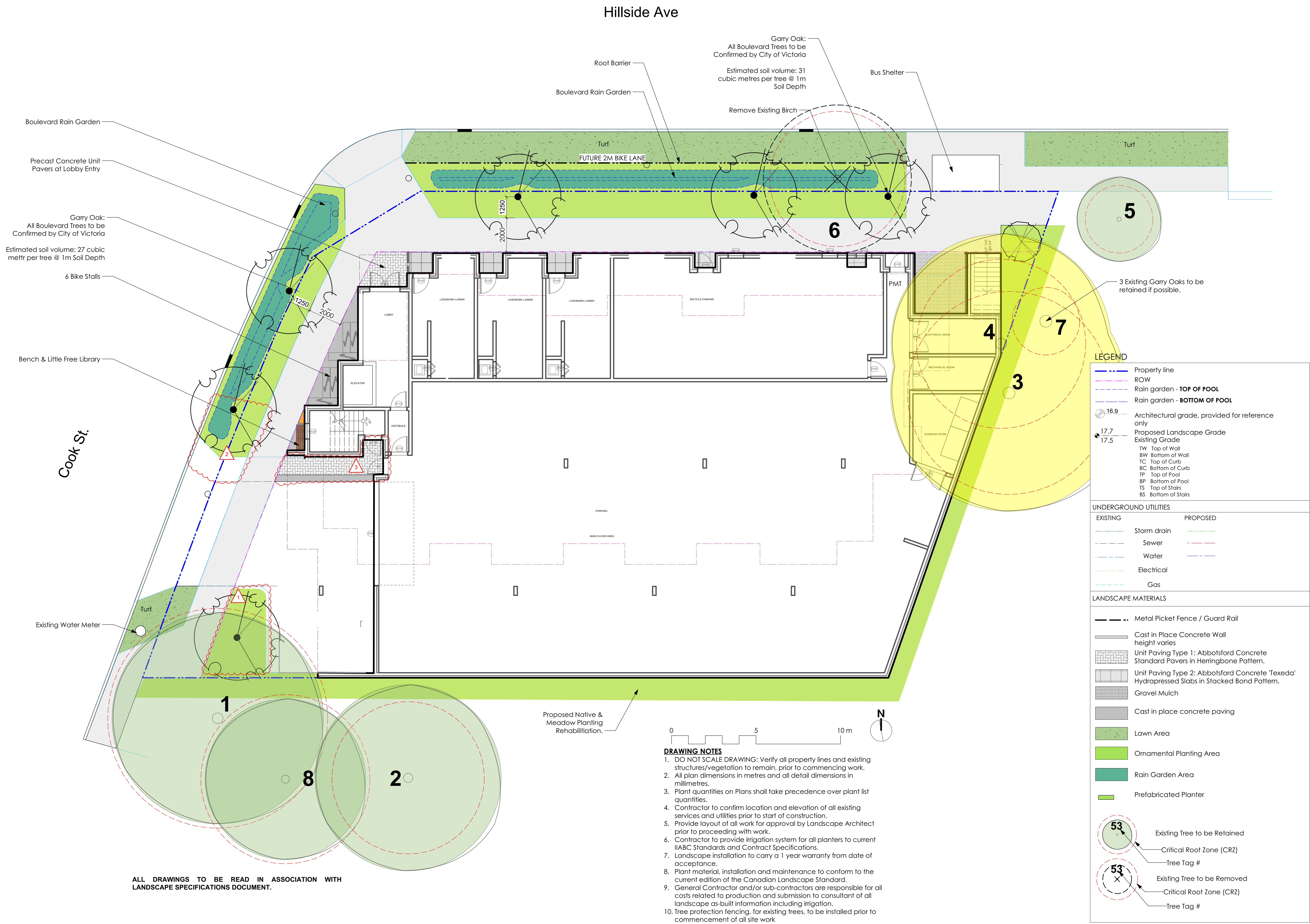
Window Schedule

Issue Date	Plot Date	Sheet No.
	2019.09.12	
Designed By	Reviewed By	A8.01
NR	NR	
Drawn By	Checked By	
AS	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

File name: 2019.09.11 1301 Hillside.vcx

DOOR SCHEDULE												
QUANTITY	DOOR SPEC.				NOMINAL SIZE			DOOR STYLE		DOOR		
	Door Name	Door No.	Door No.	Door Type	Leaf Width	Leaf Height	Thickness	Door Operation	Slab Style	Jamb Thick	Jamb Depth	Accessories
183	0	183	183	0	703	1284	24	Door Operation	183	43	21	125
1		D	107		3	7	0	Swing Simple		0	1	
1		D	114		3	7	0	Swing Simple		0	1	
1		D	101		6	8	0	Swing Bi-part		0	1	
1		D	114		3	7	0	Swing Simple		0	1	
1		D	115		3	7	0	Swing Simple		0	1	
1		D	103		3	7	0	Swing Simple		0	1	
1		D	104		3	7	0	Swing Simple		0	1	
1		D	539		3	7	0	Swing Bi-part		0	1	
1		D	539		3	7	0	Swing Bi-part		0	1	
1		D	110		6	7	0	Swing Bi-part		0	1	
1		D	110		6	7	0	Swing Bi-part		0	1	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	108		3	8	0	Swing Simple		0	1	
1		D	110		6	7	0	Swing Bi-part		0	1	
1		D	102		3	7	0	Swing Simple		0	1	
1		D	109		30	7	0	Overhead		0	1	
1		D	114		3	7	0	Swing Simple		0	1	
1		D	107		3	7	0	Swing Simple		0	1	
1		D	115		3	7	0	Swing Simple		0	1	
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1		D	216		3	7	0	Pocket Simple		0	0	
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1		D	217		3	7	0	Swing Bi-part		0	0	
1		D	220		4	7	0	Slider		0	0	
1		D	254		3	7	0	Swing Simple		0	0	
1		D	267		3	7	0	Swing Simple		0	0	
1		D	266		3	7	0	Pocket Simple		0	0	
1		D	260		3	7	0	Swing Simple		0	0	
1		D	265		4	7	0	Slider		0	0	
1		D	268		4	7	0	Slider		0	0	
1		D	263		4	7	0	Slider		0	0	
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1		D	261		3	7	0	Pocket Simple		0	0	
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1		D	204		3	7	0	Swing Simple		0	1	
1		D	208		3	7	0	Swing Simple		0	1	
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1		D	206		3	7	0	Swing Simple		0	1	
1		D	207		3	7	0	Swing Simple		0	1	
1		D	209		3	7	0	Swing Simple		0	1	
1		D	214		3	7	0	Swing Simple		0	1	
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1		D	212		3	7	0	Swing Simple		0	1	
1		D	05		6	8	0	Slider	-	0	1	-
1		D	05		6	8	0	Slider	-	0	1	-
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1		D	05		6	8	0	Slider	-	0	1	-
1		D	210		3	7	0	Swing Simple	-	0	1	-
1		D	211		3	7	0	Swing Simple		0	1	
1		D	05		6	8	0	Slider	-	0	1	-
1		D	222		3	7	0	Swing Simple		0	1	-
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1		D	05		7	8	0	Slider	-	0	1	-
1		D	305		3	7	0	Swing Bi-part	-	0	0	-
1		D	303		4	7	0	Slider		0	0	
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1		D	370		4	7	0	Slider		0	0	
1		D	368		4	7	0	Slider		0	0	
1		D	364		3	7	0	Swing Bi-part		0	0	
1		D	361		3	7	0	Pocket Simple		0	0	
1		D	362		3	7	0	Swing Simple		0	0	
1		D	334		4	7	0	Slider		0	0	
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NOT FOR CONSTRUCTION

6	DP Rev 05	2019.09.13
5	DP Rev 04	2019.07.08
4	DP Rev 03	2019.06.03
3	DP Rev 02	2019.04.15
2	DP Rev 01	2019.01.31
1	DP	2018.01.26
rev no	description	date

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client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

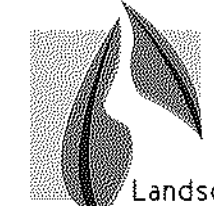
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**Ground Floor
Landscape
Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

5
L1.01

NOT FOR CONSTRUCTION

5	DP Rev 04	2019.07.08
4	DP Rev 03	2019.06.03
3	DP Rev 02	2019.04.15
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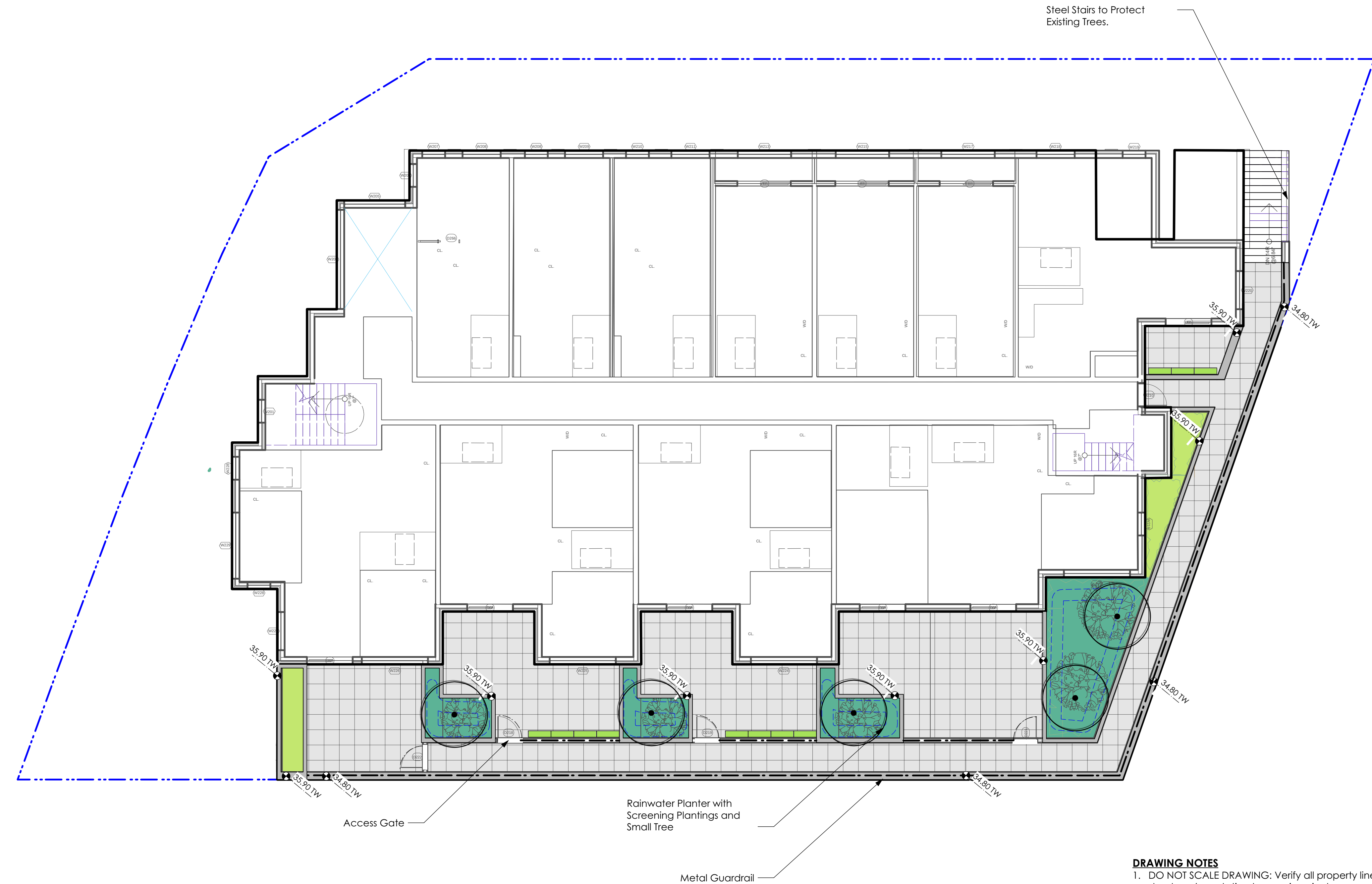
client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
**Second Floor
Landscape
Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

5
L1.02



LEGEND

- Property line
- ROW
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- Existing Grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

UNDERGROUND UTILITIES

- | EXISTING | PROPOSED |
|-------------|----------|
| Storm drain | |
| Sewer | |
| Water | |
| Electrical | |
| Gas | |

LANDSCAPE MATERIALS

- Metal Picket Fence / Guard Rail
- Cast in Place Concrete Wall height varies
- Unit Paving Type 1: Abbotsford Concrete Standard Pavers in Herringbone Pattern.
- Unit Paving Type 2: Abbotsford Concrete 'Texeda' Hydrapressed Slabs in Stacked Bond Pattern.
- Gravel Mulch
- Cast in place concrete paving
- Lawn Area
- Ornamental Planting Area
- Rain Garden Area
- Prefabricated Planter

- Existing Tree to be Retained
- Critical Root Zone (CRZ)
- Tree Tag #
- Existing Tree to be Removed
- Critical Root Zone (CRZ)
- Tree Tag #

DRAWING NOTES

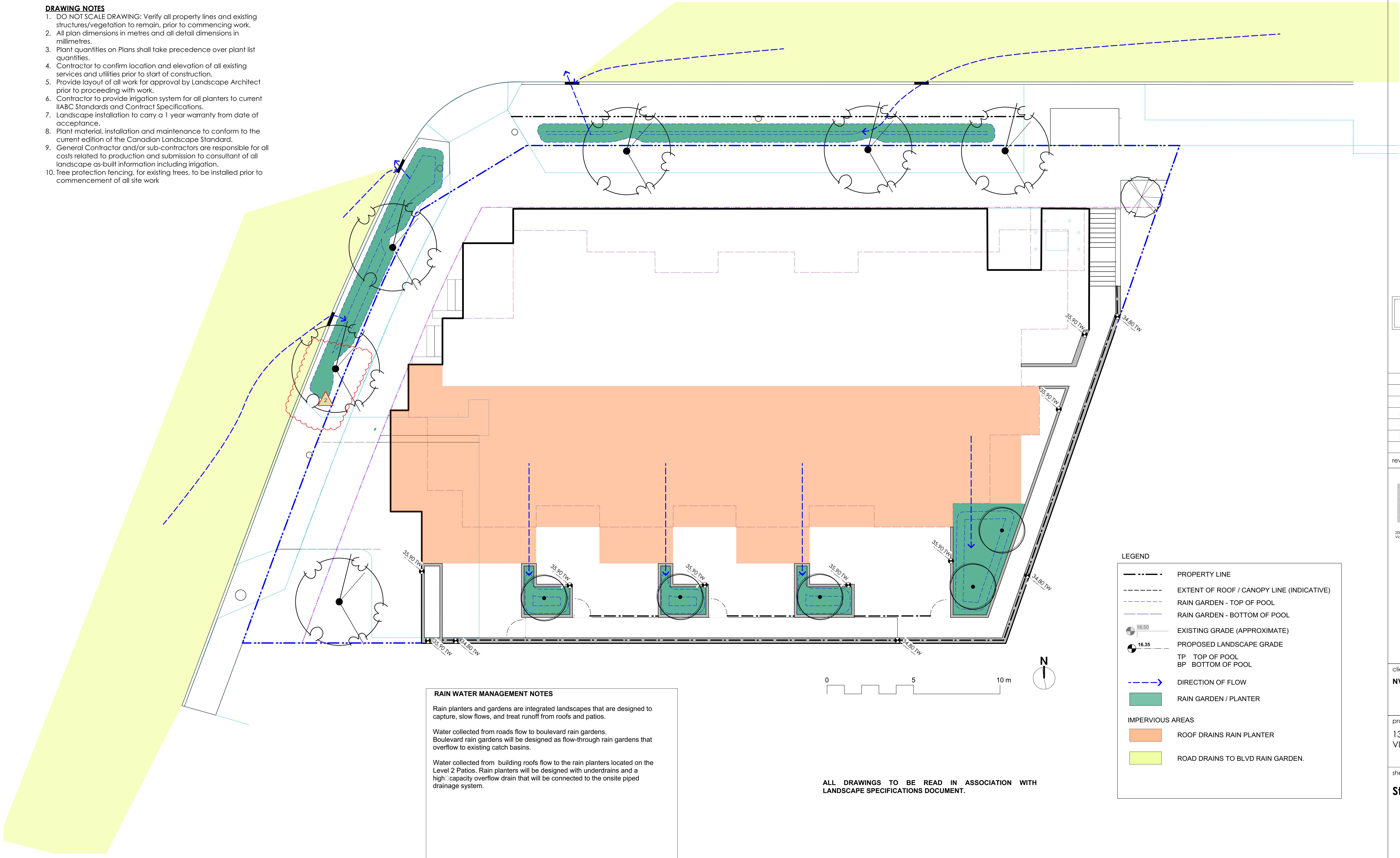
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IAABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH
LANDSCAPE SPECIFICATIONS DOCUMENT.



DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



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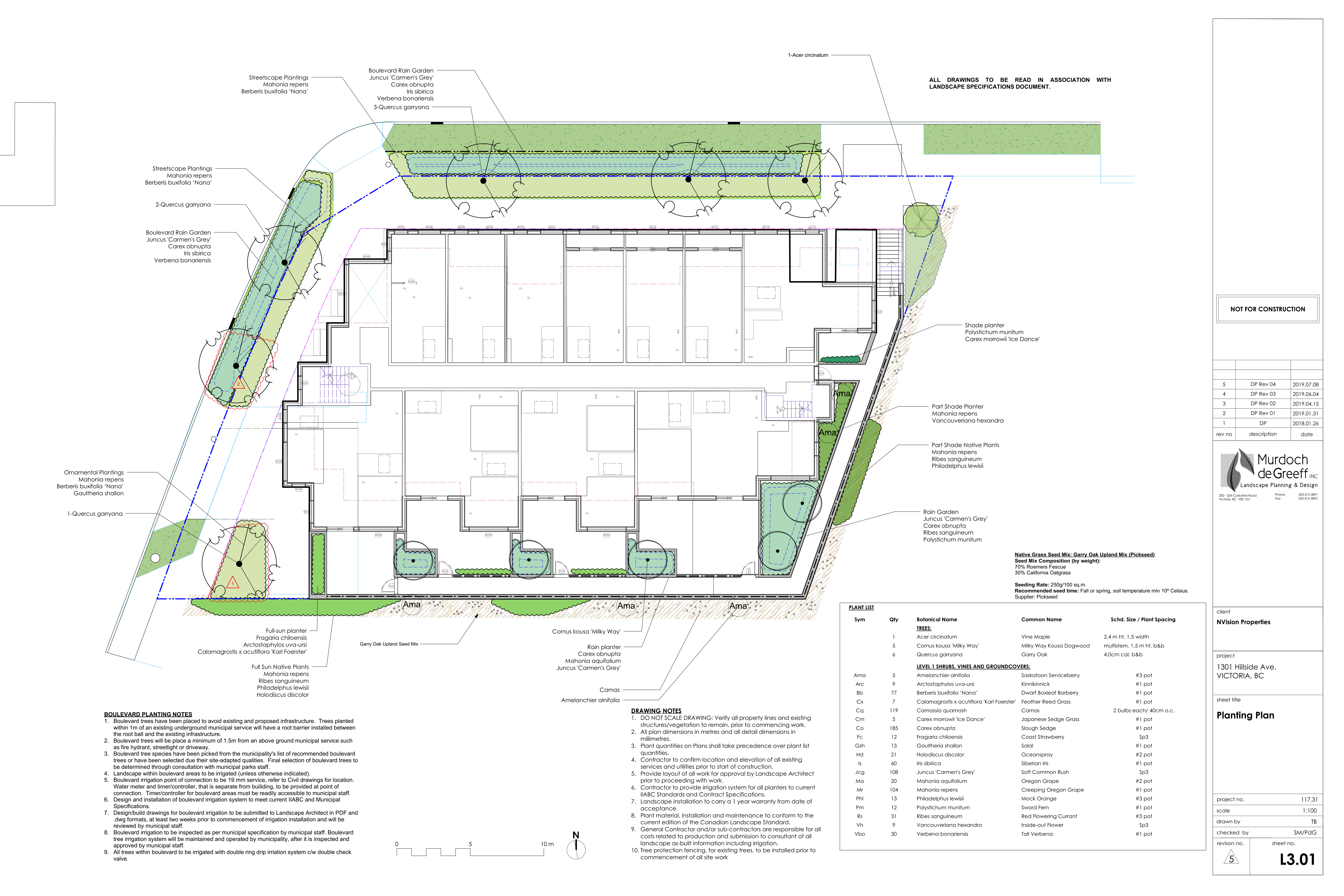
client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
Stormwater Plan

project no.	117.31
scale	1:100
drawn by	TB
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revision no.	sheet no.

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L1.03



BOULEVARD PLANTING NOTES

- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- Landscape within boulevard areas to be irrigated (unless otherwise indicated).
- Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Design and installation of boulevard irrigation system to meet current IIABC and Municipal Specifications.
- Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- All trees within boulevard to be irrigated with double ring drip irrigation system c/w double check valve.

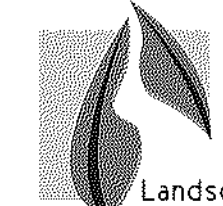
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- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
	1	Acer circinatum	Vine Maple
	5	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood
	6	Quercus garryana	Garry Oak
LEVEL 1 SHRUBS, VINES AND GROUNDCOVERS:			
Ama	5	Amelanchier alnifolia	Saskatoon Serviceberry
Arc	9	Arctostaphylos uva-ursi	Kinnikinnick
Bb	77	Berberis buxifolia 'Nana'	Dwarf Boxleaf Barberrry
Cx	7	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
Cq	119	Camassia quamash	Camas
Cm	5	Carex marrowii 'Ice Dance'	Japanese Sedge Grass
Co	185	Carex obnupta	Slough Sedge
Fc	12	Fragaria chiloensis	Coast Strawberry
Gsh	13	Gaultheria shallon	Salal
Hd	21	Holodiscus discolor	Oceanspray
Is	60	Iris sibirica	Siberian Iris
Jcg	108	Juncus 'Carmen's Grey'	Soft Common Rush
Ma	20	Mahonia aquifolium	Oregon Grape
Mr	104	Mahonia repens	Creeping Oregon Grape
Phl	13	Philadelphus lewisii	Mock Orange
Pm	12	Polystichum munitum	Sword Fern
Rs	31	Ribes sanguineum	Red Flowering Currant
Vh	9	Vancouveriana hexandra	Inside-out Flower
Vbo	30	Verbena bonariensis	Tall Verbena

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Planting Plan

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