

TELUS OCEAN

ISSUED FOR REZONING AND DEVELOPMENT PERMIT APPLICATION - REVISION 4 2021.05.25



DRAWING LIST

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	LAST ISSUANCE DATE
A.000	COVER SHEET	2021.05.25
A.001	SITE-EXISTING	2021.05.25
A.010	SITE PLAN	2021.05.25
A.011	SITE PLAN - GROUND PLANE	2021.05.25
A.101	PLAN - LEVEL P3 - REZONING	2021.05.25
A.102	PLAN - LEVEL P2 - REZONING	2021.05.25
A.103	PLAN - LEVEL P1 - REZONING	2021.05.25
A.104	PLAN - LEVEL 1 - REZONING	2021.05.25
A.105	PLAN - LEVEL 1 - MEZZANINE - REZONING	2021.05.25
A.106	PLAN - LEVEL 2 - REZONING	2021.05.25
A.107	PLAN - LEVEL 3 - REZONING	2021.05.25
A.108	PLAN - LEVEL 4 - REZONING	2021.05.25
A.109	PLAN - LEVEL 5 - REZONING	2021.05.25
A.110	PLAN - LEVEL 6 - REZONING	2021.05.25
A.111	PLAN - LEVEL 7 - REZONING	2021.05.25
A.112	PLAN - LEVEL 8 - REZONING	2021.05.25
A.113	PLAN - LEVEL 9 - REZONING	2021.05.25
A.114	PLAN - LEVEL 10 - REZONING	2021.05.25
A.115	PLAN - LEVEL 11 - REZONING	2021.05.25
A.116	PLAN - UPPER ROOF - REZONING	2021.05.25
A.301	ELEVATION - WEST - REZONING	2021.05.25
A.302	ELEVATION - EAST - REZONING	2021.05.25
A.303	ELEVATION - SOUTH - REZONING	2021.05.25
A.304	CONTEXT ELEVATIONS - REZONING	2021.05.25
A.305	WEST ELEVATION SETBACK	2021.05.25
A.306	SOUTH ELEVATION SETBACK	2021.05.25
A.307	EAST ELEVATION SETBACK	2021.05.25
A.401	SECTION A - REZONING	2021.05.25
A.402	SECTION D - REZONING	2021.05.25
A.403	SECTION F - REZONING	2021.05.25

CONSULTANT LIST

ARCHITECTURAL DAVID DOW, DIAMOND SCHMITT ARCHITECTS 384 ADELAIDE STREET WEST, SUITE 100, TORONTO, ON, M5V 1R7 (604) 862-8800 X 209, DDOW@DSAI.CA	LANDSCAPE KELTY MCKINNON, PFS STUDIO 1777 WEST 3RD AVENUE, VANCOUVER, BC, V6J 1K7 (604) 736-5168 X 138, KMCKINNON@PFS.BC.CA
CIVIL ROSS TUCK, J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE, VICTORIA, BC, V8Z 4B7 (250) 727-2214, RTUCK@JEANDERSON.COM	TRANSPORTATION JASON POTTER, BLUNT & ASSOCIATES ENGINEERING LTD. SUITE 530, 645 FORT STREET, VICTORIA, BC, V8W 1G2 (250) 592-6122, JPOTTER@BLUNTENG.COM
STRUCTURAL CLINT PLETT, READ JONES CHRISTOFFERSEN, LTD. (778) 746-1125, CPLETT@RJLC.CA	MECHANICAL ANDY CHONG, INTEGRAL GROUP SUITE 101, 1019 WHARF STREET, VICTORIA, BC, V8W 2Y9 (250) 418-1288 X 5001, ACHONG@INTEGRALGROUP.COM
ELECTRICAL ANCA COJOCARU, INTEGRAL GROUP SUITE 180, 200 GRANVILLE STREET, VANCOUVER, BC, V6C 1S4 (604) 687-1800 X 2097, ACOJOCARU@INTEGRALGROUP.COM	SUSTAINABILITY EMILY CODOLIN, INTEGRAL GROUP SUITE 180, 200 GRANVILLE STREET, VANCOUVER, BC, V6C 1S4 (604) 687-1800 X 2040, ECODLIN@INTEGRALGROUP.COM
CODE FRANK MATTIA, LMDG 4TH FLOOR, 780 BEATTY STREET, VANCOUVER, BC, V6B 2M1 (604) 682-7146 X 419, FMATTIA@LMDG.COM	

CIVIC ADDRESS:  
749 DOUGLAS STREET, VICTORIA, BC

LEGAL DESCRIPTION:  
LOT 1 OF LOTS 207, 209, 210, 228, AND 1270B  
VICTORIA, PLAN 31886

PROJECT DETAILS

EXISTING ZONING: CA-4

EXISTING USE: CAR RENTAL & PARKING LOT

PROPOSED USE: OFFICE & COMMERCIAL

Project Information Table	
Zone (Existing)	CA-4
Proposed zone or site specific zone (if unsure, state "new zone")	New zone
Site area (m²)	2581.95
Total floor area (m²)	13415.76
Commercial floor area (m²)	367.26
Floor space ratio	5.20
Site coverage (%)	63.14%
Open site space (%)	35.15%
Height of building (m)	53.21
Number of storeys	12
Parking stalls (number) on site	116 compliant ( total 126 )
Bicycle parking number (Class 1 and Class 2)	100+42
Building Setbacks (m)	
Front yard	2.50 (Douglas Street to overhang)
Rear yard	2.25 (Penwell Connection)
Side yard (indicate which side)	0.038 (Humboldt Street to overhang)
Side yard (indicate which side)	n/a
Combined side yards	n/a
Residential Use Details	
Total number of units	n/a
Unit type e.g., 1 bedroom	n/a
Ground-oriented units	n/a
Minimum unit floor area (m²)	n/a
Total residential floor area (m²)	n/a

Vehicle parking requirements in Core Area			
Use	Floor Area (sm)	Ratio (stall / sm)	Stalls req'd
Office	11640.51	1/70	167
Medical Office	1408	1/50	29
Restaurant	273.5	1/40	7
Retail	93.75	1/80	2
205			

Bicycle parking requirements		Long term		Short term	
Use	Floor Area (sm)	Ratio (stall / sm)	Stalls req'd	Ratio (stall / sm)	Stalls req'd
Office	11640.51	1/150	78	1/400	30
Medical Office	1276.8	1/200	7	1/300	5
Restaurant	273.5	1/400	1	1/100	3
Retail	93.75	1/200	1	1/200	1
long term:			87	short term:	39

OPEN SITE SPACE		SITE COVERAGE	
Structure & Driveways		Main Building Area Footprint (m2) =	
Main Building Area Footprint (m2) =	1508.12	Parking Entry Above 1.2m (m2)=	122.02
Parking Ramp (m2)=	122.2	Total (m2)	1630.14 A
Driveways (m2)=	44.02	Lot Area (m2)	2581.95 B
Total (m2)	1674.34 A	Site Coverage = A/B *100%=	63.14%
Lot Area (m2)	2581.95 B		
Open Area (m2) = B-A	907.61 C		
Open Site Space = C/B * 100%=	35.15%		

CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB.

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NOT FOR CONSTRUCTION

ISSUED

No.	Date	Description
2	2020.07.15	Rezoning-DP Application
3	2020.11.09	Rezoning-DP Application Revision
8	2021.04.16	Rezoning-DP Application Revision 2
9	2021.04.23	Rezoning-DP Application Revision 3
11	2021.05.25	Rezoning-DP Application Revision 4

CITY OF VICTORIA

Revisions

Received Date:  
June 17, 2021

Diamond Schmitt Architects  
384 Adelaide Street West, Suite 100, Toronto, Canada M5V1R7  
Tel: 416 862 8800 Fax: 416 862 5508 info@dsai.ca www.dsai.ca



TELUS OCEAN

749 Douglas St, Victoria, BC

COVER SHEET

Scale:  
Project No: 1911  
Date: 2021/05/25

A.000

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## SITE-EXISTING

## A.001

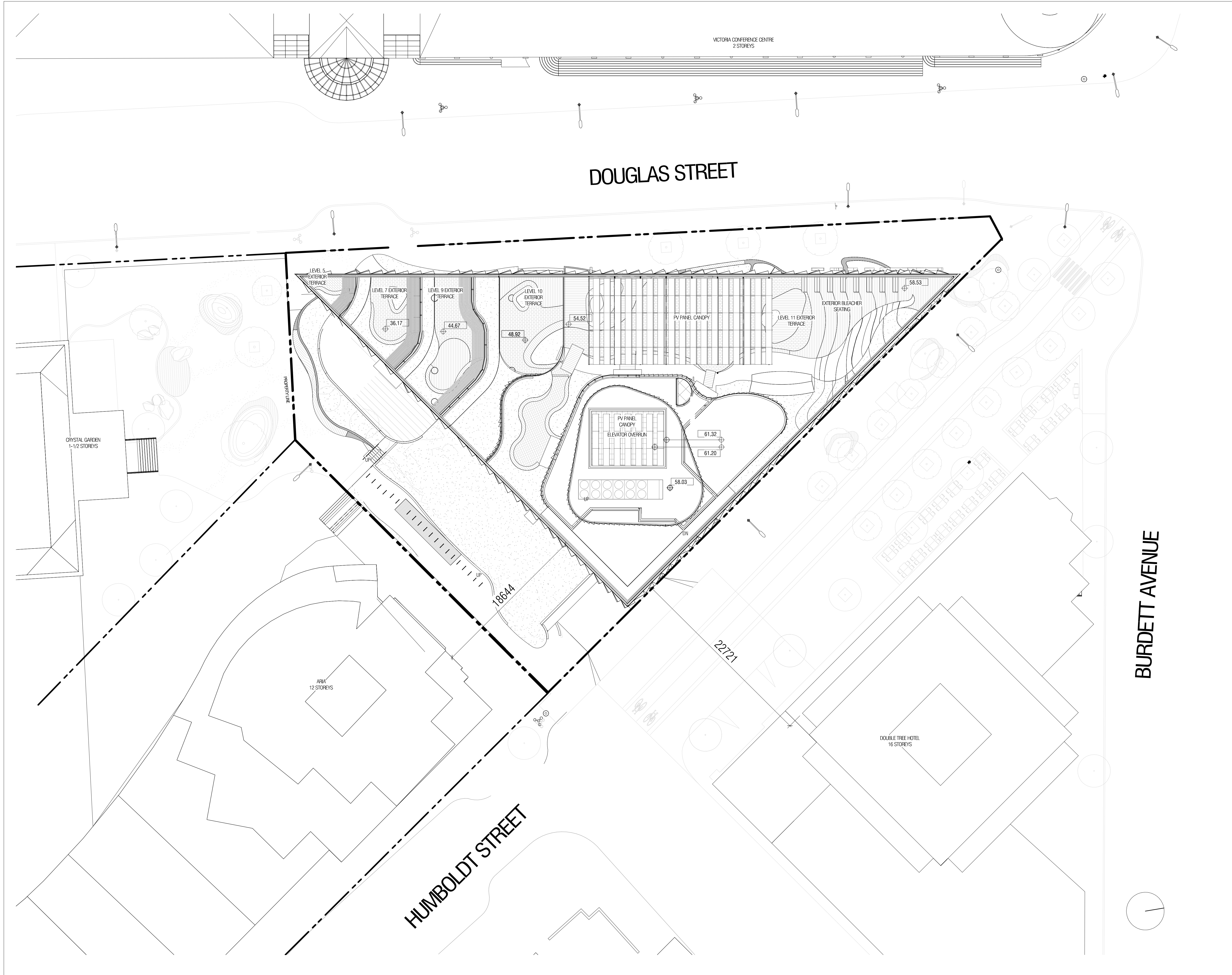
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LEGEND - PLAN SYMBOLS:



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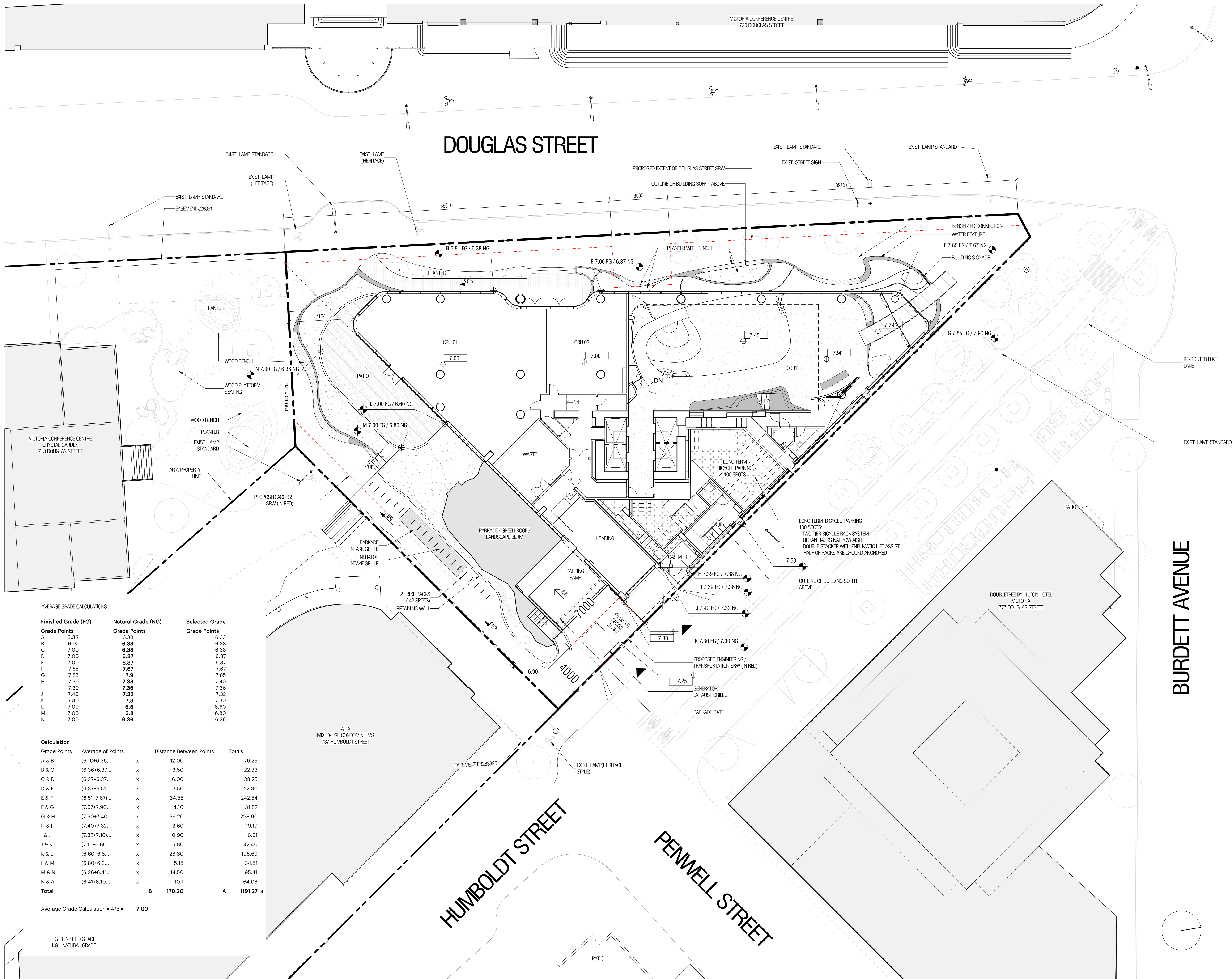
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749 Douglas St, Victoria, BC

SITE PLAN

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.010



AVERAGE GRADE CALCULATIONS

Finished Grade (FG)	Natural Grade (NG)	Selected Grade
Grade Points	Grade Points	Grade Points
A 6.33	6.38	6.33
B 6.92	6.38	6.38
C 7.00	6.38	6.38
D 7.00	6.37	6.37
E 7.00	6.37	6.37
F 7.85	7.67	7.67
G 7.85	7.9	7.85
H 7.39	7.38	7.40
I 7.39	7.36	7.36
J 7.40	7.32	7.32
K 7.30	7.3	7.30
L 7.00	6.6	6.60
M 7.00	6.8	6.80
N 7.00	6.36	6.36

Calculation	Average of Points	Distance Between Points	Totals
Grade Points			
A & B	(6.10+6.36...) x	12.00	76.26
B & C	(6.36+6.37...) x	3.50	22.33
C & D	(6.37+6.37...) x	6.00	38.25
D & E	(6.37+6.51...) x	3.50	22.30
E & F	(6.51+7.67...) x	34.55	242.54
F & G	(7.67+7.90...) x	4.10	31.82
G & H	(7.90+7.40...) x	39.20	298.90
H & I	(7.40+7.32...) x	2.60	19.19
I & J	(7.32+7.16...) x	0.90	6.61
J & K	(7.16+6.60...) x	5.80	42.40
K & L	(6.60+6.8...) x	28.30	196.69
L & M	(6.80+6.3...) x	5.15	34.51
M & N	(6.36+6.41...) x	14.50	95.41
N & A	(6.41+6.10...) x	10.1	64.08
Total		B 170.20	A 1191.27 a

Average Grade Calculation = A/B = 7.00

FG=FINISHED GRADE  
NG=NATURAL GRADE

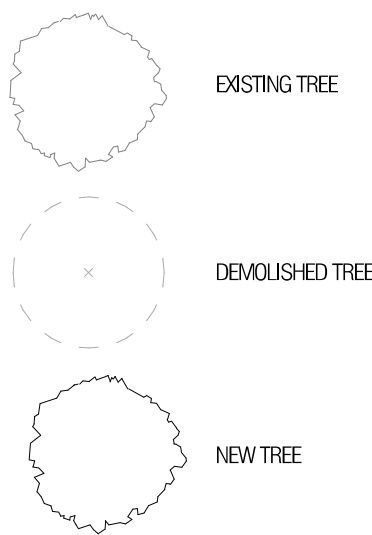
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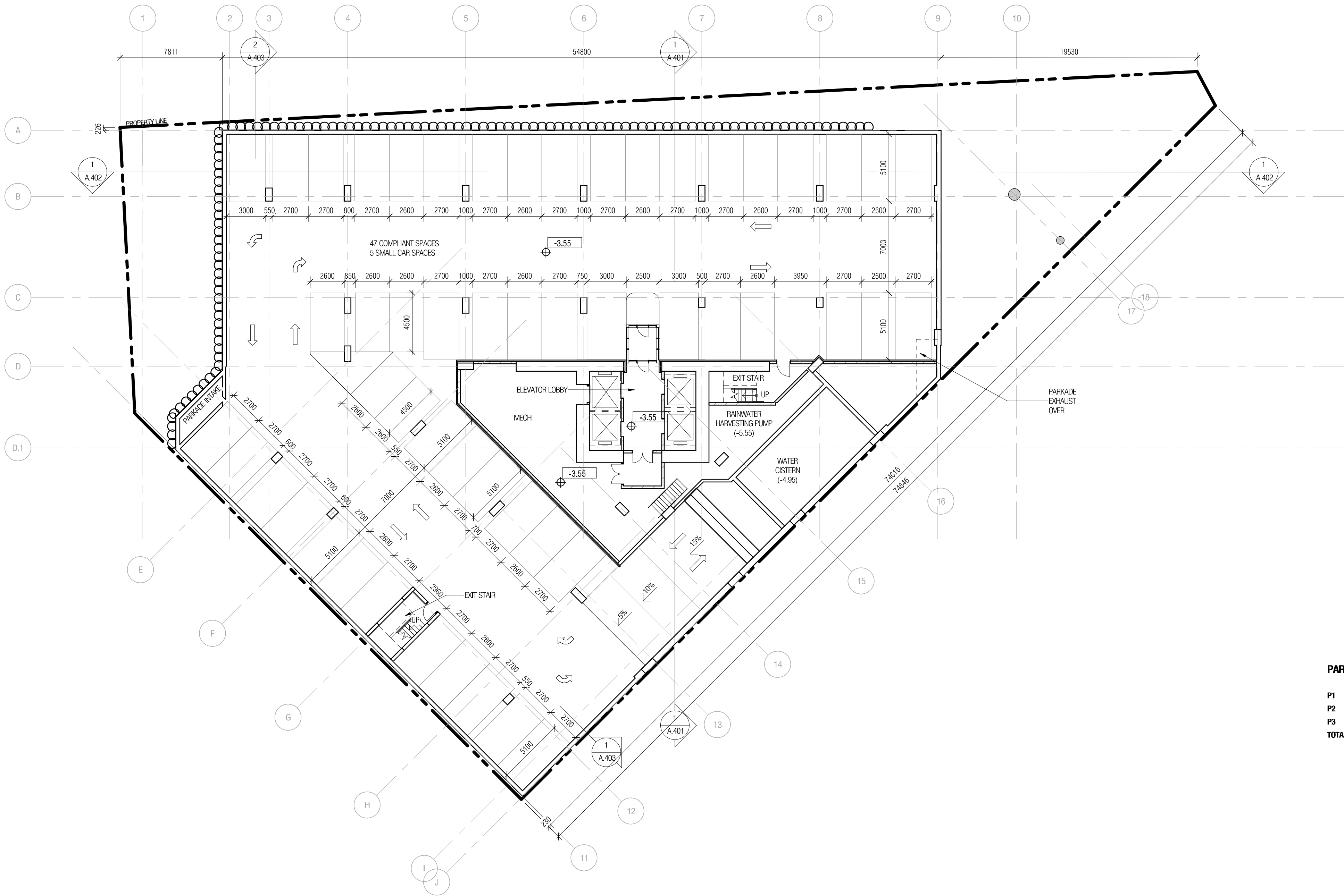
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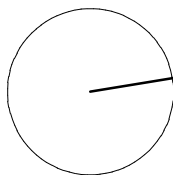
SITE PLAN - GROUND PLANE

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.011



PARKING STALL COUNT		
	COMPLIANT	SMALL CAR
P1	25	
P2	44	5
P3	47	5
TOTAL	116	10



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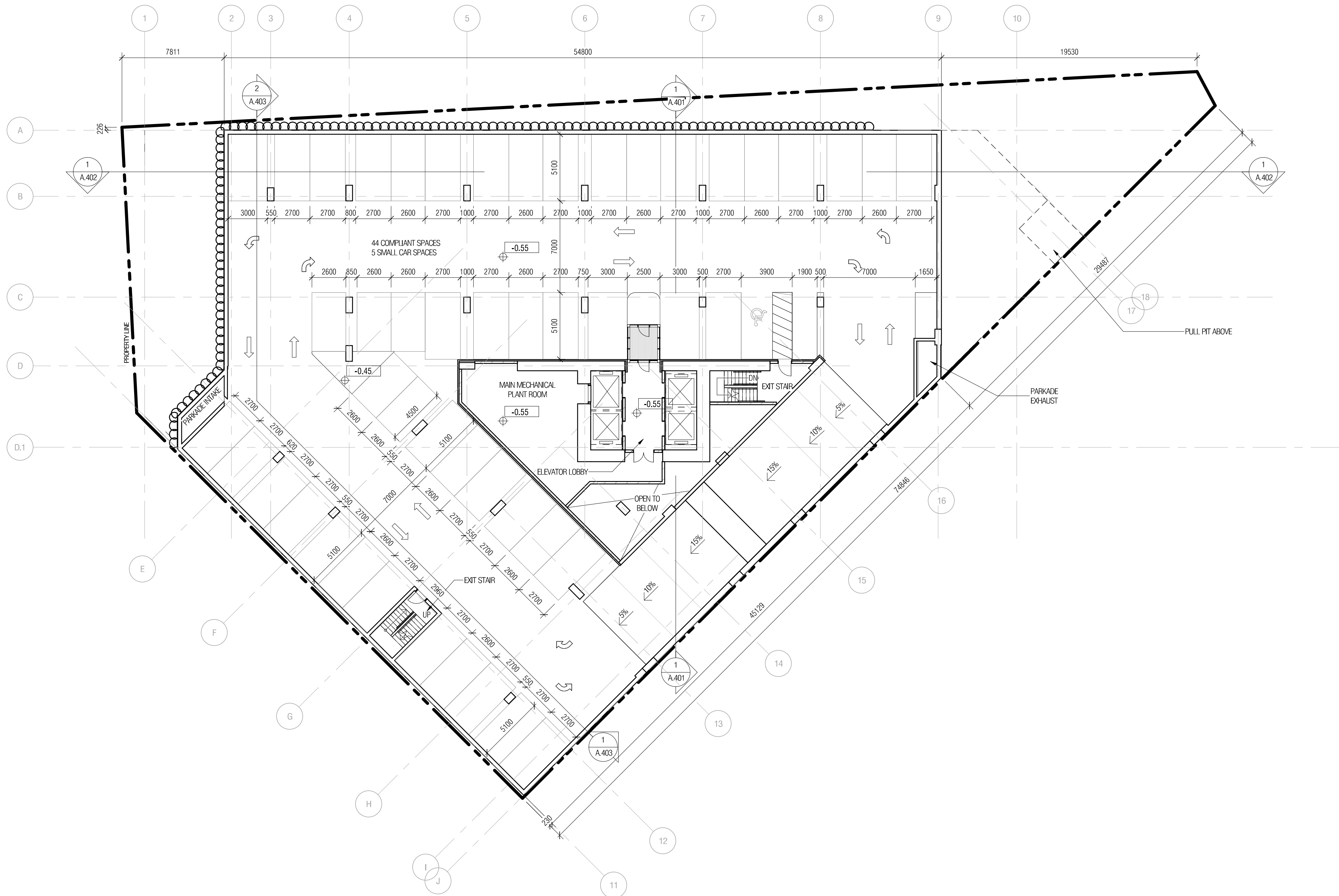
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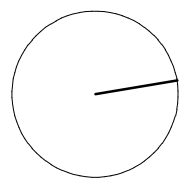
PLAN - LEVEL P3 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.101



PARKING STALL COUNT		
	COMPLIANT	SMALL CAR
P1	25	
P2	44	5
P3	47	5
TOTAL	116	10



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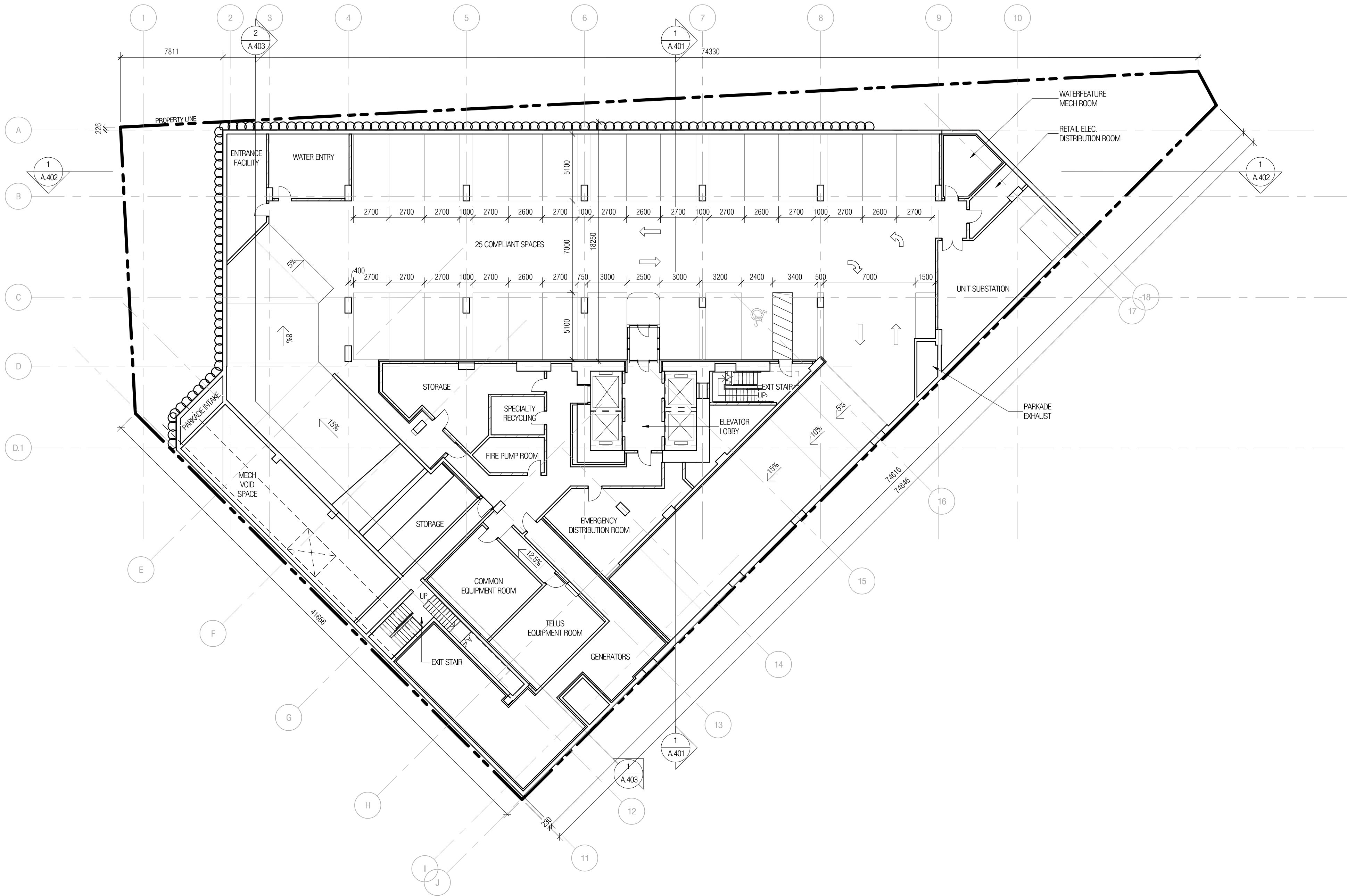
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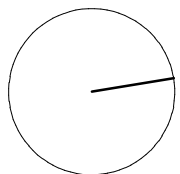
PLAN - LEVEL P2 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.102



PARKING STALL COUNT		
	COMPLIANT	SMALL CAR
P1	25	
P2	44	5
P3	47	5
TOTAL	116	10



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TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL P1 - REZONING

Scale: 1 : 200  
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A.103

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749 Douglas St, Victoria, BC

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## A.104



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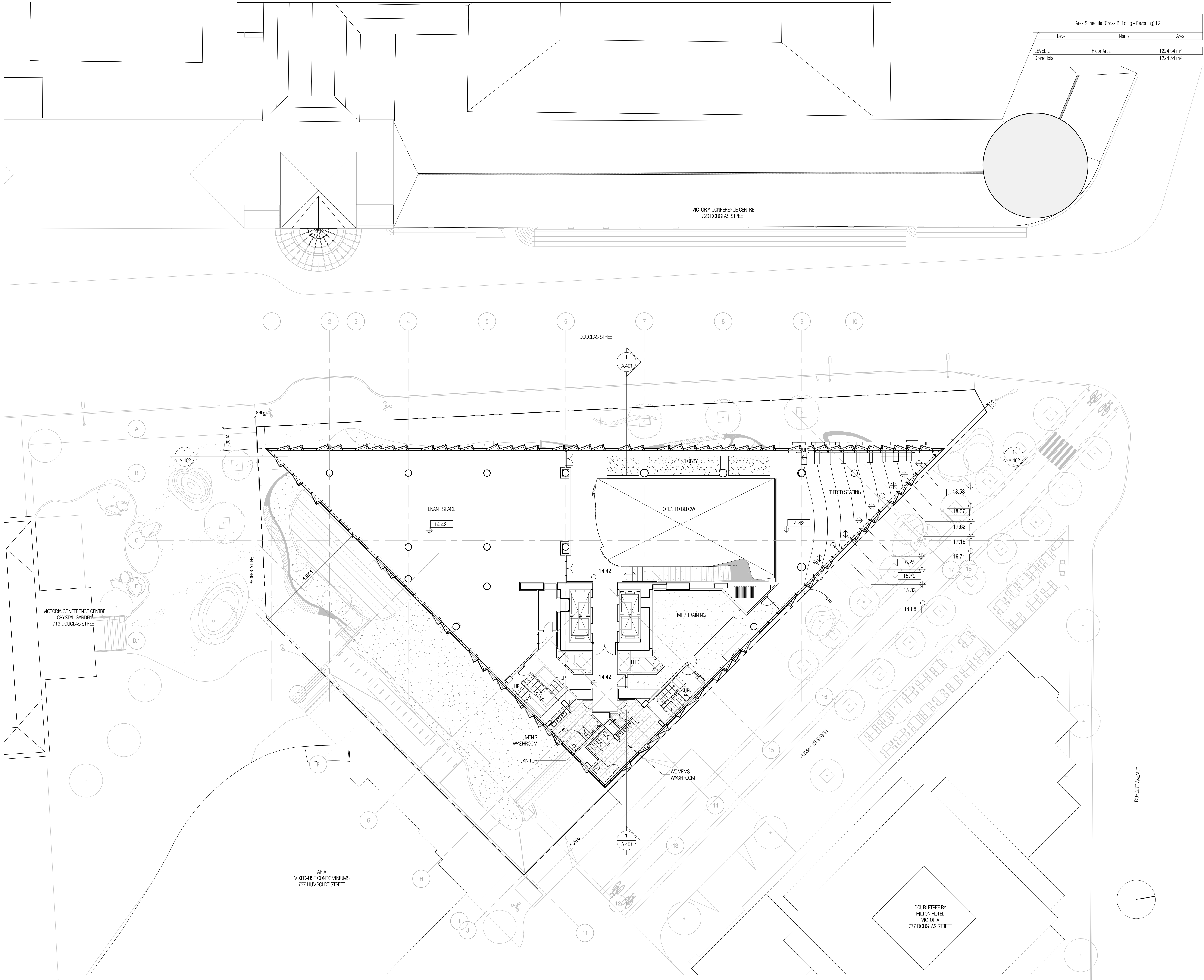
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**A.105**

BM 3802/1911-Telus Ocean-R201911\_ARCH\_DSA\_Building\_F202.rvt

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Area Schedule (Gross Building - Rezoning) L2		
Level	Name	Area
LEVEL 2	Floor Area	1224.54 m²
Grand total: 1		1224.54 m²

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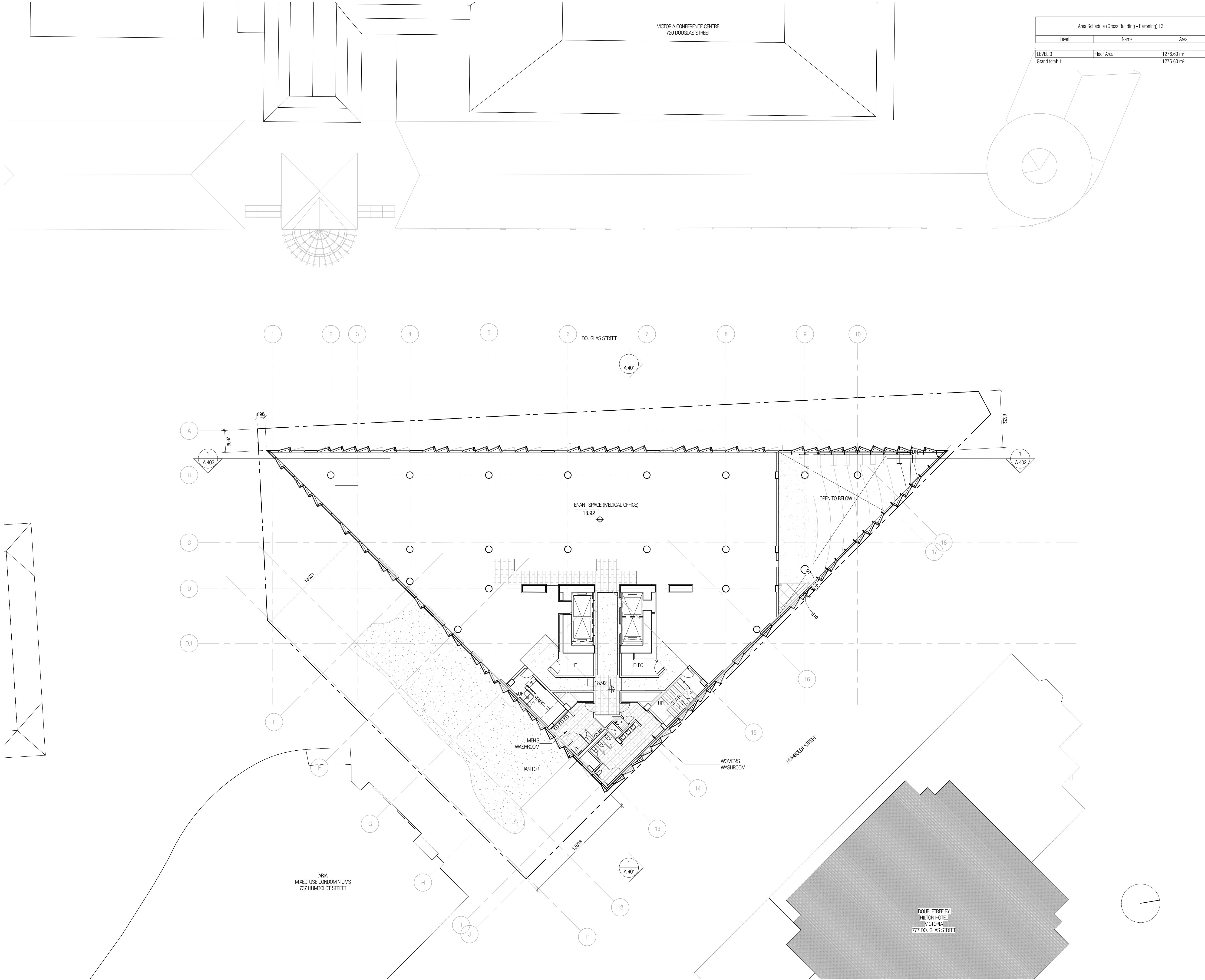


TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL 2 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25



Area Schedule (Gross Building - Rezoning) L3		
Level	Name	Area
LEVEL 3	Floor Area	1276.60 m <sup>2</sup>
Grand total: 1		1276.60 m <sup>2</sup>

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PLAN - LEVEL 3 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

BMI\_3802/1911-Telus Ocean-R201911\_ARCH\_DSA\_Building\_F02.rvt

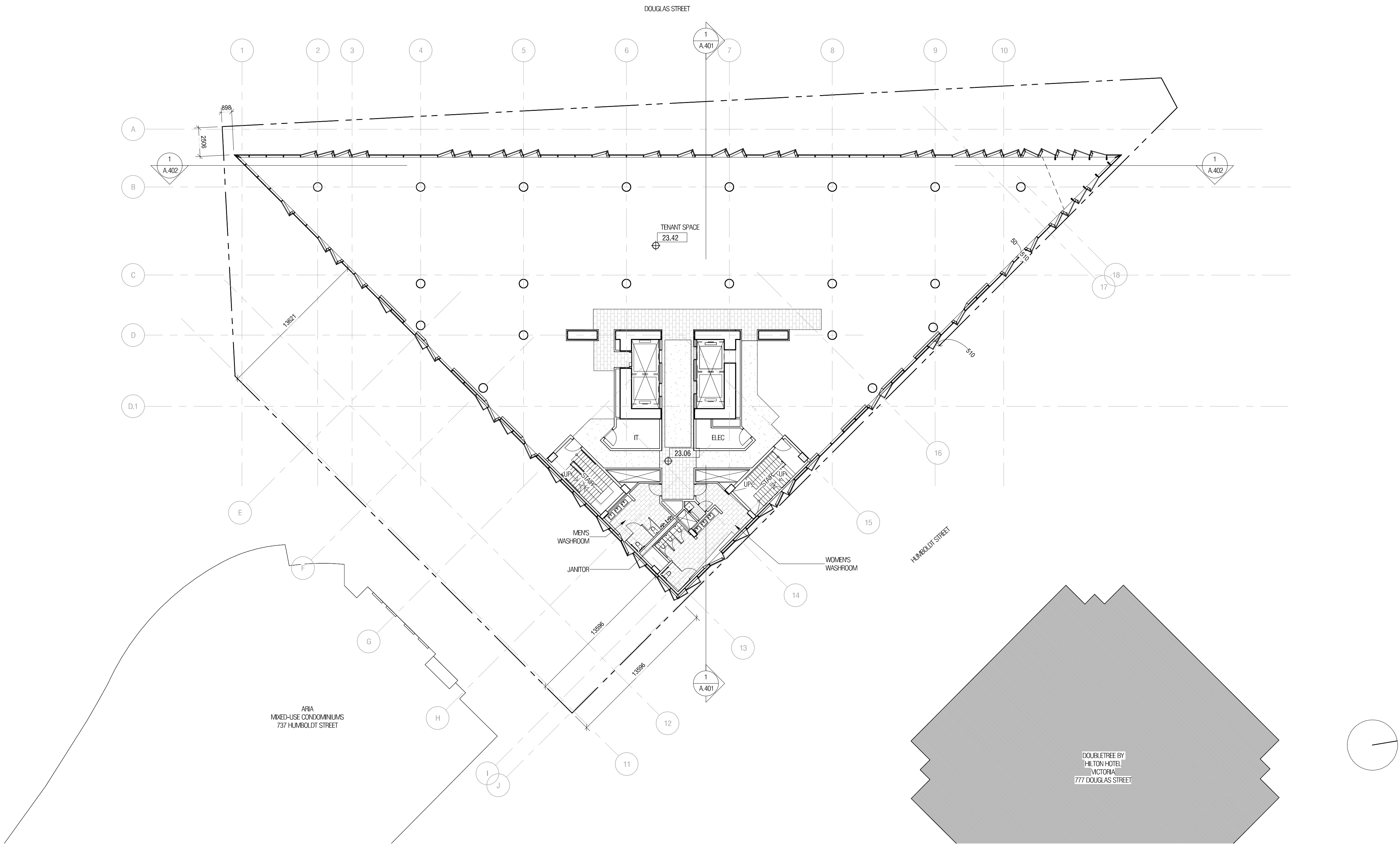
2021-05-25 11:25:50 AM

Area Schedule (Gross Building - Rezoning) L4		
Level	Name	Area
LEVEL 4	Floor Area	1458.48 m²
Grand total: 1		1458.48 m²

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NOT FOR  
CONSTRUCTION

ISSUED		
No.	Date	Description
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2	2020.07.15	Rezoning-DP Application
3	2020.11.09	Rezoning-DP Application Revision
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11	2021.05.25	Rezoning-DP Application Revision 4



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TELUS OCEAN

749 Douglas St, Victoria, BC

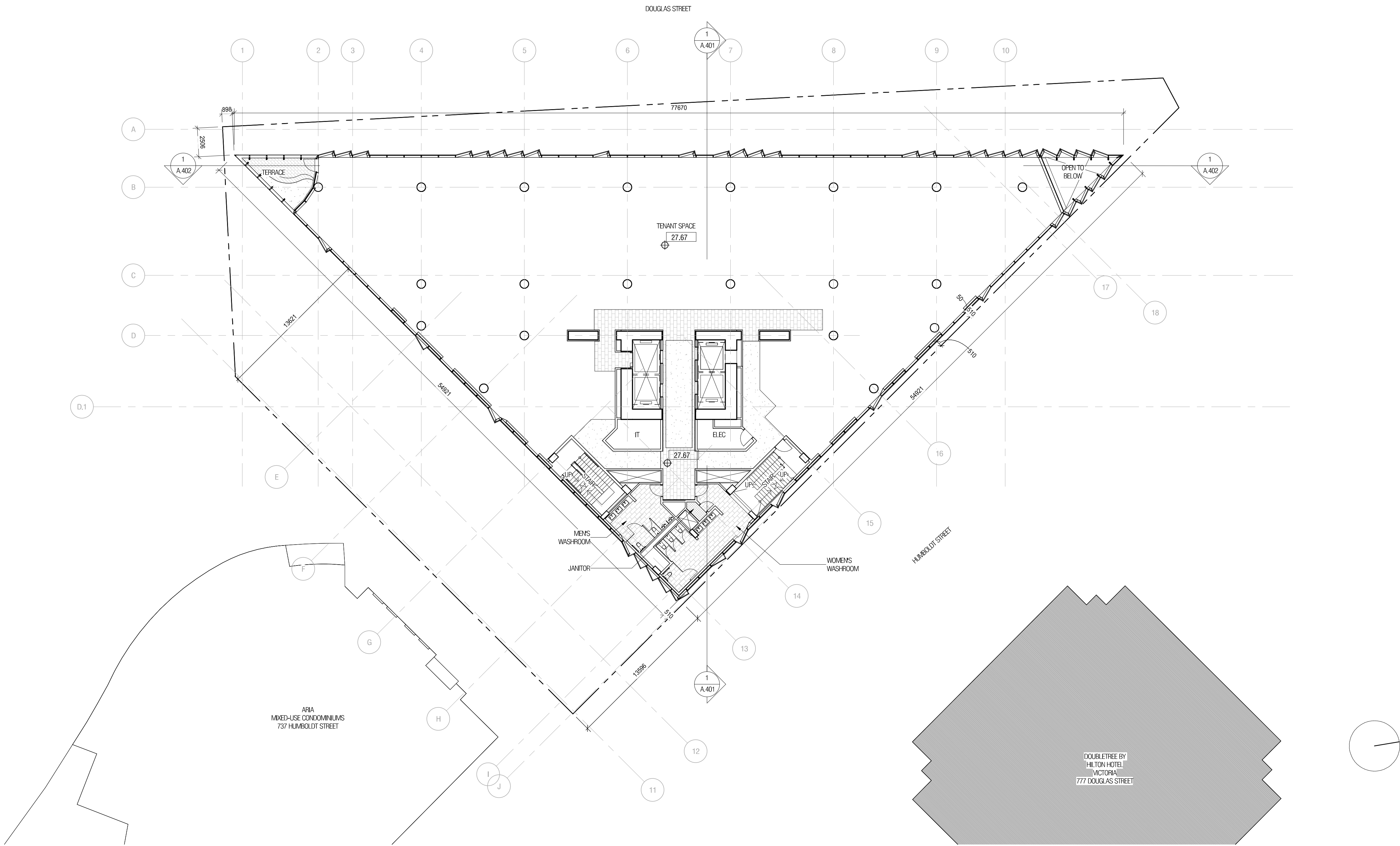
PLAN - LEVEL 4 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

BMI-3802/1911-Telus Ocean-R201911\_ARCH\_DS4\_Building\_F20.rvt

2021-05-25 11:25:55 AM

Area Schedule (Gross Building - Rezoning) L5		
Level	Name	Area
LEVEL 5	Floor Area	1417.53 m <sup>2</sup>
Grand total: 1		1417.53 m <sup>2</sup>



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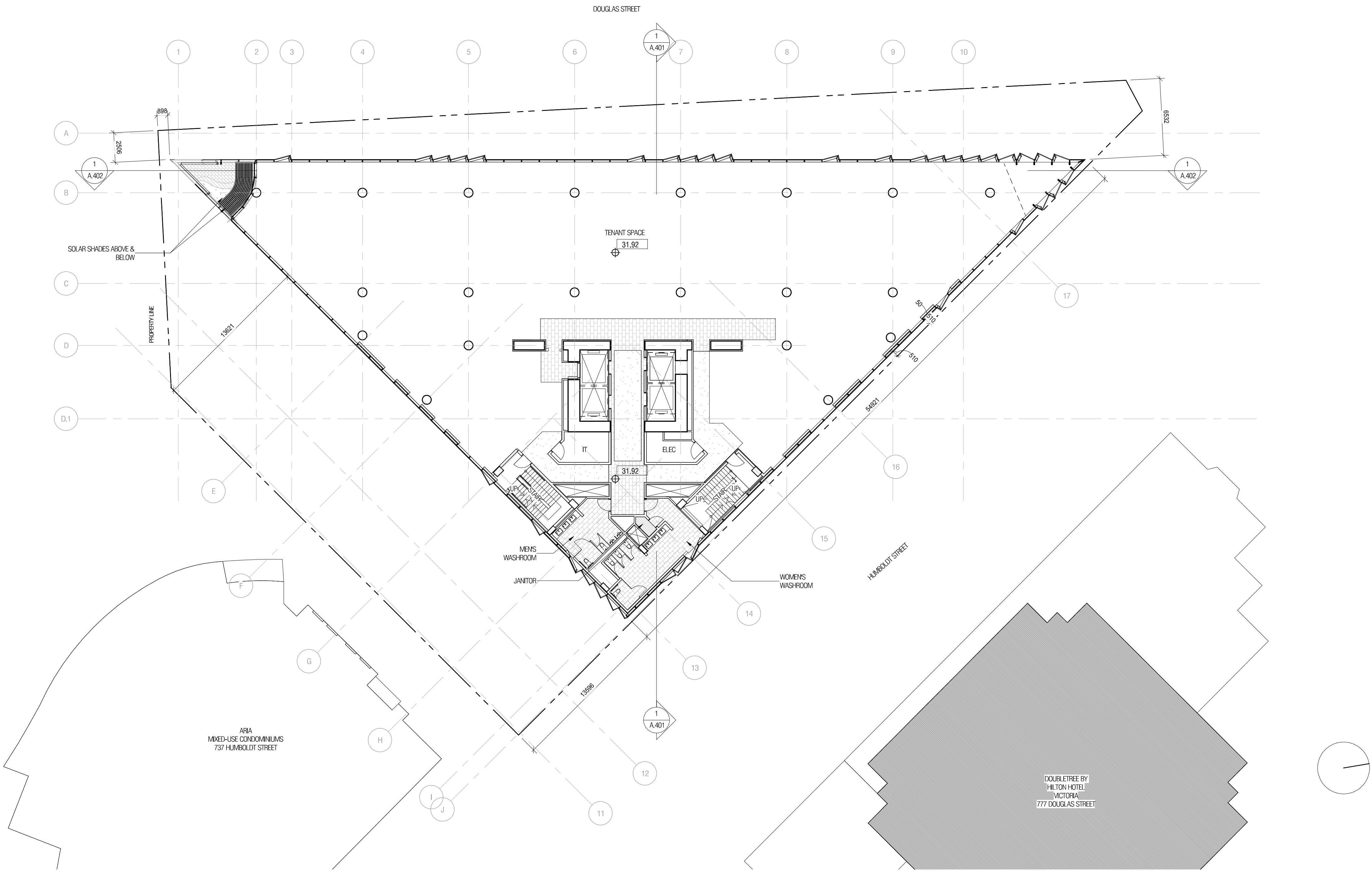
PLAN - LEVEL 5 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.109

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2021-05-25 11:25:59 AM



Area Schedule (Gross Building - Rezoning) L6		
Level	Name	Area
LEVEL 6	Floor Area	1434.83 m <sup>2</sup>
Grand total: 1		1434.83 m <sup>2</sup>

NOT FOR  
CONSTRUCTION

#### ISSUED

No.	Date	Description
1	2020.06.30	Rezoning Pre-application
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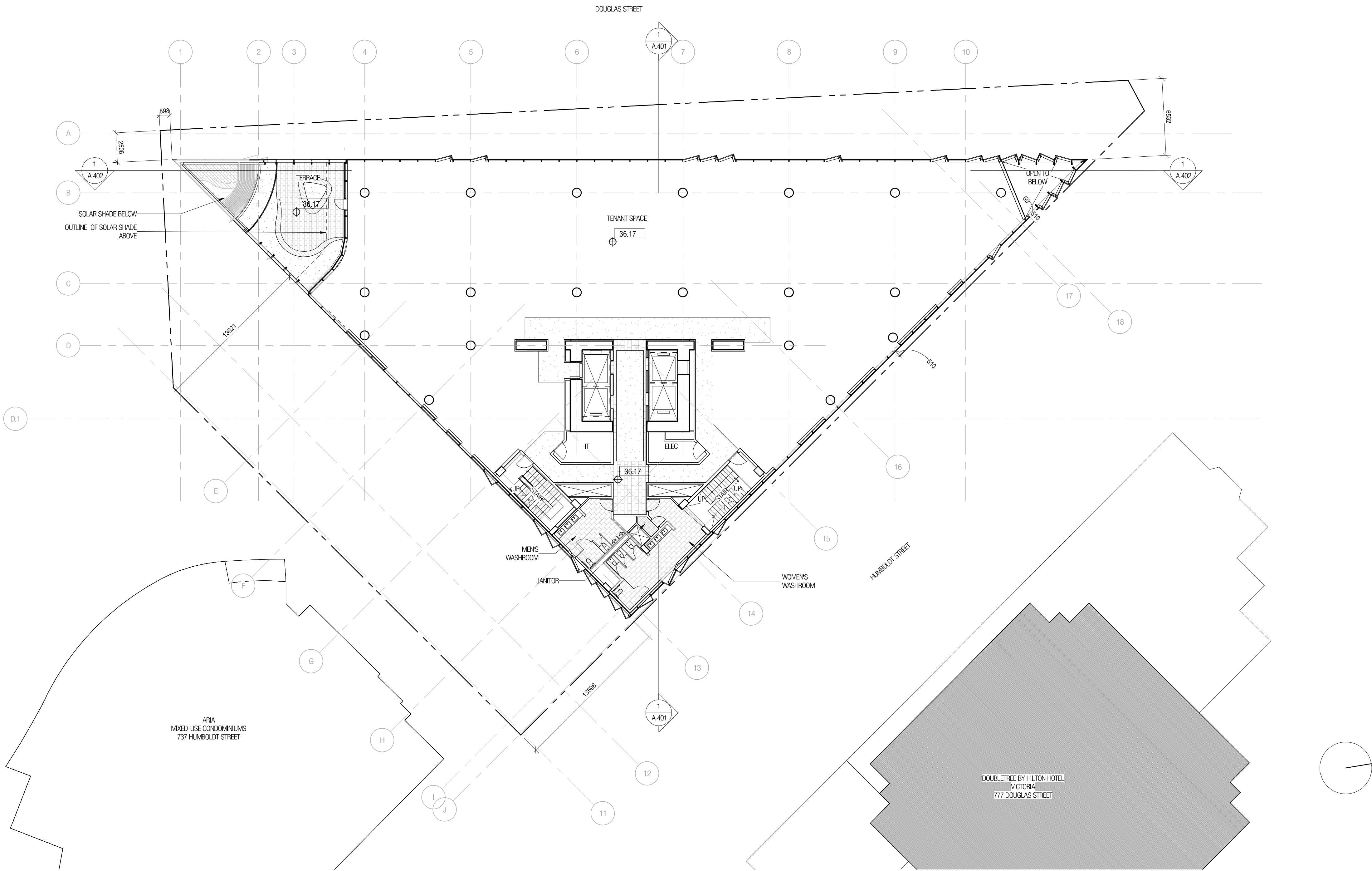
#### PLAN - LEVEL 6 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.110

BM 3802/1911-Telus Ocean-R201911\_ARCH\_DS4\_Building\_F02.rvt

2021-05-25 11:25:04 AM



Area Schedule (Gross Building - Rezoning) L7		
Level	Name	Area
LEVEL 7	Floor Area	1336.53 m²
Grand total: 1		1336.53 m²

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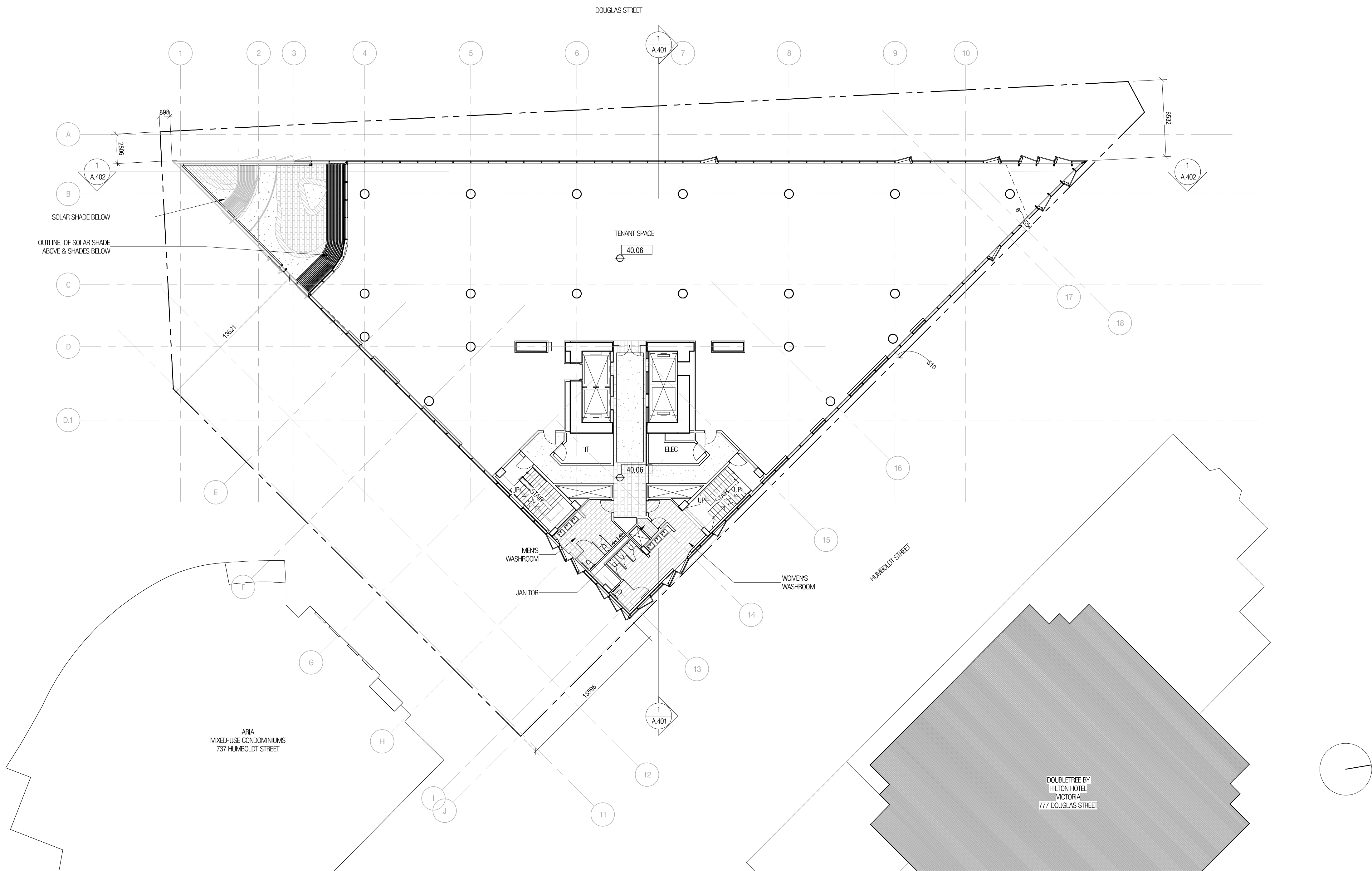
PLAN - LEVEL 7 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.111

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2021-05-25 11:25:09 AM



Area Schedule (Gross Building - Rezoning) L8		
Level	Name	Area
LEVEL 8	Floor Area	1358.54 m²
Grand total: 1		1358.54 m²

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PLAN - LEVEL 8 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.112

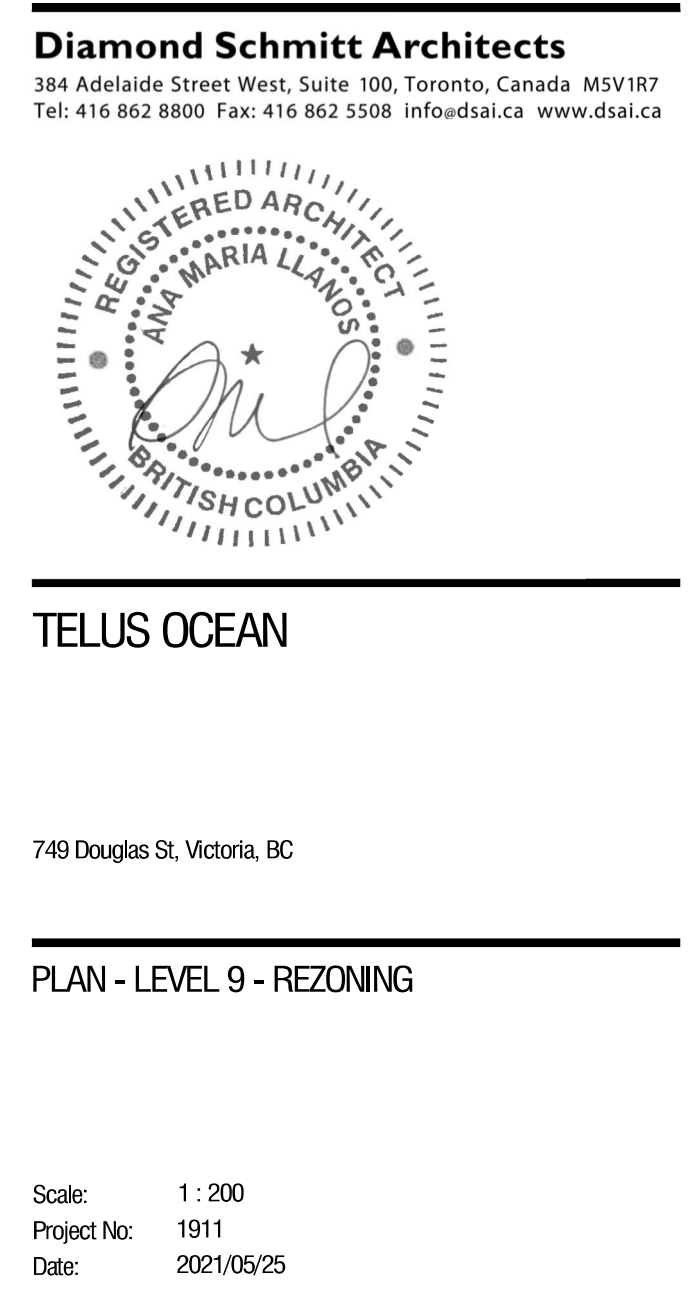
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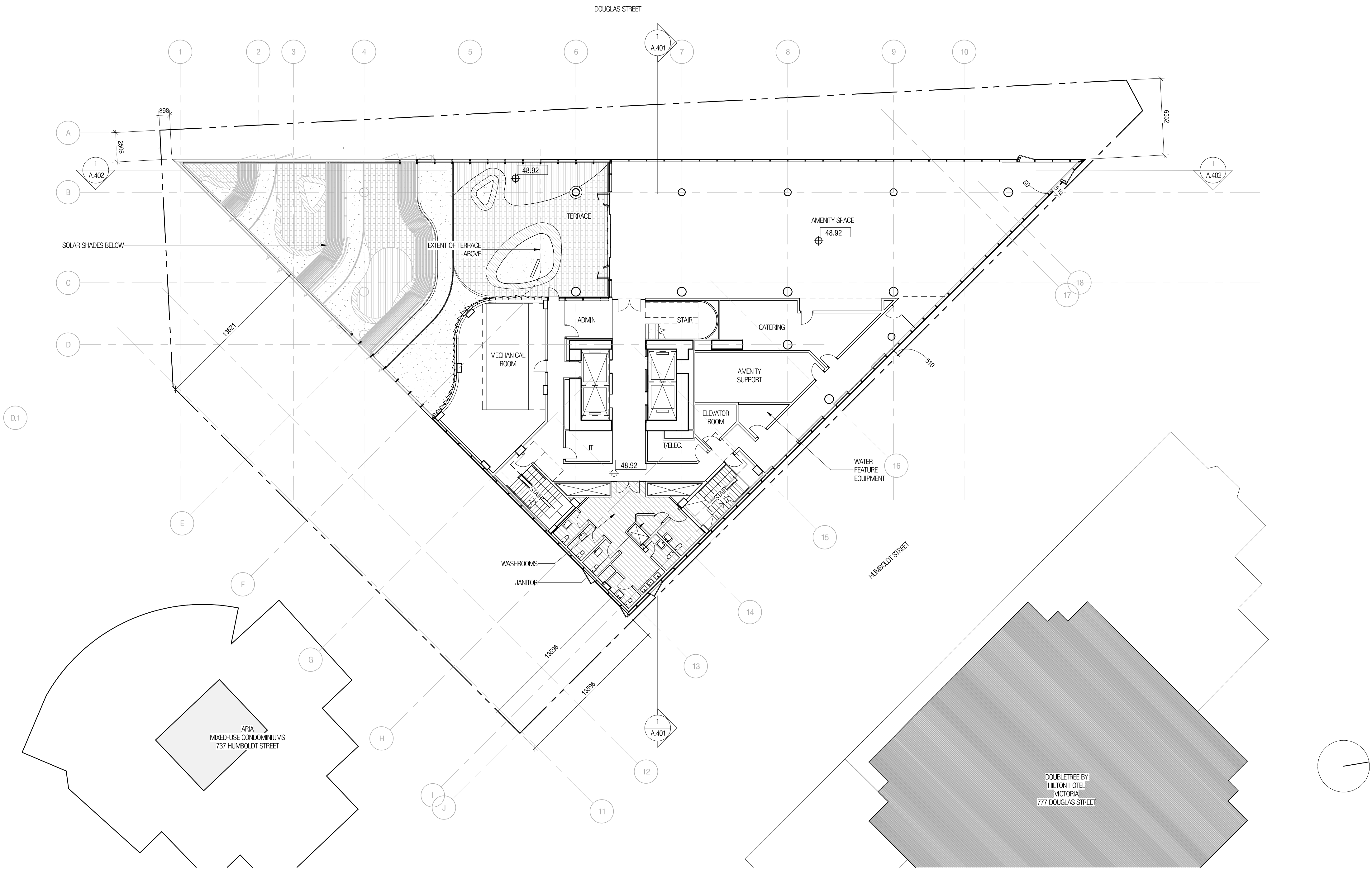
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Area Schedule (Gross Building - Rezoning) L10		
Level	Name	Area
LEVEL 10	Floor Area	1007.64 m²
Grand total: 1		1007.64 m²



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PLAN - LEVEL 10 - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.114

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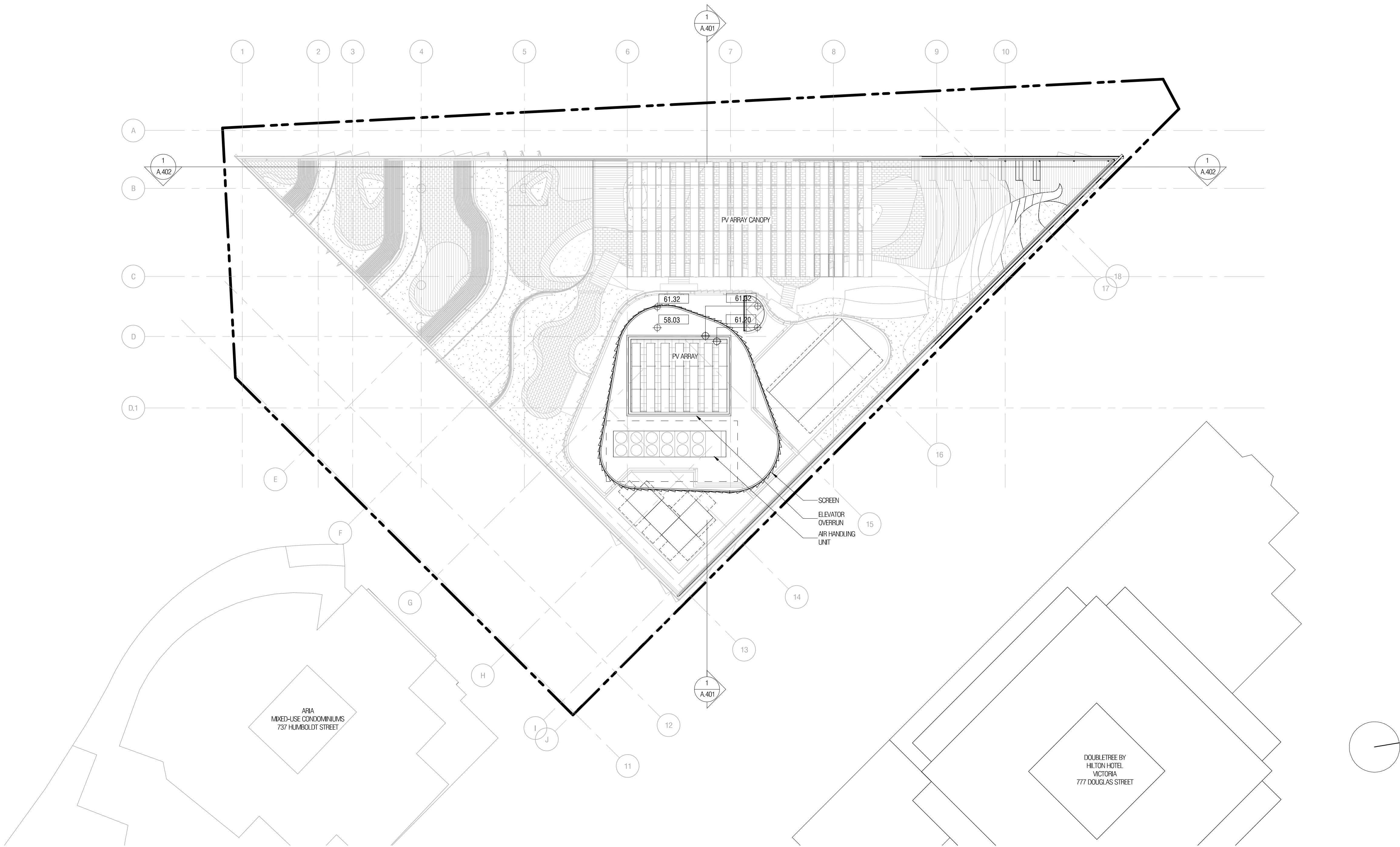
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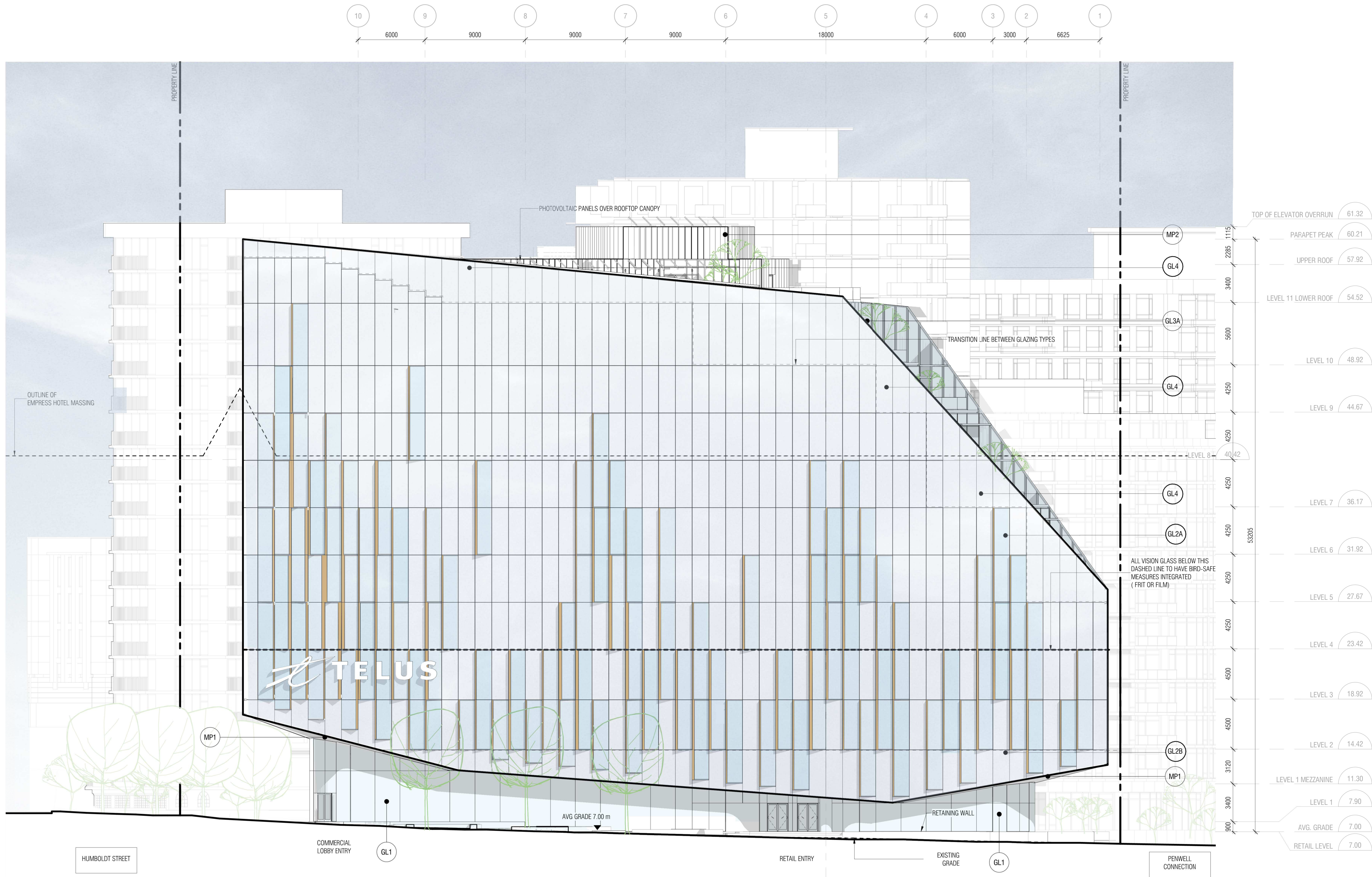
PLAN - UPPER ROOF - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.116

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TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - WEST - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.301

LEGEND

- GL1

CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)  
W/ BIRD-SAFE INTERLAYER FILM
- GL2A

CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2A);  
GLASS TO HAVE BIRD-SAFE FRIT PATTERN WHEN WITHIN 16 METRES OF  
GRADE OR WITHIN 5 METRES OF VEGETATION
- GL2B

CAPLESS INSULATED BACK-PAINTED GLASS SPANDREL PANEL  
CURTAIN WALL (GLASS TYPE 2B)
- GL3A

CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3A);  
GLASS TO HAVE BIRD-SAFE FRIT PATTERN WHEN WITHIN 16 METRES OF  
GRADE OR WITHIN 5 METRES OF VEGETATION
- GL3B

CAPPED INSULATED BACK-PAINTED GLASS SPANDREL PANEL  
CURTAIN WALL (GLASS TYPE 3B)
- GL4

CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 4) - WINDBREAK / GUARD
- GL5

GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 5)
- MP1

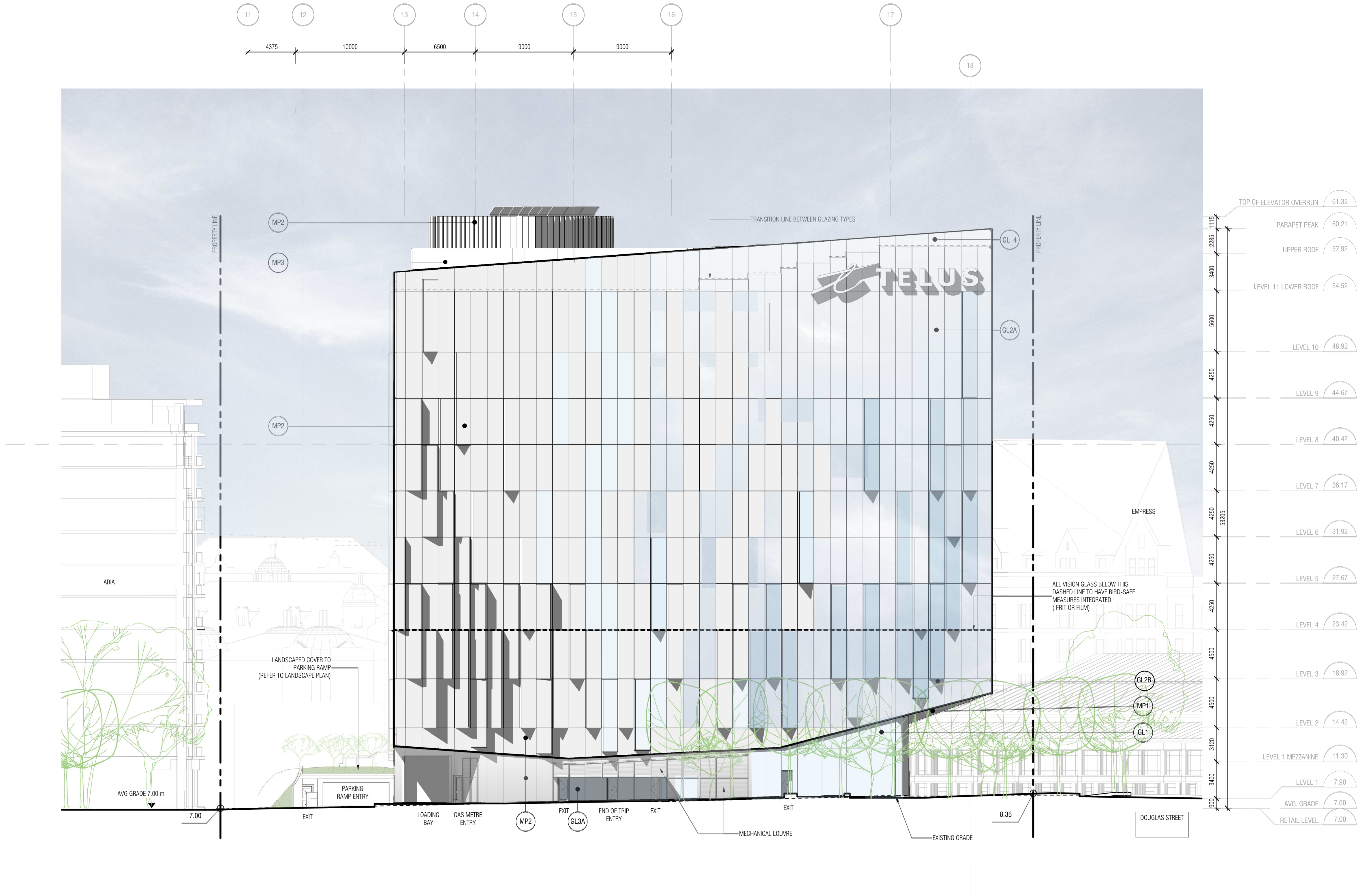
WOOD FINISH ALUMINUM METAL PANELS ( ANGLED PANEL RETURNS & SOFFITS)
- MP2

SATIN TINTED SILVER FINISH ALUMINUM METAL PANELS
- MP3

SATIN TINTED SILVER FINISH ACOUSTIC METAL SCREEN
- ST1

STONE CLADDING
- C1

ARCHITECTURAL CONCRETE (RETAINING WALLS)



ISSUED

No.	Date	Description
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TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - EAST - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

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CONSTRUCTION

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2021-05-25 11:27:26 AM

LEGEND

- GL1

CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)  
W/ BIRD-SAFE INTERLAYER FILM
- GL2A

CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2A);  
GLASS TO HAVE BIRD-SAFE FRIT PATTERN WHEN WITHIN 16 METRES OF  
GRADE OR WITHIN 5 METRES OF VEGETATION
- GL2B

CAPLESS INSULATED BACK-PAINTED GLASS SPANDREL PANEL  
CURTAIN WALL (GLASS TYPE 2B)
- GL3A

CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3A);  
GLASS TO HAVE BIRD-SAFE FRIT PATTERN WHEN WITHIN 16 METRES OF  
GRADE OR WITHIN 5 METRES OF VEGETATION
- GL3B

CAPPED INSULATED BACK-PAINTED GLASS SPANDREL PANEL  
CURTAIN WALL (GLASS TYPE 3B)
- GL4

CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 4) - WINDBREAK / GUARD
- GL5

GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 5)
- MP1

WOOD FINISH ALUMINUM METAL PANELS ( ANGLED PANEL RETURNS & SOFFITS)
- MP2

SATIN TINTED SILVER FINISH ALUMINUM METAL PANELS
- MP3

SATIN TINTED SILVER FINISH ACOUSTIC METAL SCREEN
- ST1

STONE CLADDING
- C1

ARCHITECTURAL CONCRETE (RETAINING WALLS)



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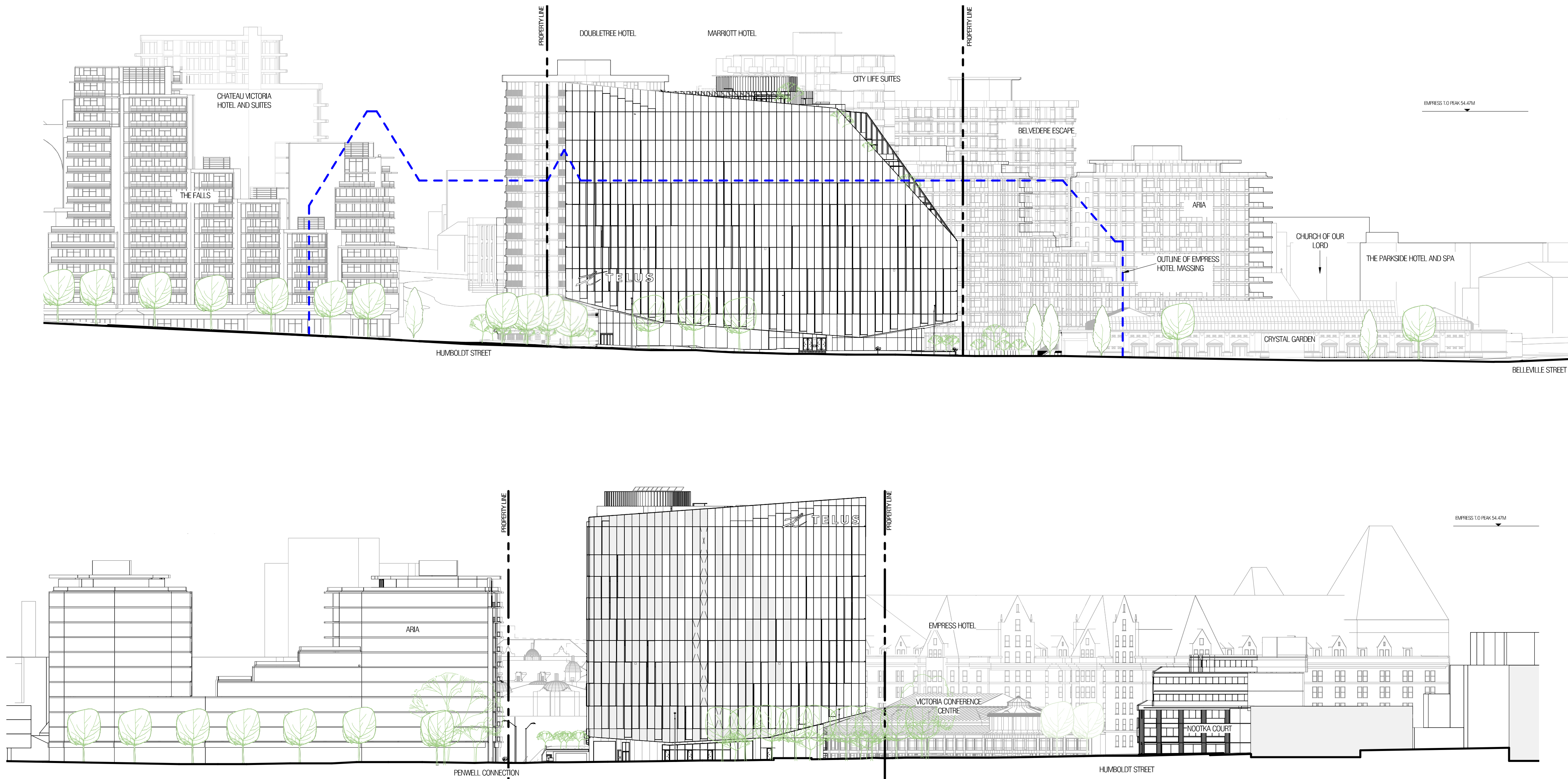
TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - SOUTH - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.303



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CONTEXT ELEVATIONS - REZONING

Scale: 1 : 500  
Project No: 1911  
Date: 2021/05/25

A.304



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CONSTRUCTION

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No.	Date	Description
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SECTION A - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

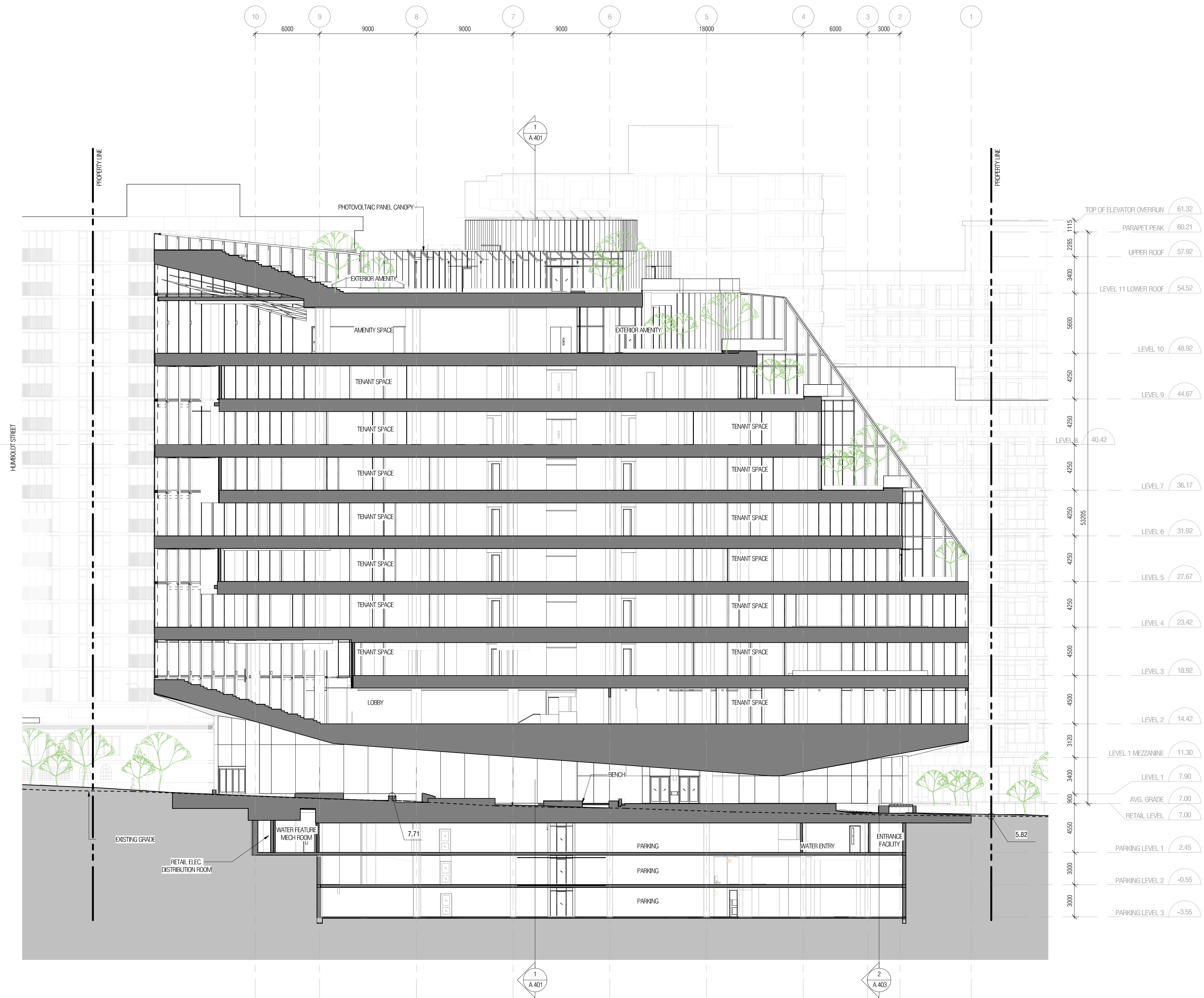
A.401

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Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

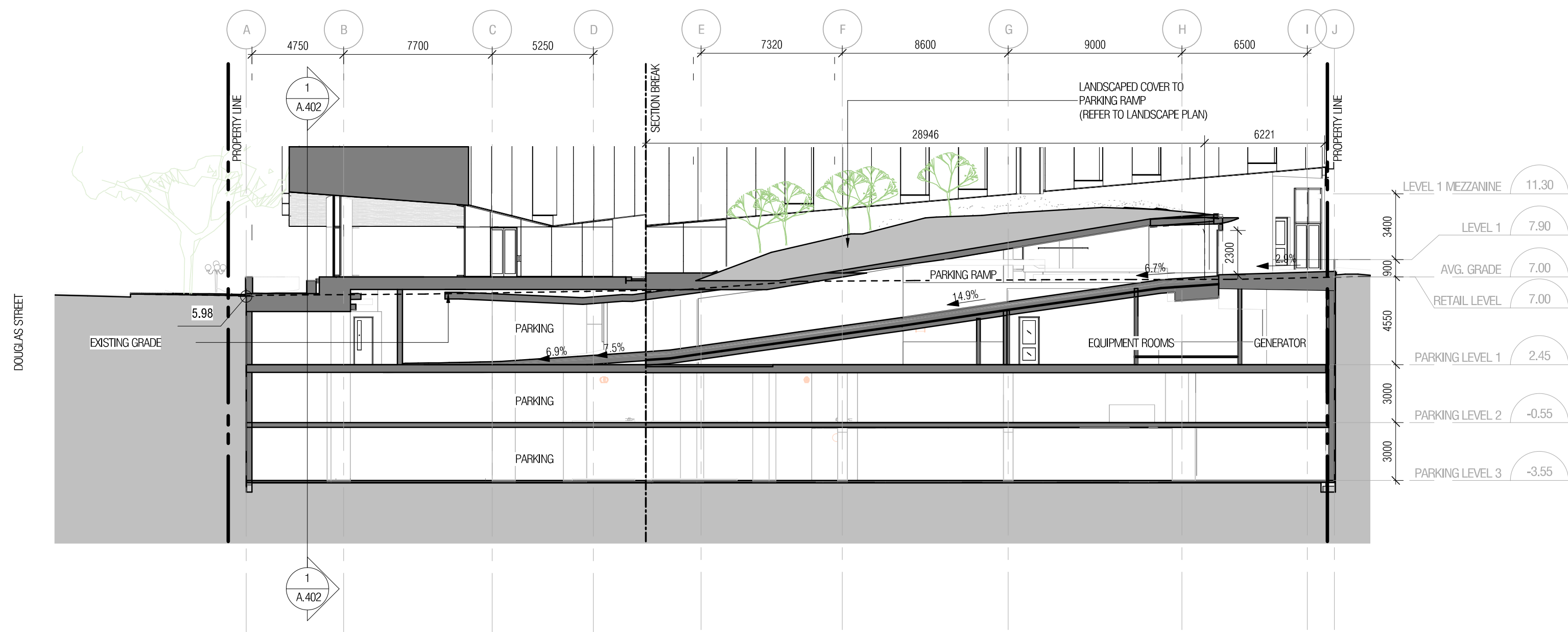
A.402

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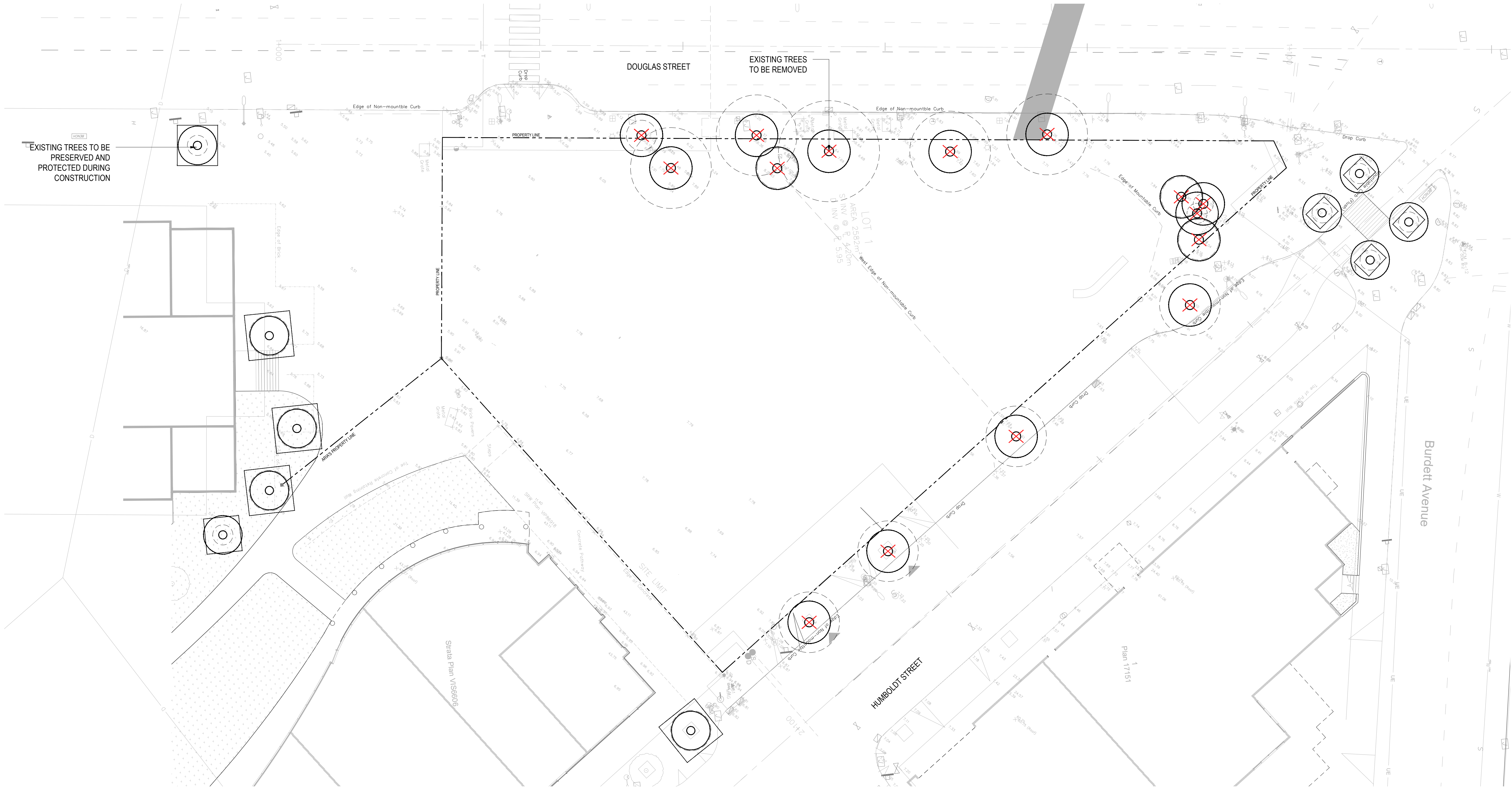
TELUS OCEAN

749 Douglas St, Victoria, BC

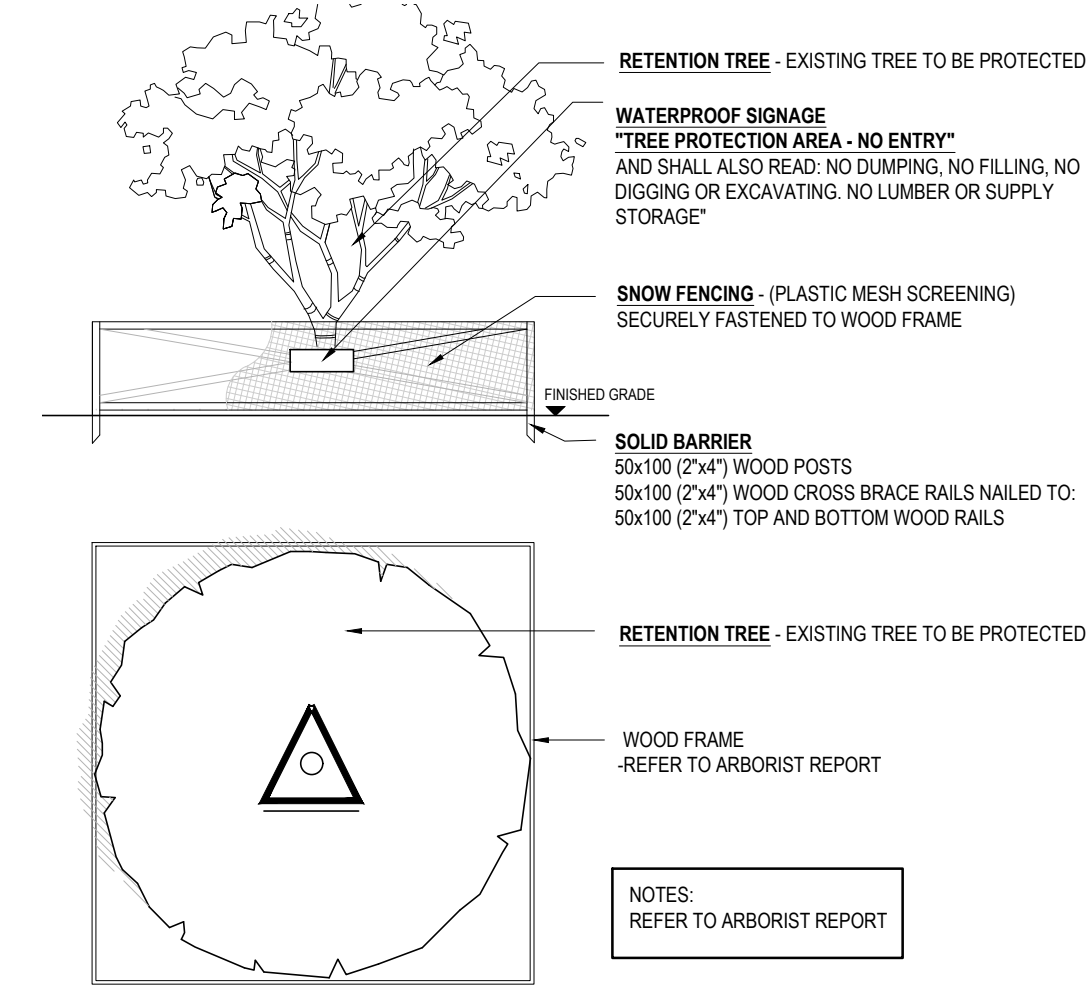
SECTION F - REZONING

Scale: 1 : 200  
Project No: 1911  
Date: 2021/05/25

A.403



1 TREE MANAGEMENT PLAN  
SCALE: 1:200



2 TREE PROTECTION FENCING  
SCALE: NTS

LEGEND	
	TREES TO BE PRESERVED
	TREES TO BE REMOVED
	PROPOSED TREES
	TREE CROWN RADIUS
	TREE PROTECTION FENCING

- NOTES:
- ALL CONSTRUCTION WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND IN CONSULTATION WITH THE CITY OF VICTORIA ARBORIST. SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO, ANY EXCAVATION NEAR OR WITHIN THE TREE PROTECTION ZONES, ALL MODIFICATIONS TO SITE GRADING NEAR THE TREE PROTECTION AREAS, ALL ROOT PRUNING, ANY REQUIRED BRANCH PRUNING, AND ANY OTHERWISE NECESSARY ENCROACHMENT INTO THE TREE PROTECTION AREAS.
  - NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
  - PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL AND / OR RELOCATION.
  - TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF VICTORIA.

SUMMARY TREE STATISTICS	
CATEGORY	# OF TREES
Total number of trees indicated on Tree Management Plan	23
(Boulevard Trees)	10
(Adjacent Off-site Trees)	5
(On-site Unprotected Trees)	2
(On-site Bylaw-Protected Trees)	6
Requested Protected Tree Removals from site	6
Requested Public Tree Removals	7
Requested Tree Removals from adjacent properties	0
Total Residual Number of On-site Protected Trees	0
Replacement Trees Required by Tree Bylaw	12
See Landscape Plan for proposed street tree plantings	

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT  
PFS Studio  
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ARCHITECT:  
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PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

TREE MANAGEMENT PLAN

PFS PROJECT NUMBER:  
20007

DATE:  
07/15/2020

DRAWN BY:  
JW

CHECKED BY:  
NM

SCALE:  
1:200

DWG. NO.:

L2.01

OF: XX

CLIENT:

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STAMP:

PROJECT NAME:  
**TELUS OCEAN**

DRAWING TITLE:  
**MATERIAL PLAN  
GROUND LEVEL**

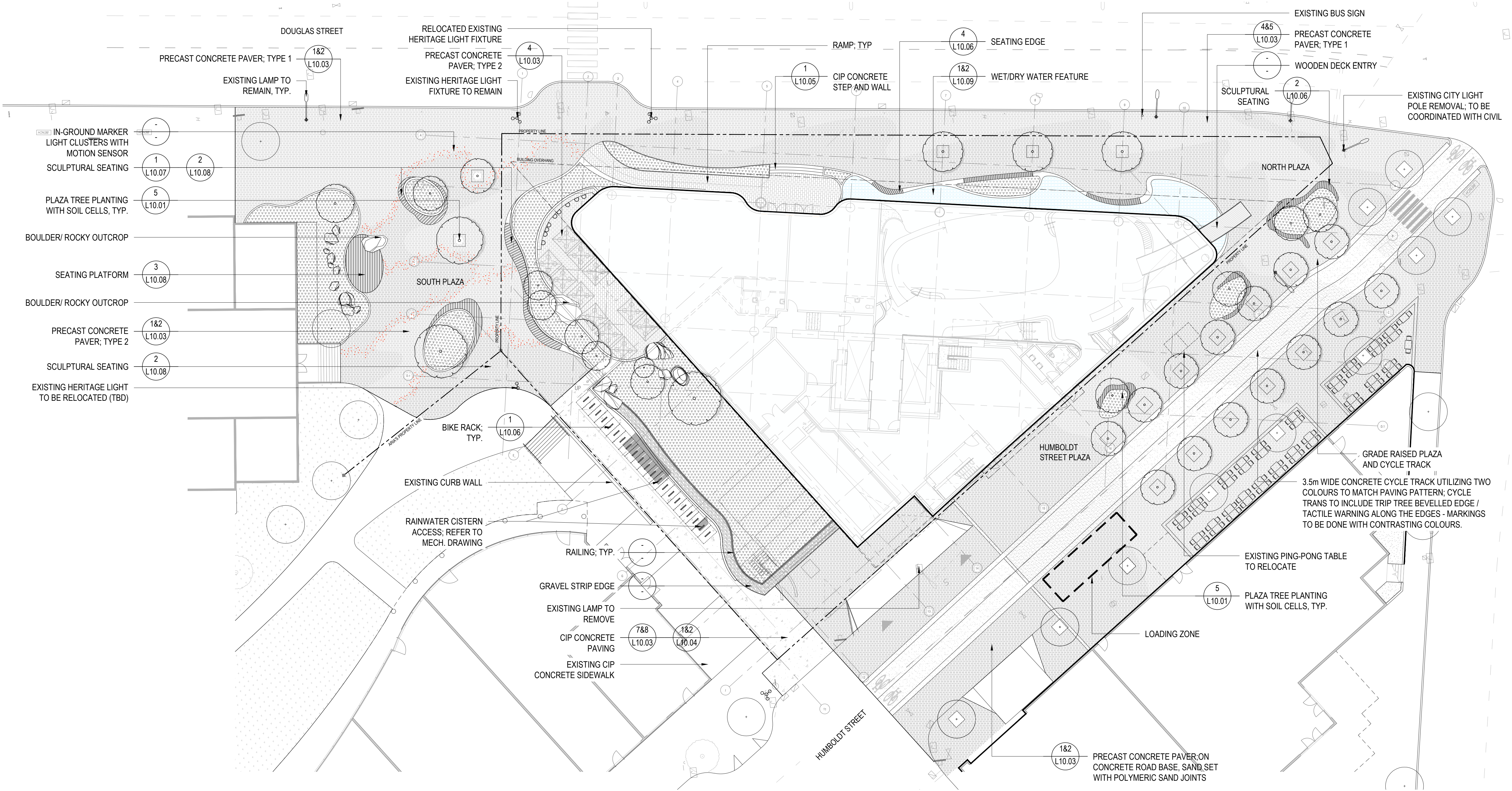
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## 1 MATERIAL PLAN - GROUND LEVEL

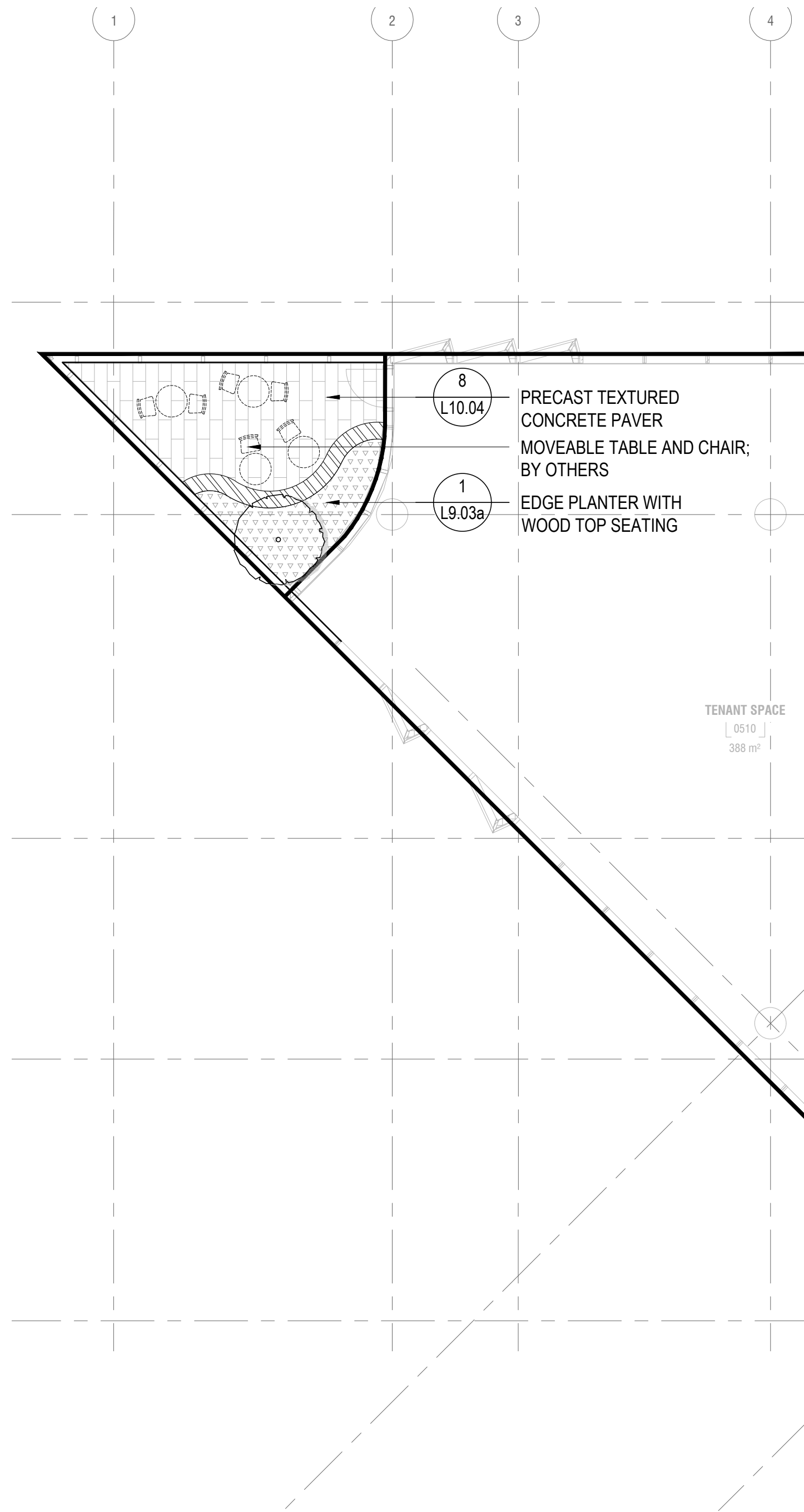
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LEGEND	
P1	PRECAST CONCRETE PAVER - TYPE 1
P2	PRECAST CONCRETE PAVER - TYPE 2
P3	PRECAST CONCRETE PAVER - TYPE 2
P4	CIP CONCRETE
	SCULPTURAL SEATING / SEATING PLATFORM
	WATER FEATURE
	PLANTING AREA

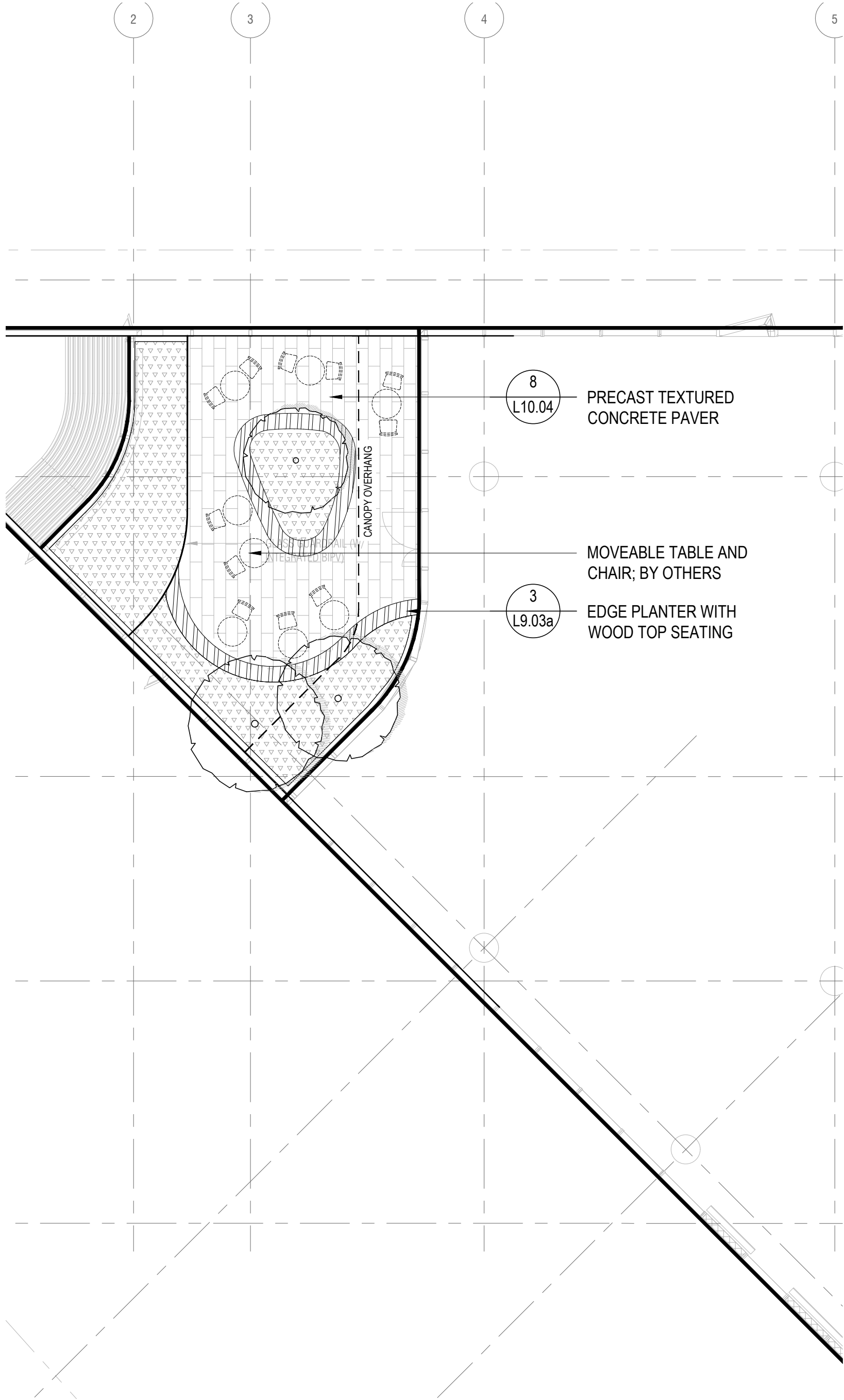
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  - Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
  - The Contractor shall be responsible for verifying the property line.

### IN-GROUND LIGHT - REFERENCE IMAGE

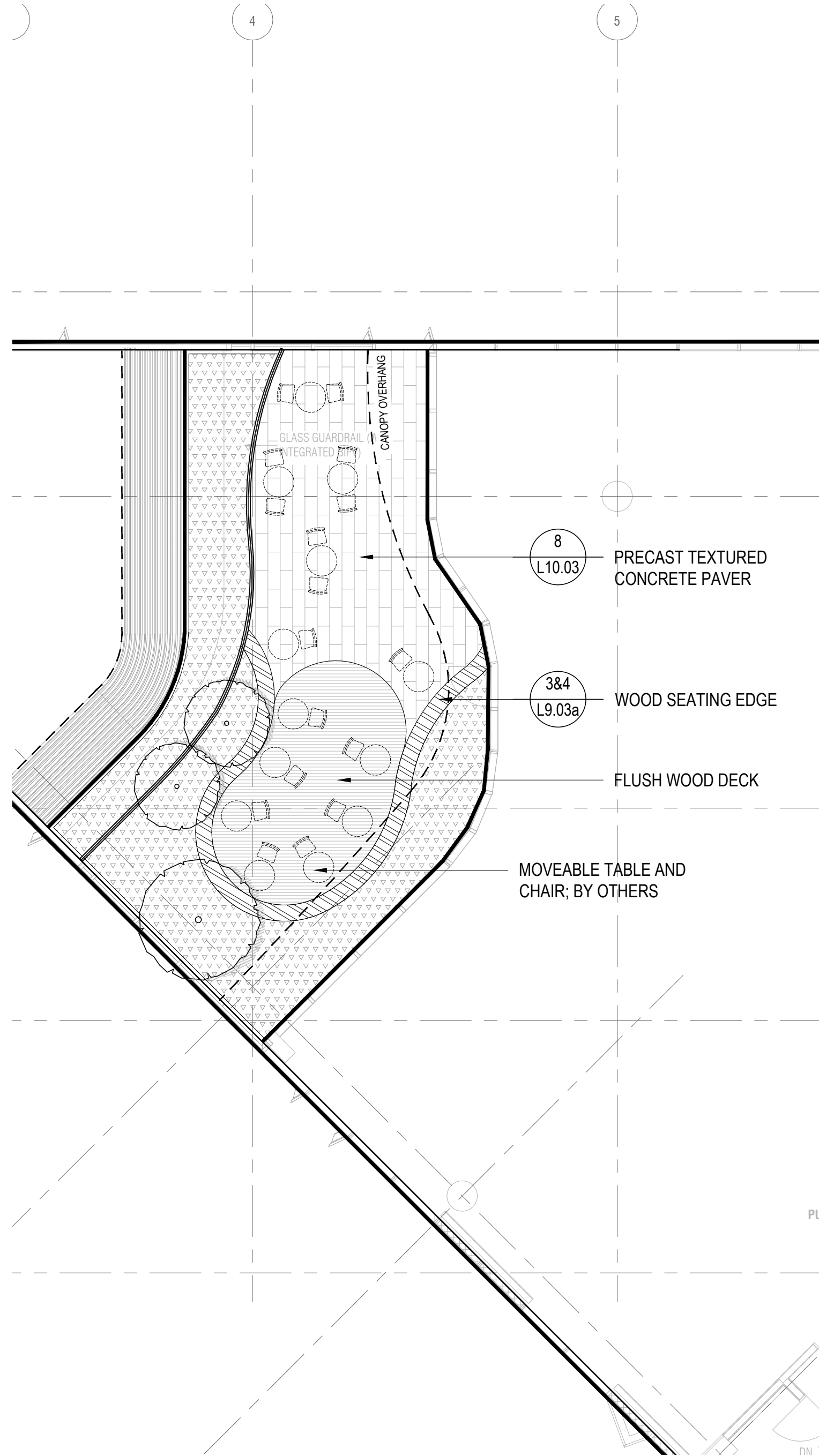




1 MATERIAL PLAN - LEVEL 5  
SCALE: 1:100

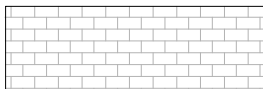

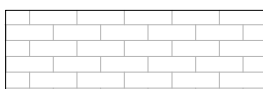

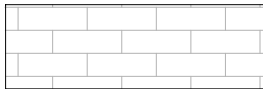
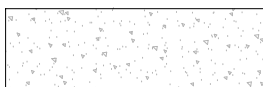



2 MATERIAL PLAN - LEVEL 7  
SCALE: 1:100



3 MATERIAL PLAN - LEVEL 9  
SCALE: 1:100

ALL SITE FURNITURE TO BE SPECIFIED BY OTHERS (TO BE DETERMINED)

LEGEND			
P1		PRECAST CONCRETE PAVER LIGHT GREY PATTERN	 SEATING EDGE
P2		PRECAST CONCRETE PAVER DARK GREY PATTERN	 PLANTING AREA
P3		PRECAST CONCRETE PAVER - ON PEDESTAL	
P4		CIP CONCRETE	
P5		FLUSH WOOD DECK - ON PEDESTAL	

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STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

MATERIAL PLAN  
LEVEL 5, LEVEL 7, LEVEL 9

PFS PROJECT NUMBER:  
22007

DATE:  
07/15/2020

DRAWN BY:  
JW

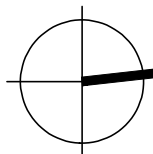
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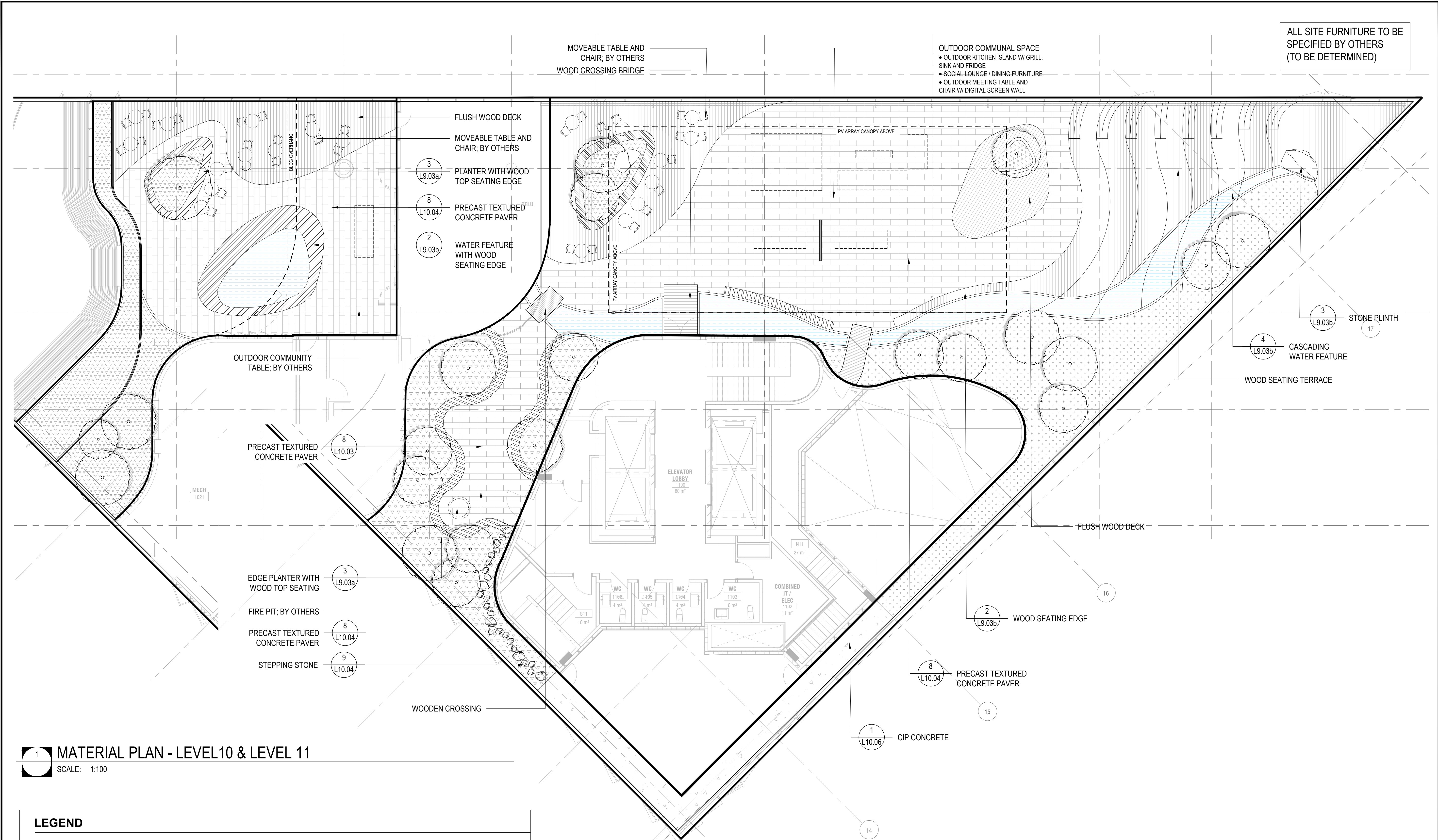
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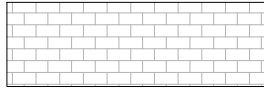

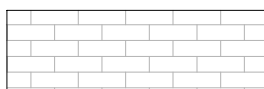
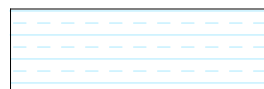
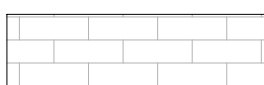




L3.02

OF: XX





**1 MATERIAL PLAN - LEVEL 10 & LEVEL 11**  
SCALE: 1:100

LEGEND				
P1		PRECAST CONCRETE PAVER LIGHT GREY PATTERN		SEATING EDGE
P2		PRECAST CONCRETE PAVER DARK GREY PATTERN		WATER FEATURE
P3		PRECAST CONCRETE PAVER - ON PEDESTAL		PLANTING AREA
P4		CIP CONCRETE		NON ACCESSIBLE GREEN ROOF PLANTING AREA
P5		FLUSH WOOD DECK - ON PEDESTAL		

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  - The Contractor shall be responsible for verifying the property line.

ALL SITE FURNITURE TO BE SPECIFIED BY OTHERS (TO BE DETERMINED)

CLIENT:

PROJECT TEAM:

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PROJECT NAME:  
**TELUS OCEAN**

DRAWING TITLE:  
**MATERIAL PLAN  
LEVEL 10 - LEVEL 11**

PFS PROJECT NUMBER:  
22007

DATE:  
07/15/2020

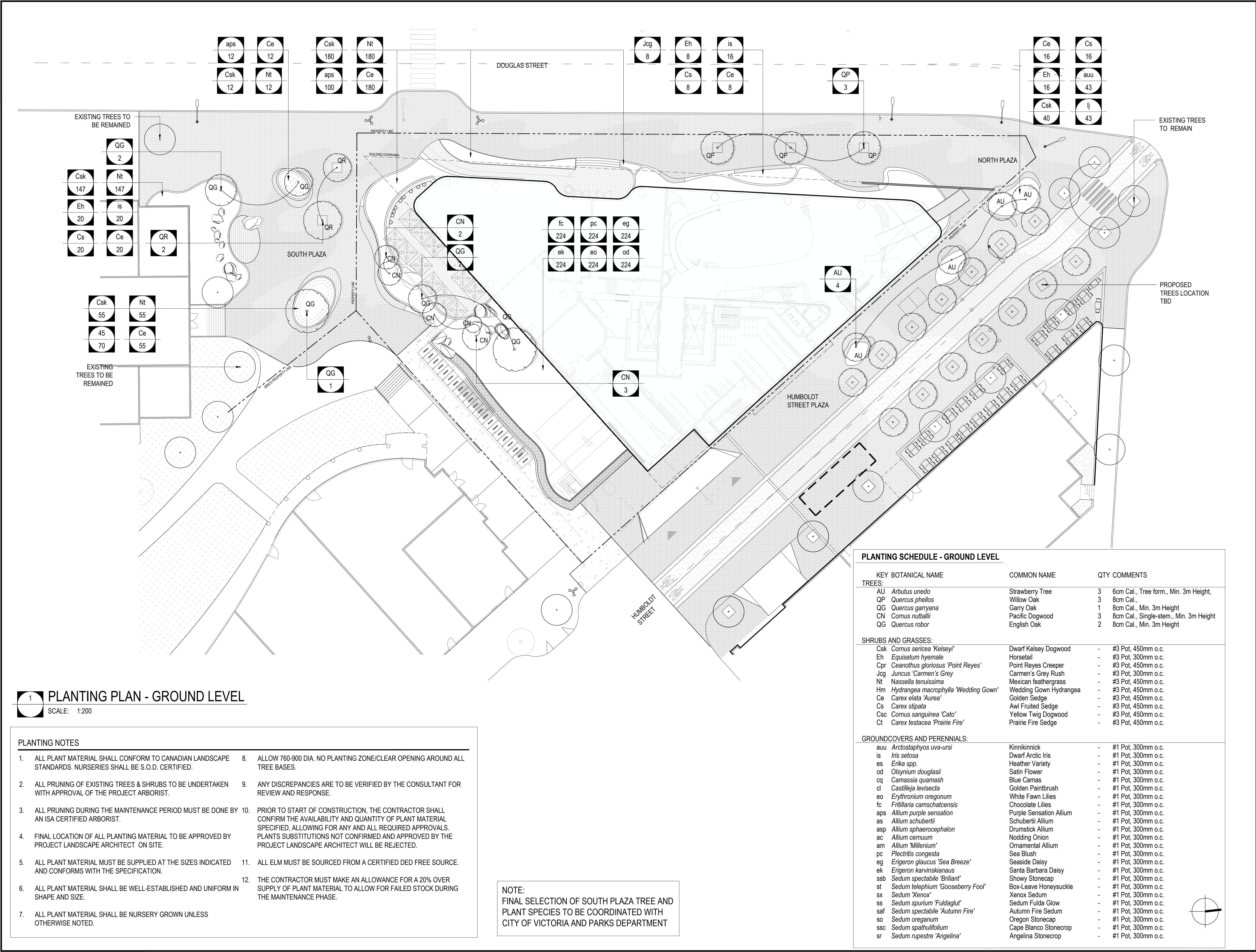
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JW

CHECKED BY:  
NM

SCALE:  
1:100

DWG. NO.:  
**L3.03**

OF: XX



1 PLANTING PLAN - GROUND LEVEL  
SCALE: 1:200

- PLANTING NOTES
1. ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.

2. ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.

3. ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.

4. FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.

5. ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.

6. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.

7. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.

8. ALLOW 760-900 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.

9. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.

10. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.

11. ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.

12. THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

NOTE:  
FINAL SELECTION OF SOUTH PLAZA TREE AND PLANT SPECIES TO BE COORDINATED WITH CITY OF VICTORIA AND PARKS DEPARTMENT

PLANTING SCHEDULE - GROUND LEVEL				
KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES:				
AU	<i>Arbutus unedo</i>	Strawberry Tree	3	6cm Cal., Tree form., Min. 3m Height,
QP	<i>Quercus phellos</i>	Willow Oak	3	8cm Cal.,
QG	<i>Quercus garryana</i>	Garry Oak	1	8cm Cal., Min. 3m Height
CN	<i>Cornus nuttallii</i>	Pacific Dogwood	3	8cm Cal., Single-stem., Min. 3m Height
QG	<i>Quercus robur</i>	English Oak	2	8cm Cal., Min. 3m Height
SHRUBS AND GRASSES:				
Csk	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Eh	<i>Equisetum hyemale</i>	Horsetail	-	#3 Pot, 300mm o.c.
Cpr	<i>Ceanothus gloriosus</i> 'Point Reyes'	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Jcg	<i>Juncus</i> 'Carmen's Grey	Carmen's Grey Rush	-	#3 Pot, 300mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican feathergrass	-	#3 Pot, 450mm o.c.
Hm	<i>Hydrangea macrophylla</i> 'Wedding Gown'	Wedding Gown Hydrangea	-	#3 Pot, 450mm o.c.
Ce	<i>Carex elata</i> 'Aurea'	Golden Sedge	-	#3 Pot, 450mm o.c.
Cs	<i>Carex stipata</i>	Awl Fruited Sedge	-	#3 Pot, 450mm o.c.
Csc	<i>Cornus sanguinea</i> 'Cato'	Yellow Twig Dogwood	-	#3 Pot, 450mm o.c.
Ct	<i>Carex testacea</i> 'Prairie Fire'	Prairie Fire Sedge	-	#3 Pot, 450mm o.c.
GROUNDCOVERS AND PERENNIALS:				
auu	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
is	<i>Iris setosa</i>	Dwarf Arctic Iris	-	#1 Pot, 300mm o.c.
es	<i>Erika</i> spp.	Heather Variety	-	#1 Pot, 300mm o.c.
od	<i>Olsynium douglasii</i>	Satin Flower	-	#1 Pot, 300mm o.c.
cq	<i>Camassia quamash</i>	Blue Camas	-	#1 Pot, 300mm o.c.
cl	<i>Castilleja levisecta</i>	Golden Paintbrush	-	#1 Pot, 300mm o.c.
eo	<i>Erythronium oregonum</i>	White Fawn Lilies	-	#1 Pot, 300mm o.c.
fc	<i>Fritillaria camschatcensis</i>	Chocolate Lilies	-	#1 Pot, 300mm o.c.
aps	<i>Allium purple sensation</i>	Purple Sensation Allium	-	#1 Pot, 300mm o.c.
as	<i>Allium schubertii</i>	Schubertii Allium	-	#1 Pot, 300mm o.c.
asp	<i>Allium sphaerocephalon</i>	Drumstick Allium	-	#1 Pot, 300mm o.c.
ac	<i>Allium cernuum</i>	Nodding Onion	-	#1 Pot, 300mm o.c.
am	<i>Allium 'Millenium'</i>	Ornamental Allium	-	#1 Pot, 300mm o.c.
pc	<i>Plectritis congesta</i>	Sea Blush	-	#1 Pot, 300mm o.c.
eg	<i>Erigeron glaucus</i> 'Sea Breeze'	Seaside Daisy	-	#1 Pot, 300mm o.c.
ek	<i>Erigeron karvinskianus</i>	Santa Barbara Daisy	-	#1 Pot, 300mm o.c.
ssb	<i>Sedum spectabile</i> 'Brilliant'	Showy Stonecrop	-	#1 Pot, 300mm o.c.
st	<i>Sedum telephium</i> 'Gooseberry Fool'	Box-Leave Honeysuckle	-	#1 Pot, 300mm o.c.
sx	<i>Sedum 'Xenox'</i>	Xenox Sedum	-	#1 Pot, 300mm o.c.
ss	<i>Sedum spurius</i> 'Fuldaglut'	Sedum Fulda Glow	-	#1 Pot, 300mm o.c.
saf	<i>Sedum spectabile</i> 'Autumn Fire'	Autumn Fire Sedum	-	#1 Pot, 300mm o.c.
so	<i>Sedum oregonum</i>	Oregon Stonecap	-	#1 Pot, 300mm o.c.
ssc	<i>Sedum spathulifolium</i>	Cape Blanco Stonecrop	-	#1 Pot, 300mm o.c.
sr	<i>Sedum rupestre</i> 'Angelina'	Angelina Stonecrop	-	#1 Pot, 300mm o.c.

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DRAWING TITLE:  
PLANTING PLAN  
GROUND LEVEL

PFS PROJECT NUMBER:  
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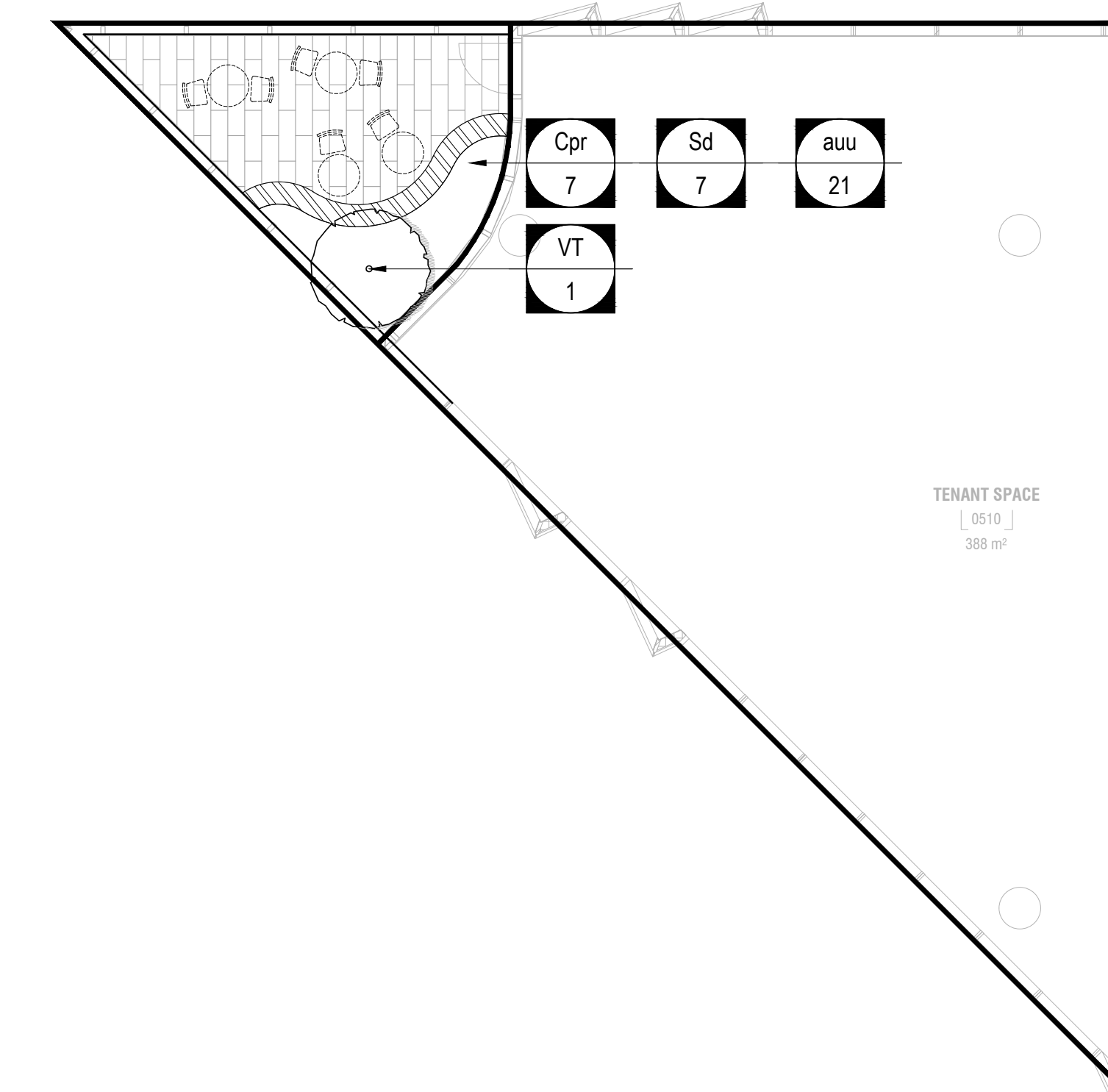
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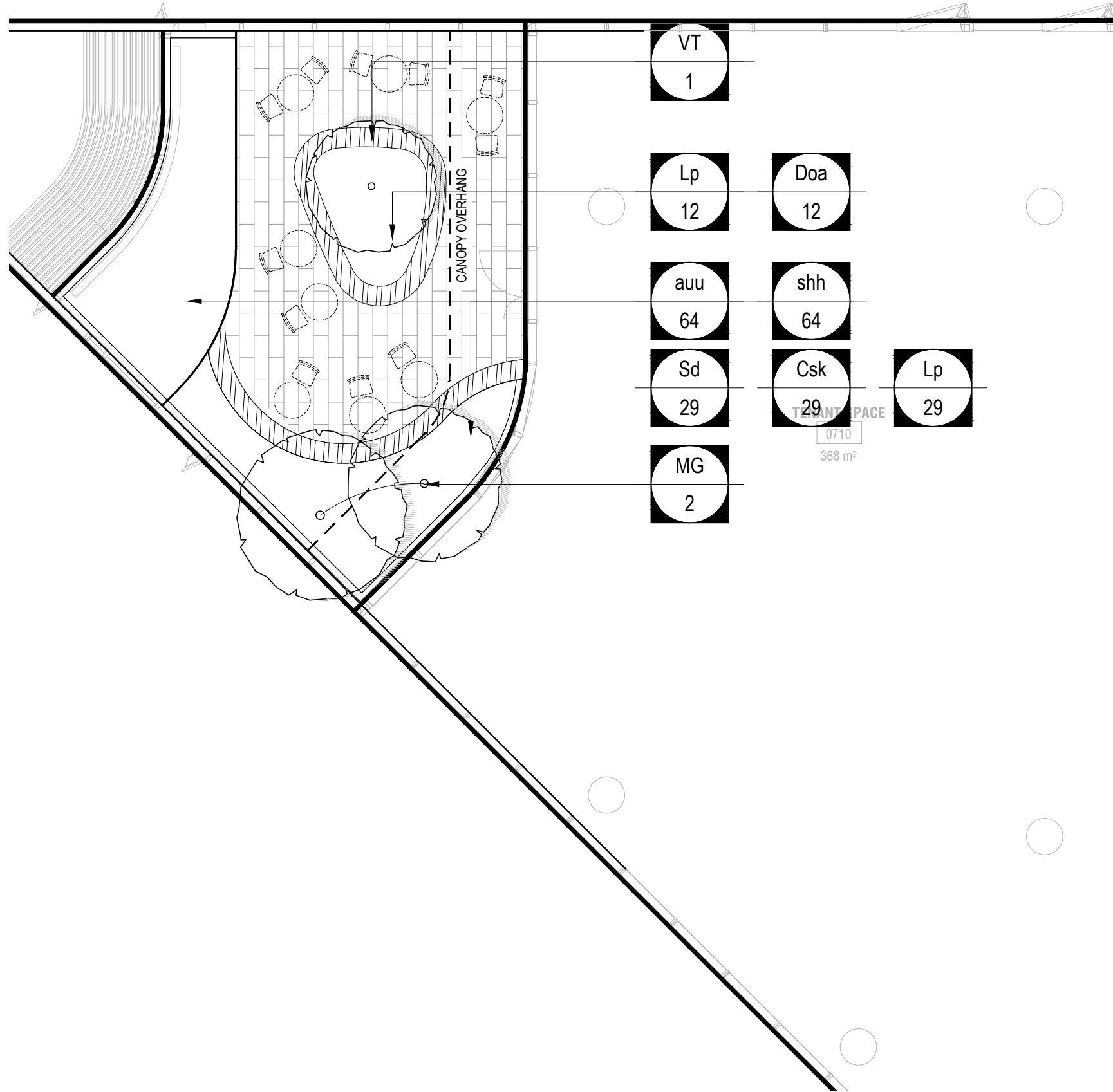
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L6.01

OF: XX



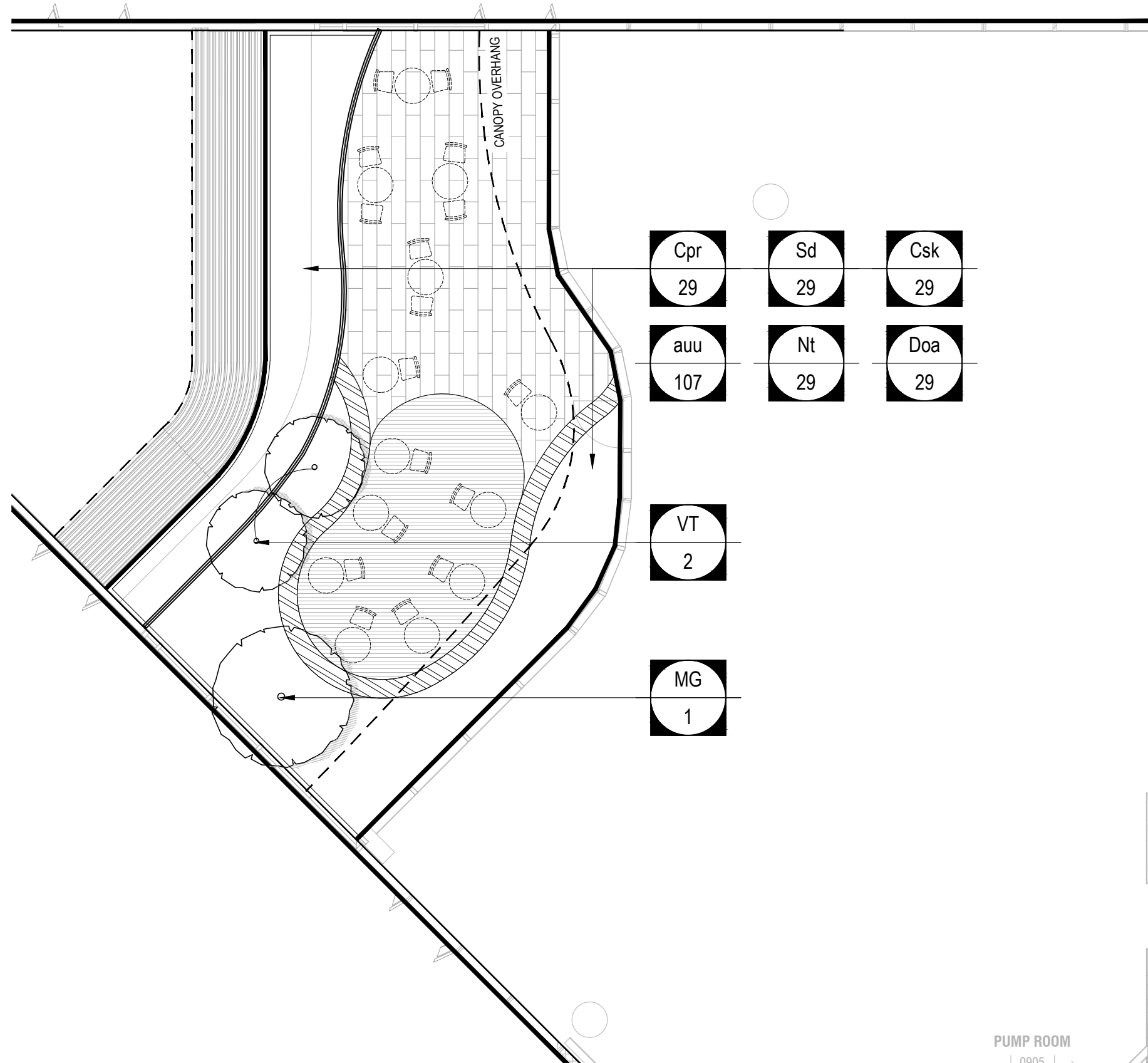
1 PLANTING PLAN - LEVEL 5

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2 PLANTING PLAN - LEVEL 7

SCALE: 1:100



3 PLANTING PLAN - LEVEL 9

SCALE: 1:100

PLANTING SCHEDULE - LEVEL 5, 7, 9

KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES:				
MG	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	3	8cm Cal., Multi-Stem., Min. 3m Ht
VT	<i>Viburnum tomentosum</i> 'Summer Snowflake'	Summer Snowflake Viburnum	4	6cm Cal., Tree Form., Min. 3m Ht
SHRUBS AND GRASSES:				
Sd	<i>Spiraea douglasii</i>	Red Spirea	-	#5 Pot, 750mm o.c.
Doa	<i>Daphne odora</i> 'Aureomarginata'	Variegated Winter Daphne	-	#3 Pot, 450mm o.c.
Cak	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	-	#3 Pot, 450mm o.c.
Csk	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Lp	<i>Lonicera pileata</i>	Box-leaved Honeysuckle	-	#3 Pot, 450mm o.c.
Cpr	<i>Ceanothus gloriosus</i> 'Point Reyes'	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican Feathergrass	-	#3 Pot, 450mm o.c.
GROUNDCOVERS AND PERENNIALS:				
auu	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
shh	<i>Sarcococca hookeriana</i> var. <i>humilis</i>	Dwarf Sweet Box	-	#1 Pot, 300mm o.c.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.
- ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.
- ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.
- ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALLOW 760-900 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
- ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
- ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.
- THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT  
PFS Studio  
1777 West 3rd Avenue  
Vancouver, BC V6J 1K7

ARCHITECT:  
DIAMOND SCHMITT ARCHITECTS  
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ISSUANCE:

No.	Date	Details	By
1	07-15-2020	ISSUED FOR REZONING / DP	JW
2	10-23-2020	ISSUED FOR 90% DESIGN DEVELOPMENT	JW
3	11-09-2020	ISSUED FOR DEVELOPMENT PERMIT	JW
4	12-18-2020	ISSUED FOR 75% DD	JW
5	01-29-2021	ISSUED FOR 100% DD	JW
6	04-13-2021	RE-ISSUED FOR REZONING / DP	JW
7	04-23-2021	ISSUED FOR TRG	JW
8	05-21-2021	RE-ISSUED FOR REZONING / DP	JW

**PFS STUDIO**  
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pfs@pfs.bc.ca  
www.pfs.bc.ca

STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

PLANTING PLAN  
LEVEL 5, LEVEL 7, LEVEL 9

PFS PROJECT NUMBER:  
22007

DATE:  
07/15/2020

DRAWN BY:  
JW

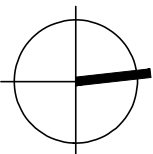
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NM

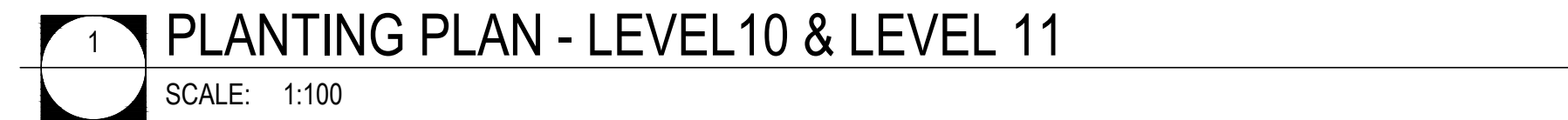
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L6.02

OF: XX





1.	ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.	9.	ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
2.	ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.	10.	PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
3.	ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.	11.	ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.
4.	FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.	12.	THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.
5.	ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.		
6.	ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.		
7.	ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.		
8.	ALLOW 760-900 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.		

ISSUANCE			
No.	Date	Details	By
1	07-15-2020	ISSUED FOR REZONING / DP	JW
2	10-23-2020	ISSUED FOR 50% DESIGN DEVELOPMENT	JW
3	11-09-2020	ISSUED FOR DEVELOPMENT PERMIT	JW
4	12-18-2020	ISSUED FOR 75% DD	JW
5	01-29-2021	ISSUED FOR 100% DD	JW
6	04-13-2021	RE-ISSUED FOR REZONING / DP	JW
7	04-23-2021	ISSUED FOR TRG	JW
8	05-21-2021	RE-ISSUED FOR REZONING / DP	JW

STAMP:

DRAWING TITLE:  
PLANTING PLAN  
LEVEL 10 - LEVEL 11

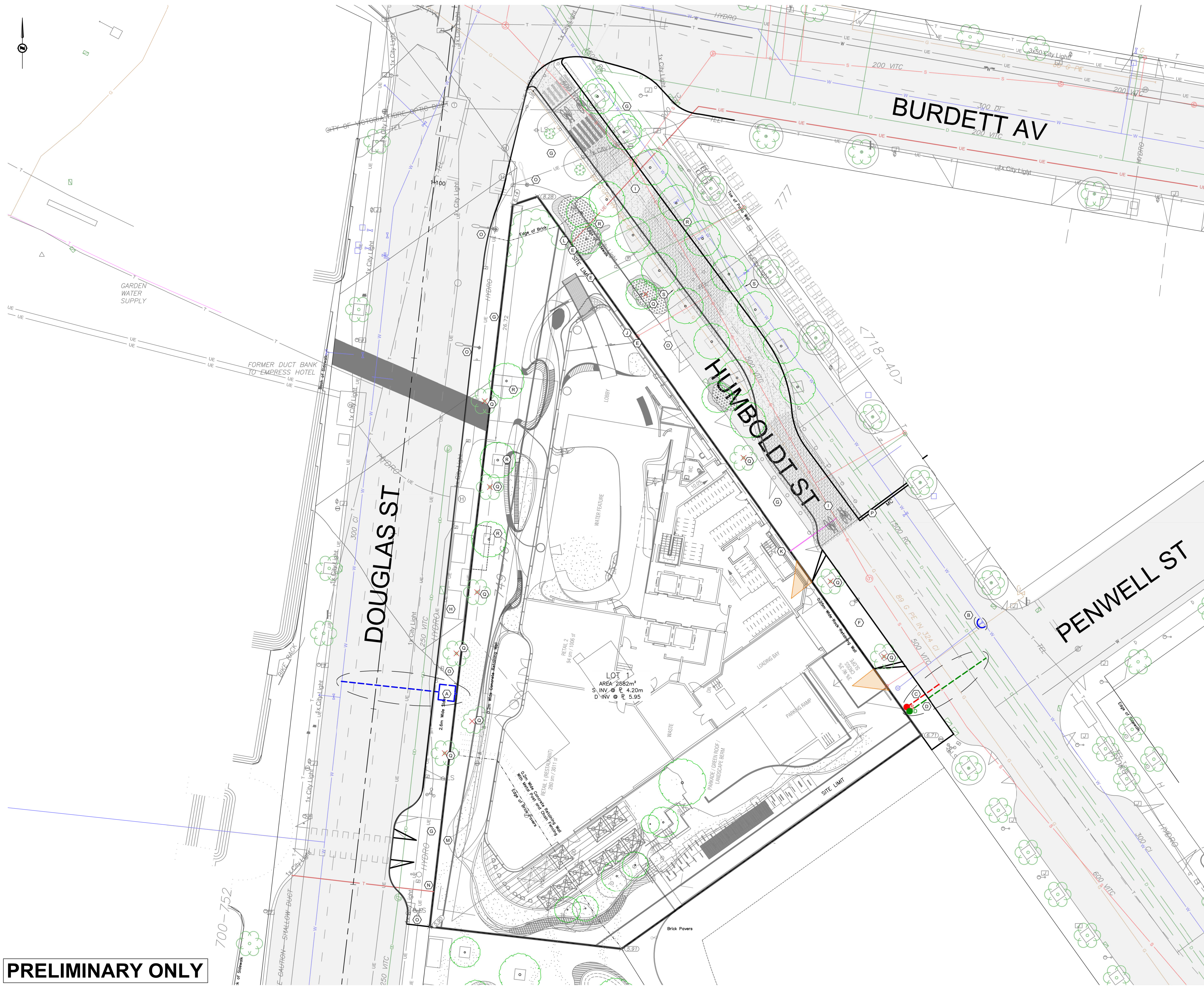
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DRAWN BY: JW  
CHECKED BY: NM

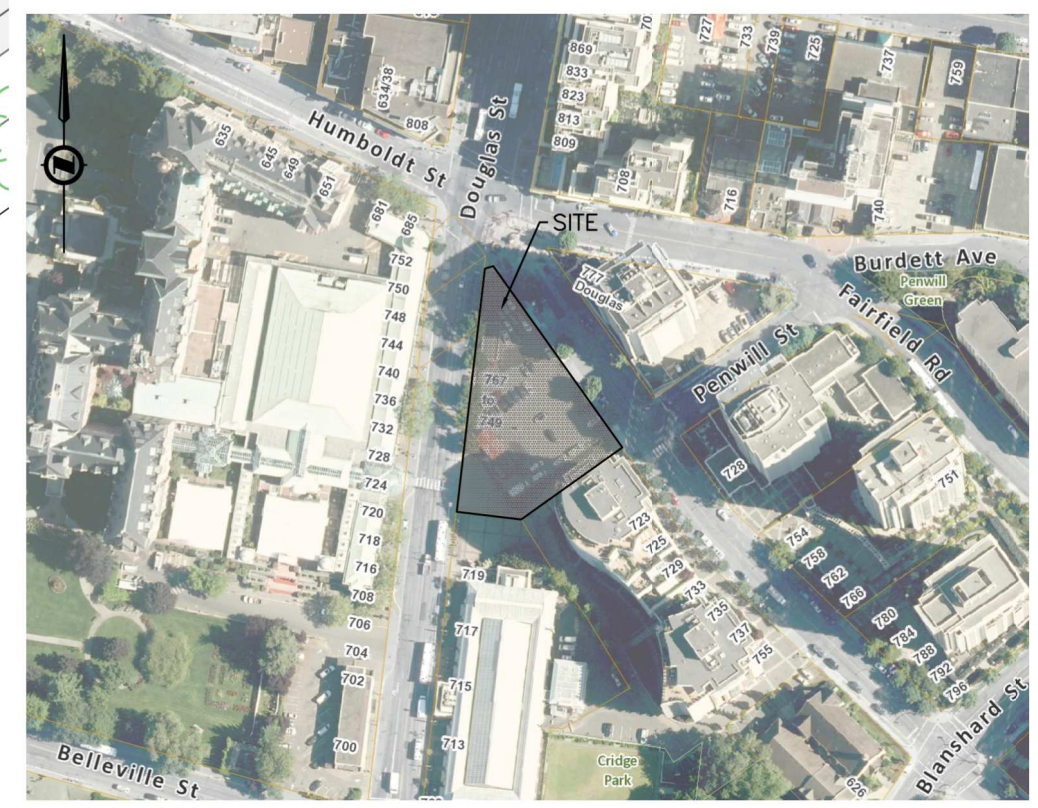
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DWG. NO.:

L6.03 OF: XX



- SHEET NOTES:**
- (A) CITY OF VICTORIA TO INSTALL NEW FIRE AND DOMESTIC SERVICE AND VAULT TO PROPERTY LINE AT DEVELOPERS EXPENSE.
  - (B) CITY OF VICTORIA TO CAP EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
  - (C) CITY OF VICTORIA TO INSTALL NEW SANITARY SERVICE AT DEVELOPERS EXPENSE.
  - (D) CITY OF VICTORIA TO INSTALL NEW STORM SERVICE AT DEVELOPERS EXPENSE.
  - (E) CONTRACTOR TO CAP EXISTING SERVICES AT PROPERTY LINE DURING DEMOLITION STAGE.
  - (F) CONTRACTOR TO INSTALL NEW DRIVEWAY AS PER MUNICIPAL STANDARDS.
  - (G) CONTRACTOR TO INSTALL NEW CURB AND SIDEWALK. REFER TO LANDSCAPE PLANS FOR FINISH DETAILS.
  - (H) CONTRACTOR TO INSTALL NEW BUS STOP AS PER BC TRANSIT STANDARDS.
  - (I) PROPOSED RELOCATED BIKE LANE. SEE LANDSCAPE FOR DETAIL.
  - (J) EXISTING TELUS SERVICING LOCATION.
  - (K) PROPOSED GAS SERVICE LOCATION.
  - (L) PRELIMINARY HYDRO SERVICE ROUTING, DETAILED DESIGN TO BE PROVIDED BY BC HYDRO.
  - (M) UNCONFIRMED EXISTING WATER SERVICE AND COMMUNICATION SERVICE TO BE EXPOSED AND LOCATION CONFIRMED ON-SITE DURING DEMOLITION STAGE.
  - (N) PRELIMINARY TELUS SERVICE LOCATION.
  - (O) CONTRACTOR TO INSTALL NEW PEDESTRIAN STREET LIGHTS AND CONDUITS AS PER CITY OF VICTORIA STANDARDS. ELECTRICAL ENGINEER TO PROVIDE DESIGN FOR BUILDING PERMIT APPROVAL. SEE LANDSCAPE FOR PLACEMENT.
  - (P) CONTRACTOR TO CONSTRUCT MOUNTABLE CURB FOR HOTEL LOADING ZONE. SEE LANDSCAPE FOR DETAIL.
  - (Q) TREES TO BE REMOVED.
  - (R) CONTRACTOR TO PLANT BOULEVARD TREES. SEE LANDSCAPE FOR DETAIL.
  - (S) SERVICING UNDER PROPOSED BOULEVARD TREES TO BE RELOCATED.



**KEY PLAN**  
NTS  
LEGAL DESCRIPTION: LOT 1 OF LOTS 207, 209, 210, 228 AND 1270B,  
VICTORIA, PLAN 31886  
BENCHMARK: MONUMENT 812  
ELEV. 8.637m

**TELUS OCEAN  
PRELIMINARY SITE  
SERVICING CONCEPT**  
Scale  
horiz. 1:200  
Sheet 1 of 1  
Eng. Project No. 32472



**J E ANDERSON &  
ASSOCIATES**  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com

**PRELIMINARY ONLY**

