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Seal
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2019-06-19 Issued for DP

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A6.0	Concept Renderings	NTS
A6.1	Concept Renderings	NTS
25	Sheets in Set	

Cover Sheet

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: NTS

Sheet No:

A1.0

TEAM OF CONSULTANTS

Architect

SBASTIEN GARON ARCHITECTURE + DESIGN
Project No. 19.015
1018 Deep Cove Rd
North Vancouver BC

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sebastien@sgad.ca

2nd Contact:
John Meunier
(778) 771-4970
office@drafting.team

Surveyor

J.E.Anderson & Associates
Project No. 31517
4212 Glanford Ave
Victoria BC V8Z 4B7
(250) 727-2214
info@jeanderson.com

Landscape

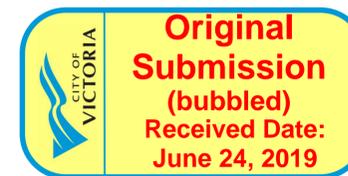
BIOPHILIA design collective ltd
Project No.
1501 Haultain St
Victoria BC V8R 2K1

Primary Contact:
Bianca Bodley
(250) 590-1156
bianca@biophilialcollective.ca

Revisions Since Community Meeting

No.	Comment
1	Driveway Material
2	Block 1 Stepping
3	Exterior Colours
4	Unit A, B, C Width Reduced
5	Unit B Upper floor
6	Trellis Roof
7	Unit B2 Basement layout
8	Fence Material

Le PARC
FAIRFIELD-KIPLING
8 UNIT TOWN HOME DEVELOPMENT
1400 Fairfield Rd and 349 Kipling St, Victoria, BC



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Survey Plan

Project Name:
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

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Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: NTS
Sheet No:

A1.1

SITE PLAN

BART JOHNSON

Lots 13 & 35, Fairfield Farm Estate, Victoria City, Plan 884

ADDRESS : 1400 Fairfield/ 351 Kipling

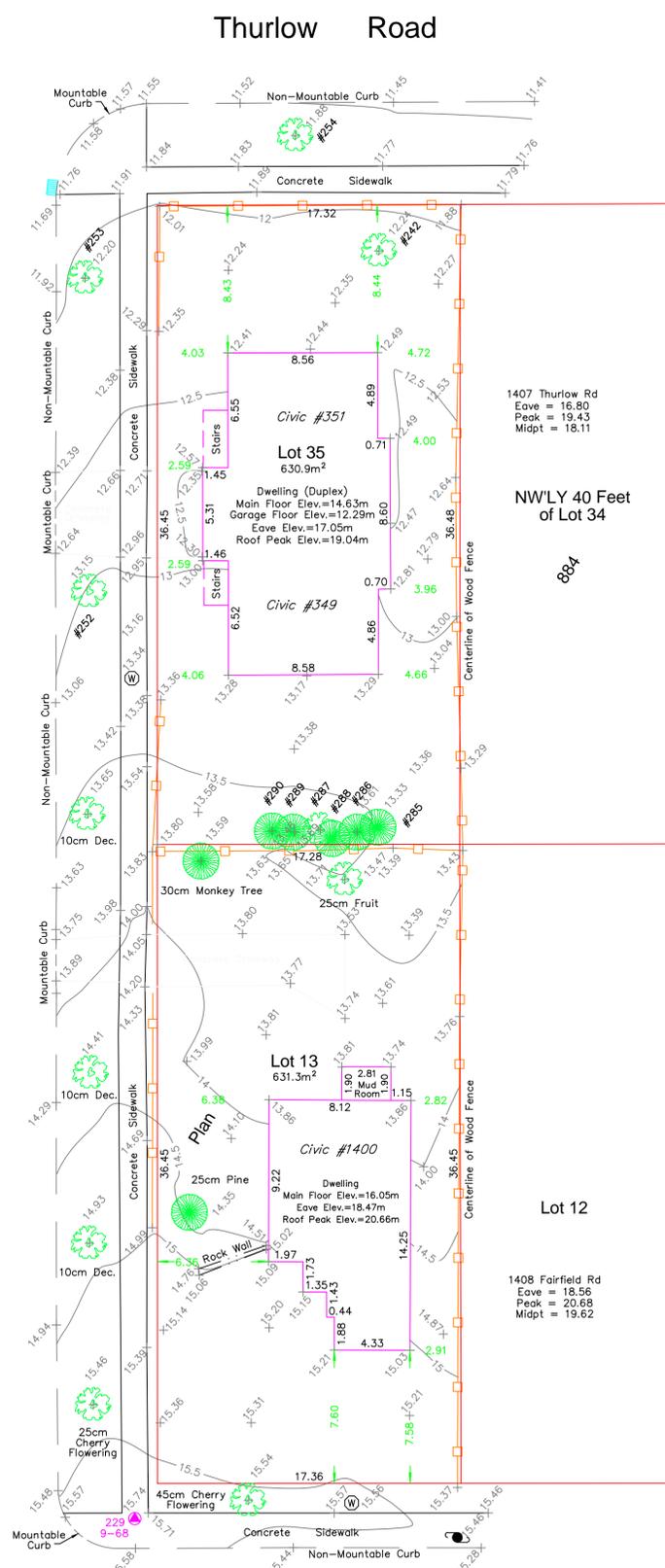
PROJECT SURVEYOR : PJW

DRAWN BY : BAR DATE : OCT 2/18

OUR FILE : 31517 REVISION :

JEA J.E. ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER



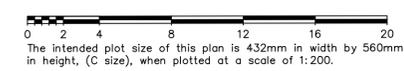
LEGEND

- ▲ --- Denotes Control Monument Found
- Denotes Traverse Station Placed
- Denotes Catch Basin
- Denotes Coniferous Tree
- Denotes Deciduous Tree
- Denotes Typical Spot Elevation
- Denotes Utility Pole
- W --- Denotes Water Service

Table of Tree Descriptions

Tag #	Species	Diameter
#242	Deciduous	60cm
#252	Deciduous	45cm
#253	Deciduous	50cm
#254	Deciduous	30cm
#285	Cedar	40cm
#286	Cedar	40cm
#287	Deciduous	30cm (Twin)
#288	Cedar	30cm (Twin)
#289	Cedar	30cm
#290	Cedar	45cm (Twin)
No tag	Monkey	30cm
No tag	Fruit	25cm
No tag	Deciduous	10cm
No tag	Deciduous	10cm
No tag	Cherry	25cm
No tag	Cherry	45cm
No tag	Pine	25cm

Legal boundaries are derived from field survey
Distances and elevations are in metres.
Elevations are geodetic based on control monument 9-68.
Elevations are at grade unless noted otherwise.
Building dimensions and offsets to property lines are shown to exterior of building walls.



This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.

J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.

Subject to charges, legal notations, and interests shown on: Title No. ET59777 (P.I.D. 008-292-345) Lot 13
Title No. CA6094211 (P.I.D. 005-209-510) Lot 35

V:_Projects\31517\08\02\Microsurvey\31517.dwg

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Context Plan

Project Name:

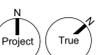
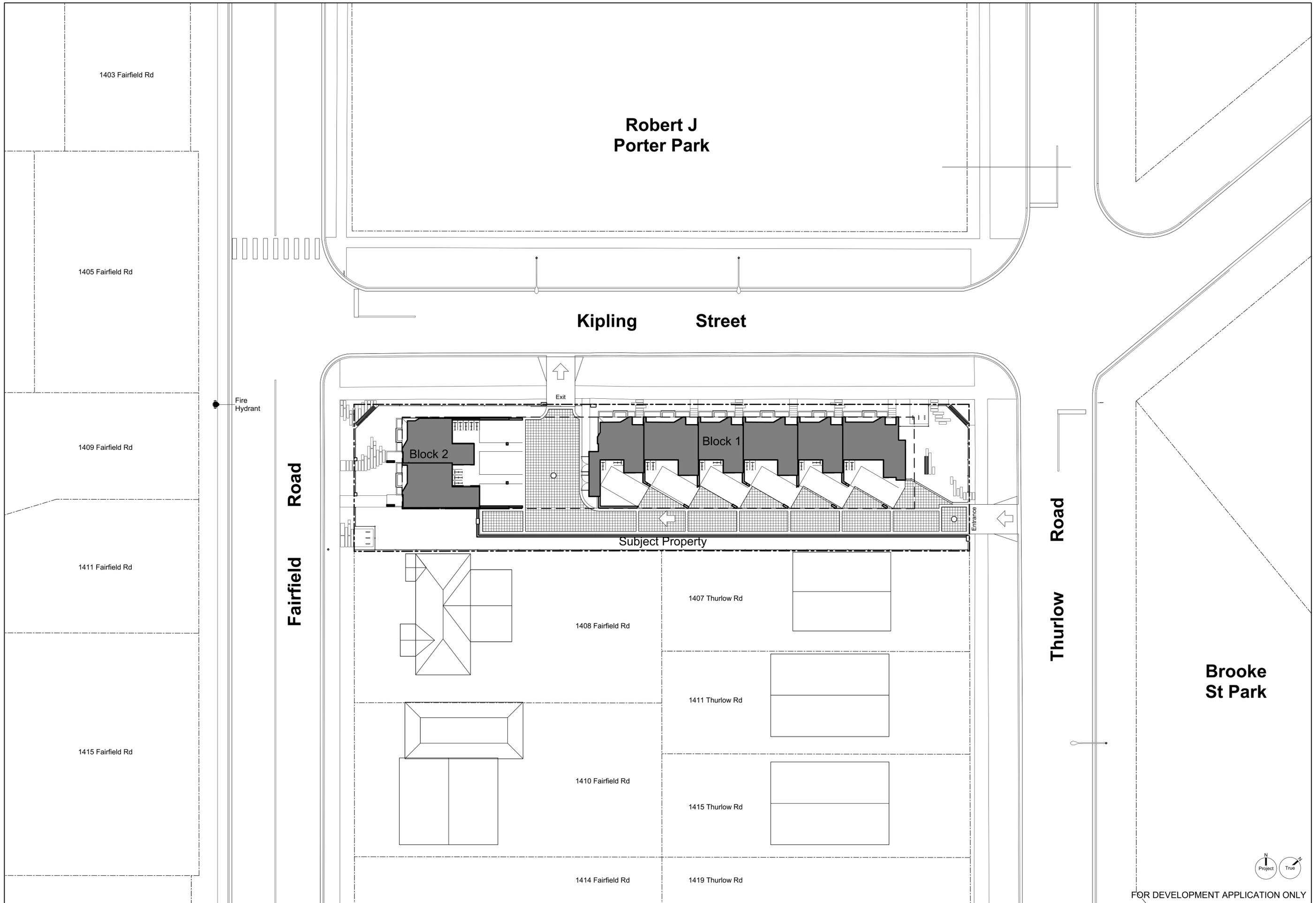
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: 1:200
Sheet No:

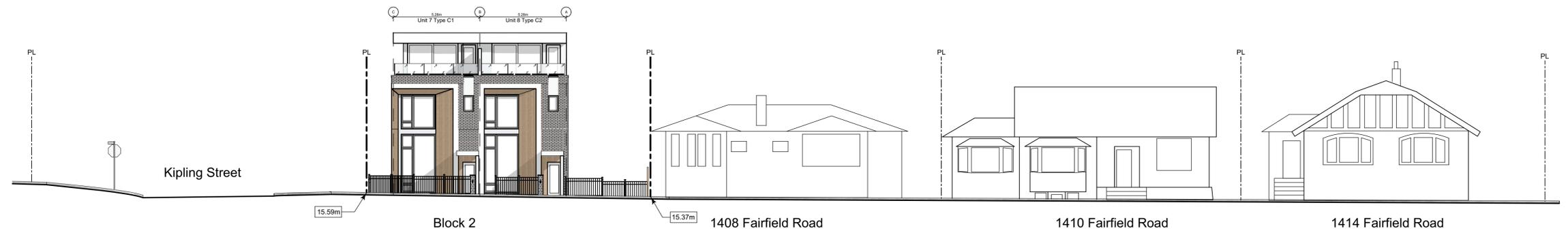
A1.2



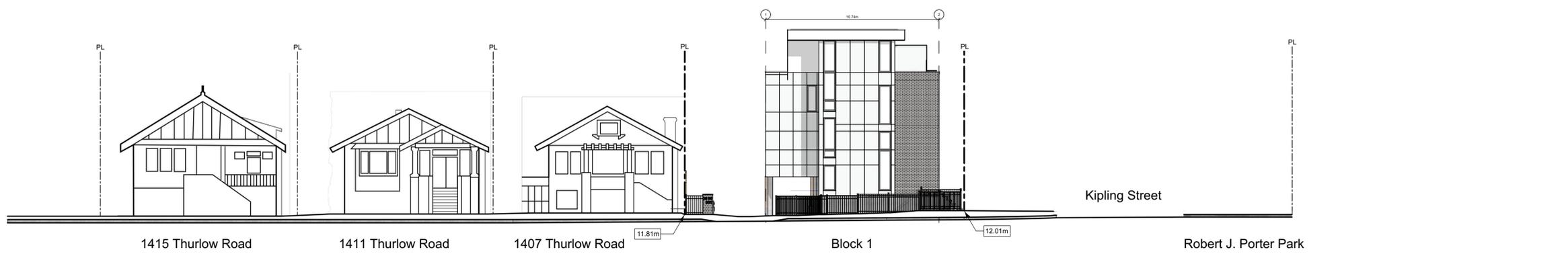
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1 Streetscape Kipling Street
Scale: 1:150



2 Streetscape Fairfield Road
Scale: 1:150



3 Streetscape Thurlow Road
Scale: 1:150

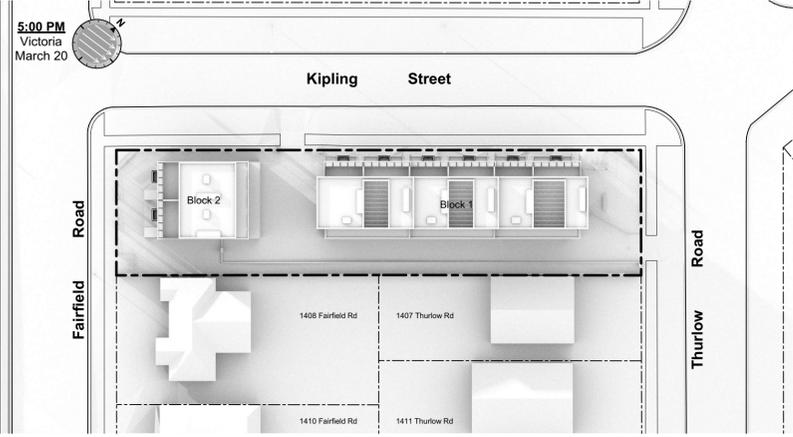
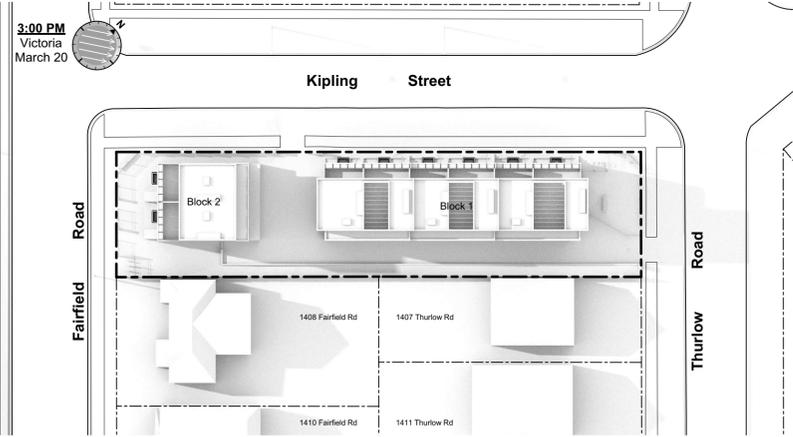
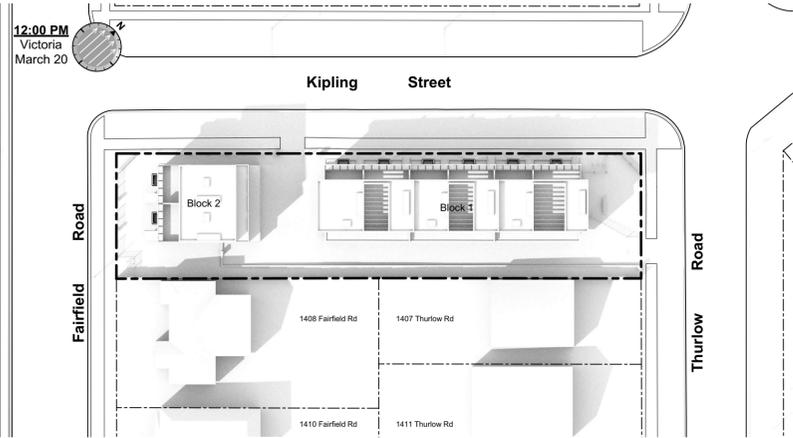
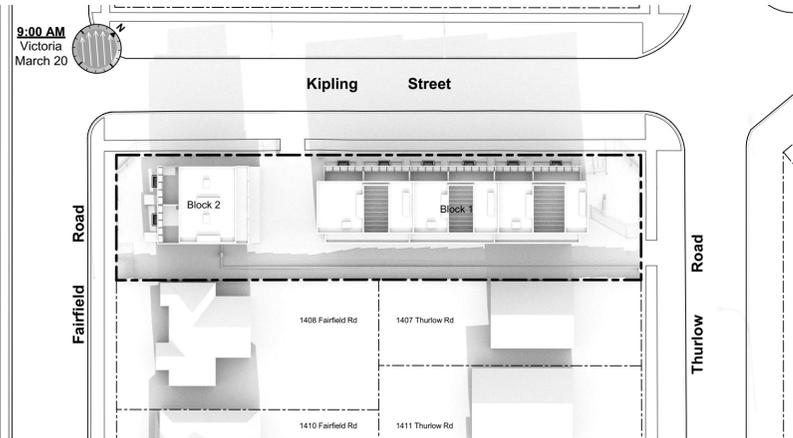
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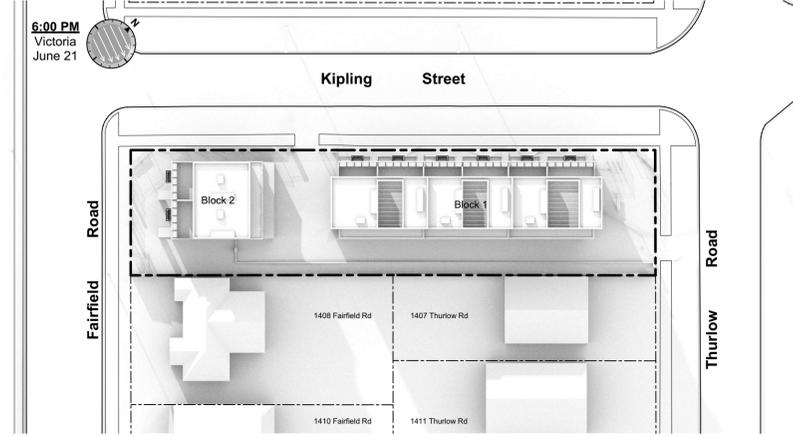
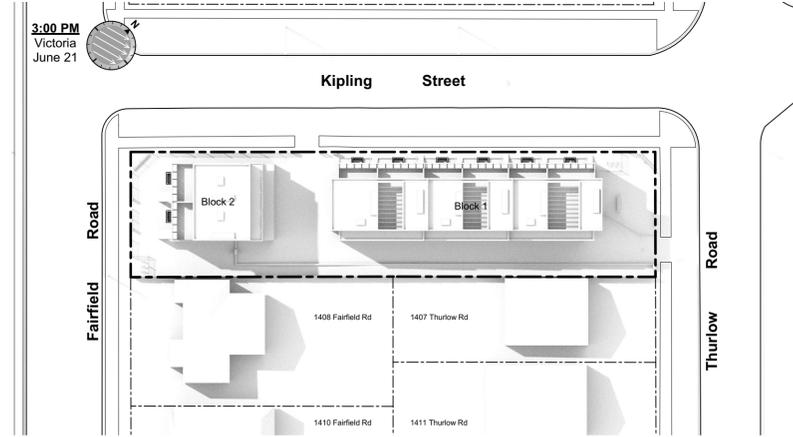
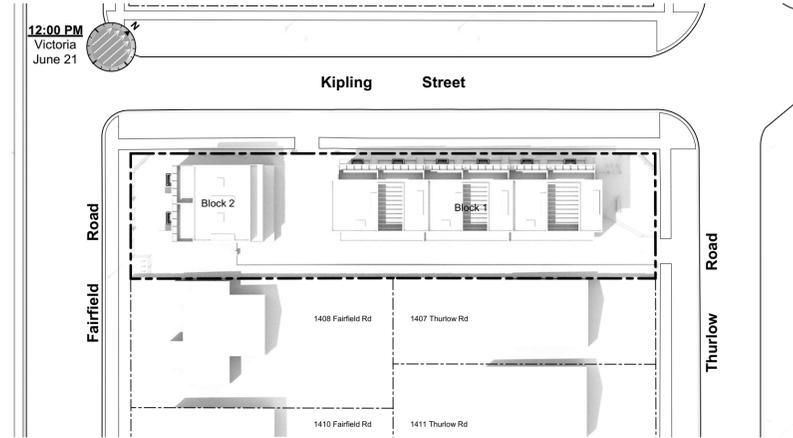
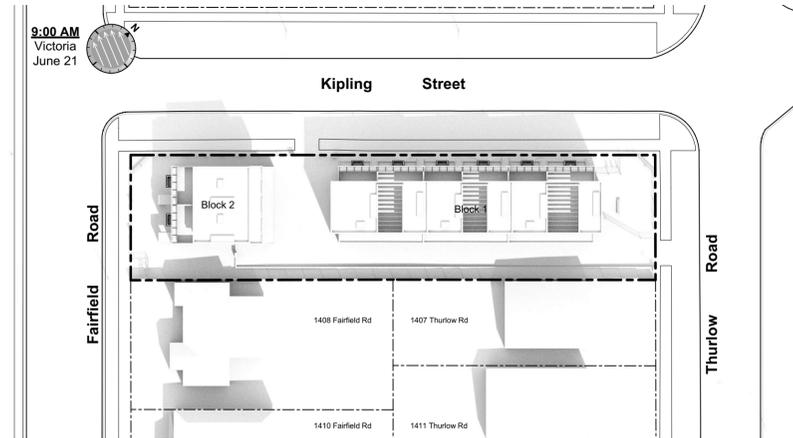
Context Streetscape
Project Name:
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St
Legal:
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Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: (1:120) 1" = 10'-0"
Sheet No:

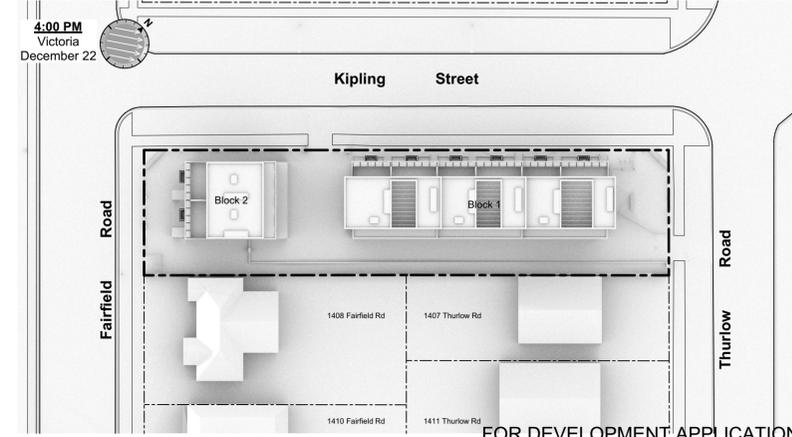
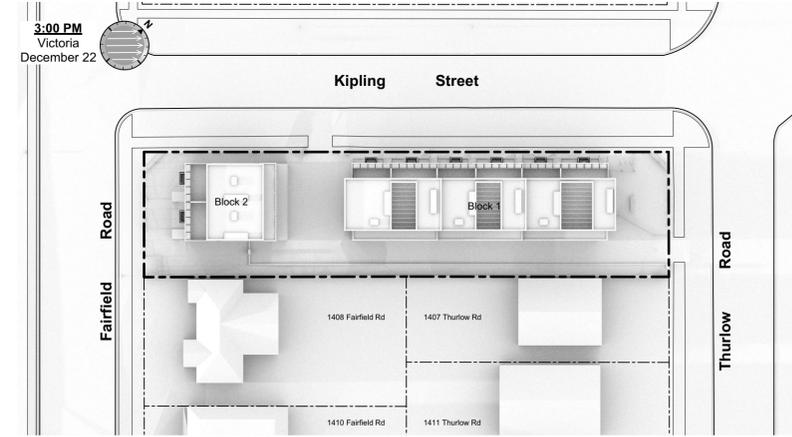
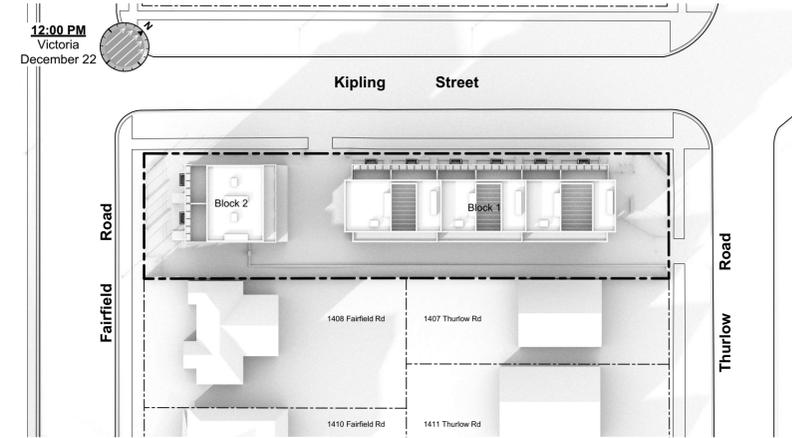
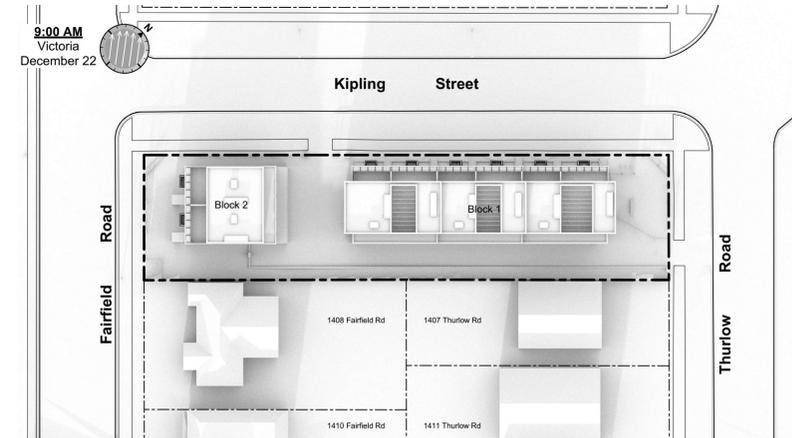
March Equinox



June Solstice



December Solstice



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Solar Study

Project Name:
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: (1:120) 1" = 10'-0"

Sheet No:



- ②
- ①
- ③
- ④
- ⑨
- ⑤
- ⑧
- ⑥
- ⑦



- ⑨
- ④
- ③
- ⑧
- ⑥
- ⑦

Legend

- | No. | Description |
|-----|--|
| 1 | Ready for solar panels (rough-in) |
| 2 | Ready for electric car charging outlets (rough-in) |
| 3 | Water efficient plumbing fixtures |
| 4 | Low-VOC interior finishes |
| 5 | Rooftop greenery |
| 6 | Water efficient landscaping |
| 7 | Bike parking |
| 8 | Enhanced natural light |
| 9 | Energy efficient light fixtures |

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Sustainability Strategy

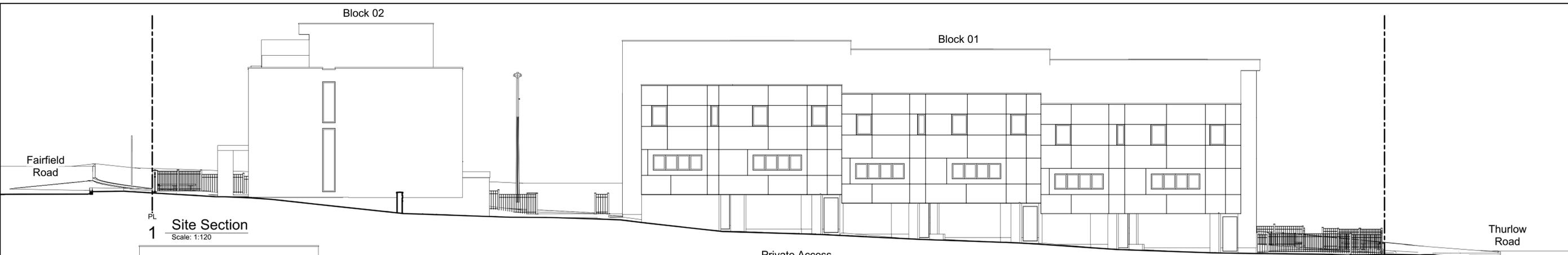
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Fairfield-Kipling Development

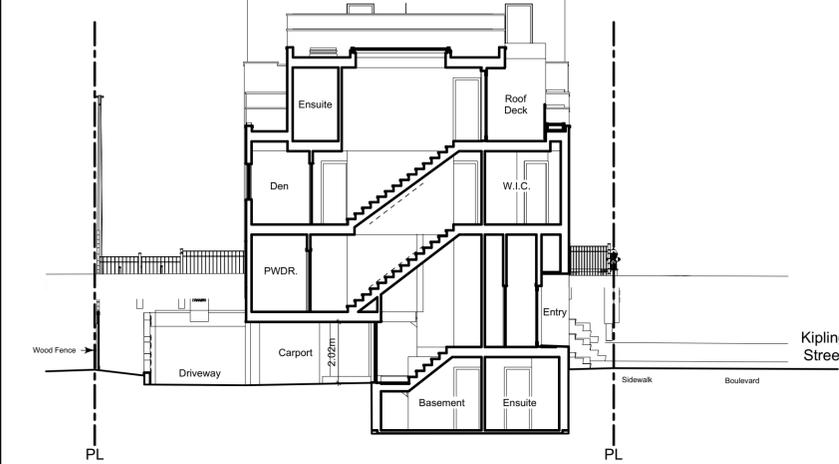
Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: (1:120) 1" = 10'-0"
Sheet No:



1 Site Section
Scale: 1:120



A Site Section
Scale: 1:120

Zoning Reconciliation

Lot Description	Property 1	Property 2
Civic Address:	1400 Fairfield Rd.	349 Kipling St.
Legal Address:	Lot 13 Plan 984	Lot 35 Fairfield Farm
Zoning:	R1-B	Estate Victoria VIP684
Site Area:	631.3 M2	630.9 M2
Density	7.9 UPH	630.9 M2
FSR	Max: 0.900	Provided: 0.899
Lot Coverage	Max 50%	Max 631.14 M2
Building 1	30.99%	391.19 M2
Building 2	11.93%	150.57 M2
Setbacks	Min.	Proposed
Side Yard Corner Lot (Kipling St.)	1.50 m	4.92 FT
Side Yard Interior	5.00 m	16.40 FT
Front Yard (Fairfield Rd.)	5.70 m	18.70 FT
Front Yard (Thurlow Rd.)	6.50 m	21.33 FT
Building Height	Max	Proposed
Building 1	11.00 m	2.5 Stories
Building 2	11.00 m	2.5 Stories
Vehicle Parking	Required: 10 Stalls	Proposed: 10 Stalls
Dwelling Unit	1.0 / Unit	8 stalls
Visitor	0.1 / Unit	1 stalls
Car Sharing		1 stalls
Bicycle Parking	Required: 22 Stalls	Proposed: 32 Stalls
Long Term	1.25 / Unit	10 stalls
Short Term	6 / Bldg.	12 stalls

Private Access

Grade Calculations - Block 02

Grade Points	Average	Distance	Total
A 4.63 m To B 4.27 m	4.45 m	x 14.25 m	63.41
B 4.27 m To C 4.25 m	4.26 m	x 10.57 m	44.99
C 4.25 m To D 4.63 m	4.44 m	x 14.25 m	63.26
D 4.63 m To E 4.66 m	4.65 m	x 5.23 m	24.30
E 4.66 m To A 4.63 m	4.65 m	x 5.33 m	24.77
Average Grade	4.45 m		

Grade Calculations - Block 01

Grade Points	Average	Distance	Total
A 4.27 m To B 4.23 m	4.25 m	x 5.38 m	22.86
B 4.23 m To C 4.14 m	4.18 m	x 6.45 m	26.98
C 4.14 m To D 4.05 m	4.09 m	x 5.33 m	21.83
D 4.05 m To E 3.94 m	4.00 m	x 6.45 m	25.79
E 3.94 m To F 3.86 m	3.90 m	x 5.33 m	20.80
F 3.86 m To G 3.81 m	3.84 m	x 6.50 m	24.93
G 3.81 m To H 3.78 m	3.79 m	x 2.74 m	10.40
H 3.78 m To I 3.78 m	3.78 m	x 0.91 m	3.44
I 3.78 m To J 3.61 m	3.70 m	x 4.70 m	17.38
J 3.61 m To K 3.62 m	3.62 m	x 4.00 m	14.46
K 3.62 m To L 3.68 m	3.65 m	x 6.04 m	22.04
L 3.68 m To M 3.80 m	3.74 m	x 5.74 m	21.48
M 3.80 m To N 3.86 m	3.83 m	x 6.04 m	23.15
N 3.86 m To O 3.95 m	3.91 m	x 5.74 m	22.44
O 3.95 m To P 4.01 m	3.98 m	x 6.01 m	23.92
P 4.01 m To Q 4.15 m	4.08 m	x 4.99 m	18.72
Q 4.15 m To R 4.15 m	4.15 m	x 1.37 m	5.68
R 4.15 m To S 4.17 m	4.16 m	x 1.12 m	4.66
S 4.17 m To T 4.21 m	4.19 m	x 5.30 m	22.20
T 4.21 m To U 4.21 m	4.21 m	x 1.12 m	4.71
U 4.21 m To A 4.27 m	4.24 m	x 4.08 m	17.29
Average Grade	3.95 m		

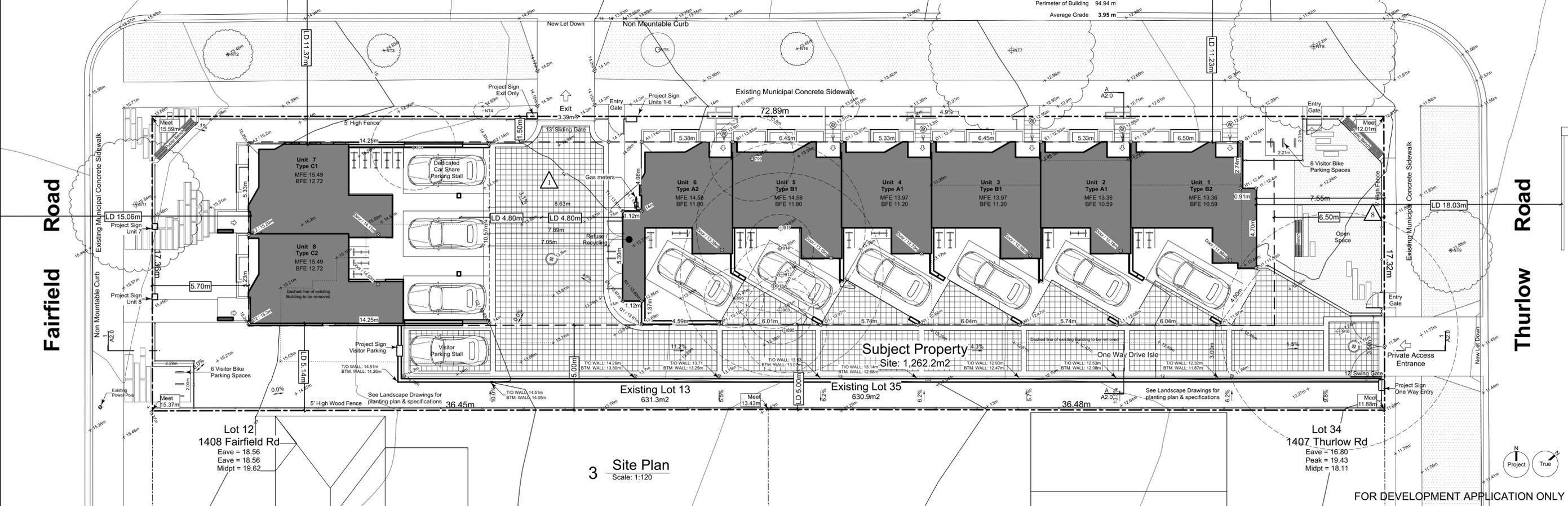
Project Data

Type	Area (SF)	Zoning Area (SF)	Bedrms	Car Parking	Bike Parking
Block 01	11,523	8,843		6	12
Unit 1	B2	2,029	1,486	4	1
Unit 2	A1	1,885	1,493	4	1
Unit 3	B1	1,883	1,429	4	1
Unit 4	A1	1,885	1,493	4	1
Unit 5	B1	1,883	1,429	4	1
Unit 6	A2	1,959	1,513	4	1
Block 02	4,344	3,306		2	4
Unit 7	C1	2,124	1,619	3	1
Unit 8	C2	2,220	1,688	3	1
Refuse			60		
Visitor				1	10
Car-Sharing					1
Total	15,867	12,209			
Site Area	1,262.3 m2	13,587			
FSR	0.899				

Tree Schedule

See Arborist Report Prepared by Talbot Mackenzie & Associates

Tag	Name	Action	DBH (cm)	Spread (m)
695	Apple	Remove	1.2	1.1
799	Monkey Puzzle	Remove	9.4	1.5
800	Blue Spruce	Remove	7.6	1.5
898	Western Red Cedar	Remove	12.8	1.5
903	Western Red Cedar	Remove	12.8	1.2
912	Big Leaf Maple	Remove	14.0	3.7
913	Western Red Cedar	Remove	11.3	1.5
914	Western Red Cedar	Remove	10.1	1.2
915	Western Red Cedar	Remove	15.5	3.0
916	Ash	Remove	16.8	4.3
NT1	Japanese Cherry	Retain	14.6	2.4
NT2	Cherry Plum	Retain	8.5	0.9
NT3	Ginkgo	Retain	2.1	0.6
NT4	Ash	Remove	0.9	0.3
NT5	Red Maple	Transplant - Proposed location	2.4	0.6
NT6	Scarlet Oak	Retain	1.2	0.6
NT7	Red Maple	Retain	14.3	3.0
NT8	Red Maple	Retain	14.9	3.0
NT9	Japanese Cherry	Retain	9.1	1.5



3 Site Plan
Scale: 1:120

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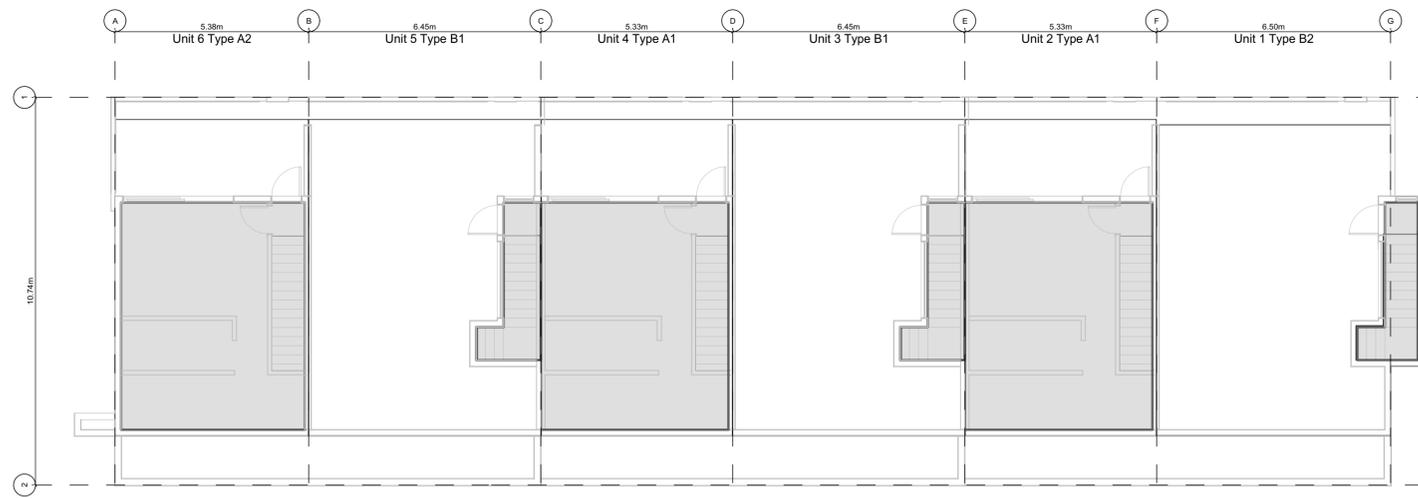
Drawn By: SG/JM

Plot Date: Jun 20, 2019

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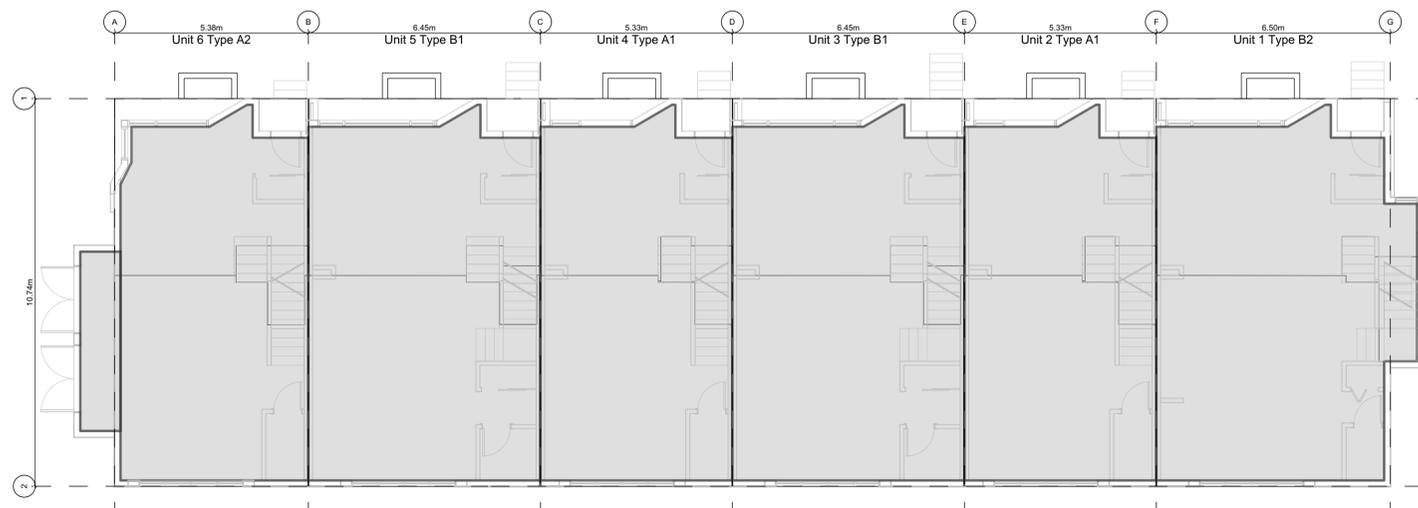
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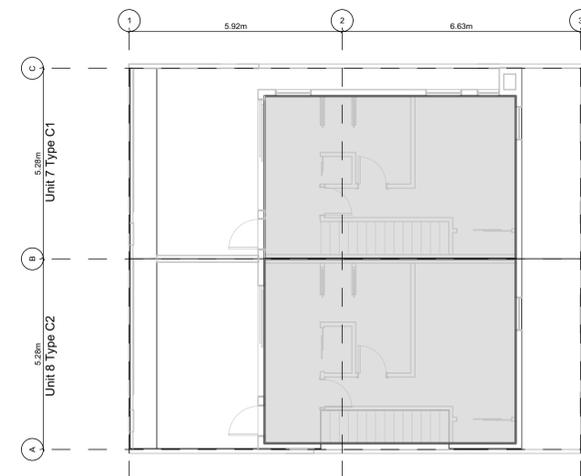
3 Block 1 - Floor 3
Scale: 1:100



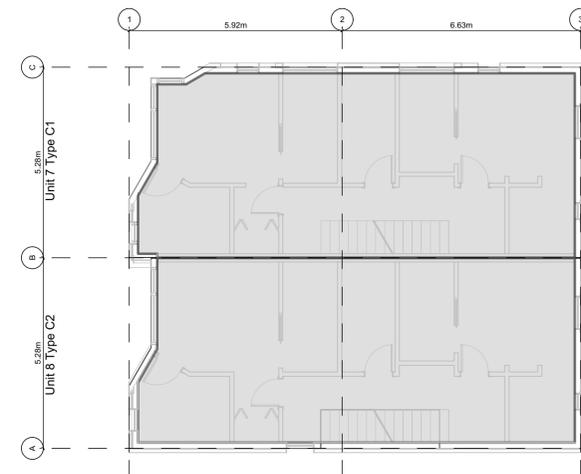
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Scale: 1:100



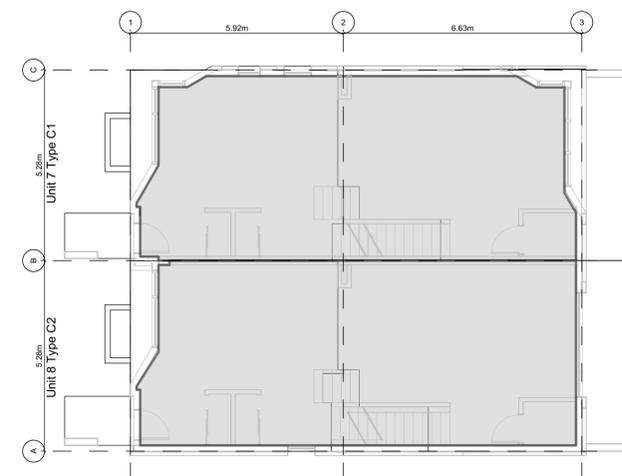
1 Block 1 - Floor 1
Scale: 1:100



6 Block 2 - Floor 3
Scale: 1:100



5 Block 2 - Floor 2
Scale: 1:100



4 Block 2 - Floor 1
Scale: 1:100

Project Data

Type	Area (SF)	Zoning Area (SF)	Bedrms	Car Parking	Bike Parking	
Block 01	11,523	8,843		6	12	
Unit 1	B2	2,029	1,486	4	1	2
Unit 2	A1	1,885	1,493	4	1	2
Unit 3	B1	1,883	1,429	4	1	2
Unit 4	A1	1,885	1,493	4	1	2
Unit 5	B1	1,883	1,429	4	1	2
Unit 6	A2	1,959	1,513	4	1	2
Block 02	4,344	3,306		2	4	
Unit 7	C1	2,124	1,619	3	1	2
Unit 8	C2	2,220	1,688	3	1	2
Refuse			60			
Visitor				1	10	
Car-Sharing				1		
Total	15,867	12,209				
Site Area	1,262.3 m2	13,587				
FSR		0.899				

Floor Space Ratio: The building area is measured to the interior side of the exterior wall and C/L of demising walls. Basements excluded.

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**Graphical
Floor Area Ratio**

Project Name:

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Development**

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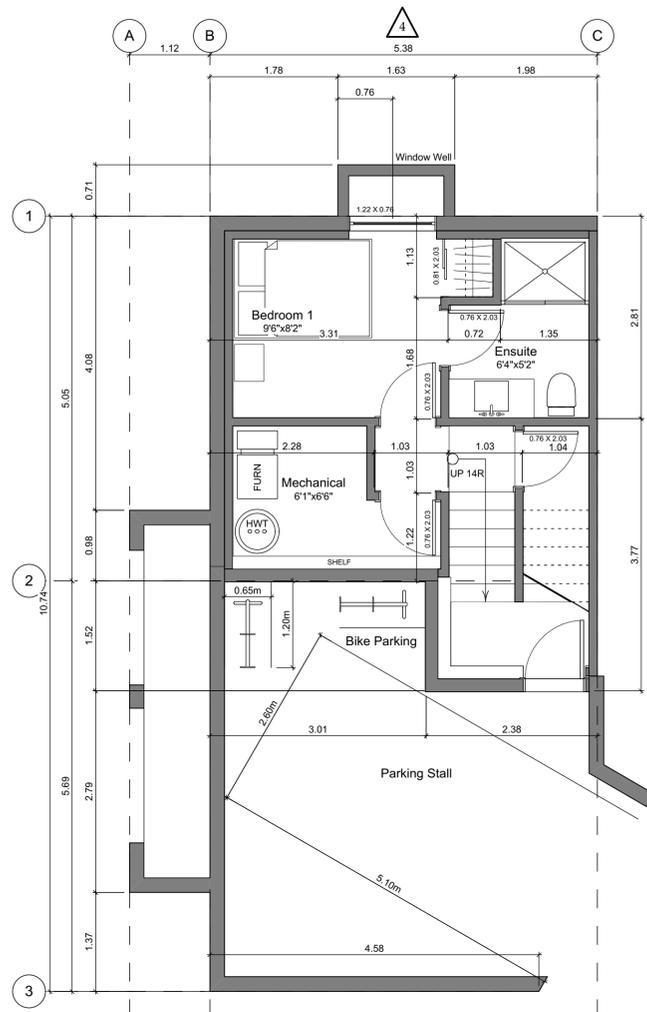
Drawn By: SG/JM

Plot Date: Jun 20, 2019

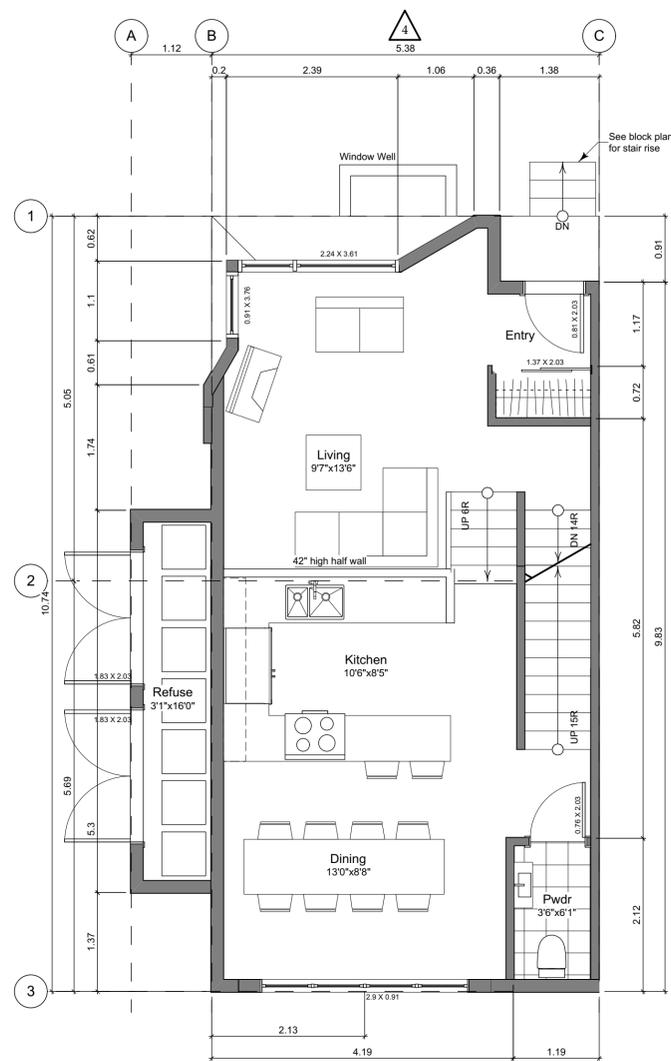
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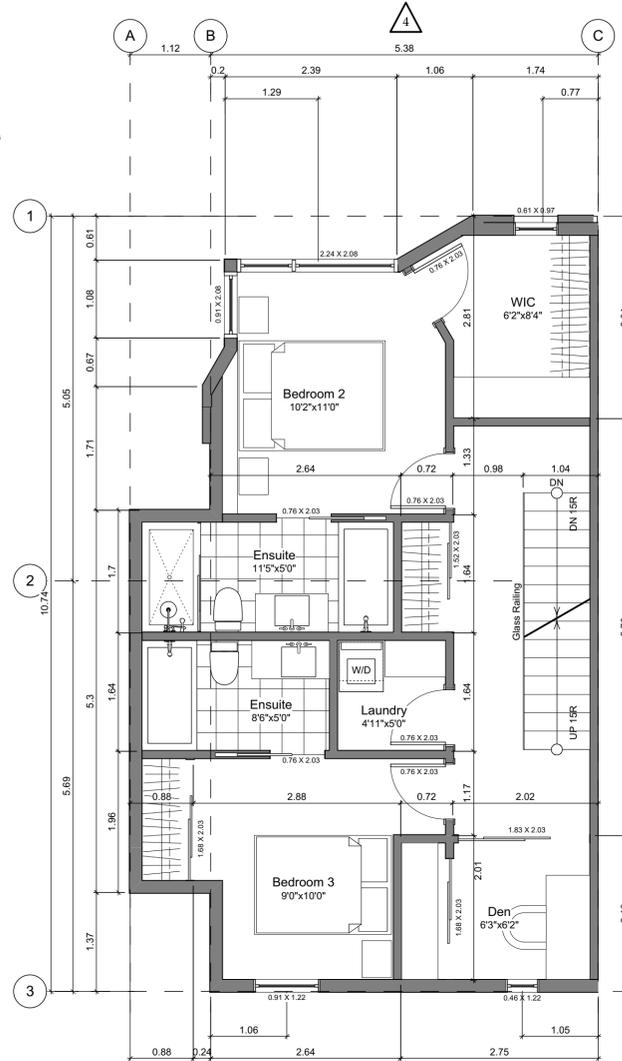




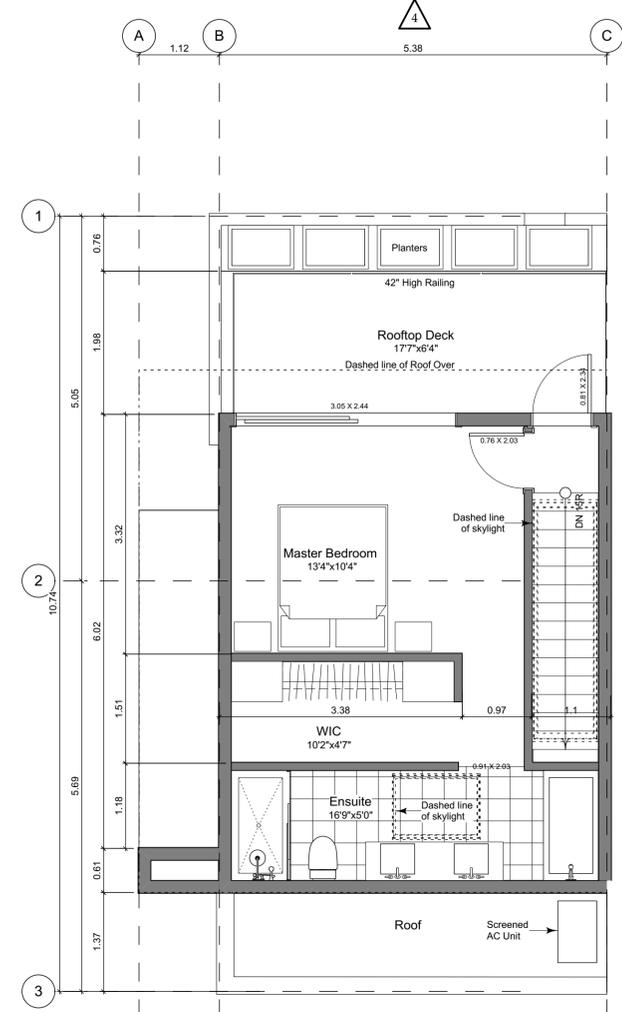
1 **Basement Floor Plan**
Scale: 1:50



2 **Main Floor Plan**
Scale: 1:50



3 **Second Floor Plan**
Scale: 1:50



4 **Third Floor Plan**
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated. See Block plan for foundation plan.
Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.
Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 6 (A2)				
	Gross Floor Area		Zoning Floor Area	
Basement Floor	326 sq ft	30.3 m ²	0 sq ft	0.0 m ²
Main Floor	584 sq ft	54.3 m ²	546 sq ft	50.7 m ²
Second Floor	661 sq ft	61.4 m ²	621 sq ft	57.7 m ²
Third Floor	388 sq ft	36.0 m ²	346 sq ft	32.2 m ²
Totals:	1,959 sq ft	182.0 m²	1,513 sq ft	140.5 m²
Carport	297 sq ft	27.6 m ²		
Rooftop Open Space	115 sq ft	10.7 m ²		

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Issued 2019-06-19 Issued for DP

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: 1:50

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Unit B1 Floor Plans

Project Name:

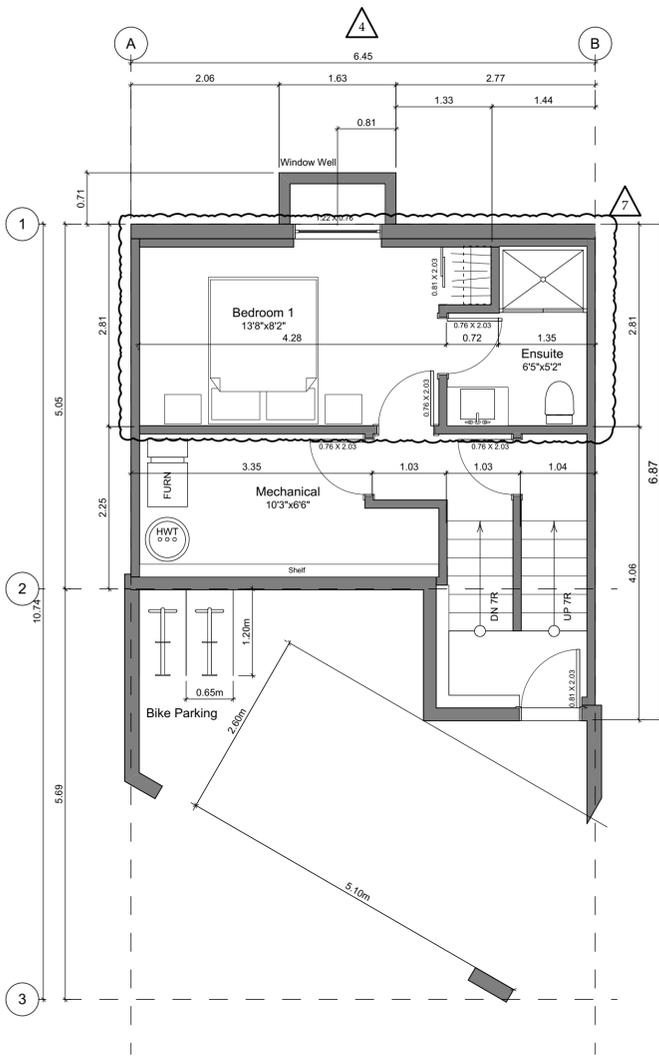
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

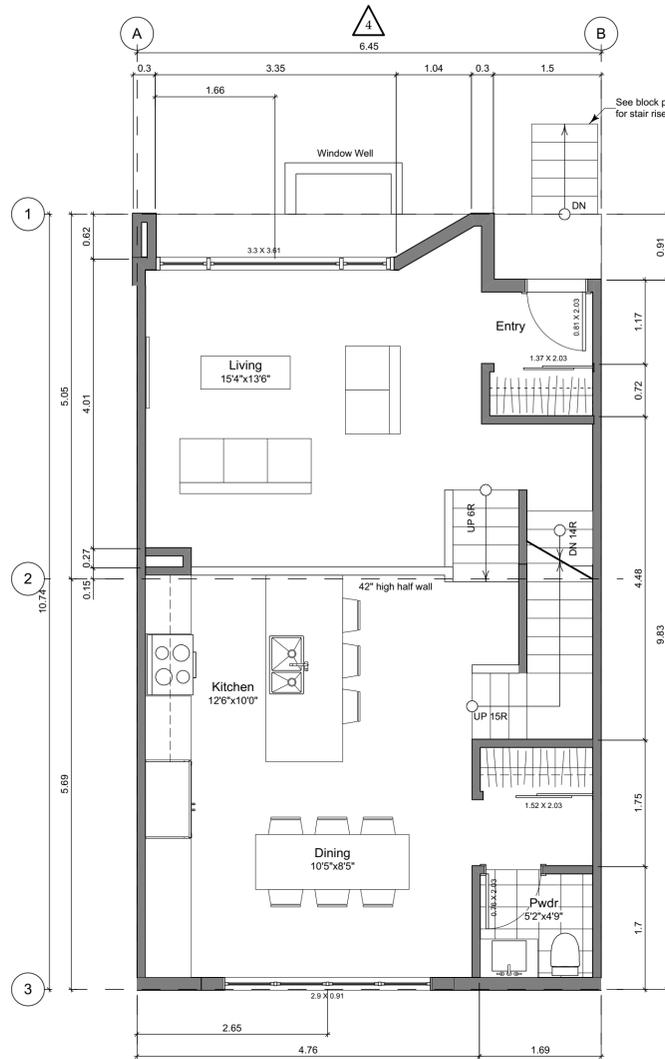
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PID:
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Drawn By: SG/JM
Plot Date: Jun 20, 2019
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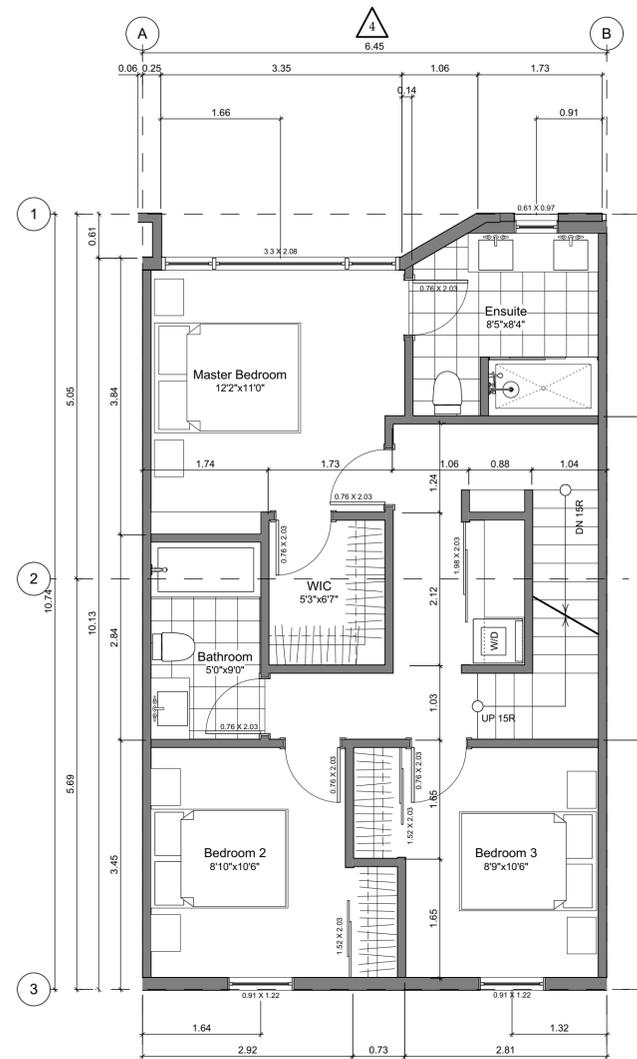
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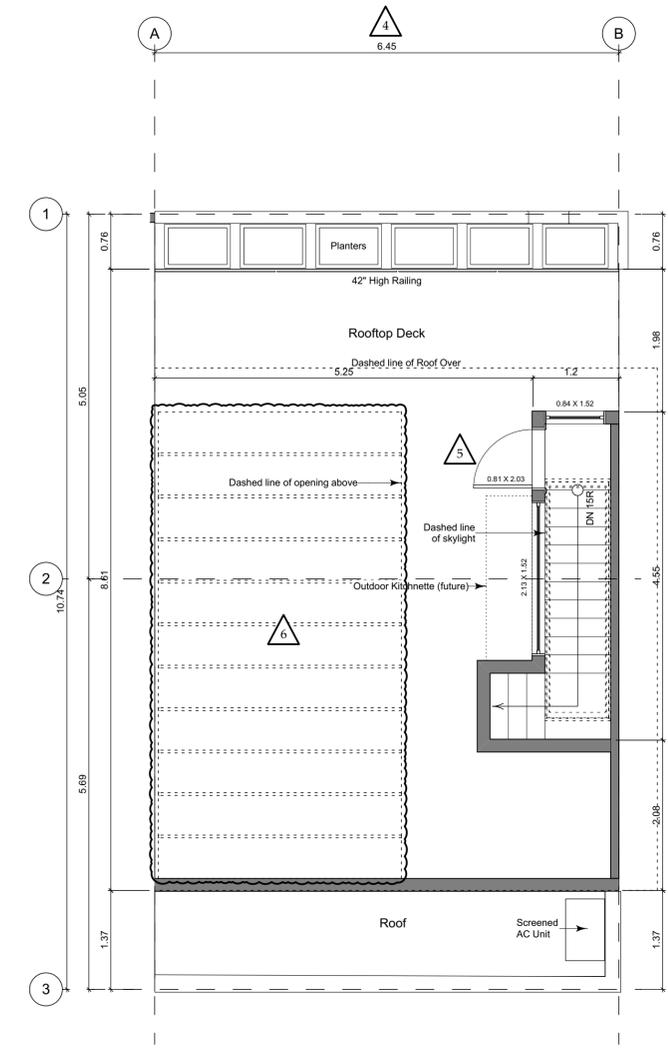
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Third Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated. See Block plan for foundation plan.
Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.
Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 3, 5 (B1)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	391 sq ft	36.3 m ²	0 sq ft	0.0 m ²
Main Floor	704 sq ft	65.4 m ²	679 sq ft	63.1 m ²
Second Floor	717 sq ft	66.6 m ²	694 sq ft	64.5 m ²
Third Floor	71 sq ft	6.6 m ²	56 sq ft	5.2 m ²
Totals:	1,883 sq ft	174.9 m²	1,429 sq ft	132.8 m²
Carport	259 sq ft	24.1 m ²		
Rooftop Open Space	516 sq ft	47.9 m ²		

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Unit B2 Floor Plans

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

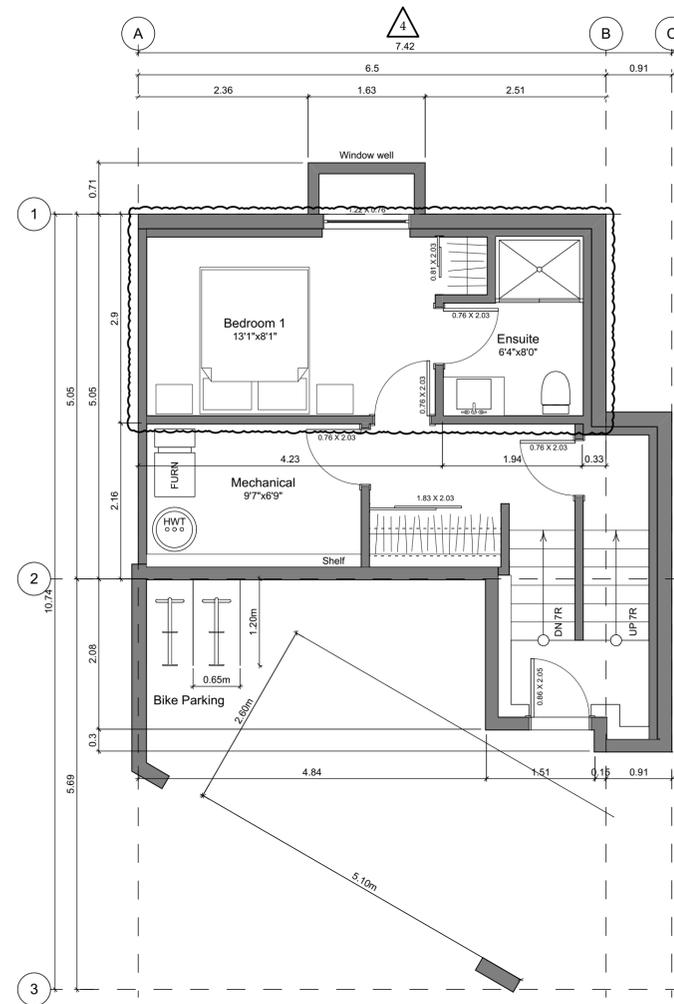
Project No: 19.015

Drawn By: SG/JM

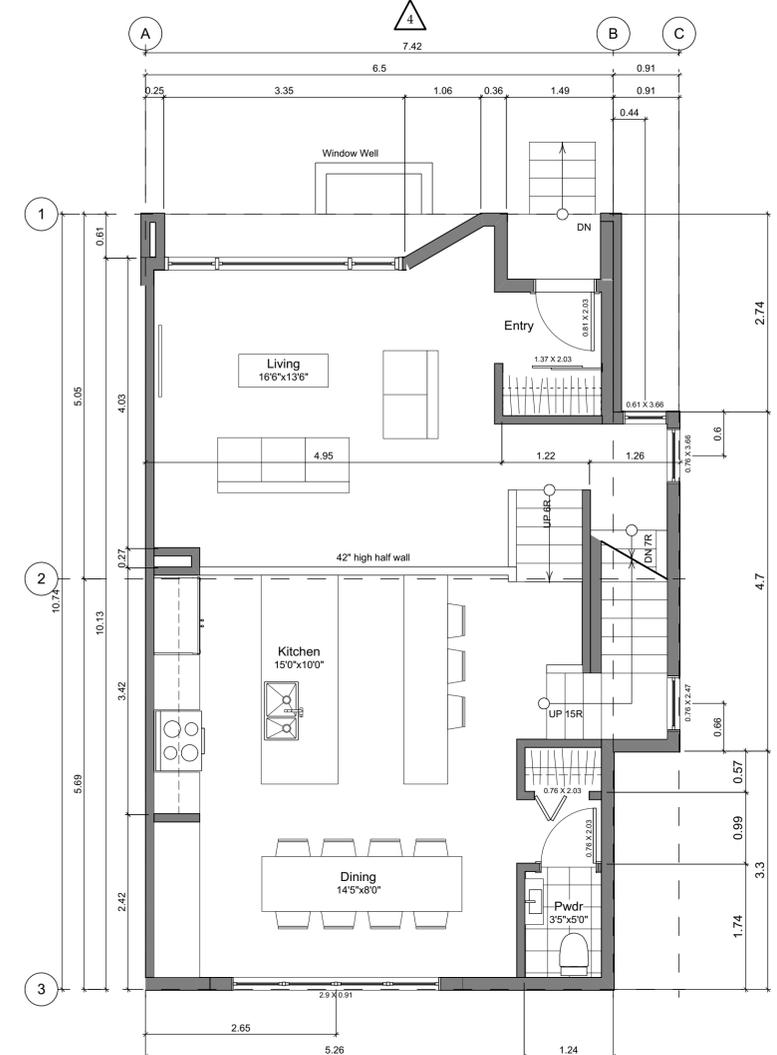
Plot Date: Jun 20, 2019

Scale: 1:50

Sheet No:



1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated. See Block plan for foundation plan.
Grid Lines are too:
1) Outside face of plywood or
2) Centre line of demising wall.
Dimensions are too:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 1 (B2)				
	Gross Floor Area		Zoning Floor Area	
Basement Floor	430 sq ft	40.0 m2	0 sq ft	0.0 m2
Main Floor	757 sq ft	70.3 m2	711 sq ft	66.1 m2
Second Floor	769 sq ft	71.4 m2	724 sq ft	67.3 m2
Third Floor	73 sq ft	6.8 m2	50 sq ft	4.7 m2
Totals:	2,029 sq ft	188.5 m2	1,486 sq ft	138.0 m2
Carport	273 sq ft	25.4 m2		
Rooftop Open Space	560 sq ft	52.0 m2		

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Unit B2 Floor Plans

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

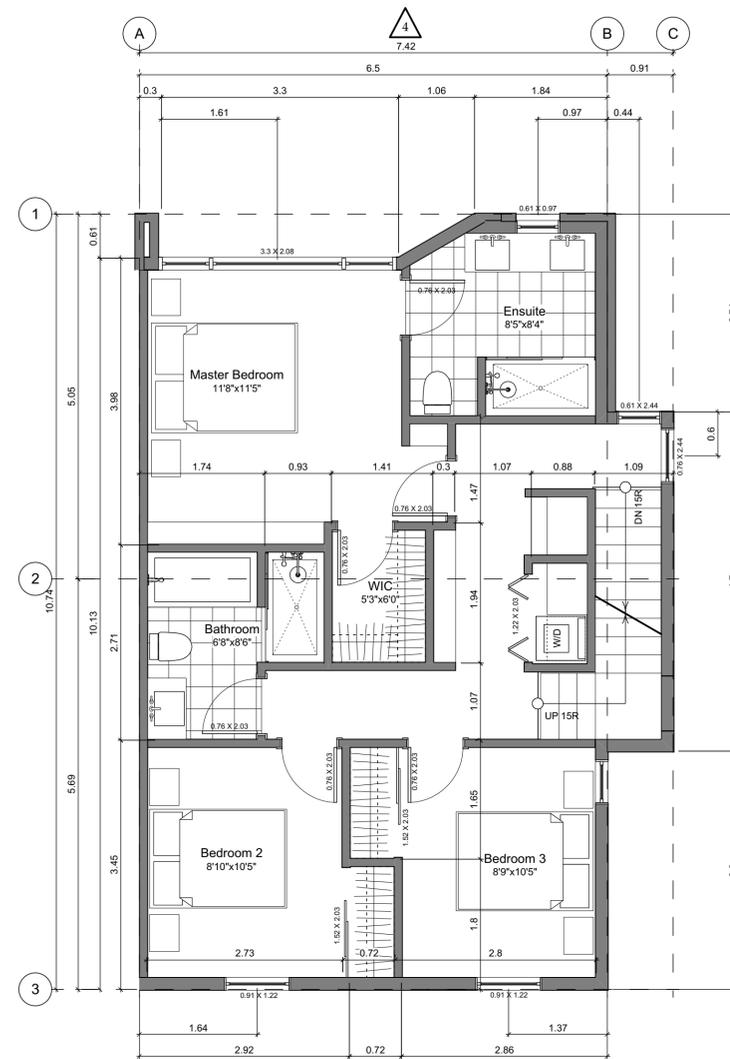
Project No: 19.015

Drawn By: SG/JM

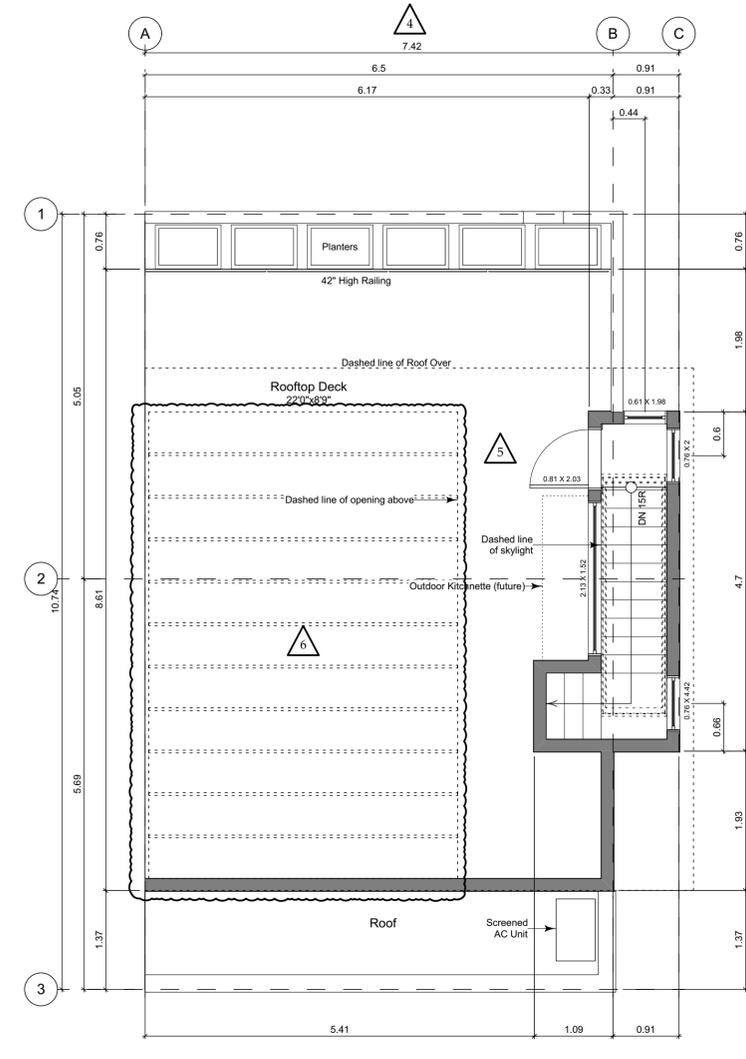
Plot Date: Jun 20, 2019

Scale: 1:50

Sheet No:



1 Second Floor Plan
Scale: 1:50

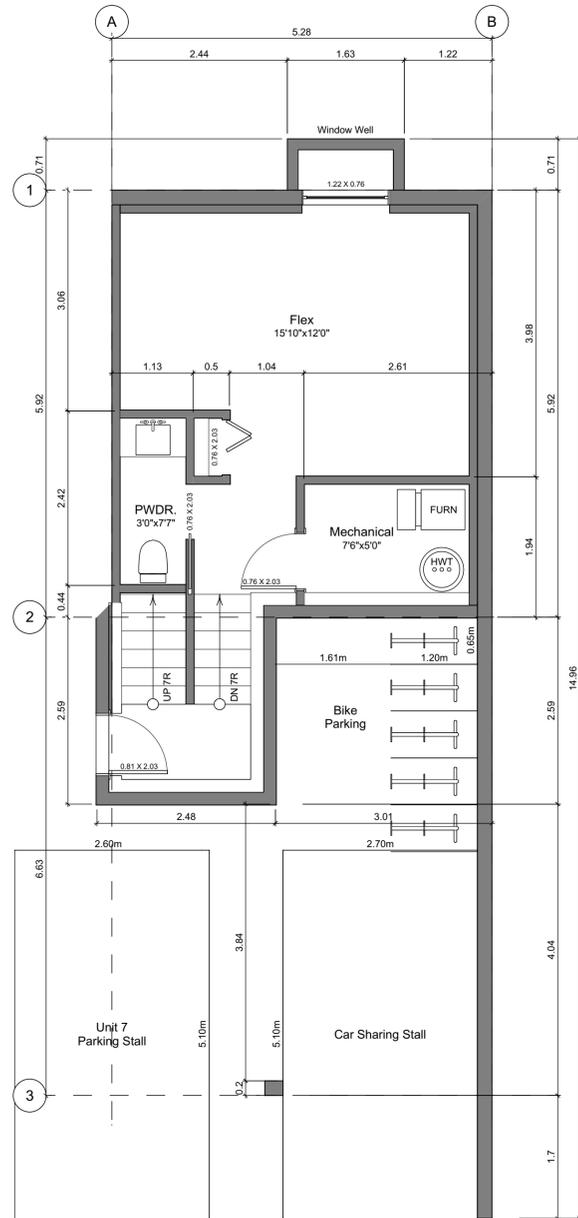


2 Third Floor Plan
Scale: 1:50

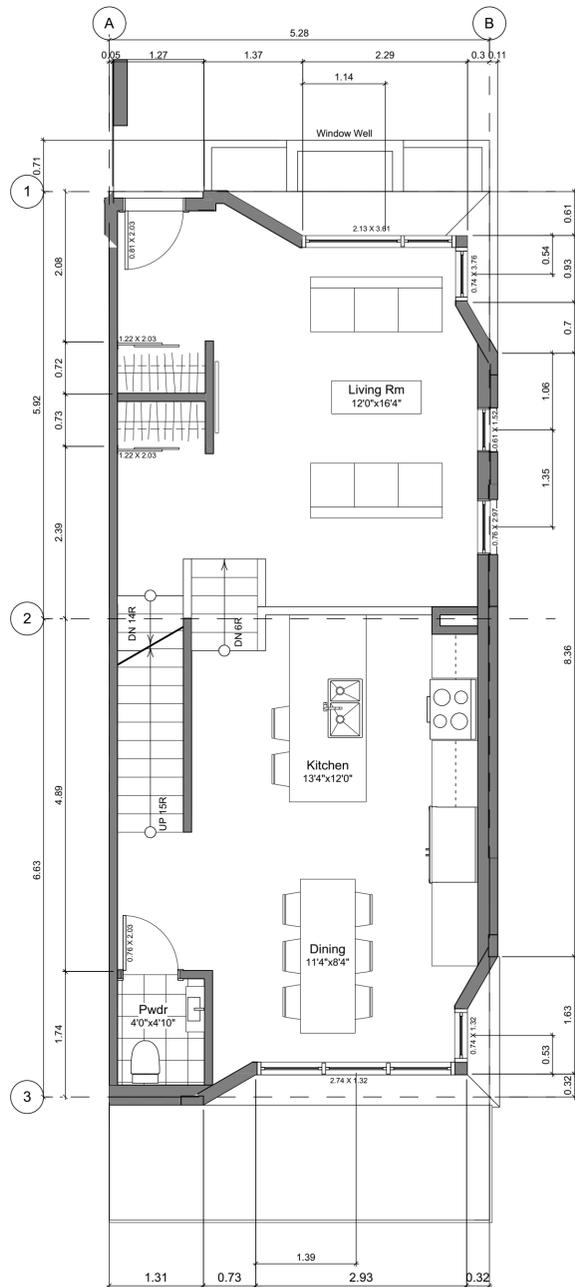
Unit Plan Notes:
All exterior wood posts shall be pressure treated. See Block plan for foundation plan.
Grid Lines are to:
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2) Centre line of demising wall.
Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

	Gross Floor Area		Zoning Floor Area	
Basement Floor	430 sq ft	40.0 m ²	0 sq ft	0.0 m ²
Main Floor	757 sq ft	70.3 m ²	711 sq ft	66.1 m ²
Second Floor	769 sq ft	71.4 m ²	724 sq ft	67.3 m ²
Third Floor	73 sq ft	6.8 m ²	50 sq ft	4.7 m ²
Totals:	2,029 sq ft	188.5 m²	1,486 sq ft	138.0 m²
Carport	273 sq ft	25.4 m ²		
Rooftop Open Space	560 sq ft	52.0 m ²		

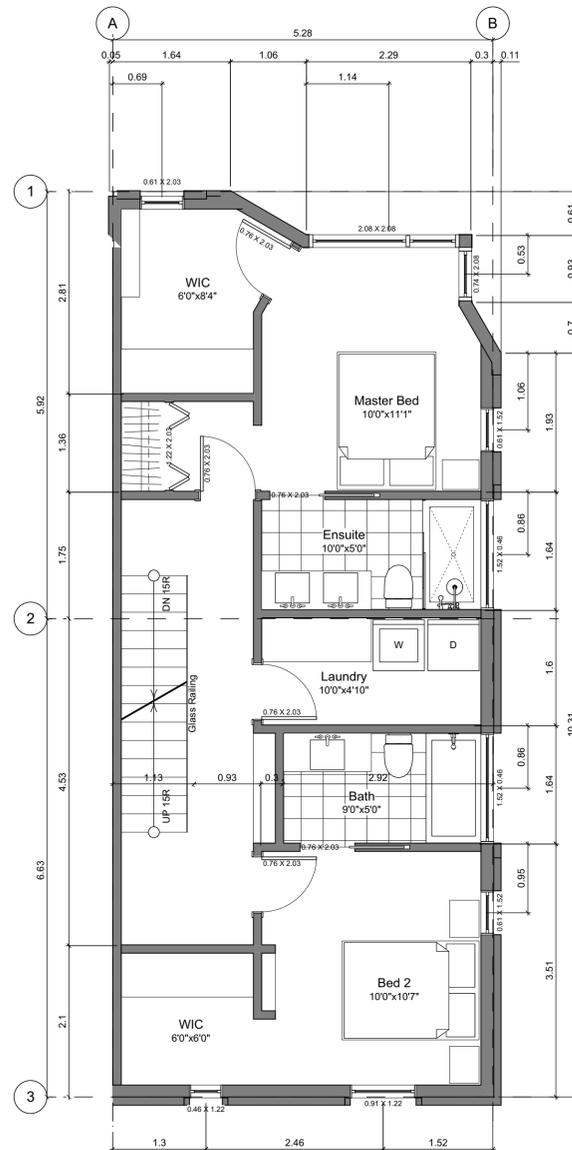
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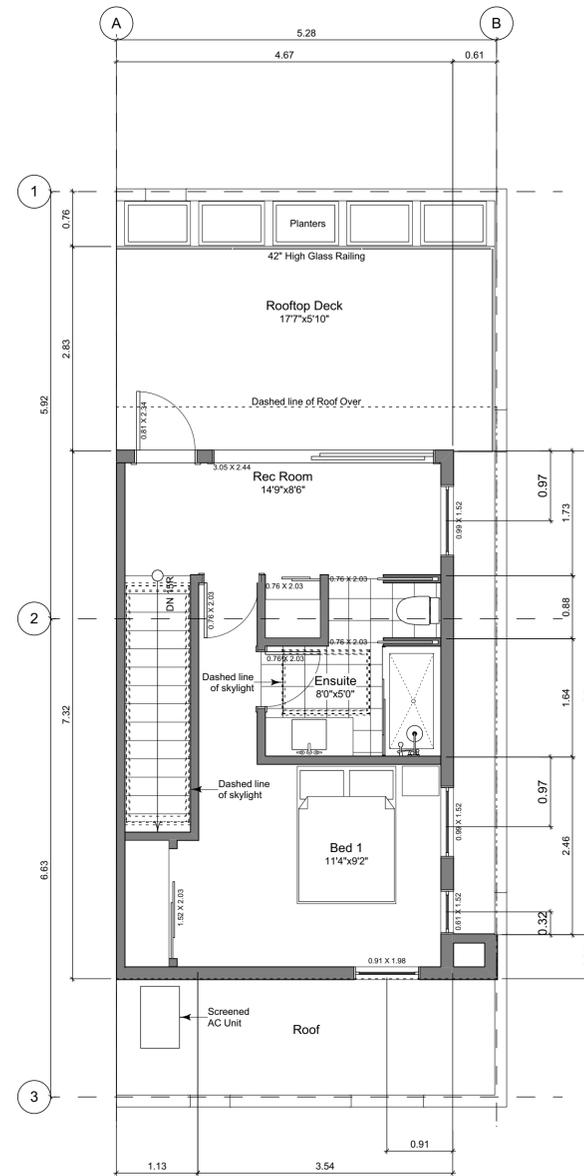
1 **Basement Floor Plan**
Scale: 1:50



2 **Main Floor Plan**
Scale: 1:50



3 **Second Floor Plan**
Scale: 1:50



4 **Third Floor Plan**
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated. See Block plan for foundation plan.
Grid Lines are too:
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Dimensions are too:
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Floor Area Calculations - Unit 7 (C1)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	396 sq ft	36.8 m2	0 sq ft	0.0 m2
Main Floor	672 sq ft	62.4 m2	632 sq ft	58.7 m2
Second Floor	688 sq ft	63.9 m2	648 sq ft	60.2 m2
Third Floor	368 sq ft	34.2 m2	339 sq ft	31.5 m2
Totals:	2,124 sq ft	197.3 m2	1,619 sq ft	150.4 m2
Carport	417 sq ft	38.7 m2		
Rooftop Open Space	161 sq ft	15.0 m2		

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Unit C1 Floor Plans

Project Name: **Fairfield-Kipling Development**

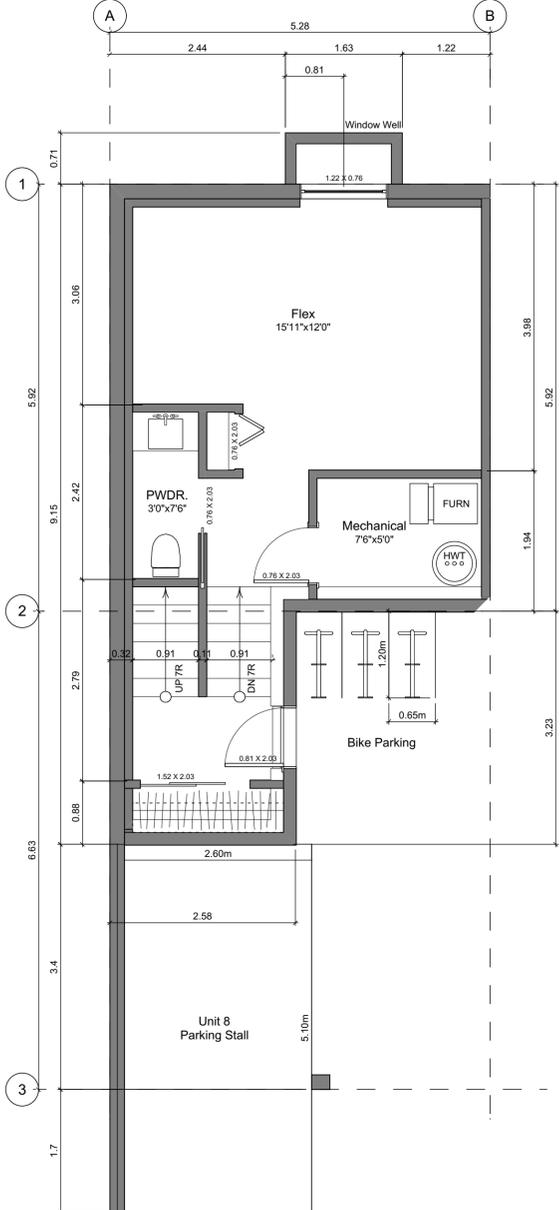
Civic: 1400 Fairfield Rd & 349 Kipling St

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PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
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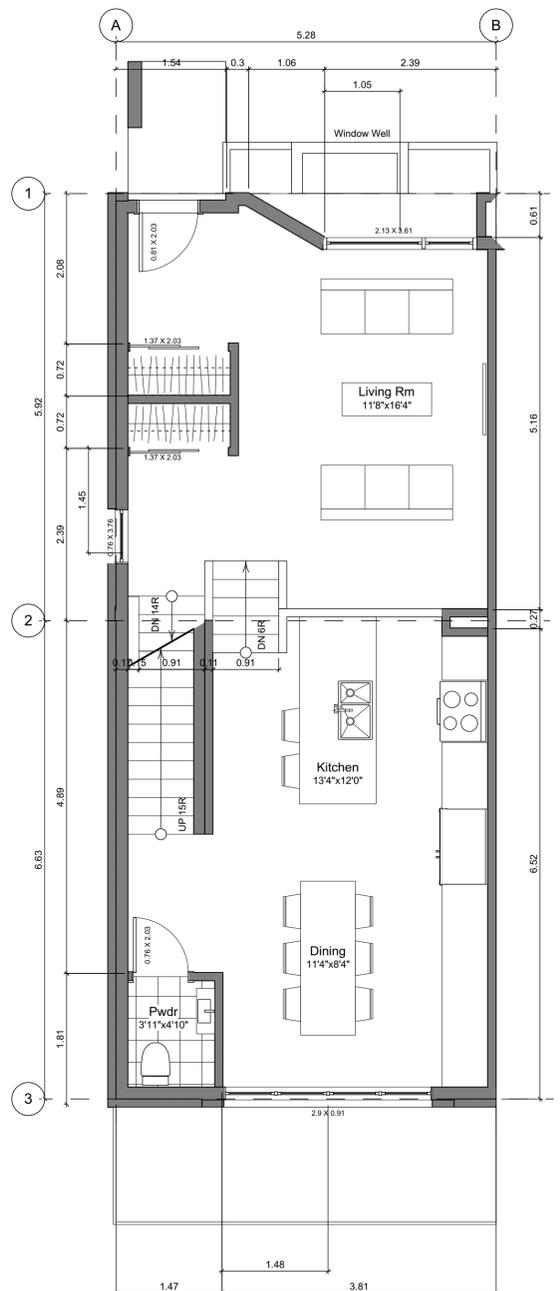
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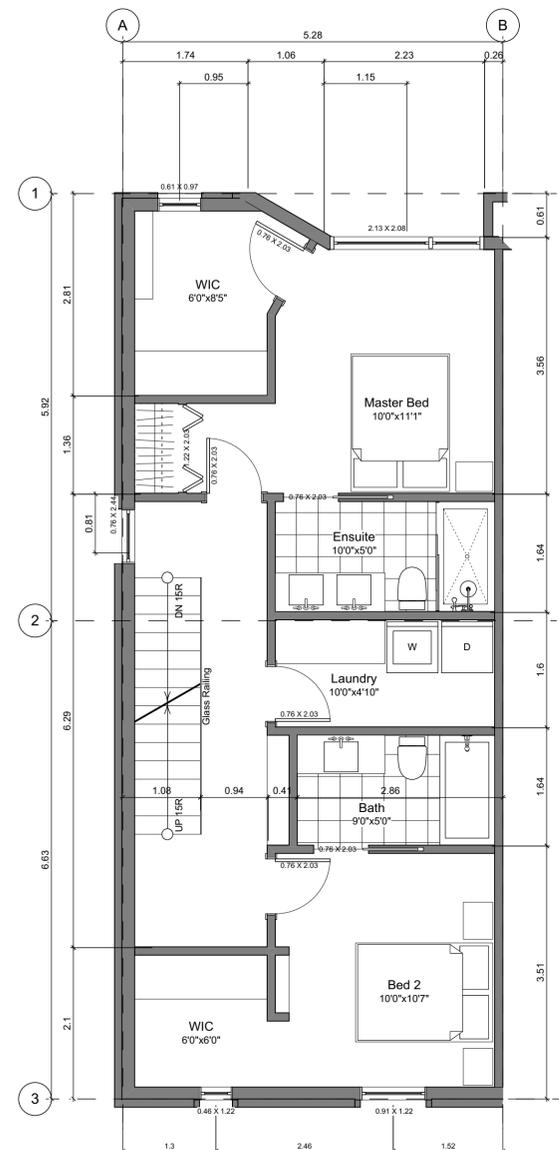
Unit C2 Floor Plans



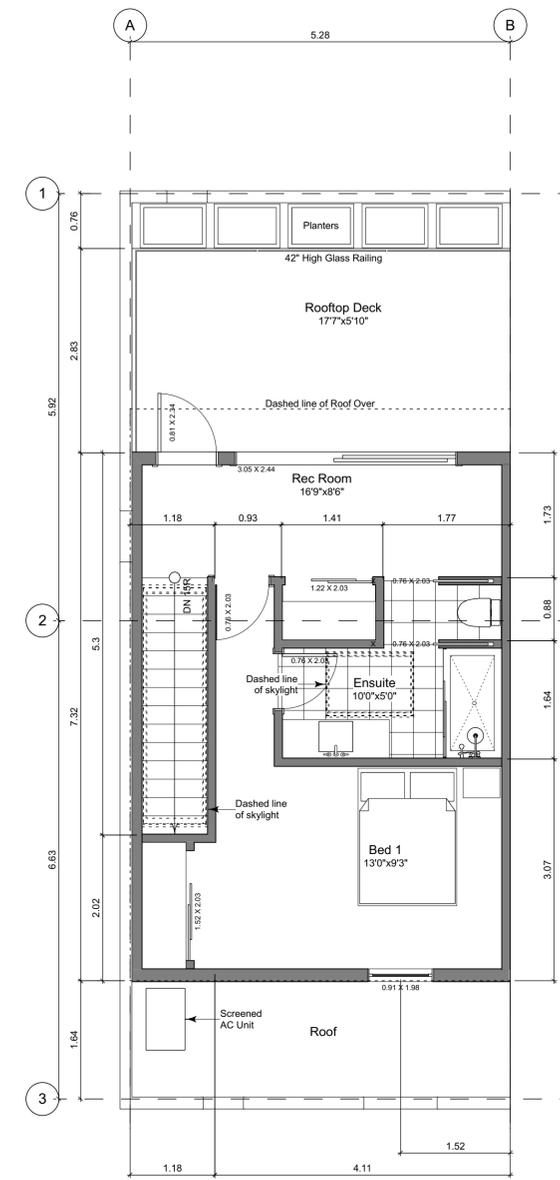
1 **Basement Floor Plan**
Scale: 1:50



2 **Main Floor Plan**
Scale: 1:50



3 **Second Floor Plan**
Scale: 1:50



4 **Third Floor Plan**
Scale: 1:50

Unit Plan Notes:
All exterior wood posts shall be pressure treated. See Block plan for foundation plan.
Grid Lines are too:
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2) Centre line of demising wall.
Dimensions are too:
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2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 8 (C2)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	419 sq ft	38.9 m ²	0 sq ft	0.0 m ²
Main Floor	693 sq ft	64.4 m ²	651 sq ft	60.5 m ²
Second Floor	692 sq ft	64.3 m ²	652 sq ft	60.5 m ²
Third Floor	416 sq ft	38.6 m ²	385 sq ft	35.7 m ²
Totals:	2,220 sq ft	206.2 m²	1,688 sq ft	156.8 m²
Carport	388 sq ft	36.1 m ²		
Rooftop Open Space	161 sq ft	15.0 m ²		

Project Name: **Fairfield-Kipling Development**
Civic: 1400 Fairfield Rd & 349 Kipling St
Legal:
PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
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Block 1 Floor Plans

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

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PID: 19.015
Project No: 19.015

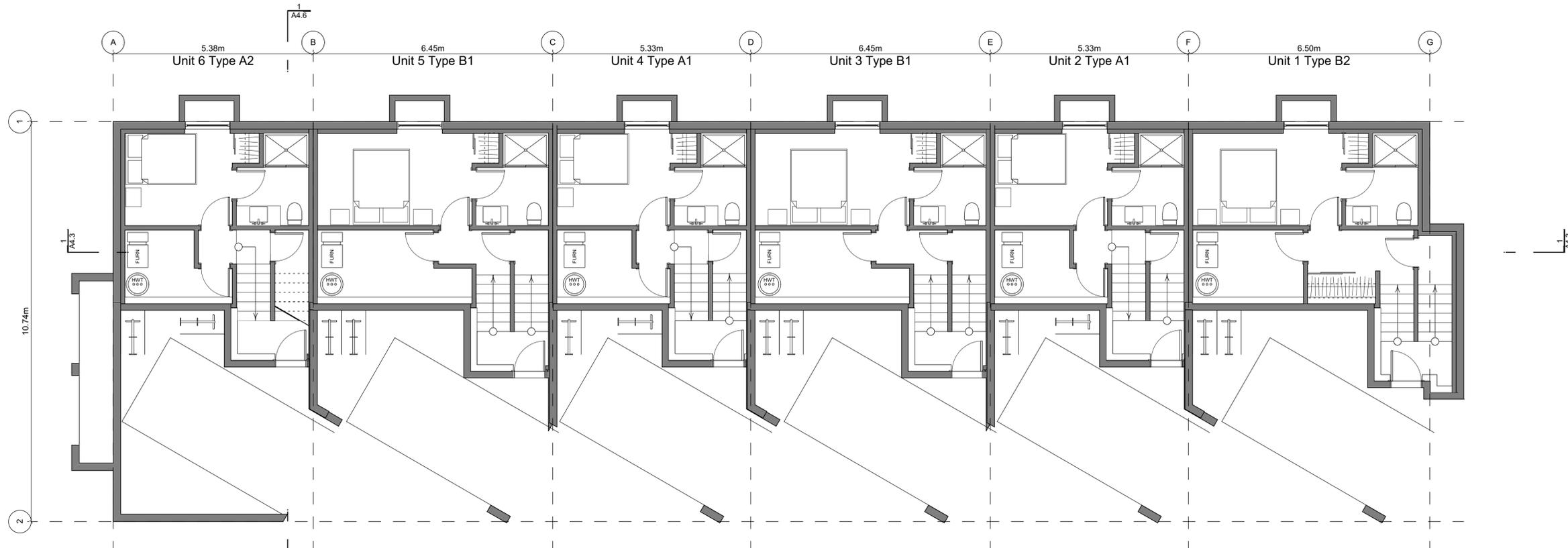
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Plot Date: Jun 20, 2019

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Sheet No:

A4.0



2 Basement Floor Plan
Scale: 1:65



3 Main Floor Plan
Scale: 1:65

Block Plan Notes:

See unit plans for detailed dimensions and notes.

- | | |
|----------------------------------|--|
| Grid Lines are too: | Dimensions are too: |
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| 2) Centre line of demising wall. | 2) face of plywood, or face of concrete. |

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Block 1 Floor Plans

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID: 19.015

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

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Sheet No:

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Block Plan Notes:

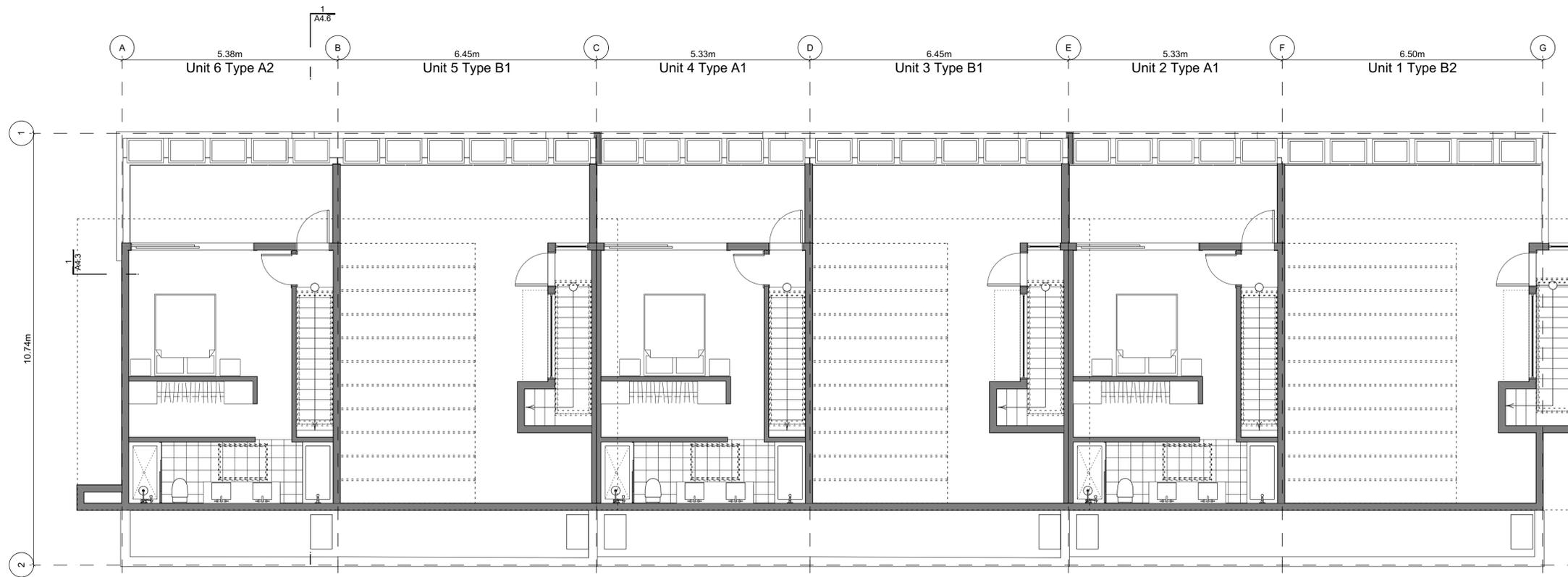
See unit plans for detailed dimensions and notes.

- | | |
|----------------------------------|--|
| Grid Lines are too: | Dimensions are too: |
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2 Second Floor Plan
Scale: 1:65



1 Third Floor Plan
Scale: 1:65

Building Exposure and Spatial Separation (9.10.15.4.)

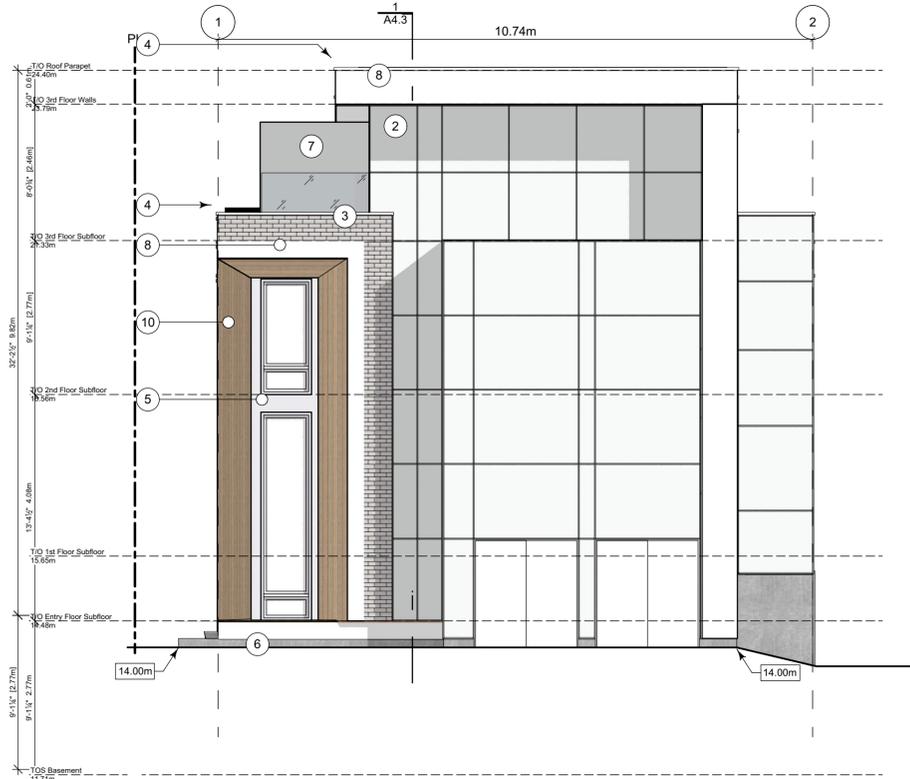
Building Sprinklered to NFPA13

Compartment	Area of Facade	Limiting Distance	Unprotected Openings		Construction of Building Face	Cladding
			Allowed	Actual		
North Facade	77.7 m ²	11.23 m to C/L of Kipling St.	49.2 %	33.5 %	C	C or NC
East Facade	97.8 m ²	18.03 m to C/L of Thurlow Rd.	100.0 %	13.9 %	C	C or NC
South Facade	55.2 m ²	5.00 m to C/L Lane	26.0 %	8.8 %	C	C or NC
West Facade	86.9 m ²	4.80 m Halfway Block 1	21.8 %	13.8 %	C	C or NC

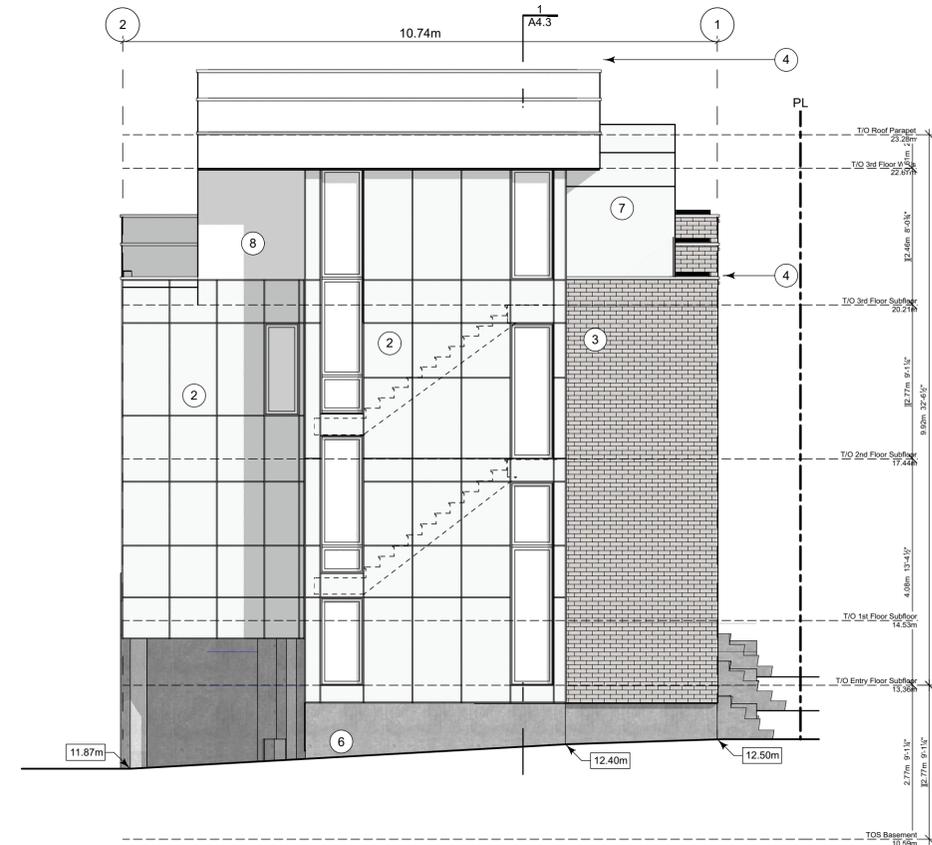
Exterior Materials

No.	Description	Colour / Finishes
1	Glass Railing	Glass Guardrail with White Aluminum Frame
2	Hardie Panels	Light Mist
3	I-XL	Stone Grey Klaycoat
4	Metal Cap Flashing	White
5	Metal Flashing	Silver or White
6	Parged Concrete	-
7	Privacy Wall	Hardie Panels, Light Mist
8	Stucco	White
9	Window Frame	Silver or white
10	Wood Cladding	Cedar or Wood Grain

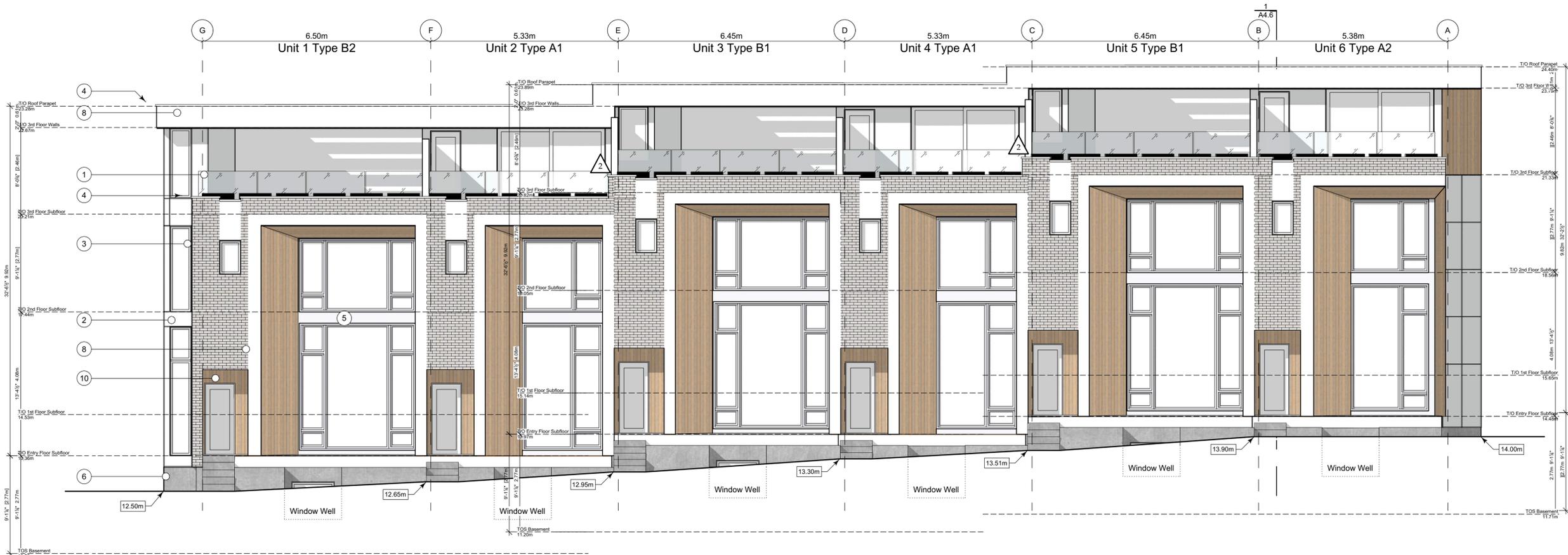
All Materials as noted or approved equal



3 West Elevation - Driveway
Scale: 1:65



2 East Elevation - Thurlow Road
Scale: 1:65



4 North Elevation - Kipling Street
Scale: 1:65

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Block 1 Elevations

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

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PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: 1:65

Sheet No:

A4.2

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Block 1 Elevations

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

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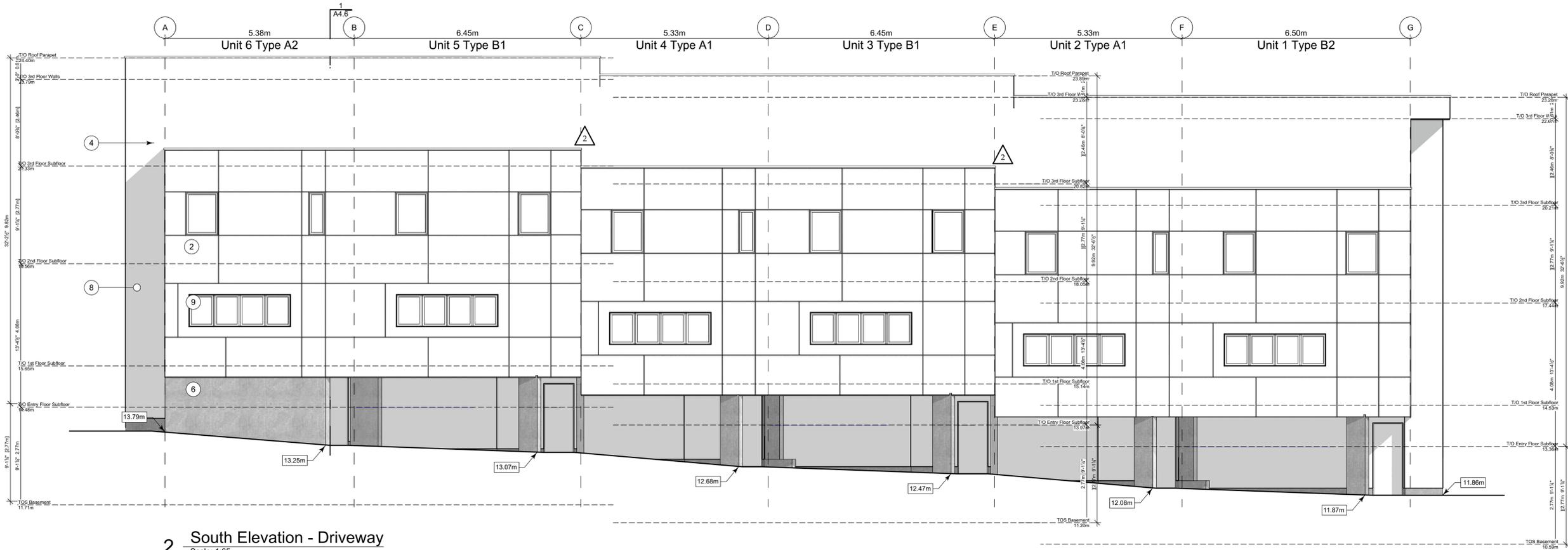
Project No: 19.015

Drawn By: SG/JM

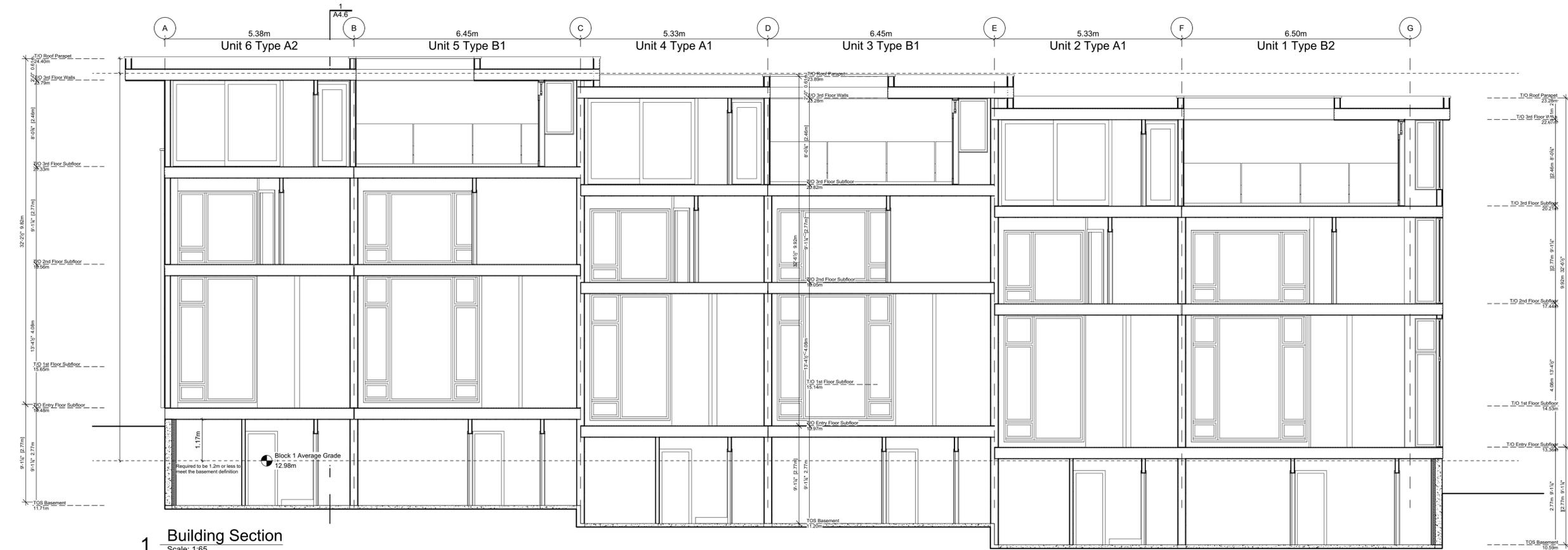
Plot Date: Jun 20, 2019

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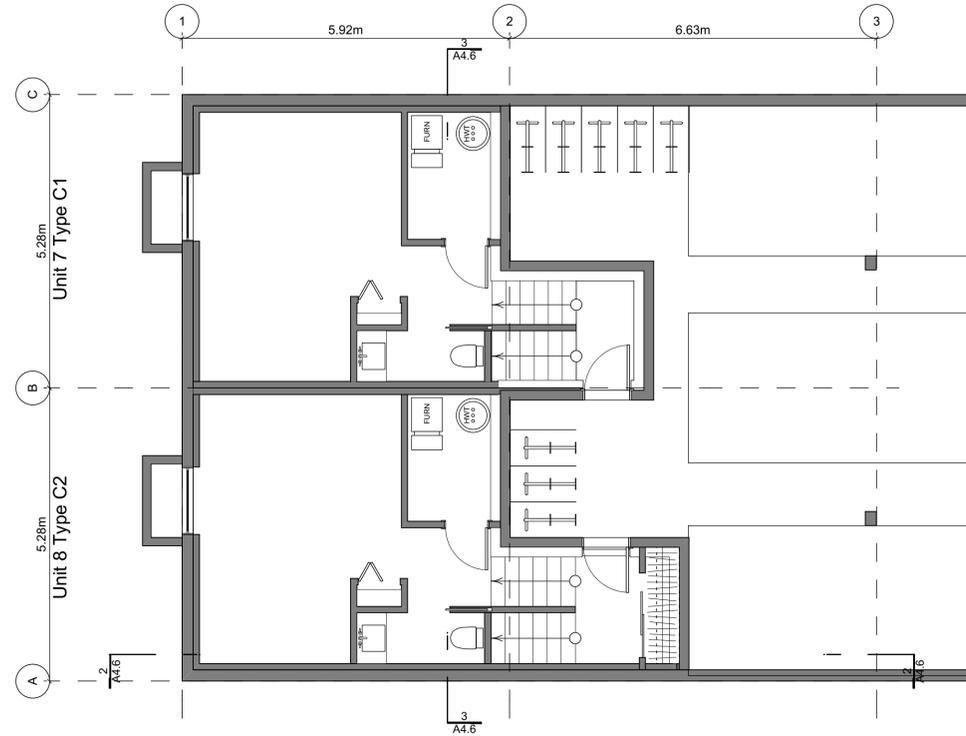
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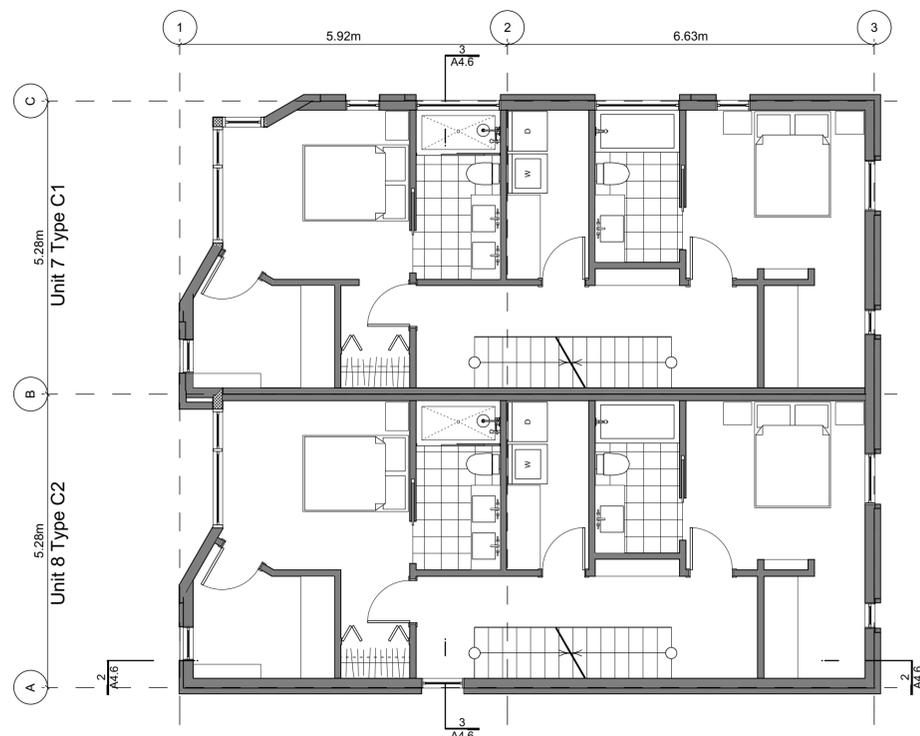
2 South Elevation - Driveway
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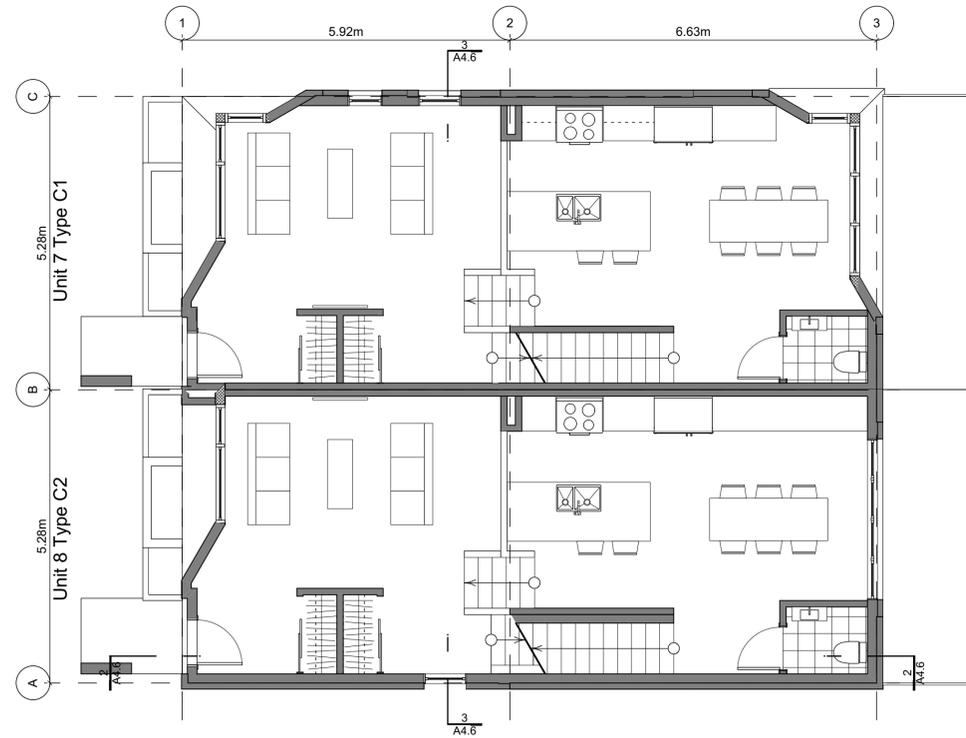
1 Building Section
Scale: 1:65



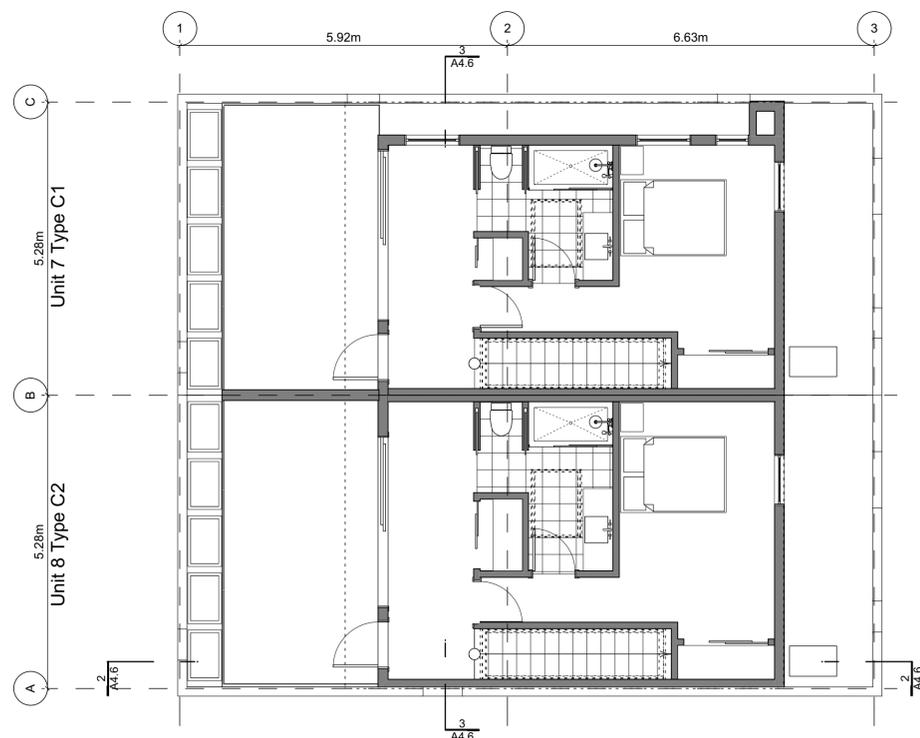
2 Basement Floor Plan
Scale: 1:65



4 Second Floor Plan
Scale: 1:65



1 Main Floor Plan
Scale: 1:65



3 Third Floor Plan
Scale: 1:65

Block Plan Notes:
See unit plans for detailed dimensions and notes.
Grid Lines are too: Dimensions are too:
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Block 2 Floor Plans
Project Name:
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St
Legal:
PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
Scale: 1:65
Sheet No:

Building Exposure and Spatial Separation (9.10.15.4.)

Building Sprinklered to NFPA13

Compartment	Area of Facade	Limiting Distance	Unprotected Openings	Construction of Building Face	Cladding
			Allowed Actual		
North Facade	117.7 m ²	11.37 m to C/L Kipling St.	95.0 % 13.2 %	C	C or NC
East Facade	45.5 m ²	4.80 m Halfway Block 2	24.4 % 6.1 %	C	C or NC
South Facade	117.7 m ²	5.14 m to PL	16.0 % 4.0 %	C	C or NC
West Facade	51.6 m ²	15.06 m to C/L Fairfield Rd.	100.0 % 41.8 %	C	C or NC

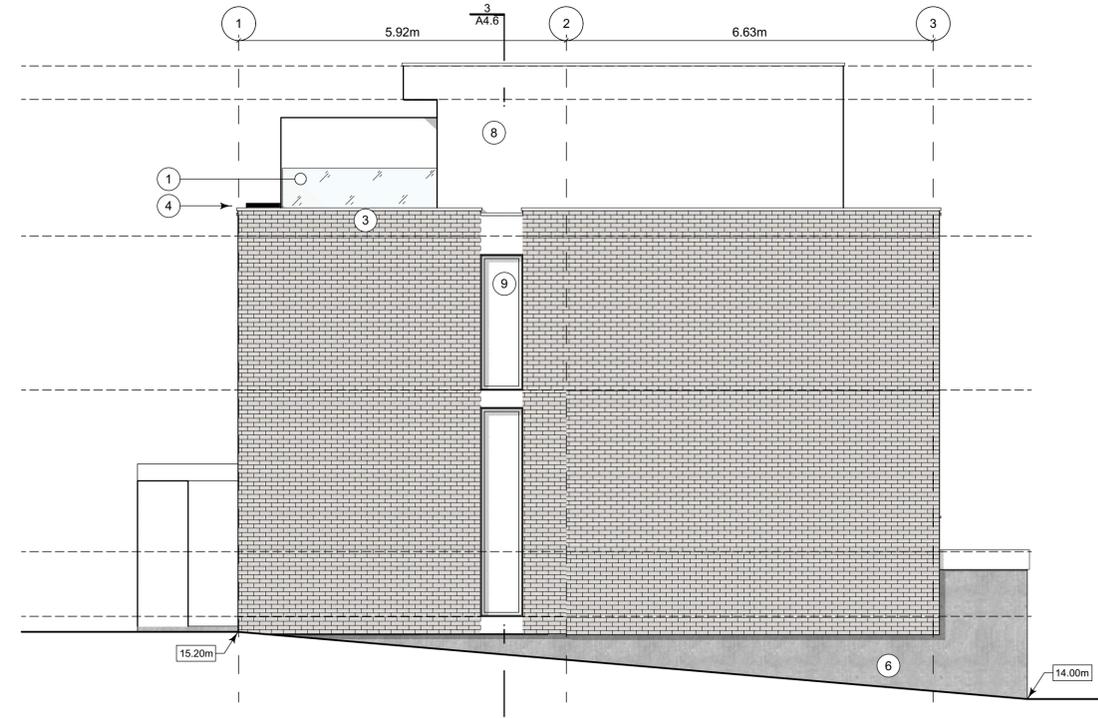
Exterior Materials

No.	Description	Colour / Finishes
1	Glass Railing	Glass Guardrail with White Aluminum Frame
2	Hardie Panels	Light Mist
3	I-XL	Stone Grey Klaycoat
4	Metal Cap Flashing	White
5	Metal Flashing	Silver or White
6	Parged Concrete	-
7	Privacy Wall	Hardie Panels, Light Mist
8	Stucco	White
9	Window Frame	Silver or white
10	Wood Cladding	Cedar or Wood Grain

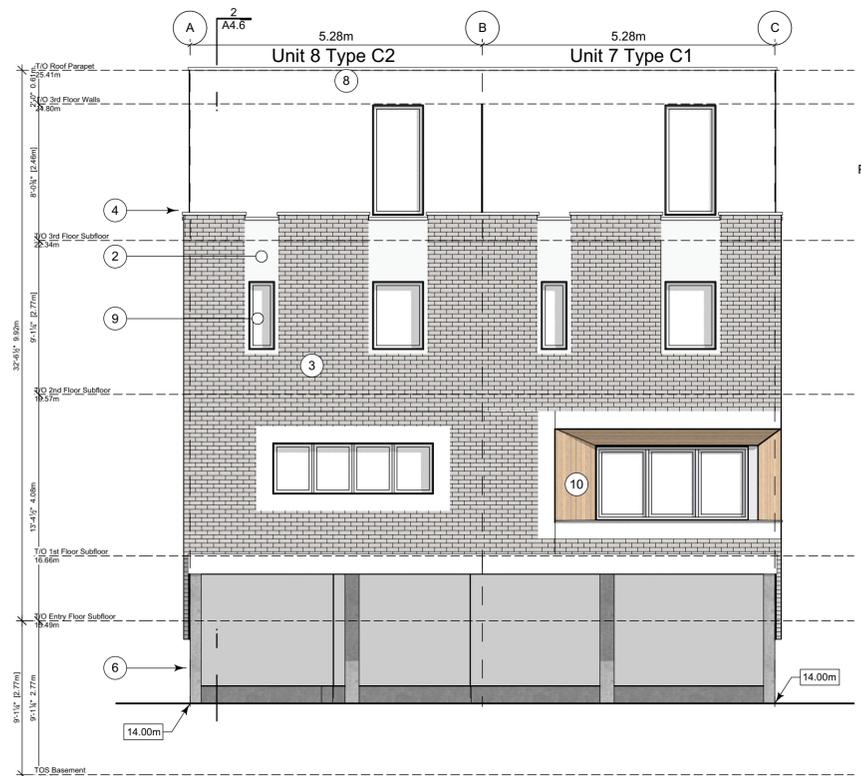
All Materials as noted or approved equal



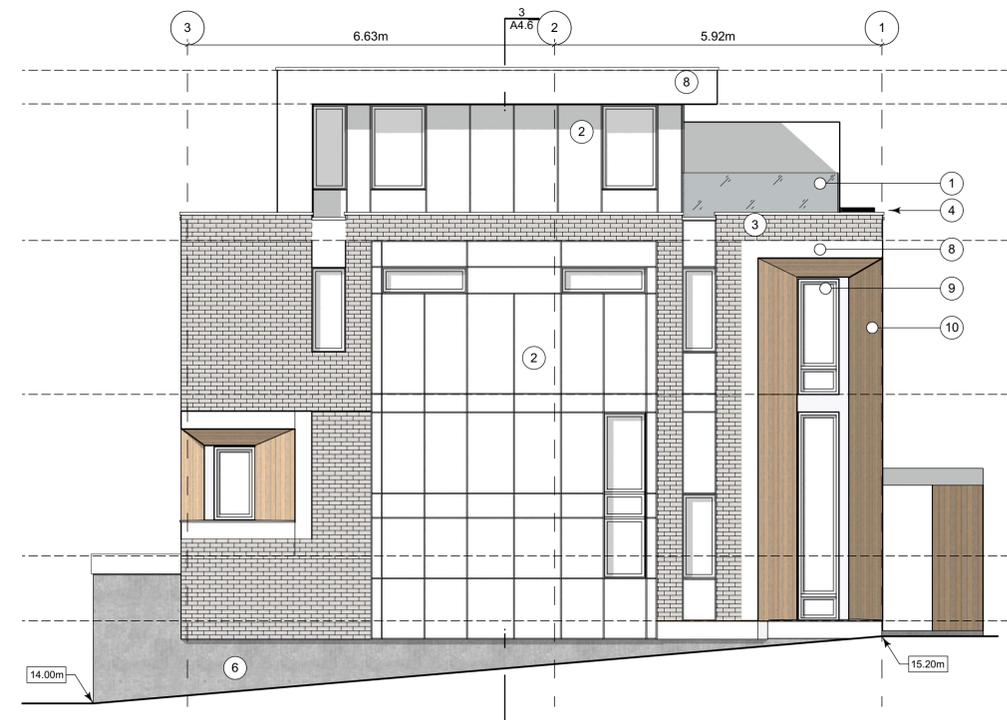
4 West Elevation - Fairfield Road
Scale: 1:65



1 South Elevation
Scale: 1:65



3 East Elevation - Driveway
Scale: 1:65



2 North Elevation - Kipling Street
Scale: 1:65

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Block 2 Elevations

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

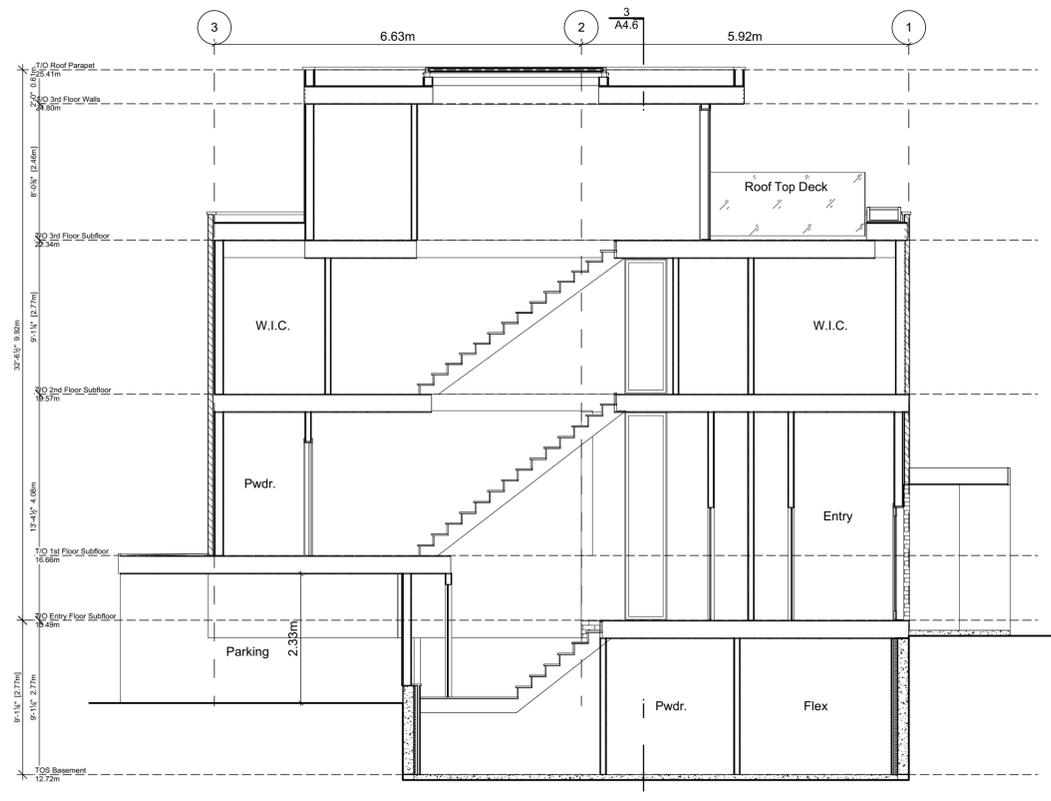
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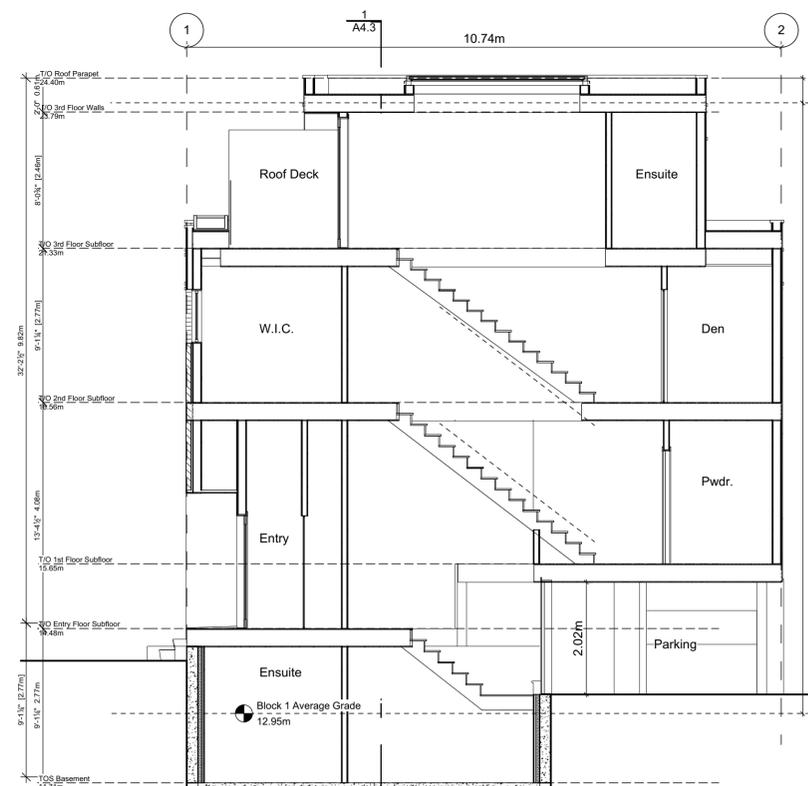
A4.5



3 Block 2 Section
Scale: 1:65



2 Block 2 Unit 8 Section
Scale: 1:65



1 Block 1 Unit 6 Section
Scale: 1:65

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Block 1 & 2 Sections

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: 1:65

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Building Assemblies

Project Name:

Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/JM

Plot Date: Jun 20, 2019

Scale: NTS

Sheet No:

A5.0

FOR DEVELOPMENT APPLICATION ONLY

Exterior Wall Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI	Area %	RSI eff. (m2-K)/W	R-Value	FRR	STC
W1.0 CIP Concrete Below Grade	REQUIRED: 1.99		11.30			
	PROVIDED: 2.59		14.73			
Free drainage back fill (See geotechnical)	-	-	-	-	-	-
DELTA MS - 5/16" dimpled membrane	-	-	-	-	-	-
MB Waterproofing Install as per manufacturers recommendation	-	-	-	-	-	-
8" Reinforced Type S or N concrete wall (see structural)	0.0004/mm	-	0.08	0.46	-	-
AB, VB 2.5" Continuous XPS Insulation	0.0336/mm	-	2.13	12.12	-	-
2X2 Framing @ 24" OC (Service Cavity)	-	-	0.18	1.02	-	-
1 Layer 1/2" GWB	-	-	0.08	0.45	-	-
Interior Air Film	-	-	0.12	0.68	-	-
W2.0 Wood Stud Wall	REQUIRED: 2.74		15.56			
	PROVIDED: 3.04		17.24			
Exterior Air Film	-	-	0.03	0.17	-	-
Cladding (See Elevations)	-	-	-	-	-	-
3/8" x 1 1/2" PT Strapping 16" OC	-	-	0.15	0.85	-	-
MB 2 layers 30min building paper	-	-	-	-	-	-
1/2" Plywood Sheathing	-	-	0.10	0.57	-	-
2X6 Framing 16" OC (See structural)	framing 1.19	0.23	2.55	14.46	-	-
R22 FG Batt Insulation	cavity 3.87	0.77	-	-	-	-
AB, VB 6 mil Poly UV	-	-	0.09	0.51	-	-
1 Layer 5/8" GWB Taped, Sanded, and ready for paint	-	-	0.12	0.68	-	-
Interior Air Film	-	-	-	-	-	-
W3.0 Curtain Wall 6" Deep	REQUIRED: -		-			
	PROVIDED: -		-			
1" insulating double pane exterior glazed	-	-	-	-	-	-
5" Extruded Aluminum Mullion	-	-	-	-	-	-

Interior Wall Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI	Area %	RSI eff. (m2-K)/W	R-Value	FRR	STC
W4.0 Suite to Suite (Demising Wall)	REQUIRED: -		-		1 HR	50
	PROVIDED: -		-		1 HR	54
BCBC 2018 Table A9.10.3.1.A W13c	-	-	-	-	-	-
1 layer 5/8" type 'X' ULC rated GWB	-	-	-	-	-	-
2X4 stud framing @ max 16" OC (see structural)	-	-	-	-	-	-
3 1/2" FG Batt Insulation (One side Only)	-	-	-	-	-	-
1" air space	-	-	-	-	-	-
2X4 stud framing @ max 16" OC (see structural)	-	-	-	-	-	-
1 layer 5/8" type 'X' ULC rated GWB	-	-	-	-	-	-
*Where noted as shear wall, 1 layer 1/2" plywood (see structural)	-	-	-	-	-	-
W5.0 Non-Load Bearing Partition	REQUIRED: -		-		-	-
	PROVIDED: -		-		-	-
1/2" GWB both sides of	-	-	-	-	-	-
2X4 or 2X6 stud framing	-	-	-	-	-	-
** see plans for location of 2x6 wall to accommodate services	-	-	-	-	-	-
** 3 1/2" FG Batt Insulation @ bathroom walls	-	-	-	-	-	-
W5.1 Load Bearing Partition	REQUIRED: -		-		1 HR	-
	PROVIDED: -		-		1 HR	-
** Refer to structural drawings for location of load bearing & Shera Walls	-	-	-	-	-	-
1 layer 5/8" type 'X' ULC rated GWB both sides of	-	-	-	-	-	-
2x4 or 2x6 stud framing (see structural 16" OC Max)	-	-	-	-	-	-
** see plans for location of 2x6 wall to accommodate services	-	-	-	-	-	-
** 3 1/2" FG Batt Insulation @ bathroom walls	-	-	-	-	-	-

Roof Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI	Area %	RSI eff. (m2-K)/W	R-Value	FRR	STC
R1.0 Insulated Roof (Outboard Insulation)	REQUIRED: 4.67		26.52			
	PROVIDED: 4.84		27.49			
All roofing work to RCABC five-year guarantee standards.	-	-	-	-	-	-
Roof Covering to have a A, B, or C classification as per CAN/ULC-S107	-	-	-	-	-	-
Exterior Air Film	-	-	0.03	0.17	-	-
Torch On Built Up Membrane	-	-	-	-	-	-
MB Protection Board	-	-	-	-	-	-
AB, VB 5" Expanded polystyrene Type 2 Slope To drain	0.035 / mm	-	4.45	25.24	-	-
5/8" T&G Plywood sheathing (See structural)	-	-	-	-	-	-
11 7/8" TJI joists (see structural)	-	-	0.16	0.91	-	-
1 layers 5/8" GWB	-	-	0.10	0.55	-	-
Interior Air Film	-	-	0.11	0.62	-	-
Soffit - See elevations	-	-	-	-	-	-
R1.1 Roof Cavity Fire Separation	REQUIRED: -		-		1 HR	-
	PROVIDED: -		-		1 HR	-
11 7/8" TJI Rated Rim Board (see structural)	-	-	-	-	-	-
R2.0 Insulated Roof (Spray Foam)	REQUIRED: 4.67		26.52			
	PROVIDED: 5.21		29.60			
All roofing work to RCABC five-year guarantee standards.	-	-	-	-	-	-
Roof Covering to have a A, B, or C classification as per CAN/ULC-S107	-	-	-	-	-	-
Exterior Air Film	-	-	0.03	0.17	-	-
Torch On Built Up Membrane	-	-	-	-	-	-
MB 5/8" T&G Plywood sheathing (See structural)	-	-	-	-	-	-
Cross Strapping slope to drain	-	-	-	-	-	-
11 7/8" TJI joists (see structural)	2.56	9.0%	4.98	28.25	-	-
AB, VB 6" 2LB Medium Density/Closed Cell Spray Foam Insulation	5.49	91.0%	0.10	0.55	-	-
1 layers 5/8" GWB	-	-	0.11	0.62	-	-
Interior Air Film	-	-	-	-	-	-
Soffit - See elevations	-	-	-	-	-	-
R3.0 Un-Insulated Roof	REQUIRED: -		-		-	-
	PROVIDED: -		-		-	-
All roofing work to RCABC five-year guarantee standards.	-	-	-	-	-	-
Roof Covering to have a A, B, or C classification as per CAN/ULC-S107	-	-	-	-	-	-
MB Torch On Built Up Membrane	-	-	-	-	-	-
5/8" T&G Plywood sheathing (See structural)	-	-	-	-	-	-
11 7/8" TJI joists (see structural)	2.56	9.0%	4.98	28.25	-	-
AB, VB 6" 2LB Medium Density/Closed Cell Spray Foam Insulation	5.49	91.0%	0.10	0.55	-	-
1 layers 5/8" type X GWB	-	-	0.11	0.62	-	-
Interior Air Film	-	-	-	-	-	-
Soffit - See elevations	-	-	-	-	-	-
R4.0 Roof Deck	REQUIRED: 4.67		26.52			
	PROVIDED: 5.21		29.60			
Exterior Air Film	-	-	0.03	0.17	-	-
Floating Wood Deck Boards on 2X4 Sleepers	-	-	-	-	-	-
DELTA MS - 5/16" dimpled membrane	-	-	-	-	-	-
MB Torch On Built Up Membrane	-	-	-	-	-	-
5/8" T&G plywood sheathing (see structural)	-	-	-	-	-	-
Cross Strapping slope to drain	-	-	-	-	-	-
11 7/8" TJI joists (see structural)	2.56	9.0%	4.98	26.87	-	-
AB, VB 6" 2LB Medium Density/Closed Cell Spray Foam Insulation	5.49	91.0%	0.10	0.55	-	-
Resilient metal channels @ 24" OC perpendicular to joists	-	-	-	-	-	-
1 layers 5/8" type X GWB	-	-	0.11	0.62	-	-
Interior Air Film	-	-	-	-	-	-

Floor Assemblies

Calculated with a Heat-Recovery Ventilator
Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days

Assembly	RSI	Area %	RSI eff. (m2-K)/W	R-Value	FRR	STC
F1.0 Wood Floor	REQUIRED: -		-		-	-
	PROVIDED: -		-		-	-
Finish Flooring to Owners spec	-	-	-	-	-	-
5/8" T&G plywood sheathing (see structural)	-	-	-	-	-	-
11 7/8" TJI joists (see structural)	-	-	-	-	-	-
1 layer 5/8" GWB	-	-	-	-	-	-
F1.1 Insulated Wood Floor	REQUIRED: 4.67		26.52			
	PROVIDED: 5.48		31.13			
Interior Air Film	-	-	0.16	0.91	-	-
Finish Flooring to Owners spec	-	-	-	-	-	-
5/8" T&G plywood sheathing (see structural)	-	-	0.10	0.57	-	-
11 7/8" TJI joists (see structural)	framing 2.56	9.0%	5.19	29.48	-	-
AB, VB 6.5" Rigid SM Foam Insulation Sealed in place.	cavity 5.78	91.0%	-	-	-	-
Soffit - See elevations	-	-	-	-	-	-
Exterior Air Film	-	-	0.03	0.17	-	-
F2.0 Concrete Slab On Grade	REQUIRED: -		-		-	-
	PROVIDED: -		-		-	-
4" Reinforced concrete slab (see structural)	-	-	-	-	-	-
AB, VB 10 mil UV VB	-	-	-	-	-	-
6" compacted granular fill (see structural)	-	-	-	-	-	-
native soil	-	-	-	-	-	-

Climatic Data for the City of Victoria

December 10 2018 (BCBC 2018)

The following climatic data shall be used within the boundaries of the City of Victoria.

Design Temperature				Degree Days Below 18°C	
January	July	2.5%	Dry °C	Wet °C	
2.5% °C	1% °C	Dry °C	24	17	2700
-4	-6				

15 Min. Rain, mm	One Day Rain, 1/50, mm	Ann. Rain, mm	Moist. Index	Ann. Tot. Ppn, mm	Driving Rain Wind Pressure, Pa, 1/5
9	91	800	0.98	825	220

Snow Load kPa 1/50		Hourly Wind Pressures, kPa	
S _s	S _r	1/10	1/50
1.5	0.3	0.44	0.57

Seismic Data							
S _s (0.2)	S _s (0.5)	S _s (1.0)	S _s (2.0)	S _s (5.0)	S _s (10.0)	PGA	PGV
1.30	1.16	0.676	0.399	0.125	0.044	0.580	0.834

Alternatively site specific climatic data from Environment Canada can be used. Environment Canada can be emailed at climate_services@ec.gc.ca to obtain site specific climatic data. There is a user fee for providing site specific climatic data from Environment Canada.

Assemblies General Notes:

These assemblies have been selected in accordance with BCBC 2018 and in coordination with the project consultants. The contractor is to be compliant with all these requirements, any deviations will not be accepted without prior approval and coordination.

Abbreviations

- FRR = Fire Resistance Rating
- VB = Vapour Barrier
- FG = Fiber Glass
- MB = Moisture Barrier
- AB = Air Barrier
- OC = On Centre
- STC = Sound Transmission Class
- GWB = Gypsum Wall Board
- XPS = Extruded Polystyrene Rigid Insulation (Roxul CIS or equiv)
- RSI = Resistance Système International
- IIC = Impact Insulation Class
- UV = Ultraviolet
- ULC = Underwriters Laboratories of Canada



View from Kipling Street at Thurlow Road looking West



View from Kipling Street Looking West



View from Kipling Street Looking South



View from Thurlow Road at Access

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Concept Renderings

Project Name:
**Fairfield-Kipling
Development**
Civic: 1400 Fairfield Rd &
349 Kipling St
Legal:
PID:
Project No: 19.015
Drawn By: SG/JM
Plot Date: Jun 20, 2019
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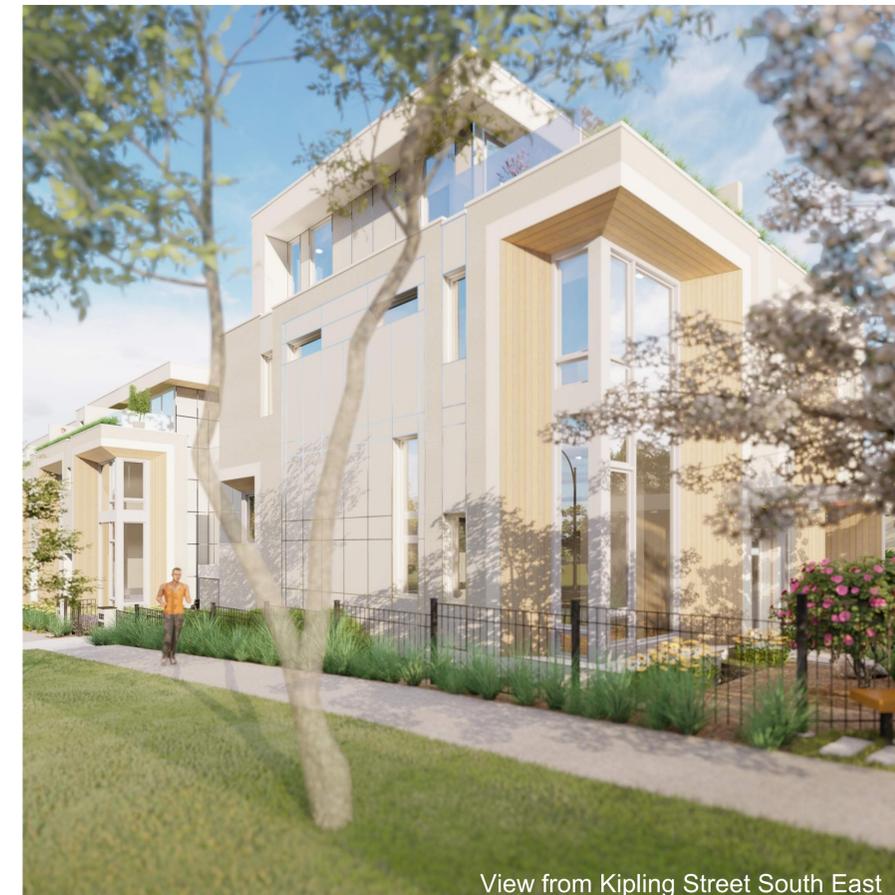
View from Kipling Street Looking South



View from Drive Isle



View from Fairfield Road Looking East



View from Kipling Street South East

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