

# BURNSIDE PHASE II

DEVELOPMENT PERMIT SUBMISSION



2024-11-28



ARCHITECTURAL	
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ARCHITECTURAL	
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2024-11-28

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PROJECT

BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO: 138914	
DRAWN BY: ARCADIS	CHECKED BY: ARCADIS
PROJECT MGR: ARCADIS	APPROVED BY: ARCADIS

SHEET TITLE

DRAWING LIST + CONTACTS

SHEET NUMBER	ISSUE
DP0.00.01	A





1. View of the Oxford hotel from Gorge road.



2. View of neighboring Gorge apartments from Gorge road.



3. Intersection of Balfour Ave and Gorge road facing Southeast.



4. Intersection of Balfour Ave and Gorge road facing North.



7. Aerial view of the subject site and surrounding areas.



5. Gorge road facing West (East of subject site).



6. View South on Albany St (Facing the subject site).

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SHEET TITLE  
**STREETSCAPES**

SHEET NUMBER	ISSUE
<b>DP0.00.02</b>	<b>A</b>



# CITY OF VICTORIA POLICY FRAMEWORK

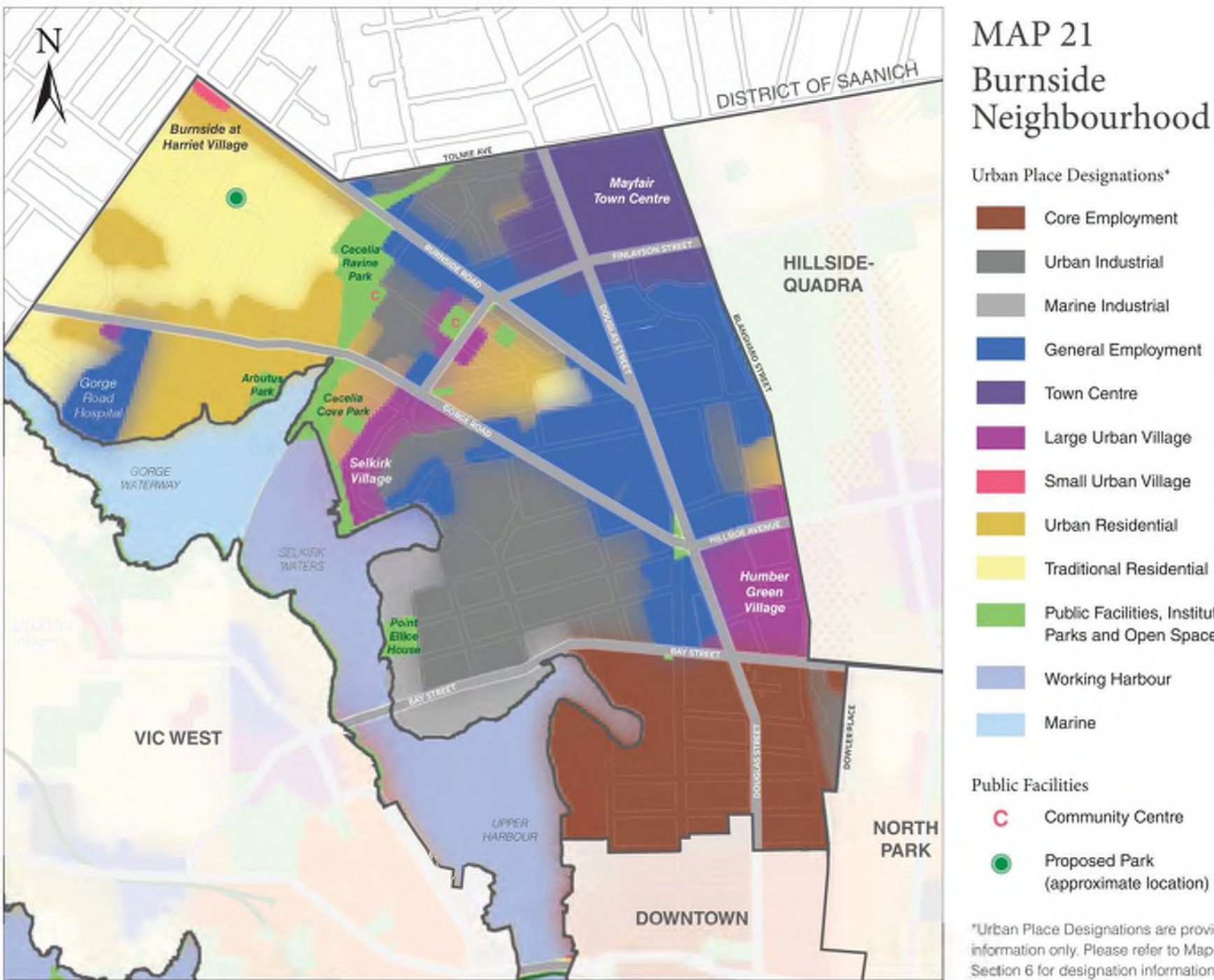
## Aligning with the OCP and BGNP

Throughout the design process, the City of Victoria's policy documentation has been used as a framework. A thorough review of the Official Community Plan (OCP), Burnside Gorge Neighbourhood Plan, Design Guidelines for Multi-Unit Residential, Commercial and Industrial, and Land Use Bylaw has been undertaken and considered, including, but not limited to, the following.

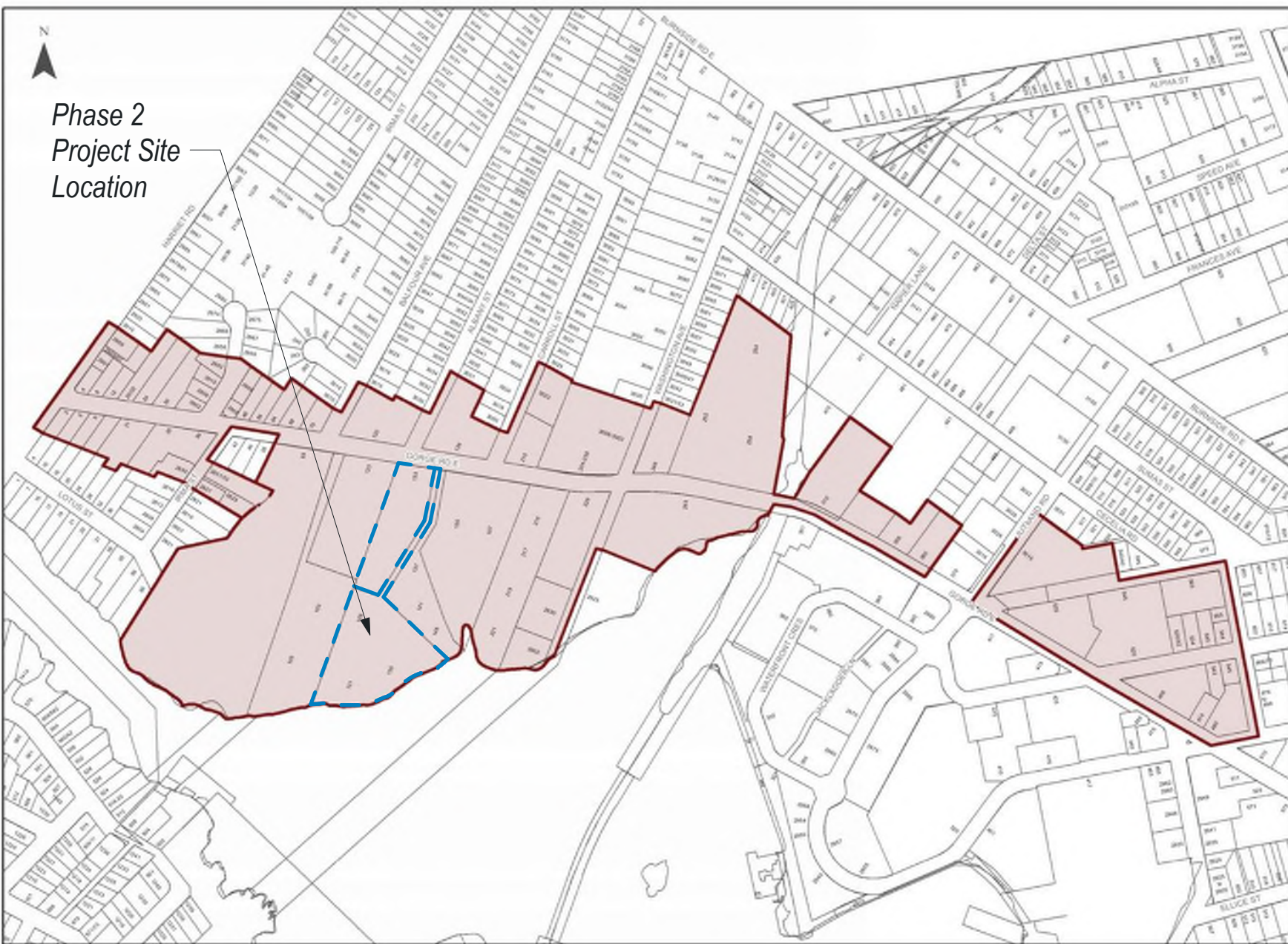
### OFFICIAL COMMUNITY PLAN (2012)

The Burnside Gorge neighbourhood and the subject site is subject to the policies within the City of Victoria's Official Community Plan (OCP), which sets out the City's vision, values and goals for the future of the city. Along with high level land use and growth management objectives the OCP also defines objectives for transportation and mobility, parks and recreation, infrastructure, the economy, and sustainability, amongst other topics. While most growth is expected to occur in the downtown core and urban villages, residential and employment growth will also be directed to other neighbourhoods, particularly along transit routes.

The site is within Development Permit Area 7A Corridors, which requires consideration of the City's Design Guidelines for Multi-Unit Residential, Commercial and Industrial (2012), revised 2019 and Revitalization Guidelines for Corridors, Villages and Town Centres (2017). DPA 8: Victoria Arm - Gorge Waterway also applies to establish guidelines for the protection of the natural environment, ecosystems and biological diversity of this sensitive area. Other city-wide policies that align with the OCP such as Go Victoria the City's Sustainable Mobility Strategy, Parks Master Plan, Housing Strategy, Inclusionary Housing and Community Amenity Policy, and Tenant Assistance Policy have been considered in crafting the proposal.



Map 56: DPA 7A: Corridors – Gorge Road East



### BURNSIDE GORGE NEIGHBOURHOOD PLAN (2017)

The BGNP outlines several "big moves" that will help achieve the plan vision and goals. Particularly relevant to the development of the subject site are:

- Reconnect with the waterfront: The waterfront is a great but under utilized asset due to limited accessibility. The plan advocates for improved public spaces along the waterfront including new and improved parks and a waterfront trail.
- Create better pedestrian and cycling connections: The area needs safe bike routes to connect destinations within the community and to the broader cycling network, as well as improved pedestrian access. Key roadways are identified for substantial short and long-term improvements.
- Encourage housing diversity: A balance of housing types are needed to diversify the neighbourhood and support improvements and amenities.
- Calm busy arterial streets: Improvements to major roads including development of the All Ages and Abilities route on Gorge Road will make it safer and more comfortable for all users to bike and walk.
- Green the neighbourhood: Tree retention and replacement, enhancement of waterfront ecosystems, and new parks and open spaces will "green" the neighbourhood and provide more opportunities for recreation and public enjoyment.



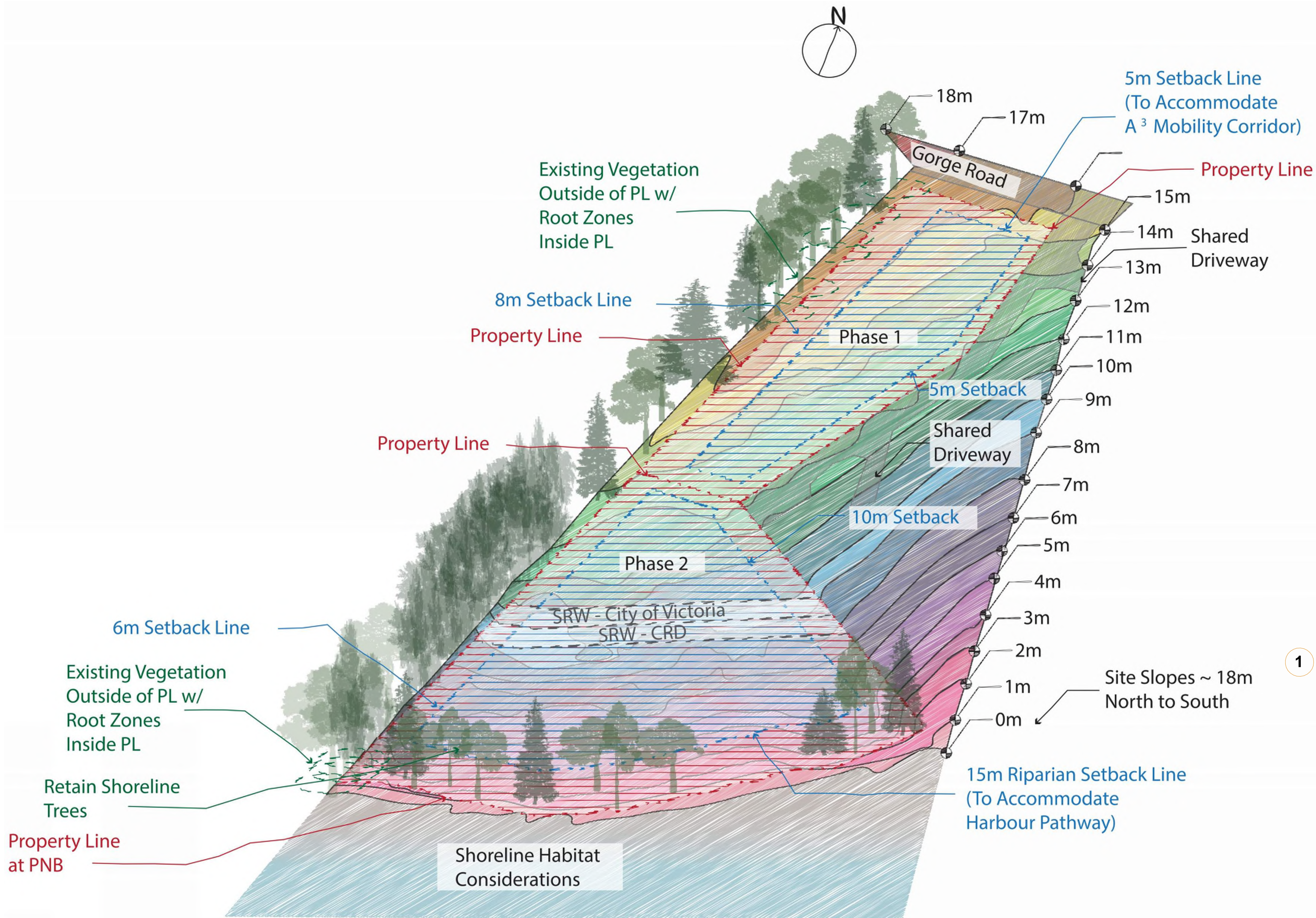
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POLICY FRAMEWORK		
SHEET NUMBER		ISSUE
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# PROJECT SITE ASSESSMENT

## Understanding Opportunities and Constraints

During the initial design process, the site was examined with consideration for its physical constraints and assets, City policy objectives, and placemaking opportunities.



### 1 REVIEW SITE CONSTRAINTS

The project site offers both unique shape and slope conditions. With nearly an 18m fall from North to South, key considerations included lobby sighting, way finding and pedestrian circulation, vehicular access and overall building height.

Further site constraints that would impact building form were noted on the Phase 2 site where it is bisected by two SRWs. Additional easement and access considerations were required for the shared driveway conditions along the eastern property line.

Moreover, the shoreline created particular constraints when considering environmental impacts to the sensitive ecosystem in the mudflat area. Retention of existing non-invasive site vegetation wherever possible was also noted as imperative to both soil retention and maintenance of the area's biological diversity.

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**SITE CONSTRAINTS**

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# PROJECT SITE ASSESSMENT

## Understanding Opportunities and Constraints

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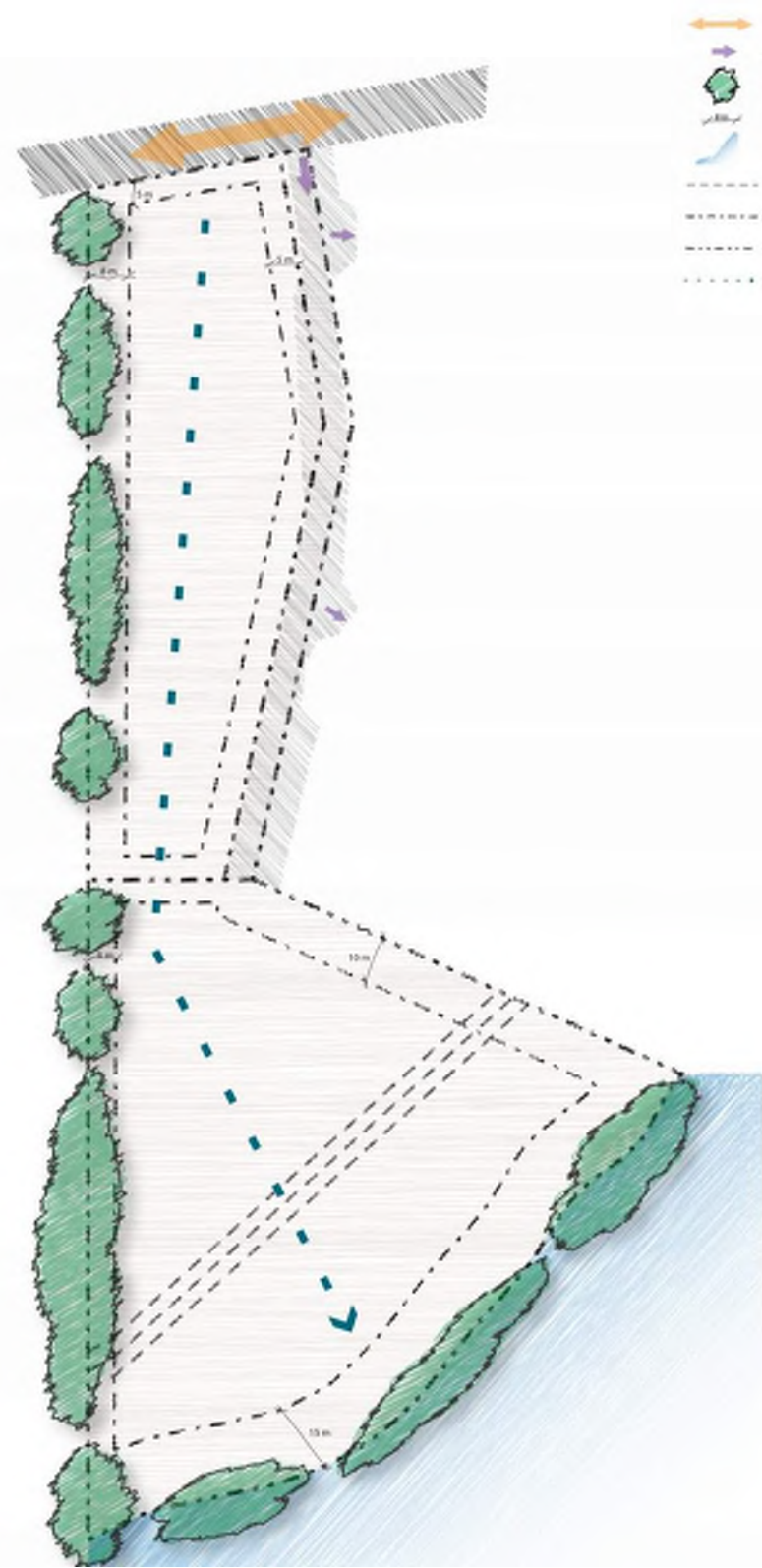
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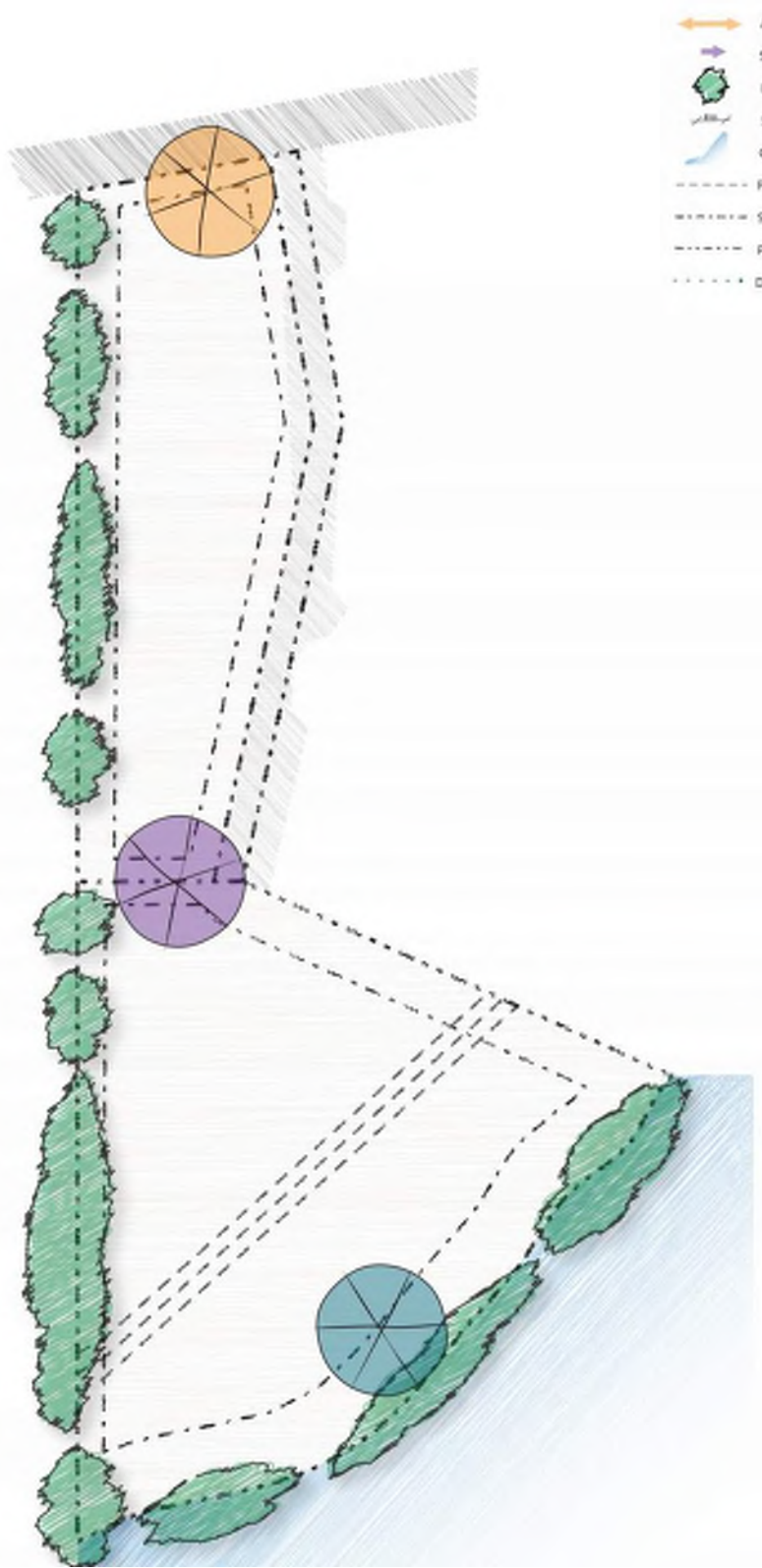
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### 2 ASSESS ASSETS + OPPORTUNITIES



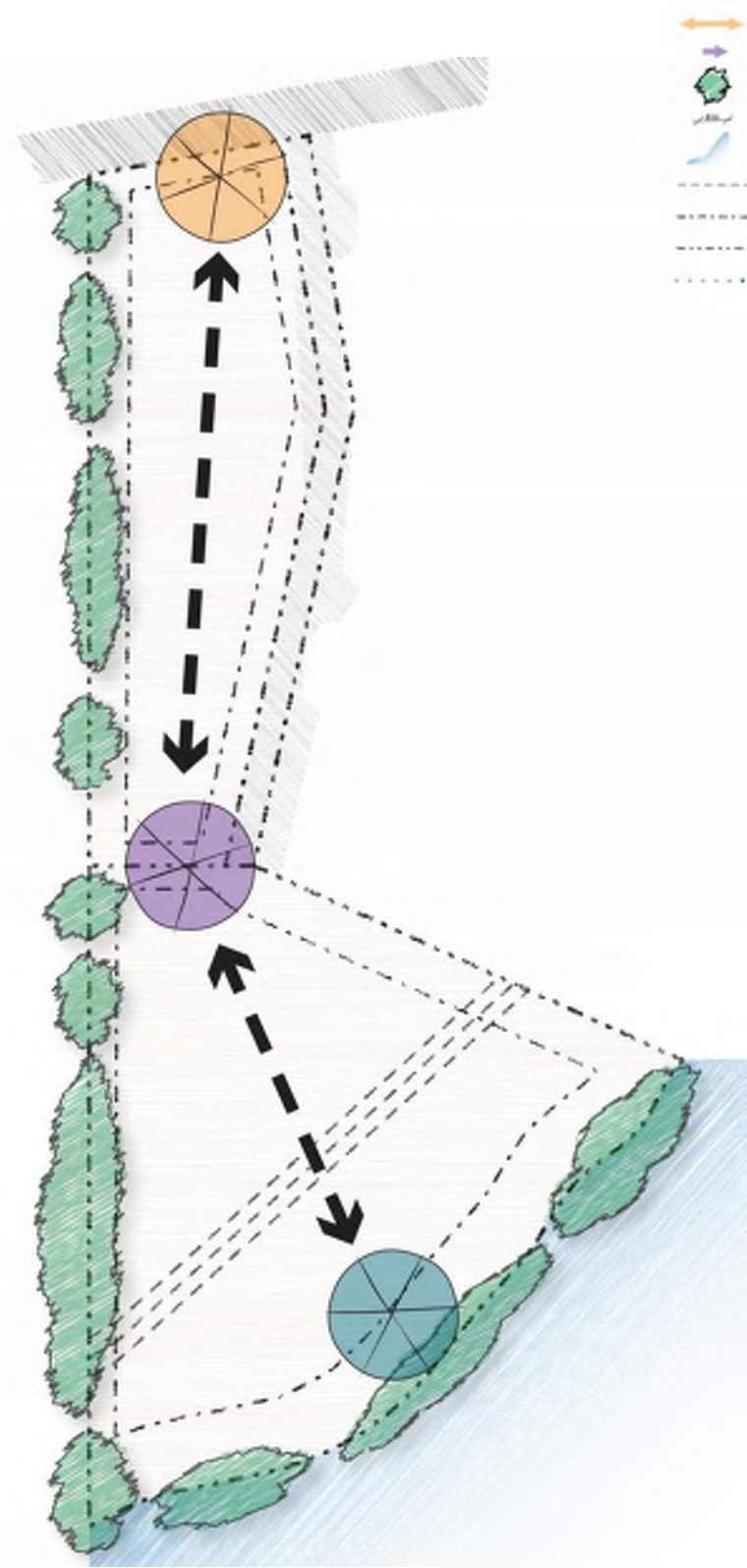
A decision was made early on to lean into the site slope and design was directed towards stepping the buildings with the natural topography. Considerations were made to retain as much of the original vegetation as possible, particularly on the western property line where the trees and shrubs create a natural buffer to neighbouring properties.

### 3 IDENTIFY FOCAL POINTS



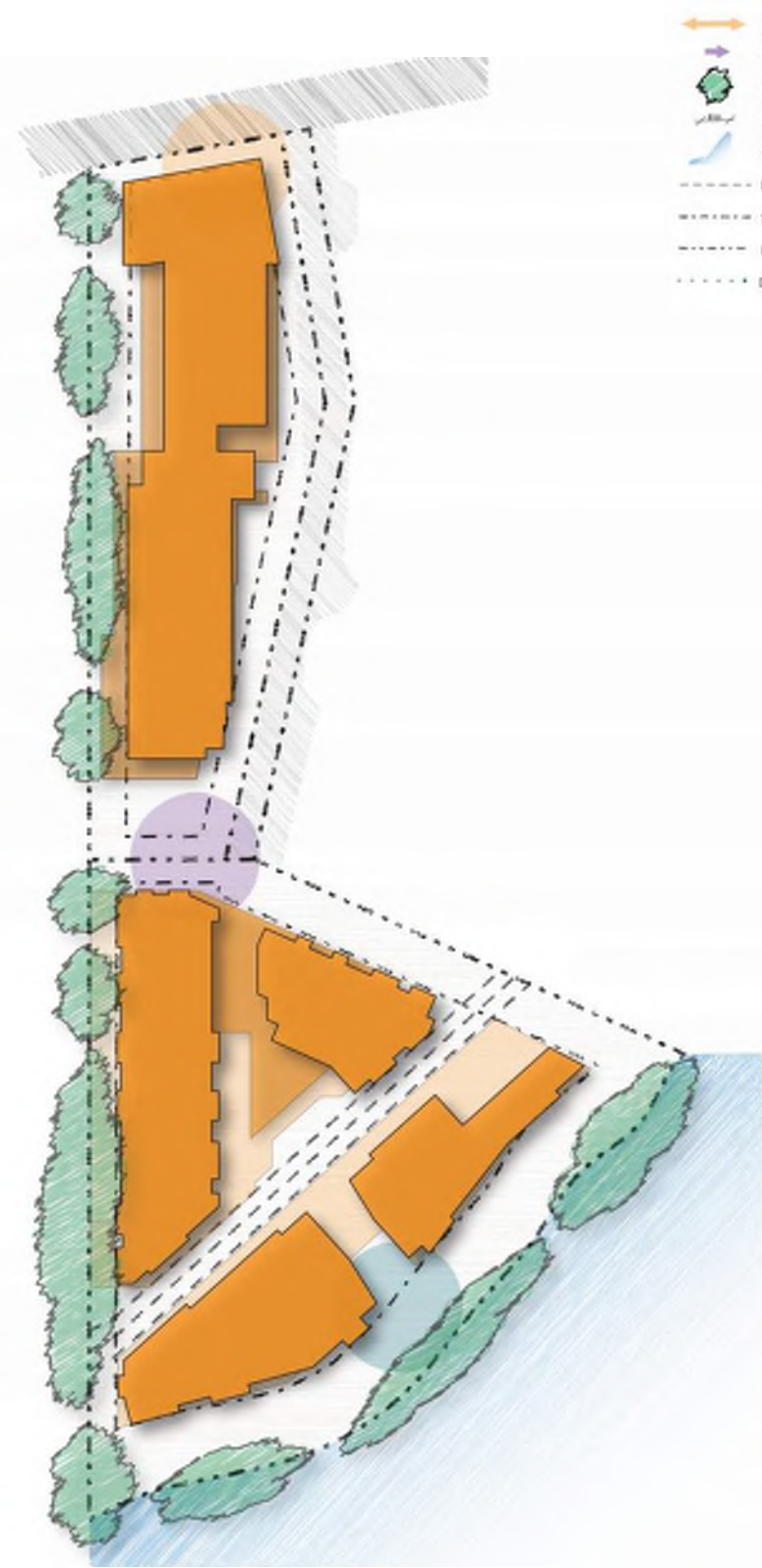
Due to the unique shape of the project site, clear opportunities for place making presented themselves as locations for placemaking hubs. The northern most border in Phase 1 is a natural location for a commercial interface, providing additional retail opportunities for the neighbourhood. The centre pinch point is an ideal location for a public plaza allowing for passive wayfinding and creating an open space between phases. Lastly, the shoreline was identified as a key site amenity that presented opportunities for both enhancement and preservation.

### 4 CONNECT HUBS



Once key focal points were identified, a pedestrian route was designed to encourage use of each of these locations. The path has been designed as an open, visible, naturalized pathway that helps users passively move from urban to natural environments.

### 5 SHAPE THE BUILDINGS



Lastly, the buildings were formed from extruding up basic blocks around site setbacks and service right of ways. Those blocks were then articulated to create open, central plaza spaces to encourage public circulation and use. In addition, balconies and patios were designed to face the central plazas to create eyes on the street, but are still slightly screened from the path by using strategic landscape planting to ensure privacy for residential units.

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REGISTERED ARCHITECT

LAUREN MACAULEY

BRITISH COLUMBIA

2024-11-28

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**SITE CONSTRAINTS**

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# SEASIDE VILLAGE

## Bridging Urban and Nature

Seaside Village blends urban living with the natural landscape, offering vibrant residential spaces, bustling commercial areas, and lush landscaping. A network of paths and plazas, invites exploration and connection to the Gorge Waterway, fostering a harmonious relationship between community spaces and the coastal environment.



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# DESIGN RATIONALE

## A Series of Plazas Connecting Urban to Coastal

The design of this waterfront series transforms the area into a vibrant public space that seamlessly bridges the urban environment with the coastal edge. A sequence of interconnected plazas, courtyards, transitional paths, and a waterfront boardwalk invites pedestrians to immerse themselves in the Gorge's natural landscape and community.

Four key nodes serve as focal points along a publicly accessible path stretching from Gorge Rd down to the water. These nodes are more than just waypoints; they are dynamic plazas that create an engaging public corridor, encouraging exploration and interaction with the waterfront.

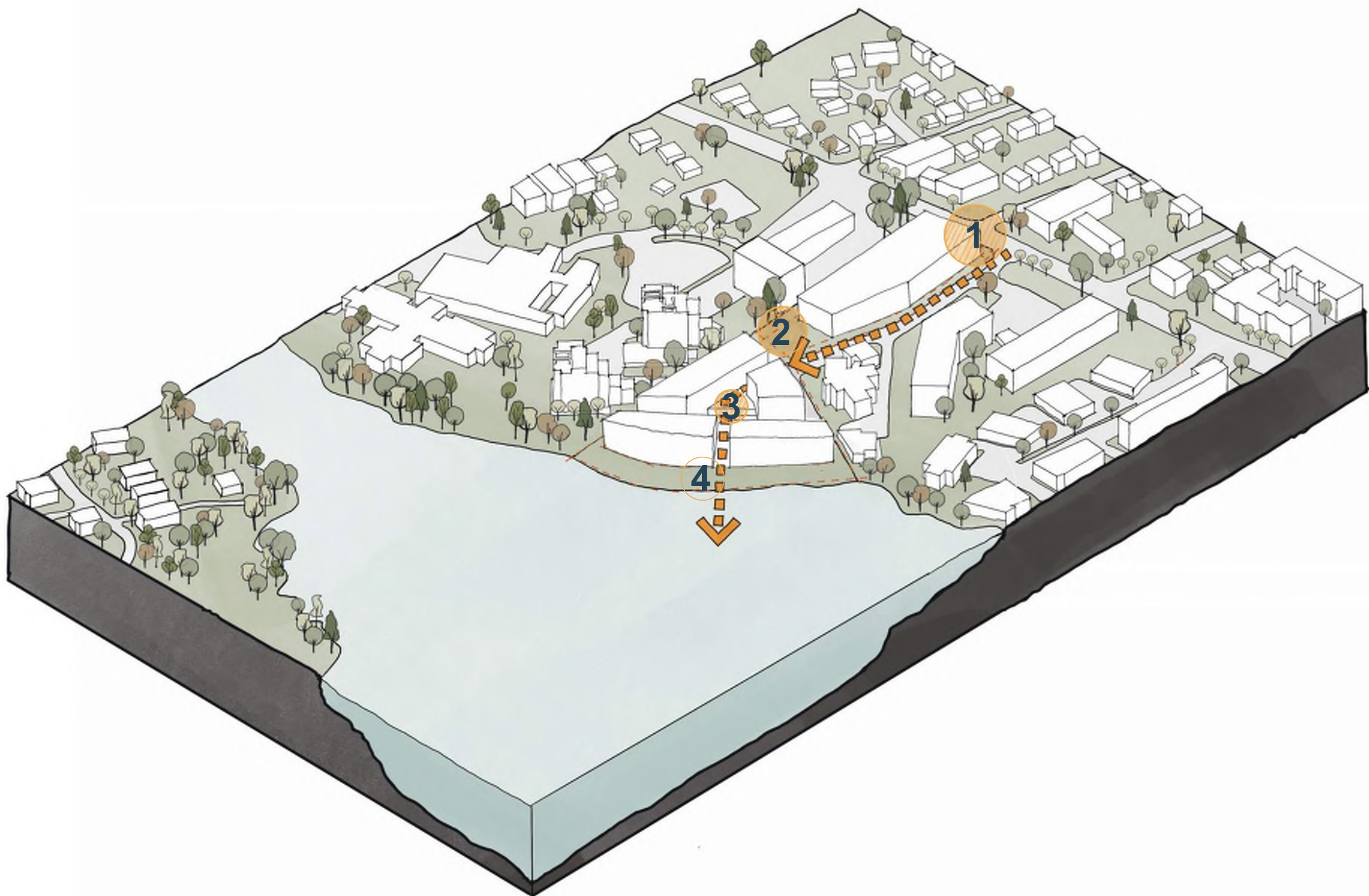
Each plaza is designed to seamlessly transition from urban to natural settings, offering unique experiences that celebrate both community and nature.

**1. The Urban Plaza:** Starting near Gorge Rd, this lively gateway features retail spaces, cafes, and seating areas, encouraging social interaction and welcoming residents and visitors.

**2. Residential Plaza:** Further along, this tranquil oasis offers lush landscaping and shaded seating, providing a peaceful retreat from urban life.

**3. Gorge Waterway View Plaza:** As you proceed further, the path gently slopes downward leading you to the third plaza, where you meet Gorge's Waterway view for the first time.

**4. Waterfront Plaza:** At the water's edge, this dynamic space includes multiple gathering areas and walking paths.



PRIMARY NODES/PLAZAS



### 1 The Urban Plaza

Phase 1 includes retail units and a urban plaza that provides the initial public crossroad for the waterfront access with Gorge Rd.



### 2 Residential Plaza

A lush central plaza bridging Phase 1 and 2, serving as a residential yard with spaces for relaxation and recreation. Creating an interconnected village with public connectivity at the heart of the site.



### 3 Gorge's Waterway Plaza

A terracing landscape and considered separation of waterfront buildings allows for multiple platforms to view out towards the Gorge waterway from within the third plaza.



### 4 Waterfront Plaza

The path ends at a spacious waterfront plaza, perfect for enjoying the views, having a meal, or watching the boats. This area embodies the project's vision of seamlessly connecting urban and natural environments, providing a unique and enriching experience.

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ISSUE

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# DESIGN RATIONALE

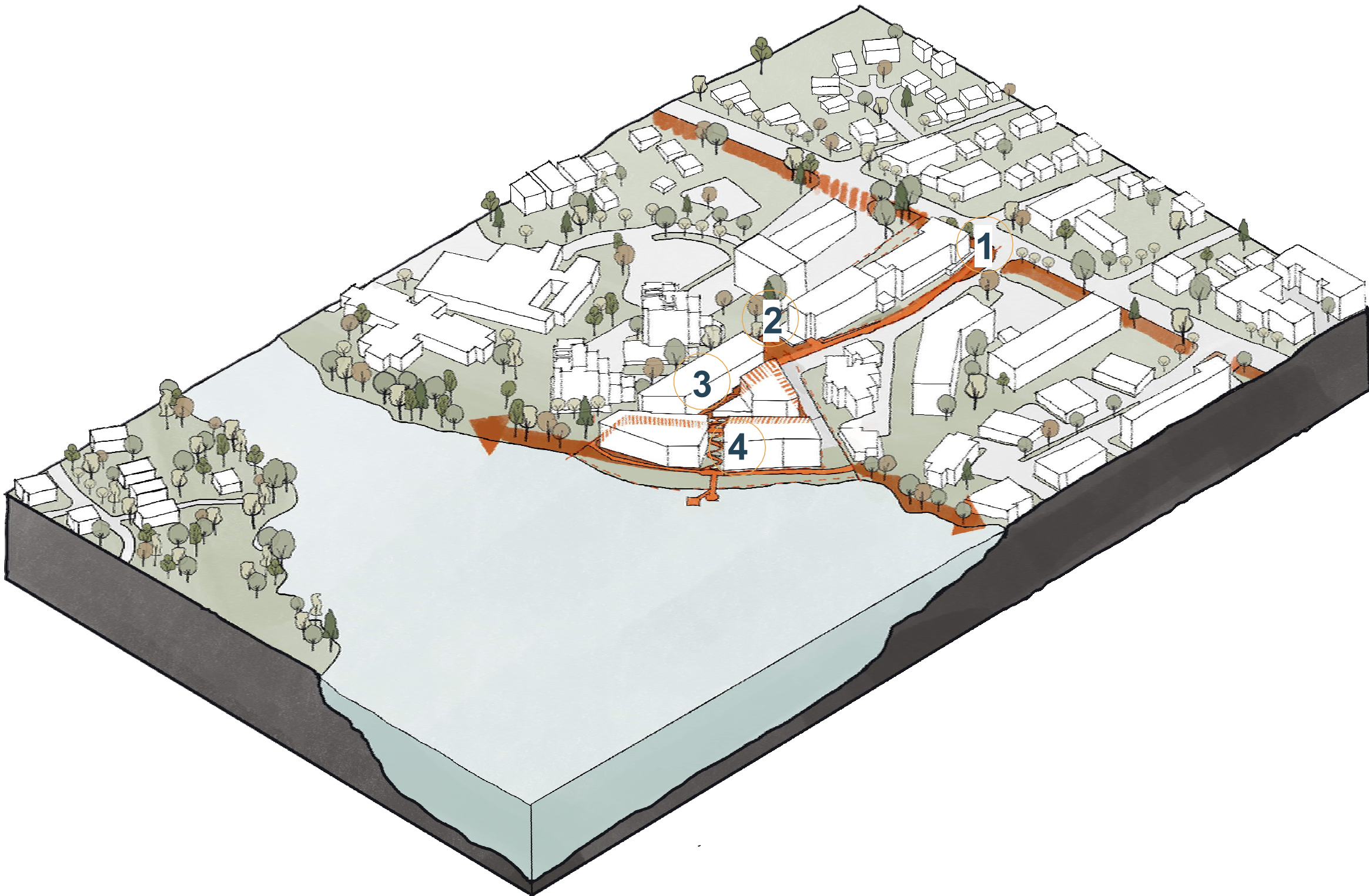
## An Accessible Pedestrian Network

The proposed public pedestrian network that connects the city with the waterfront is a fantastic addition for both the project and the city. This accessible network creates a seamless transition from the urban environment to the natural beauty of the Gorge Waterway, encouraging residents and visitors of all abilities to explore and enjoy the area.

It enhances accessibility, promotes healthy lifestyles by encouraging outdoor activities and exercise, and fosters a stronger sense of community.

By linking key urban areas with the waterfront, the pedestrian network not only enriches the daily lives of those who live and work in the area but also boosts local businesses, making it a valuable asset for the entire neighborhood.

Each portion of the pedestrian network is designed to seamlessly transition from urban to natural settings, connecting the series of plazas that act as gathering places.



PEDESTRIAN NETWORK



### 1 The Urban Realm - Pedestrian Access Point

A vibrant entry point at the northern edge, framed by retail spaces, which draws pedestrians from Gorge Rd into the site.



### 2 Residential Pathway

The Residential Pathway winds through the heart of the community, offering a peaceful escape from the urban bustle. As you stroll along, you'll pass beautifully landscaped gardens and charming courtyards, each designed to foster a sense of tranquility and connection to nature.



### 3 Meandering Pathway

A meandering path with dense planting, transitioning from residential to naturalized environment, offering seating and informal gathering spaces with initial views of the water.



### 4 Boardwalk Access

The significant elevation drop of phase II is made fully accessible by providing a meandering pathway through a naturalized landscape that blends the urban and coastal environments. A public boardwalk along the water's edge, establish a point of future connectivity to the Harbour Pathway.

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PROJECT  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO: 138914	
DRAWN BY: <b>ARCADIS</b>	CHECKED BY: <b>ARCADIS</b>
PROJECT MGR: <b>ARCADIS</b>	APPROVED BY: <b>ARCADIS</b>

SHEET TITLE  
**DESIGN RATIONALE**

SHEET NUMBER <b>DP0.00.08</b>	ISSUE <b>A</b>
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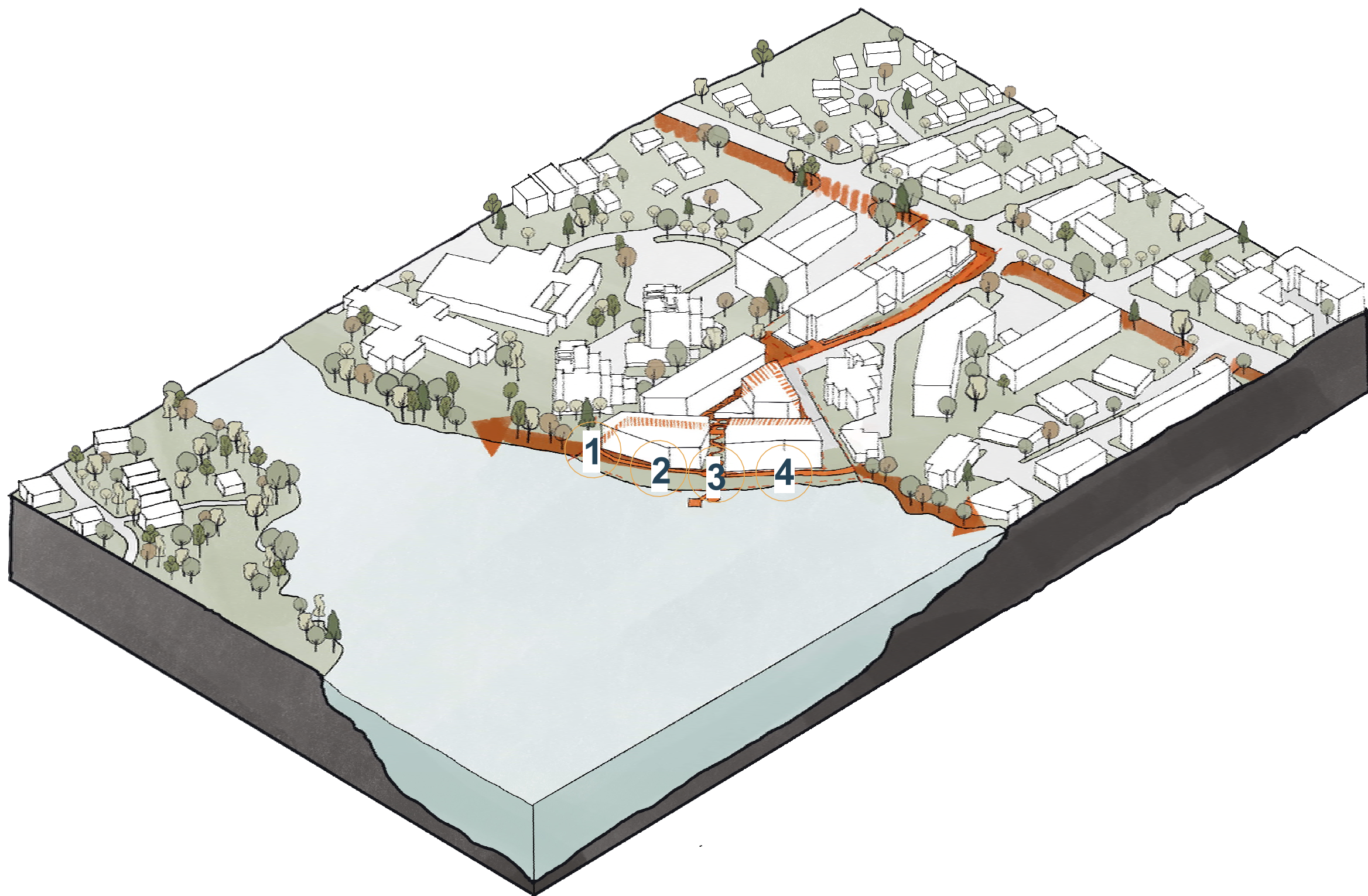
# DESIGN RATIONALE

## Waterfront Boardwalk

A publicly accessible boardwalk along the water's edge, establishing a future connection to the Harbour Pathway, is a fantastic addition to the neighborhood. This boardwalk not only enhances the scenic beauty of the waterfront but also provides a safe and accessible space for residents and visitors to enjoy leisurely strolls, exercise, and social activities.

By linking the neighborhood to the future Harbour Pathway, it creates a continuous, inviting route that encourages exploration and connectivity within the community.

This addition promotes a healthier, more active lifestyle and strengthens the sense of community, making the neighborhood more vibrant and attractive to both locals and visitors.



### 1 Recreational Activities

The boardwalk is designed to accommodate various recreational activities such as walking, jogging, and cycling. It provides a safe and enjoyable space for people of all ages to engage in outdoor exercise while taking in the natural surroundings.



### 3 Community Spaces

Where the boardwalk meets the meandering pedestrian pathway, there are thoughtfully placed seating areas and viewing spots where people can gather, relax, and socialize. These spaces foster a sense of community and provide opportunities for social interaction and leisure.



### 2 Scenic Views

The boardwalk offers breathtaking panoramic views of the Gorge Waterway, allowing residents and visitors to enjoy the serene beauty of the water and surrounding landscapes.



### 4 Ecological Integration

The design of the boardwalk incorporates native plants and sustainable materials, enhancing the natural habitat and acknowledging the importance of preserving the waterway's natural beauty.

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# DESIGN RATIONALE

## Phase I Design Cues to Inform Phase II

Phase II aims to create a harmonious urban/coastal village by emphasizing a unified color palette and overarching theme, fostering a sense of local cohesion. However, within this cohesive framework, each building is designed to interpret the theme in its own unique and visually diverse way. To ensure continuity between both phases, Phase II builds upon the design language established in Phase I in three key areas:

- A. Character
- B. Form
- C. Materiality

### A. ARCHITECTURAL CHARACTER :

Bridging the urban environment with the coastal edge.

- Urban Character
- Residential Character
- Coastal Character

- 3
- Merge architecture with nature grounding the lower levels diminishing the perception of a solid, imposing structure.
  - Reference to Water/ Coastal Atmosphere by using white and blue as accent colours



- 2
- Low contrast Colours (lighter)
  - Linear Facade Patterns
  - Fibre Cement Shingle Volumes

- 1
- Program: Retail
  - Non Linear Facade Patterns
  - Transparent Volumes



### B. ARCHITECTURAL FORM/ LANGUAGE:

- Boxes / Cubes
- Horizontal Lines
- Staggered Pattern

- 1 2



- 1 2



- 1

- 2

- 3



- 2

- 3



### C. MATERIALITY

- Brick Base
- Fiber Cement Wood Look
- White Colour
- Fiber Cement Accent Colour (Blue-Green)

- 3

- 1



- 4

- 3

- 2

- 1



- 4

- 3

- 2

- 1



- 4

- 3

- 2

- 1



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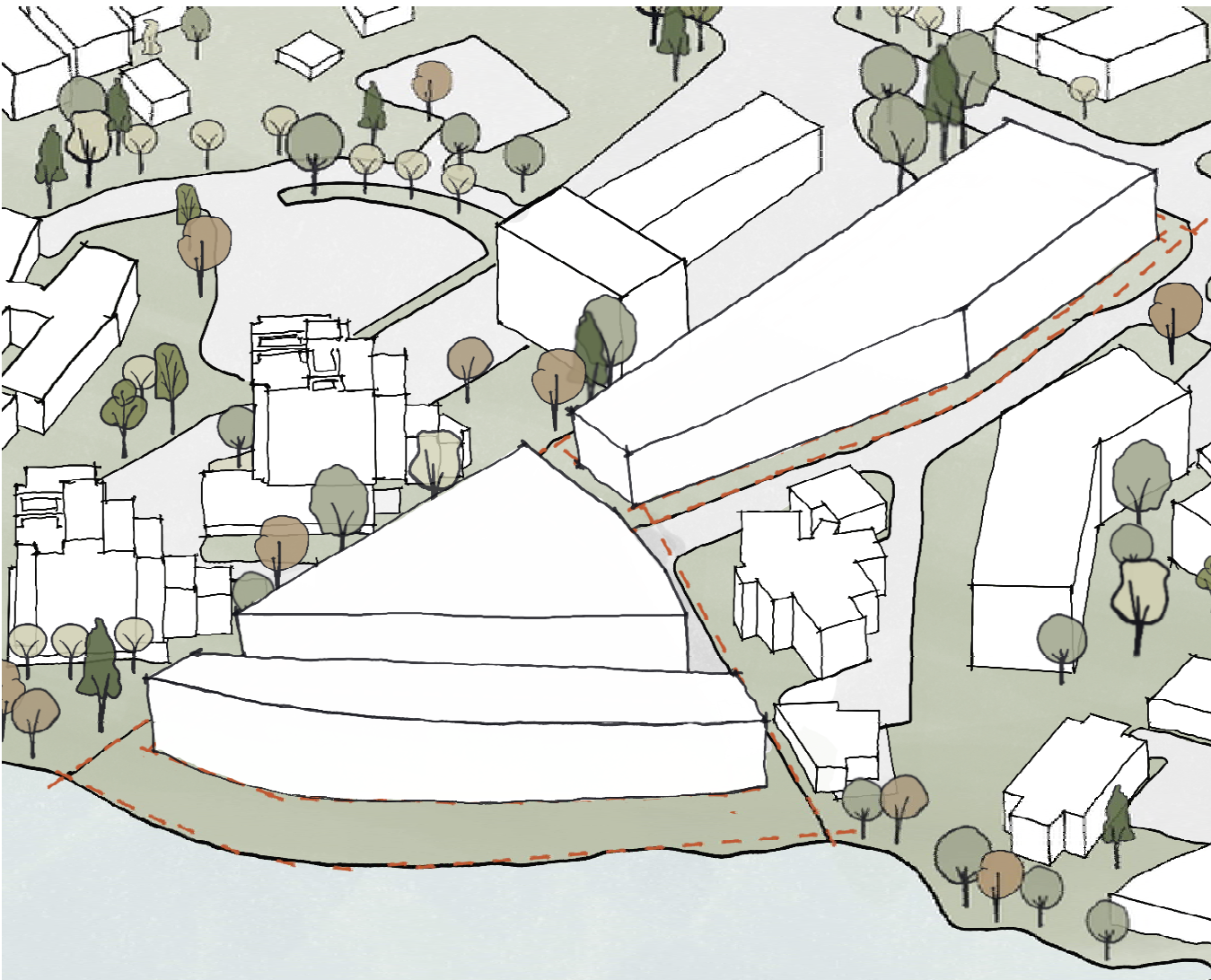
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# MASSING EVOLUTION



## 1. EXTRUDED SITE MASSING

The maximum buildable form is defined by site setbacks, SRW's, a coastal riparian setback, and maximum building height.



## 2. GROUNDED

In key locations around the buildings, strong brick elements are located to increase the impact and presence of ground oriented units and lobbies. This provides visual reinforcement of the walk up unit and a ground orient scale that is separate from the rest of the building above.



## 3. HORIZONTAL MASSING BREAK-UP

Additional horizontal datum's are created along the building facades to create a transitional facade from grounded elements of brick and saturated colors near the ground to lighter more reflective materials at the upper floors.



## 4. VERTICAL MASSING BREAK-UP | CARVING

To further reduce the scale of architectural elements, each building is carved in a vertical rhythm with balconies being partially inset to provide varying depths along the facade. This breaks up the longer block forms and reintroduces a residential scale and rhythm to the buildings.



## 5. VILLAGE: COHESIVE DIVERSITY

Each building's design fits within the overall village style but is unique in its application. This produces various architectural expressions across the site and allows each building to respond to its unique site conditions.



## 6. PROPOSED BUILDING FORM

The design of the buildings focuses on a simplified form that act as a background and boundary to the central courtyard and meandering pedestrian path.

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**MASSING EVOLUTION**

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# MASSING + HEIGHT

## Rooftop Views of the Gorge Waterway

Each building is strategically positioned to step down the slope, creating a terraced effect. This design approach ensures that every building, regardless of its position on the slope, has unobstructed views of the Gorge Waterway from the rooftop.

The terracing not only enhances the visual appeal, but also allows for efficient use of the sloped terrain, minimizing the need for extensive excavation and retaining walls.

Each building's rooftop is designed as a communal space, featuring green roofs and outdoor amenities that encourage social interaction and provide a serene environment for residents to enjoy the panoramic views.

By stepping the buildings with the terrain, we create a cohesive and aesthetically pleasing development that respects the natural topography and offers a unique living experience.



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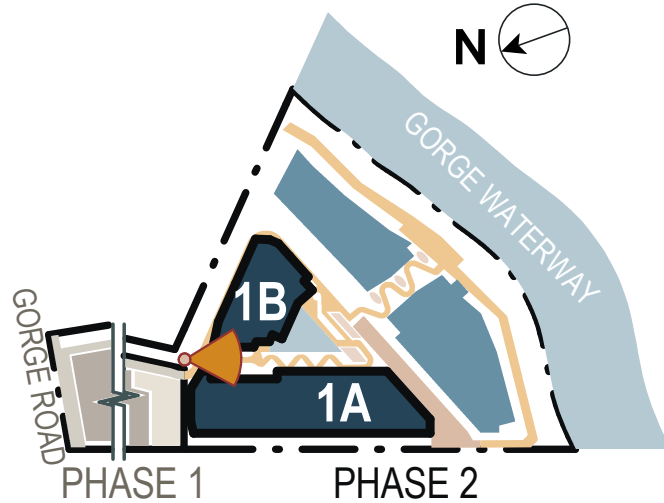


# MEANDERING PATHWAY ENTRANCE

As you begin your journey down the meandering path, you are greeted by the first plaza (Phase I at Gorge Rd.), a vibrant urban corner bustling with activity. This node serves as a lively gathering spot, where residents and visitors can socialize and enjoy the urban atmosphere.

Continuing along the path, you gradually leave the urban hustle behind and enter a more tranquil setting.

The residential plaza, nestled among lush greenery, offers a peaceful retreat with shaded benches and a playground . This area articulates both phases of the project and is designed to provide a moment of respite, where you can pause and appreciate the natural beauty around you.



Building 1A-B North Facade - Residential Plaza - Public Path into Phase II

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# MEANDERING PATHWAY

The meandering path with dense planting transitions seamlessly from the residential area to a naturalized environment, creating a harmonious blend of urban and natural landscapes.

This pathway is designed to offer a serene and immersive experience, providing initial glimpses of the water, enhancing the journey with moments of scenic beauty, and fostering a deeper connection with the natural surroundings.

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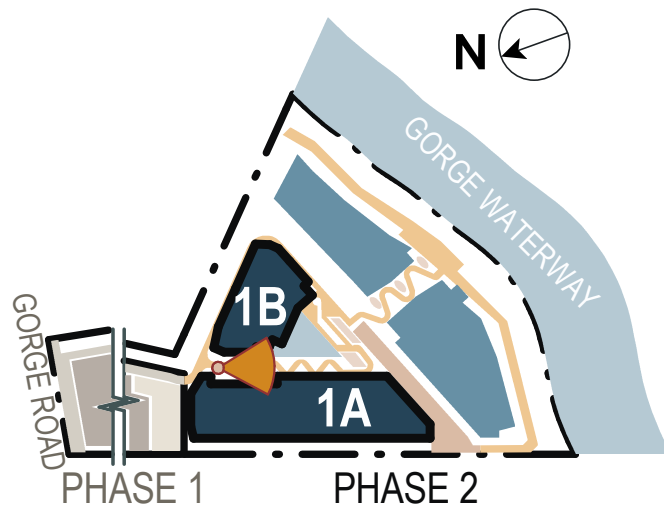
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PEDESTRIAN EXPERIENCE

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Building 1A-B - Meandering Pathway





# GORGE'S WATERWAY PLAZA

The pathway reaches the third plaza, which serves as a communal space that encourages social interaction due to its location in the center of Phase II courtyard.

The plaza serves as a central hub between all four Phase II Buildings. The programming leans into passive CPTED principles, locating opportunities for patios and balconies to overlook the lobbies and central pedestrian circulation of all four buildings.

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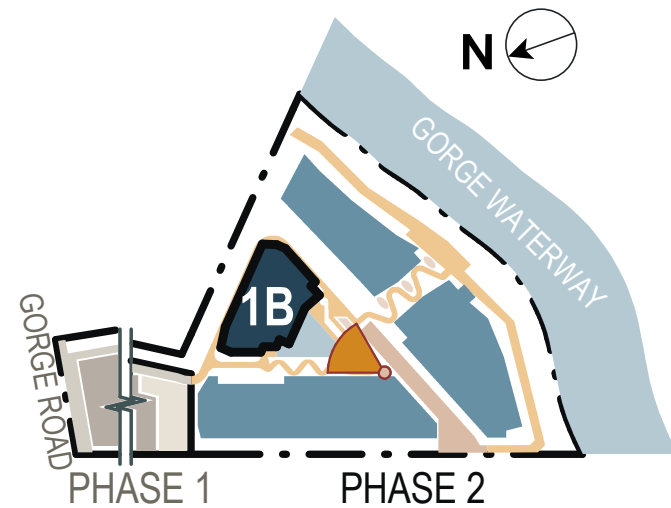
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Building 1A-B - Gorge's Waterway Plaza





# GORGE'S WATERWAY PLAZA

The design of the plaza allows for multiple elevated platforms, each offering unique vantage points to view the stunning Gorge Waterway. Residents and visitors can enjoy unobstructed views of the water, thanks to the strategic placement of buildings and terraces.

These platforms not only enhance the aesthetic appeal of the area but also provide inviting spaces for relaxation and social interaction

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Building 2A-B - Gorge's Waterway Plaza

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Building 2A/2B North Facade - Gorge's Waterway Plaza - Gorge Waterway View

# MEANDERING PATHWAY

As you are near the end of the path, the transition from the urban realm to the natural setting becomes more pronounced. The final stretch of the journey offers a framed view of the Gorge Waterway, with the path lined by native vegetation and gentle slopes.

The design ensures accessibility for all, with smooth surfaces and gentle gradients that accommodate strollers, wheelchairs, and bicycles.

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Building 2B SW Corner - Meandering Pathway

# MEANDERING PATHWAY

The path continues to wind its way down, bringing you closer to the water. A space that encourages active engagement with the environment.

The proximity to the water provides a refreshing breeze and a sense of openness, making it a popular spot for families and outdoor enthusiasts.

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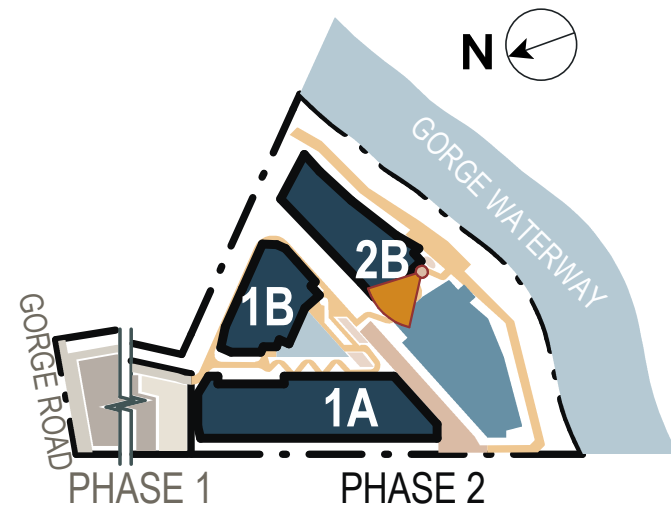
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Building 2B SW Corner - Waterfront Plaza

# WATERFRONT PLAZA

The path culminates in a spacious waterfront plaza, where you can sit and take in the views, enjoy a meal, or simply watch the boats go by. This final gathering area embodies the project's vision of creating a seamless connection between the urban and natural environments, offering a unique and enriching pedestrian experience.

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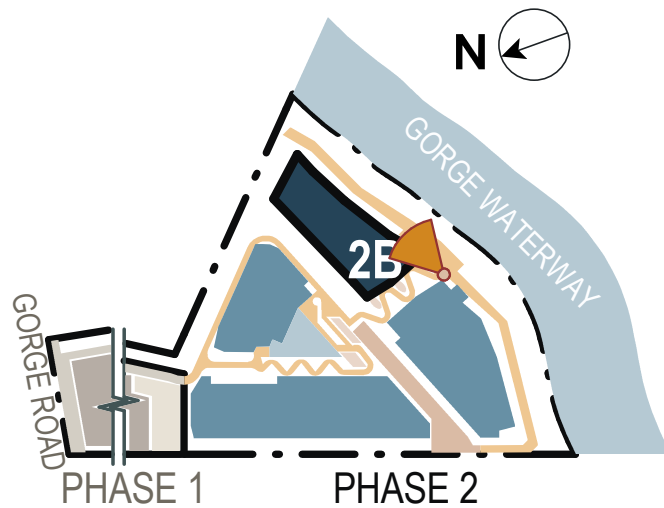
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133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO: 138914	
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PROJECT MGR: ARCADIS	APPROVED BY: ARCADIS

SHEET TITLE  
**MEANDERING PATHWAY  
PEDESTRIAN EXPERIENCE**

SHEET NUMBER <b>DP0.05.07</b>	ISSUE <b>A</b>
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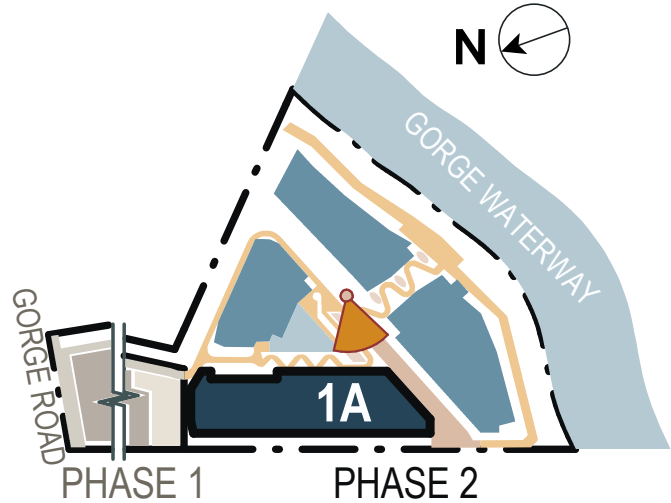






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Building 1A East Facade - Gorge's Waterway Plaza



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REGISTERED ARCHITECT

LAUREN MACAULEY

*Lauren Macauley*

BRITISH COLUMBIA

2024-11-28

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133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:

138914

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PROJECT MGR:

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SHEET TITLE

BUILDING 1A VIEW

SHEET NUMBER

DP0.06.00

ISSUE

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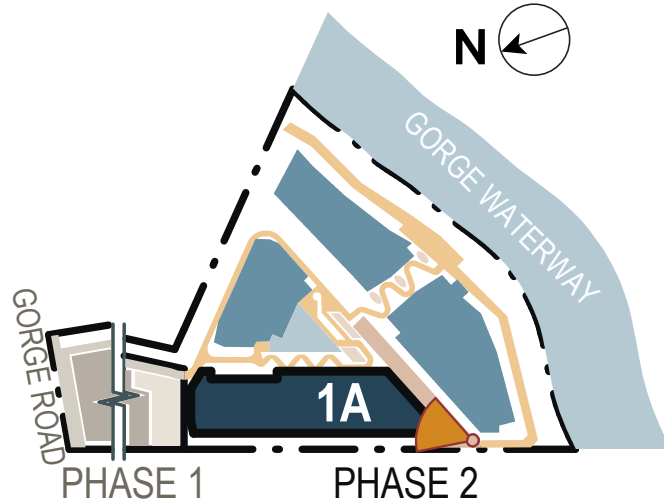
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Building 1A SW Corner View - Gorge's Waterway Plaza



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CONSULTANTS

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LAUREN MACAULEY

*Lauren Macauley*

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2024-11-28

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133-135 GORGE ROAD E, VICTORIA, BC

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SHEET TITLE

BUILDING 1A VIEW

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Building 1A SE Corner Detail View



Building 1A NE Corner Detail View



Building 1B East Facade Detail View

The material palette is based on the natural environment of the west coast. Warm wood tones give reference to the local cedar trees, which are contrasted against a deep blue used to reflect the Gorge Waterway.

Brick elements have been used as a nod to the rocky shores along the southern most property line and white and charcoal notes have been added to help frame and define the palette.



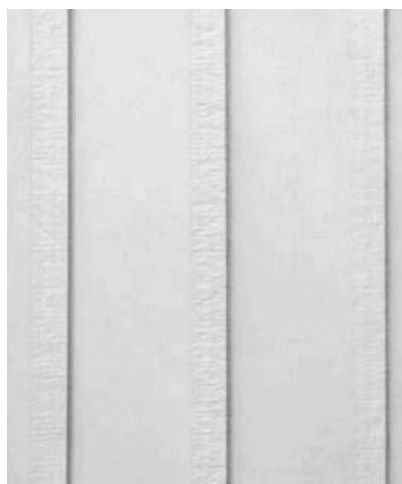
Building 1B East Facade Detail View



Building 1B East Facade Detail View



Building 1A East Facade Detail View



CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Arctic White



CEMENT BOARD SIDING PANEL

Product: Shingle  
Colour: Arctic White



CEMENT SIDING PANEL

Product: Vertical Siding  
Colour: Desert Beach



CEMENT BOARD SOFFIT PANEL

Product: Soffit Panel Cedarmill  
Colour: Desert Beach



CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Deep Ocean



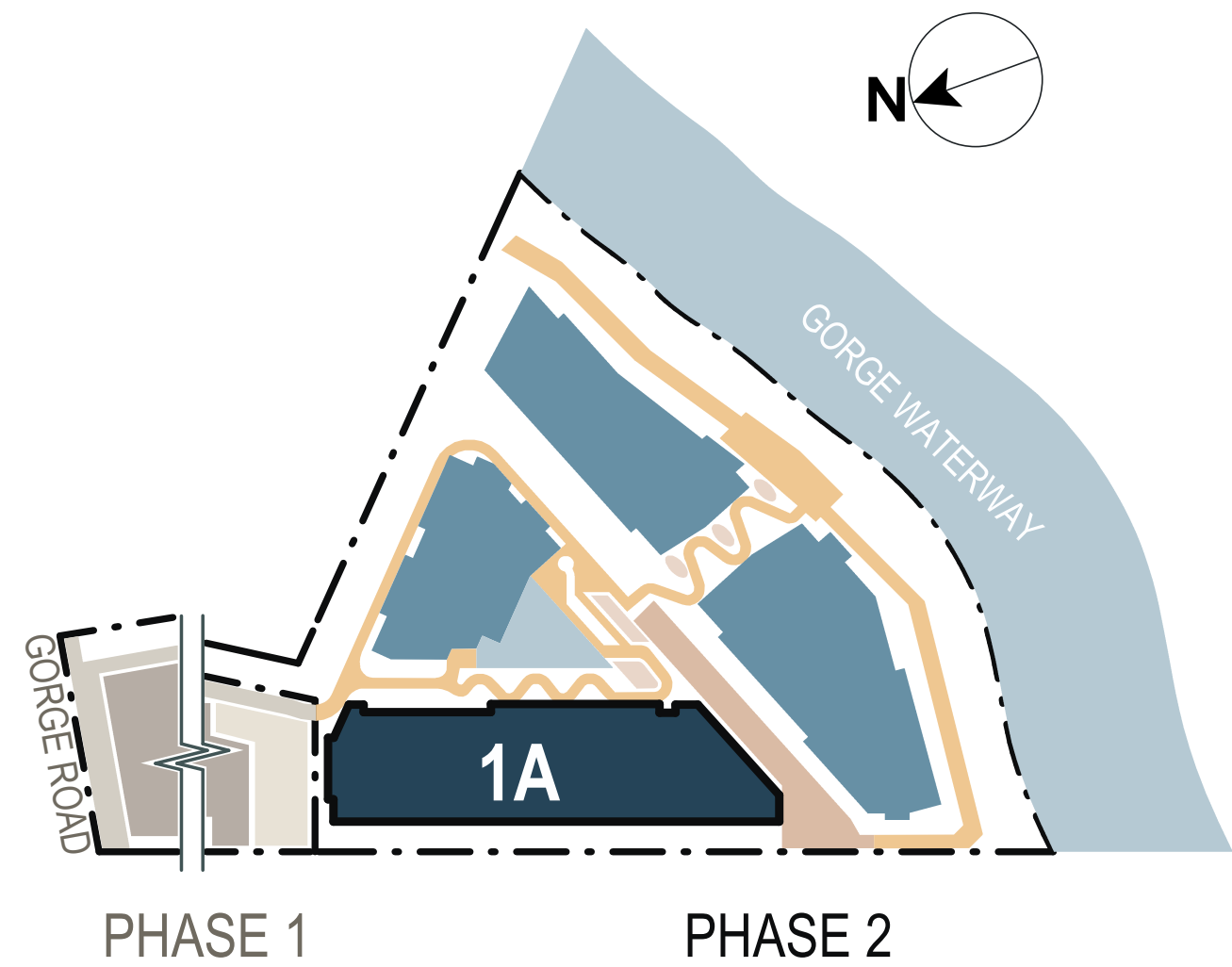
CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Midnight Black



BRICK

Product: Standard Brick  
Colour: Warm Grey



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SHEET TITLE  
**BUILDING 1A CLOSE-UP**

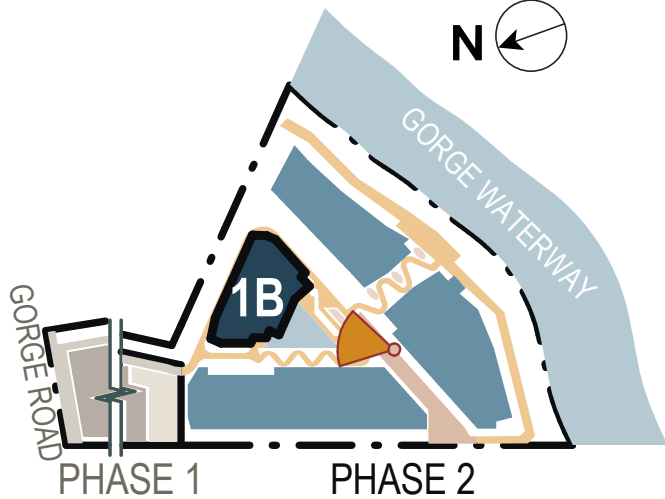
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Building 1B SW Facade - Gorge's Waterway Plaza



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SHEET TITLE

BUILDING 1B VIEW

SHEET NUMBER

DP0.06.03

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Building 1B SE Corner View

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CONSULTANTS

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REGISTERED ARCHITECT

LAUREN MACAULEY

*Laurel Macauley*

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2024-11-28

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BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

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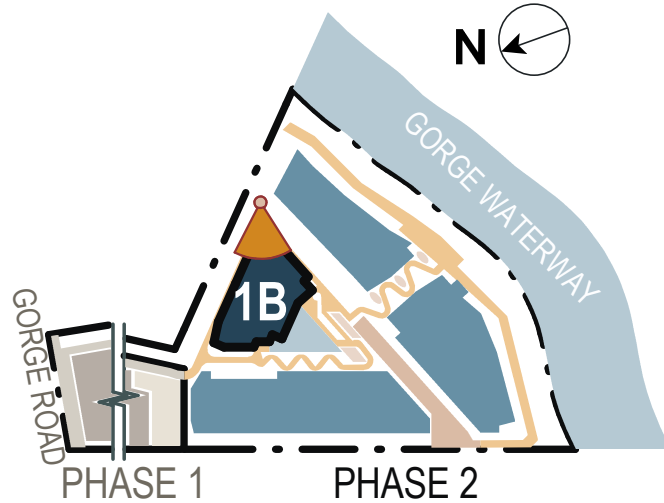
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BUILDING 1B VIEW

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Building 1B - Lobby Detail View



Building 1B - SW Facade Detail View



Building 1B - West Facade Detail View



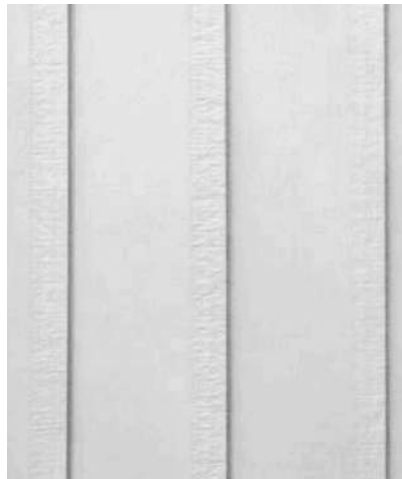
Building 1B - Lobby Detail View



Building 1B - SE Corner Detail View



Building 1B - East Facade Detail View



CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Arctic White



CEMENT BOARD SIDING PANEL

Product: Shingle  
Colour: Arctic White



CEMENT SIDING PANEL

Product: Vertical Siding  
Colour: Desert Beach



CEMENT BOARD SOFFIT PANEL

Product: Soffit Panel Cedarmill  
Colour: Desert Beach



CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Deep Ocean



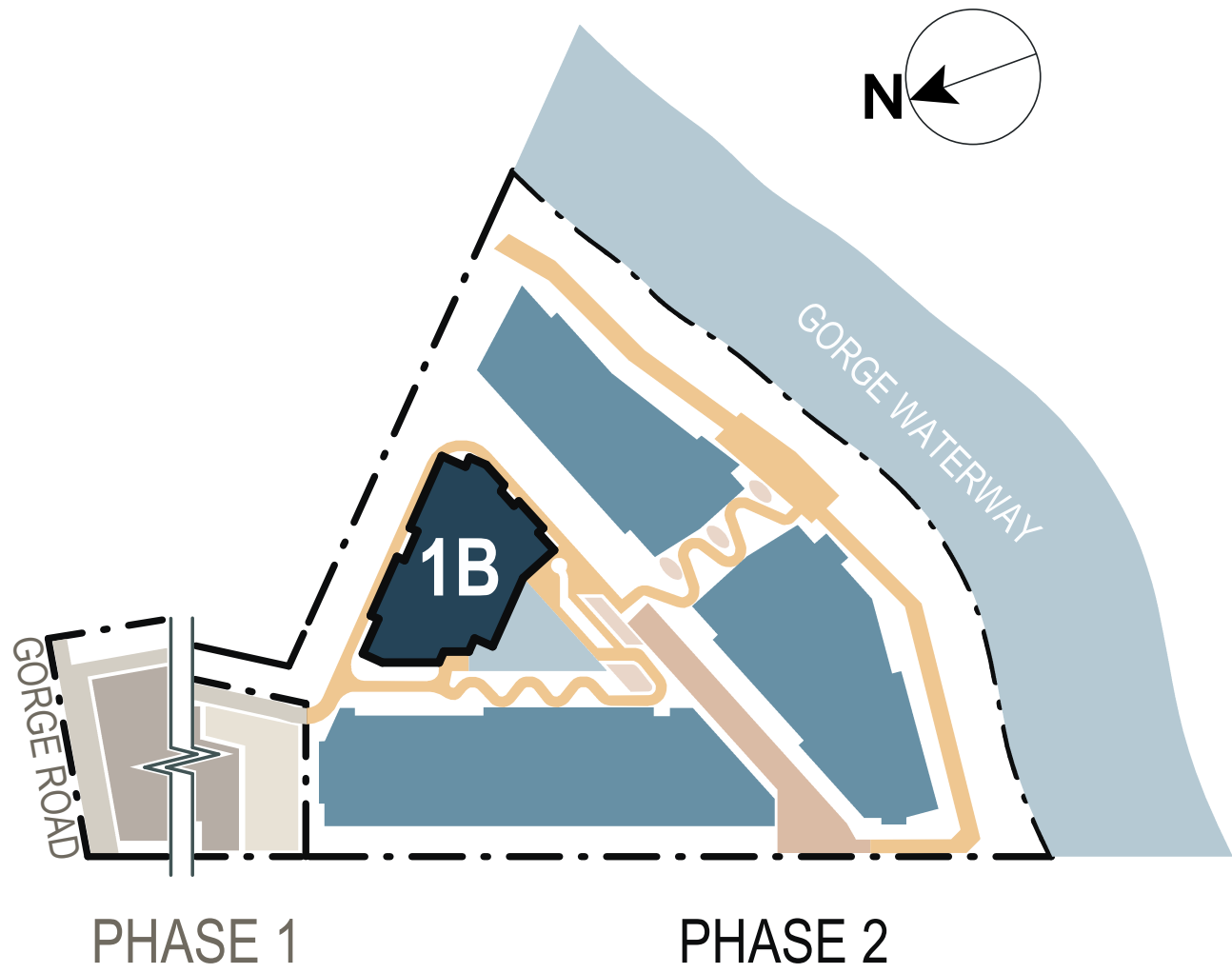
CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Midnight Black



BRICK

Product: Standard Brick  
Colour: Warm Grey



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PROJECT  
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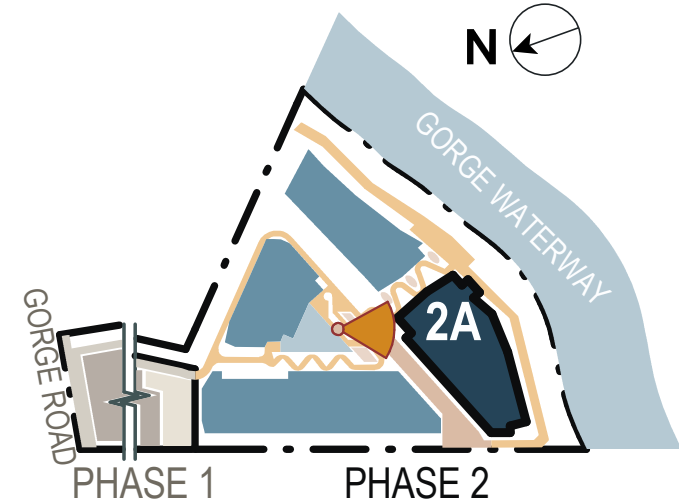
SHEET TITLE  
**BUILDING 1B CLOSE-UP**

SHEET NUMBER  
**DP0.06.05**  
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Building 2A NE Corner - Gorge's Waterway Plaza

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BURNSIDE PHASE II

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BUILDING 2A VIEW

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Building 2A South Facade - Waterfront Plaza

The intent was to make the waterfront buildings blend seamlessly with the natural shoreline by following the terrain's contours. By incorporating brick as a base, we provide these buildings with a sense of permanence and stability, blending well with the natural surroundings. Its earthy tones and textures complement the coastal landscape, creating a cohesive and timeless aesthetic that anchors the structure to its site.

Large windows and balconies offer views of the Gorge Waterway, while planters in roofs and native plantings enhance the connection to the environment. This design respects and enhances the shoreline's beauty, creating a unique living experience that celebrates the natural surroundings.

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REGISTERED ARCHITECT

LAUREN MACAULEY

*Lauren Macauley*

BRITISH COLUMBIA

2024-11-28

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133-135 GORGE ROAD E, VICTORIA, BC

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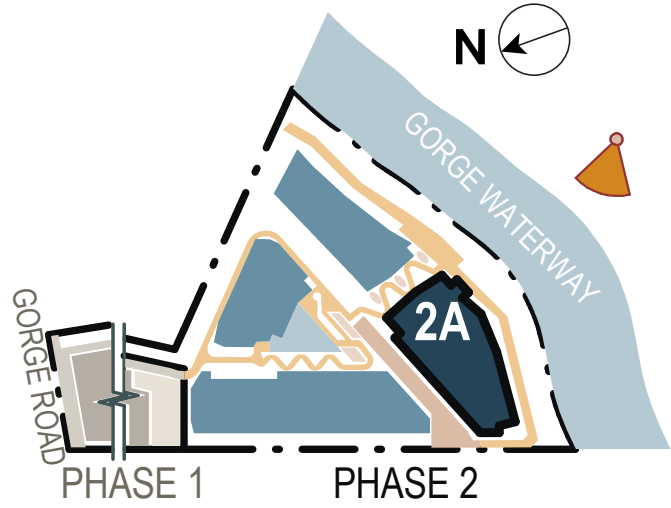
BUILDING 2A VIEW

SHEET NUMBER

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Building 2A - North Facade Detail View



Building 2A - North Facade Detail View



Building 2A - East Facade Detail View



Building 2A South Facade Detail



Building 2A - South Facade Detail View



Building 2A South Facade Detail View



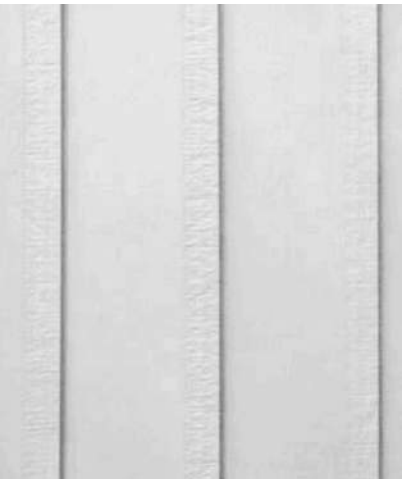
Building 2A South Facade Balconies + Soffit Detail



Building 2A South Facade Balcony Detail



Building 2A - Lobby Detail View



CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Arctic White



CEMENT BOARD SIDING PANEL

Product: Shingle  
Colour: Arctic White



CEMENT SIDING PANEL

Product: Vertical Siding  
Colour: Desert Beach



CEMENT BOARD SOFFIT PANEL

Product: Soffit Panel Cedarmill  
Colour: Desert Beach



CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Deep Ocean



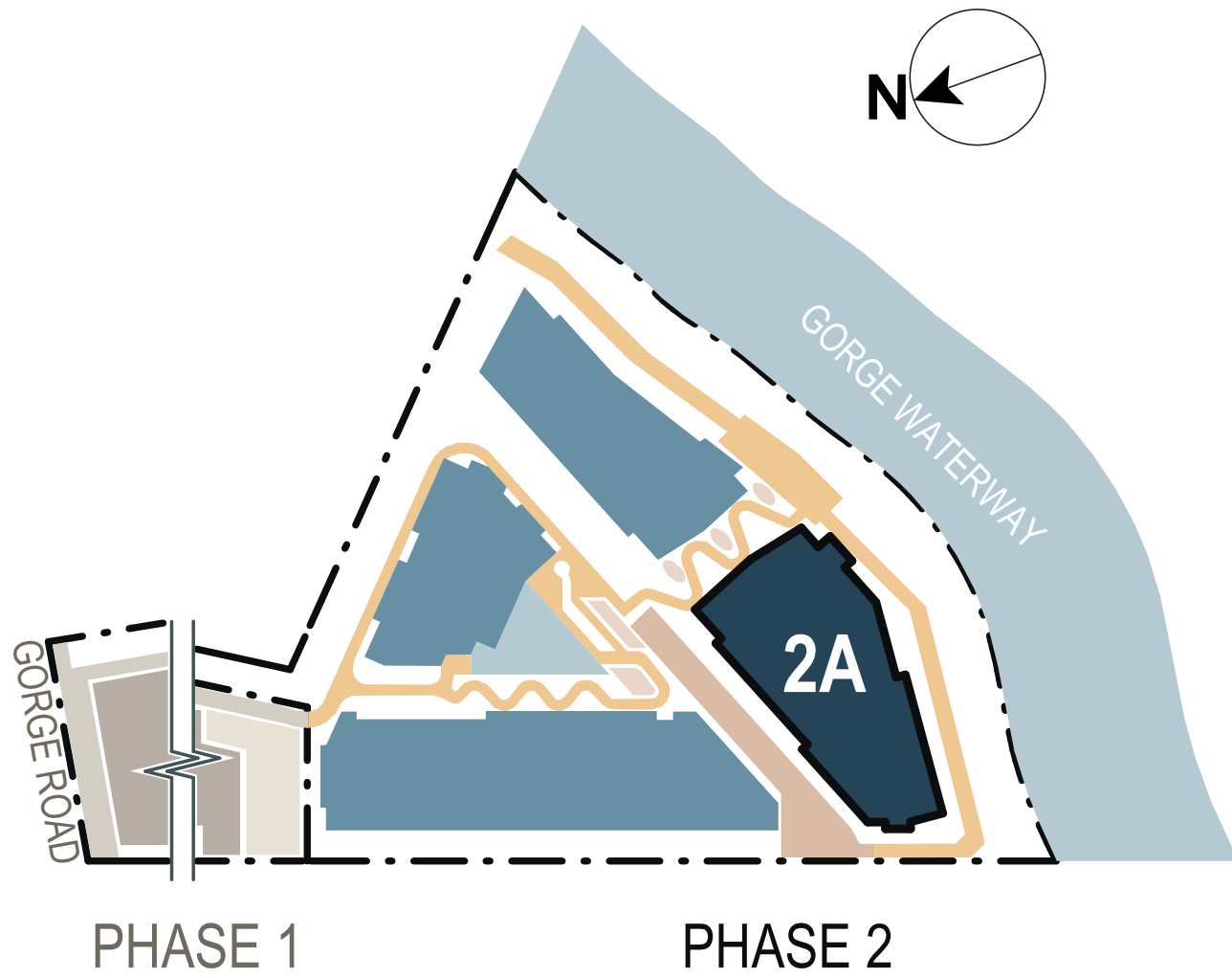
CEMENT BOARD SIDING PANEL

Product: Vertical Siding | Board & Batten  
Colour: Midnight Black



BRICK

Product: Standard Brick  
Colour: Warm Grey



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PROJECT  
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133-135 GORGE ROAD E, VICTORIA, BC

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SHEET TITLE  
**BUILDING 2A CLOSE-UP**

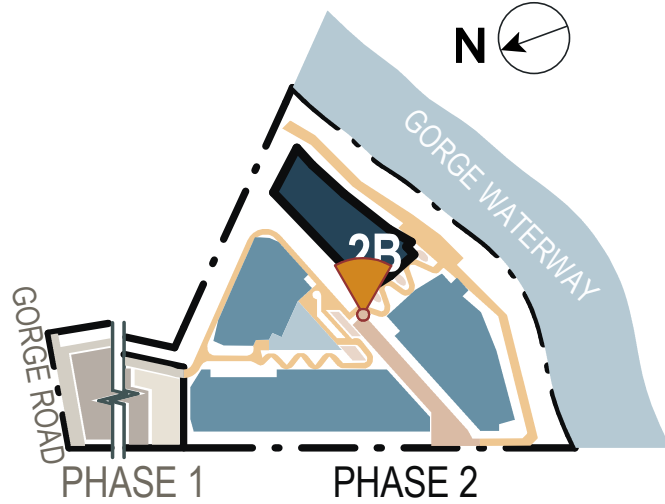
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Building 2B NW Corner - Gorge's Waterway Plaza



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BRITISH COLUMBIA

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BUILDING 2B VIEW

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Building 2B South Facade - Waterfront Plaza

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LAUREN MACAULEY

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Building 2B - North Facade Detail View



Building 2B - West Facade Detail View



Building 2B - Lobby Detail View



Building 2B - West Facade Detail View



Building 2B - South Facade Detail View



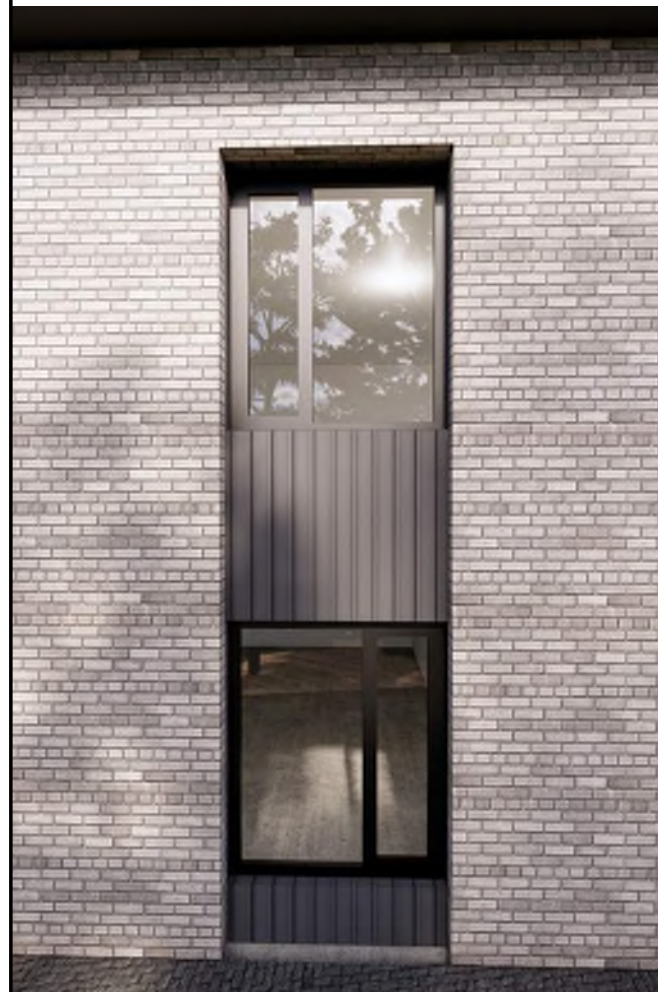
Building 2B - South Facade Detail View



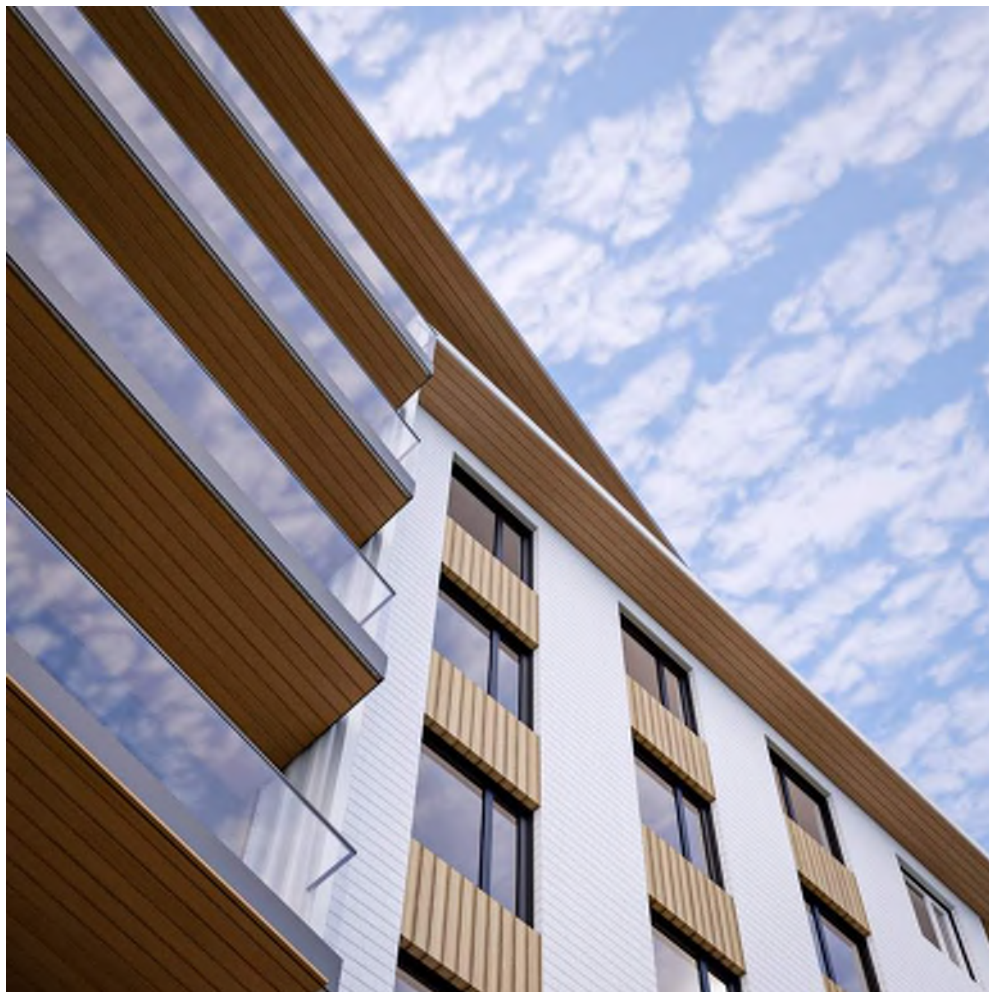
Building 2B - South Facade Detail View



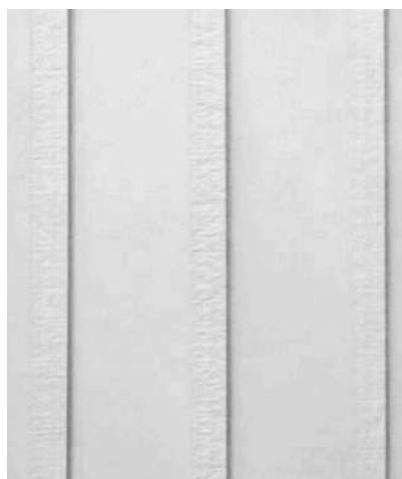
Building 2B - South Facade Detail View



Building 2B - South Facade Detail View



Building 2B - South Facade Detail View



**CEMENT BOARD SIDING PANEL**

**Product:** Vertical Siding | Board & Batten  
**Colour:** Arctic White



**CEMENT BOARD SIDING PANEL**

**Product:** Shingle  
**Colour:** Arctic White



**CEMENT SIDING PANEL**

**Product:** Vertical Siding  
**Colour:** Desert Beach



**CEMENT BOARD SOFFIT PANEL**

**Product:** Soffit Panel Cedarhill  
**Colour:** Desert Beach



**CEMENT BOARD SIDING PANEL**

**Product:** Vertical Siding | Board & Batten  
**Colour:** Deep Ocean



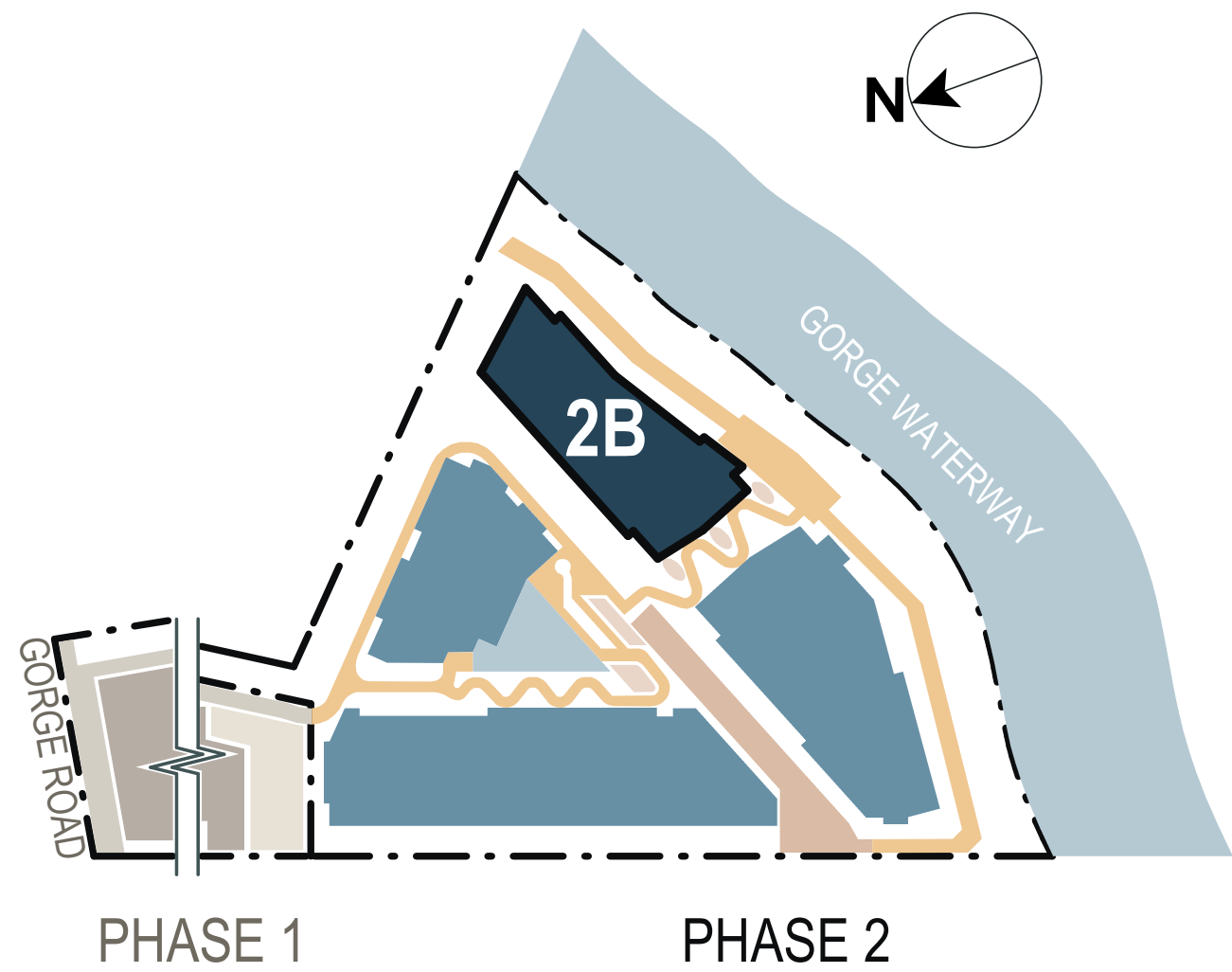
**CEMENT BOARD SIDING PANEL**

**Product:** Vertical Siding | Board & Batten  
**Colour:** Midnight Black



**BRICK**

**Product:** Standard Brick  
**Colour:** Warm Grey



CLIENT  
**INTRACORP HOMES**  
**INTRACORP**  
Building the Extraordinary  
Suite 600 Burrard Street  
Vancouver, Canada, V6C 2B5

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ISSUES		
No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

CONSULTANTS

SEAL



2024-11-28

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**ARCADIS**  
1353 Ellis Street - Suite 202  
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**PROJECT**  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

**PROJECT NO:** 138914  
**DRAWN BY:** ARCADIS  
**PROJECT MGR:** ARCADIS  
**CHECKED BY:** ARCADIS  
**APPROVED BY:** ARCADIS

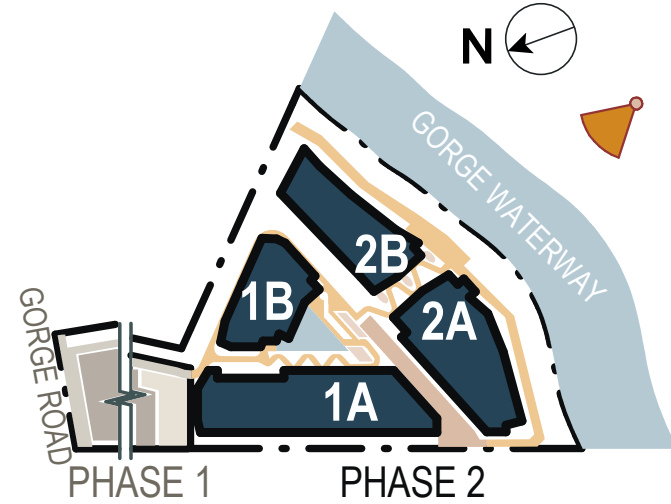
**SHEET TITLE**  
**BUILDING 2B CLOSE-UP**

**SHEET NUMBER** DP0.06.11  
**ISSUE** A





Overall Site View from the Gorge Waterway



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PROJECT  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO: 138914	
DRAWN BY: ARCADIS	CHECKED BY: ARCADIS
PROJECT MGR: ARCADIS	APPROVED BY: ARCADIS

SHEET TITLE  
**OVERALL AERIAL VIEW**

SHEET NUMBER <b>DP0.07.01</b>	ISSUE <b>A</b>
----------------------------------	-------------------



# RESPONSE TO DPA7A

## Urban Design Guidelines

City of Victoria - Design Guidelines for Multi-Unit Residential, Commercial and Industrial (2019)

2.0 Streetscape, Relationship to the Street and Orientation		
Drawing Ref No	Document Ref No	Description
01	2.1	New development should contribute to cohesion, visual identity and the quality of streetscapes, particularly when adjacent and nearby buildings are similar in scale, proportion, rhythm and pattern.
	02	2.1.1 New development should incorporate building elements that are complementary, such as street walls, façade rhythm and horizontal cornice lines
	03	2.1.2 New development is encouraged to add interest to the streetscape through variations in building height, rooflines and massing
04	2.2	New development should avoid long unvaried stretches of frontages in ways that include, but are not limited to:
	2.2.1	Massing that gives the impression of small blocks
05	2.3	New development is encouraged to have a strong relationship to the street, particularly when public uses are allowed along street level
06	2.3.1	Buildings should be oriented towards public streets, walkways and amenities (Parks, harbour and coastline, etc.)
09	2.3.3	Where possible, buildings should frame public streets and open spaces to create a sense of enclosure, street vitality and safety.
12	2.3.4	Building facades should be modulated at grade level to enable street activity such as browsing, outdoor cafes and street entertainment, as well as to enable placement of seating where appropriate.
05	2.3.5	Visual and physical connections between the public street and buildings should be developed (e.g. patios and spill-out activity, views to and from interior spaces, awnings and canopies).
19	2.4	Residential use at street level should have strong entry features and building designs that encourage interaction with the street.
	2.4.1	Individual entrances with direct connections to the public sidewalk are encouraged.
17	2.6	Buildings should be located to address privacy impacts of adjacent residential uses and private open spaces.

3.0 Human Scale, Massing, Height and Architectural Features		
Drawing Ref No	Document Ref No	Description
07	3.1	Larger and longer buildings should be visually broken into human-scaled proportions. This could be achieved in a number of ways, including breaks in form, projections, balconies, bay windows, surface treatments, and building articulation.
	3.1.1	Building bases should be well-designed and articulated, especially along facades that are adjacent to a street
	14	3.1.2 Large, blank windowless and featureless walls that are visible from the public realm are strongly discouraged
15	3.1.3	Building facades should be designed so that entrances for pedestrians are legible and prominent, and that vehicular entrances and doors are subordinated features.
13	3.3	Perceived building mass should be mitigated through the use of architectural elements, visually interesting rooflines, stepping back of upper floors, detailing that creates rhythm and visual interest, or other design solutions.
03	3.3.2	Roof forms should complement the character of the buildings in the immediate context
10	3.3.3	The visual impact and perceived massing of any enclosed elevator shafts and other mechanical equipment should be reduced with architectural treatments
07	3.6	Porches, steps, alcoves or other design features are encouraged to make transitions from the public realm of the street and sidewalk, to the private realm of residences.
12	3.7	The use of building elements such as raised terraces, forecourts or landscaping should be considered to enhance residential entrances.

4.0 Exterior Finishes		
Drawing Ref No	Document Ref No	Description
16	4.1	Exterior building materials should be high quality, durable and capable of weathering gracefully
	4.1.1	Higher quality materials used on the principal façade should be continued around any building corner or edge which is visible from the public realm.
18	4.2	Rich and varied architectural materials are encouraged to enhance and articulate street frontages.
17	4.4	The exposed undersides of balconies and porches that are visible from a street or public walkway should be clad with exterior materials that result in a finished appearance and which complement the palette of exterior materials used on the rest of the building.

5.0 Open Spaces and Landscaping		
Drawing Ref No	Document Ref No	Description
09	5.1	Open space should be usable, attractive, and well-integrated with the design of the building.
	5.2	Public and semi-public spaces should be distinguished from private spaces through design elements, including, but not limited to:
12	5.2.2	Changes in paving or grading
13	5.2.3	Architectural Features
05	5.2.4	Changes in landscape, raised planters or other landscaping features
08	5.5	Landscape design should preserve existing native vegetation where possible.
20	5.7	Landscape should be designed to allow clear, unobstructed views of surrounding areas through the placement of living features and other elements.
10	5.10	Consideration should be given to the inclusion of private open space in residential developments in the form of courtyards, recessed balconies, terraced balconies or rooftop gardens.

7.0 Universal Accessible Design and Safety		
Drawing Ref No	Document Ref No	Description
11	7.1	A high standard of accessibility in site, building and landscape design is encouraged to address the needs of all users, including people who have disabilities.
	12	7.1.1 Disabled access should be appropriately designed and clearly visible from the main entrance, not relegated to a secondary building frontage for the sake of architectural convenience.
09	7.1.2	When provided, access ramps and related elements should be visually integrated with the overall building design and site plan so as to not appear disjointed from the building façade
10	7.1.3	Smooth Routes should be provided. Vertical disruptions along pedestrian routes should be avoided for ease of use by people with wheeled mobility devices, strollers and bicycles.
20	7.1.4	Landscaping should be accessible for people with varying levels of ability and mobility.
09	7.2	The following factors should be taken into account to design environment s that people feel safe to use:
01	7.2.1	Visibility by others (design for seeing and being seen)
02	7.2.4	Sightlines (Ability to see route ahead and open spaces form buildings)
05	7.2.5	Activity generators (Design places for uses that attract people and that provide opportunities for casual surveillance)
17	7.3	New development should be design to maximize opportunities for casual surveillance and 'eyes on the street' through placement of windows, balconies and street-level uses.
03	7.3.1	Blank, windowless walls should be avoided, which do not permit occupants to observe the street in the course of everyday activities.
01	7.3.2	Window features with transparent glazing should be placed to overlook streets, pathways, open spaces and parking areas to increase neighbourhood security.



CLIENT

INTRACORP HOMES

INTRACORP

Building the Extraordinary

Suite 600 Burrard Street

Vancouver, Canada, V6C 2B5

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Arcadis Architects (Canada) Inc.

formerly IBI Group Architects (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

CONSULTANTS

SEAL

REGISTERED ARCHITECT

LAUREN MACAULEY

ARCADIS

2024-11-28

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PROJECT

BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:

138914

DRAWN BY:

ARCADIS

PROJECT MGR:

ARCADIS

CHECKED BY:

ARCADIS

APPROVED BY:

ARCADIS

SHEET TITLE

CITY OF VICTORIA DESIGN GUIDELINES

SHEET NUMBER

DP0.08.01

ISSUE

A



BURNSIDE - PHASE 2 BUILDING 1 + 2

November 28, 2024

PROJECT DESCRIPTION

PROJECT NAME	BURNSIDE GORGE - PHASE 2
PROJECT ADDRESS	135 GORGE ROAD E.
PID	002-608-421
CURRENT ZONING	T1
PROPOSED ZONING	CD
ALLOWABLE FSR	2.00
PROPOSED FSR	2.00

SITE AREA

PHASE 2 SITE AREA AND FSR	AREA Ha	AREA ft²	AREA m²
SITE AREA - PHASE 2	1.249	134,409	12,487
ALLOWABLE FSR	2.00	2.00	2.00
TOTAL ALLOWABLE FSR		268,818	24,974

INTERNAL SITE BREAKDOWN	AREA Ha	AREA ft²	AREA m²
PHASE 2 - B1A+1B	0.620	66,787	6,205
PHASE 2 - B2A + 2B	0.628	67,622	6,282
TOTAL PARCEL AREA	1.249	134,409	12,487

SITE COVERAGE + OPEN SPACE

SITE COVERAGE	46 %	OPEN SPACE	37.10 %
TOTAL PHASE 2 SITE COVERAGE	61,983.06 ft²	TOTAL PHASE 2 OPEN SPACE	49,862.53 ft²
	5,758.41 m²		4,632.38 m²

HEIGHT

	HEIGHT IN m ALLOWABLE	HEIGHT IN m PROPOSED	HEIGHT IN ft PROPOSED	No. OF STOREYS
BUILDING 1A	22 m	20.4m	66' - 11 1/8"	6
BUILDING 1B	22 m	21.3m	69' - 9 3/8"	6
BUILDING 2A	22 m	20.6m	67' - 8 1/4"	6
BUILDING 2B	22 m	20.7m	67' - 11"	6

SETBACKS

DESCRIPTION	REQUIRED DIST. in m	DISTANCES PROVIDED	
		DIST. in m	DIST. in ft
PHASE 2 - NORTH PL	5m	5m	16' - 4 7/8"
PHASE 2 - EAST PL	6m	10m	32' - 9 3/4"
PHASE 2 - SOUTH PL (RIPARIAN SRV)	15m	15m	49' - 2 1/2"
PHASE 2 - WEST PL	6m	6m	19' - 8 1/4"

Unit Location	Total Area (ft²)	Average Area (ft²)	Count by Level						Total Count	% of Type Mix	% of Total Mix
01	02	03	04	05	06						
Jr 1 Bed											
B1a	15,514	443	0	7	7	7	7	7	35	66%	11%
B1b	6,717	448	0	3	3	3	3	3	15	28%	5%
B2a	1,482	494	0	0	0	1	1	1	3	6%	1%
B2b	0	0	0	0	0	0	0	0	0	0%	0%
	23,712	447	0	10	10	11	11	11	53		16%

1 Bed											
B1a	3,101	443	1	2	1	1	1	1	7	13%	2%
B1b	9,678	509	0	3	4	4	4	4	19	36%	6%
B2a	3,069	512	1	1	1	1	1	1	6	11%	2%
B2b	9,243	486	1	2	4	4	4	4	19	36%	6%
	25,091	492	3	8	10	10	10	10	51		16%

Jr 2 Bed											
B1a	35,733	596	0	12	12	12	12	12	60	58%	18%
B1b	2,888	574	0	1	1	1	1	1	5	5%	2%
B2a	17,053	588	0	5	6	6	6	6	29	28%	9%
B2b	5,386	539	1	1	2	2	2	2	10	10%	3%
	61,039	587	1	19	21	21	21	21	104		32%

2 Bed											
B1a	16,776	671	1	4	5	5	5	5	25	26%	8%
B1b	13,395	670	0	4	4	4	4	4	20	21%	6%
B2a	20,598	792	3	4	4	5	5	5	26	27%	8%
B2b	18,950	758	3	3	4	5	5	5	25	26%	8%
	69,718	726	7	15	17	19	19	19	96		30%

3 Bed											
B1a	0	0	0	0	0	0	0	0	0	0%	0%
B1b	0	0	0	0	0	0	0	0	0	0%	0%
B2a	11,448	1,041	1	2	2	2	2	2	11	11%	3%
B2b	9,276	928	0	2	2	2	2	2	10	48%	3%
	20,724	987	1	4	4	4	4	4	21		6%

Total	200,284	616	12	56	62	65	65	65	325		100%
-------	---------	-----	----	----	----	----	----	----	-----	--	------

B1a	71,123	127
B1b	32,657	59
B2a	53,649	75
B2b	42,854	64
Total	200,284	325

UNITS BY BUILDING AND LEVEL

LEVEL	JR 1 BED	1 BED	JR 2 BED	2 BED	3 BED	TOTAL	AREA ft²	AREA m²
B1a								
B01 - LEVEL 06	7	1	12	5	0	25	14,020 ft²	1,303 m²
B01 - LEVEL 05	7	1	12	5	0	25	14,020 ft²	1,303 m²
B01 - LEVEL 04	7	1	12	5	0	25	14,020 ft²	1,303 m²
B01 - LEVEL 03	7	1	12	5	0	25	14,020 ft²	1,303 m²
B01 - LEVEL 02	7	2	12	4	0	25	13,936 ft²	1,295 m²
B01 - LEVEL 01	0	1	0	1	0	2	1,106 ft²	103 m²
B1b								
B01 - LEVEL 06	3	4	1	4	0	12	6,637 ft²	617 m²
B01 - LEVEL 05	3	4	1	4	0	12	6,637 ft²	617 m²
B01 - LEVEL 04	3	4	1	4	0	12	6,637 ft²	617 m²
B01 - LEVEL 03	3	4	1	4	0	12	6,637 ft²	617 m²
B01 - LEVEL 02	3	3	1	4	0	11	6,111 ft²	568 m²
	50	26	65	45	0	186	103,781 ft²	9,642 m²
B2a								
B02 - LEVEL 06	1	1	6	5	2	15	10,664 ft²	991 m²
B02 - LEVEL 05	1	1	6	5	2	15	10,664 ft²	991 m²
B02 - LEVEL 04	1	1	6	5	2	15	10,664 ft²	991 m²
B02 - LEVEL 03	0	1	6	4	2	13	9,482 ft²	881 m²
B02 - LEVEL 02	0	1	5	4	2	12	8,696 ft²	808 m²
B02 - LEVEL 01	0	1	0	3	1	5	3,480 ft²	323 m²
B2b								
B02 - LEVEL 06	0	4	2	5	2	13	8,702 ft²	808 m²
B02 - LEVEL 05	0	4	2	5	2	13	8,702 ft²	808 m²
B02 - LEVEL 04	0	4	2	5	2	13	8,702 ft²	808 m²
B02 - LEVEL 03	0	4	2	4	2	12	8,003 ft²	743 m²
B02 - LEVEL 02	0	2	1	3	2	8	5,817 ft²	540 m²
B02 - LEVEL 01	0	1	1	3	0	5	2,927 ft²	272 m²
	3	25	39	51	21	139	96,503 ft²	8,965 m²
	53	51	104	96	21	325	200,284 ft²	18,607 m²

GROSS BUILDING AREA

LEVEL	LOCATION	AREA ft²	AREA m²
B01 - LEVEL P2 PARKADE			
		3,586 ft²	333 m²
B01 - LEVEL P1 PARKADE			
		41,088 ft²	3,817 m²
B01 - LEVEL 01 B1 + PARKADE			
		32,502 ft²	3,020 m²
B1			
		77,176 ft²	7,170 m²
B01 - LEVEL 06 B1a SOUTH			
		12,544 ft²	1,165 m²
B01 - LEVEL 06 B1a NORTH			
		4,335 ft²	403 m²
B01 - LEVEL 05 B1a SOUTH			
		12,544 ft²	1,165 m²
B01 - LEVEL 05 B1a NORTH			
		4,335 ft²	403 m²
B01 - LEVEL 04 B1a SOUTH			
		12,544 ft²	1,165 m²
B01 - LEVEL 04 B1a NORTH			
		4,335 ft²	403 m²
B01 - LEVEL 03 B1a SOUTH			
		12,544 ft²	1,165 m²
B01 - LEVEL 03 B1a NORTH			
		4,335 ft²	403 m²
B01 - LEVEL 02 B1a SOUTH			
		12,544 ft²	1,165 m²
B01 - LEVEL 02 B1a NORTH			
		4,335 ft²	403 m²
B1a			
		84,391 ft²	7,840 m²

B01 - LEVEL 06	B1b	8,408 ft²	781 m²
B01 - LEVEL 05	B1b	8,408 ft²	781 m²
B01 - LEVEL 04	B1b	8,408 ft²	781 m²
B01 - LEVEL 03	B1b	8,408 ft²	781 m²
B01 - LEVEL 02	B1b	8,408 ft²	781 m²
B1b		42,041 ft²	3,906 m²
B1		203,608 ft²	18,916 m²

B02 - LEVEL P1	PARKADE	31,678 ft²	2,943 m²
B02 - LEVEL 01 PARKADE + B2			
		29,886 ft²	2,777 m²
B2			
		61,564 ft²	5,720 m²

B02 - LEVEL 06	B2a	13,500 ft²	1,254 m²
B02 - LEVEL 05	B2a	13,500 ft²	1,254 m²
B02 - LEVEL 04	B2a	13,500 ft²	1,254 m²
B02 - LEVEL 03	B2a	13,550 ft²	1,259 m²
B02 - LEVEL 02	B2a	13,292 ft²	1,235 m²
B2a			
		67,341 ft²	6,256 m²

B02 - LEVEL 06	B2b	10,914 ft²	1,014 m²
B02 - LEVEL 05	B2b	10,914 ft²	1,014 m²
B02 - LEVEL 04	B2b	10,914 ft²	1,014 m²
B02 - LEVEL 03	B2b	10,882 ft²	1,011 m²
B02 - LEVEL 02	B2b	8,644 ft²	803 m²
B2b		52,267 ft²	4,856 m²
B2		181,172 ft²	16,831 m²

CLIENT

INTRACORP HOMES

INTRACORP

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ISSUES

No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

CONSULTANTS

SEAL



2024-11-28

Arcadis Architects (Canada) Inc.

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tel 250 900 4520  
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PROJECT

BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:

138914

DRAWN BY:

ARCADIS

CHECKED BY:

ARCADIS

PROJECT MGR:

ARCADIS

APPROVED BY:

ARCADIS

SHEET TITLE

PROJECT INFORMATION + STATISTICS

SHEET NUMBER

DP0.10.0

ISSUE

A



PARKING COUNT

TYPE OF PARKING	BYLAW REQUIREMENT			CLIENT REQUIREMENT			
	RULE	BUILDING STATS	REQUIRED PARKING	RULE	BUILDING STATS	REQUIRED PARKING	
RESIDENTIAL	0.75 PER UNIT < 45 m	UNIT COUNT 67	51	0.50 PER UNIT	UNIT COUNT	163	
	0.9 PER UNIT ≥ 45 m² BUT ≤ 70 m²	188	170				
	1.3 PER UNIT ≥ 70 m²	70	91				
COMMERCIAL RETAIL	1 SPACES PER 37.5 m² OF GROSS FLOOR AREA	AREA ft² 0                      m² 0	0	SAME AS BYLAW		0	
VISITOR PARKING	0.1 PER UNIT	UNIT COUNT 325	33	SAME AS BYLAW		33	
TOTAL REQUIRED BY BYLAW			345	TOTAL REQUIRED BY CLIENT			196
TOTAL PROVIDED (INCL. ACCESSIBLE)			265	RES RATIO PROVIDED/UNIT			0.71
				DIFFERENCE			69

BIKE COUNT

TYPE OF BIKE PARKING	BYLAW REQUIREMENT	BUILDING STATS	CITY REQUIRED	
RESIDENTIAL	LONG TERM: 1 PER UNIT > 45 m² AND 1.25 PER UNIT < 70 m²	< 45 m²	LONG TERM	SHORT TERM
	SHORT TERM: GREAT OF 6 PER BUILDING OR 0.1 PER UNIT	67      258	390	33
COMMERCIAL	LONG TERM CLASS A: 1 PER 200 m²	ft²	LONG TERM	SHORT TERM
	SHORT TERM CLASS B: 1 PER 200 m²	0      0	0	0
TOTAL REQUIRED	SHORT TERM	33	PROVIDED BY TYPE	
	LONG TERM	390		
PROVIDED	SHORT TERM	36	LTG	STG
	LONG TERM	398	LTC	STG
		SURPLUS   (DEFICIENCY)	198	40
			160	36

VEHICLE PARKING STALLS PROVIDED - BY LEVEL

LEVEL	STALL TYPE	TOTAL
B1		
B01 - LEVEL 01	RESIDENTIAL	54
		54
B01 - LEVEL P1	RESIDENTIAL	69
B01 - LEVEL P1	RESIDENTIAL - ACCESSIBLE	4
B01 - LEVEL P1	RESIDENTIAL - ACCESSIBLE VAN	2
B01 - LEVEL P1	VISITOR	19
B01 - LEVEL P1	VISITOR - ACCESSIBLE VAN	1
		95
B01 - LEVEL P2	RESIDENTIAL	7
B01 - LEVEL P2	RESIDENTIAL - ACCESSIBLE	2
		9
		158
B2		
B02 - LEVEL 01	RESIDENTIAL	23
B02 - LEVEL 01	RESIDENTIAL - ACCESSIBLE	4
B02 - LEVEL 01	VISITOR	14
B02 - LEVEL 01	VISITOR - ACCESSIBLE VAN	1
		42
B02 - LEVEL P1	RESIDENTIAL	60
B02 - LEVEL P1	RESIDENTIAL - ACCESSIBLE	3
B02 - LEVEL P1	RESIDENTIAL - ACCESSIBLE VAN	2
		65
		107
TOTAL		265

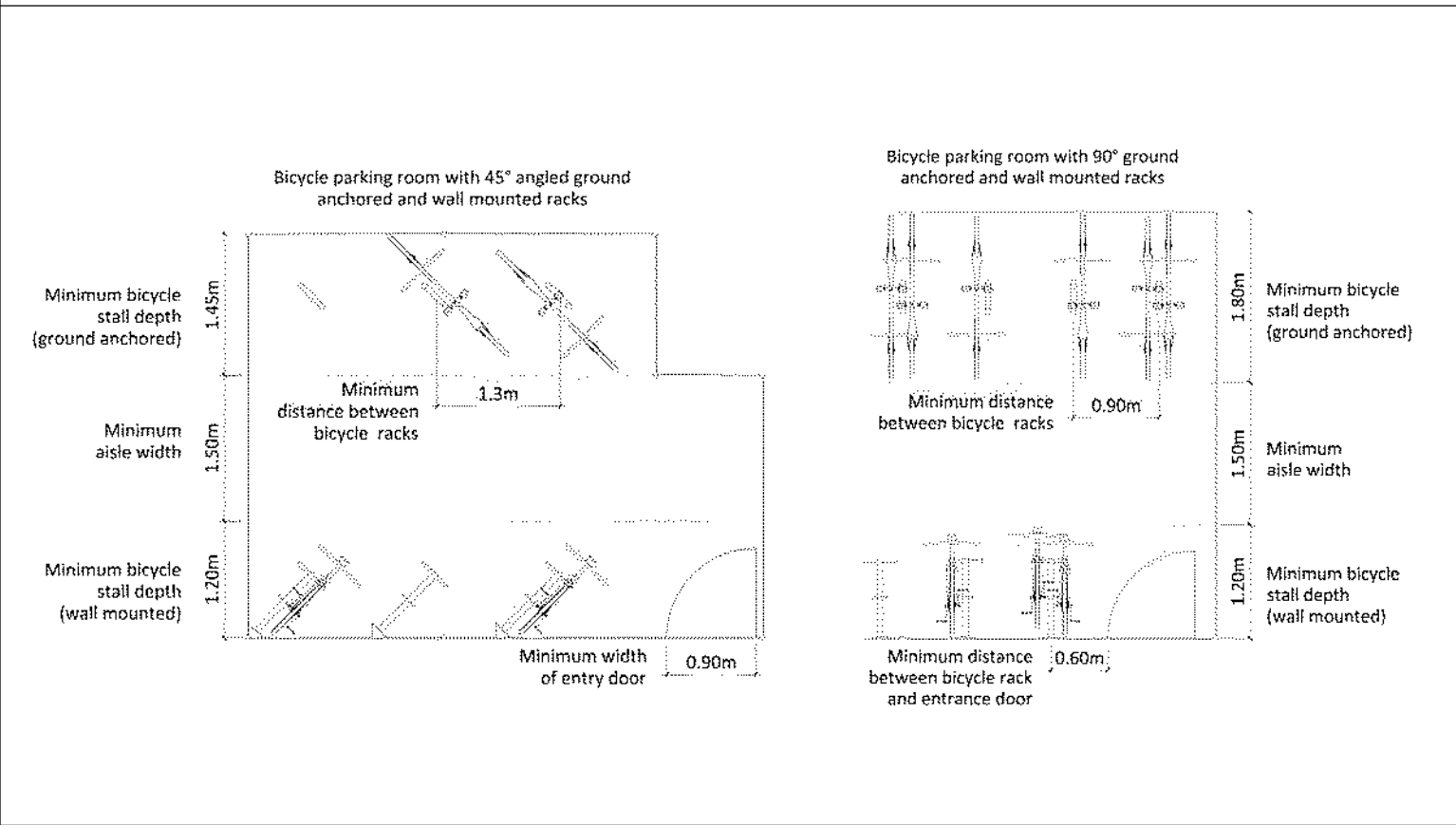
VEHICLE PARKING STALLS PROVIDED - BY TYPE

STALL TYPE	TOTAL
B1	
RESIDENTIAL	130
RESIDENTIAL - ACCESSIBLE	6
RESIDENTIAL - ACCESSIBLE VAN	2
VISITOR	19
VISITOR - ACCESSIBLE VAN	1
	158
B2	
RESIDENTIAL	83
RESIDENTIAL - ACCESSIBLE	7
RESIDENTIAL - ACCESSIBLE VAN	2
VISITOR	14
VISITOR - ACCESSIBLE VAN	1
	107
TOTAL	265

BICYCLE PARKING STALLS PROVIDED

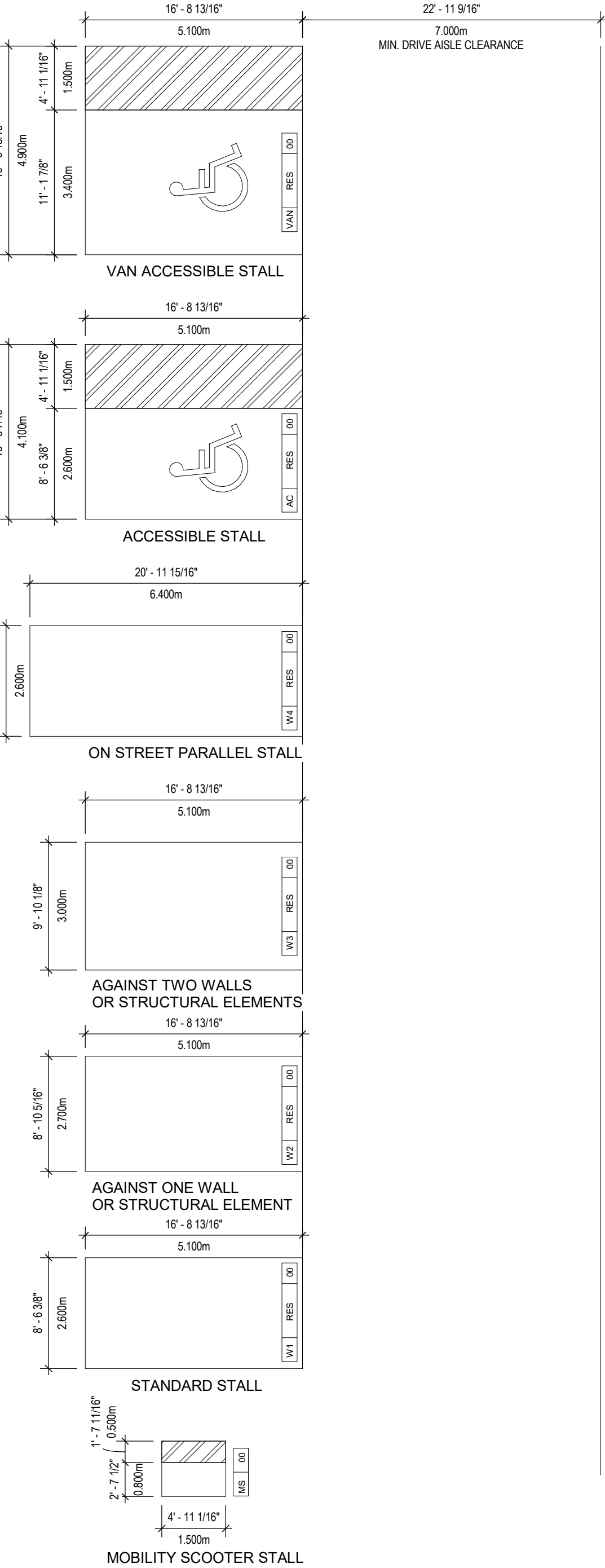
LEVEL	PARKING TYPE	STALL TYPE	TOTAL	% MIX
B1				
B01 - LEVEL P1	CLASS A	LONG TERM WALL ANCHORED	44	11%
B01 - LEVEL P1	CLASS A	LONG TERM GROUND ANCHORED	58	15%
B01 - LEVEL P1	CLASS A	LONG TERM CARGO GROUND ANCHORED	2	1%
			104	
B2				
B02 - LEVEL P1	CLASS A	LONG TERM WALL ANCHORED	116	29%
B02 - LEVEL P1	CLASS A	LONG TERM GROUND ANCHORED	140	35%
B02 - LEVEL P1	CLASS A	LONG TERM CARGO GROUND ANCHORED	38	10%
			294	
TOTAL			398	

VICTORIA ZONING BYLAW DIAGRAMS



PARKING LEGEND

STALL SIZING AND REQUIREMENTS PER CITY OF VICTORIA ZONING BYLAW NO. 80-159 - SCHEDULE C



NOTE: ALL BELOW GRADE PARKING STALLS WILL PROVIDE AN ENERGIZED E.V. OUTLET

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INTRACORP HOMES

INTRACORP

Building the Extraordinary

Suite 600 Burrard Street

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No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

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2024-11-28

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1353 Ellis Street - Suite 202

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tel 250 900 4520

www.arcadis.com

PROJECT

BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:

138914

DRAWN BY:	CHECKED BY:
ARCADIS	ARCADIS
PROJECT MGR:	APPROVED BY:
ARCADIS	ARCADIS

SHEET TITLE

PROJECT INFORMATION + STATISTICS

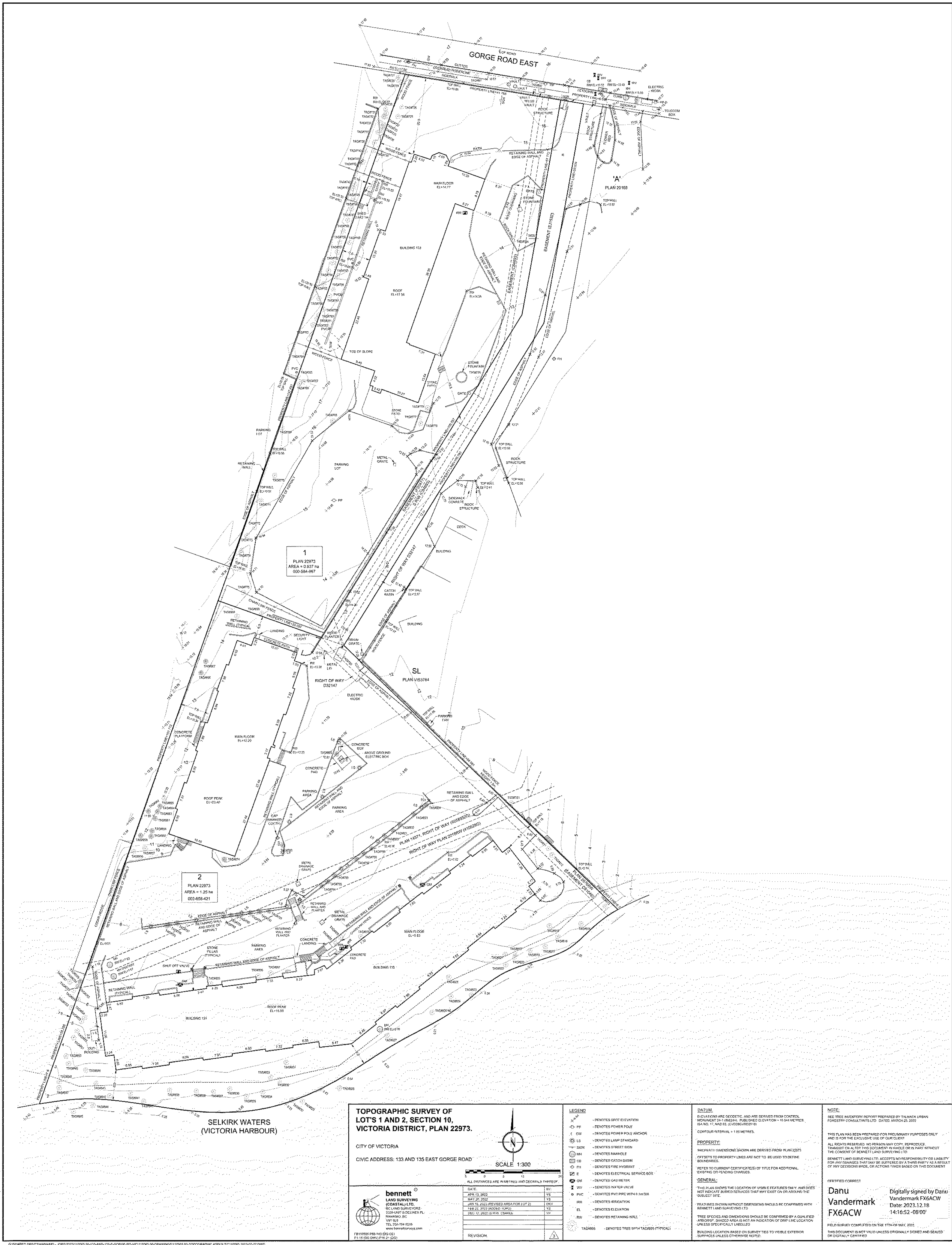
SHEET NUMBER

DP0.10.00

ISSUE

A





**NOTE:**  
SURVEY PLAN REDUCED FROM FULL  
SIZE TO FIT THIS PAGE.  
REFER TO SURVEY PLAN FROM  
BENNETT LAND SURVEYING FOR  
SCALED DRAWING.

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**INTRACORP**  
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PROJECT  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:  
138914  
DRAWN BY:  
**ARCADIS**  
CHECKED BY:  
**ARCADIS**  
PROJECT MGR:  
**ARCADIS**  
APPROVED BY:  
**ARCADIS**

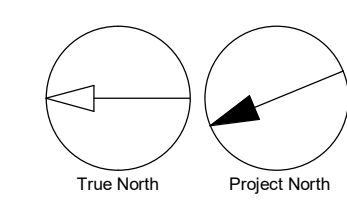
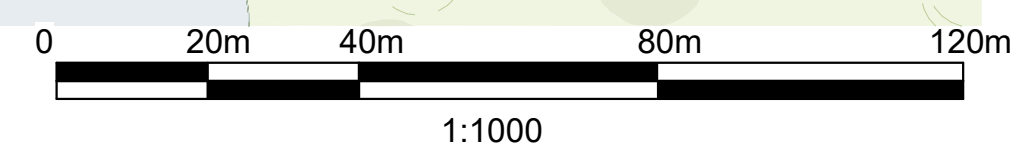
SHEET TITLE  
**SITE SURVEY**

SHEET NUMBER  
**DP0.10.01**  
ISSUE  
**A**





1 OVERALL CONTEXT PLAN  
DP0.10.02 SCALE: 1 : 1000



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No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

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www.arcadis.com

**PROJECT**  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO: 138914	
DRAWN BY: ARCADIS	CHECKED BY: ARCADIS
PROJECT MGR: ARCADIS	APPROVED BY: ARCADIS

SHEET TITLE  
**CONTEXT PLAN**

SHEET NUMBER <b>DP0.10.02</b>	ISSUE <b>A</b>
----------------------------------	-------------------

2024-11-28 1:56:46 PM

Autodesk Docs/138914-135E-GorgeRd\_R2022/138914\_GorgeRoad-PH\_1-Podium-R2022.rvt 1/1m



LEGEND			
	PROPERTY LINE		COMMERCIAL PATIO
	SETBACK LINE		ROADWAY
	EASEMENT LINE		TREE
	ELEVATION IN m		SHRUB
	DRAWING MATCHLINE		POWER POLE
	HARDSCAPE		TREES FOR REMOVAL
	SOFTSCAPE		VISIBILITY TRIANGLE
	PATIO		

- NOTES
- SIGNAGE TO BE LOCATED ON ELEVATIONS.
  - FOR UNDERGROUND UTILITIES SITE SERVICES AND ADDITIONAL SITE INFORMATION, REFER TO CIVIL, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS.
  - FINISHED GRADE TO SLOPE AWAY MINIMUM 2% AWAY FROM BUILDING. SLOPES AT PATH OF TRAVEL NOT TO EXCEED MAXIMUM 5%.
  - FOR DESIGN OF SOFTSCAPE REFER TO LANDSCAPE DRAWINGS.
  - FOR ADDITIONAL GRADES REFER TO SHEETS DP0.10.04, DP0.10.06, LANDSCAPE AND CIVIL DRAWINGS.

#### BURNSIDE STATISTICS - PHASE 2

PROJECT DESCRIPTION			
PROJECT NAME	BURNSIDE		
PROJECT ADDRESS	135 GORGE ROAD E.		
PID	002-608-421		
CURRENT ZONING	T1		
PROPOSED ZONING	CD		
PROPOSED FSR	2.00		

SITE AREA			
	SITE AREA Ha	SITE AREA m²	FSR AREA m²
SITE AREA - PHASE 2	1.25	12,487	24,974
ALLOWABLE FSR MULTIPLIER	2.00	2.00	-
TOTAL ALLOWABLE FSR (m²)			24,974

INTERNAL SITE BREAKDOWN			
	AREA Ha	AREA m²	AREA ft²
PHASE 2 - B1A+B	0.620	6,205	66,787
PHASE 2 - B2A+B	0.628	6,282	67,622
TOTAL PARCEL AREA	1.248	12,487	134,409

SITE COVERAGE + OPEN SPACE		PHASE 2	
TOTAL SITE COVERAGE %		40%	
TOTAL SITE COVERAGE (m²)		5,645	
TOTAL SITE OPEN SPACE %		57%	
TOTAL SITE OPEN SPACE (m²)		3,623	

HEIGHT		
	HEIGHT IN m	No. OF STOREYS
PHASE 2 - B1A	20.4m	6
PHASE 2 - B1B	21.3m	6
PHASE 2 - B2A	20.6m	6
PHASE 2 - B2B	20.7m	6

SETBACKS		
	DISTANCE IN m	DISTANCE IN ft
PHASE 2 - NORTH PL	5m	16' - 4 7/8"
PHASE 2 - EAST PL	10m	32' - 9 3/4"
PHASE 2 - SOUTH PL (RIPARIAN SRW)	15m	49' - 2 1/2"
PHASE 2 - WEST PL	6m	19' - 8 1/4"

PARKING			
VEHICLE STALLS			
	REQUIRED	PROVIDED	
COMMERCIAL	0	0	
COMMERCIAL ACCESSIBLE	0	0	
VISITOR	19	33	
VISITOR ACCESSIBLE	0	0	
VISITOR ACCESSIBLE VAN	2	2	
RESIDENTIAL	128	213	
RESIDENTIAL ACCESSIBLE	12	13	
RESIDENTIAL ACCESSIBLE VAN	3	4	
LOADING STALLS	0	0	
PHASE 2 TOTAL	164	265	
BIKE STALLS			
	REQUIRED	PROVIDED	%
SHORT TERM RESIDENTIAL	33	36	-
LONG TERM RES. GROUND ANCHORED	199	198	50%
LONG TERM RESIDENTIAL CARGO	40	40	10%
LONG TERM RES. WALL ANCHORED	159	160	40%
PHASE 2 TOTAL	431	434	

FSR AREAS - B1A+B - RESIDENTIAL		
	OVERALL m²	FSR m²
ROOF	96	74
LEVEL 06	2,288	2,257
LEVEL 05	2,288	2,257
LEVEL 04	2,288	2,257
LEVEL 03	2,288	2,257
LEVEL 02	2,287	2,235
LEVEL 01	2,967	1,446
LEVEL P1	3,639	0
LEVEL P2	325	0
TOTAL	18,445	12,782

FSR AREAS - B2A+B - RESIDENTIAL		
	OVERALL m²	FSR m²
ROOF	97	82
LEVEL 06	2,212	2,191
LEVEL 05	2,212	2,191
LEVEL 04	2,212	2,191
LEVEL 03	1,957	1,936
LEVEL 02	1,990	1,969
LEVEL 01	2,678	1,303
LEVEL P1	2,855	0
TOTAL	16,215	11,862

PROPOSED AREA TOTALS COMBINED		
	OVERALL m²	FSR m²
B1A + B	18,445	12,782
B2A + B	16,215	11,862
TOTAL	34,660	14,973

ADDITIONAL UNIT DATA		
	LOCATION	NO. GROUND ORIENTED UNITS
	PHASE 2 - B1A + B	14
	PHASE 2 - B2A + B	20
	TOTAL	34

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**INTRACORP**

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No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

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PROJECT

**BURNSIDE PHASE II**

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:  
138914

DRAWN BY:  
ARCADIS

CHECKED BY:  
ARCADIS

PROJECT MGR:  
ARCADIS

APPROVED BY:  
ARCADIS

SHEET TITLE

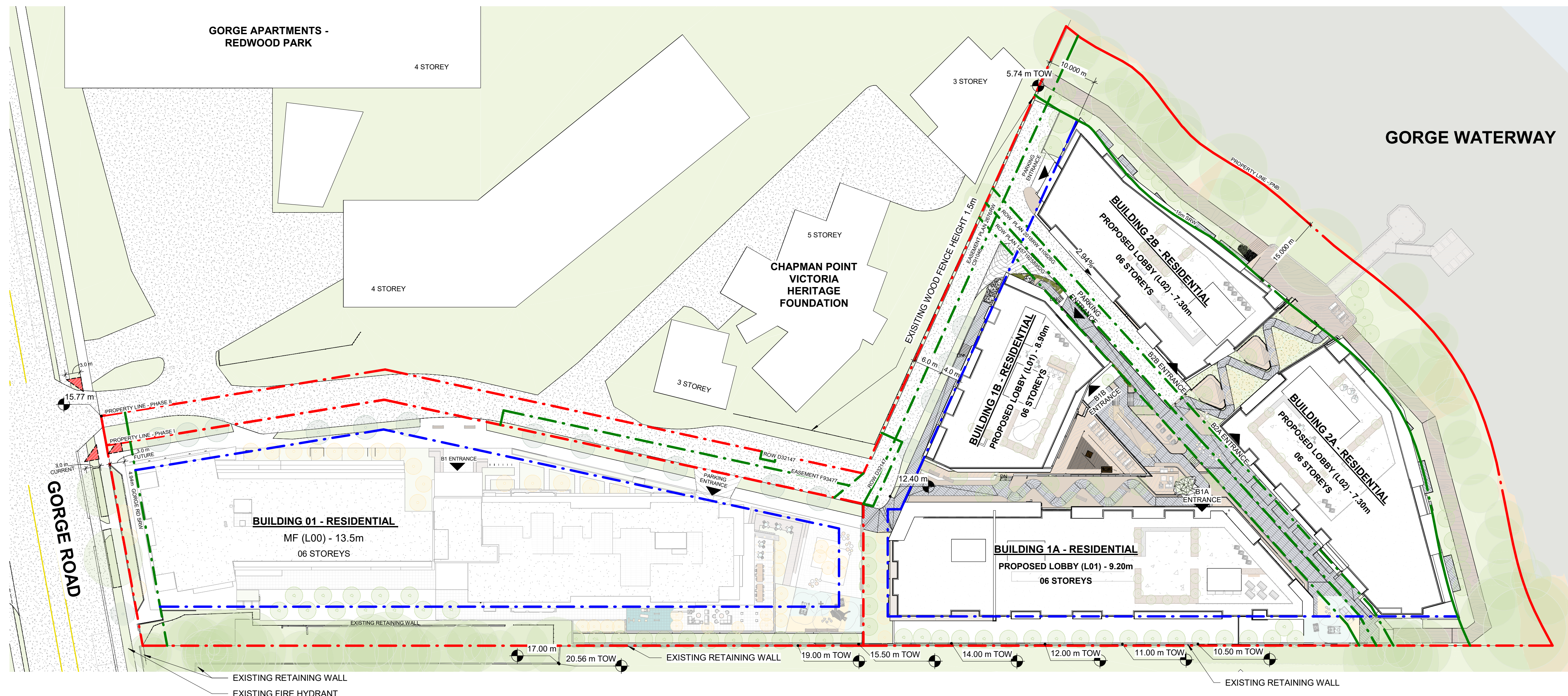
**OVERALL SITE PLAN**

SHEET NUMBER

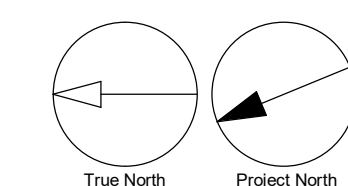
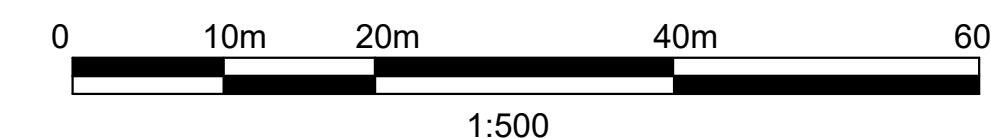
**DP0.10.03**

ISSUE

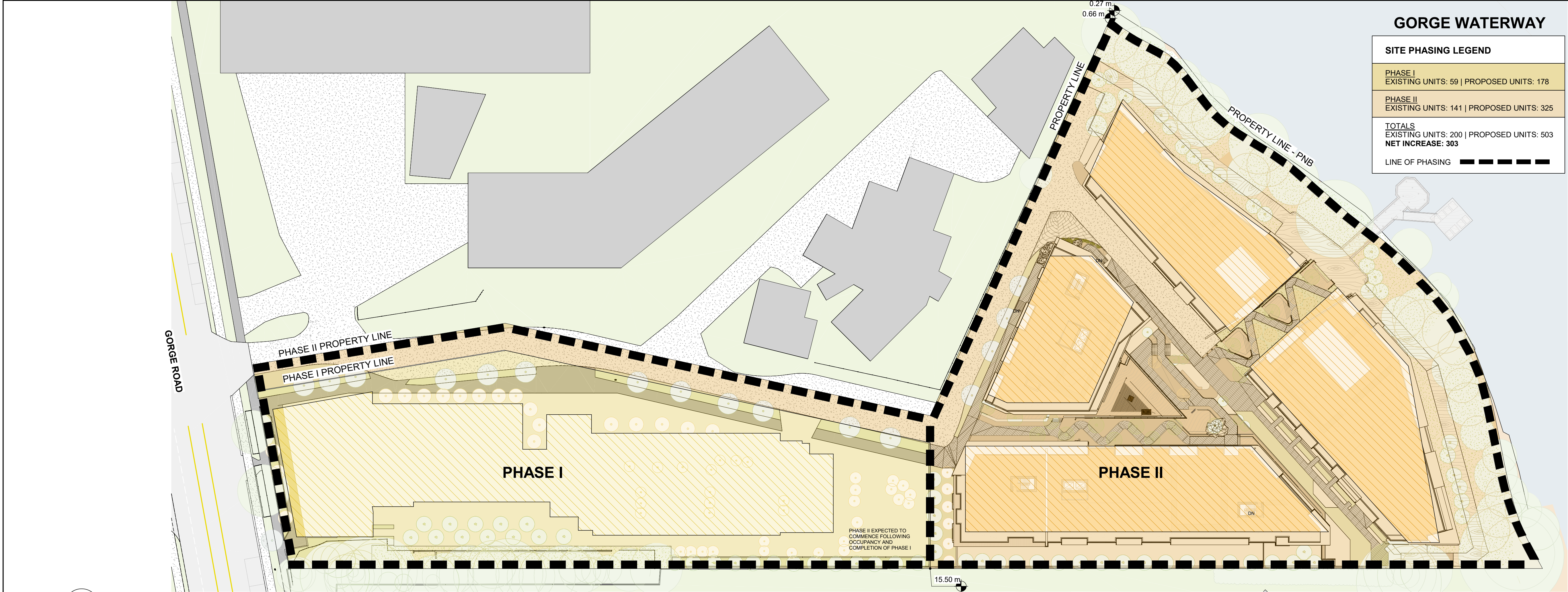
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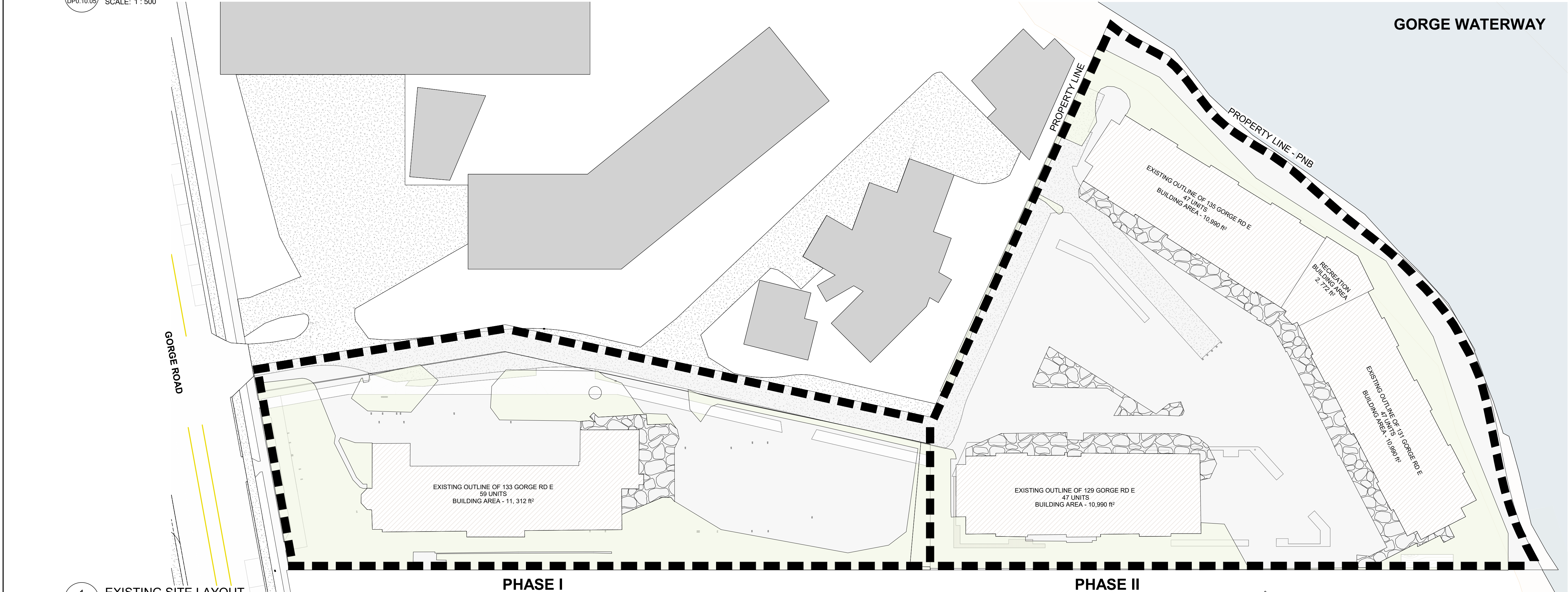
1 OVERALL SITE PLAN  
DP0.10.03 SCALE: 1:500







2 OVERALL PHASING PLAN  
DP0.10.05/ SCALE: 1 : 500



1 EXISTING SITE LAYOUT  
DP0.10.05/ SCALE: 1 : 500

GORGE WATERWAY

SITE PHASING LEGEND

PHASE I  
EXISTING UNITS: 59 | PROPOSED UNITS: 178

PHASE II  
EXISTING UNITS: 141 | PROPOSED UNITS: 325

TOTALS  
EXISTING UNITS: 200 | PROPOSED UNITS: 503  
NET INCREASE: 303

LINE OF PHASING

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2024-11-28

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PROJECT  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:  
138914  
DRAWN BY:  
ARCADIS  
PROJECT MGR:  
ARCADIS  
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APPROVED BY:  
ARCADIS

SHEET TITLE  
**PHASING PLAN**

SHEET NUMBER  
**DP0.10.05**  
ISSUE  
**A**

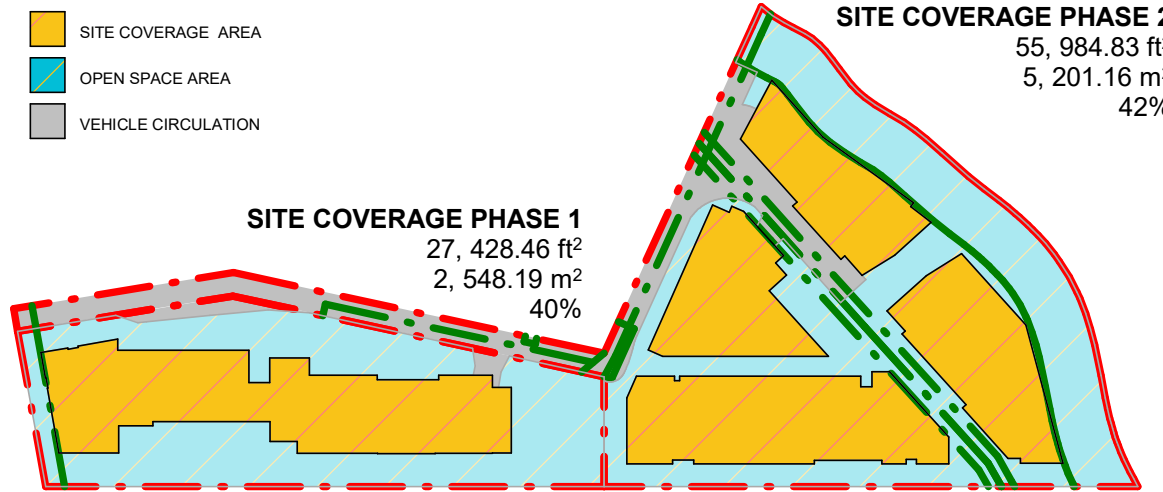


Ceiling Elevation @ L01					12.25	Existing Grade Used	Proposed Grade Used
PHASE 2 - BUILDING 1A							
Mark	Elevation 1 (m)	Mark	Elevation 2 (m)	Length (m)	Avg x Length		
1A	12.25	1B	12.25	17.49	214.19		
1B	12.25	1C	12.25	6.27	76.86		
1C	12.25	1D	12.20	10.10	123.48		
1D	12.20	1E	12.25	1.18	14.38		
1E	12.25	1F	12.25	1.30	15.96		
1F	12.25	1G	12.20	1.18	14.38		
1G	12.20	1H	9.00	47.97	508.46		
1H	9.00	1I	9.00	2.79	25.15		
1I	9.00	1J	9.00	2.96	26.60		
1J	9.00	1K	8.81	3.98	35.58		
1K	8.81	1L	7.00	4.73	37.49		
1L	7.00	1M	7.00	23.32	163.25		
1M	7.00	1N	7.00	7.07	49.52		
1N	7.00	1O	8.83	8.50	67.23		
1O	8.83	1P	8.84	1.22	10.77		
1P	8.84	1Q	9.00	2.76	24.58		
1Q	9.00	1R	9.00	1.22	10.97		
1R	9.00	1S	10.14	6.71	64.19		
1S	10.14	1T	10.11	0.92	9.29		
1T	10.11	1U	11.49	17.91	193.46		
1U	11.49	1V	11.49	0.92	10.55		
1V	11.49	1W	12.25	31.91	378.72		
1W	12.25	1X	12.25	0.92	11.25		
1X	12.25	1Y	12.25	5.57	68.22		
1Y	12.25	1Z	12.25	1.04	12.75		
1Z	12.25	A	12.25	12.16	149.01		
SUM				222.08	2316.31		
AVG (60.00 x 3.90)					10.47		
L01 ABOVE GRADE (m)					1.82		

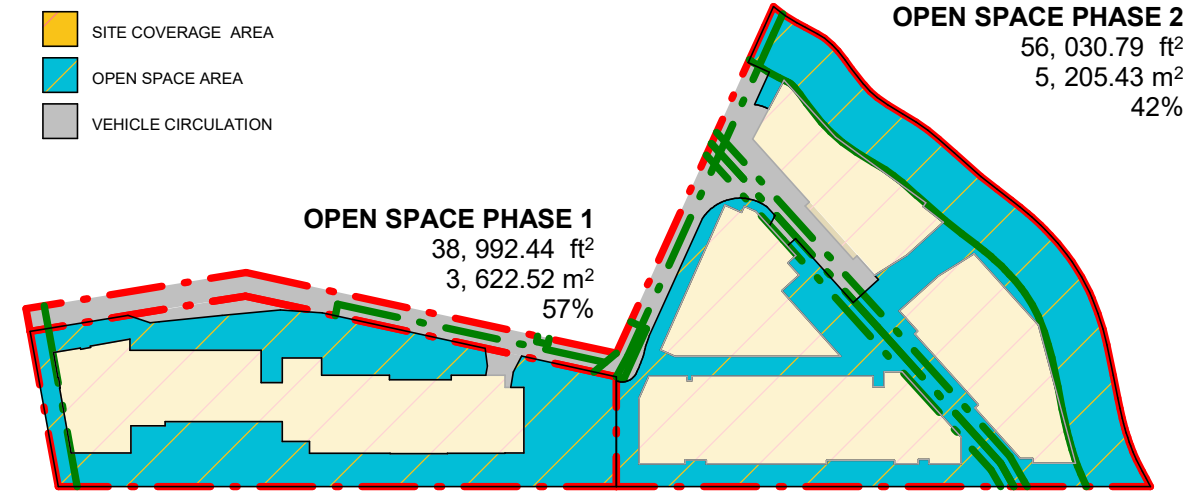
Ceiling Elevation @ L01					12.25	Existing Grade Used	Proposed Grade Used
PHASE 2 - BUILDING 1B							
Mark	Elevation 1 (m)	Mark	Elevation 2 (m)	Length (m)	Avg x Length		
2A	12.19	2B	8.41	41.94	433.46		
2B	8.41	2C	7.99	4.79	39.13		
2C	7.99	2D	7.89	1.83	14.22		
2D	7.89	2E	7.79	3.39	26.29		
2E	7.79	2F	7.79	15.79	123.02		
2F	7.79	2G	7.76	2.82	21.91		
2G	7.76	2H	8.00	4.37	34.41		
2H	8.00	2I	8.76	6.17	51.71		
2I	8.76	2J	8.90	23.41	206.67		
2J	8.90	2K	11.95	43.88	457.44		
2K	11.95	A	12.19	4.21	50.85		
SUM				152.60	1459.07		
AVG (60.00 x 2.43)					8.71		
L01 ABOVE GRADE (m)					2.69		

Ceiling Elevation @ 01					6.50	Existing Grade Used	Proposed Grade Used
PHASE 2 - BUILDING 2A - LEVEL 01							
Mark	Elevation 1 (m)	Mark	Elevation 2 (m)	Length (m)	Avg x Length		
3A	7.01	3B	4.65	14.03	81.70		
3B	4.65	3C	2.96	11.01	42.01		
3C	2.96	3D	2.85	25.48	74.26		
3D	2.85	3E	3.67	37.90	122.59		
3E	3.67	3F	6.22	11.28	55.49		
3F	6.22	3G	6.11	1.29	8.00		
3G	6.11	3H	7.00	3.31	21.80		
3H	7.00	3I	7.08	18.03	126.73		
3I	7.08	3J	7.00	1.26	8.89		
3J	7.00	3K	7.08	25.22	177.53		
3K	7.08	3L	6.90	1.05	7.31		
3L	6.90	3A	7.00	7.19	49.94		
SUM				157.03	776.27		
AVG (60.00 x 1.29)					4.64		
LEVEL 01 ABOVE GRADE (m)					2.05		

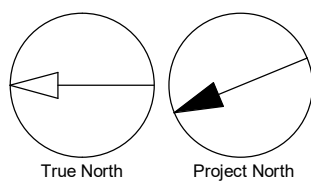
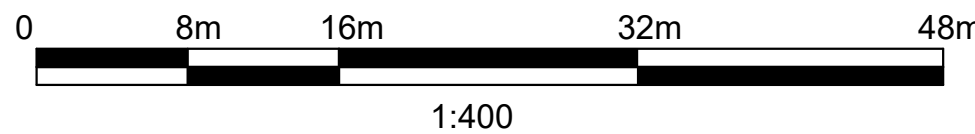
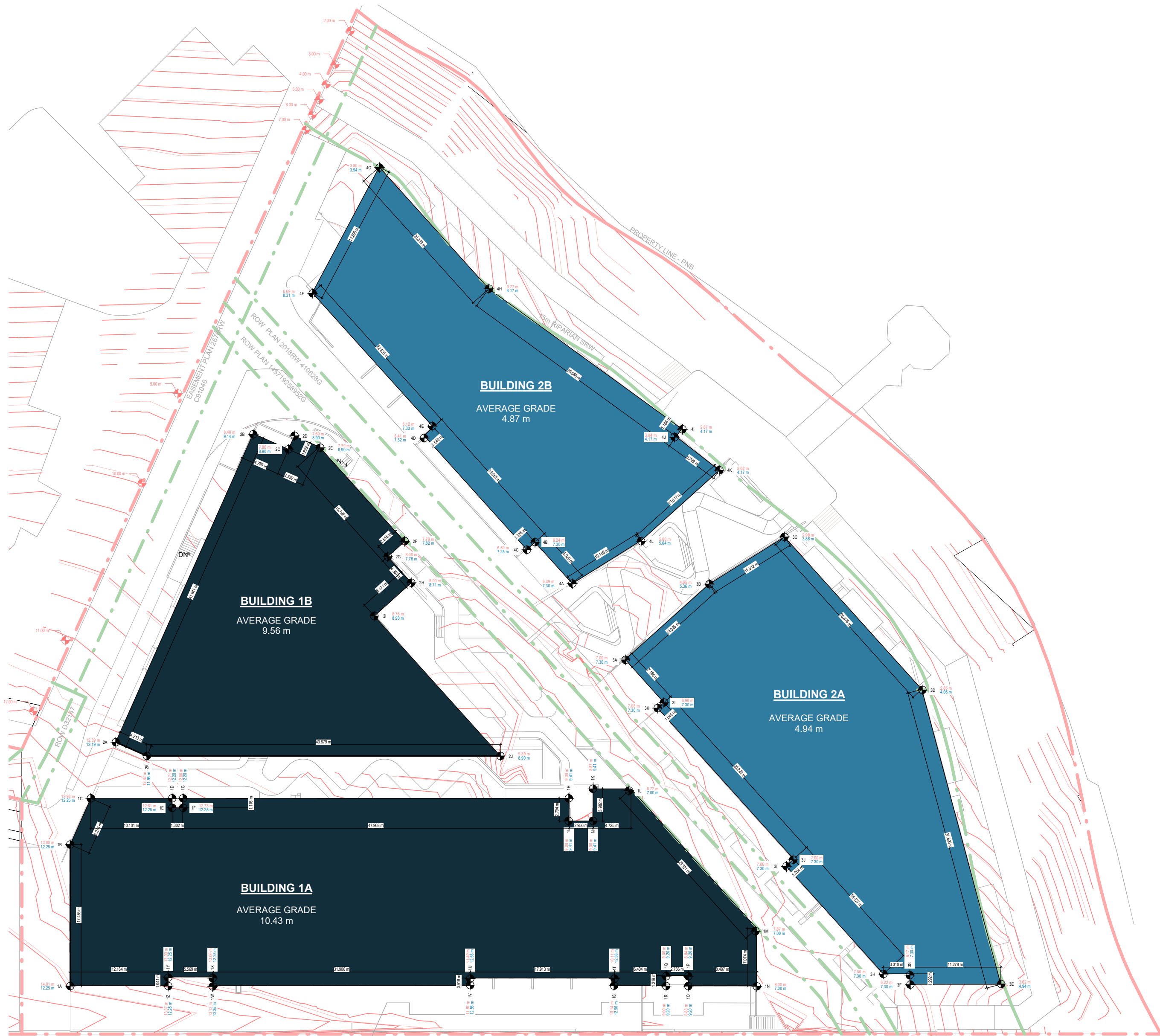
Ceiling Elevation @ 01					6.50	Existing Grade Used	Proposed Grade Used
PHASE 2 - BUILDING 2B - LEVEL 01							
Mark	Elevation 1 (m)	Mark	Elevation 2 (m)	Length (m)	Avg x Length		
4A	6.31	4B	6.21	6.92	43.70		
4B	6.21	4C	6.50	1.38	8.77		
4C	6.50	4D	6.41	19.05	122.99		
4D	6.41	4E	6.12	1.54	9.63		
4E	6.12	4F	6.69	22.44	143.70		
4F	6.69	4G	3.80	17.90	93.88		
4G	3.80	4H	3.77	20.33	76.96		
4H	3.77	4I	2.87	29.59	98.22		
4I	2.87	4J	3.04	1.19	3.50		
4J	3.04	4K	3.02	6.80	20.60		
4K	3.02	4L	5.00	13.02	52.20		
4L	5.00	4A	10.11	97.57			
SUM				150.25	731.73		
AVG (60.00 x 1.20)					4.61		
LEVEL 01 ABOVE GRADE (m)					2.12		



3 SITE COVERAGE DIAGRAM  
DP0.10.06 SCALE: 1 : 2000



2 OPEN SPACE DIAGRAM  
DP0.10.06 SCALE: 1 : 2000



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formerly IBI Group Architects (Canada) Inc.

ISSUES

No.	DESCRIPTION	DATE
A	DEVELOPMENT PERMIT	2024-11-28

CONSULTANTS

SEAL

REGISTERED ARCHITECT

LAUREN MACAULAY

BRITISH COLUMBIA

2024-11-28

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PROJECT

BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:

138914

DRAWN BY:

ARCADIS

CHECKED BY:

ARCADIS

PROJECT MGR:

ARCADIS

APPROVED BY:

ARCADIS

SHEET TITLE

AVERAGE GRADE PLAN

SHEET NUMBER

DP0.10.06

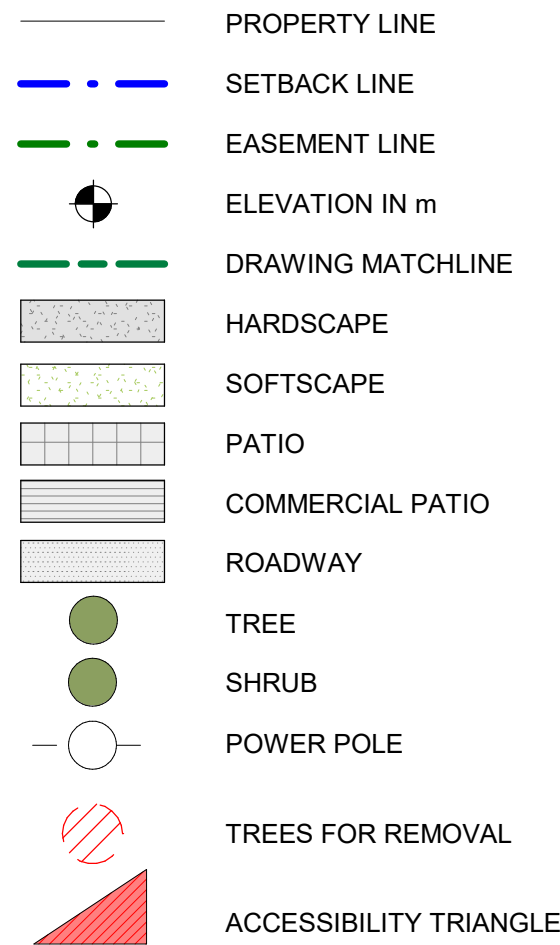
ISSUE

A



2024-11-28 1:58:24 PM

#### LEGEND



#### NOTES

- SIGNAGE TO BE LOCATED ON ELEVATIONS.
- FOR UNDERGROUND UTILITIES SITE SERVICES AND ADDITIONAL SITE INFORMATION, REFER TO CIVIL, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS.
- FINISHED GRADE TO SLOPE AWAY MINIMUM 2% AWAY FROM BUILDING. SLOPES AT PATH OF TRAVEL NOT TO EXCEED MAXIMUM 5%.
- FOR DESIGN OF SOFTSCAPE REFER TO LANDSCAPE DRAWINGS.
- FOR ADDITIONAL GRADES REFER TO SHEETS DP0.10.04, DP0.10.06, LANDSCAPE AND CIVIL DRAWINGS.
- FOR SITE LIGHTING DESIGN REFER TO ELECTRICAL DRAWINGS.

#### LEGAL DESCRIPTION AND MUNICIPAL ADDRESS

LOT'S 1 AND 2, SECTION 10, VICTORIA DISTRICT, PLAN 22973  
CIVIC ADDRESS: 133 AND 135 EAST GORGE ROAD, VICTORIA, B.C.



1 MULTI-DISCIPLINARY COORDINATION SITE PLAN  
DP0.10.07 SCALE: 1 : 250

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tel 250 900 4520  
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PROJECT  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:  
138914  
DRAWN BY:  
ARCADIS  
PROJECT MGR:  
ARCADIS  
CHECKED BY:  
ARCADIS  
APPROVED BY:  
ARCADIS

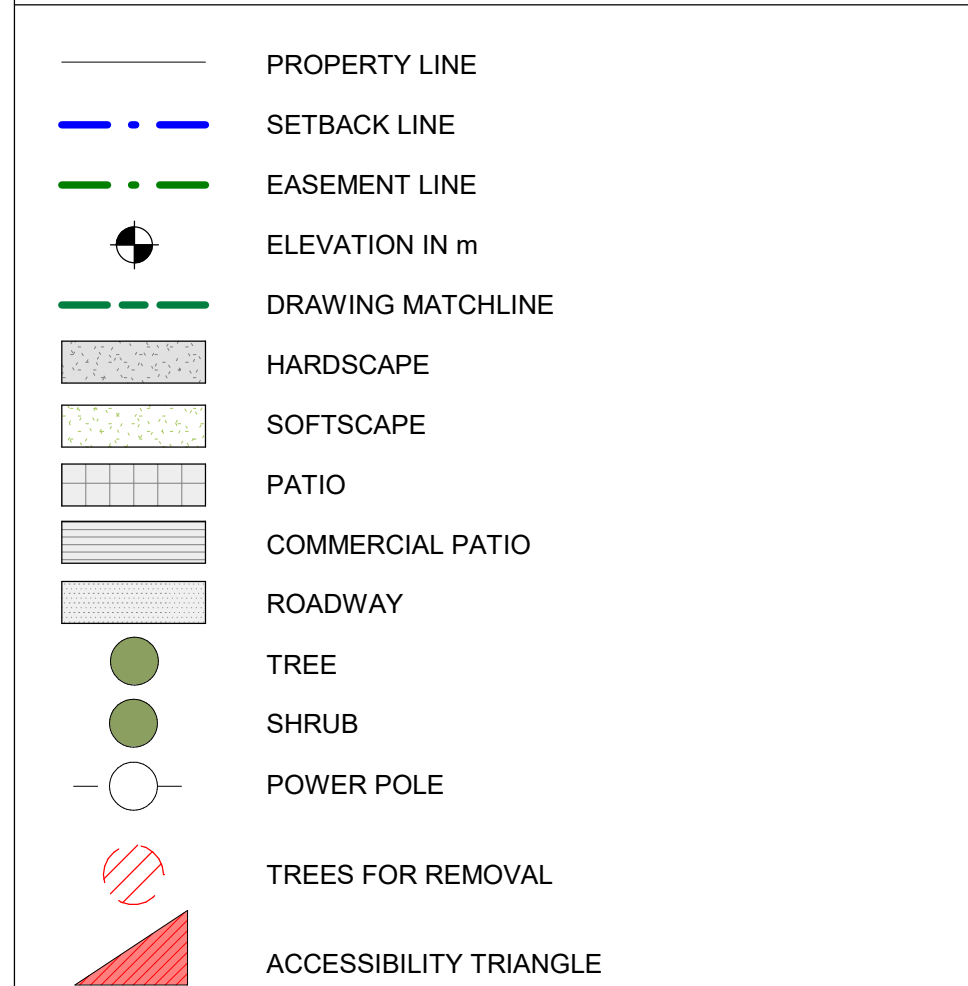
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**MULTI-DISCIPLINARY  
COORDINATION SITE PLAN**

SHEET NUMBER  
**DP0.10.07**  
ISSUE  
**A**

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LEGEND

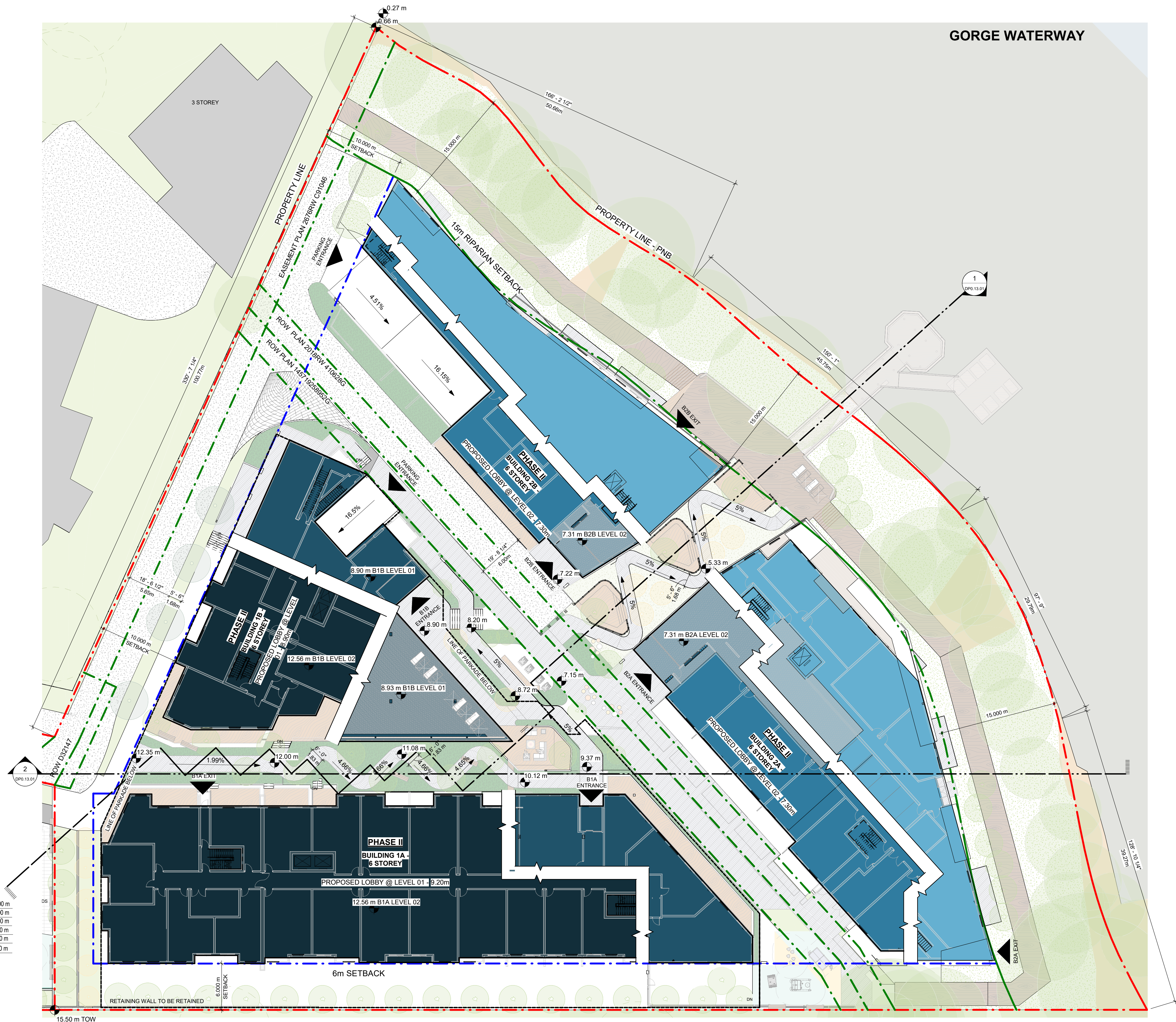
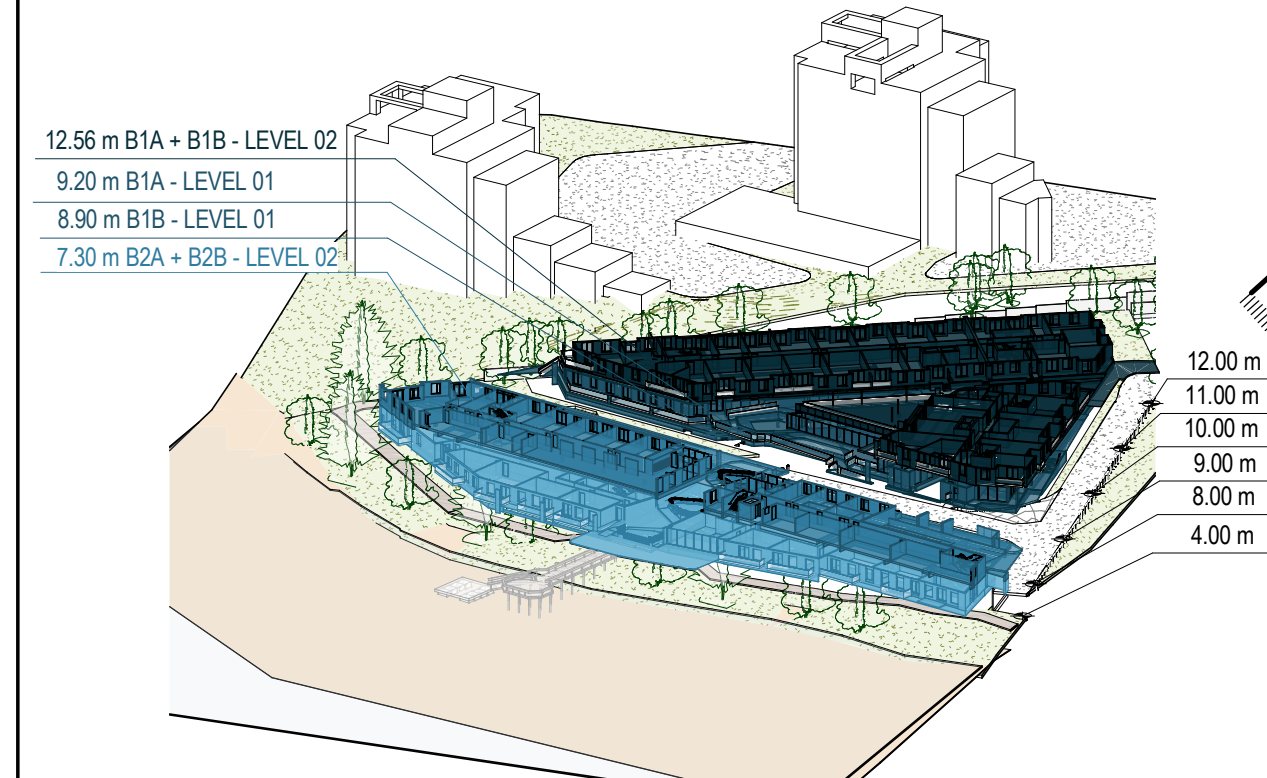
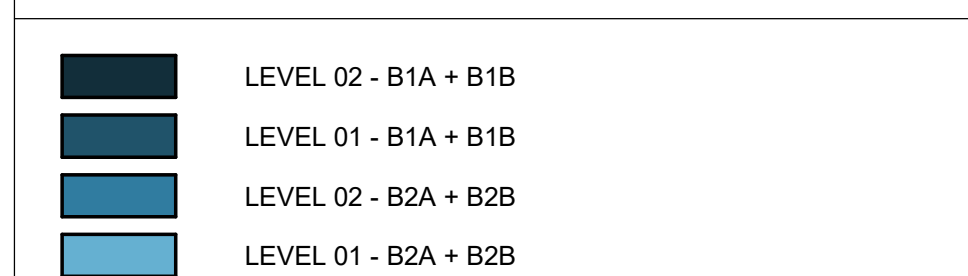


- NOTES
- SIGNAGE TO BE LOCATED ON ELEVATIONS.
  - FOR UNDERGROUND UTILITIES SITE SERVICES AND ADDITIONAL SITE INFORMATION, REFER TO CIVIL, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS.
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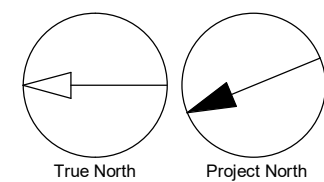
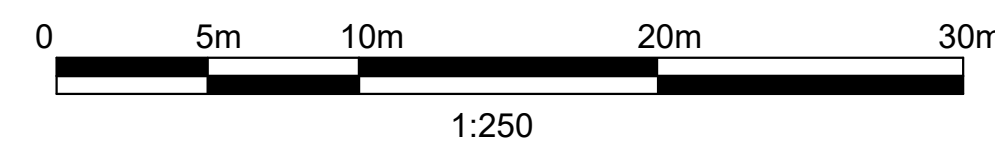
LEGAL DESCRIPTION AND MUNICIPAL ADDRESS

LOT'S 1 AND 2, SECTION 10, VICTORIA DISTRICT, PLAN 22973  
CIVIC ADDRESS: 133 AND 135 EAST GORGE ROAD, VICTORIA, B.C.

SITE PLAN LEGEND



1 OVERALL PHASE 2 SITE PLAN  
DP0.10.08 SCALE: 1 : 250



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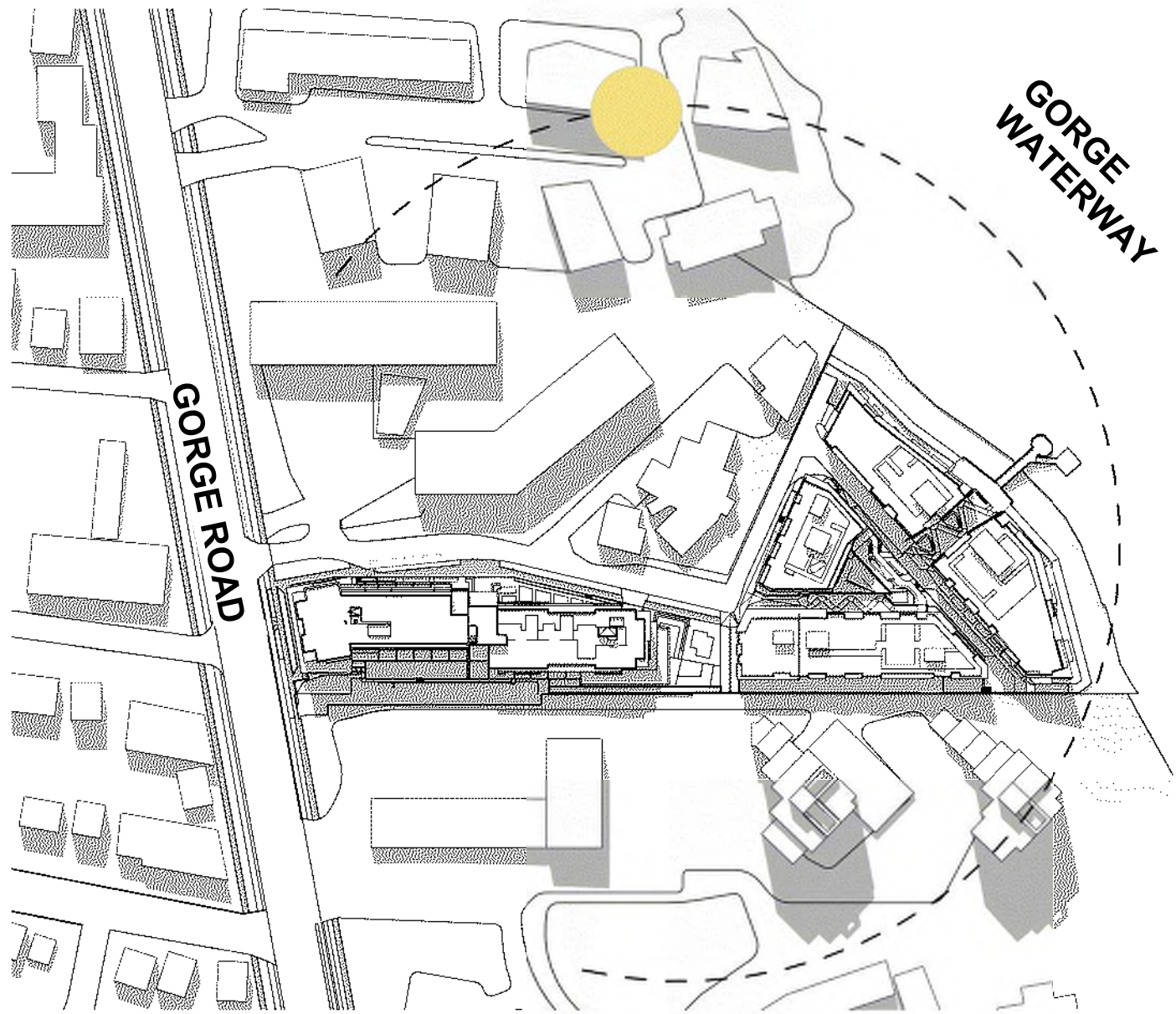
PROJECT  
**BURNSIDE PHASE II**  
133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:  
138914  
DRAWN BY:  
ARCADIS  
PROJECT MGR:  
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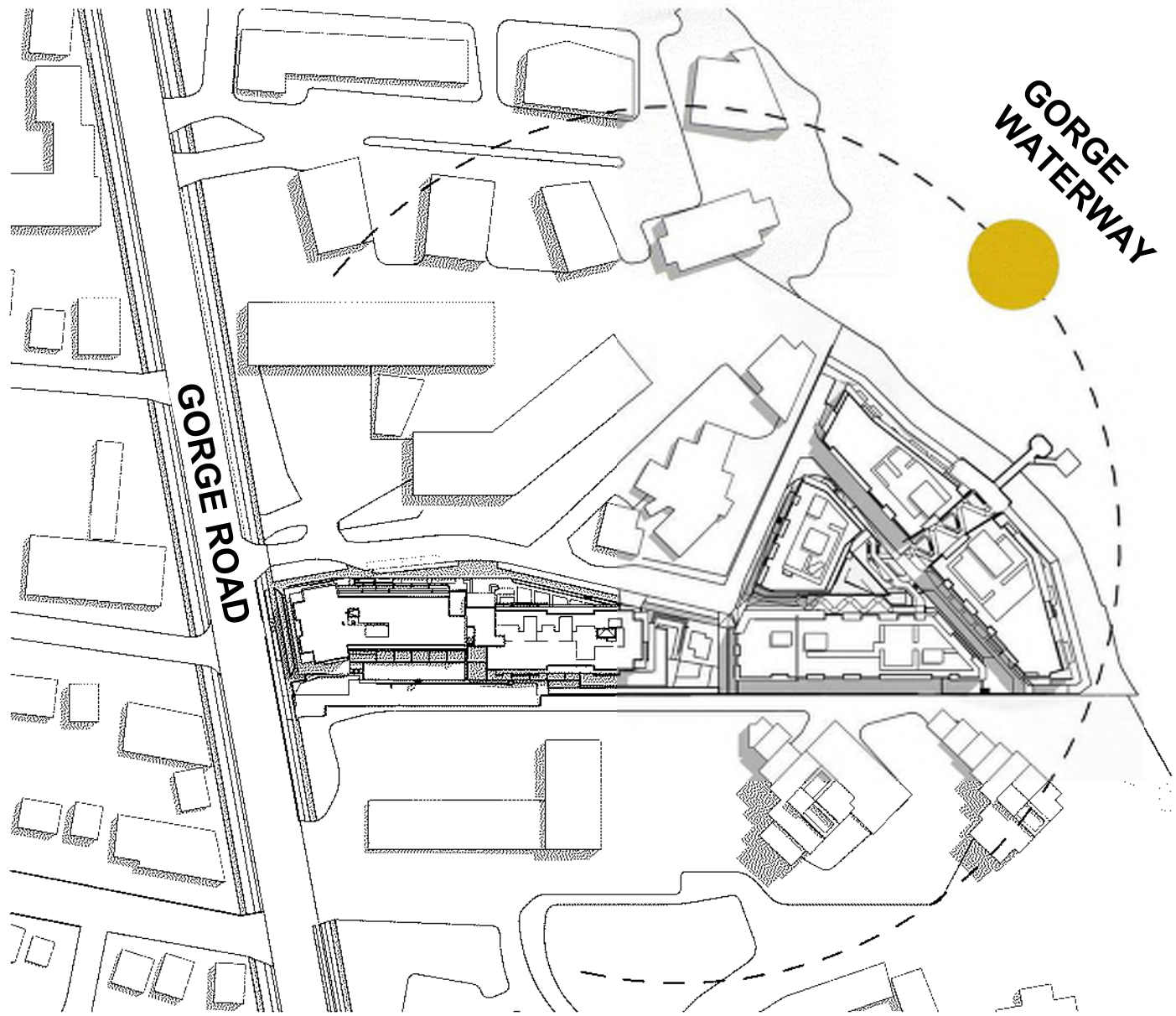
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SHEET NUMBER  
**DP0.10.08**  
ISSUE  
**A**

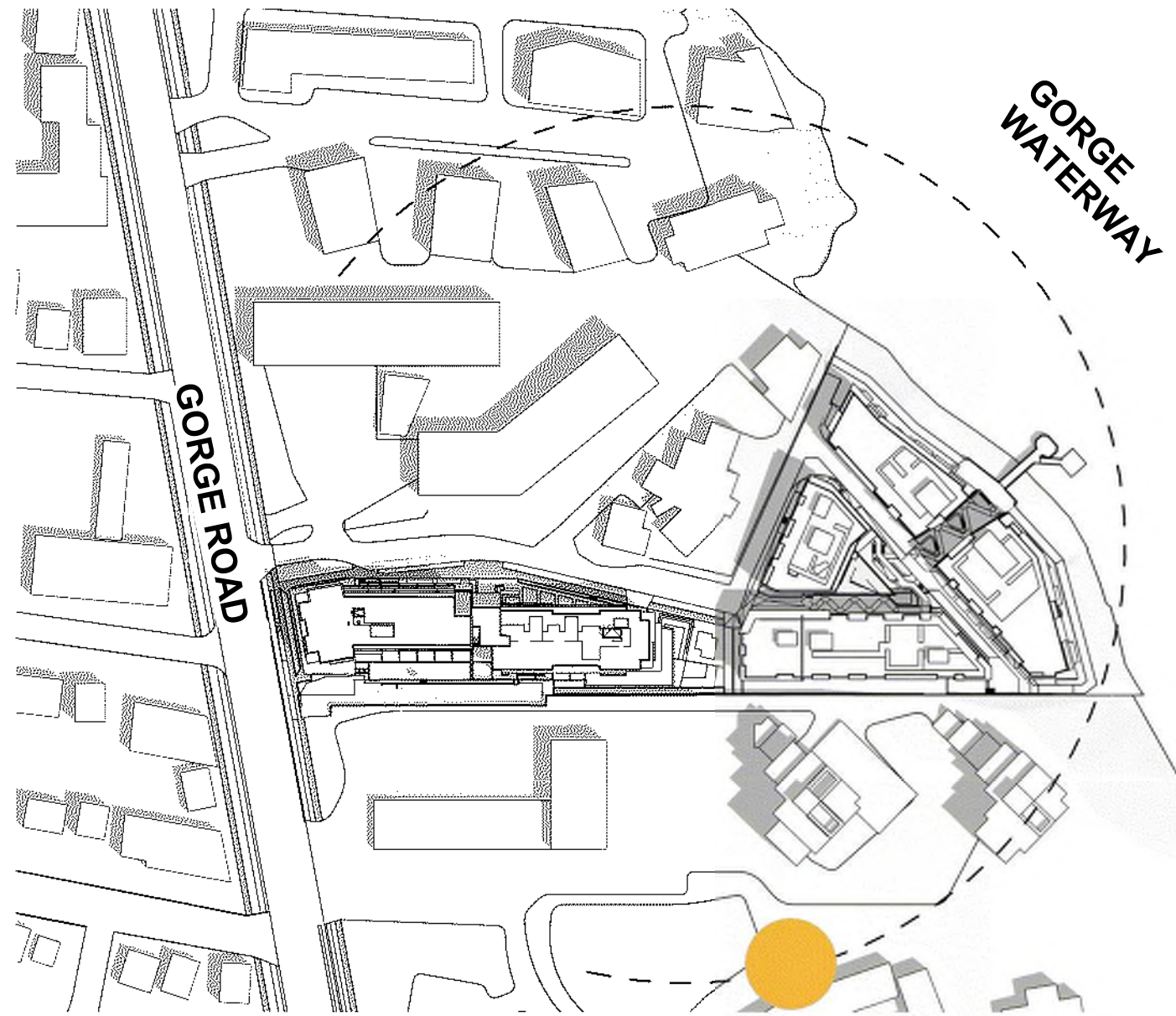




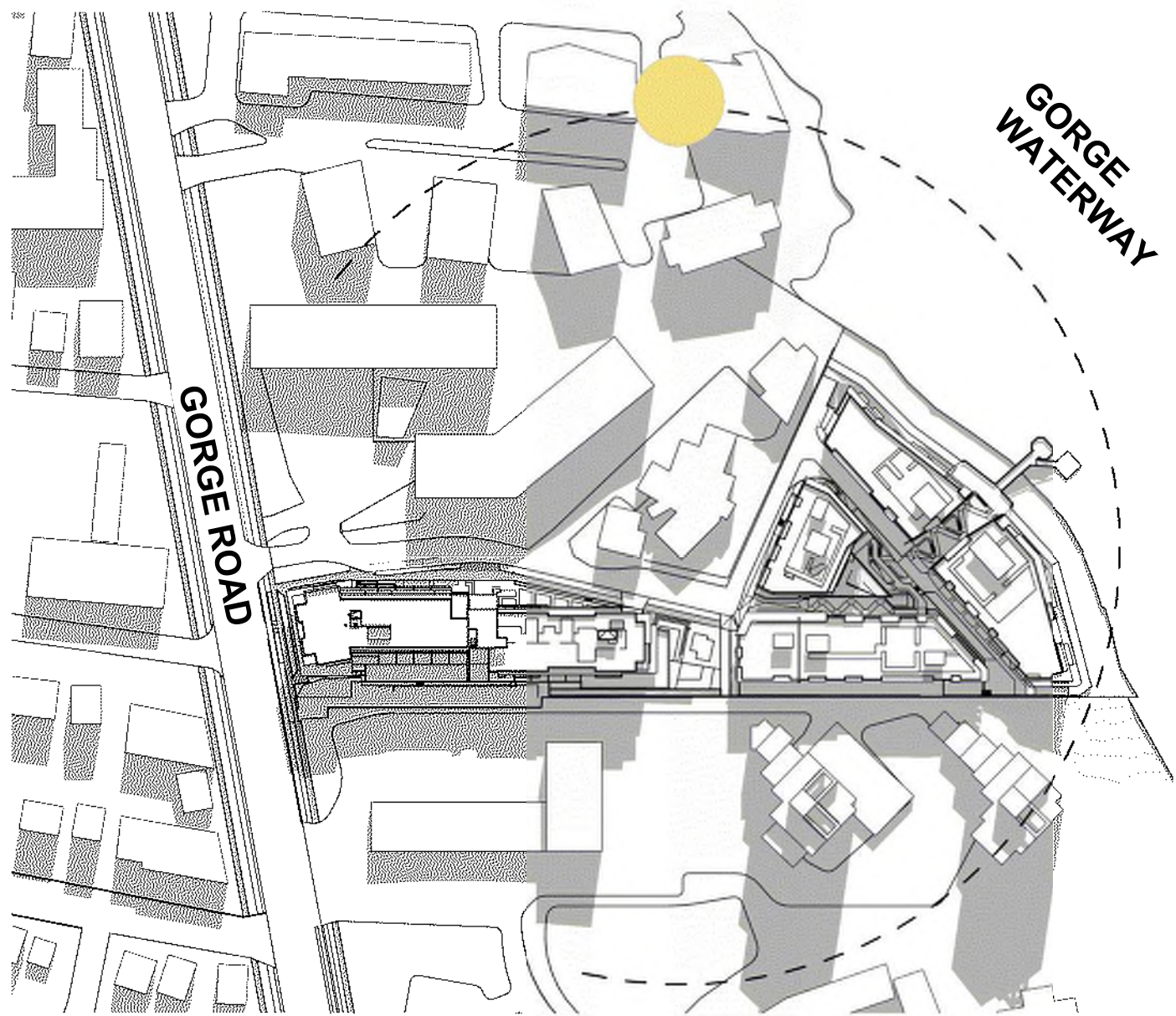
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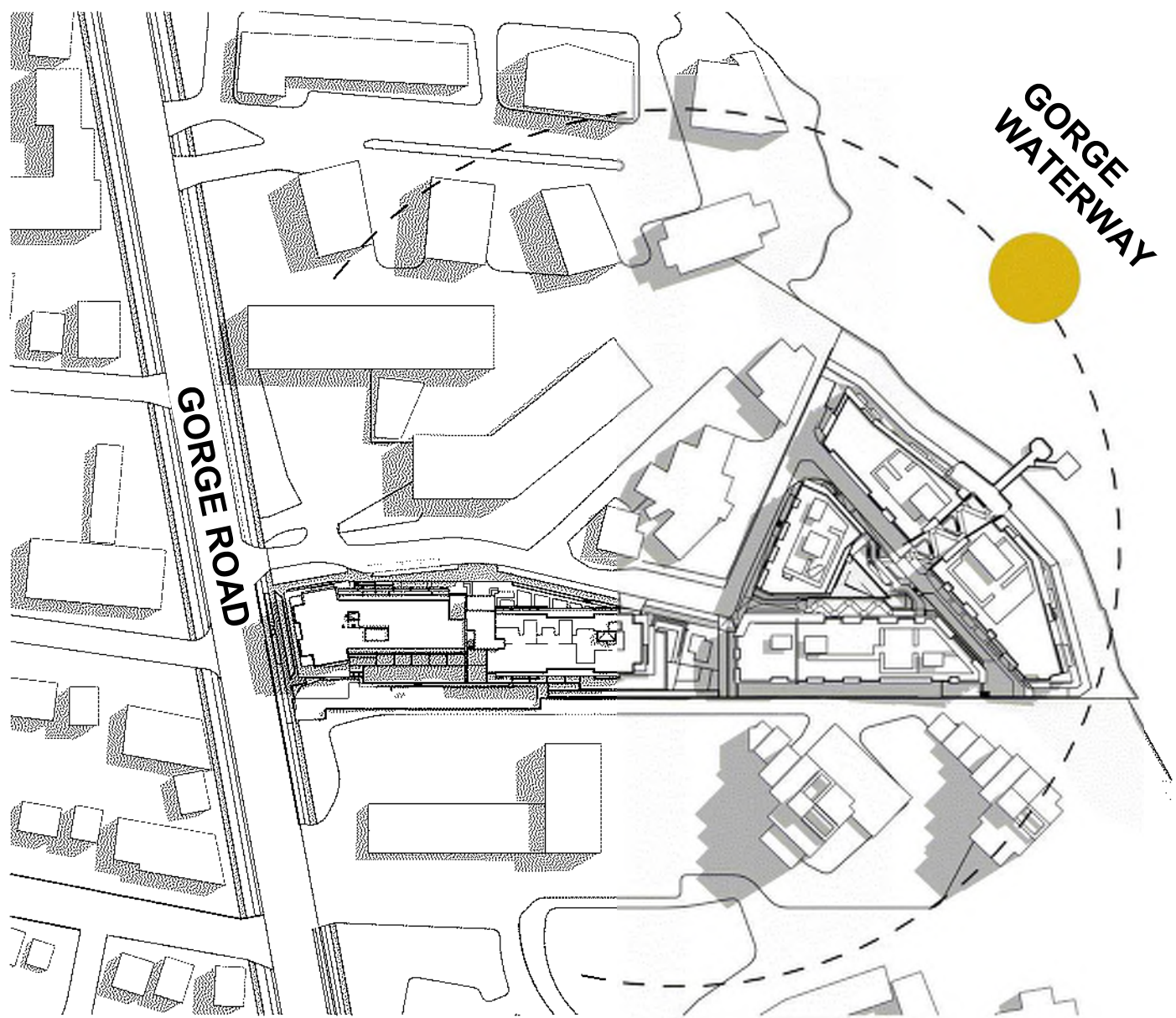
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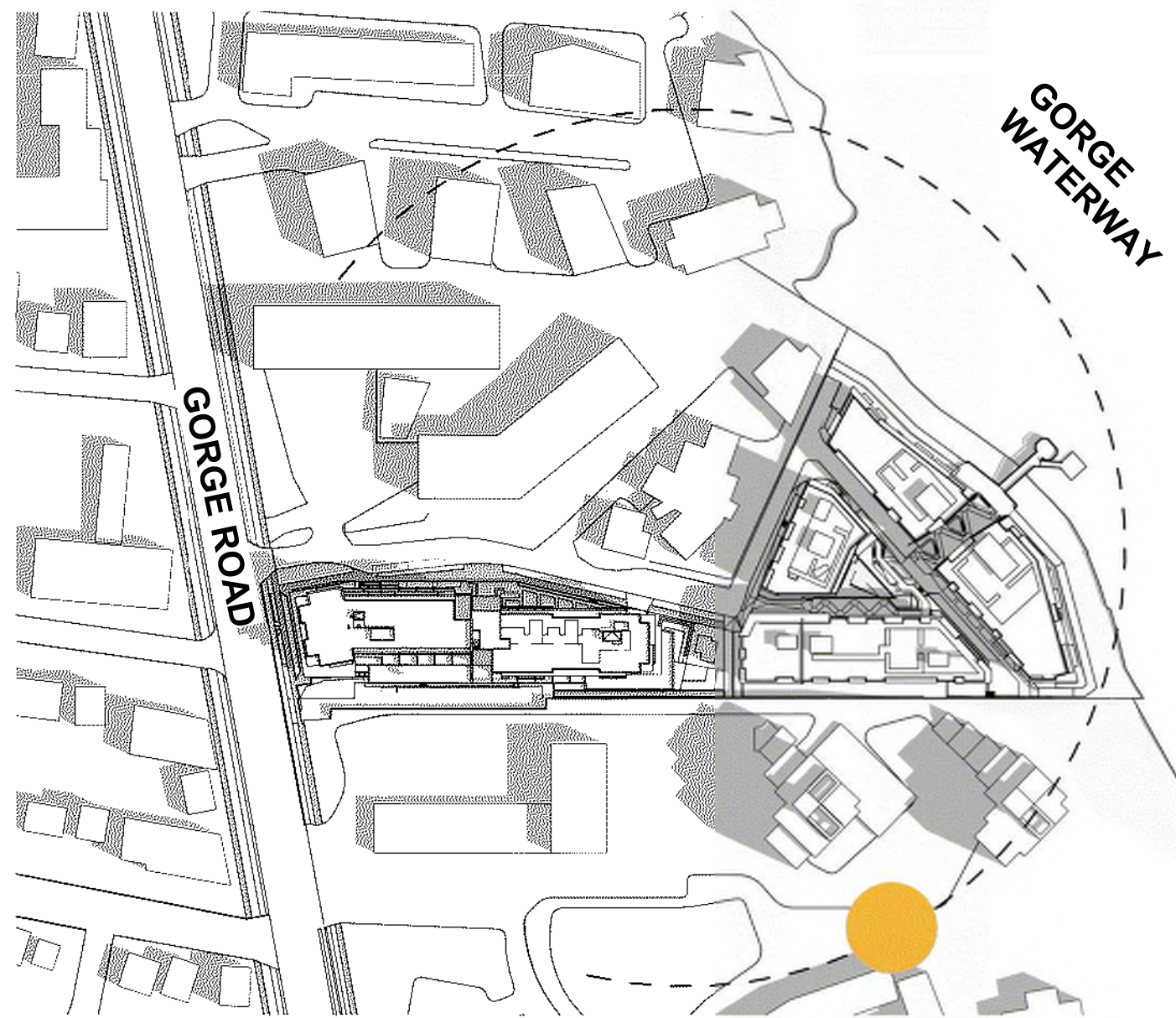
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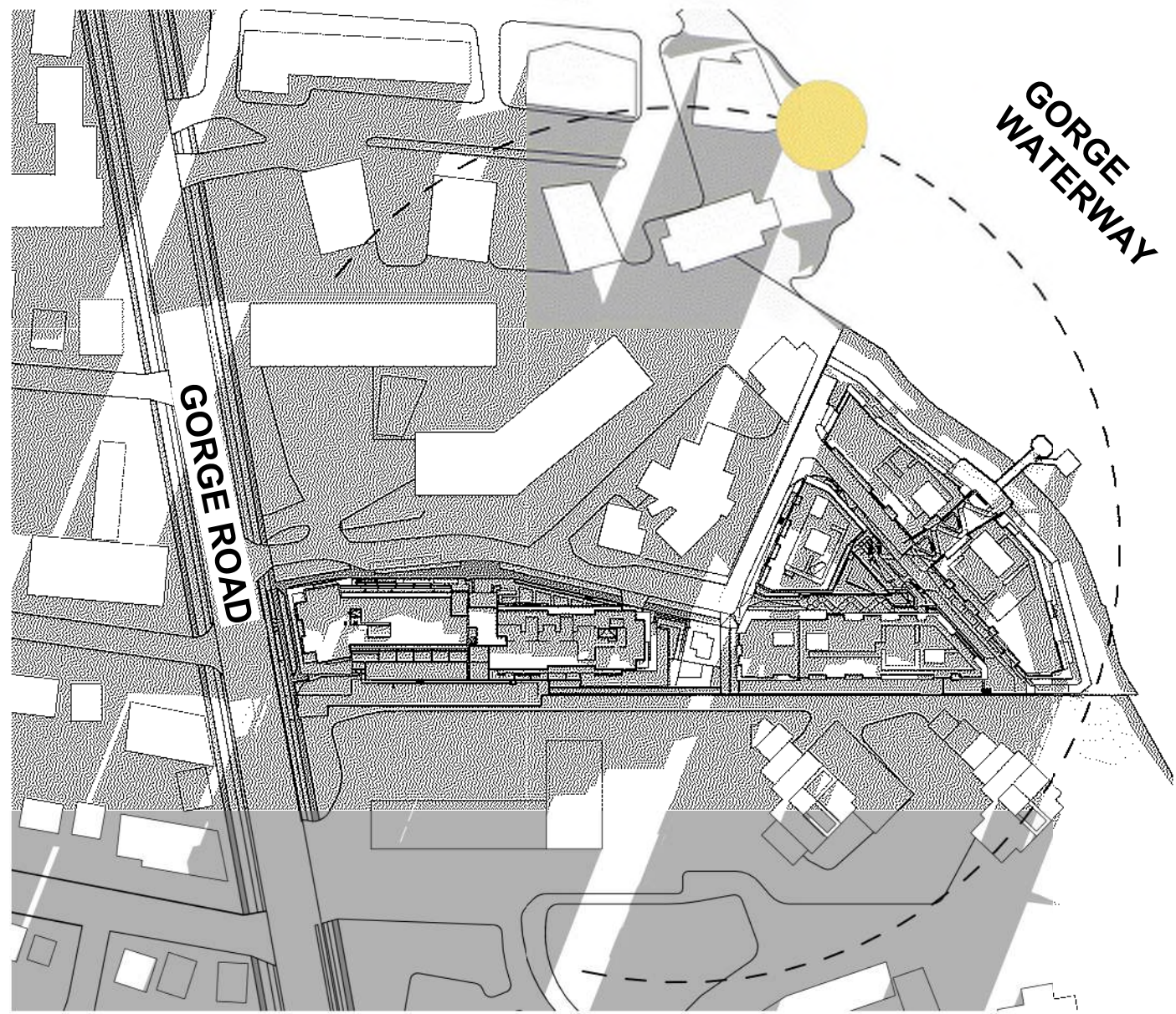
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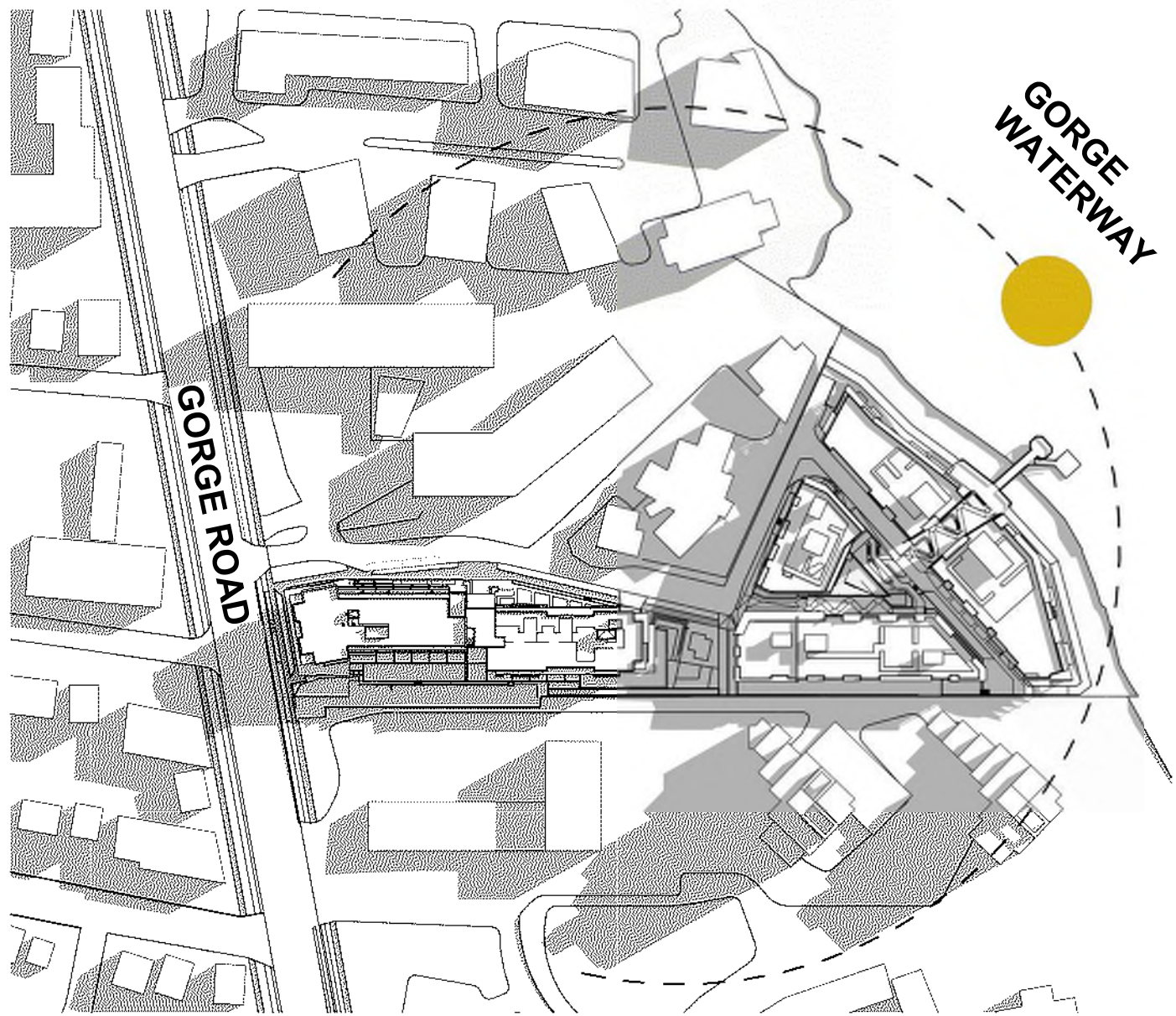
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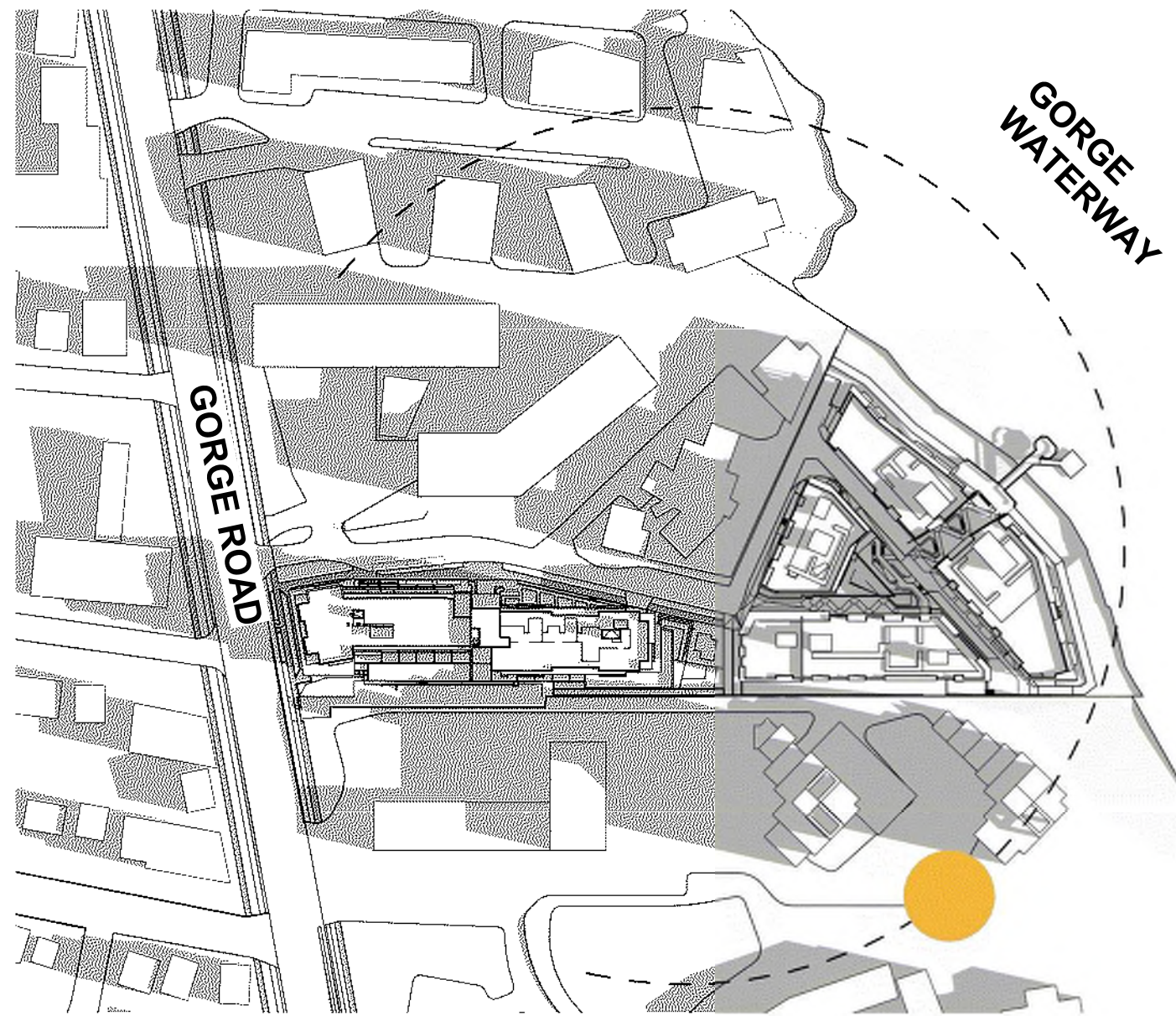
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DP0.11.01 SCALE: NTS



9 WINTER SOLSTICE 3:30 PM  
DP0.11.01 SCALE: NTS

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No.	DESCRIPTION	DATE
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CONSULTANTS

SEAL

REGISTERED ARCHITECT

LAUREN MACAULAY

BRITISH COLUMBIA

2024-11-28

Arcadis Architects (Canada) Inc.

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PROJECT

BURNSIDE PHASE II

133-135 GORGE ROAD E, VICTORIA, BC

PROJECT NO:

138914

DRAWN BY:

ARCADIS

CHECKED BY:

ARCADIS

PROJECT MGR:

ARCADIS

APPROVED BY:

ARCADIS

SHEET TITLE

SHADOW STUDY DIAGRAMS

SHEET NUMBER

DP0.11.01

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