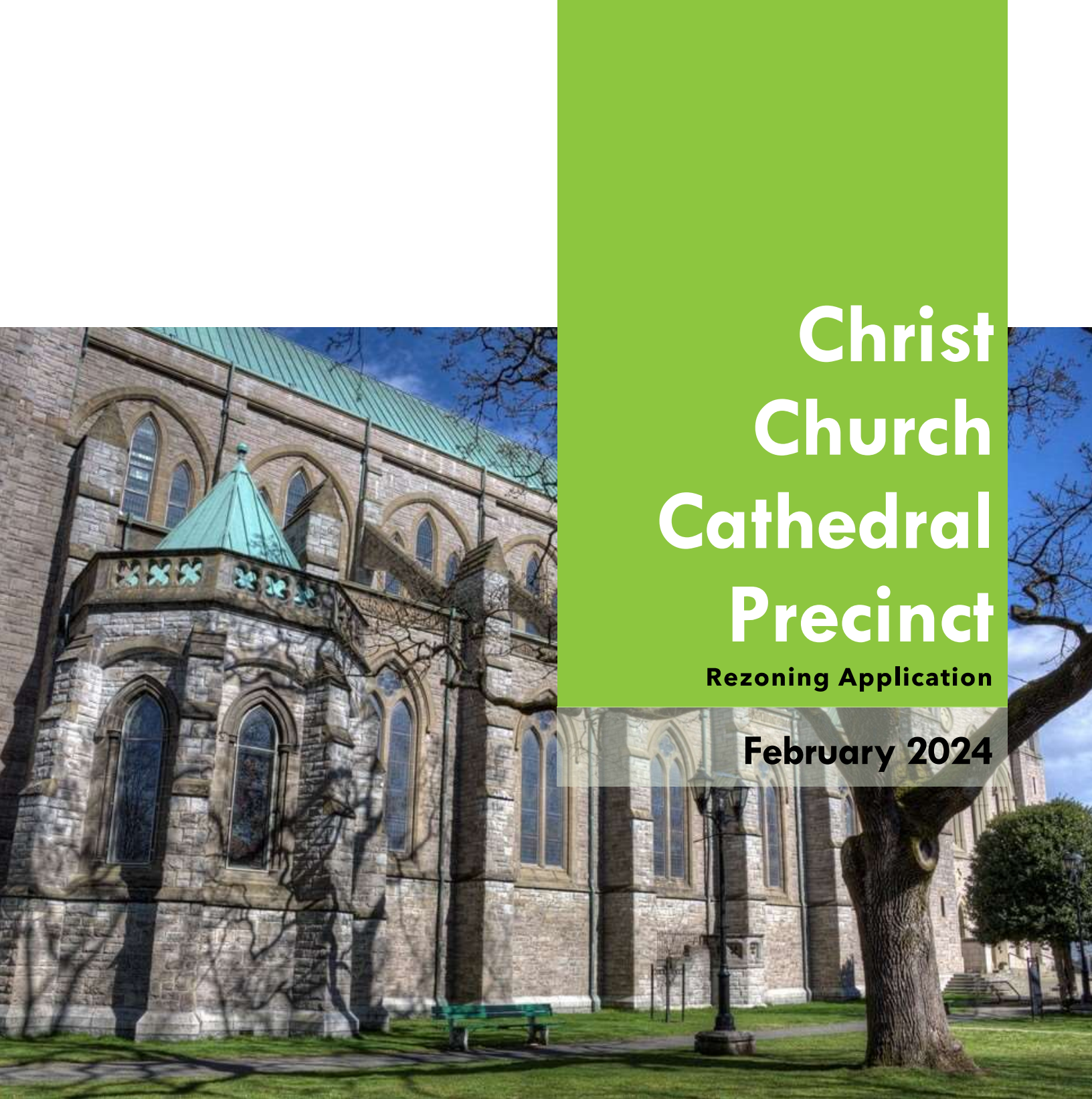




Christ Church Cathedral Precinct

Rezoning Application

February 2024



Wiser Projects

Competent. Creative. Committed.



Letter to Mayor and Council





Wiser

City of Victoria
1 Centennial Square
Victoria, BC, V8W 1P6

February 2, 2024

Attention: Mayor and Council

RE: Christ Church Cathedral Precinct Master Plan: Application for Official Community Plan and Zoning Bylaw amendment for a Comprehensive Development Zone at 911 Quadra Street, 912 Vancouver Street, 930 Burdett Avenue.

Executive Summary

"Throughout medieval Europe, the crowning glory of any great city was its cathedral. These beautiful edifices were more than places of worship. They were the very heart of the communities, culture and society."

– Christ Church Cathedral Ottawa

The Anglican Diocese of Islands and Inlets, with support from Wiser Projects, is pleased to share this application for an amendment to the Official Community Plan and Zoning Regulation Bylaw No. 80-159, on behalf of the Anglican Diocese of Islands and Inlets (the Diocese), to expand the range of uses, built form, density, and height on the Christ Church Cathedral Precinct (the Precinct) site.

In consultation with City Planning Staff, it was recommended that this application propose a zoning bylaw amendment for a Comprehensive Development (CD) zone and an Official Community Plan (OCP) amendment. This application does not include a concurrent development permit application as the phasing of new construction of the property has not been determined. To better understand the implications of the proposed zone, as well as the existing buildings and open space on site, the application includes *conceptual designs* to illustrate the potential that could result from a full build-out of the site, in compliance with the proposed CD Zone. Separate Development Permit Applications will be made for each quadrant and building development to follow.

The residential, commercial and amenity opportunities advanced through this rezoning application aim to meet the current and future needs of the Cathedral and Diocese communities, enhance Victoria's cultural and heritage vitality, and further develop the Cathedral Precinct as a crucial city landmark and community amenity. Most importantly, these new uses will allow for the preservation and enhancement of the City's most prominent heritage building of worship for future generations. The Diocese is approaching this reality

proactively by independently leading this submission without a private sector partner; this approach aims to ensure the plan remains grounded in community vision.

After decades of re-development proposals and considerations, this proposal seeks to secure this site in perpetuity in community hands. The residential development opportunities proposed in the Master Plan will increase the housing stock in the region and generate revenue to fund the phased heritage revitalization of the Cathedral, Memorial Hall, and Yarrow Chapel, as well as additional needed local and regional amenities. Recent structural assessments estimate that needed building fabric repairs and seismic upgrades to heritage buildings on the property will cost up to \$50 million.

For over three years, the Diocese has been engaged in deep community conversations with internal and external stakeholders; multiple charettes have been held including two with key City staff and departments. This proposed Master Plan is the culmination of these conversations, alongside site due diligence, community and market research with the public, non-profit and private sectors, and Indigenous community members. The Diocese recognizes that the Precinct is in the territory of the *ləkwəŋən* people known today as Esquimalt and Songhees Nations and that the site is part of the colonial settlement story of the region. In parallel to the City of Victoria rezoning process, the Diocese is committed to working with Esquimalt and Songhees Nations as this project proceeds.

Proposal Summary

The Cathedral Precinct master planning process looked both inward and outward: inward, as it has explored how the site can best meet the needs of the Cathedral, Diocese and its membership going forward, and outward looking as to how the Precinct and its landmark buildings fit into the fabric of the neighbourhood, city and wider region and how it will continue to address and increase community need and impact.

Ultimately, it arrived at an approach to rezoning that:

- Balances responsibility and possibility
- Reflects the deep and wide community engagement undertaken in Phase One and Two, due diligence, financial, social, environmental realities and complexities of site, and
- Leads to a holistic Master Plan for the entire Precinct that focuses on sustainability and flexibility, while embodying the philosophy that cities and urban environments are enjoyed and experienced from the street.

The Building for the Future project aims to advance three primary project objectives which will be explained further in the relevant sections of this letter. These three project objectives are to:

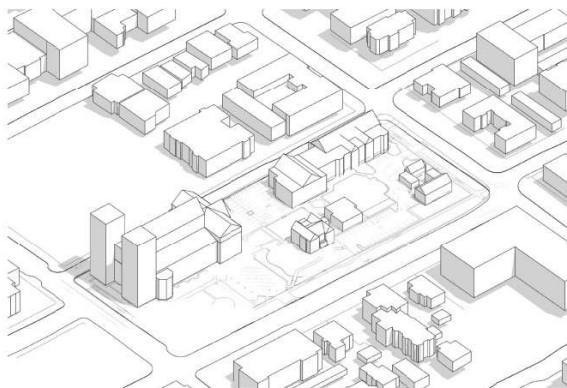
1. **Reposition the Cathedral Precinct.** Both within the larger community context by increasing accessibility, relating to the surrounding context in a more sensitive and practical manner, and offering increased value to community through more diverse community supports (housing, community commercial, etc.)
2. **Create development density to expand the social, community and cultural offerings available on site,** while also generating revenue to support the future financial viability,

renovation and upkeep of the Diocese, Cathedral, and key heritage buildings in the long-term, and

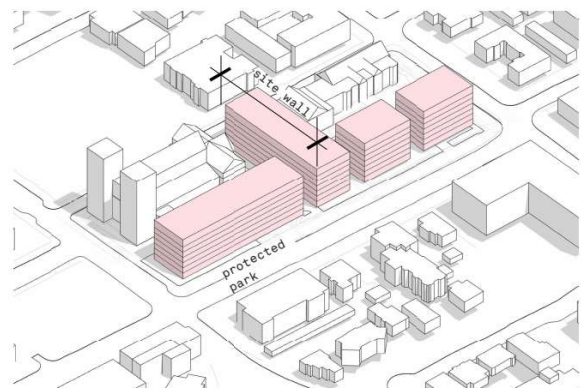
3. **Retain, celebrate, and enhance the Precinct's existing heritage assets** for community members and visitors alike.

To meet these goals and objectives, the following site plan is being proposed through a phased development process to realize this master plan.

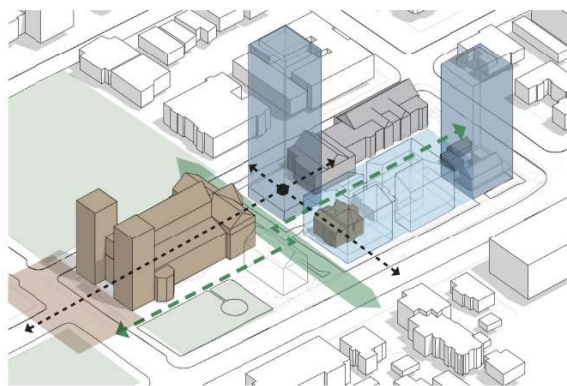
1. **Land use:** additional land uses, primarily residential, community commercial, hospitality and uses that are lacking in the current immediate neighbourhood. This includes the following mix of uses:
 - a. Institutional: 20-25%
 - b. Community amenity (in addition to the institutional use): 5-10%
 - c. Commercial: 5-10%
 - d. Residential: 70-75%
2. **Density and Massing:** updating the current site density from 2.0FSR to 2.5FSR across the site and a mix of heights from 6 storeys to a maximum building envelope of up to 30 storeys.



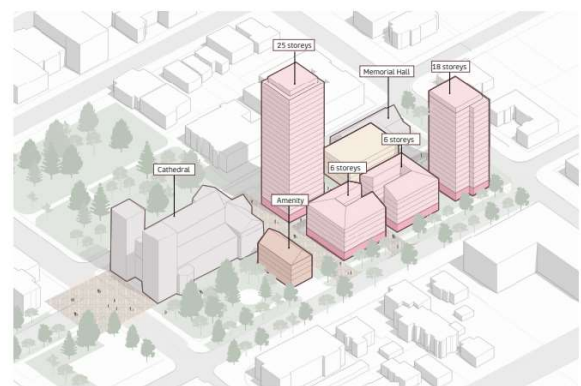
1. Existing site condition



2. seven storeys at 2.5 FSR



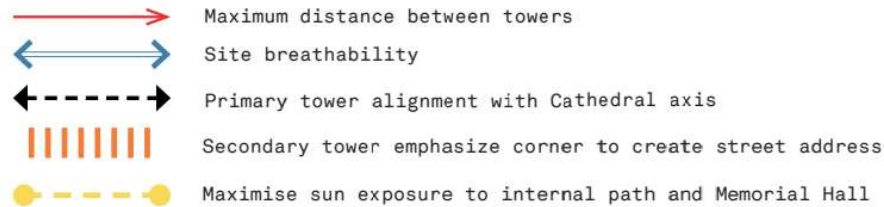
3. Guiding principles



4. Resulting massing on site

Figure A: Proposed Massing

3. **Design Framework:** understanding people experience the world from the street level and the human-scale, the development of a design framework to provide certainty over the lifespan of the Master Plan in terms of quality of design, materiality, and principles to meet the project goals, as summarized below.



4. **Community Amenities:** preserving, securing and enhancing the rich and diverse community amenities the site currently provides (such as the mature tree canopy and green and open space, three civic and provincially recognized heritage buildings, and affordable arts community and cultural space) while providing new mid-block greenways for all community use, enhanced soft and hard green and open space planning, and additional community amenity space.
5. **Phased Development:** as seen below, four quadrants of the site have been delineated to allow for considerate redevelopment based on market conditions, community need and demand, and respecting existing owners/users requirements. As with all master plans, this density if realized, will occur over a 25+ year time scale; meanwhile, this density adds qualitative and quantitative value to the site that supports the Diocese in the vision both philosophically and practically.

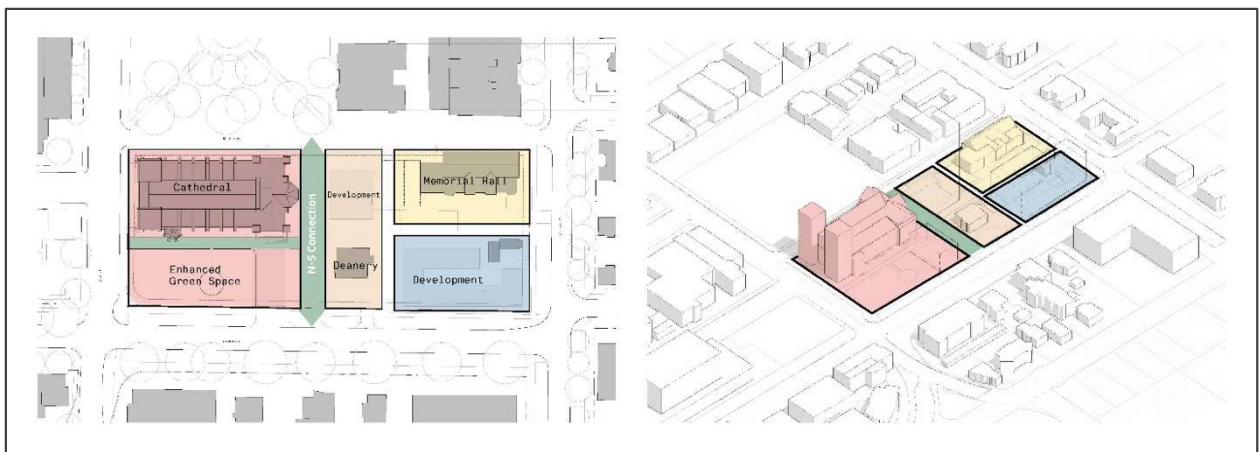


Figure B: Phased Development

Conclusion

The Cathedral and Diocese community look forward to this once-in-a-generation opportunity to protect and shape the future of one of Victoria's most important urban places. Christ Church Cathedral Precinct is a crucial cultural, community and heritage asset that sits as a significant feature of the City's landscape. The Master Plan aims to secure additional land uses that celebrate and protect the Precinct's heritage, increase the vitality and accessibility

of the Precinct to the direct and larger community, while providing flexibility and opportunities for all to shape the cultural, social, and physical future of the site. The project team welcomes the opportunity for collaboration and partnerships throughout this rezoning process to achieve an iconic public space for the City for generations to come.

Project Process and Rationale

Planning for the future of the Christ Church Cathedral Precinct has been an ongoing conversation within the Diocese for over a decade. In 2021, the Diocese engaged Wiser Projects and FaulknerBrowns Architects to begin a focused engagement and planning exercise which came to be known as Building for the Future (BFTF).

Building for the Future is a three-phased process that will culminate in the implementation of a long-term Master Plan for the Precinct. Leadership and guidance for this process is provided by the Building for the Future Steering Committee, which is comprised of representatives from the three principal stakeholders on the Precinct: the Christ Church Cathedral, the Christ Church Cathedral Education Society, and the Anglican Diocese of Islands and Inlets.

The Cathedral Precinct master planning process looked both inward and outward: inward, as it has explored how the site can best meet the needs of the Cathedral, Diocese and its membership going forward, and outward looking as to how the Precinct and its landmark buildings fit into the fabric of the neighbourhood, city and wider region and how it will continue to address and increase community need and impact.

Ultimately, it arrived at an approach to rezoning that:

- Balances responsibility and possibility
- Reflects the deep and wide community engagement undertaken in Phase One and Two, due diligence, financial, social, environmental realities and complexities of site, and
- Leads to a holistic Master Plan for the entire Precinct that focuses on sustainability and flexibility, while embodying the philosophy that cities and urban environments are enjoyed and experienced from the street.

Project Objectives

The Building for the Future project aims to advance three primary project objectives which will be explained further in the relevant sections of this letter. These three project objectives are to:

1. **Reposition the Cathedral Precinct.** Both within the larger community context by increasing accessibility, relating to the surrounding context in a more sensitive and practical manner, and offering increased value to community through more diverse community supports (housing, community commercial, etc.)
2. **Create development density to expand the social, community and cultural offerings available on site,** while also generating revenue to support the future financial viability, renovation and upkeep of the Diocese, Cathedral, and key heritage buildings in the long-term, and
3. **Retain, celebrate, and enhance the Precinct's existing heritage assets** for community members and visitors alike.

Proposal Overview

To secure the useful future of the Precinct and to enable the stakeholders to maintain cultural relevance, advancement of the second primary project objective of the proposal is key to realize development value and provide much needed funds for investment in existing

building upgrades, expansion, and public realm improvements. This reality is not unique to the Precinct, as public funding, donations, bequests, volunteerism, and faith-based engagement has been on the decline in Canada for decades. The Diocese is approaching this reality proactively by independently leading this submission without a private sector partner; this approach aims to ensure the plan remains grounded in community needs.

The Christ Church Cathedral is uniquely situated in a park-like setting, which will drive the siting and massing of new development within the Precinct. The Precinct's proximity to the Downtown Core, with many proposed high-rise developments, supports the proposed density of 2.5 FSR. The proposed development composition balances buildings of approximately six storeys with taller development up to 90 metres or 30 storeys in specific locations depending on eventual siting and massing decisions. The aim is to enhance the Cathedral Precinct through high quality architecture and landscape design, respecting heritage and delivering needed multi-unit residential housing.

This application proposes a new land-use designation and density within the Official Community Plan (OCP) and new site-specific zone within Zoning Regulation Bylaw (No. 80-159) to expand the built form, density, and range of uses on the Christ Church Cathedral Precinct (the Precinct). At this time, the application does not seek a concurrent development permit.

Site Location and Context

The subject site is within the boundaries of the Fairfield neighbourhood, but on the northern side of Quadra Street, directly adjacent to the downtown core neighbourhood.

The 1.4-hectare single-title site encompasses an entire city block bounded by Quadra Street to the west, Vancouver Street to the east, Burdett Avenue to the south, and Rockland Avenue to the north.

The 94-year-old Christ Church Cathedral is the focal building of the Christ Church Cathedral Precinct. The other major structure on site is the Memorial Hall housing the Christ Church Cathedral School. Several other smaller heritage and non-heritage buildings that support community activities are also located on the lot.

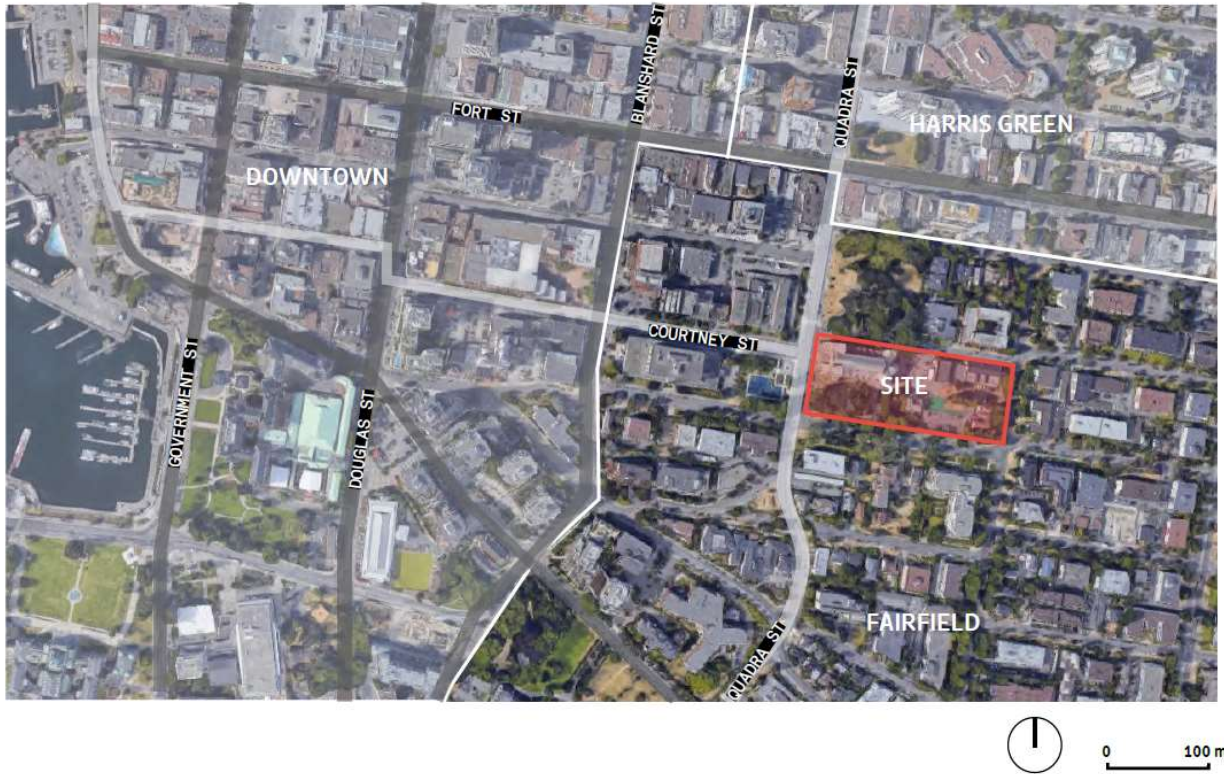


Figure 1: Aerial photo of the location of the subject site.



Figure 2: Aerial view of the Christ Church Cathedral Precinct looking northwest towards downtown.



Figure 3: Aerial view of the Christ Church Cathedral Precinct and Pioneer Square.

Christ Church Cathedral is uniquely situated both at the eastern end of Courtney Street, and in a unique, park-like context. A contiguous green area, consisting of Cathedral Commons (~0.11 ha) and Pioneer Square (~0.83 ha), straddles Rockland Avenue. Cathedral Commons is a site the Diocese has committed to as a reconciliatory space through ongoing dialogue with Songhees and Esquimalt Nations. This outstanding urban ensemble of park and Cathedral will drive the siting and massing of development on the site, particularly for the Christ Church Cathedral (CCC) School. Building on the Precinct's relationship with proposed high-rise developments in the neighbouring Downtown Core, it is proposed that a development density of 2.5 FSR is suitable in this location for several reasons, including its proximity to downtown and the planned density of adjacent sites.

Proposed Land Use and Zoning Changes

The OCP currently has two designations for the subject site: Urban Residential and Public Facilities, Institutions, Parks and Open Space.

The current Zoning Regulation Bylaw identifies the subject site as CHP-PB Zone – Cathedral Hill Precinct (Public Buildings) District and it allows public buildings and limited commercial uses with a maximum floor space ratio of 2.0 and height of 22.5 metres. This application proposes to rezone to CHP-Comp Zone – Cathedral Hill Precinct (Comprehensive) District to allow a range of uses including residential with a maximum density of 2.5 FSR and height of 90 metres. The intent of this designation is for a mix of low-mid-, and high-rise multi-unit, mixed-use, and large floor plate commercial and institutional buildings, which aligns with the proposed rezoning application.

The proposal is founded on the philosophy that cities and urban environments are enjoyed and experienced from the street; this has also been informed by ongoing discussions with City of Victoria staff. Considerable effort has been taken to define a contextually appropriate response to street scale by delivering building elevations and footprints that are similar in scale to those found in the neighbourhood. With the appropriate plan and scale, the proposal can harmoniously deliver density and building height without having an adverse effect on urban grain or street experience. This coupled with a mature landscape strategy that protects existing and increases the strong canopy of street trees means that building height is a less critical factor when assessing street experience.

The development framework has identified two locations where building height steps up beyond six storeys; these locations are directly to the east of the Cathedral and in the sites southeastern corner adjacent to the Yarrow Chapel.

Policy Context

The application does not conform to the current City of Victoria Official Community Plan or the Fairfield Neighbourhood Plan but reflects conversations with City staff and anticipates changes in the OCP strategic review underway. To accommodate a new mixed-use zone with a maximum density of 2.5 FSR and height of 90 metres and 30 storey maximum envelope, an amendment to the current Official Community Plan is being proposed and a subsequent amendment to the Fairfield Neighbourhood Plan is being recommended.

The OCP currently has two designations for the subject site: Urban Residential and Public Facilities, Institutions, Parks and Open Space (See Figure 4). Urban Residential allows primarily residential uses in the form of three-six storey, low- and mid-rise multi-unit buildings and a base density of 1.2 FSR to a maximum additional density of 2.0 FSR. Public Facilities, Institutions, Parks and Open Space allows public and landmark buildings and a density of 0.5 FSR with up to 2.5 FSR for residential non-market housing. The OCP already recognizes that 2.5 FSR for residential is acceptable in this location.

Figure 4 shows that properties to the north and west of the subject site are designated Core Residential, which aligns better with this rezoning application. Therefore, this application proposes redesignating the entire site to allow residential, mixed-use, commercial and institutional uses with a base density of 2.5 FSR and a maximum height envelope of 30 storeys or 90 meters. The intent of this designation is to allow for a mix of low-mid-, and high-rise multi-unit, mixed-use, and large floor plate commercial and institutional buildings, which aligns with the proposed rezoning application.



Figure 4: OCP Map 2: Place Designation (clip).

The subject site is located in the Fairfield Neighbourhood bordering the downtown core. When the Downtown Core Area Plan was updated in 2022, a portion of the Northwest Area as identified in the Fairfield Neighbourhood Plan, adjacent to the subject site, was included in the updated Plan and designated as Residential Mixed-Use District. Policies in the Residential Mixed-Use District direct the “development of new zoning that includes density levels to accommodate mid-rise to high-rise residential, commercial or office development” (p. 34). This policy direction should be extended to the subject site.

The Fairfield Neighbourhood Plan shows the future land use of the subject site as “Public Facilities, Institutions, Parks and Open Space” (p. 41), but provides no development direction. Properties to the north and south of the subject site allow a base density of 1.2 FSR and additional density up to 2.5 FSR with a maximum height of 20 metres and 6 storeys. Properties to the northwest of the subject site allow a base density of 2.0 FSR and additional density up to 5.0 FSR with a maximum height of 37.5 metres and 12 storeys. Policies in the Fairfield Neighbourhood Plan align more with this proposed rezoning application with respect to a density of 2.5 FSR.

In the Downtown Core Area Plan, there are multiple properties within 300 metres of the subject site that allow a range of densities and heights. The highest density is within the A-1 category which allows a mixed-use FSR of between 4.0 and 6.0 FSR where the residential FSR may not exceed 3.0 FSR. Within the A-1 area, the maximum building height is 90 metres and 30 storeys. Policies in the Downtown Core Area Plan align more with this proposed rezoning application with respect to a height being sought.

This proposal has been shaped with reference to existing policy guidance, including the OCP, Downtown Core Plan, Fairfield Neighbourhood Plan, General Urban Design Guidelines, Development Permit Area 14 Guidelines, and the Zoning Bylaw (CHP-PB and C3 Zones). Additionally, project stakeholders worked to balance density with an appropriate composition. As with all master plans, this density if realized, will occur over a 25+ year time scale; meanwhile, this density adds qualitative and quantitative value to the site that supports the Diocese in the vision both philosophically and practically.

Project Benefits and Amenities

Historically, the Precinct and Diocese have addressed community need through wide and diverse ministries, including but not limited to:

- Internal and external arts and cultural events, offerings, rentals and partnerships
- The independent educational programs offered through the non-profit Christ Church Cathedral School Educational Society
- Long-standing relationship with the Centre for Studies in Religious and Society at the University Victoria,
- Immigrant and refugee program and services
- Over 7 non-profit owned and operated affordable housing on various sites across the Diocese including in the City of Victoria and Saanich, and
- Partnerships with other faith-based and secular spiritual organizations to share space and co-locate on the Precinct and other Diocese sites.

This proposal will allow for these continued ministries, new opportunities, and also the long-term protection and enhancement of the Cathedral as a civic amenity within an ever-changing local and regional context. Under the development framework proposed in this application, the following are some of the civic benefits to be secured and realized:

- Renovations to the interior of the Christ Church Cathedral to make it more accessible and reconfigure it to better serve as an arts and culture venue and multi-purpose space.
- Seismic upgrades to three heritage designated properties to ensure they continue to stand for generations as exemplars of the city's development.
- Construction of a new amenity building that will provide new Cathedral offices, supportive spaces (e.g. commercial kitchen) and be available for use by other community groups and organizations.
- New dedicated north-south and east-west green connectors and corridors across the site, including stronger connections to the existing Pioneer Square and the South Lawn.
- Setting the stage for a pedestrian-first plaza-style treatment of Quadra Street to create a clear sense of place and establish the Cathedral as a true community space.
- Helping address the city's ongoing housing crisis and City of Victoria's housing targets and provincial requirements through the addition of significant of new residential units.

Community Engagement

Engagement within the church community, stakeholders that use the site, and the broader community has been at the heart of the Building for the Future (BFTF) process for over two years; in fact, over 5 years ago, the Cathedral undertook a Greater Works Consultation to set the stage for the larger Master Plan process. Information about stakeholder and community engagement during earlier phases of the BFTF process is available Christ Church Cathedral Precinct: Building for the Future Phase One Report (March 2022) and in Appendix C: Stakeholder Engagement. The development framework presented in this application reflects what was heard during those early engagement phases and shows public need for this proposal.

As potential site designs emerged, the BFTF team shared more information with interested parties across a range of venues and channels. The formal pre-application engagement specifically included:

- Project introductions with the boards of the Fairfield-Gonzales Community Association and Downtown Residents Association
- A pre-application meeting with the Fairfield Gonzales Community Association Land Use Committee
- Two open houses at the Cathedral for both congregants and interested community members
- Two online sessions for interested community members; and
- A design workshop with City staff and representatives of neighbourhood landowners with major development proposals underway.

Invitations to the above events were sent via e-mail to organizations and individuals identified in early engagement phases and the feedback received will help inform site design decisions ahead of submitting a formal rezoning application to the City of Victoria in December.

Regular updates about the Cathedral Precinct Master Plan project are posted to the Christ Church Cathedral's Building for the Future website [here](#).

Indigenous Reconciliation

The Cathedral leadership has been working to build a relationship with Songhees and Esquimalt First Nations through programming, invitations to participate in services and events, and most recently, working toward a mutual understanding regarding the redevelopment of the Cathedral Commons located at the southwest lawn. These conversations started in 2018 and include re-dedicating the space in a respectful way as *sxw̓enxw̓əŋ tənəxw̓* (the family group who have ancestral connections to this area). The BFTF team is engaging with Songhees and Esquimalt representatives to continue this dialogue throughout the Master Plan process.

Information about the Diocese's commitment to reconciliation is available [here](#).

Community Need and Demand

In an urban location constrained for space and in a market in need of more housing, the solution is higher density on inner-city sites with access to amenities. The current OCP land use designations (Urban Residential and Public Facilities, Institutions, Parks and Open Space) and zone do not allow the range of uses, density or heights necessary to meet the needs of residents or achieve the vision for the Precinct.

The current zone for the Precinct allows public buildings, churches, community recreational facilities, theatres, and accessory uses/buildings to these uses. This proposed rezoning application aims to keep the existing church and cultural uses but add residential and a range of uses to provide much-needed housing and activate ground-floor commercial spaces to contribute to a vibrant community.

To accommodate this proposed rezoning application the following range of uses would provide flexibility for the future:

- Assisted Living Facility
- Brew Pub (beer, spirits, wine)
- Care Facility
- Church / Assembly
- Civic Facility
- Club (social or recreational club)
- Cultural Facility
- Drinking Establishment
- Dwelling Unit
- Equipment Rental
- Financial Service
- Food and Beverage Service
- Home Occupation
- Hotel
- Office - community
- Personal Service
- Public Building
- Residential
- Residential Lock-off Unit
- Retail Liquor Sale
- Retail Trade
- Small-Scale Commercial Urban Agriculture
- Studio
- Utility

Neighbourhood and Impact

The 1.4-hectare single-title site contains several iconic and historic buildings and spaces which serve a variety of spiritual and social functions for the Anglican community as well as other cultural and arts groups from across the neighbourhood, city, and region. The Christ Church Cathedral is an iconic centrepiece for the neighbourhood. Retaining these historic assets while adding residential and commercial uses would be a complement to the neighbourhood.

Project Objective #1: Reposition the Cathedral Precinct

The proposed development framework provides a foundation to make existing spaces more accessible and create more opportunities to deliver community value. The Master Planning process began with a needs assessment among Cathedral users. Two themes emerged: first, a need to upgrade the building's interior spaces so they can be used for a wider range of purposes and by a wider cross-section of the community. Second, a desire to make the Cathedral building more attractive and more accessible in its context.

Looking to precedent in other cities and working with the City of Victoria and significant neighbours, a concept was developed to deliver a new shared democratic public space that will become the 'civic' front door to the Cathedral. At a finer grain, landscape and public realm strategies are being explored that expand on the exiting mature landscape and invite their enjoyment by adding north-south and east-west pedestrian routes through the site (see Figure 5).

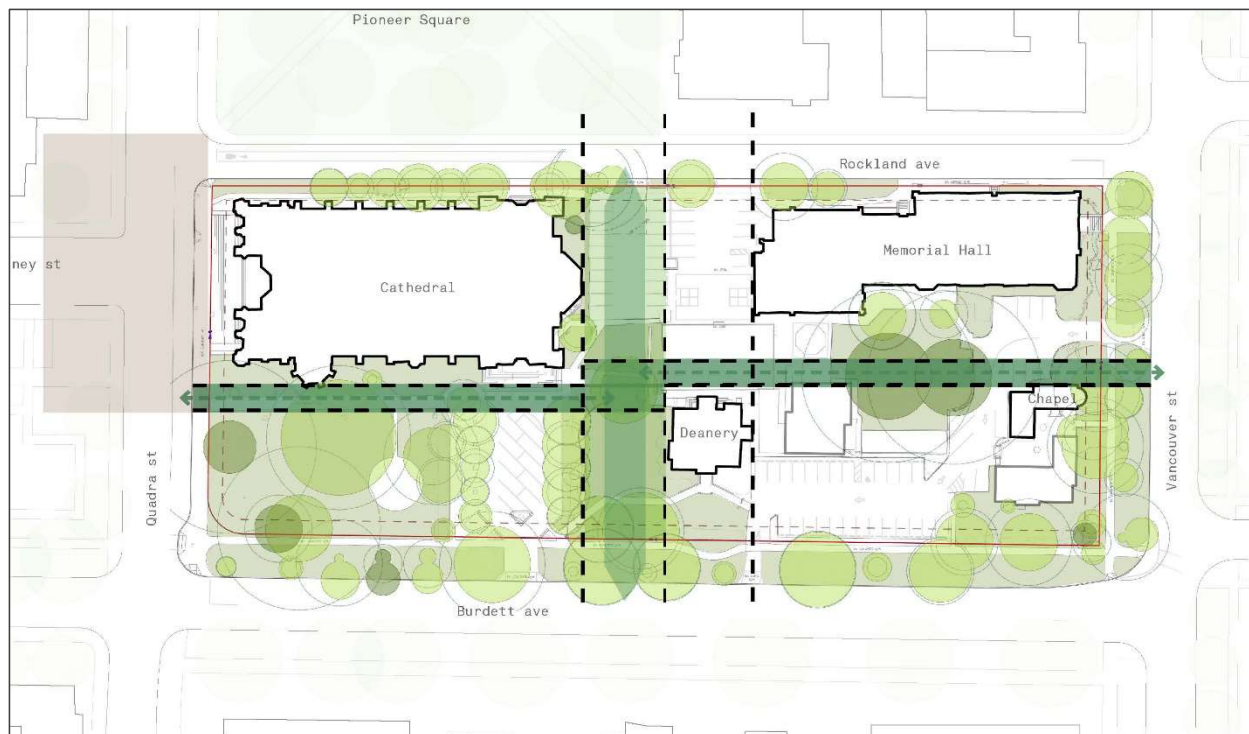


Figure 5: Christ Church Cathedral Precinct, proposed pedestrian corridors

The strategy for public space and landscape interventions on the Precinct prioritize maintaining the Cathedral's compositional prominence. This ensures that the Cathedral will retain its position as a standalone building within a green park environment. The

development plan for the eastern half of the Precinct deliberately shares scale similarities with neighbours, creating visual continuity and a shared street scale. This strategy aims to build a symbiotic relationship with neighbours, ensuring that any new development contributes positively to the human-scale street environments found in the area.

Project Objective #2: Create development density to expand the social, community and cultural offerings on site.

This objective underscores the need to revenue to support the future financial viability, renovation and upkeep of the Diocese, Cathedral, and key heritage buildings in the long-term. This will be achieved through phased development, as negotiated through a master development agreement (MDA) with the City throughout the rezoning process. To considerately introduce development, while understanding flexibility is needed to respond to market conditions and community need and demand, the following phasing framework is proposed.

The site has been delineated into four discrete parcels, each integral to the transformation of the city block while striking a judicious equilibrium between historical conservation and contemporary functionality. Parcel 1, earmarked for the Cathedral amenity building, operates independently, impervious to concurrent infrastructure work on other parcels. This preliminary phase prioritizes the preservation of the Cathedral's architectural legacy.

Parcel 2, situated in the southeast quadrant, assumes prominence for primarily residential development, with a parkade below. This phase introduces modern living while upholding a commitment to green spaces, augmenting the overall urban experience. Progressing to Parcels 3, 4, and 5 necessitates exacting coordination, particularly concerning below-grade parking facilities. Parcel 3's development is intricately planned to preclude disruption to the ongoing operations of Memorial Hall School, underscoring the preservation of educational spaces amid urban evolution.

The strategic expansion of Memorial Hall on Parcel 4, likely mandating the temporary relocation of certain operations to Parcel 5 during construction, marks a pivotal phase. Parcel 5, envisioned as the conclusive development parcel, denotes the denouement of this transformative initiative. The tactical division into five parcels, with nuanced consideration for the below-grade parking structures beneath Parcels 2, 3, and 5, provides phasing flexibility and facilitates a sophisticated approach to construction and community integration. This well-conceived plan ensures the precinct's seamless evolution, embodying the city's commitment to preserving its historical tapestry while navigating the imperatives of a dynamic future. The Cathedral precinct stands as a testament to meticulous and adaptable development, where historical resonance converges with contemporary urban functionality, forming a crucial component of a rezoning application.

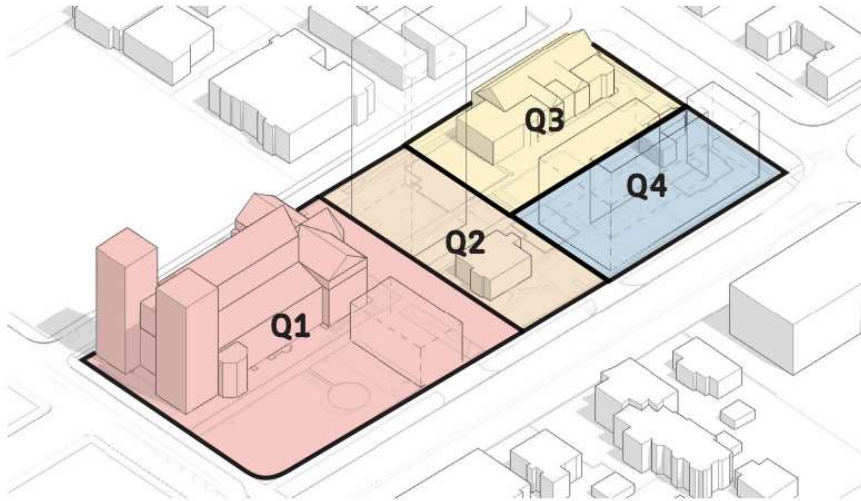


Figure 6: Proposed Development Zones

Project Objective #3: Retain, celebrate and enhance the precinct's heritage

The proposed development framework works with the existing heritage assets to celebrate their presence and to deploy them as noteworthy features defining the identity of the re-development. The Cathedral's position as the primary physical onsite feature is paramount and its geometry has shaped site planning (see Figure 6).

The proposed development frameworks four quadrants are each discussed in further detail below.

1. The Cathedral and South Lawn (Pink)
2. The Southeast Quarter, including Yarrow Chapel (Blue)
3. Memorial Hall, including the School (Yellow)
4. The Central Mall, including the Deanery (Orange)

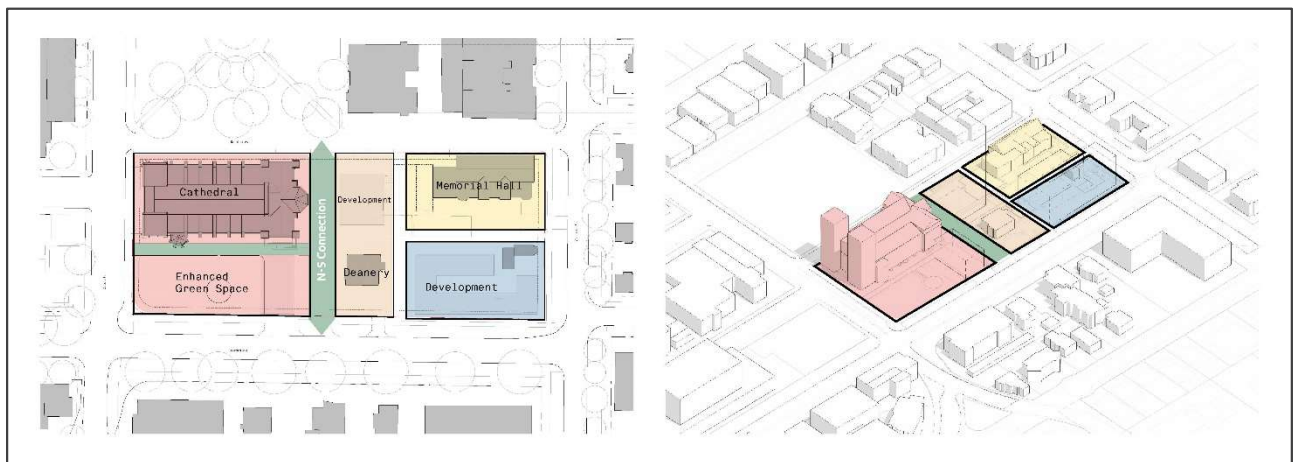


Figure 7: Christ Church Cathedral Precinct, development framework

The Cathedral and South Lawn

The proposal aims to create opportunity for the Cathedral to be more accessible in context and have a stronger relationship between Pioneer Square to the north and the park-like south lawn. The Cathedral is the focus and the proposed amenity building south of the Cathedral's east end will be developed as an appropriately scaled, compositionally appropriate addition. This space will provide much needed modern community and operational facilities to the Cathedral Diocese and partners.

The Southeast Quarter

The southeast quarter has been identified as an early phase of re-development that seeks to deliver best value to stakeholders and community by generating income and providing high-quality urban housing for the community. Working within the intent of the Fairfield Neighbourhood Plan, 2019 and the Cathedral Hill Precinct Development Permit Area 14, the aim is to realise the Precinct's identified capacity for growth by delivering multi-unit residential development at a medium-to-high density. These units will animate the streetscape with front doors, cultural, and commercial uses. The proposals will recognise the transitional nature of the Precinct as it bridges between the high-density downtown core and the lower-density residential fabric of the Fairfield area. The proposal specifically works with similar development footprints to the immediate neighbours, thereby retaining street scale and urban experience, while using sensitive and strategic building height and forms to deliver needed density.

Memorial Hall and School

Memorial Hall is a distinct Gothic revival facade that currently serves as a K-8 school. While the building is important to the character of the area, its internal structure is inadequate for modern educational purposes. The proposal will consolidate the school on to a smaller site footprint, while providing the opportunity for 50 percent floor area expansion by area in a multi-storey form. This strategy would retain the elevational character of the building while enabling its modernisation to deliver education in a contemporary fit-for-purpose environment. To deliver this strategy, the newer extensions to Memorial Hall, such as the existing school gymnasium, will be removed and replaced.

The Central Mall including the Deanery

The Deanery is an unusual building which differs from the other heritage buildings on site in that it does not have specific or unique heritage features. The most interesting facet of the building is its situational relationship to the Cathedral. The scale of the house and its format limit its usefulness today. Historically, the Diocese has utilized the building in various ways, as housing but also as a bookstore, offices, and meetings spaces. Without significant renovations the building will have less relevance and become less useful over years to come. The development framework respects the compositional situation of the Deanery and delivers a redevelopment strategy that could retain or relocate the Deanery building. This strategy enables the stakeholders to consider their evolving needs and balance it with heritage impact at the most appropriate moment. Relocation of the Deanery may deliver a better development opportunity in that required density can be delivered in buildings that have fewer storeys.

Behind the Deanery and on the east-west axis of the Cathedral nave, we have identified a location that could deliver high-density development at the heart of the Precinct. Working

with the Cathedral's powerful east-west geometry it is possible to consider placing a tall slender residential building that compliments the composition of the Cathedral and accommodates necessary development area. The scale of this building will provide the opportunity to deliver a much-needed financial boost to help fund the proposed public realm and building upgrades.

Design Framework

This application has been prepared in keeping with the intent of the OCP guidelines for Development Permit Area 14: Cathedral Hill Precinct. At this time, the application does not seek a concurrent development permit, as the phasing of new construction of the property has not been decided. However, this application proposes a framework to begin the collaborative design guidelines process with City staff, as discussed at the various charettes held with the City over the last two years. This approach will assist in ensuring that any future development is consistent with the materiality and context of this crucial City space.

The development framework sets out an approach to building footprint, landscape structure, and defines site circulation, transportation strategies and vehicular access for servicing. The strategy has a 'pedestrian first' approach while making significant moves to enhance the functionality and accessibility of the whole Precinct.

Looking to precedent in other cities and working with the City of Victoria and neighbours, we have developed a concept to deliver new shared democratic public space that will become the 'civic' front door to the Cathedral. At a finer grain, the proposed landscape and public realm strategies that expand on the existing mature landscape and invite the community to enjoy the environment by adding north south and east west pedestrian routes through the site.

The urban design plan for the site achieves the objectives of the vision through the application of the following rules:

1. Celebrating the Cathedral: site hierarchy and geometry set out by heritage assets
2. Open Space and Contextual Integration: creating pedestrian first connections and human scale building footprints
3. Locating Density: distributing density so it doesn't compete with the Cathedral

Recognizing the need for density while negotiating the site constraints including the protection of heritage assets, urban forest and landscape, bedrock and parking, the resulting urban design plan results in the site division into four quadrants that provide flexibility and allow for phased development.

Density Distribution on Site

Through iterative site planning influenced by due diligence, city staff and the community, two key areas for density have been identified. The following diagrams illustrate the guiding principles to locate density on this historic site.

1. Primary tall building to be located on axis behind the cathedral, to enhance its presence in the context.
2. Medium density to be located along the South.

3. Additional density to be located on the southeast the corner, at Vancouver St and Burdett Avenue.
4. Locating the towers in the two corners provides the greatest distance between them.

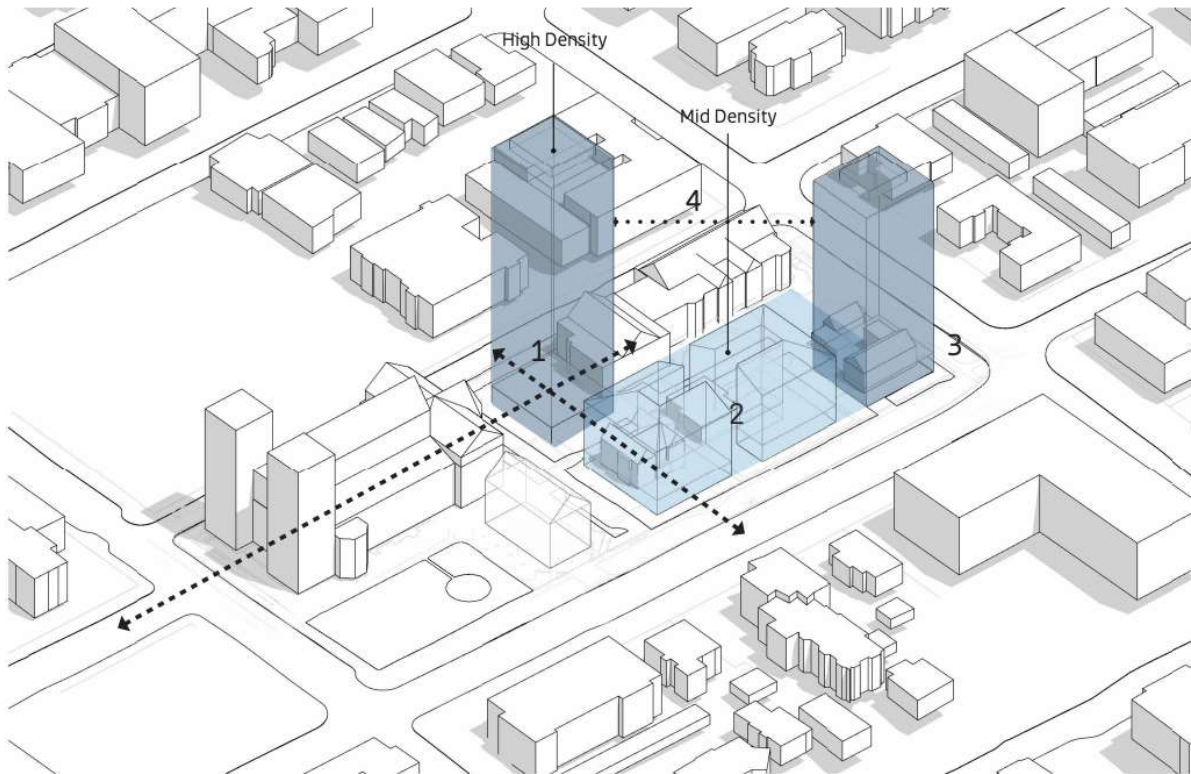
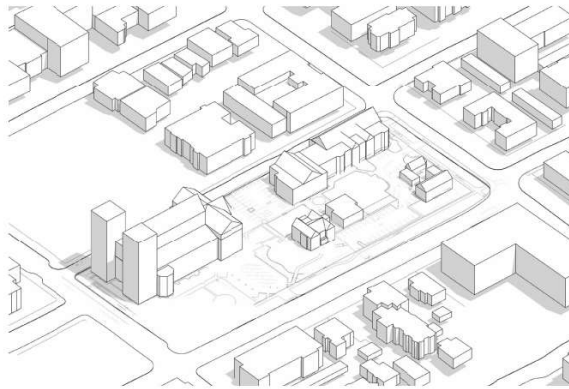
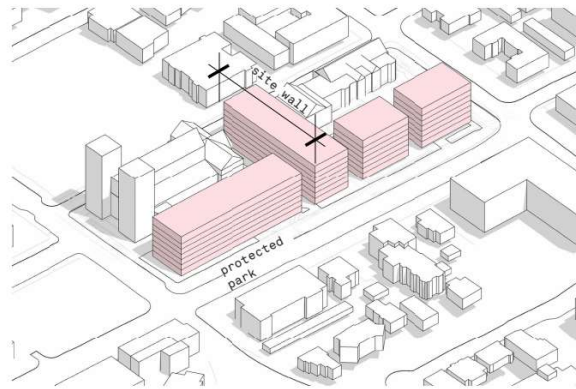


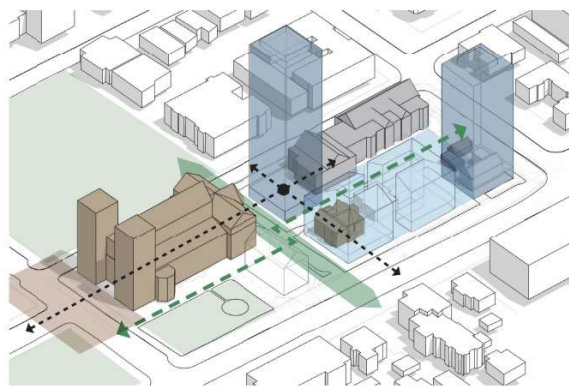
Figure 8: Density Distribution on Site



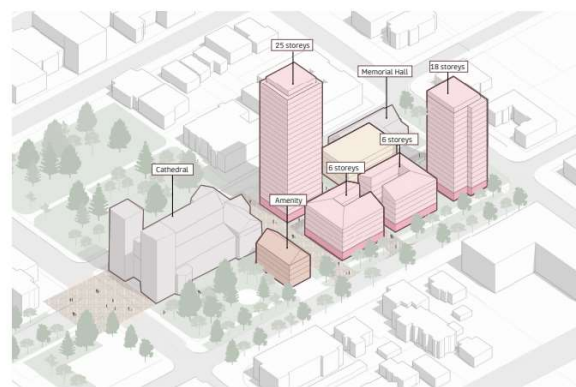
1. Existing site condition



2. seven storeys at 2.5 FSR



3. Guiding principles



4. Resulting massing on site

Figure 9: Proposed Massing

Framework

Overlaying the principles of hierarchy, open space and fabric and locating density creates an overall framework that allows for additional density on site while providing porosity, flexibility, celebrating heritage and making a livable community with access to sunlight. The proposed design framework is as follows:

-  Maximum distance between towers
-  Site breathability
-  Primary tower alignment with Cathedral axis
-  Secondary tower emphasize corner to create street address
-  Maximise sun exposure to internal path and Memorial Hall

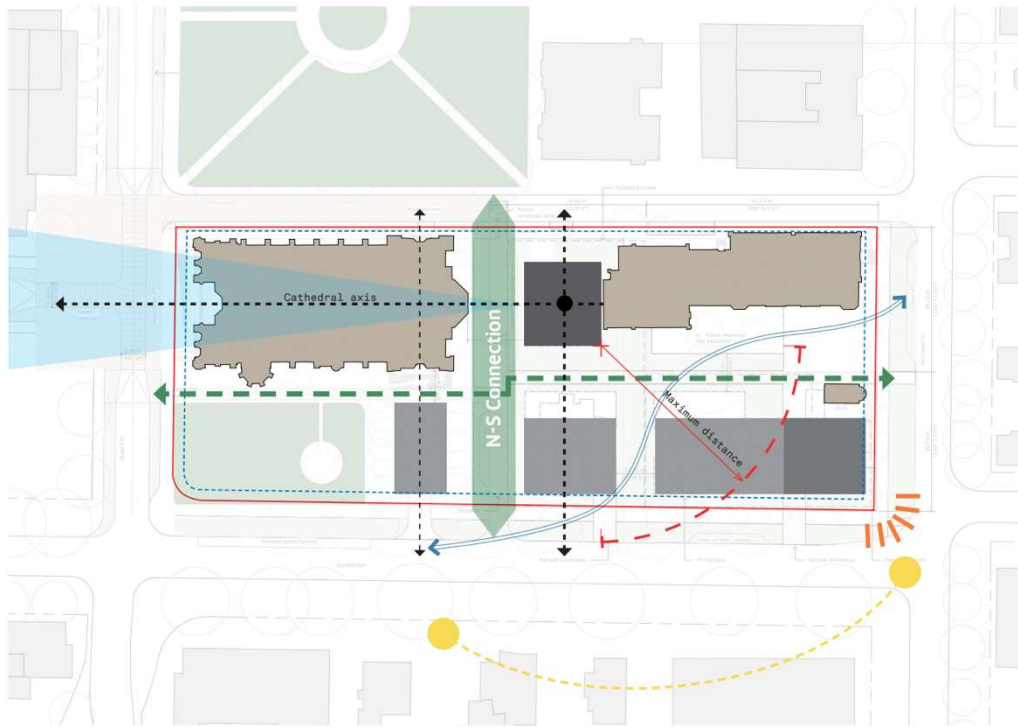


Figure 10: Design Framework

Community Safety

The proposal seeks to address the significant increase in community safety concerns around the Precinct; this was one of the top concerns communicated during engagement with current Precinct visitors and users, and the adjacent development community. The project team has worked collaboratively with the City to undertake a CPTED analysis that informed the landscape and design suggestions included in this application. However, the lack of diverse activity throughout all hours is known to be one of the larger contributors to the unsafe activities and users on and adjacent to the site. Welcoming new uses, such as permanent housing and commercial, along with new active transportation corridors and improved soft and hard landscape features will bring new light and activity to the site, putting “eyes on the street” to support community safety, inclusion and well-being.

Transportation

The Diocese retained Watt Consulting Group to provide transportation, circulation and parking recommendations in respect of the additional residential units, commercial uses, and public realm improvements proposed for the subject site.

All transportation plans for this initiative will seek to advance City of Victoria policies that encourage sustainable transportation, lower parking requirements, and creating more housing options in proximity to frequent transit. The Precinct is located in an area conducive to sustainable transportation and where the City would like to increase overall housing supply.

The Precinct has a walk score of 95, indicating that daily errands do not require a vehicle, and it has immediate access to the Vancouver Street all-ages and abilities (AAA) bike facility. The site is also within short distance of the Fort Street AAA bike facility that connects to downtown Victoria and the wider AAA bike network. Lastly, the site is in proximity to the Humboldt Street and Richardson Street AAA cycling facilities, which provide east-west connectivity to downtown Victoria, the Fairfield neighbourhood, and Oak Bay.

The project proponents are attuned to current concerns about traffic in the Precinct area, in particular traffic and parking issues generated by the drop-off and pick-up of children attending the elementary school on site. Mitigating these concerns will be a focus of transportation plans for the proposal going forward, as well as coordinating with staff on the Parking Guideline review currently underway.

A charette held with adjacent neighbours and City staff in the summer of 2023 focusing on upcoming redevelopment plans in the Precinct neighbourhood, a consensus vision emerged for a pedestrian-first design philosophy for the area that could include:

- A car-free zone along part of Courtenay Street
- A shared and flex-use streetscape on Quadra Street to serve as a forecourt to the Cathedral
- A narrowed Quadra Street from Broughton Street to Burdett Street that will serve as a transit corridor to bring people right to the Cathedral's front door, aligned with the future Quadra Street corridor planning, and
- An improved cycling connection between Rockland Avenue and Courtenay Street.

Through the Traffic Impact Assessment and Traffic Demand Management work undertaken, the site proposes underground secured vehicular and bicycle parking (approximately 200 stalls for vehicles and 411 long-term bicycle stalls) alongside diverse street-level secure pedestrian, cycling, and maintenance vehicle and accessibility parking. As a pedestrian-first lens is a core objective of this project, working with staff to iteratively project and adapt to changing community needs related to vehicle, cycling and pedestrian access will continue through application review but also each development phases.

Heritage

Heritage Status

Three buildings within the Cathedral Precinct are designated heritage buildings: the Cathedral, Yarrow Chapel, and Memorial Hall. Despite previous assumptions, a fourth building on the site, the Deanery does not actually have heritage status, although it is included on the City of Victoria's heritage registry. The buildings have heritage significance for their aesthetic value, historical/ cultural value, social value, and spiritual value. Statements of Significance were written for these four buildings in 2007 and all were added to the Canadian Register of Historic Places in 2010. The original statements have recently been updated and amended by Cummer Heritage Consulting, which has been retained for this project. These Statements, particularly their lists of Character Defining Elements (CDEs), will be used to guide all proposed work on these buildings to ensure their heritage value is maintained and enhanced.



Christ Church
Cathedral



Yarrow Chapel



Memorial Hall



The Deanery

Figure 11: Images of buildings on the site.

Site History

Today's Christ Church Cathedral is situated on the land of the traditional territory of the Coast Salish and Lekwungen speaking people, specifically the Songhees and Esquimalt First Nations. A recent report on the history of the Cathedral noted that "Church Hill" was formerly covered in Oak trees, suggesting kwetlal (camas), a native flower and important Indigenous food staple, may have grown in the area. The hill overlooked xwszyq'am (whu-SEI-kum, "place of mud"), known to settlers as James Bay, which contained valuable clam beds. People camped near here when they were gathering kwetlal roots at Beacon Hill. Hunting grounds and a portage route to Ross Bay were accessed via the head of the bay.

The beginning of Christ Church Cathedral is closely connected to the Hudson's Bay Company and the founding of the colony of British Columbia. There were two earlier iterations of the Church prior to this current version. One built in 1860, which burnt down in 1869, and a second built in 1872, which was used until the stone cathedral was completed in 1929. There was a desire for a stone cathedral for decades prior to its construction, however, budgetary constraints delayed this becoming a reality and resulted in the third iteration being the "Unfinished Cathedral" that it is today.

In 1891, a competition was held to determine the design of the new stone cathedral. Architect J.C. M. (John Charles Malcom) Keith won the competition but would not get to see his design built for nearly forty years, due to funding issues and the interruptions caused by two World Wars and the Great Depression.

As the Diocese of today confronts how best to fund the maintenance and use of the Cathedral for the coming decades, it is worth noting that historical records show that throughout the 20th century there were ongoing challenges with raising the necessary funds to maintain the Cathedral Precinct and discussion within the church community about the best course of action for the site.

Conservation and Revitalization Plans

Today, work is proposed to conserve the designated heritage buildings and extend their physical life, while simultaneously revitalizing the site through new development in strategic locations to provide much-needed revenue that will fund and support the on-going work and expense of maintaining these heritage buildings in perpetuity. As part of the revitalization of the Precinct, the heritage buildings will be preserved, restored, and rehabilitated, using each

asset's Character Defining Elements (CDEs) as a guide. The proposed changes to the Precinct do not affect the Heritage Values nor the CDEs of these historic places. Heritage Conservation Plans are being researched and written for each of these heritage buildings as part of this rezoning application, which will provide greater detail on the proposed conservation work. RJC Engineers has been engaged to provide seismic and structural upgrade plans for the heritage buildings, work that is currently underway.

Infrastructure

Utilities and Infrastructure

The Diocese has retained Herold Engineering to provide civil engineering expertise for the project. Herold reviewed the existing sanitary sewer, storm drain and water infrastructure in the neighbourhood and proposed site service locations for the ultimate build-out of the Cathedral District site. Discussions with the Supervisor of Land Development in the Engineering and Public Works department at the City of Victoria have been favourable to the proposed servicing design for the site.

Sanitary sewer, storm drain and water services are proposed to be located on both Rockland Avenue and Burdett Avenue. The sanitary sewer and storm drain mains on both Burdett and Rockland have been lined in recent years and no capacity issues are anticipated in those mains. It has also been confirmed that the existing water mains on Quadra Street and Vancouver Street will be replaced under the City of Victoria's long-term plans in the next 20 to 30 years.

Herold Engineering suggests servicing each proposed building with individual sanitary sewer, storm drain and water (fire and domestic) services. During this process, a sanitary attenuation study will be completed early in the development process, as well as calculations to meet the Fire Underwriters requirements. As Herold Engineering moves through detailed civil design, depths of the existing sanitary and storm drain mains will be confirmed and individual service depths will be determined for the various development sites.

Herold Engineering does not anticipate that any main extensions will be required to service the various building sites, but if extensions are required it would be at the cost of the project.

Landscape Design and Tree Retention

The proposed landscape design approach will celebrate the significant heritage qualities of the Cathedral through a thoughtful and engaging public realm that complements the beloved community landmark. The landscape intent will be to strengthen physical and visual connections in the area while introducing a clear identity for the Precinct. Existing and proposed edges of surrounding properties will seek to increase public activation with the introduction of added public space at critical corners. Under City of Victoria plans, Courtney Street will be converted into a narrowed pedestrian-oriented street allowing for formal and informal events for community use, while Quadra Street will be designed with a uniform material treatment to operate as a more pedestrian-focused shared zone creating a welcoming space for visitors to gather at the Cathedral's entry.

The Rockland Greenway corridor will continue along the shared plaza with room for temporary stalls/installations made available for pop-up events. Throughout the Church's courtyards, permeability will be accentuated through the design of several green

connections that will extend the surrounding existing green corridors of the local neighborhood.

Designing with native flora will be the primary focus as a planting strategy helping to support the local biodiversity and increase the urban canopy to help advance the City of Victoria Forest Masterplan. Through the thoughtful combination of the listed design approaches, the Cathedral Precinct can become a highly active community hub, offering multiple opportunities to engage and interact for all users and visitors of the space.

Part of the project team includes Gye + Associates certified arborists who have been engaged to undertake the assessment of the existing tree cover and tree condition within the Cathedral Precinct. Protecting, enhancing and increasing the urban forest is a priority of this project, understanding the benefits they provide are multi-faceted and increasingly important as other neighbourhood density is realized.

Conclusion

The Cathedral and Diocese community look forward to this once-in-a-generation opportunity to protect and shape the future of one of Victoria's most important urban places. Christ Church Cathedral Precinct is a crucial cultural, community and heritage asset that sits as a significant feature of the City's landscape. The Master Plan aims to secure additional land uses that celebrate and protect the Precinct's heritage, increase the vitality and accessibility of the Precinct to the direct and larger community, while providing flexibility and opportunities for all to shape the cultural, social, and physical future of the site. The project team welcomes the opportunity for collaboration and partnerships throughout this rezoning process to achieve an iconic public space for the City for generations to come.

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Introduction

*Throughout mediaeval Europe, the crowning glory of any great city was its cathedral.
These beautiful edifices were more than places of worship.
They were the very heart of the communities' culture and society.*
- Christ Church Cathedral, Ottawa, ON

Recognizing the ever-evolving nature of Cathedrals and their historical significance, the discussions surrounding the redevelopment of Victoria's Christ Church Cathedral Precinct have spanned over a century and a half. From the international public competition for the current Cathedral's design in 1891 to more recent considerations during the East End extension in the 1980s and seismic upgrades of Memorial Hall, the Precinct's transformation has been an ongoing dialogue. Stakeholder consultations have highlighted the need for a comprehensive Master Plan to align with the shared vision for the Precinct, considering market dynamics, the rapidly changing neighbourhood and community needs. With a sense of urgency driven by these factors, a strategic plan is imperative to shape the future of the Precinct through the mid-21st century.

"Building for the Future" is a long-term plan for the Christ Church Cathedral Precinct by laying out an inspiring vision for improving our buildings and grounds, including both renovation and new construction, along with a realistic plan for how to fund this work. In essence, it is a masterplan that provides a strong framework that will protect the long-term value of the Cathedral and Precinct for centuries to come.

Phase 1 - *Framing the Master Plan* involved extensive internal and external engagement, visioning exercises, and site analysis, led by Wiser Projects and FaulknerBrowns Architects. The needs of the three principal stakeholders,

- 1) the Anglican Diocese of Islands and Inlets
- 2) the Christ Church Cathedral community, and
- 3) the Christ Church Cathedral Education Society (CCCES) (the School),

were identified. The findings and recommendations documented in the Phase 1 report include the opportunities and constraints in creating an evolving Cathedral Precinct for the city.

Phase 2 - *Creating the Master Plan*, has been a large and complex undertaking, organized in three sub-phases, which took two years to complete. The Master Plan represents a major investment in the collective future of the three principal stakeholders and the City of Victoria



The Opportunity

The Cathedral Precinct is one of the largest single-owner, community-held parcels of land in the City of Victoria providing unparalleled opportunity to build on its history of community service, amenity provision and evolution to meet changing needs. Redevelopment affords the opportunity to retain the current uses and grow to address future needs. For the community to retain ownership of this asset, significant changes need to be realized on the Precinct.

The Master Plan and rezone strategy for the precinct is crucial to ensure we capitalize on the opportunity to meet the identified needs. By planning to increase and diversify the use of the Precinct lands, modernize the heritage assets and maximize community accessibility it will be possible to meet community needs and provide new opportunity for all. The following considerations were key drivers in the opportunity analysis.

Development of the Cathedral Precinct

- A better-utilized, more community-focused Cathedral, visited and appreciated by more people, more frequently
- Enhance the Cathedral's position as a significant civic asset within the urban fabric of the City – e.g. What is the arrival sequence? How does the Cathedral have a positive impact on context?
- Renew and expand the School, with a completion target of 2035
- New construction to accommodate additional Cathedral needs and shared services
- Explore opportunities to introduce other socially appropriate uses to the Precinct, such as housing and community commercial needs
- Identification of spaces that could be usefully shared and used by a variety of stakeholders and user groups
- Identify ways of using the asset to deliver funds to realize the project vision of securing the sustainable economic, physical and social future of the precinct and buildings

Modernization and Reformatting of the Existing Cathedral

The existing Cathedral is an interesting but unfinished vision. The current building is made of two phases of construction the original nave space and then the 1990's "East End" extension on the area traditionally planned as 'the crossing'. The Cathedral does not have the traditional compositional elements often found in churches of this type, such as transepts, quire and high altar. The bones of the existing church consist of a simple rectangular space for worship and other events.

Key considerations:

- Maximize the effective usage of the existing building
- Improve accessibility, welcoming and wayfinding – only 37% of the current spaces in the Cathedral are accessible



- Upgrade existing facilities – with capacity for 600 people, there are three female washrooms, three male washrooms. This does not meet with current standards for occupancy or accessibility
- Explore flexible formats to support a variety of worship scenarios
- Explore flexible formats that enhance the capability to accommodate a variety of musical and other cultural events
- Identify spaces that can be enhanced to provide additional shared space for use by the School
- Sensitive integrate seismic upgrade with work to modernize the cathedral for community use

Modernization and Upgrade of Memorial Hall / Protection of Yarrow Chapel and Full Retention



- Off-siting of unusable buildings no longer fit for purpose
- The addition of new space to support community activities and the affective operations of cathedral programming

Figure 1: conceptual drawing of an imagined Cathedral square on Quadra Street and views west from the Cathedral.

Site Context

Land Use

The Cathedral Precinct is unique in the City, the Province, and in Canada. As a result, this project is not shaped by or driven by a specific planning policy.

As with all Master Plans, this project will be realized over many years. The current Cathedral is the third iteration of the Church's presence on the site: The first Church was built in the 1850s only to burn down in 1869; the second was built in the 1870s and used for decades until the present stone cathedral, as designed by Architect John Charles Malcom (J.C.M.) Keith, was completed in 1929, which remains to this day.

Since its completion, there have been efforts to change and add to the Cathedral Precinct: as early as the late 1960s there were significant maintenance issues with the Memorial Hall and the Bishop's House, and plans were drawn up to demolish and replace those two buildings with a fifteen-storey building with office and rental space. Another proposal would have added a four-storey extension with covered parking and office space to the Cathedral itself. Later, in the 1980s, those same plans would be dusted off again, but the costs were prohibitive, and no agreement was reached.

The goal of the Master Plan and rezoning is to build a deliverable framework so that a new vision, that builds on earlier ideas, can be delivered.

The proposed development framework, site planning and delivery strategy is flexible to accommodate a fully mixed-use development in multiple phases. The site planning has been tested and can accommodate a significant dense development in excess of 3.0 FSR. The proposal described in this document has been developed through consultation, stakeholder engagement and expert review. The result is a composite of land uses that can be deployed into a maximum building envelope to provide a useable build area of no more than 2.5 FSR, composite across the whole precinct land holding.

The proposed new Precinct zone responds directly to planning policies to expand on the defined 'Public Facilities, Institutions, Parks and Open Space' uses by developing out multifamily residential uses aligned to the site's urban residential designation. The principles of development are to build community and enhance the range of accessible facilities that bring value to all – celebrating the historic, making most of the current and adding for the future. The rezoning proposal aligns to the demonstrated need for the City to support urban residential land uses of different tenure, increased density and of mixed typologies.

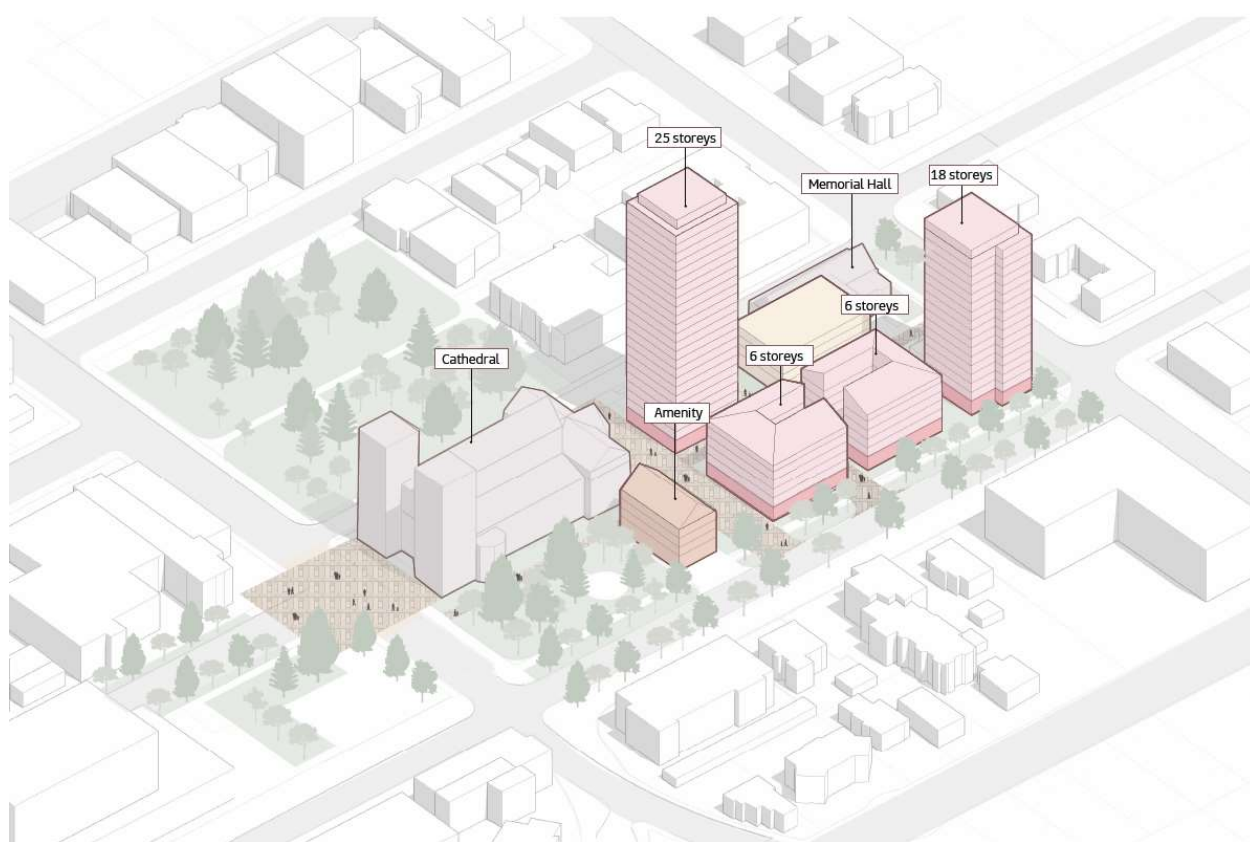


Figure 2: Proposed site plan for the Cathedral Precinct.

Project Information Table

Table 1: Current and proposed zoning information for the Cathedral Precinct.

	Current Zone	Proposed Zone
Zone (existing)	CHP-PB Cathedral Hill Precinct (Public Buildings) District	Cathedral Hill Precinct Comprehensive District
Proposed zone- or site-specific zone	Site specific	New Zone
Site area (m2)	13,623 m2	13,623 m2
Total floor area (m2)	N/A	34,100 m2 (5,500 m2 existing heritage)
Commercial floor area (m2)	N/A	1,800 m2 to 3,600 m2
Floor space ratio	2:1	2.5:1
Site coverage (%)	N/A	Buildings = 6,131 m2 (existing heritage 3,515 m2)
		Parking and Driveway (Lane) = 527 m2
		49% (6,658 m2)
Open site space (%)	60%	51%-40% depending on massing

Height of buildings (m)	22.5m	Max. 90 m
Number of storeys	N/A	Max. 30 storeys
Parking stalls (number) on site	(For <i>Place of Worship</i> use) 1 space per 40m ² floor area	Approx. 200 stalls, pending detailed design and final range of uses and tenure
Bicycle parking number (Class 1 and Class 2)	(For <i>Place of Worship</i> use) 1 space per 200m ² floor area, or part thereof	411 Long Term, 86 Short Term (dependent on final unit numbers and commercial area)
Building Setbacks (m)		<i>See Appendix C: Design Package</i>
Front yard	7.5M from street	1 m setback at North elevation, 3m setback on East, South, and West elevations
Rear yard	3.7-9.0m	Min. 10 m (except distance between Cathedral and Amenity)
Side yard	3.7-9.0m	N/A
Combined side yards		Min. 10 m new between buildings
Residential Use Details		
Total number of units	N/A	240 to 320 units
Unit type, e.g., 1 bedroom	N/A	Unit mix and tenure; to be confirmed upon development permit per phase
Ground-oriented units	N/A	Unit mix and tenure; to be confirmed upon development permit per phase
Minimum unit floor area (m ²)	N/A	Unit mix and tenure; to be confirmed upon development permit per phase; estimated at 33m ²
Total residential floor area (m ²)	N/A	23,150 m ²





Table 2: Land uses and associated gross floor areas and floor space ratios for the Cathedral Precinct proposal.

Christ Church Cathedral Precinct – Rezoning Submission | 15

		25,163		75%
Total		34,100	2.5	100%
		40,944		120%
Site Area		13,623		
2.5 FSR		34,058		



Policy Context

As existing policy is due for renewal and previous conceptual plans out of sync with current need, we recognise the need for a new framework. In the context that much has changed and continues to evolve within the municipal planning-policies, we note that policies are moving to include increased densities to support dense sustainable city communities. Key policy opportunities include:

- The Site is within the Fairfield Neighborhood Plan boundaries; and within 200m of the urban core and can significantly advance objectives of the current OCP and the Downtown Core Area Plan
- The current and increased provision of cultural and community space is aligned with the Cathedral's Aspirational Statements and within the current OCP
- The Site is a key landmark to the City and Region, and new development will consider viewscales and impacts on the site and how to increase the presence of the Cathedral itself
- Site redevelopment will consider the "sense of place" and opportunities to enhance the existing, valuable forms and character
- Redevelopment and re-purposing will conserve existing heritage while revitalizing the Site
- Enhanced Cathedral community programming and partnerships will support the development of support services for housing in the area, not just on the Site, but the many units of residents anticipated in the downtown and Fairfield Neighbourhoods in the coming years

Regional Growth Strategy

The Regional Growth Strategy (RGS), created January 2018, is a bylaw adopted by the Capital Regional District (CRD) that outlines the vision and objectives for growth over the next 20 years. The strategy has 7 goals, of which the first objective is to "keep urban settlement compact." To achieve this objective, the CRD recommends complete communities that allow for walking, cycling and transit and that are a "dense mix of housing, employment, services and public open space." Much of the proposed functional programming proposed for the Master Plan would conform to the RGS by providing dense urban amenities.

The Official Community Plan

At the time of writing, the 10-year Official Community Plan update has begun; this provides an opportunity to revisit the position of this Site within the larger context and align the application goals with changing community goals.

The current Official Community Plan (OCP) for the City of Victoria (created 2012, last updated February 2020) covers 13 different topic areas. Within these topic areas are objectives and policies that are relevant to the Master Planning process. Those policies that are relevant to public/cultural uses, including land management and development; placemaking – urban form; housing and homelessness; and arts and culture are summarized below.

The OCP outlines areas of expected population growth by 2041, citing how the urban core area is expecting to accommodate a growth factor of 50%. Between 2011 and 2041, 10,000 new residents are expected to move to urban core areas and will need to be accommodated by new housing developments and community supports.

The OCP notes that “while Victoria remains the regional centre for arts and culture facilities, events and activities, the arts community faces relatively high costs for rental space, and limited availability of suitable venues.”

The Cathedral property’s land use designation in the OCP is split between Urban Residential on the western half (where the cathedral sits) and Public Facilities, Institutions, Parks and Open Space on the eastern half. However, in the Fairfield Neighbourhood Plan, the entire parcel is dedicated as “Public Facilities, Institutions, Parks and Open Space.” Clarifying this parcel to both reflect what is there, but also future use is one of the intents of this application and may be updated with the current OCP review underway.

Anticipated land uses in the Urban Residential land use designation include ground-oriented multi-unit residential, low-to-mid-rise multi-unit residential, and low-to-mid-rise mixed use along arterial and secondary arterial routes. The OCP identifies a base floor-space ratio in the Urban Residential designation of 1.2:1, but this may be increased at strategic locations to 2.5:1 if it advances other objectives in the plan.

Anticipated land uses in the Public Facilities, Institutions, Parks and Open Space designation are government office, administration, and ceremonial uses, recreation and institutional uses.

Urban Place Designations

The OCP uses Urban Place Designations to guide broad land uses across the city, as laid out in Section 6 of the OCP. Christ Church Cathedral is shown on the map below with the red dot. In the OCP this property is considered urban residential (eastern half) and public facilities, institutions, parks and open space (western half).

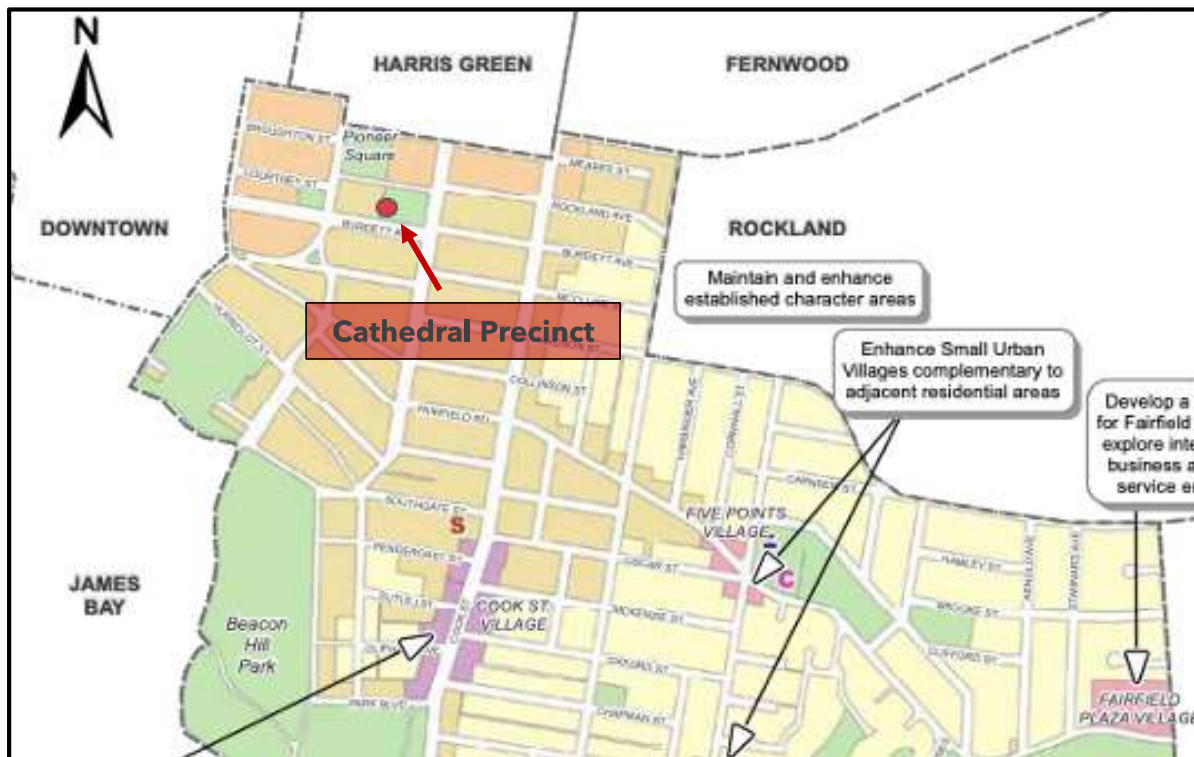


Figure 5: Urban Place Designation, Official Community Plan (OCP), City of Victoria.

Urban Residential (Western Half)

This site is directly across the street from the “core residential” area as outlined in the Downtown Core Area Plan (DCAP) which allows for higher buildings and densities than in urban residential, with building up to 24 storeys (72m) in height and over 6 FSR.

Table 3: Urban Designation features.

Built Form	Character	Uses	Density
Urban Residential Designation			
Attached and detached buildings up to three storeys	Variable yard setbacks with primary doorways facing the street	Ground-oriented multi-unit residential	FSR: Between 1.2:1 and 2.5:1
Low-rise and mid-rise multi-unit buildings up to approximately six storeys	Variable front yard landscaping, boulevard and street tree planting	Low to Mid-rise multi-unit residential Low to Mid-rise mixed-use along arterial roads	FSR: Between 1.2:1 and 2.5:1
Downtown Core Area Plan			
Mid-rise residential and mixed-use	Landscaped step-back and recess to break up building mass	Mixed-use community that provides a blend of institutional,	FSR: Between 3:1 and 5:5:1



buildings (up to 36 m in height)	3m setback from fronting property line 22m max residential floorplate width and 900 sq.m. max floor plate width	commercial, industrial and residential activities throughout a series of neighbourhoods	
High-rise residential and mixed-use buildings (greater than 36 m in height)	North-South tower orientation Min 3m setback from street wall 650 sq.m max residential floorplate and 24m max floor plate width	Mixed-use community that provides a blend of institutional, commercial, industrial and residential activities throughout a series of neighbourhoods	FSR: Between 3:1 and 5:5:1

Public Facilities, Institutions, Parks and Open Space (Eastern Half)

The public facilities designation prioritizes government office, administration and ceremonial uses, but still allows for accessory residential uses.

Table 4: Public Facilities Designation Features.

Built Form	Character	Uses	Density
Public Facilities Designation			
Public buildings prominently sited in landscaped open space and formal grounds with variable heights	Variable with landmark buildings and open spaces deployed across the city, serving as local, city-wide, regional or provincial destinations	Government office, administration and ceremonial uses	FSR: Up to 0.5
Recreational, institutional, educational buildings and structures within open space	Variable with landmark buildings and open spaces deployed across the city, serving as local, city-wide, regional, or provincial destinations	Accessory residential uses Recreational uses Institutional uses including education, health and research, culture, and assembly Accessory commercial services	FSR: Up to 0.5*

*It is worth noting that although the maximum suggested FSR in the OCP is 0.5, the current zoning (refer to table 1) allows for an FSR of 2.0.



Table 5: Current Official Community Plan Objectives and Policies Relevant to the Master Plan and Precinct Site.

OCP Sections	Objectives and Policies	Master Planning Considerations
Land Management and Development (section 6)	Objectives	
	6I That the Downtown Core Area remains the Capital Region's primary economic, social, arts, cultural, and entertainment centre and where government employment and supporting services are retained and expanded.	The Site is on the boundary of the Downtown Core Area (DCA). Policies from the DCA Plan will be considered in the Planning of the Site.
	6 (f) That Town Centres and Urban Villages become progressively more complete so that over time residents can attain goods and services to meet daily needs within a 15-minute walk of home.	Providing cultural and community space adds amenities and supports to meeting personal needs. Aligned with Aspirational Statements.
	6 (g) That all 13 city neighbourhoods contain a range of housing types suitable to people with a mix of incomes, living in a variety of household types, throughout their lives.	Aligned with Aspirational Statements.
	Policy	
	6.10 Maintain and implement a detailed local area plan that supports the development of the Downtown Core Area	Fairfield Neighbourhood Plan Downtown Core Area Plan
	6.22 Generally support new development in areas designated Urban Residential that seeks densities toward the upper end of the range [...] where the proposal significantly advances the objectives in this plan and is: -within 200 metres of the Urban Core -or within 200 metres of Town Centres or Large Urban Villages -or along arterial or secondary arterial roads.	The Site is within 200m of the Urban core and has the opportunity to significantly advance objectives of OCP and the Downtown Core Area Plan.
Placemaking Urban Design and Heritage (section 8)	Objectives	
	Objective 8(b) That the views from the public realm of existing landmarks are maintained, and that new landmarks are introduced to enhance the visual identity and appearance of Victoria and to	The site is an important landmark to the city and new development will consider views and impacts on the site.



	improve wayfinding around the city.	
	8(c) That new buildings and features contribute to the sense of place in development permit areas and heritage conservation areas through sensitive and innovative responses to existing form and character.	Site redevelopment will consider the “sense of place” understood through engagement and existing form and character as reflected in the Heritage work undertaken.
	8(j) That heritage property is conserved as resources with value for present and future generations.	Redevelopment and re-purposing will conserve existing heritage while revitalizing the site.
	Policy	
	City Form: Policy 8.6 Conserve and enhance heritage value, character and special features of areas, districts, streetscapes, cultural landscapes and individual properties throughout the city.	Master Planning will align with City Form vision as collaborated via the Design Principles for the site. The plan allows for financial sustainability for the future of this historical gem. Preservation, while not inexpensive, will be funded through the plan ensuring the longevity of the precinct for current and future generations.
Housing and homelessness (Section 13)	Objectives	
	13 (a) That housing development that responds to future demand is facilitated through land use policies and practices.	Enhanced Cathedral community programming and partnerships will support the development of support services for housing in the area.
	13 (b) That housing affordability is enabled for housing types across the housing spectrum, particularly for people in core housing need.	Additional density supports affordability by increasing the available housing stock, with tenures, mixes and residents to be determined by community need and market demands.
	13 (c) That the existing supply of rental housing is expanded through regeneration.	The Diocese currently provides over 250 units of secured, permanent below market housing through a variety of other sites across the CRD, and has at least three sites in the CRD being considered for additional new, non-market housing in partnership with BC Housing, CMHC, FCM and other partners.
	13 (d) That a wide range of housing choice is available within neighbourhoods to support a diverse, inclusive and multigenerational community.	
	13 (e) That partnerships enable stable housing with appropriate support services.	The redevelopment of site provides opportunity to add housing and densify an underutilized site in a prime urban location.



		The potential for an intergenerational mix on this site is well supported when you consider the urban location, the adjacent school, and the supportive parishioners. The diocese is an institution that has a sustained presence and long history of serving the community. The further development of this site ensures this tradition will continue in future.
Arts and Culture (Section 16)	Objectives	
	16 (c) That cultural diversity and cultural heritage are celebrated and sustained.	In alignment with Aspirational Statements by the Cathedral and Diocese community, but also the larger arts, cultural and heritage community engaged in throughout the project and City of Victoria arts community engagement undertaken in 2021-2022.
	16 (d) That the arts are accessible to a broad diversity of people and groups.	In alignment with Aspirational Statements and proposed Cathedral renovations that will continue to support the arts in many forms.
	16 (e) That a wide range of cultural spaces are available and affordable	In alignment with the possibility of enhanced community programming on site. Renovations will vary the space offering. Additional supply of venues will competitively reduce prices through supply and demand principals.
	Policies	
	16.10.2 Seeks opportunities for partnership with the public, private and non-profit sectors.	The Precinct Renewal Plan will seek partnerships in the Cathedral Hill Precinct area for a variety of projects and strategic partnerships. The exact partnerships and alignment will be determined as the project evolves.
	16.10.4 Enhances support to local, non-profit groups engaged in arts or culture programs	The Diocese has a long history of community support for the arts and cultural projects. Enhanced programming in this historic and landmark venue will continue to

	support the community and serve as a destination to draw in visitors..
16.14 Participate in a regional arts facility assessment study to identify existing opportunities and create a long-term plan for future facilities.	To be accomplished as part of the Master Planning process.
16.15 Consider opportunities for new arts and culture facilities as part of a capital plan for visitor destination development in partnership with senior governments, organizations and private developers.	To be accomplished as part of the Master Planning process.

Downtown Core Area Plan (2022 Update)

The Downtown Core Area Plan (DCAP) is a 30-year Plan that is premised on concerted effort and collaboration by both the public and private sectors. The Christ Church Cathedral Precinct site is located just outside of the DCAP boundaries but is surrounded on two sides by the Residential Mixed-Use District of the Plan. The plan identifies that over the next 30 years additional public amenities will need to be provided to provide a balance with the forecast growth and development. Key features of relevance to the Precinct include:

- **The Density Bonus System:** Establishes a density framework for the Downtown Core Area that balances the need for increased density in some areas with the need to maintain livable communities, through the contribution and provision toward key public amenities. It restricts density in some areas to a pre-determined maximum level but allows developers the possibility of acquiring additional density in other strategic areas, up to a specified maximum, by providing or contributing to key public amenities
- **Increased Housing Options:** Accommodates and fosters a greater range of housing options throughout the Downtown Core Area by land use, urban design and transportation polices, including support for non-market housing
- **Heritage Buildings:** Acknowledges the retrofit, re-use and conservation of existing heritage buildings within the Downtown neighbourhood – which have been identified as integral components in retaining the attractive and unique historic streetscapes that are enjoyed by residents and visitors alike and that serve to enhance the public realm. Introduces an additional financial incentive to support and encourage the seismic upgrading of heritage buildings within the Downtown. It also explores the potential to expand the Heritage Tax Incentive Program within the Downtown Core Area and lengthen its term up to 15 years
- **Livability:** Identifies and supports the concept of improving vitality and livability within the Downtown Core Area through initiatives and strategies to create an attractive and functional public realm, well-designed and diverse built forms, and a range of amenities to serve the daily needs of residents, businesses and visitors and an improved local economy. Attentive to ensure the downtown core area has enough

residential and commercial space available to keep up with short-and-long-term growth forecasts, while enhancing existing green space

- Transportation: Provides policies and action to support the integration of infrastructure and public realm improvements that support the use of alternate modes of travel, including walking, cycling and transit. Concentrates higher density and transit-supportive development within walking distance of the Douglas Street transit corridor
- Supporting the location of leisure, education, arts and cultural activities within the Downtown Core Area to both encourage greater local use and increase tourism and investment
- Creating memorable streets and places that serve both to attract people and to benefit the community. Celebrating Victoria's architectural and cultural heritage at every opportunity and ensuring that new development complements both the existing architecture and natural environment of the Downtown Core Area

Development Permit Area 14: Cathedral Hill Precinct

Within the OCP, the Cathedral Hill Precinct occupies a special development permit area with its own policies and conditions.

Relevant policies relating to DPA 14:

- 1(b): Establishment of objectives for the form and character of commercial, industrial and multi-family residential development
- 3(b): High and medium density multi-unit residential and commercial on the west portions and park space and lower-density residential and park space on the east portion
- 4(b): Enhance the Cathedral Hill Precinct through a high quality of architecture, landscape and urban design that reflects the function of a major residential centre on the edge of a central business district in scale, massing and character
- Additionally, within DPA 14, design guidelines allow for new buildings that are similar in height and scale to existing buildings. According to these guidelines, new buildings within the DPA could be built of similar height to the Cathedral and the Cathedral School

Heritage Considerations

Deanery: Although not included in the designation bylaw, the Deanery is listed on the Heritage Register and [Canadian Register of Historic Places](#). The statements of significance for the other buildings mention the importance of the relationship among all four buildings. The City would seek to conserve and designate the building *in situ* through a future development

application; however, negotiations with City staff and politicians are recommended to explore an alternative heritage contribution.

Memorial Hall: According to the Statement of Significance, Memorial Hall has architectural and design value. Its architect, JCM Keith, also designed the Cathedral. All portions of Memorial Hall are protected, and there are no portions identified as unplanned or disposable elements. The segment of the building on the west end was originally anticipated to connect with the Cathedral and may be a natural location for an addition. FaulknerBrowns highlights this natural connection through concept design analysis as outlined in the design package.

Yarrow Chapel: Characterized by its enduring connections to the precinct's history and continued ecclesiastical use. The chapel's French Romanesque architectural style, featuring a compact form, rounded apse, arched windows, and distinctive details such as corbel brackets and a cross on the east end apse, underscores its heritage significance. Mature plantings enhance its timeless charm.

Cathedral: The entire Cathedral is designated, including the East End, with its "Chapel of the New Jerusalem," constructed in 1991.

Land Use: The east half of the site is designated "Public Facilities, Institutions, Parks and Open Space," which permits a narrow range of uses. The west half comprises the Cathedral and Cathedral Commons, which are both heritage-protected. An OCP amendment would be needed to open development potential on the east half of the site.

Fairfield Neighbourhood Plan

The Fairfield Neighbourhood Plan (FNP) (September 2019) is a neighbourhood-level plan that builds on many of the objectives of the City of Victoria Official Community Plan (OCP). It provides a focus on the vision and direction for the Fairfield neighbourhood.

Housing

The FNP calls for higher density housing in the northwest corner of the neighbourhood, due to the proximity to jobs and amenities. The plan addresses this call for increased density with:

- More people in higher residential buildings near downtown, jobs and amenities
- Residential buildings up to six storeys in height between Vancouver Street and Quadra Street (north of Fairfield Road)
- Opportunities created for more people to live close to downtown, jobs, amenities and transit
- Support for the unique place character features of the Fort Street Corridor and Cathedral Hill Precinct in the design of new development; and
- Direct contributions from new development to create new, on-site affordable housing in this area

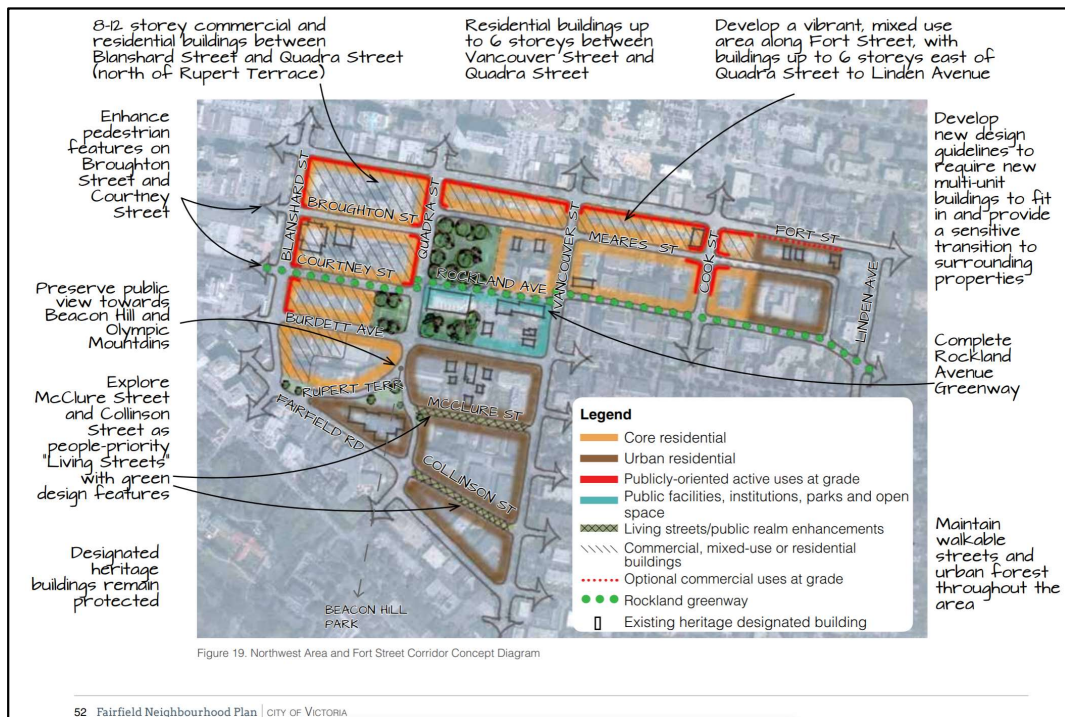


Figure 6: Land Use Designation figure from the Fairfield Neighbourhood Plan, City of Victoria.

Active Transportation

The FNP identifies several important plans for improving active transportation on several streets that border on this site (can be below):

- Vancouver Street AAA cycling network as a priority (north south)
- Rockland Avenue (north of site, runs east-west) as a designated pedestrian and cycling "greenway" route
- Does not identify Quadra Street as an active transportation route

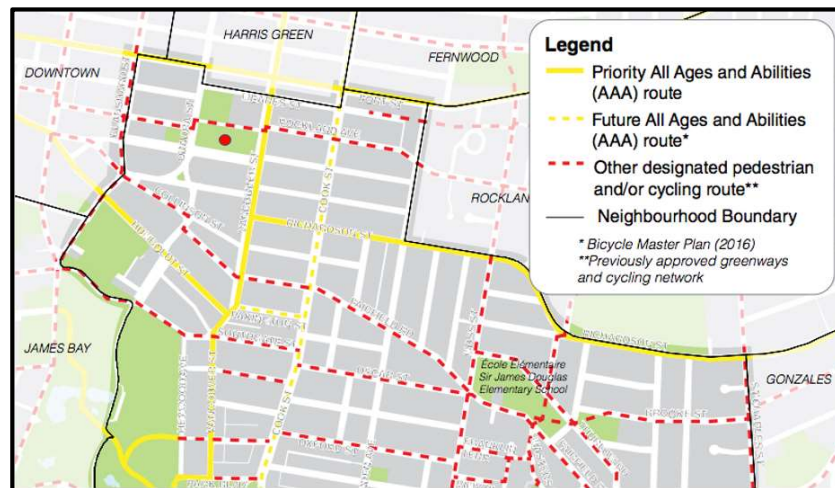


Figure 7: Active Transportation Network, Fairfield Neighbourhood Plan, City of Victoria.

The FNP has the following street-specific policies:

- Quadra Street: Evaluate for pedestrian safety, visibility and crossing improvements.
- Vancouver Street: Evaluate opportunities for traffic calming and diversion.
- Assess Southgate Street intersection for pedestrian safety, visibility and crossing improvements

These policies will contribute to making the Christ Church Cathedral Precinct site a highly walkable and cyclable area, with access from all directions. It should be noted that the City is anticipating a significant upgrade to Quadra Street in the near-term towards a mixed-modal, active transportation focused corridor. The Master Plan aims to reflect this vision.

Create Victoria: Arts and Culture Master Plan

In 2018, Victoria published an Arts and Culture Master Plan. This plan sets out several strategic priorities, goals, and actions to support arts and culture within the City. The number one priority of the plan is that “everyone feels welcome and able to access affordable spaces for creative participation, production and enjoyment.” The current and proposed operations for the Cathedral align with the City’s Strategic Priorities.

Strategic Priority #1: Connecting People and Spaces

- The Cathedral is looking to increase accessibility for those with disabilities, and to make its spaces more open to all

Strategic Priority #2: Building Cultural Leadership

- The City suggests holding conversations between not-for-profits and businesses to support their facilities
- This site could secure CACs from a developer to help support renovations



Strategic Priority #3: Telling Our Story

- The Cathedral is already known for its concerts and events and could expand this capacity
- Due to its heritage status and connection with the history of Victoria and British Columbia, the Cathedral already attracts both residents and tourists interested in exploring these subjects. Tourist activity at the Cathedral is already considerable, and steps are underway to enhance it further

Strategic Priority #4: Being Future Ready

- The Cathedral has already invested thousands of dollars in high-tech video equipment to run their services live-stream online

Victoria Music Strategy

The Victoria Music Strategy identifies five priority areas that require support from the City and the greater community. These priority areas align with the strategic priorities of the City and the project vision:

- Remove regulatory barriers and create music-friendly policies
- Preserve existing spaces and encourage the development of new spaces
- Build local capacity for artists to develop their music careers
- Grow audiences and expand access to music in all its forms
- Seek partnerships and collaborations to explore new innovative music platforms and experiences

Community Engagement

Phase 1 Engagement

The stakeholder engagement sessions for the Cathedral and the School provided crucial in-person and on-line discussion and direction for Phase One. The Steering Committee approved a questionnaire that was discussed in-person by internal Cathedral stakeholders on September 24th and 25th, 2021, and on-line with parents of the School on November 16th, 2021. Questionnaires were distributed to external Cathedral stakeholders, teachers and the Board of Directors of the School.

Cathedral Internal Stakeholders

Cathedral stakeholders assembled on September 24 and 25th, 2021 to participate in facilitated stakeholder sessions. Stakeholders responded to the following questions:

- What they valued most about the Cathedral Precinct and what was most important to preserve and enhance with future generations?
- The limitations to current space on the Precinct
- What had they seen or learned from other Cathedrals and Churches?
- Regarding the Cathedral's aspirational statements, how could spaces enhance worship and devotional life; better accommodate music, visual and performing arts; and be more welcoming to the public?
- If they were building Christ Church Cathedral today, what would we do differently or the same?

There was much consensus and overlap of thought across the groups. The following is a summary of stakeholder values, sentiment and recommendations.

Values and Sentiment

Stakeholders describe the nave as majestic, beautiful and magnificent. They particularly value the small chapels and spaces for quiet contemplation and worship. They recognize the rich history of the Precinct buildings and site.

Stakeholders also value the unique integration of Diocese, School and Parish and the opportunities for synergies and growth. They recognize the unique contribution of the School families and the Cathedral children and youth.

Stakeholders recognize the balance between cherishing the Precinct history and innovating for the future. Innovation is required to enhance gatherings, hospitality, music, visual and dramatic arts, local community connections and developing a supportive relationship with the City of Victoria.

Stakeholders also acknowledged the Precinct property as likely the most valuable asset to pass on to future generations.

A Vision of the Future

The vision for the Precinct is a beautiful place that attracts and supports the next generation. Examples of this could include flexible new spaces to host conferences, community events, learning and hospitality; a community support space to host health clinics and aid for the homelessness; a comfortable drop-in space for games, conversation, and friendship; and better physical integration of School and the Cathedral for kitchen and gathering spaces.

There are also clear opportunities to redesign the nave to accommodate music, worship, and performance in more flexible ways, bringing warmth and connection on all sides to worship, music, concerts and Parish life. Again, examples might include: an opportunity to become Victoria's signature music, arts, performance venue and an innovator in music and the arts; a plaza connection to Burdett Avenue with a café; a connection to the new park at the Courthouse; and the possibility of becoming a housing provider.

Challenges to the Cathedral's Growth and Innovation

The current nave design presents challenges for children, people with limited mobility, clear visibility, placement of choir members, dramatic presentations and optional/adapted seating for worship and gatherings.

The shape and size of the chancel, with its multiple levels and distant, removed feeling is characterized as "neither functional nor pleasing. A stylistic mismatch with the building." Limited sight lines, acoustics and accessibility are challenges throughout the building. The limited number of volunteers within the Parish affects the ability to plan for the future.

The north side of the building along Rockland Avenue presents municipal limitations. The small, dark, cloistered narthex is seen as "dim, dingy and foreboding." There is inadequate exterior lighting and signage around the building. The small kitchen and inadequate Chapter Room are problematic for current programming and future growth. There is a lack of multi-functional and flexible space.

The Deanery/Synod office work and meeting spaces function poorly and there is a lack of centralized administration space. Administration is located separately from the Cathedral proper.

Cathedral External Stakeholders

Many of the third-party respondents to the questionnaire stated that the biggest musical/performance advantage comes from the Cathedral's openness and eagerness to embrace new programming and partnership opportunities, and it's obvious and willing support for the arts. Local arts organizations appreciate the engagement of Cathedral

administration and programming staff. The Cathedral is seen as “quick and creative, openminded and supportive.” They make the arts organizations feel welcomed, appreciated and at home.

It’s widely acknowledged that carefully chosen music programming attracts a broad cross section of the public into the Cathedral building. This brings value to the community and serves as public outreach to the community regardless of religious affiliation.

Findings and Trends

- The community would benefit by a gathering room that is larger and better equipped for hospitality than the Chapter Room
- The use of the Chapel of the New Jerusalem could easily be transferred elsewhere, but the powerful presence of its large stained-glass window must be preserved
- Consideration of the use of the School for community and artistic groups should be considered
- Potential temporary home for the VSO in the School, as well as the opportunity for the VSO as a permanent site partner
- Upgrades to nave and narthex include acoustics, seating, choral seating, hospitality, ticketing, event management

School Stakeholders

There was consensus amongst the engagement activities related to the School that the site could be utilized in far more efficient and effective ways to support the STEAM vision and revised growth projections. This includes an enhanced relationship between the Cathedral and the School, but also the overall Precinct and the School indoor and outdoor activities.

Findings and Trends

- School parents: utilize the School site in more efficient ways, including maximize the basement; improve pick up/drop off access; carry STEAM vision throughout spaces both indoor and outdoor; improve health and safety through renovations and new design, including environmental health; improve connections between School and remainder of Precinct
- School staff: improved 5G and technological access across the site; uniformity in design, materiality and furnishings; improved parking and site access; improved building maintenance
- School Board of Directors: focus on teacher and staff needs more holistically; improve welcoming of physical building and experience for staff and students; focus on improved space not just for double cohort but STEAM vision specifically visual and performing arts

Conclusion

The findings, trends, and recommendations throughout the engagement process were provided iteratively to the project team and committee to ensure a continual input from the community and stakeholders. What was identified in the findings, trends and recommendations has led to the recommendation of areas of opportunity and priorities for work in Phase 2. A variety of mutually beneficial partnerships were identified throughout this

process that warrant further exploration in Phase 2; e.g. a possible partnership with the Victoria Symphony and further alignment between the School and Cathedral from a physical and programmatic perspective.

Phase 2A Engagement

A communications plan for sharing findings and key consideration from Phase 2 with internal and external shareholders is outlined below, including timelines, participants and formats. Sharing updates with stakeholders and participates involved in Phase 1 and 2 will ensure that these communities are well informed while also providing feedback and continue to participate in this project. Communicating updates in the form of progress updates will help maintain project momentum, while generating renewed or new interest, and excitement from a variety of communities with interest and attachment to the Precinct.

Table 6: Communications plan for sharing Phase 2A updates.

Date	Stakeholder	Format & Notes
September 2022	BFTF Steering Committee	Led by: Wiser Projects and Committee Chair • In-person and/or virtual presentation at monthly meeting • Phase 2A Summary Report presentation: key findings and considerations for Phase 2B • Members to share Report within individual organizations
September & October 2022	Anglican Diocese of Islands and Inlets (staff and/or Diocesan Council)	Led by: Wiser Projects and Bishop Anna • In-person and/or virtual presentation • Phase 2A Summary Report presentation: key findings and considerations for Phase 2B
sOctober 2022	Anglican Community	Led by: Wiser Projects and Committee Chair • Update BFTF website page with Phase 2A Report Executive Summary and other information as appropriate • Virtual presentation and info session open to the community • Include Phase 2A Report Executive Summary or relevant sections/details in web, e-newsletter, social media, email and print communication channels and materials for distribution to Anglican community
	School Board and Staff	Led by: Wiser Projects • In-person and/or virtual presentation • Phase 2A Summary Report presentation: key findings and considerations for Phase 2B

	Cathedral Community (various groups)	Led by: Wiser Projects and Dean Ansley • In-person and/or virtual presentation • Phase 2A Summary Report presentation: key findings and considerations for Phase 2B • Include Phase 2A Report Executive Summary or relevant sections/details in communication materials and channels used for regular updates
	External Groups: City staff, Partners, Neighbours, Funders, etc.	Led by: Wiser Projects and Committee Chair • Email update with Phase 2A Report Executive Summary, links to online presentation, and other information as appropriate • Virtual or in-person meeting or presentation as needed for select group(s)

Phase 2B Engagement

At the start of Phase 2B, a robust consultation and engagement plan was prepared for BFTF approval. This plan identified stakeholders, engagement methods, format, and timelines, to ensure that the Master Plan development process benefits from a variety of perspectives to meet the needs of diverse communities.

Public Open House Engagements

The series of open house engagements for the Christ Church Cathedral Master Plan project have successfully concluded, marking a significant effort to ensure transparency and engagement with the community. These events, although not mandatory as per the City's requirements, were undertaken with the conviction that providing ample opportunities for the Parish, School, members of the Diocese and the general public to familiarize themselves with the details of the Master Plan would foster a sense of collaboration and shared understanding. The open house schedule commenced with an informative presentation to the Parish on Sunday, September 24, setting the tone for the subsequent three open houses. Each event served as a platform for constructive dialogue, enabling stakeholders to ask questions, express concerns, and offer valuable insights. This inclusive approach aimed to strengthen the connection between the project team and the community, ensuring that diverse perspectives were considered in shaping the future of Christ Church Cathedral.



Figure 8: Christ Church Cathedral Precinct in-person engagement event.

Table 7: Communications plan for sharing Phase 2B updates.

Date / Time	Location	Format & Notes
Sun, September 24, 2023 12-2pm	Nave - Christ Church Cathedral	Sermon by Bishop Anna. Presentation to follow sermon. Q+A, followed by open house with display boards BFTF members: • Ian Powell • Brendon Neilson • Jeannine Friesen • Isabel Weeks • Stephen Calderwood Consultants: • Paul Rigby, FaulknerBrowns Architects • Derek Lee, PWL Partnership (Landscape) • Katie Cummer, Cummer Heritage Consulting • Kristen Machine/Tim Shah, Watt (Traffic) (<i>Watt depending on status of TIA and PS</i>) Wiser Projects: • Jason Youmans • Rebecca Mersereau
Wed, October 4, 2023 6-8pm	Zoom	BFTF members: • Ian Powell, Brendon Neilson, Isabel Weeks, Stephen Calderwood, Chris Thackray Consultants: • Paul Rigby, FaulknerBrowns Architects • Alf/Jacky/Lucia, PWL (Landscape) • Katie Cummer, Cummer Heritage Consulting Wiser Projects:

		• Jason Youmans • Kaeley Wiseman
Fri, October 13, 2023 12-2pm	Nave - Christ Church Cathedral	BFTF members: • Ian Powell, Brendon Neilson, Isabel Weeks, Stephen Calderwood, Chris Thackray Consultants: • Paul Rigby, FaulknerBrown Architects • Katie Cummer, Cummer Heritage Consulting Wiser Projects: • Jason Youmans • Kaeley Wiseman • Eleni Gibson
Sat, October 14, 2023 6-8pm	Zoom	BFTF members: • Ian Powell, Brendon Neilson, Isabel Weeks, Stephen Calderwood, Chris Thackray Consultants: • Paul Rigby, FaulknerBrown Architects • Alf/Jacky/Lucia, PWL (Landscape) • Katie Cummer, Cummer Heritage Consulting • Kristen Machine/Tim Shah, Watt (Traffic) Wiser Projects: • Jason Youmans • Kaeley Wiseman

Community Association Land Use Committee (CALUC) Community Meetings

The Community Association Land Use Committee (CALUC) Meeting hosted in Fairfield aimed to foster dialogue, understand community needs, and gather input to inform the rezoning submission, considering both support and opposition from the community. Details follow:

Table 8: Cathedral Precinct CALUC engagement schedule to date.

Date / Time	Location	Format & Notes
Mon, September 25 CALUC Preliminary Meeting 7-9pm	Fairfield Gonzales Community Centre 1330 Fairfield Road	Presentation followed by Q+A BFTF members: - Ian Powell, Brendon Neilson, Isabel Weeks, Stephen Calderwood, Chris Thackray Consultants: - Paul Rigby, FaulknerBrown Architects - Katie Cummer, Cummer Heritage Consulting Wiser Projects: - Jason Youmans - Rebecca Mersereau
Mon, October 23 Formal CALUC meeting 7-9pm	Fairfield Gonzales Community Centre 1330 Fairfield Road	BFTF members: - Isabel Weeks - Stephen Calderwood Consultants: - Paul Rigby, FaulknerBrown Architects - Derek Lee, PWL Partnership (Landscape) - Katie Cummer, Cummer Heritage Consulting - Kristen Machine/Tim Shah, Watt (Traffic) Wiser Projects: - Jason Youmans - Kaeley Wiseman

Additional Engagement Activities

In addition to the in-person and online engagements outlined above, Wiser Projects will support the BFTF steering committee in updating the existing Building For The Future website. Updates will include:

- Information about the engagement sessions
- Recording of the September 24 Parish update
- Recording of the Wednesday, October 4 online engagement
- Information sheet including key project updates and points
- Quick access to the City of Victoria Development Tracker, which provides an updated project summary and preliminary conceptual drawings

Indigenous Engagement

The City of Victoria municipal referral process requires public consultation with neighbours, Community Association Land Use Committees, City Staff and Advisory Committees, and



strongly encourages public engagement with local First Nations as part of the rezoning process.

The Precinct is located on the traditional, ancestral and unceded territories of the Lekwungen peoples, known today as the Esquimalt and Songhees Nations. Songhees Nation is governed by a Chief and Council who are elected under the First Nation Elections Act for four-year terms.

The Cathedral has already built a close relationship with these First Nations, through programming, invitations to participate in services and events, and most recently a joint committee working toward a mutual covenant regarding the redevelopment of the "Cathedral Commons". This plan would rededicate the south lawn of the cathedral *ləkwəŋən* territory and ensure that there is a presence of the local nations on the site. An intercultural youth day camp has been in the works for a few years.

As Precinct redevelopment continues, further engagement with Songhees and Esquimalt Nations should be conducted early and often to help develop a strong and lasting relationship. Early engagement provides an opportunity to discuss how deeply and how often the Nation would like to be engaged. Once the appropriate level of engagement has been established, it may open the door to build a collaborative relationship that adds value to both parties. Personalized invitations to First Nations staff and community members to attend scheduled engagement events, as well as providing an opportunity to meet staff and tour the existing property, can be an effective means of relationship building. These efforts along with the grassroots initiatives of the "conciliation team" at CCC aim to continue building a lasting relationship built on mutual trust and respect.

Take Aways

Over several years of community engagement, continuous observation has revealed persistent and predominant themes related to the redevelopment of the Christ Church Cathedral Precinct. The following themes are as follows: (1) Transportation and Circulation, (2) Christ Church Cathedral School, (3) Conservation and Revitalization, (4) Green Space, (5) Land Use Density and Height, and (6) Safety and Security.

Table 9: Summary of Predominant Community Concerns & Methodology to Address Concerns.

Common Themes	Dominant Concerns	Comprehensive Approach to Addressing Community Concerns
Access, Transportation & Circulation	- Concern about traffic implications / lack of parking - Concern about the implications that lack of parking may have on a diminishing congregation	The proposed public forecourt located at Quadra Street is a mixed mode zone which will allow vehicles to continue to use Quadra Street and Courtney Street as they do today. Successful examples of mixed mode zones exist in some of the public's favourite urban spaces, including Exhibition Road in London and Vancouver's Granville Island. These streets allow for greater flexibility of uses and a more enjoyable, accessible, and barrier-free

	Concern about air quality pollution from idling vehicles due to increased traffic flow	pedestrian experience, while still allowing vehicular traffic. The proposed design applies principles outline in the City of Victoria's public realm Strategy and seeks to deliver community-identified transportation and access priorities. A Traffic Impact Assessment was undertaken and concluded that traffic conditions at the study area intersections operate acceptably under existing and background conditions. Development-related traffic can be accommodating on all intersections with no issues, except Quadra Street / Burdette Avenue eastbound in the PM peak hour. A traffic signal is not warranted at Quadra Street / Burdett Avenue based on pedestrian or vehicle volumes along, but the complex context of the surrounding area (close proximity to both a school and a senior's complex) may make it warranted. A parking study concluded that the expected demand for the development is 527 parking spaces - this said, there are several opportunities to share off-street parking spaces and utilize the available on-street parking spaces within the site's vicinity to adjust the overall parking demand. By doing so, the total parking demand for the proposed development is reduced to 375 spaces. There is an opportunity to reduce parking demand further through commitments to transportation demand management (TDM): - Carsharing (e.g., modo) - Electric / Non-standard bicycle parking - Transit Pass Program With TDM measures in place, the space requirements are brought down to a range of 277-360
Christ Church Cathedral School (CCCS)	- Navigating the School's relationship within the Precinct during phased development - Belief that redevelopment on site will negatively impact the school, minimize enrollment numbers,	The school has been one of the three core stakeholders on the Building for the Future Committee leading this initiative since the beginning. The design team has worked and continues to work with the school on demonstrating a variety of ways the school can thrive in the future of a reimagined Precinct. This includes enhancing green space from not just paved play areas but

	impact child safety, welfare and education Concern about the removal of the school turf and playground; implication on child wellbeing	other opportunities both on the Precinct and on adjacent sites and amenity spaces, as urban schools do all across the world. The school, in parallel to this work, is undertaking business planning and program planning to develop a long-term plan for enhancement of their educational offerings. The phasing of development on site will allow for the relocation of portables and continued access to outdoor play space. Coordination between the School and other development partners and the team will ensure that the school will be safe and functional during construction phases. Construction safety and management plans are party of any urban development and consider access, safety and operational success of all partners as priorities.
Conservation & Revitalization	- Concern about the 'privatization' of public spaces that serve public benefits - Concern about losing the heritage value of the Cathedral	Cummer Heritage Consulting was contracted to undertake a Heritage Conservation Strategy Analysis – as follows: The conservation of Christ Church Cathedral, the Memorial Hall and Yarrow Chapel are focused on the preservation of these historic structures, including their various Character Defining Elements; restoration of deteriorated elements; and rehabilitation, where needed, to allow for contemporary new uses. All work will follow the Standards and Guidelines, including the nine "General Standards for Preservation, Rehabilitation and Restoration" as well as the three "Additional Standards Relating to Rehabilitation". The following goals and guiding principles have been strategically developed to ensure revitalization of the site: 1. Conserve and maintain the Precinct's designated heritage assets, in perpetuity 2. Maintain the dominance and prominence of Christ Church Cathedral on the site, with strategic locations chosen for development 3. Ensure all new development on the site is appropriate and compatible 4. Have a people-first, pedestrian priority precinct

		5. Revitalize and activate the site, as a whole, by bringing more people to it in a dynamic and differing ways
Green Space	- Concern about the removal of limited green-space in the city - Concern about removal of heritage trees	Preserving and enhancing green space on the precinct has been one of the overarching goals of this project since its beginning three years ago. Greenspace includes the urban forest, open space, hard and soft landscaping and connectivity to other environmental aspects of the neighbourhood such as Pioneer Square. The quality of greenspace and health of the living environment on the Precinct has been taken into careful consideration into the conceptual design of the site to ensure it is improved and enhanced. Existing green space that sits adjacent to the Cathedral and provides heritage and significant cultural value to the site shall be protected from any major development. This includes: - Any proposed removal of vegetation including understorey planting, shrubs and trees shall be replaced in a manner that maintains or improves upon existing biodiversity and canopy cover throughout the precinct - Cultural and visual heritage will be enhanced and reinforced through the introduction of thoughtful native and native adaptive/resilient planting palettes that are complimentary of the existing natural character of the Precinct - Access including permeability throughout the site will be based around connectivity between proposed additional open green space areas and pedestrian focused nodes/landmarks/spaces
Land Use Density & Height	- Concern about mass and scale - Concern about preservation of skyline - Concern about the impact on the neighbourhood with	This development is to involve as much density as permitted, in order to provide the much-needed additional income to fund and support the on-going work and expense of maintaining these heritage buildings in perpetuity.

	increased congestion, automobiles and noise	FaulknerBrowns has drafted concept design options that provide the greatest enhancement of the Cathedral Precinct while offering additional benefits to the surrounding community. Rather than large floor plates and a maximum height of 6 storeys, building footprints are all smaller than the Cathedral creating a fine grain and permeability through the site. This was tested with various stakeholders through community engagement, aiming to balance the priority of retention and increase of open space and greenspace and site wayfinding and transparency. These reduced floor plates require height be strategically located on the site to hit the 2.5 FSR required to support the seismic upgrading of the historical buildings on site. A 10-metre minimum separation between buildings means that there are clear views to the Cathedral and Memorial Hall throughout the site. FaulknerBrowns is founded on the philosophy that cities and urban environments are enjoyed and experienced from the street Therefore considerable effort has gone into defining a contextually appropriate response to street scale by delivering building elevations and footprints that are similar in scale to those found in the neighbourhood. With the appropriate plan scale the proposals can harmoniously deliver density and building height without having an adverse effect on urban grain or street experience. This coupled with a mature landscape strategy that delivers a strong canopy of street trees means that building height is a less critical factor when assessing street experience.
Safety & Security	• Concern about child safety with an increase in population on site • Concern about bike safety with changes in traffic flow	A Crime Prevention Through Environmental Design (CPTED) audit was conducted through the Victoria Police Department Reserve Program to address the communities concerns regarding safety and security throughout the Precinct. The purpose of this audit is to provide the development team and residents of Victoria with feedback on the current environmental design of the Christ Church Cathedral Precinct, and to suggest changes that will aid

		in the prevention of property crime. The development team is actively incorporating these suggestions throughout phased development. The presence of an increased population on the Precinct will directly increase foot traffic in the area, fostering heightened safety for both the children and residents – through increased community vigilance and a shared responsibility for the well-being of the neighbourhood. Continued but also increased safety related to cycling infrastructure was considered in the site access plans presented; future network changes such as along Quadra Street were also considered. As the Traffic Impact Assessment concludes, existing infrastructure is anticipated to meet future needs, but improved way finding and lighting and user separation are planning through the hard and soft scaping.
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While this offers a brief overview of how the development team has engaged with the community and addressed prevalent concerns, a more comprehensive explanation is provided throughout the entirety of this application.

Comprehensive Urban Design Plan

Design Principles Framework

The development framework sets out an approach to building footprint, landscape structure, and defines site circulation, transportation strategies and vehicular access for servicing. The strategy has a 'pedestrian first' approach while making significant moves to enhance the functionality and accessibility of the whole precinct.

Looking to precedent in other cities and working with the City of Victoria and neighbours, we have developed a concept to deliver new shared democratic public space that will become the 'civic' front door to the Cathedral. At a finer grain we are proposing landscape and public realm strategies that expand on the existing mature landscape and invite the community to enjoy the environment by adding north south and east west pedestrian routes through the site.

The urban design plan for the site achieves the objectives of the vision through the application of the following rules:

1. Celebrating the Cathedral: site hierarchy and geometry set out by heritage assets
2. Open Space and Contextual Integration: creating pedestrian first connections and human scale building footprints
3. Locating Density: distributing density so it doesn't compete with the Cathedral

Recognizing the need for density while negotiating the site constraints including the protection of heritage assets, urban forest and landscape, bedrock and parking, the resulting urban design plan results in the site division into four quadrants that provide flexibility and allow for phased development.

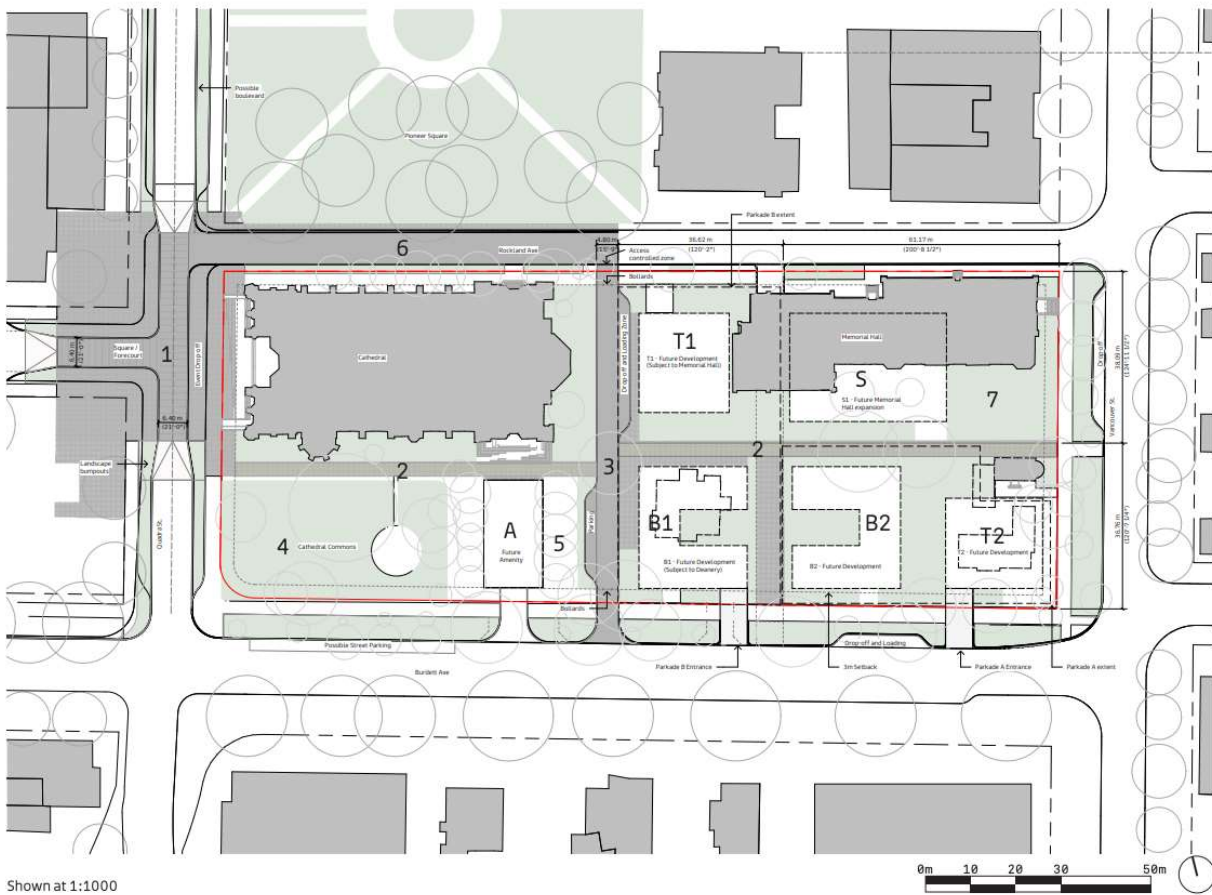


Figure 9: Comprehensive Urban Design Plan

LEGEND

1. Cathedral Forecourt/Square
2. Memorial Mews
3. Christ Church Cut
4. Cathedral Commons
5. Amenity Patio/Plaza
6. Rockland Avenue
7. School Playground

- A - Amenity (Cathedral)
 S - School Extension
 B1 - Block 1, midrise residential
 B2 - Block 2, midrise residential
 T1 - Tower 1
 T2 - Tower 2

Christ Church Cathedral
 Memorial Hall (School)

Yarrow Chapel

Master Plan Design Principles

Precinct's Defining Geometries

The proposed development framework works with the existing heritage assets to celebrate their presence and to deploy them as noteworthy features defining the identity of the proposed re-development. The Cathedral's position as the primary physical on-site feature is paramount and its geometry has shaped site planning. Axis is defined naturally by the location and presence of existing heritage buildings.

1. Connect Cathedral to city - assuming redesign of Courtney Street, the proposal creates a democratic public space as forecourt to the Cathedral This is a shared surface with pedestrian priority
2. Cathedral primary feature - new development works with its geometry not against it. Cathedral to maintain the largest footprint on the site
3. Ordering Geometry NS/EW Axis - recognizes relationship to Deanery as lasting site relationship
4. Retention of Yarrow Chapel and Memorial Hall

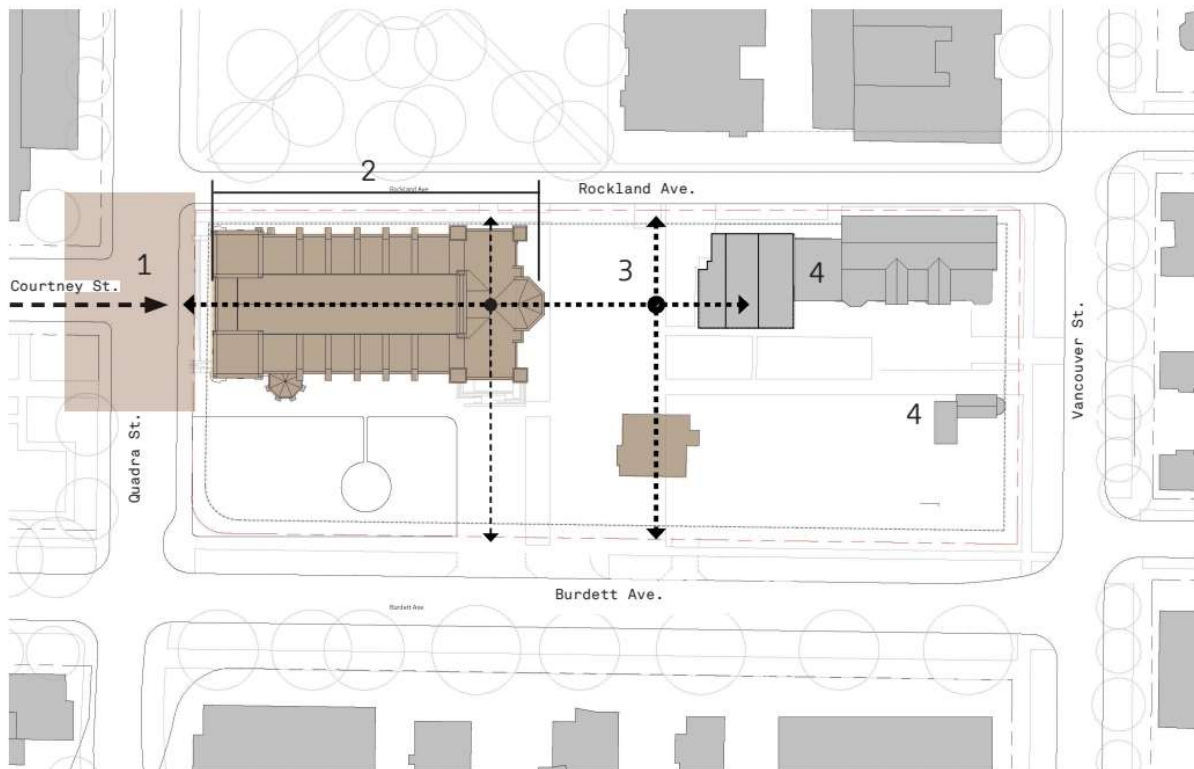


Figure 10: Precinct's Defining Geometries

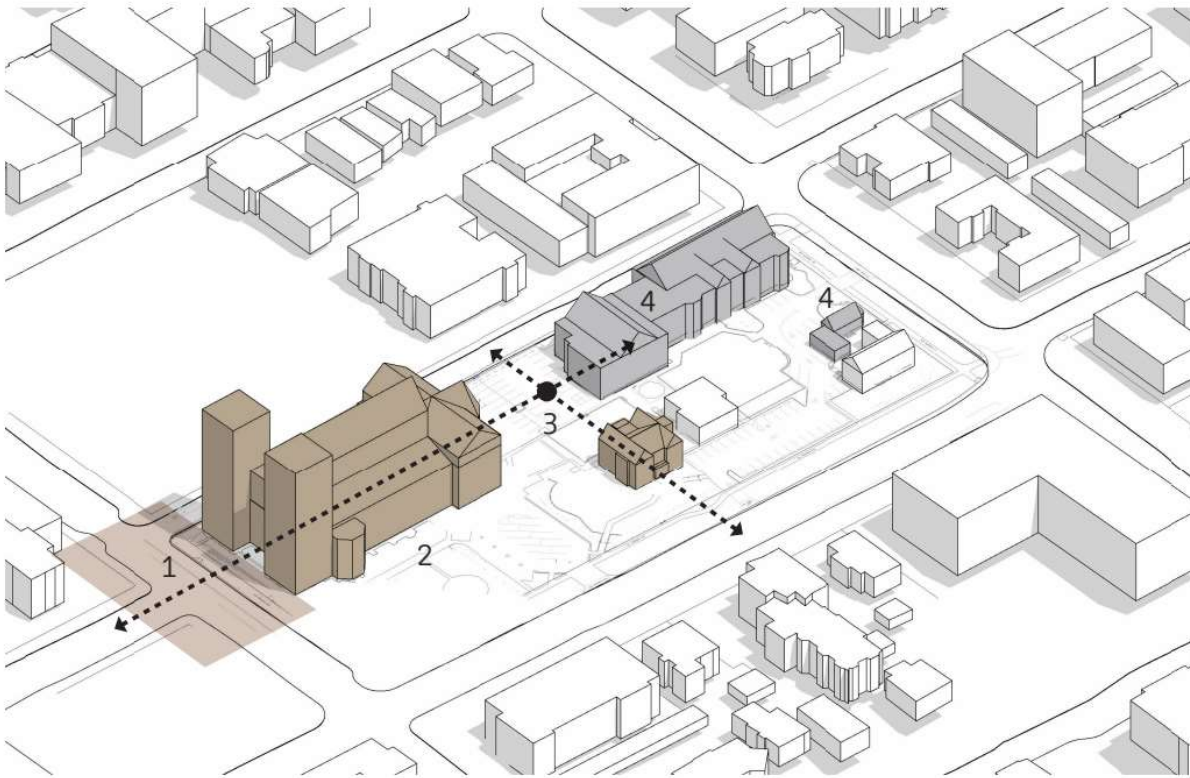


Figure 11: Precinct's Defining Geometries

Open Space Principles

Our proposals aim to create opportunity for the Cathedral to be more accessible in context and have a stronger relationship with its surrounding park. Currently the site is very divided and inaccessible. Break scale of lot.

1. Create a north-south connection. Breaks the scale of the lot, protects the Cathedral and connects the site to Pioneer Square
2. Create an east-west connection. Improves connectivity and permeability of the site
3. Respect and emphasise the Cathedral sits between two parks
4. Activate Pioneer Square by making the Cathedral part of the park
5. Break buildings down to bite sized pieces to reflect scale of neighbouring buildings and urban fabric

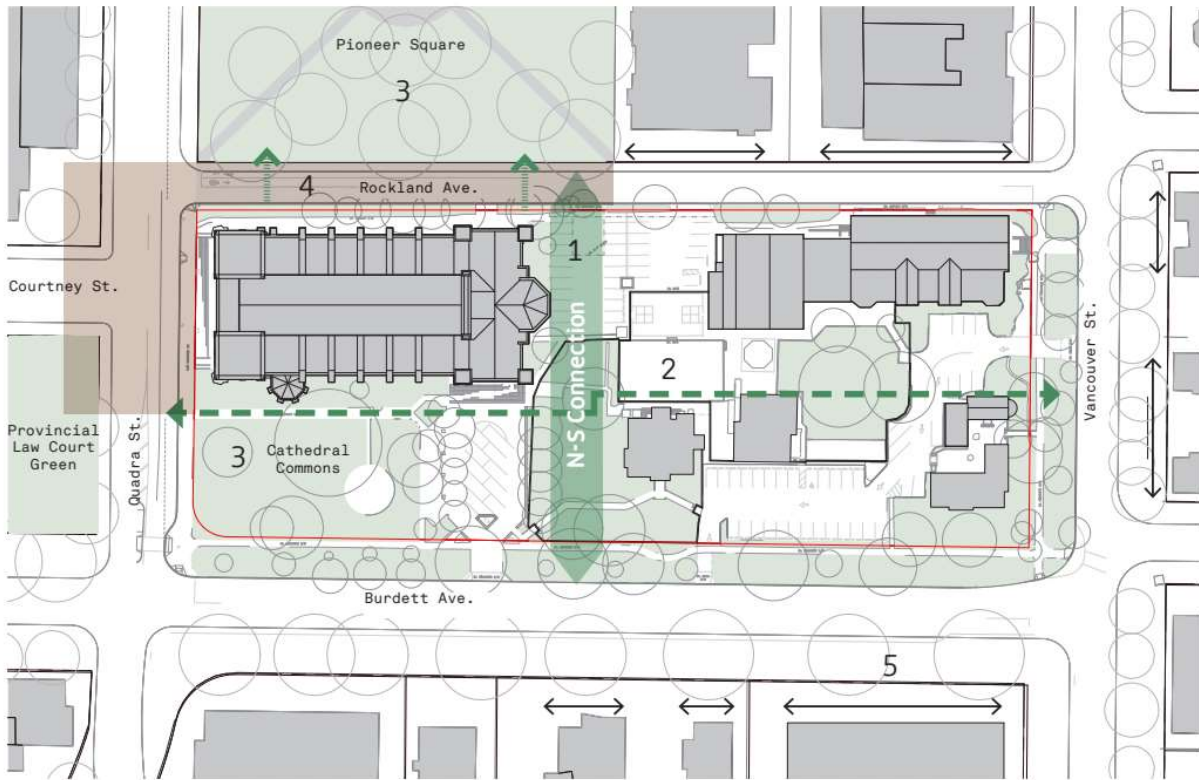


Figure 12: Open Space and Contextual Integration

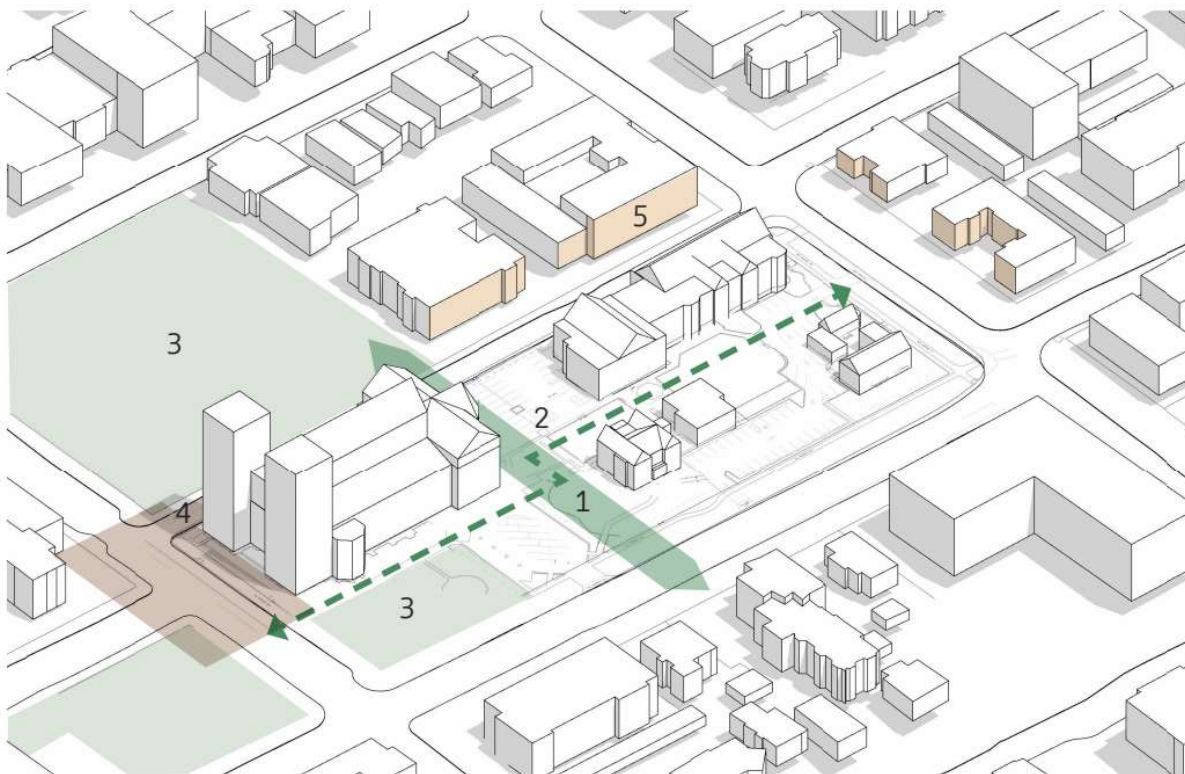




Figure 13: Open Space and Contextual Integration

Density Distribution on Site

Two key areas for density.

1. Primary tall building to be located on axis behind the cathedral, to enhance its presence in the context
2. Medium density to be located along the South
3. Additional density to be located on the southeast the corner, at Vancouver St and Burdett Ave
4. Locating the towers in the two corners provides the greatest distance between them

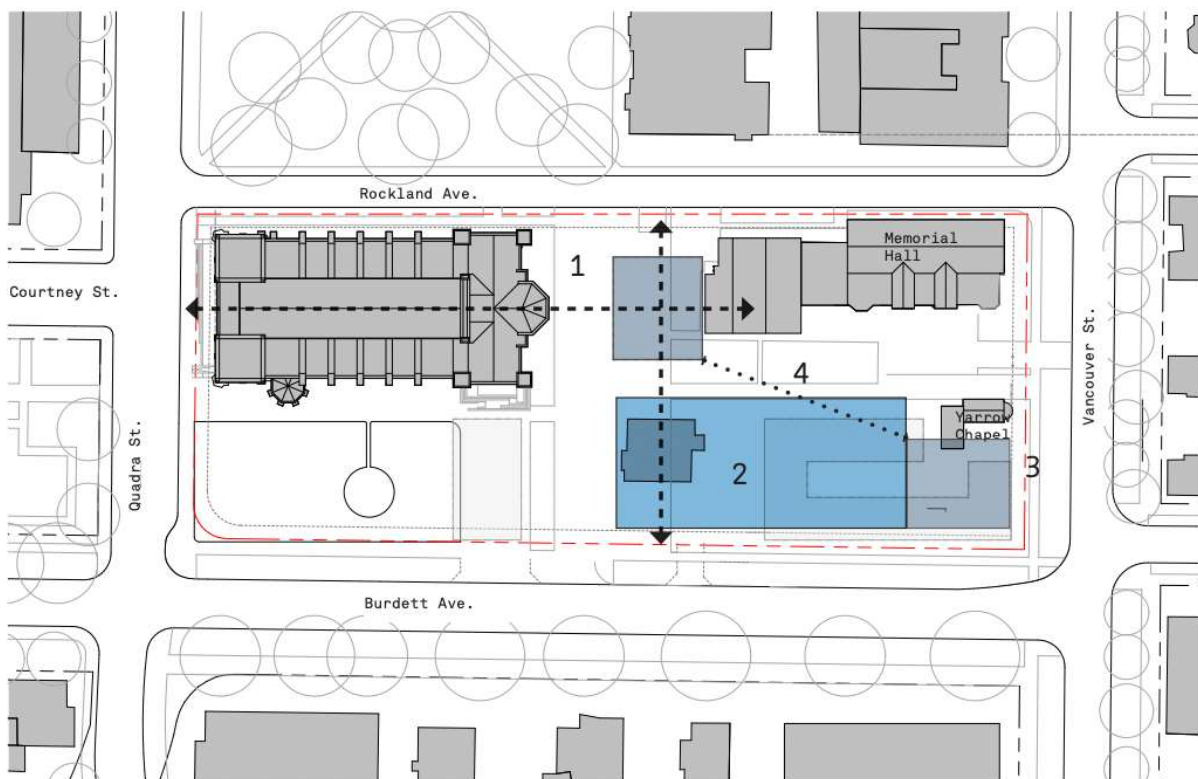


Figure 14: Density Distribution on Site

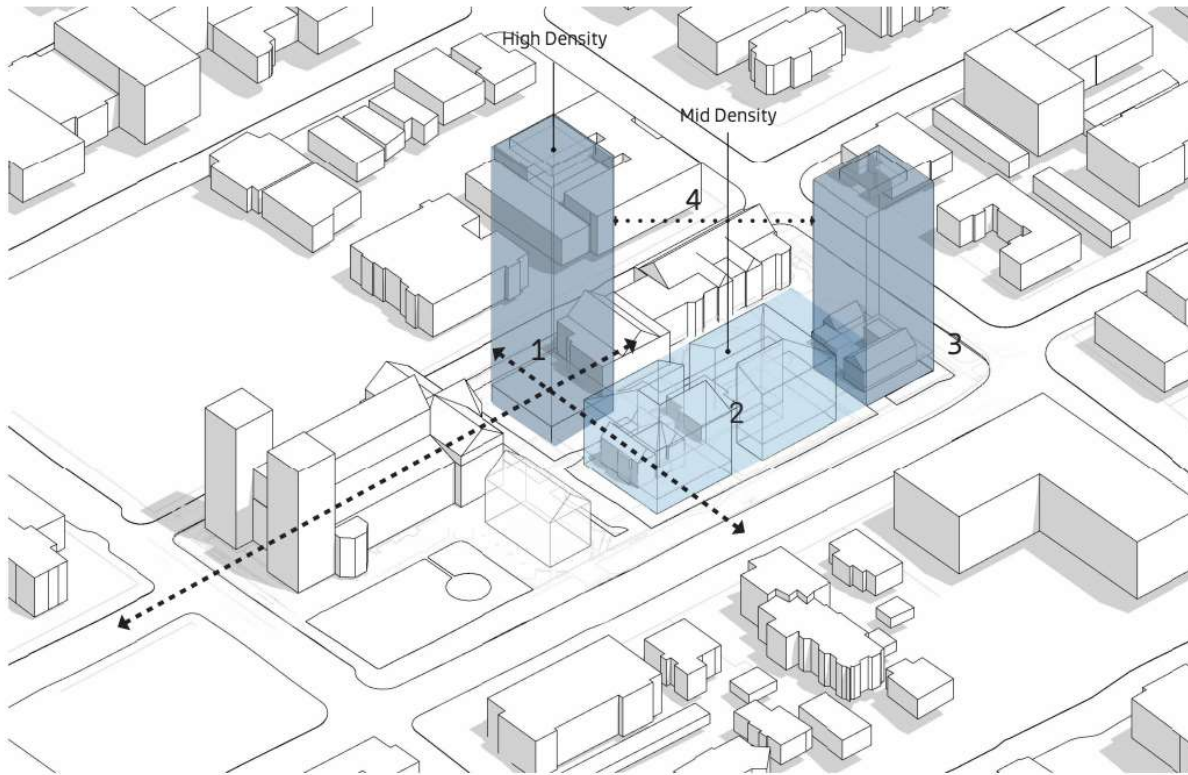


Figure 15: Density Distribution on Site

Guidelines

Overlaying the principles of hierarchy, open space and fabric and locating density creates an overall framework that allows for additional density on site while providing porosity, flexibility, celebrating heritage and making a livable community with access to sunlight.

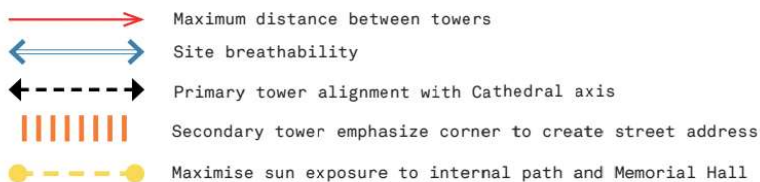


Figure 16: Design Guidelines Legend

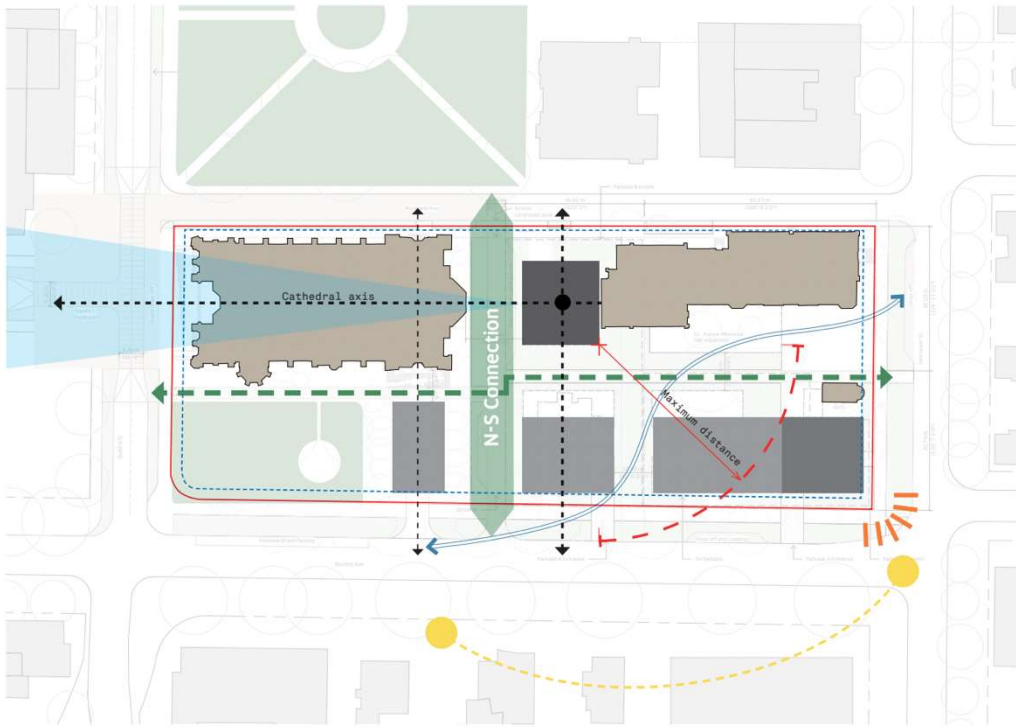


Figure 17: Design Guidelines

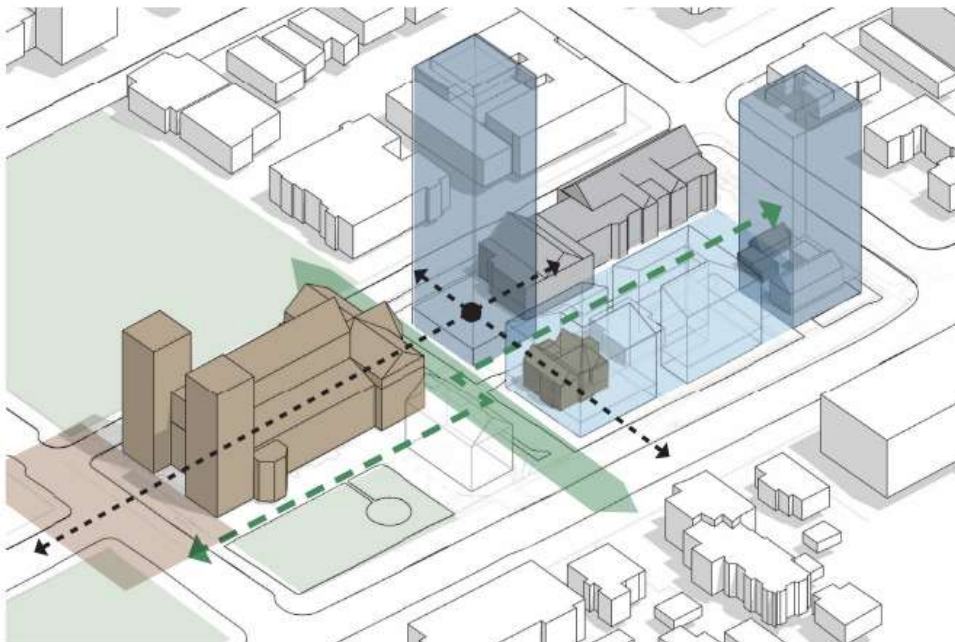


Figure 18: Design Guidelines

Density Distribution

- New development is required to sustain the Cathedral precinct present and future needs
- A maximum of 2.5 FSR is proposed
- This density cannot be accommodated within the current zoning guidelines, height and setbacks
- The following diagrams illustrate the guiding principles to locate density on this historic site

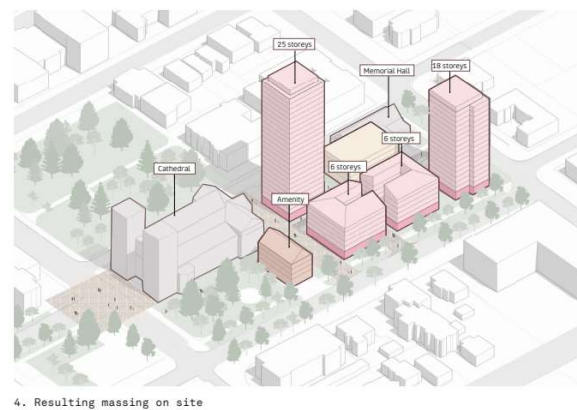
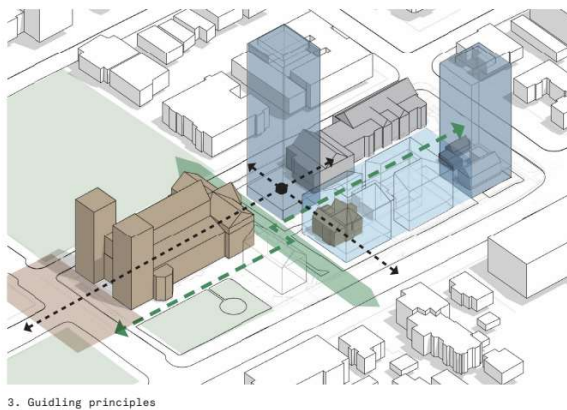
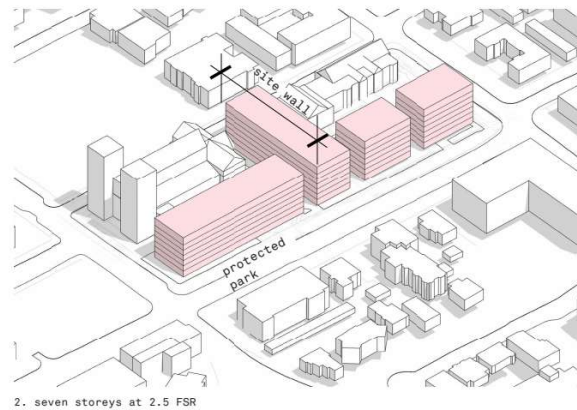
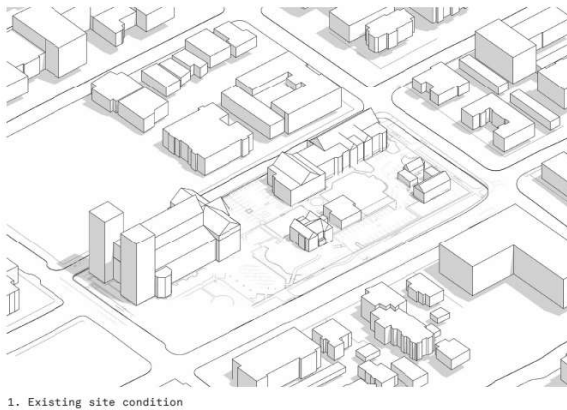


Figure 19: Massing

Four Development Zones

The Cathedral is the primary asset, and the proposed amenity expansion will be developed as an appropriately scaled addition. This space will provide much needed modern community and operational facilities to the Cathedral Diocese and partners.

Our development framework has 4 parts.

- i – The Cathedral and park
 - ii – The Southeast quarter, including yarrow chapel
 - iii – The Memorial Hall, including the school
 - iv – The central mall, including the deanery
- Scale Synchronised with context



- Bite Sized Pieces of Development
- Minimum width of 36m to fit double isle underground parking for efficiency

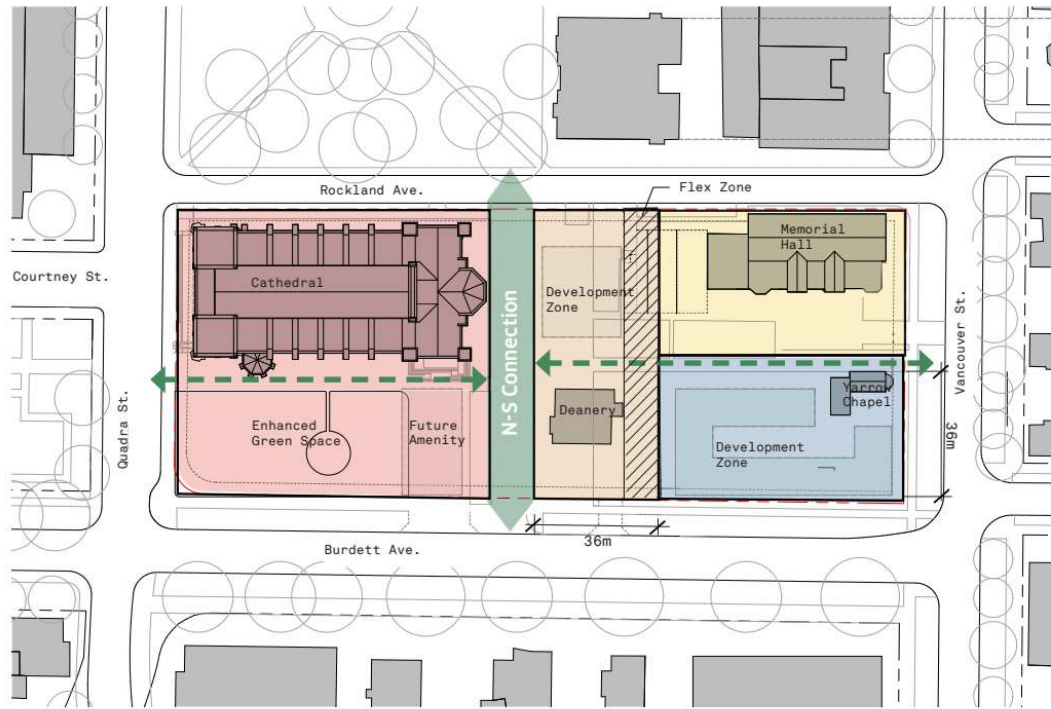


Figure 20: Four Development Zones

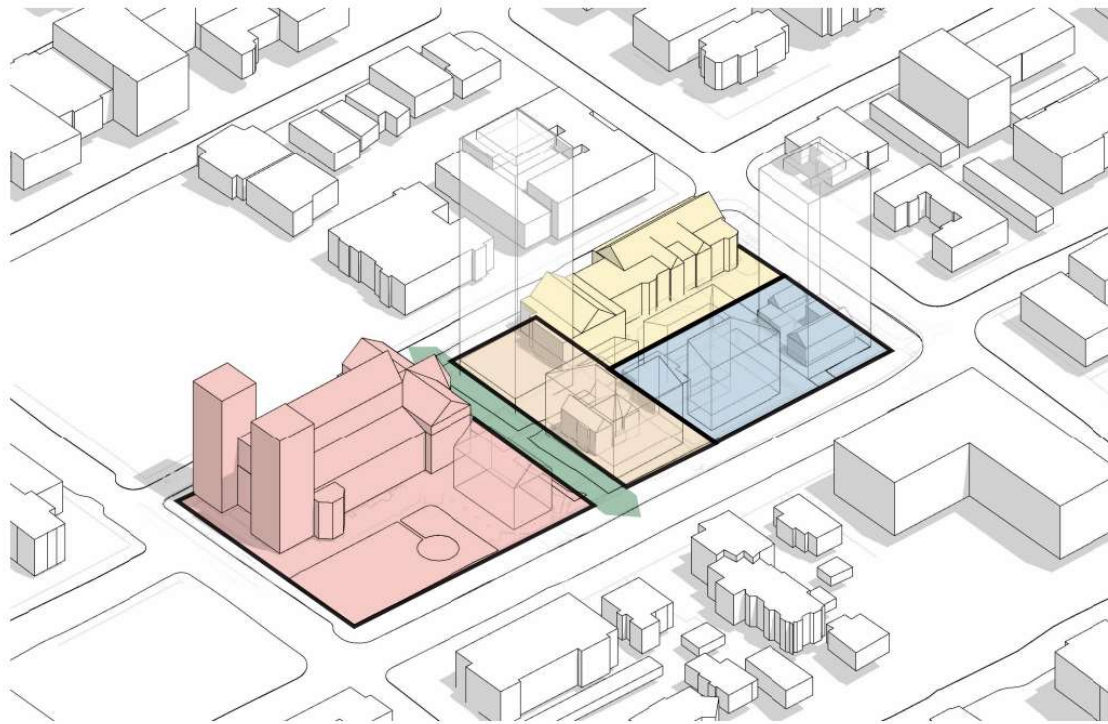




Figure 21: Four Development Zones

Master Plan Phasing

The phased development strategy for the Cathedral precinct in Victoria, British Columbia, delineates four discrete parcels, each integral to the transformation of the city block while striking a judicious equilibrium between historical conservation and contemporary functionality. Parcel 1, earmarked for the Cathedral amenity building, operates independently, impervious to concurrent infrastructure work on other parcels. This preliminary phase prioritizes the preservation of the Cathedral's architectural legacy.

Parcel 2, situated in the southeast quadrant, assumes prominence for primarily residential development, with a parkade below. This phase introduces modern living while upholding a commitment to green spaces, augmenting the overall urban experience. Progressing to Parcels 3, 4, and 5 necessitates exacting coordination, particularly concerning below-grade parking facilities. Parcel 3's development is intricately planned to preclude disruption to the ongoing operations of Memorial Hall School, underscoring the preservation of educational spaces amid urban evolution.

The strategic expansion of Memorial Hall on Parcel 4, likely mandating the temporary relocation of certain operations to Parcel 5 during construction, marks a pivotal phase. Parcel 5, envisioned as the conclusive development parcel, denotes the denouement of this transformative initiative. The tactical division into five parcels, with nuanced consideration for the below-grade parking structures beneath Parcels 2, 3, and 5, provides phasing flexibility and facilitates a sophisticated approach to construction and community integration. This well-conceived plan ensures the precinct's seamless evolution, embodying the city's commitment to preserving its historical tapestry while navigating the imperatives of a dynamic future. The Cathedral precinct stands as a testament to meticulous and adaptable development, where historical resonance converges with contemporary urban functionality, forming a crucial component of a rezoning application.



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Quadrant 1 (Q1) sits independent from the other site development. Located on the west side of the site Quadrant 1 relates directly to the Cathedral and the Cathedral Commons, both heritage designated. The proposed new building is sited on axis with the Cathedral addition, where the surface parking is currently located on site.

1. CATHEDRAL RESTORATION AND REPAIR

Work to restore and renovate the Cathedral requires securing funding for the significant costs particularly for structural upgrades. However, this work is not contingent on below grade parking or lease negotiations to move forward.

2. CATHEDRAL FORECOURT

The proposed Cathedral Forecourt is to be designed and constructed in partnership with the city and neighbouring developments. This work can be completed completely separately from all other work.

3. CATHEDRAL CUT

The mixed modal road, called Cathedral Cut can be constructed separately from other site works to provide improved access to the Cathedral and future developments.

4. AMENITY ADDITION

As a stand-alone structure the proposed Amenity building is also not contingent on the development decisions on the rest of the site. However, the proposed building is to hold some combination of Diocese offices, Archives, classrooms and administrative uses that are currently located in the Deanery and Yarrow Chapel expansion.

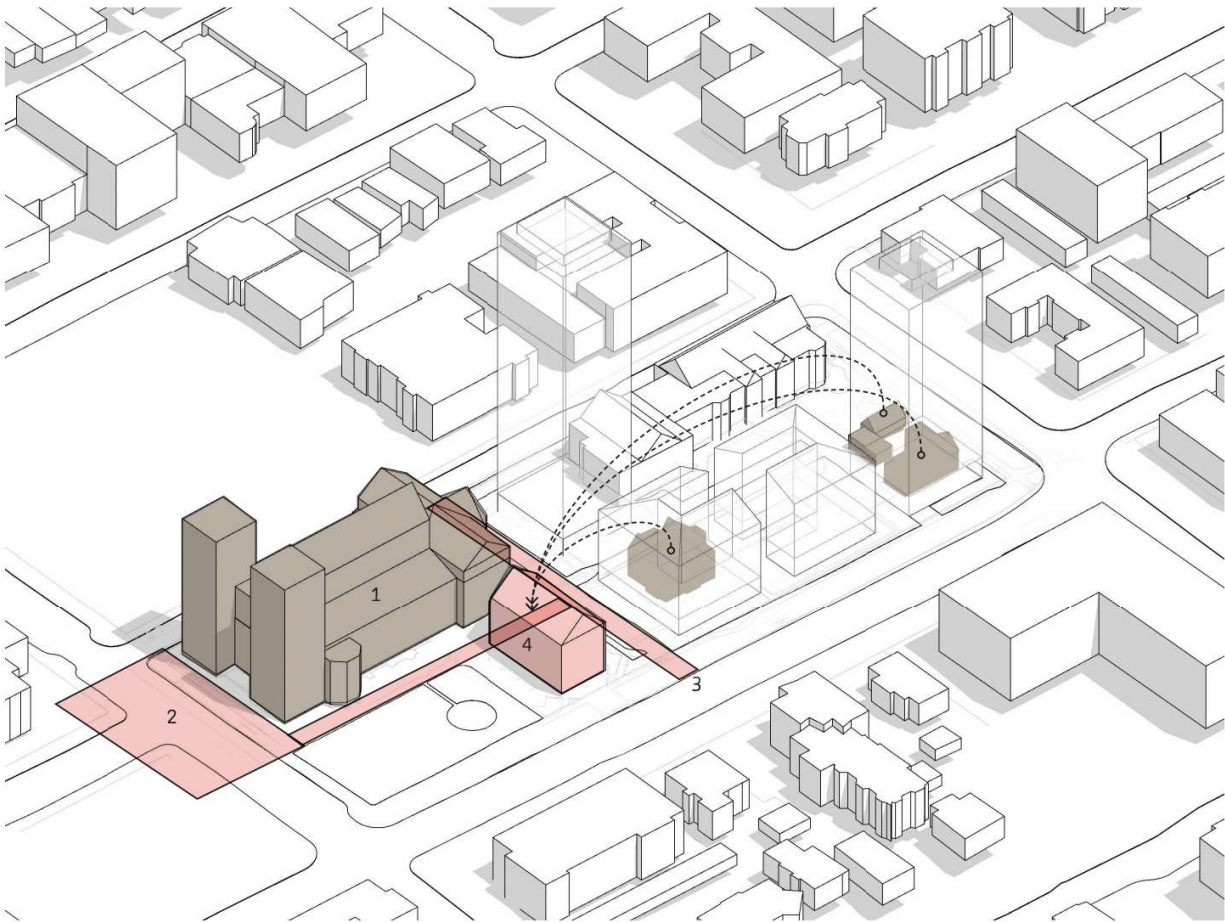


Figure 24: Phasing | Q1 Cathedral

Phasing Quadrant 2

Development of Quadrant 2 is the most complex area of the site as it is contingent on the future of Memorial Hall and the Deanery and requires below grade parking be constructed. However, if agreements can be established for the future of these heritage structures, then construction of Q2 can be completed prior to work starting on other sites. Q2 is divided into Q2a and Q2b for each proposed structure which provides construction and lease flexibility.

Existing site servicing located in this quadrant?

The development of Q2 or Q4 could provide the funds necessary for the restoration and structural upgrading of the heritage buildings on site.

1. DEANERY REMOVAL

The development of either the NW Tower or the SW Block are dependent on the development of the parkade below. As such development of either building cannot begin until the parkade has been built. The parkade can't be built until the Deanery is demolished or relocated.

2. MEMORIAL HALL



Determine if Memorial Hall is to remain in its entirety or if part of the building is to be removed. Once this is determined, the necessary excavation, shoring and/or demolition can occur to allow for the development of the NW Tower.

3. PARKADE

Following relocation of the Deanery and the development plan for Memorial Hall the parkade below T1 and B1 can commence. Extents of parking are dependent on soil type, existing tree root zones that are to be protected and shoring requirements of Memorial Hall.

4. NW TOWER

T1 tower to be constructed either as an individual building or in conjunction with the construction of B1 to the south. Connection and relationship to Memorial Hall to be considered.

5. SW BLOCK

B1 can be constructed in tandem with T1 or separately following the relocation of the Deanery.

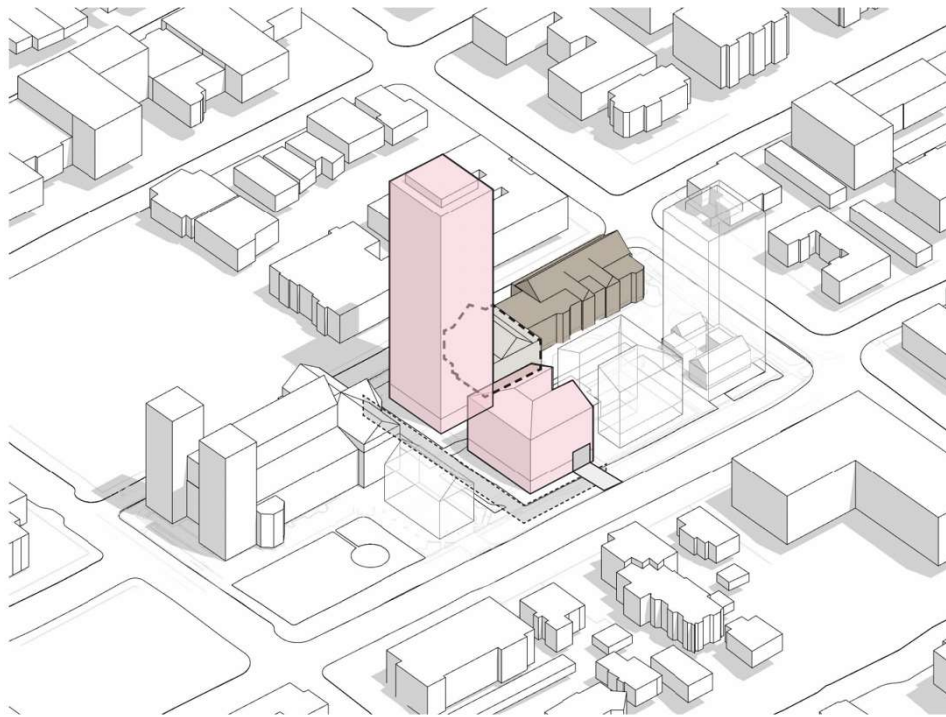


Figure 25: Phasing | Q2 Cathedral

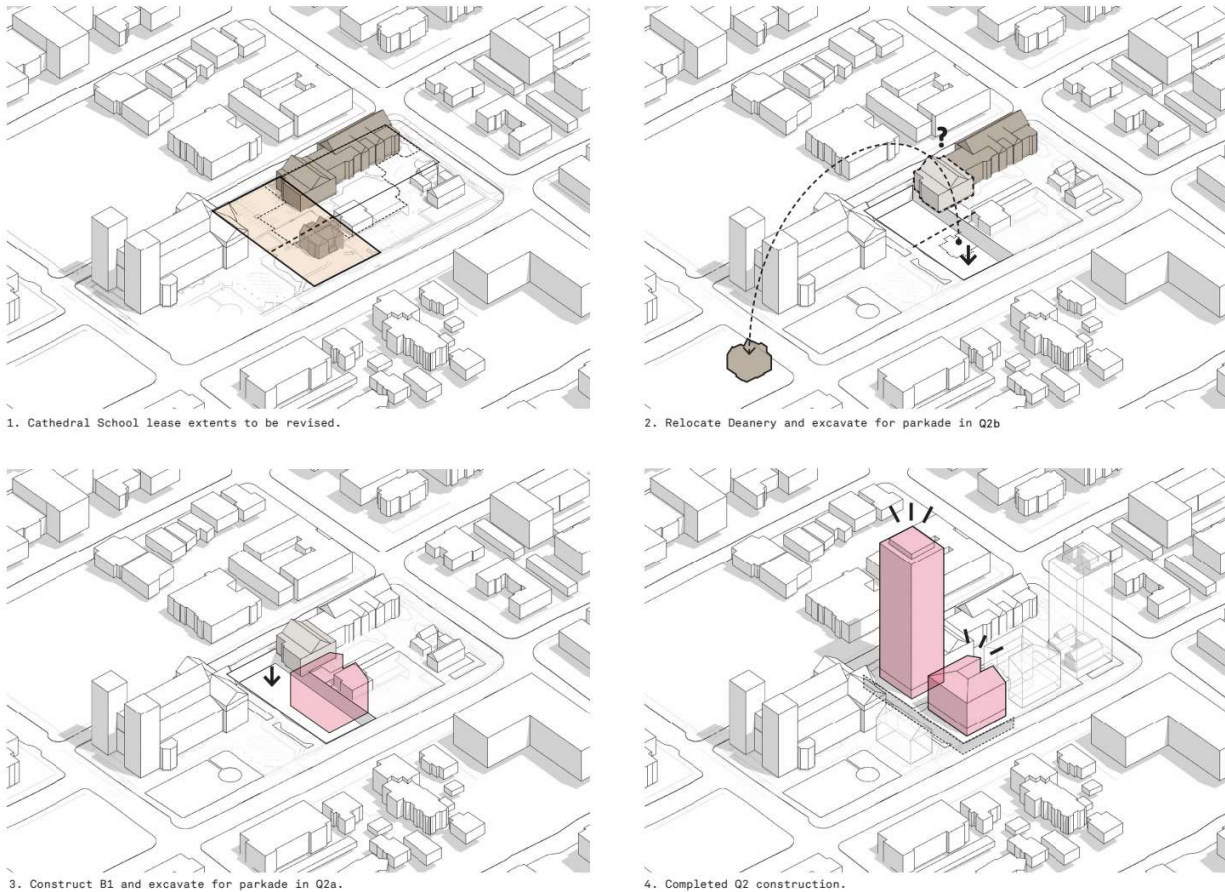


Figure 26: Phasing | Q2 Cathedral

Phasing Quadrant 3

Memorial Hall sits on Quadrant 3 with the school located here. The redevelopment of this particular site has the most contingencies and impacts on the sequencing of the redevelopment of Q2 and Q3. Memorial Hall is a registered Heritage building that is currently home to the Christ Church Cathedral School. The School is currently in negotiations with the Diocese about its future and possible expansion. Upon determining the needs of the school and a lease agreement plans for the expansion of the school can proceed.

To date some structural repairs have been completed on portions of Memorial Hall, however further work is required. Depending on the future functional programming and needs assessment of the school there are three proposed options for the future of Memorial Hall and the school site. These could see the complete retention of Memorial Hall or partial retention which will depend on further study and financial considerations. Refer to the appendix for further detail on the possible options.

1. MEMORIAL HALL RESTORATION AND REPAIR

As noted in the Historical Building appendix and Heritage Reports there have already been repairs completed on portions of Memorial Hall. However, additional repairs are required in the Gymnasium and at the foundations.



2. SCHOOL LEASE AGREEMENT

The current extents of the school occupied area are to be renegotiated to work with the masterplan. This includes the decision about memorial hall and whether or not the gymnasium is to remain as is or if it is to be reduced in footprint.

3. SCHOOL EXPANSION

The expansion of the school is necessary for the viability of updating of the educational offer of the Christ Church Cathedral School and its desire to increase the student cohort size. Further studies need to be conducted to determine the size of the expansion. If and when this occurs students will need to be temporarily relocated. This could occur either off site or perhaps with a combination of on-site spaces and temporary portables.

4. PORTABLES

There are temporary portables located on the site. During construction there may be the need to add additional portables or use space in the Cathedral, new Amenity building. After completion of the school expansion the portables are to be removed from the site.

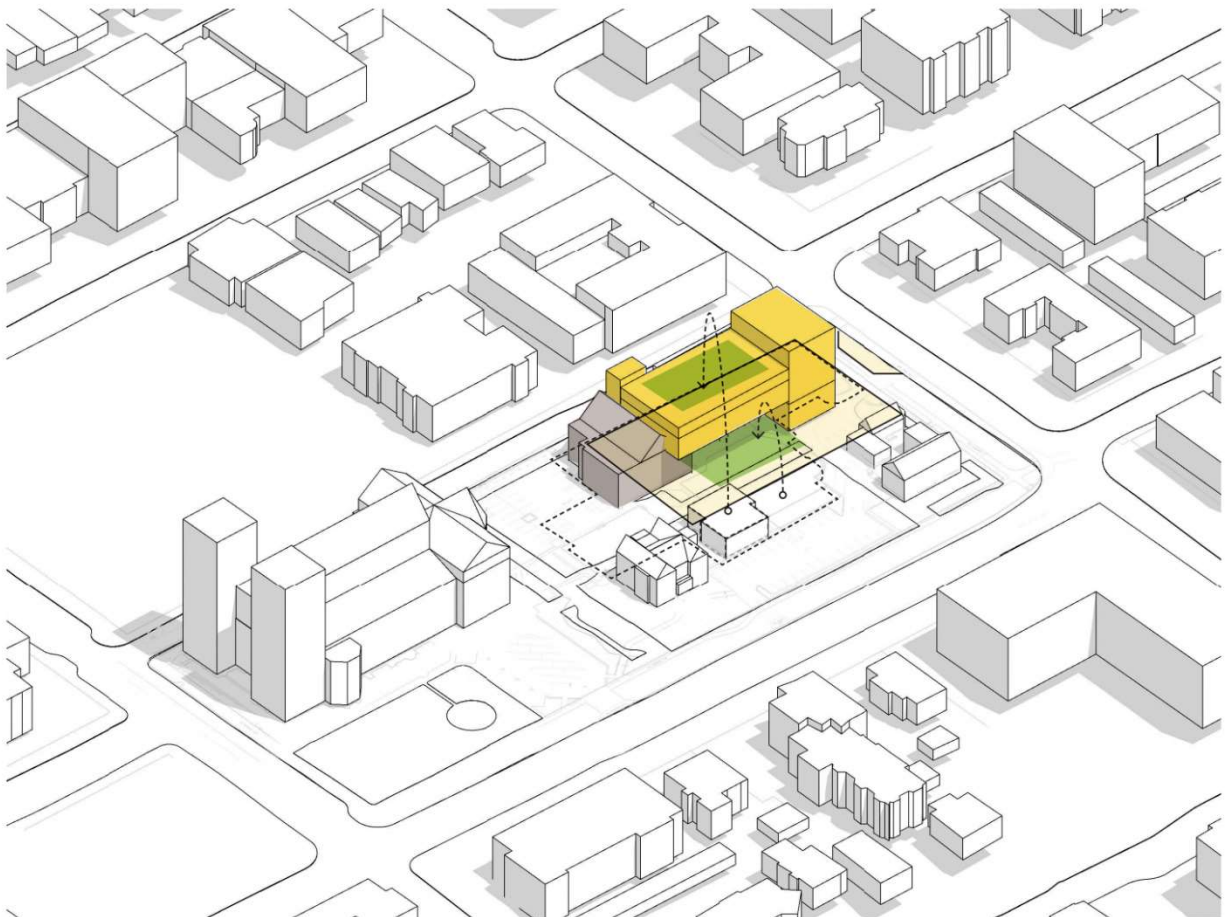
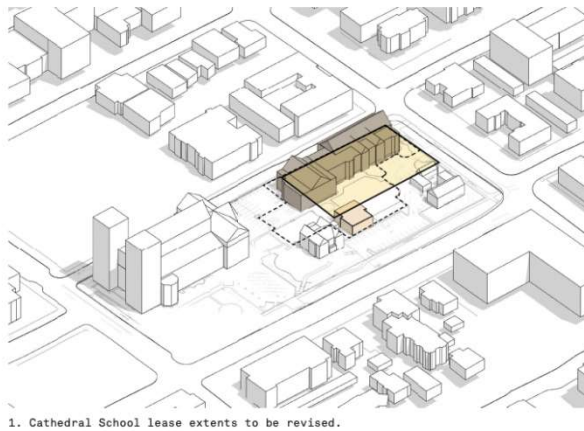
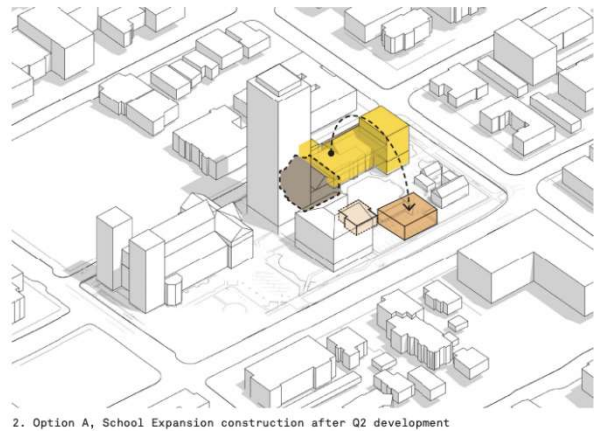


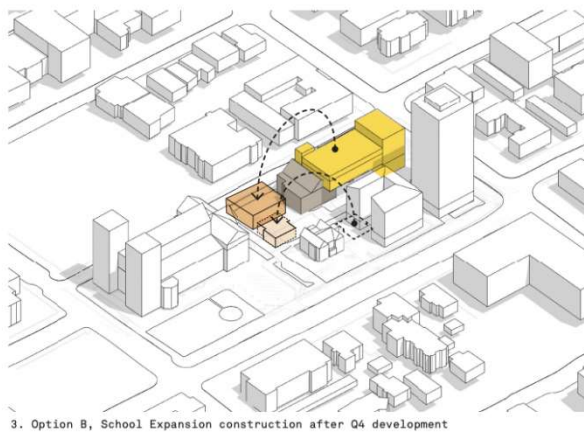
Figure 27: Phasing | Q3 Cathedral



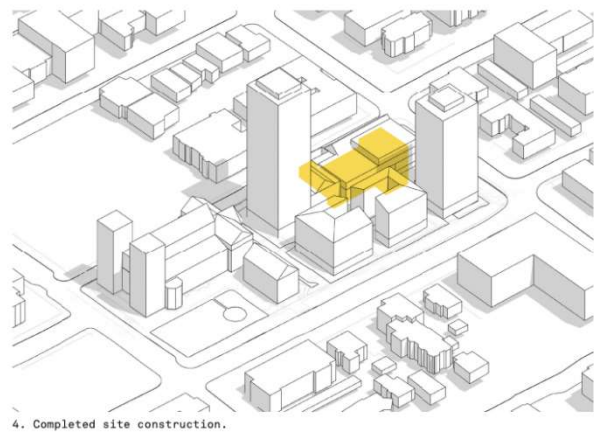
1. Cathedral School lease extents to be revised.



2. Option A, School Expansion construction after Q2 development



3. Option B, School Expansion construction after Q4 development



4. Completed site construction.

Figure 28: Phasing | Q3 Cathedral

Phasing Quadrant 4

Quadrant 4 (Q4) has fewer contingencies than any of the other quadrants making it one of the most flexible sites. Yarrow chapel is to be maintained and the Archive building is to be demolished to create space for the construction of the SE tower on the site. Following the removal of the archive building excavation for the below grade parking can commence.

The development envelope for the site allows for either two buildings a midrise and a tower or one single development on the quadrant to anchor the entire Cathedral site. Construction of the Memorial Mews will contribute to cross site pedestrian access.

1. YARROW CHAPEL

The development of either the NW Tower or the SW Block are dependent on the development of the parkade below. As such development of either building cannot begin until the parkade has been built. The parkade can't be built until the Deanery is demolished or relocated.

2. SCHOOL LEASE NEGOTIATIONS AND PORTABLES



Currently the School's temporary portables and existing outdoor play space occupy part of Quadrant 4. Renegotiation of School Lease agreement and extents of School grounds are required for the redevelopment of the site.

3. PARKADE

Prior to construction of proposed buildings, a below grade parkade is to be constructed. Extents of parking are dependent on soil type, existing tree root zones that are to be protected and shoring requirements of Yarrow Chapel.

4. SE TOWER AND SE BLOCK

New structures to be constructed on top of parkade. Location of vertical cores is contingent on parkade layout below.

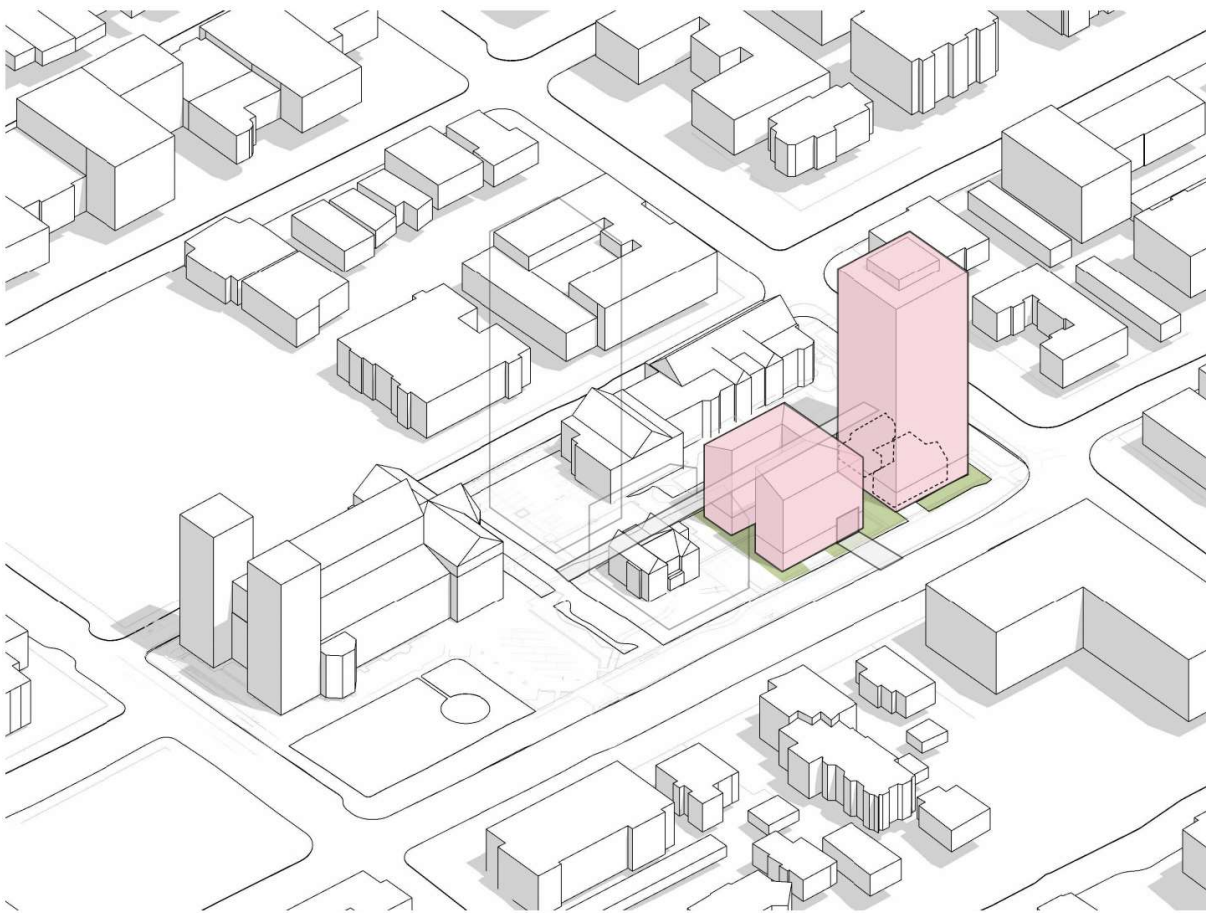


Figure 29: Phasing | Q4 Cathedral

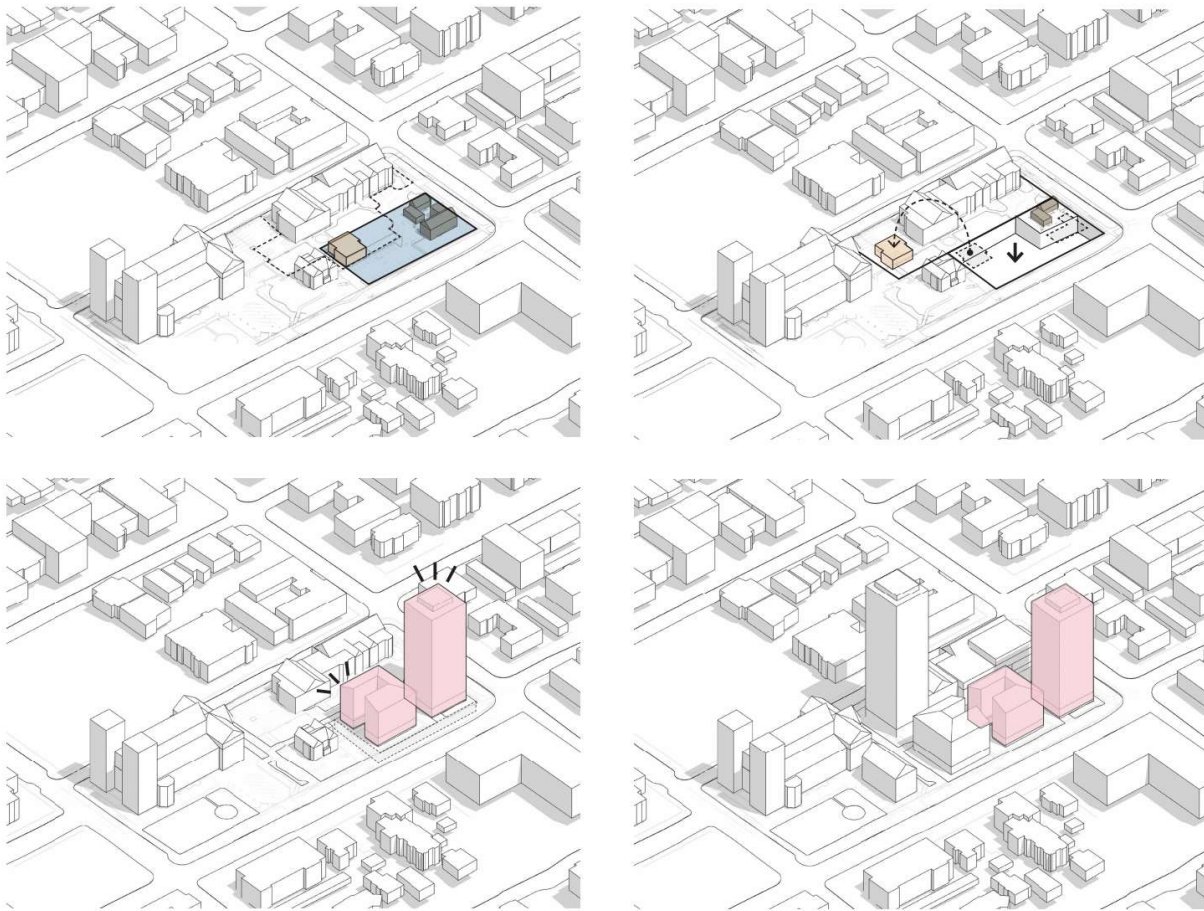


Figure 30: Phasing | Q4 Cathedral

Architectural Expression

Architectural Approach

Each of the development quadrants has specific design responsibility at a masterplan scale. As a whole the development must:

- Be composed to have active base, a defined middle and articulated top, with elegant proportion informed by neighbour buildings and nearby heritage, and with modern authenticity
- Use primary materials that have a natural finish but can be more manufactured in nature, such as timber, naturally finished metals, ceramic tiles
- Use secondary materials that have a natural finish but can be more manufactured in nature such as timber, naturally finished metals, and ceramic tiles
- Proposals should avoid plastic coatings and synthetic finishes as these do not reflect the timeless character of the precinct

Timeless Architecture

The approach is conservative but contemporary and aims to deliver a precinct that characterises this part of Victoria for many centuries to come. Our proposal creates a framework within which timeless architecture can be delivered. This masterplan spans generation with buildings intended to last for 100's of years.



Figure 31: Authentic and Natural Materials

Quadrant Q1: Cathedral

Quadrant 1 (Q1) is the western part of the site and relates directly to the Cathedral and the Cathedral Commons, both heritage designated. The proposed new building will be located on top of the current surface parking, at the South of the Cathedral, where the accessible entrance is located.

Building Form (Shape, Size, Modelling)

- Limited to one additional building (to the Cathedral)
- Aligned and centred on roof ridge with Cathedral latest west extension
- Maximum envelope to be aligned to the Cathedral extension wings (see diagram)
- Pitch and angle of roof to match cathedral extension
- Minimum distance to Cathedral 8m

- A physical connection to Cathedral on upper levels (Level 02 or 03) can be considered if program aligns and benefits the scheme

Uses

- Uses in this new building should be limited to community uses, residential directly related to cathedral, accommodation, or commercial that enhances the cathedral user community and animates cathedral commons park, such as coffee shop

Access and operations

- Direct relationship with cathedral Commons, building actively animating landscape
- space
- Activate ground plane
- Ground floor should be permeable to both quadrants, Q1 and Q2
- Approach to openings and proportion
- Due to close proximity to cathedral, horizontal datums, amount of fenestration and elongated proportions of openings should be inspired by the Cathedral
- Contemporary interpretation is desired

Relationship to neighbours

- A positive deliberate and tangible relationship to the Cathedral.
- Material considerations
Naturally finished material with long life

Fences

- If fences are to be considered, these should be in tune with heritage asset time and style. Gothic revival style of the Cathedral yields for a metal fence with vertical proportions and pikes

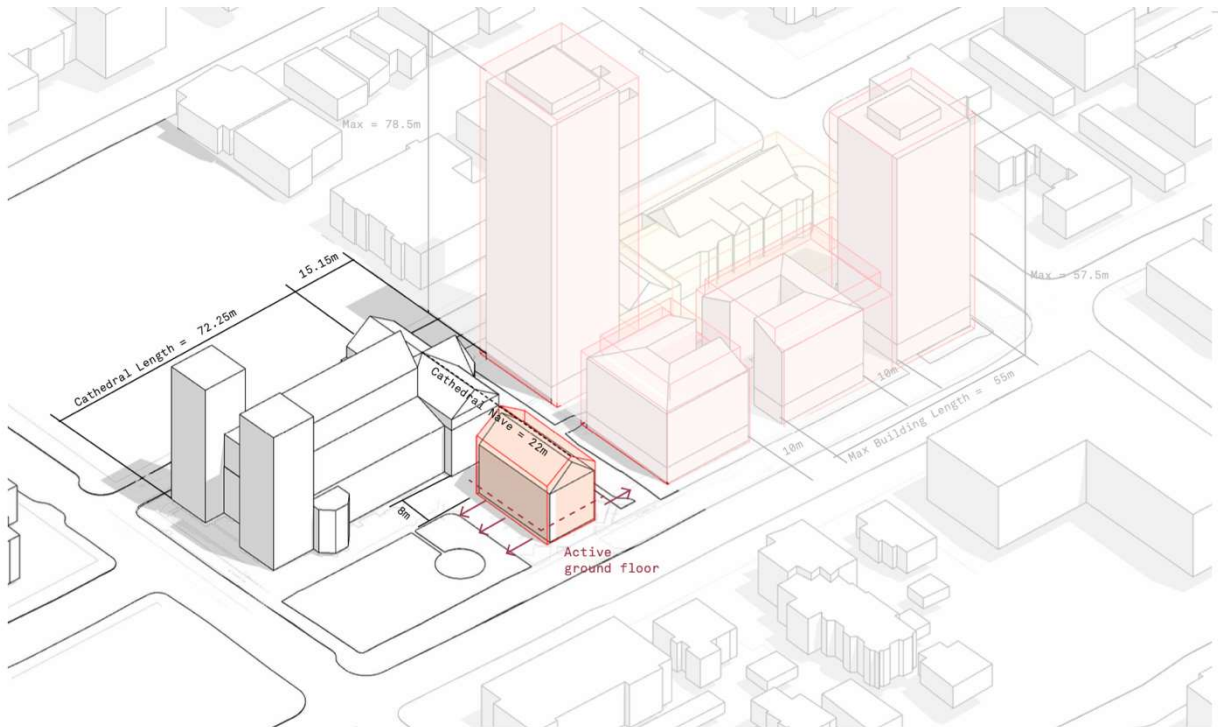


Figure 32: Quadrant 1 Building Form



Active ground related to landscape



Elongated proportions, datums



Potential physical connection



Contemporary interpretation

Figure 33: Quadrant 1 Material Considerations

Amenity Building, Quadrant 1

Materials proposed to be in consonance with existing cathedral. Similar tonalities, depth and texture are encouraged. Some examples of primary and secondary materials below.



Figure 34: Cathedral South Elevation

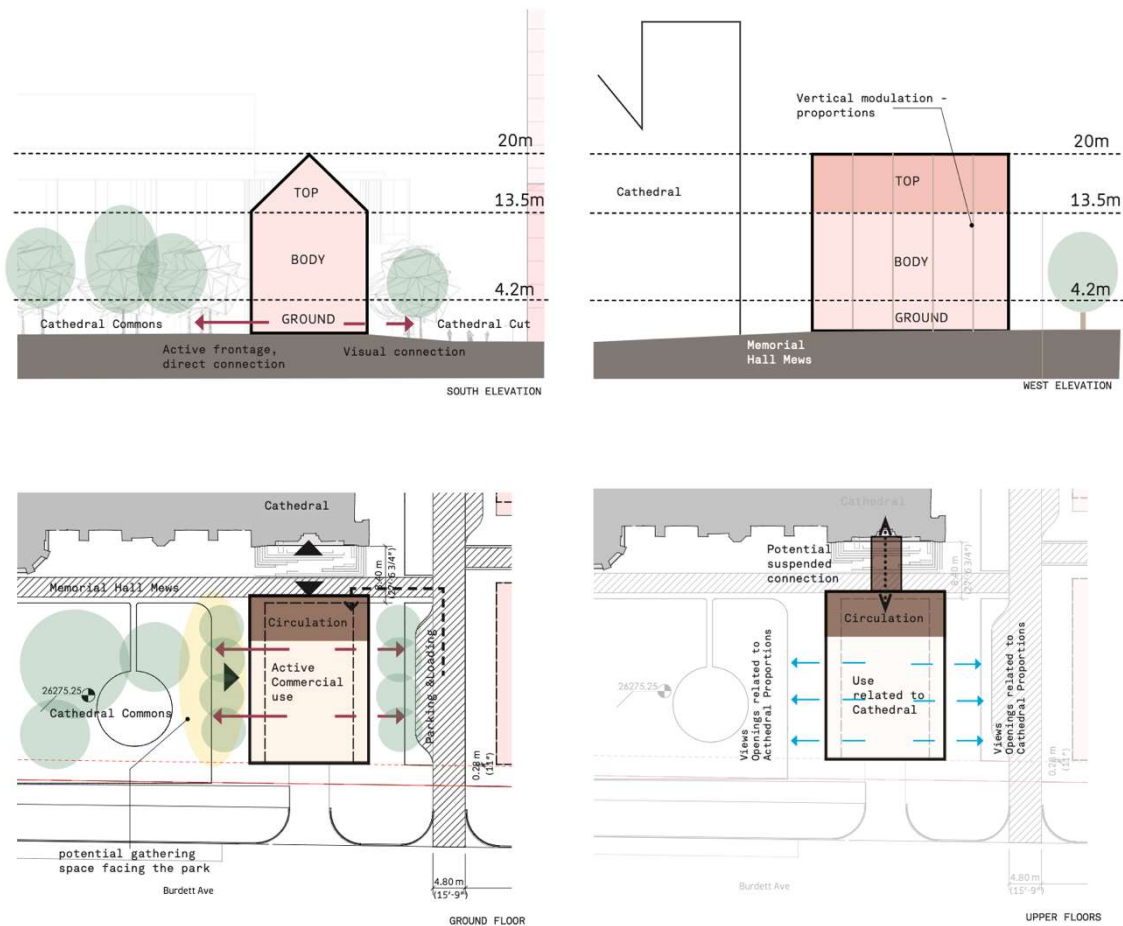


Figure 35: Amenity Building Elevations and Floor Plans



Figure 36: Amenity Building Material Precedents

Quadrant Q2: N-S Connection

Quadrant 2 (Q2) refers to the central “Cathedral cut” that connects N-S the site with its context. This quadrant has a close relationship with both, Memorial Hall and the cathedral. This report outlines three different extents of Memorial Hall retention, which will have different impacts on the Master Plan. Two buildings are allowed in this quadrant, that can be delivered at different phases.

Building Form (Shape, Size, Modelling)

- Location of primary tall building T1 behind the Cathedral and centred on axis
- Maximum total width to be 24m (West-East elevation)
- Maximum Height of tower 30 storeys or 96 m, a slenderness ratio 1:4 ratio is desirable)
- Design of West elevation would become part to the Cathedral composition when looked from Courtney street. Some of the recommendations are: to keep design on axis, reduce perception of total width by breaking the massing plane.
- Minimum distance to Cathedral 15m
- A physical connection between the buildings is possible at level 02 or 03
- The Deanery is part of Q2. The relocation or repurpose of the building will be dependant on the precinct needs. T1 will be respectful of the organizing geometries that the deanery plays on site, keeping the alignments.
- Two buildings are allowed in this quadrant

Uses

- Uses in this new building should be residential on the upper levels and commercial to activate the ground floor

Access and Operations

- Service access and loading through N-S cut

- Parking is shared access across quadrant, framework allows for 2 basement parkade across the entire zone

Approach to Openings and Proportion

- Careful consideration to open-closed ratio
- Design to complement the cathedral and accentuate its presence in context

Material Considerations

- Modern lines
- Noble materials

Fences

- If fences are to be considered, related to school program

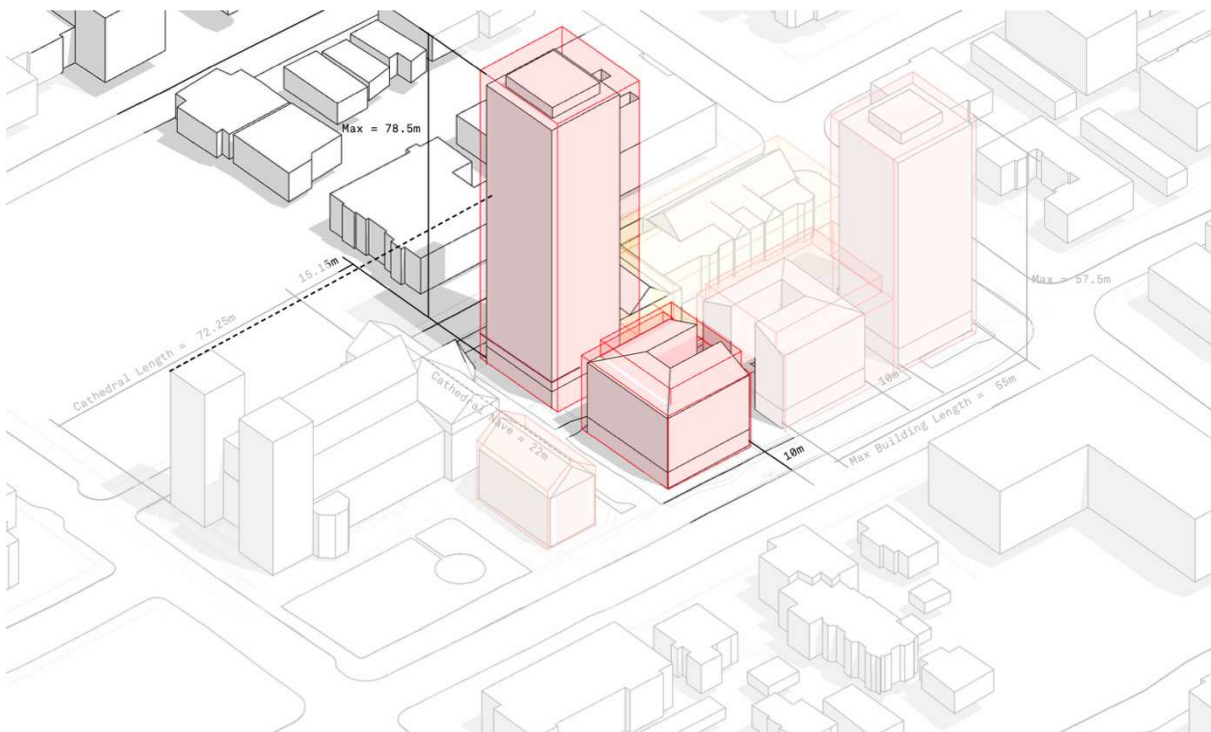


Figure 37: Quadrant 2 Building Form



Figure 38: Quadrant 2 Material Considerations

Tower T1

Materials proposed to be in consonance with existing cathedral. Similar tonalities, depth and texture are encouraged. Some examples of primary and secondary materials below.

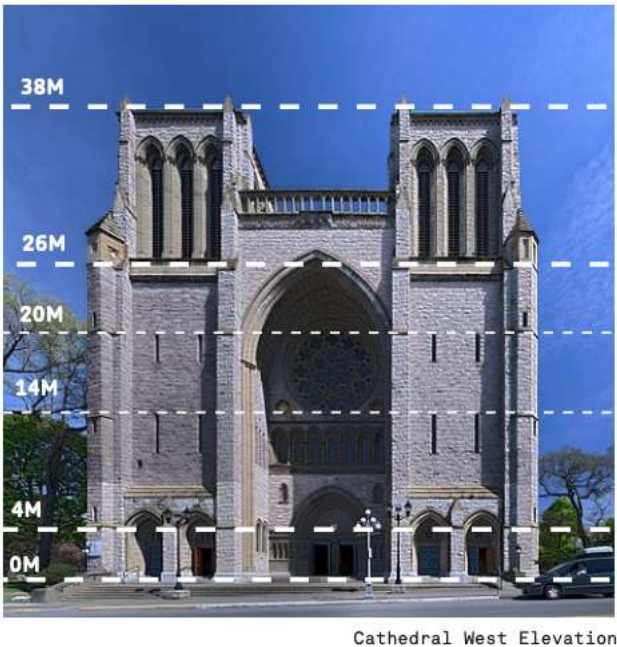


Table 39: Cathedral West Elevation

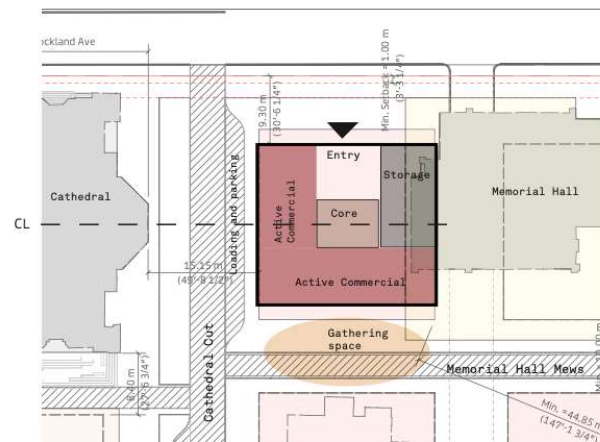
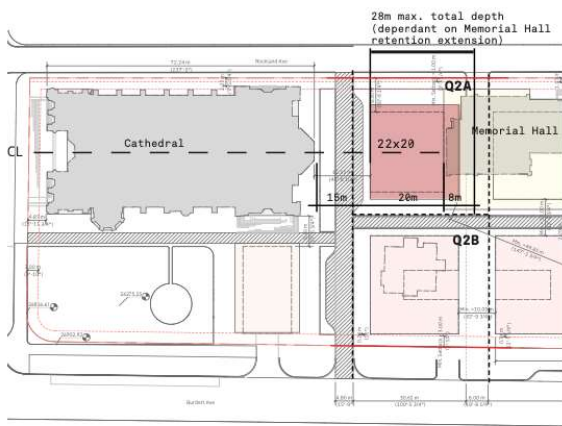


Table 40: Tower 1 West Elevation and Sample Floor Plans

BLOCK B1

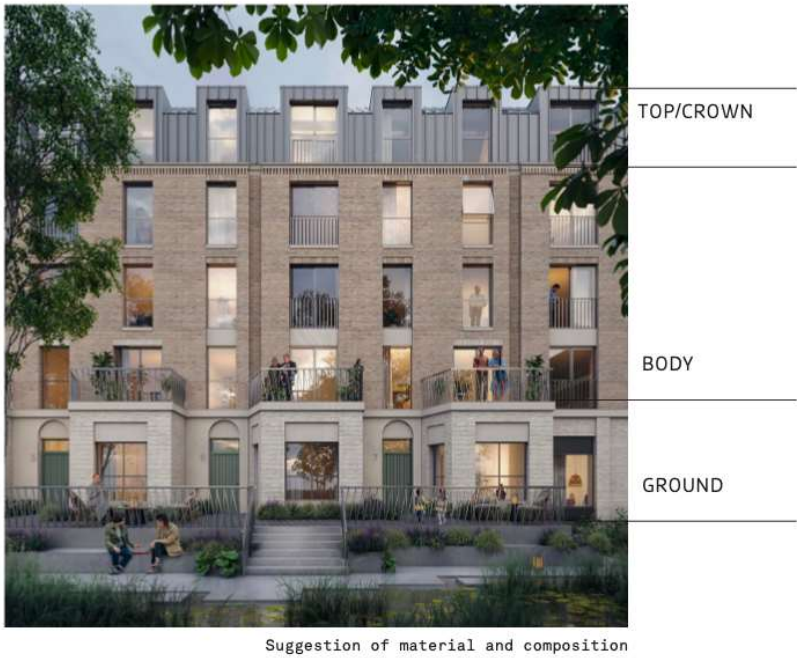


Figure 41: Block B1 Material Considerations

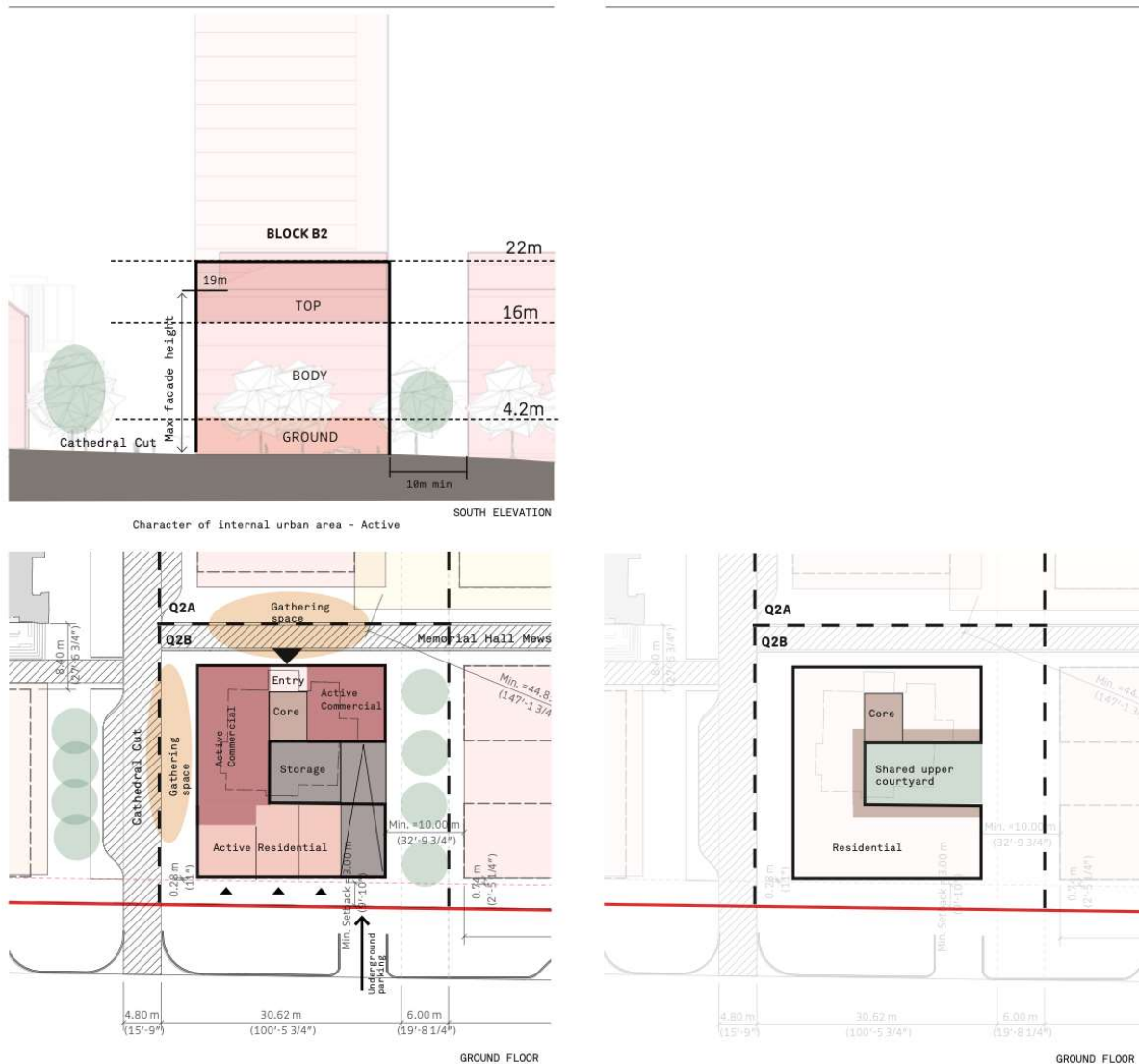


Figure 42: Tower South Elevation and Ground Floor Plans

Quadrant Q3: Memorial Hall

Quadrant 3 (Q3), at the North East of the property, contains Memorial Hall and it is intended to retain (extent dependant on the proposal, and potentially expand the building to better serve its current use of religious school. It's relationship with T1 from Q2 is tied to the extent of Memorial Hall retained.

Building Form (Shape, Size, Modelling)

- Prominence of historic facade on Rockland to be retained. No new building component can be prouder than heritage asset. Recessed preferred
- Maximum height limited to 4 storeys or 20m
- Eave and roof line seen from street needs to be respected

Uses

- Education
- Institutional



- Residential
- Accommodation
- Community and recreation

Access and Operations

- Main access point thought Vancouver Street
- Approach to openings and proportion
- Street facing openings to be respected as much as possible
- New facade should respond to general composition and proportions from exiting building

Relationship to Neighbours

- Respecting, enhancing and complementing the exiting building is a priority

Material Considerations

- Modern lines
- Noble materials
- Tone and colour of new materials to be in consonance with exiting
- Colour variation through material nature is encouraged. Bright colours are not recommended

Fences

- If fences are to be considered, related to school program and in tune with tonalities of building and lines proposed

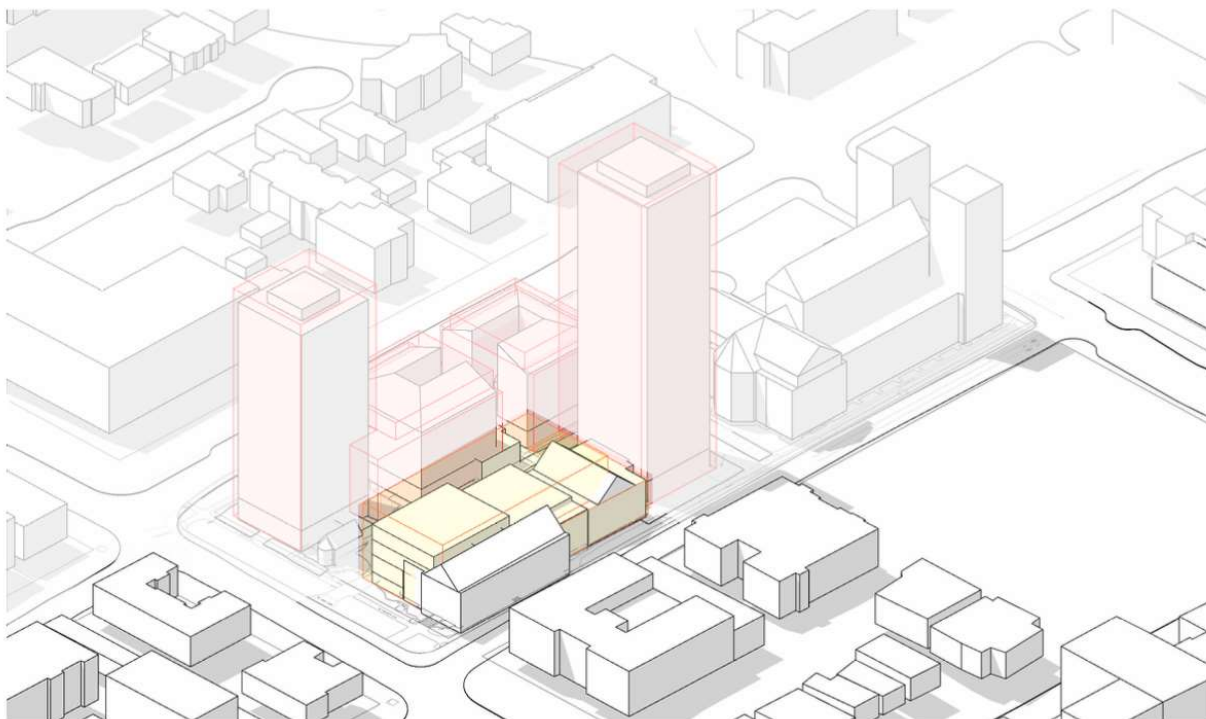


Figure 43: Quadrant 3 Building Form



Roof top basketball court



Modern interpretation and integration with heritage

Figure 44: Quadrant 3 Material Considerations

Quadrant Q4: Yarrow Chapel

Quadrant 2 (Q2) situated at the South East Corner of the property is related to Yarrows Chapel. This registered heritage building is to be retained.

Building Form (Shape, Size, Modelling)

- Respectful location and positioning of new building to Yarrows Chapel
- Maximum 3 buildings on this quadrant, including Yarrow Chapel
- Maximum length of a single building limited by Cathedral length as maximum (55m)
- Maximum Tower footprint (T2) 500sqft
- Maximum Height of tower 18 storeys or 56m
- Minimum distance to Yarrow Chapel 3.5m
- Minimum distance between new buildings 10m
- Roofline and roofscape are to be considered. Studded up boxes with flat roof are discouraged

Uses

- Uses in these new buildings should be residential on the upper levels and commercial to activate the ground floor

Access and Operations

- Service access and loading through N-S cut

Approach to Openings and Proportion

- Minimizing scale perception from neighbour streets and pedestrian eye level is prime priority. Break of facade scale is encouraged
- Slender proportions are preferred
- Enhance craft character of the site through facade compositions or building elements

Relationship to Neighbours

- Street focused quadrant
- Front entrances

Material Considerations



- Modern lines
- Noble materials
- Depth and textures

Fences

- If fences are to be considered, related to school program

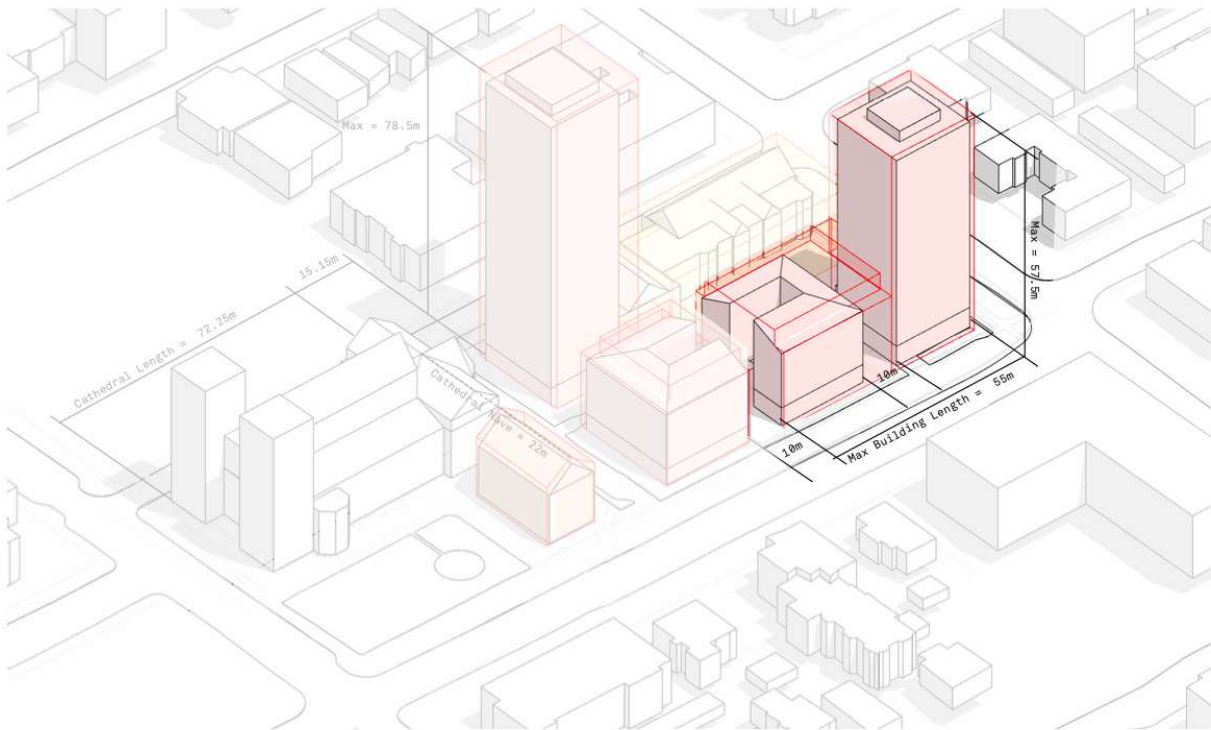


Figure 45: Quadrant 4 Building Form



Residential active frontage



Craftsmanship and depth



Roof line



Integration by proportions and material

Figure 46: Quadrant 4 Material Considerations

BLOCK B2



TOWER T2



Suggested material: In tone with B2 materiality



Yarrow Chapel from Vancouver St



Suggested material: Sandstone to complement Yarrow Chapel

Figure 47: Block 2B and Tower T2 Material Considerations

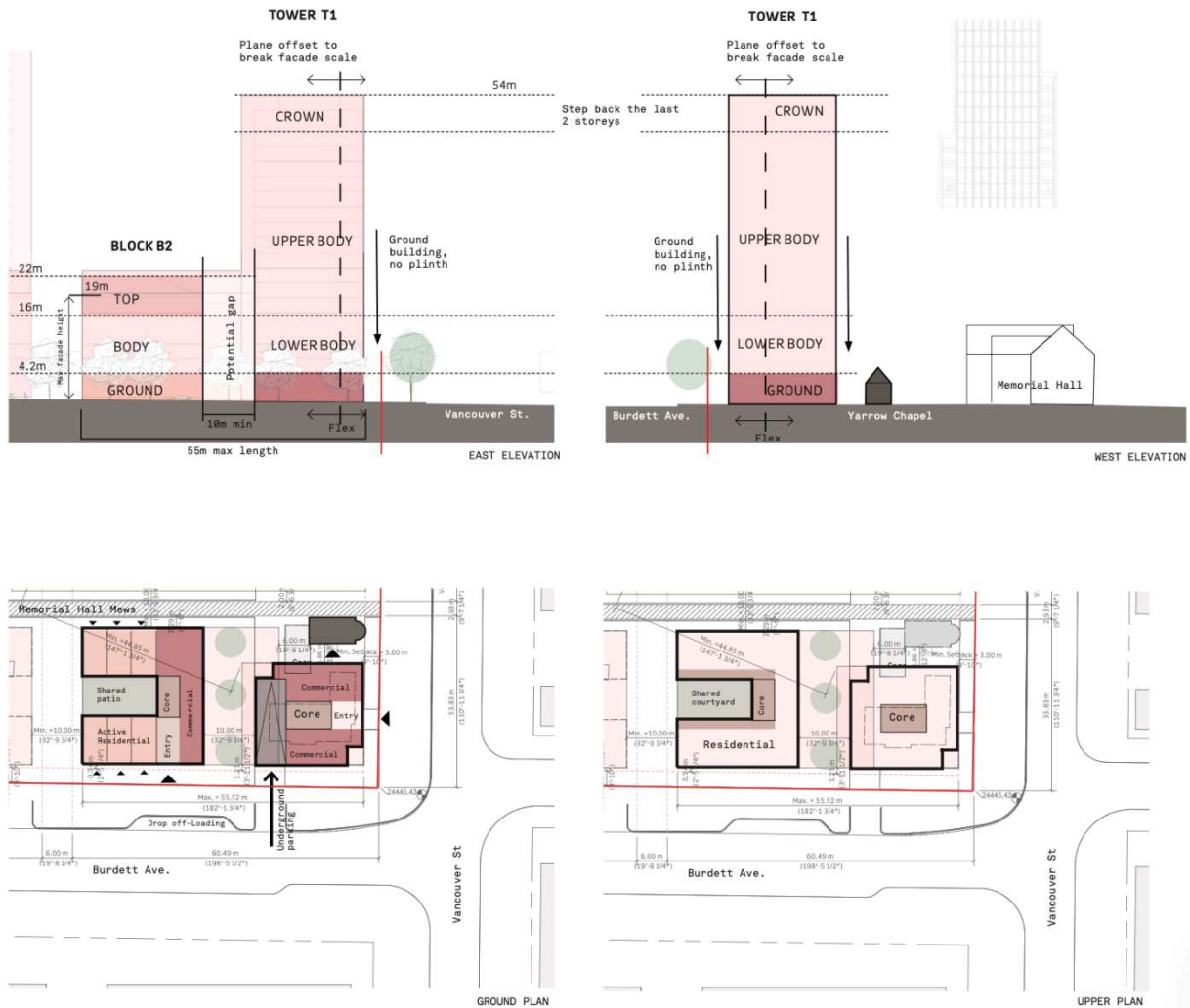


Figure 48: Quadrant 4 Building Form

Elevation and Streetscape

Defining Geometries

The proposed development framework works with the existing heritage assets to celebrate their presence and to deploy them as noteworthy features defining the identity of the proposed future development. The Cathedral is positioned as the primary physical building on site; its geometries have driven the site planning.

- The north/south and east/west axis' are defined naturally by the location and presence of the existing heritage assets
- The Cathedral's position at the end of Courtenay Street and its location on the northwest of the Diocese property has been considered carefully with respect to relationship to Quadra, Courtenay and Pioneer Square
- The length of the Cathedral itself is respected in regard to the height of other potential buildings

These geometries have led to the following proposed density distribution on site:

- Height has been prioritized on the axis behind the Cathedral, to enhance its presence in the site context
- Medium density is located along the southern axis to reflect the current and anticipated uses and densities along Burdett
- Medium density is located in the south east corner at Vancouver Street and Burdett Avenue to transition into the medium-scale multi-family residential neighbourhood to the east

Building Envelope

To allow for development flexibility, maximum buildable envelope which is greater than the 2.5 FSR is proposed. While there are general rules regarding maximum building height, length and minimum separation proposed, providing an envelope that is larger than the total area that would be built provides certainty on delivery.

- Minimum setback of 3m on East, South, West elevations
 - North – excluding existing buildings
- Minimum setback of 1m on North elevation to align with Memorial Hall
- Minimum separation between buildings 10m
 - Exception would be NW tower and Memorial Hall; separation dependent on concept design selection
- Minimum distance of new residential development to Cathedral 15m on East side and 8.4m on South side
- Respect landscape, pedestrian and vehicular connections

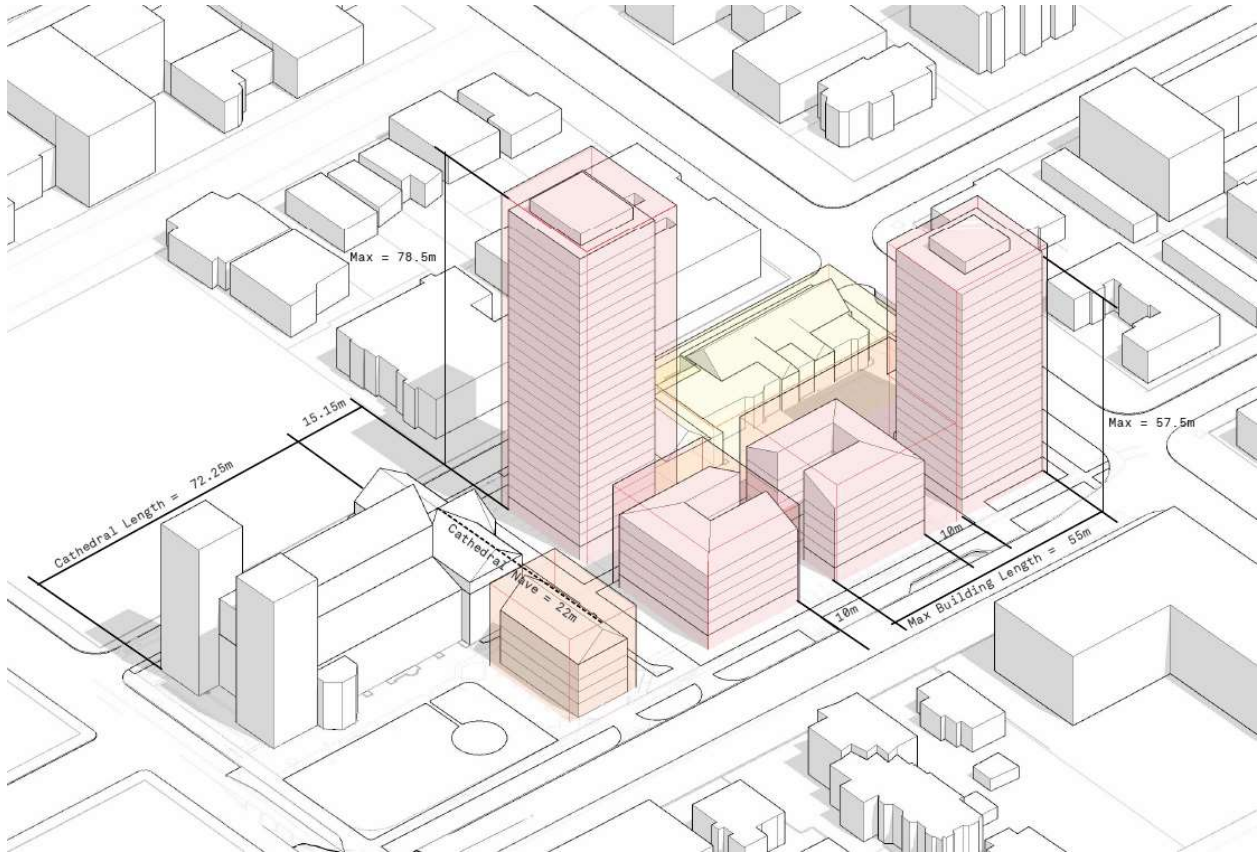


Figure 49: Conceptual depiction of the maximum buildable envelope on the Precinct site.

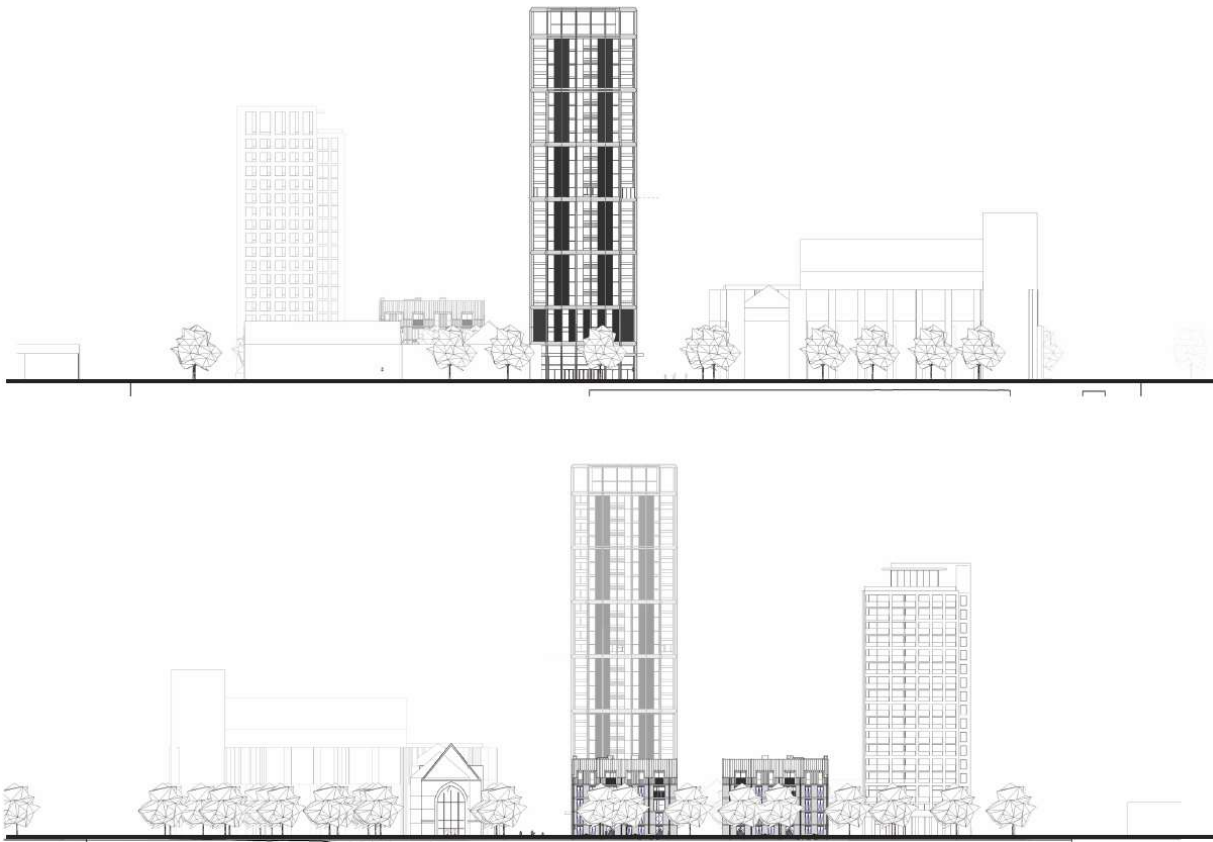


Figure 50: North and South Building Elevations of the proposed Cathedral Precinct development.



Figure 51: North and South Building Views and Perspectives of the proposed Cathedral Precinct.

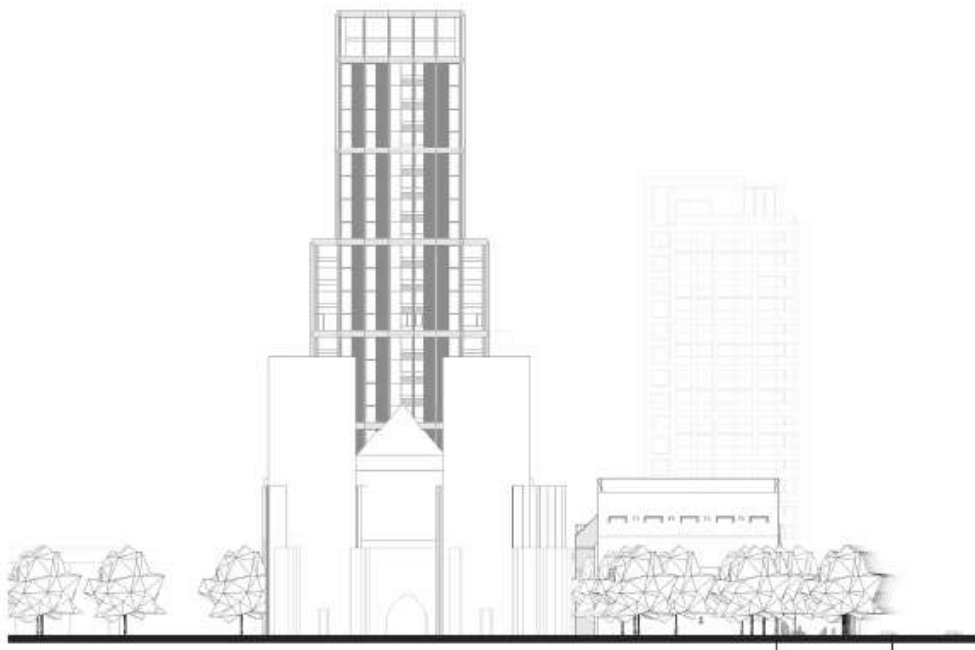


Figure 52: East and West Building Elevation of the proposed Cathedral Precinct development.



Figure 53: North and South Building Views and Perspectives of the Cathedral Precinct development.



Development Zones: Permeability, Circulation, Building Separation

Development Zones

Though two years of iterative design development work including the design framework, density evaluation, circulation and building separation work, four development zones are being proposed that reflect current uses, anticipated future user needs, and larger anticipated residential and community space needs.

1. The Cathedral and Greenspace Quadrant
2. The southeast quadrant, including Yarrow Chapel
3. Memorial Hall including the school, NE quadrant
4. The central mall, including the deanery, quadrant

Site Permeability and Circulation

Site permeability is a priority for the Cathedral Precinct to be more accessible in the local context to residents and visitors alike. Building separation is a key component of this permeability, as is the buildings' relationships to open and greenspace. Priorities for site permeability include:

- Cathedral prominence: respecting and emphasizing the Cathedral's relationship between Pioneer Square and the South Lawn
- Connectivity and wayfinding: improving connectivity and permeability of the site in north/south and east/west directions
- Appropriate scaling: breaking up the scale of the property into street and human-scaled parcels that support improved safety, navigation and access

Circulation: Pedestrian

The development framework sets out an approach to building footprint, landscape structure and defines site circulation, transportation strategies and vehicular access for servicing.

"The strategy focusses on a 'pedestrian first' approach to movement planning but makes some significant moves to enhance the functionality and accessibility of the whole precinct."

A major intervention is a proposed shared surface as a pedestrian priority forecourt to the cathedral at the junction of Courtney Street and Quadra Street. This zone would be a textured raised surface, without defined carriageway for vehicles, giving priority to pedestrians. Rockland Avenue will be pedestrian first approach to make the cathedral more connected to Pioneer Square, and this one more animated.

Day to day access and site functions will be delivered by arrival, parking, and servicing from streets. This strategy is enhanced by the inclusion of a central zone with controlled access. This zone provides two specific functions.

- i - Accessible parking and drop off for visitors to the cathedral
- ii - Event Day access for transportation vehicles and cathedral servicing

New developments will be serviced from the central zone and the street network.

The access to the school is available for deliveries and accessible drop off from Vancouver Street. Day to day operations will be unchanged with students and families being encouraged to arrive by foot or other sustainable mode of transport.



Figure 54: Legend Pedestrian Circulation

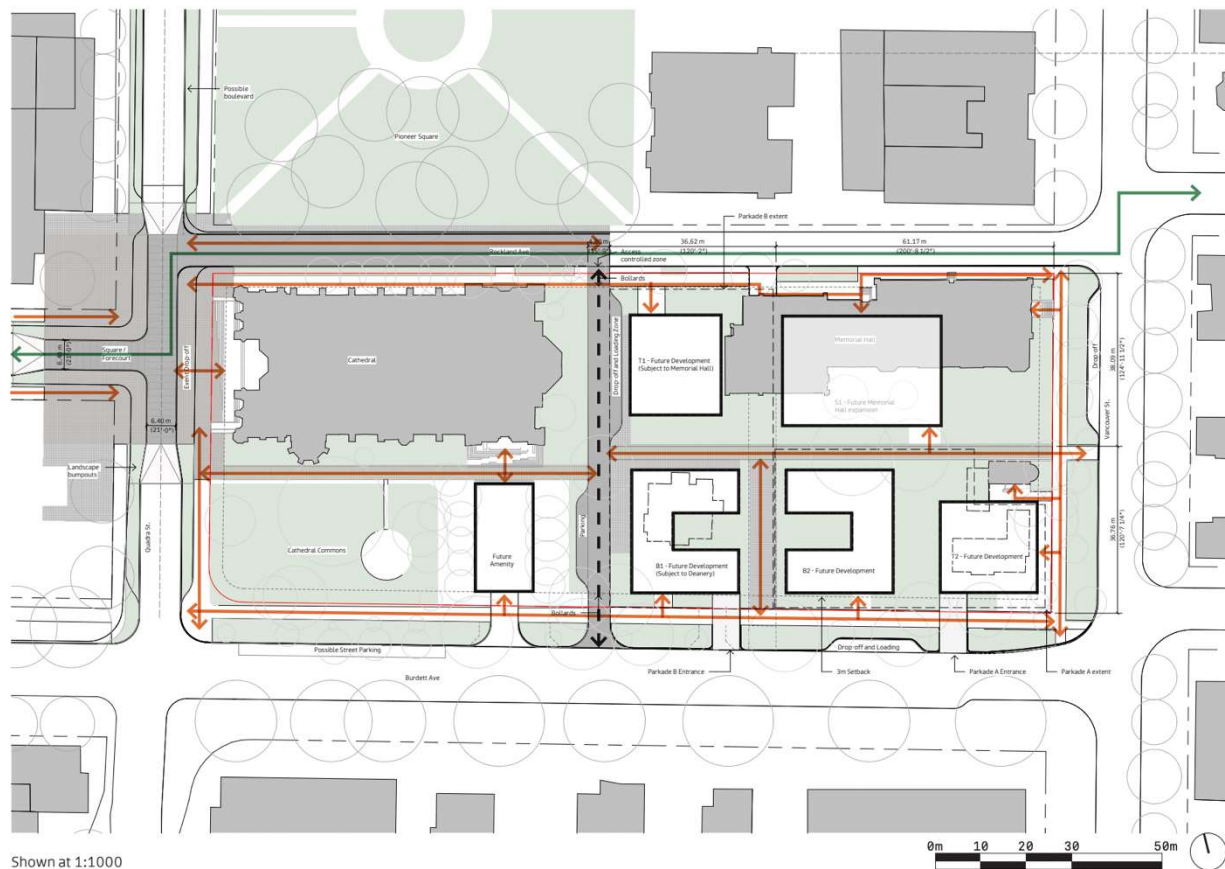


Figure 55: Pedestrian Circulation

Circulation: Vehicles

Catering to the evolving landscape of sustainable transportation, the Cathedral precinct in Victoria prioritizes efficient site circulation for cyclists. Vancouver Street, positioned along the east side of the site, stands as a crucial component of Victoria's AAA Cycling Network. This north-south artery not only connects the precinct seamlessly to the broader cycling infrastructure but also ensures a swift and safe journey for cyclists navigating through the city.

Furthermore, Rockland Street, running east-west on the northern edge of the site, holds the designation of a Greenway in accordance with the city's Official Community Plan (OCP).

"This deliberate urban planning accentuates the commitment to providing cyclists with dedicated routes that enhance connectivity and promote eco-friendly commuting."

The introduction of a central lane within the precinct augments the site's accessibility for cyclists, ensuring a convenient and well-integrated experience. This strategic addition aligns with the broader vision of fostering sustainable mobility and underscores the precinct's commitment to creating a harmonious intersection between historical charm and modern functionality. By seamlessly integrating into established cycling networks and enhancing local greenways, the Cathedral precinct exemplifies a holistic approach to site circulation that encourages and celebrates the use of bicycles as a viable and sustainable mode of urban transport.

- Greenway through Courtney and Rockland
- Vancouver Street

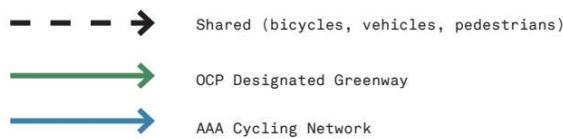


Figure 56: Legend Vehicle Circulation

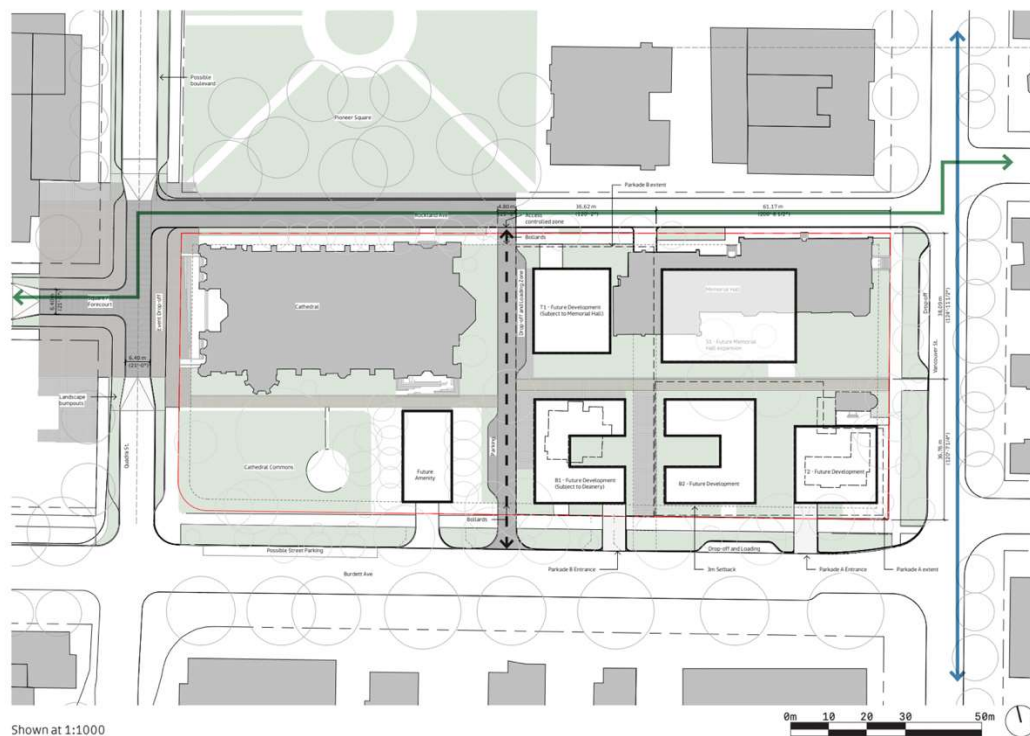


Figure 57: Vehicle Circulation

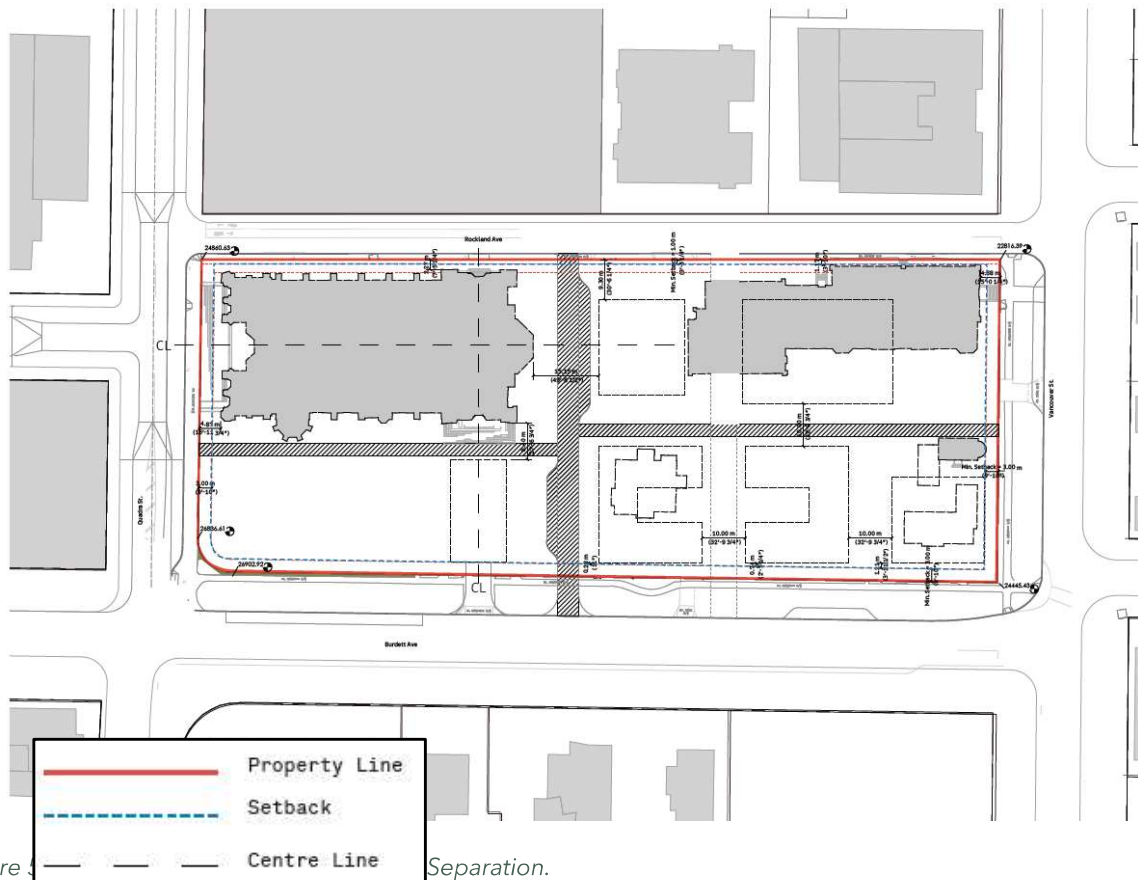


Figure 3: Separation.

Height and Cross Section Plans

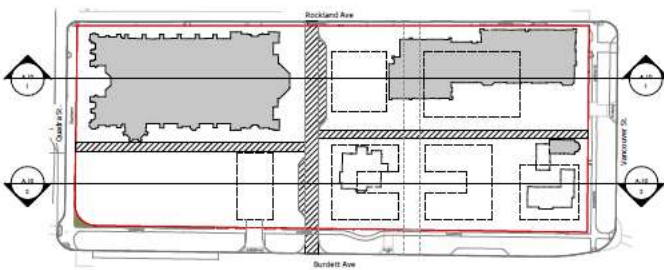
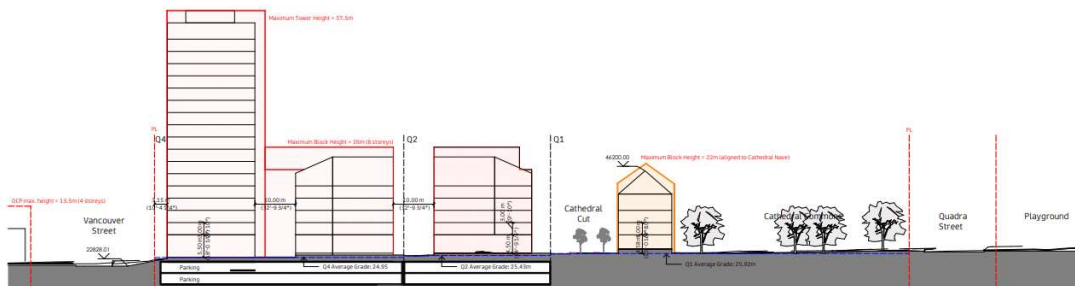
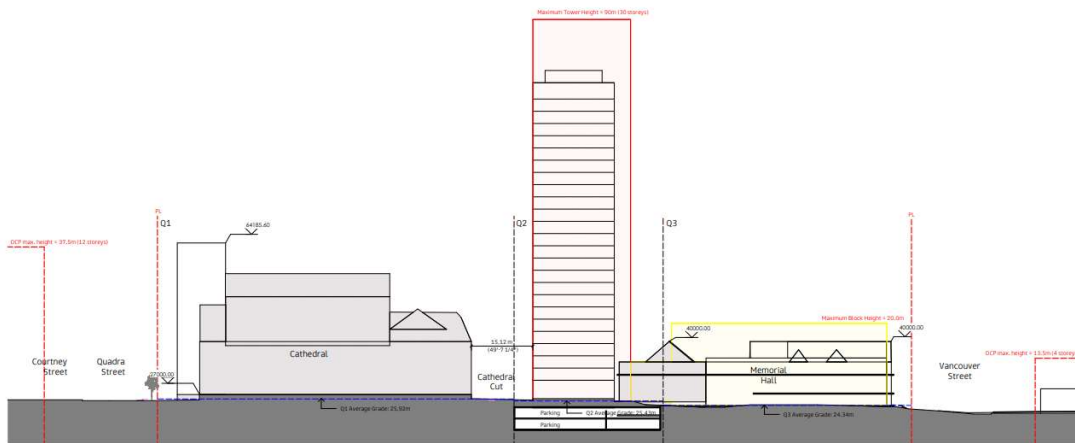
Building Heights and Separations

The Cathedral Precinct block is in the Northwest Area outlined in the Fairfield Neighbourhood Plan which indicates additional density and building heights. The proposed development massing strategically locates 2.5 FSR on the site that respects the historical buildings on the site.

Rather than large floor plates and a maximum height of 6 storeys, building footprints are all smaller than the Cathedral creating a fine grain and permeability through the site. This was tested with various stakeholders through community engagement, aiming to balance the priority of retention and increase of open space and greenspace and site wayfinding and transparency. These reduced floor plates require height be strategically located on the site to hit the 2.5 FSR required to support the seismic upgrading of the historical buildings on site. 10 metre minimum separation between buildings means that there are clear views to the Cathedral and Memorial Hall throughout the site.

- Maximum Cathedral Amenity height is 22m (aligns to top of Cathedral Nave)
- Maximum Central Tower height is 90m (30 storeys)
- Maximum South East Tower height is 57.5m (18 storeys)
- Maximum Residential Block height is 26m (8 storeys)

- Maximum School height is 20m (5 storeys)
- Minimum separation between buildings 10m
- Minimum distance of new residential development to Cathedral 15m
- Respect landscape, pedestrian and vehicular connections



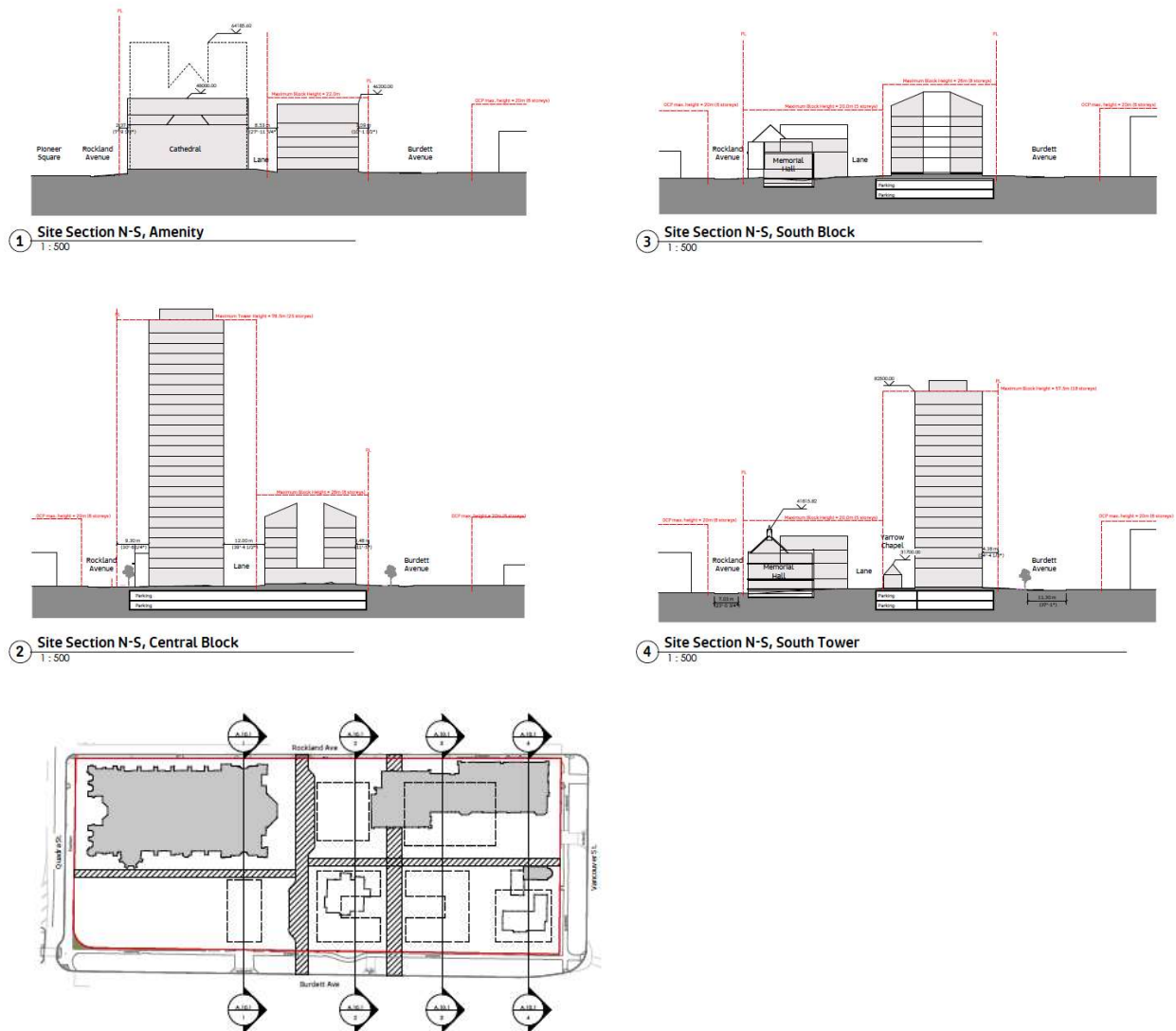


Figure 59: Site Sections

Parking and Accessibility

Parking Study

The goal of the parking study was to determine the appropriate bicycle and vehicle parking supply that considers all future site uses and current City policy. At the time of submission, the Schedule "C" of the Victoria Zoning Bylaw No.08-159 (Off-street Parking Regulation) was under review; this has been taken into consideration during this work and the approach presented.

Based on the current Schedule C, the following are summaries of the current vehicle and bicycle parking requirements:

Table 10: Summary of Current Parking Requirements, Schedule C of City of Victoria Zoning Bylaw No. 08-159.

Use	Bylaw Requirement	Units/area	Requirement
Residential (condominium)	1 space / unit*	320 unit	320
Residential (condominium visitor)	0.1 space/unit	320 units	32
Commercial (retail)	1 space / 37.5m ²	1,800 m ²	48
Church (Place of worship)	1 space / 40m ²	3,350m ²	84
School	1 space / 150m ²	3,600m ²	24
Total Parking Requirement			508

*The unit mix for the residential units was not known at the time of completing this study. Therefore, it was assumed that most units would fall in the range of 45m² to 70m², which are subject to a rate of 1 space per unit.

Table 11: Summary of Current Bicycle Requirements, Schedule C of City of Victoria Zoning Bylaw No. 08-159.

Use	Bylaw Requirement		Required Stalls	
	Short term	Long term	Short term	Long term
Dwelling, Multi-Unit	0.1 spaces per dwelling unit	1.25 spaces per dwelling unit >45m ²	32	400
Commercial (retail)	1 space per 200m ²	1 space per 200m ²	9	9
Church (Place of worship)	N/A	1 space per 200m ²	17	N/A
School	1 space per 1,600m ²	1 space per 160m ²	23	w
Total Bicycle Parking Requirement			81	411

Expected Parking Demand

Expected parking demand for the site is estimated in the following sections to determine a parking supply that will adequately accommodate demand. A multi-method approach—with different sources of data—was utilized to estimate parking demand for each multi-family residential, commercial, church and school use.

To estimate resident parking demand for the multi-family residential use, ICBC vehicle ownership data from ten representative strata condominium buildings in the Capital Regional District was collected, representing 368 units. The sites were selected based on their urban geography, walk score, proximity to services and transportation options that reflect the subject site. All representative sites selected are situated within the designated “Other Area” in Schedule C but are close to the “Core” or commercial centres, similar to the subject site.

As the specific commercial use is yet to be determined, the parking requirement for Commercial (Retail) in the “Core Area” Schedule C was used to calculate the recommended parking supply. Retail parking rates were selected due to being the most general use under commercial land uses and has a more progressive rate. The Commercial (Retail) parking rate in Schedule C is 1 space per 80m². Applied to the commercial space at the proposed development, this results in 23 spaces. According to the Urban Land Institute’s Shared

Parking (3rd Edition), on average, 20% of commercial parking spaces are allocated for employees. Applying this to the total of 23 Christ Church Cathedral 15 Parking Study spaces, it is estimated that 5 commercial parking spaces should be allocated for employees and 18 parking spaces for customers.

Parking demand for the church was estimated using a combination of two methods to capture both employees / volunteers and patrons. Considering both employees / volunteers and patrons, the total parking demand rate for the church: 1 space per 23.4m².

Similar to the church, the parking demand for the school was estimated using a combination of two methods to capture both the employees and parents / guardians dropping off students. Considering both employees and parent / guardian drop-off and pick-up, the total parking demand rate for the school: 1 space per 83m².

On-street parking observations were completed to determine parking availability nearby the subject site. Counts were completed on streets adjacent to the site with available on-street parking: Quadra Street, Burdett Avenue, Vancouver Street and Meares Street. Four observations were completed to capture the various site uses. Due to the various uses of the proposed development, and the availability of on-street parking within the site vicinity, there are opportunities for the temporary uses of the site to share parking spaces and to utilize the available on-street parking to reduce the expected off-street parking demand.

Peak residential visitor parking demand is typically in the evening, whereas peak commercial customer parking demand is typically in the mid-day. As these are both temporary (i.e., short-term) parking uses, and have different peak times of day, it is recommended that the applicant share the 18 commercial customer and visitor parking spaces. This reduces the overall parking demand by 16 spaces (expected visitor parking demand).

The church patron parking demand requires 116 spaces, which can all be accommodated using on-street parking within the vicinity of the site, which is where most church patrons park today when attending a service or event. As there are approximately 142 on-street parking spaces available, church patrons could occupy up to 82% (116 spaces) of on-street spaces, resulting in 28% of spaces (26 spaces) still available for other uses during a Sunday morning. This reduces the overall parking demand by 116 spaces (the total expected parking demand for church patrons).

The on-street parking observations show that only 35% of on-street parking spaces are occupied during the school morning. Thus, it is recommended that the parent / guardian drop-off and pick-up parking demand (21 spaces) be accommodated on-street. during school morning drop-off. This reduces the overall parking demand by 21 spaces (the total expected parking demand for school parent / guardians).

More permanent (i.e., long-term) uses and users of the proposed development must have parking spaces allocated based on their expected demand, as the turnover is expected to be infrequent. These uses and users include the multi-family residential residents, commercial employees, church employees and volunteers, and school employees. Considering the expected parking demand for each of these permanent uses, and the demand adjustments



made to the temporal uses, the total expected parking demand is 375 spaces. See the table below for a summary of the adjusted parking demand.

Table 12: Summary of Expected Parking Demand Adjusted.

Land Use / User	Quantity	Parking Demand Rate	Expected Parking Demand	Adjusted Parking Demand (considering shared parking and on-street)	Rationale
Residential (Condominium)	320 units	0.94 spaces per unit	301	301	Provision of off-street parking for residents
Residential (Condominium) - Visitors	320 units	0.05 spaces per unit	16	18	Most of the residential visitor vehicles are anticipated to park on-street. Further, the visitor parking can be shared with commercial customer parking due to different peak times of day
Commercial (Retail) - Customers	1800 m2	1 space per 80m2	18	18	
Commercial (Retail) - Employees			5	5	
Church (Place of Worship) - Patrons	3350 m2	1 space per 23 m2	116	0	On-street parking available
Church (Place of Worship) - Employees / Volunteers			28	28	Provision of off-street parking for employees/volunteers
School - Parents / Guardian Drop-off	3600 m2	1 space per 83 m2	21	0	On-street parking available
School - Employees			22	23	Provision of off-street parking for employees
Total			526	375	

Transportation Demand Management

Transportation demand management (TDM) is the application of strategies and policies to influence individual travel choice to reduce single-occupant vehicle travel. TDM measures typically aim to encourage sustainability, enhance travel options, and decrease parking demand. TDM measures are recommended to reduce the overall parking demand of the site, and to support sustainable transportation choices for future residents and employees of the site and to align with the broader policy and planning goals of the City. A range of TDM

options are described below, divided into strategies that can be implemented for either residents or employees of the proposed development.

- It is recommended that the applicant approach Modo to determine the viability of locating at least two carshare vehicle at the site and the provision of memberships to each residential unit (320 memberships)
- It is recommended that the applicant commit to providing non-standard bicycle parking with the specific details to be confirmed later.
- It is recommended that the applicant provide a TDM-focused welcome package that includes information such as the following:
 - MODO membership information
 - BC Transit map and schedule
 - CRD Bike Map; and
 - Information on other TDM programs offered at the site
- The applicant may wish to approach BC Transit to determine what the implications are of the Umo fare technology and how that would translate into a subsidized transit pass fund at the subject site.
- It is recommended that the applicant consider providing end-of-trip facilities that the church, school, and commercial employees / volunteers employees at the proposed development can access, with specific details to be confirmed later.

The proposed site plan includes a significant portion of underground parking to prioritize greenspace, underground parking strategy is designed to be flexible and adaptable to consider current and future changing parking needs and demands, based on the ultimate build out of the site. Double bay parking layout optimizes efficiency and recognizes the site limitations found during due diligence related to existing buildings, potential impact to the urban forest, and bedrock depth.

Table 13: Proposed TDM measures and expected impacts on parking demand.

TDM Measure		Parking Demand / Reduction
Residential (Condominium) Parking		
Estimated Parking Demand		301
Carsharing Vehicle (includes membership): Provide at least 1 carshare vehicle and memberships to all units		-4% to -30%
Electric Bicycle / Non-standard Bicycle Parking		
TDM Welcome Package		
Transit Pass Program		
Residential Parking Demand Reduction		12 to 90 spaces
Total Residential Parking Demand with TDM		289 (4% reduction) to 211 spaces (30% reduction)
Employee Parking (Commercial, Church, School)		
Estimated Parking Demand		56
Electric Bicycle / Non-standard Bicycle Parking & End-of-Trip Facilities		-5% to -15%
Transit Pass Program		

Employee Parking Demand Reduction	3 (5% reduction) to 8 spaces (15% reduction)
Total Employee Parking Demand with TDM	53 to 48 spaces
Visitor / Customer Parking Demand	18 spaces
Total Parking Demand Range (Residential, Employee, Visitor / Customer) with TDM	Lower end of range = 360 spaces (289+53+18) Higher end of range = 277 spaces (211+48+18)

Traffic Impact Assessment

The Traffic Impact Assessment (TIA) study evaluated the traffic impacts of the proposed land use, reviewed traffic conditions at key intersections, and assessed the need for any mitigation measures. The study reviewed the existing traffic operations along with the post development and long-term conditions for all modes of transportation. Existing data and new data were collected to inform this study, include traffic counts in October and November 2023 at various times and locations.

Conclusions indicate that traffic conditions at the study area intersections operate acceptably under existing and background conditions. Development-related traffic can be accommodated on all intersections with no issues, except Quadra Street / Burdett Avenue eastbound in the PM peak hour.

The study therefore recommends that the City of Victoria monitor the Quadra Street / Burdett Avenue intersection and consider changes to traffic control (conversion to all-way stop, roundabout or traffic signal) as part of a holistic review of the Quadra Street corridor as a whole.

Underground Parking

The underground parking proposal incorporates two distinct parkade zones, A and B, strategically located to facilitate phased development, providing adaptability to the evolving requirements of the precinct. Each parkade can be constructed independently depending on how the site is developed. A knock-out wall between the two parkades could allow for one single combined parkade with a single entrance depending on the lease agreements or needs of the developments. A double bay parking layout is proposed to optimize efficiency.

It should be acknowledged that the underground parking design faces constraints imposed by the presence of historical buildings on the site. A primary objective is to minimize any impact on these structures, emphasizing their preservation. Additionally, the depth of the bedrock poses limitations on the underground structure, likely permitting only two levels of below-grade parking. Due to these constraints, the anticipated number of stalls may be limited to approximately 200.

- Underground parking that relates with future development phasing offering flexibility and adaptability
- Double bay parking layout to optimise efficiency
- Limited parking due to existing heritage buildings and bedrock depth

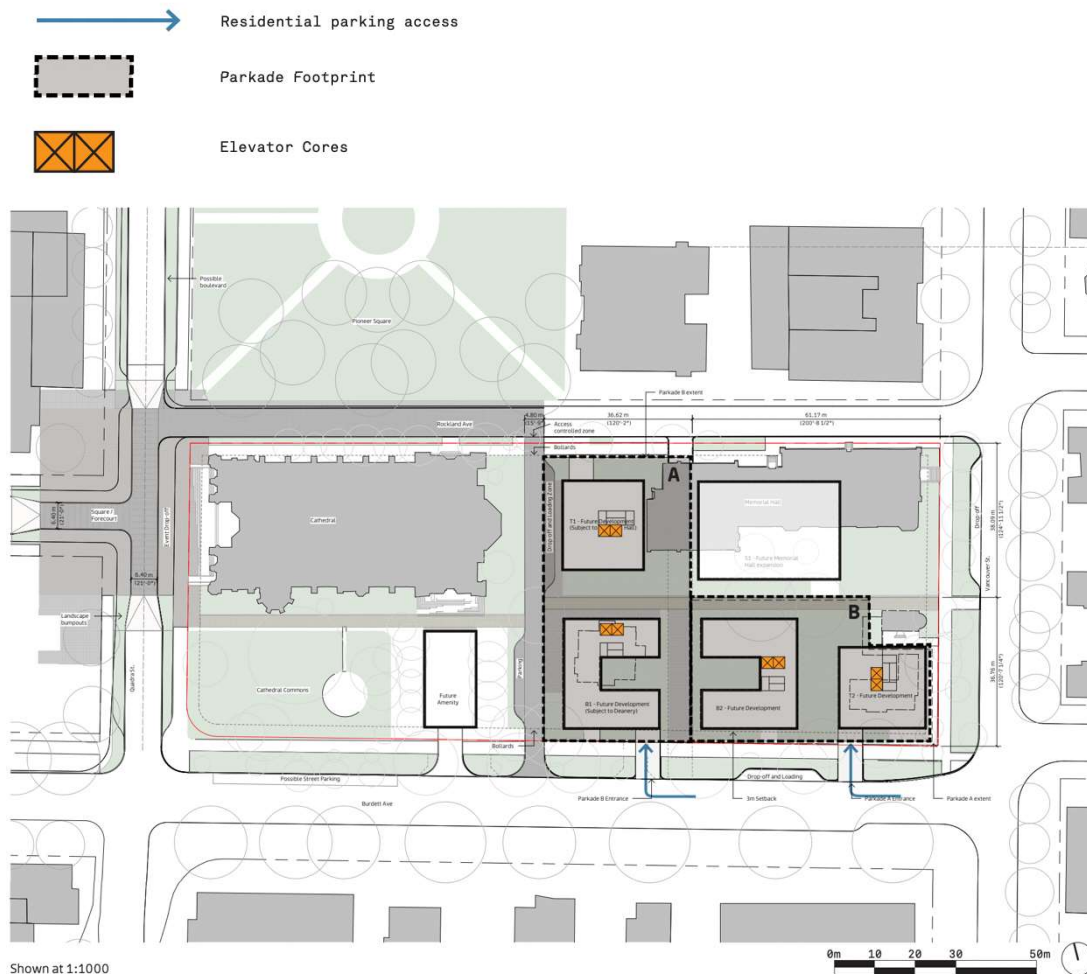


Figure 60: Underground Parking and Legend

Safety, Security and Crime Prevention (CPTED)

The primary goal of the CPTED audits is to prevent property crime by suggesting changes to the environmental design of a property that creates both real and symbolic barriers, thereby discouraging criminal activity on site.

Observations

It was observed that many tactics outlines in the CPTED model were already in effect at 911 Quadra Street, 912 Vancouver Street and 930 Burdett Avenue:

- The playground is protected by a large fence to prevent public access, reducing trespassing and the risk of hazardous materials being left on site
- The property's well-maintained appearance signals vigilance against trespassers
- While a security patrol is actively in place, it may not fully meet the Church's needs
- Efforts have been made to restrict public access to areas like stairwells and outdoor pulpit, discouraging camping and minimizing foot traffic



Recommendations

Several recommendations were suggested to enhance security at 911 Quadra Street, 912 Vancouver Street and 930 Burdett Avenue:

- Install a security gate for the Rockland side exterior door to deter loitering, prevent fire hazards, drug use, etc.
- Consider fencing off Rockland side alcoves prone to camping and drug use
- Seek City assistance for hazardous waste disposal issues on the Rockland side; continue to report criminal activity to the police
- Install mesh fencing at the Burdett side outdoor pulpit area to prevent unauthorized access; as it currently stands, the building forms a natural staircase that can be easily climbed
- Ensure vehicles in the Rockland side lot are secure by eliminating valuables, locking doors and using surveillance
- Install bright LEDs in problematic areas and above doorways for improved outdoor lighting
- Install a gate at the Diocese office to restrict access to the courtyard, as it stands now, it is an attractive area for sleeping and drug use
- Re-evaluate the effectiveness of the current security patrol and explore alternative security measures (i.e., on-site security, more frequent patrols)
- For property that is not fenced off from the public, No Trespassing signs must be posted for the Trespass Act to be enforceable; consider posting signage on the Rockland side
- Instruct volunteers to disengage with aggressive trespassers and contact the police if there is a risk of physical harm
- Control access to all public bathrooms with a number pad lock, changing the combination regularly. Visitors can obtain the code from volunteers on site

These suggested have been integrated into the concept design stage, and will be applied to all thinking as the development project unfolds.

Civil and Infrastructure Overview

Through the production of a design brief related to site servicing for the proposed rezoning and eventual development of the Christ Church Cathedral Precinct, Herold Engineering Limited did not identify any potential limitations of extraordinary costs for water, sewer, or storm drainage connections. This is expanded as below:

Water Servicing

The water network in this area is strong, with 300mm diameter mains in Quadra and Burdett and smaller mains in Vancouver and Rockland. Given the downtown location and proximity to large mains, water supply is not expected to be a limiting factor.

Sanitary Servicing

There is a 200mm sanitary sewer in Burdett which should be adequate to handle flows from the proposed residential units. The pipe is old but has recently been relined so should be in good condition.

The City of Victoria requires a detailed study of sanitary sewer flows to determine if onsite attenuation is required. The analysis typically compares flows that are permissible under the existing zoning with flows proposed after rezoning.

This analysis may be started once preliminary design of the building and mechanical systems has been completed. At that time, sanitary design will be reviewed, and the downstream system will be analyzed for capacity.

Stormwater Management

No changes have been made to the storm drain design at this point in the project. Once the landscape design has been revised and coordination with the mechanical consultant has been completed, the storm drainage design will be reviewed and updated to reflect the new information.

Service Connections to New Buildings

Normal practice is for the city to allow only a single service connection to a property for each service (i.e., water, sewer, drainage, power, etc.). However, since this is a very large property with several existing buildings and multiple existing service connections, the City has confirmed that their preference is that any new buildings have their own, new service connection to utilities in the street. Our conceptual servicing drawing therefore assumes new connections for each proposed building.

Shallow Utility Connections to New Buildings

Preliminary discussions have occurred with BC Hydro. They were notified of the existing parcel remaining, that there will be underground parkades, that one BC Hydro service will be made to the property, and that there are multiple heritage structures that may require further investigation to feed power to one centralized location. It was confirmed that BC Hydro's distribution system is very dynamic and they cannot predict which frontage could be used to supply power or if there is capacity in adjacent circuits without the need for upstream improvements at this time.

Once detailed design gets underway with BC Hydro, the other shallow utility providers (Telus and Shaw Cable) will be notified and engaged.

It is unknown at this time if a natural gas service will be provided to the site to accommodate the proposed growth. That can be addressed at a later date.

Green Infrastructure

Green infrastructure has been identified from the outset of the Master Planning process, and included in the planning and design principles. On-site stormwater management, urban forestry and canopy coverage, day-lighting natural services and processes, and building siting have all been considered in the Site Plan presented. Detailed infrastructure planning will be undertaken with these priorities through each Phase and each associated detailed design process.



Landscape and Open Space

Landscape Plan

Urban Forest Plan

In line with the City of Victoria's Tree Protection By Laws, the landscape design approach for the Christ Church Cathedral will be focused on the protection of all trees on site that have not otherwise been noted as in "poor health", the replacement of any trees that require removal as a result of design proposals and the addition of new trees in order to facilitate an adequate amount of canopy cover for new areas being developed. The trees proposed for removal on site will include 8 (eight) bylaw trees with 2 (two) being heritage character trees. An additional 2 (two) non-bylaw trees will be critically impacted by the footprint of proposed structures and shall be removed. From the overall 10 (ten) trees proposed for removal, 3 (three) trees have been assessed to be in poor condition from documented arborist reports. As part of a phased approach and understanding that the proposed development will be completed in multiple stages, proposed trees to be removed that fall outside early development phases shall be protected under the City of Victoria's Tree Protection Bylaws until such a time where trees are impacted by construction.

The total increase of trees on site (70%) shall be achieved with the proposal of 51 (fifty-one) additional trees on site and 5 (five) additional trees within the public realm which will include large native tree species planted beyond proposed parkade structures to ensure proposed trees reach the desired level of maturity and health. While promotion of local biodiversity will be the main target of the landscape urban forest approach, consideration for native adaptive species will also be included for private areas including patios and courtyards which can flourish in typically altered conditions including above ground planters, soils on slab and microclimates affected by climate change. Overall, the 3 primary objectives will aim to satisfy the maximum desired canopy cover to the existing site while creating varying public and private spaces with strong visual character and identity around Christchurch and Cathedral and the proposed development.

Planting Design

Landscape planting design will aim to celebrate the existing character of the Cathedral site through the addition of native plant selection and reinforcement of physical and visual connections including boulevard row planting and formal design languages. The heritage character of the site will be supported with the specification of mature plants providing a continuation of the existing aesthetic of classic historic European gardens. Thresholds and entries will be marked with physical structures and/or distinct planting types to create a sense of arrival and wayfinding for users of the space. Any removal of existing shrubs or understory



planting shall be replaced with plants equal to or greater size and health providing further reinforcement of the “mature landscaping” heritage quality of the space. The distinction of public space and private residences will be achieved through character design and appropriate species selection to help further identify and navigate through the proposed development with heritage, user safety, biodiversity and wayfinding as the main areas of focus.



Figure 61: Landscape and Open Space Plan



Figure 62: Landscape and Open Space Plan Renderings

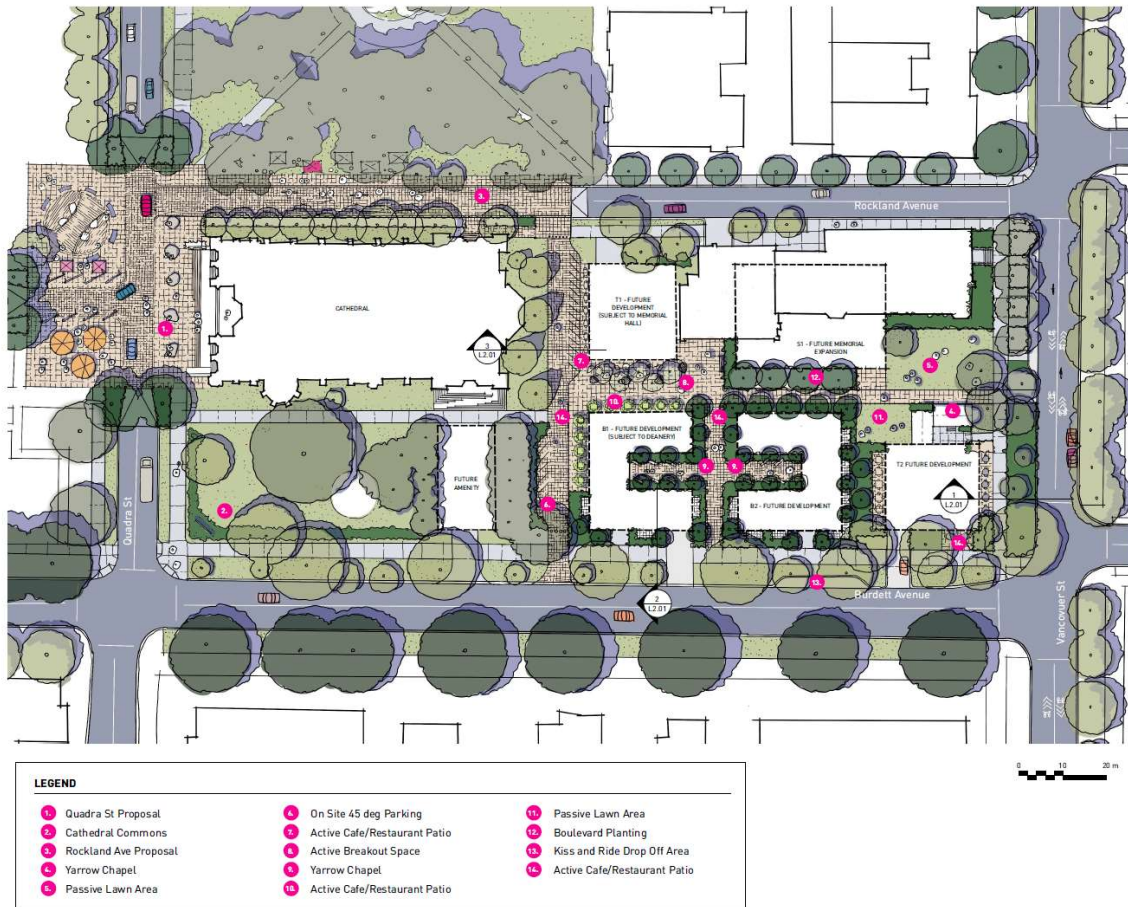
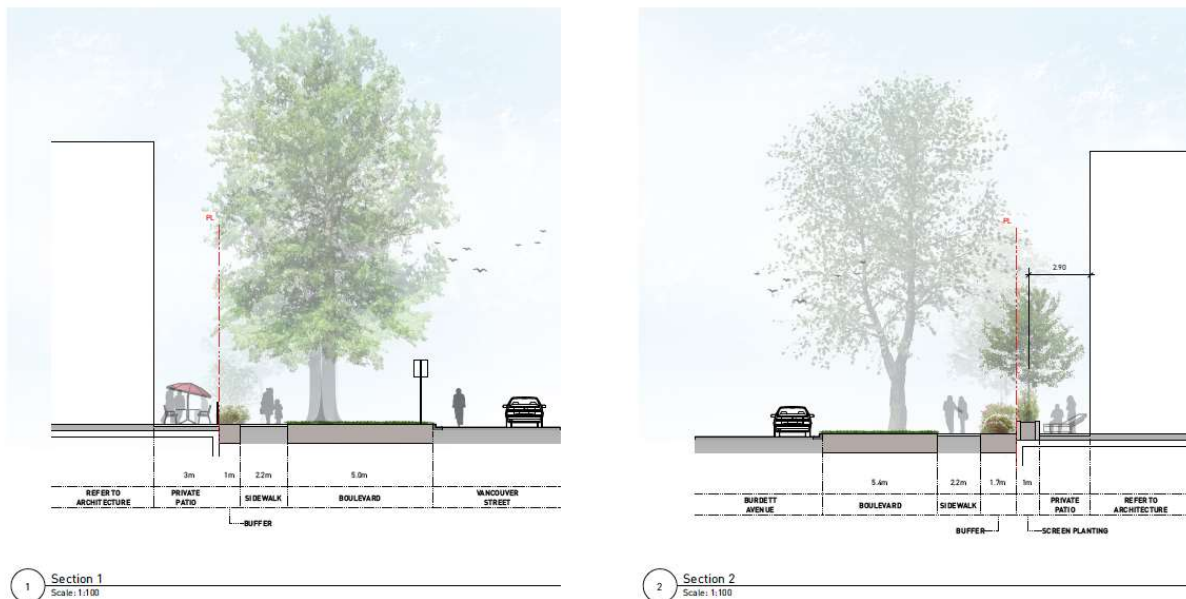
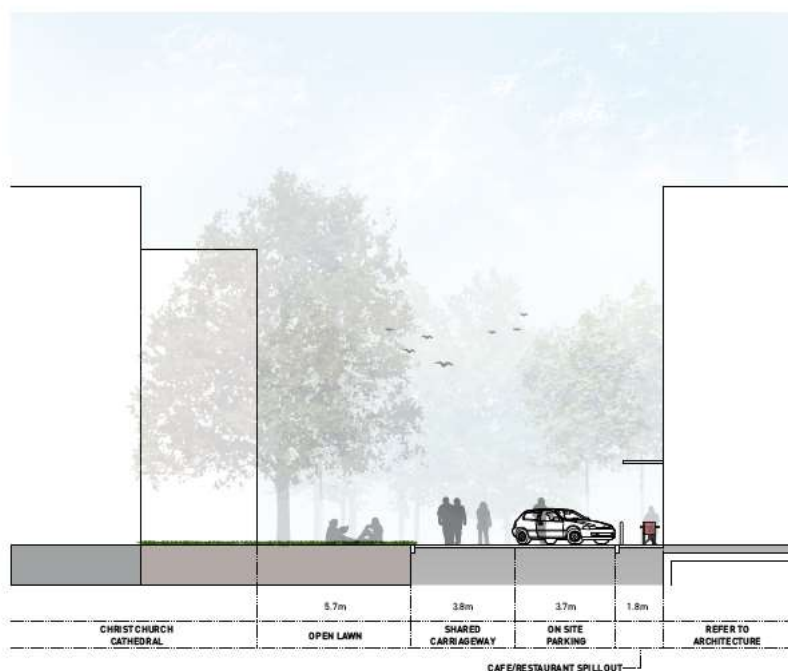


Figure 63: Landscape Planting Plan





3 Section 3
Scale: 1:100

Figure 64: Landscape Sections

Arborist Conservation and Retention Plan

The City of Victoria's Tree Protection Bylaw (2021) seeks to protect and enhance the urban forest, and requires approval for pruning, cutting or removal of trees on private property through the issuance of a tree permit. Tree information from a certified arborist is required as part of rezoning, development, or building permit applications and approval.

A variety of certified arborist reports have been commissioned on the Precinct over the past seven years, generally instigated by site development planning and permit/approval requirements. These reports were reviewed by Gye + Associates as part of their scope of work and informed the preparation of the Tree Constraint Plan. These reports included:

- Talbot Mackenzie & Associates
 - Tree Assessment Report (February 2015): Health and condition assessment of 7 trees within the School fenced playground area
 - Tree Protection Report (March 2020): Review potential impacts and identify mitigation strategies for existing trees in the Cathedral Commons/South Lawn area, based on landscape architect conceptual plans for redevelopment
 - Tree Risk Assessment Report (March 2020 & July 2020 Addendum): Level 3 Risk Assessment of two Big Leaf Maple and one Garry Oak tree on the Cathedral Commons/South Lawn perimeter (these three trees were removed due to risk from structural failure and poor health)
- Gye + Associates



- Arborist Report (April 2021): Reviewed development impacts from proposed school portables and proposed replacement trees, remediation, and tree protection measures
- Tree Management Plan (June 2021): Prepared drawings to ensure protected root zones and tree canopy protection during the building and construction of the school portables

This work included:

- Inventory and inspection of over 75 trees with 25 different species including:
 - 40 private trees located on the Precinct
 - 28 bylaw protect trees and 12 non-bylaw protected trees
 - 7 trees with fair or poor health and structural condition assessments
 - 35 municipal trees located on sidewalks fronting the Precinct, of which 3 had fair or poor health and structural condition
- The highest concentration of private trees is located in the Cathedral Commons/South Lawn area
- *4 Bylaw protected trees, including two of the largest trees (including their canopies and protected root zones) are on the Precinct area located within the School playground area adjacent to Memorial Hall, which could impact the scale and form of future new buildings in the area

**A recent storm in Victoria took down 1 bylaw heritage arbutus tree. This is reflected in the Tree Management Plan.*

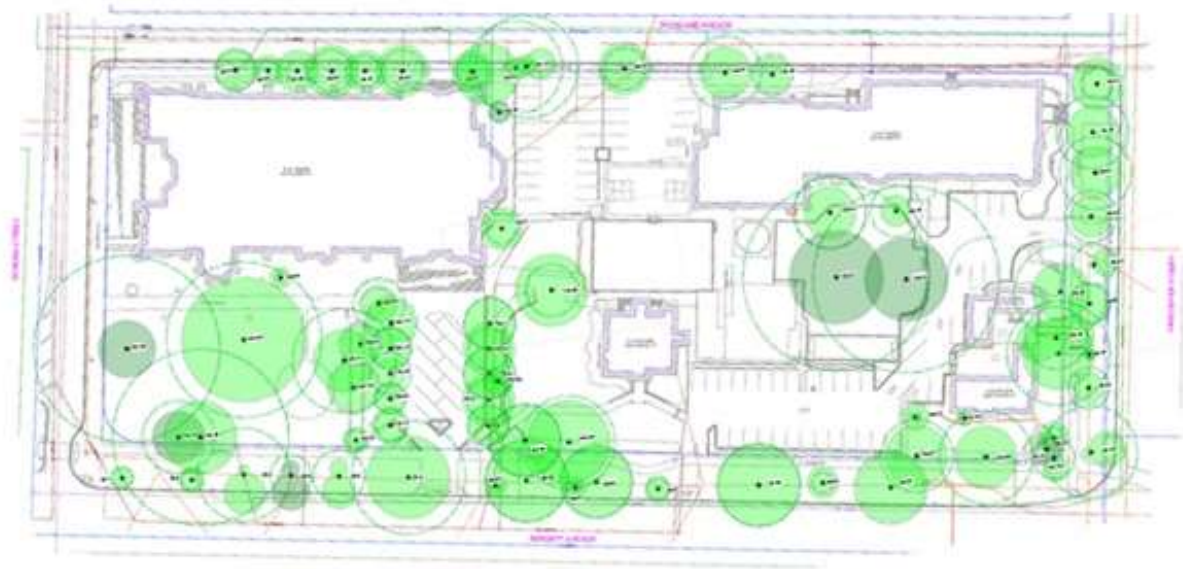


Figure 65: Tree Inventory plan showing Precinct and Municipal Street trees including tree canopy (green highlighted radii) and protected root zone areas (green line radii)

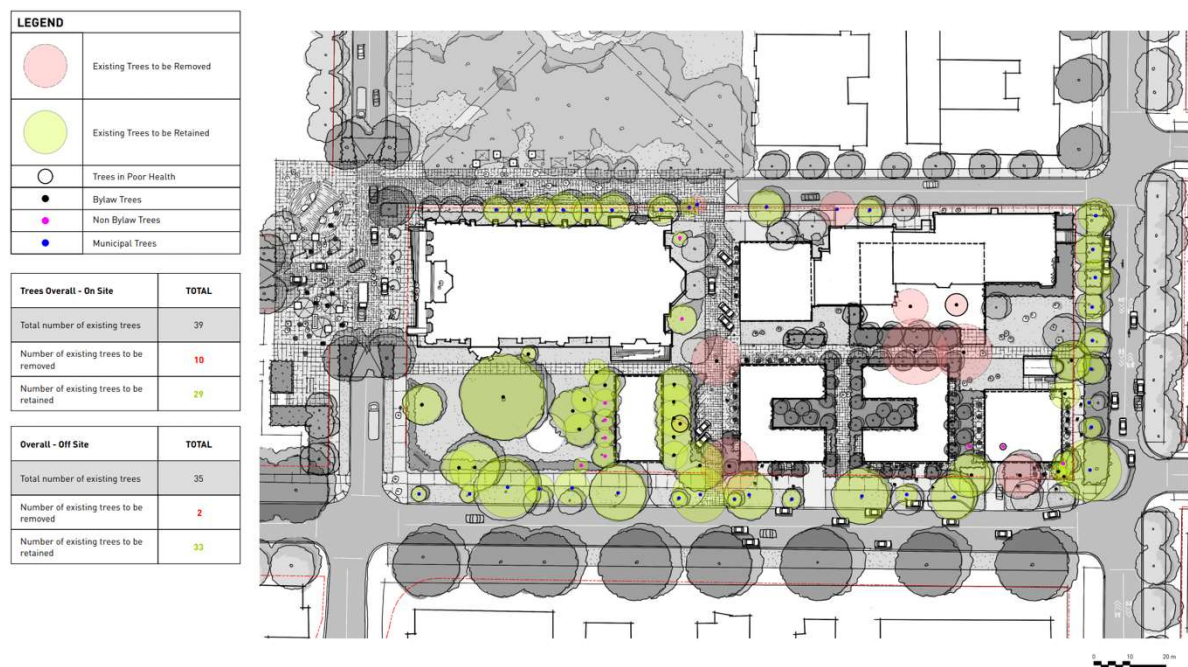


Figure 66: Tree Conversation and Retention Plan

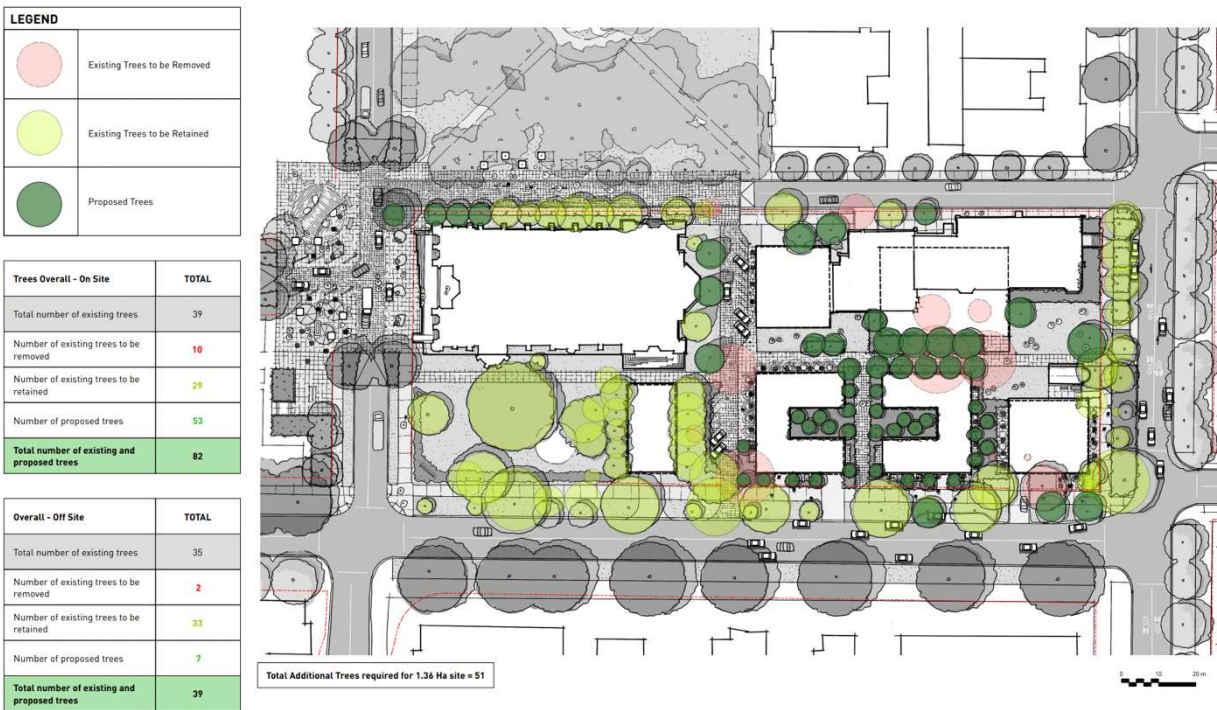


Figure 67: Phasing of Tree Conservation and Retention Plan



Figure 68: Landscape Design Feature Precedents



Circulation, Greenways, Connectors and Open Space

The development framework sets out an approach to building footprint, landscape structure and defines connectors, and transportation strategies and access for servicing. The strategy focuses on a 'pedestrian first' approach to movement planning but makes some significant moves to enhance the functionality and accessibility of the whole precinct.

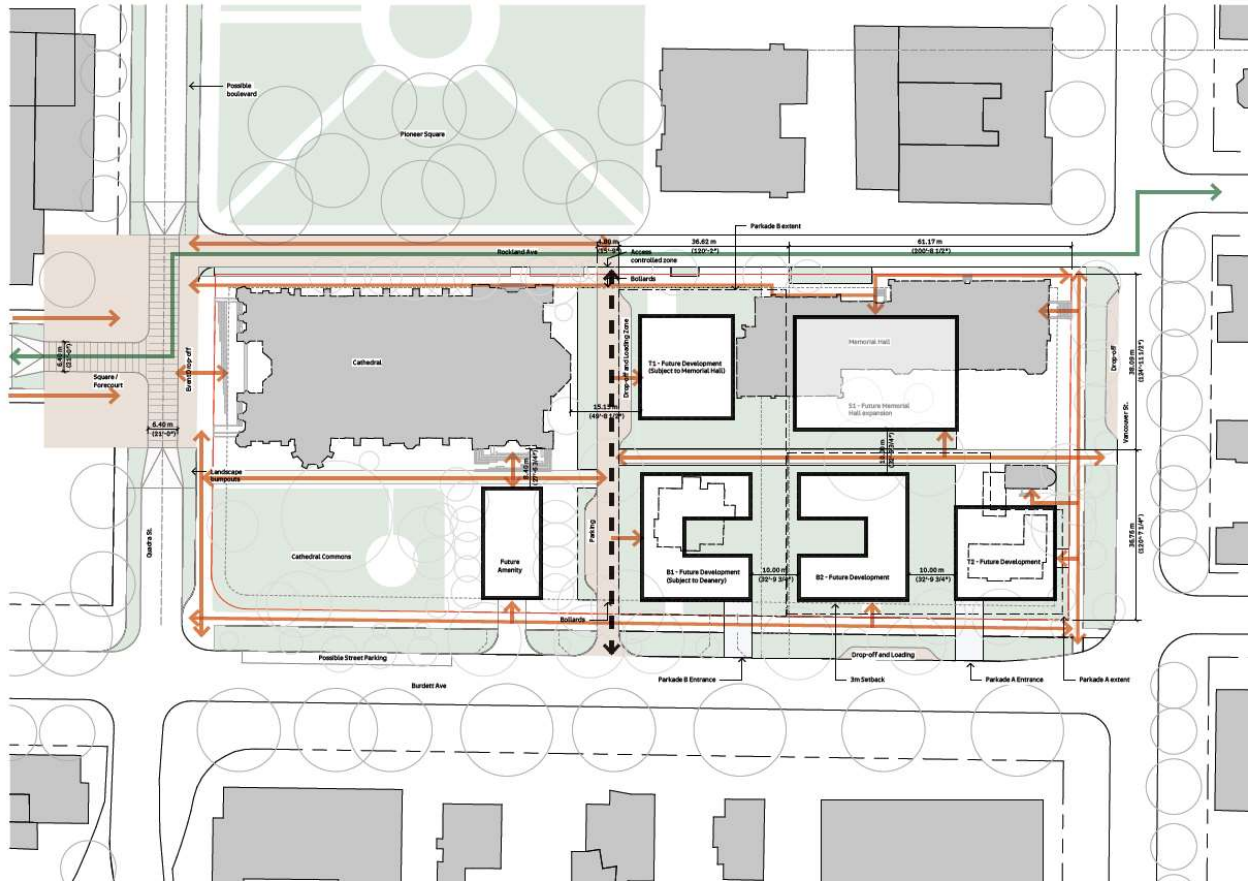


Figure 69: Site Circulation

- Pedestrian Priority Forecourt: a major intervention is a proposed shared surface as a pedestrian priority forecourt to the cathedral at the junction of Courtney Street and Quadra Street. This zone would be a textured raised surface, without defined carriageway for vehicles, giving priority to pedestrians
- Transparent animation: Rockland Avenue will continue to prioritize the pedestrian first approach to make the Cathedral more connected to Pioneer Square
- Central access corridor: this strategy is enhanced by the inclusion of the North/South Central Mall corridor with controlled access that allows for flexible and maximum use

providing two specific functions that were clear priorities for stakeholders during pre-application engagement:

1. Accessible parking and drop off for visitors to the Cathedral.
 2. Operational and event day access for transportation, management, servicing, emergency and utility vehicles.
- School access: the access to the school is available for deliveries and accessible drop off from Vancouver Street. Day to day operations will be unchanged with students and families being encouraged to arrive by foot or other sustainable mode of transport
 - Cycling infrastructure: circulation is planned through the existing Rockland greenway and Vancouver Street to be circulated to Courtenay

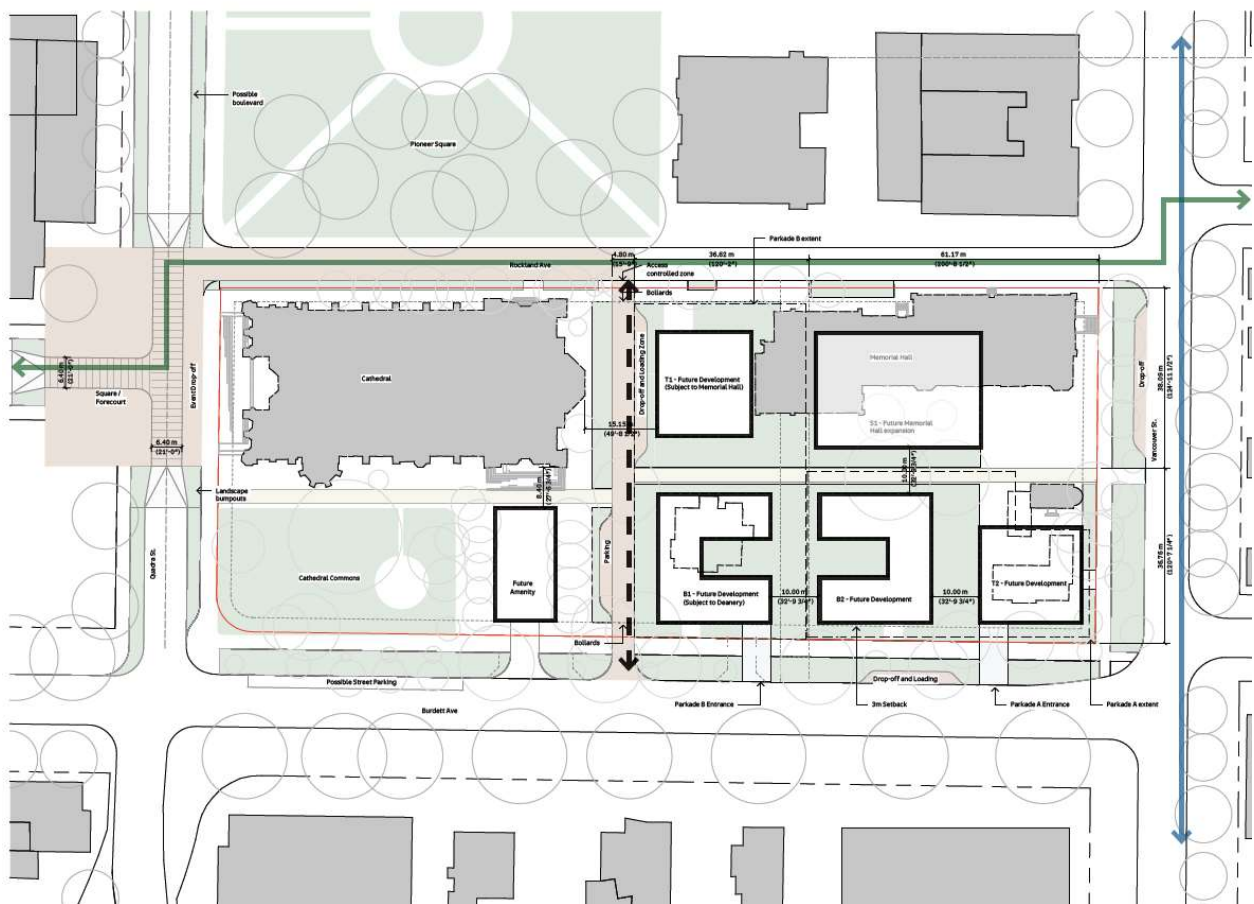
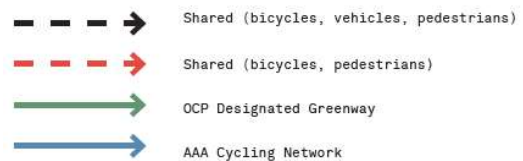


Figure 70: Cycling Circulation



Environmental Investigations

Through due diligence completed in 2022 and 2023, a variety of desktop and subsurface environmental investigations were completed by McElhanney Ltd. Appendix X provides both the Phase 1 Site Assessment (ESA) and a Phase 2A soil investigation. Below is a summary of the process and findings of this work.

Phase 1 Site Assessment

Four civic addresses were included in the Phase 1 ESA in 2022 – 911 Quadra Street, 930 Burdett Avenue, 900 Vancouver Street and 921 Vancouver Street. Visual observations of the site and adjacent properties, a comprehensive review of historical records interviews and a Site visit were conducted to complete the Phase 1.

Based on the assessment, three areas of potential environmental concern (APECs) were identified that required further investigation to quantitatively assess soil, groundwater, and soil vapour at the identified locations. A Phase II was therefore completed.

Phase 2A Soil Investigation

The objectives of the soil investigation were to assess soil quality at the Site and provide a preliminary assessment of groundwater flow direction at the Site with respect to the two on-site and one off-site Areas of Potential Contamination identified in the Phase 1. Drilling and test hole investigation activities were undertaken with samples being sent to the lab and wells installed for ongoing monitoring. Key conclusions were as follows that indicate no further investigative work is recommended this time:

- The results of the drilling investigation and subsurface utility scans indicated that two heating oil USTs were formerly located east of the Cathedral and north of Memorial Hall and were previously excavated and removed from Site
- The concentrations of all analyzed parameters in the soil samples collected from the investigation locations assessing APECs 2 and 3 were less than the applicable BC CSR RLLD standards
- Based on the preliminary assessment of groundwater flow direction in the vicinity of the Site, PCOCs from off-Site APEC 1 are not considered to pose a risk to environmental media at the Site. APEC 1 is inferred to be located down gradient to the Site relative to the inferred groundwater flow direction and at a lower elevation compared to the Site. Additionally, no visual or olfactory indications of petroleum hydrocarbon contamination were observed in soils during drilling at location MW23-04, advanced along the southern border of the Site, nearest APEC 1

Heritage Preservation and Enhancement

Heritage Conservation Strategy

Katie Cummer, PhD, CAHP, of Cummer Heritage Consulting, completed the heritage conservation strategy report for the Christ Church Cathedral Precinct (Cathedral Precinct). On the Cathedral Precinct site, the Cathedral, the Memorial Hall, and the Yarrow Chapel are all designated as *Municipal Heritage* sites and carry Statements of Significance. The Deanery, which also has a Statement of Significance recognizing its heritage value, is not in fact formally designated as a heritage site. All four Statements of Significance for these Cathedral Precinct buildings have been added to the Canadian Register of Historic Places. The original Statements of Significance, as written by Johnathan Yardley and Helen Edwards in 2007, have been updated and amended by Cummer Heritage Consulting, and their list of Character Defining Elements (CDEs) have been used to guide the proposed changes and work to the site while maintaining heritage value. A Full list of CDEs for all four buildings can be found in the appendices.

The explicit purpose of the conservation plan is to “conserve the heritage buildings (extending their physical life), while simultaneously revitalizing the site, as a whole, with new development in strategic locations in a renewed landscape. This development is to involve as much density as permitted, in order to provide the much-needed additional income to fund and support the on-going work and expense of maintaining these heritage buildings in perpetuity.” The report, relying on Natural Resources Canada data, identifies Vancouver Island as a “High Relative Hazard” seismic zone, and states that a significant amount of capital is needed to seismically upgrade the heritage buildings – which were completed long before modern building codes – to ensure they remain standing in the event of a large earthquake. Cummer highlights New Zealand’s own Christ Church Cathedral in the aftermath of an earthquake on February 22, 2011: the cathedral there suffered significant and extensive damage and the continued costs incurred to restore that site equaled \$130 million CAD as of 2022.

The overarching conservation objectives for the Cathedral Precinct are preservation, restoration, and rehabilitation, as defined by the *Standards and Guidelines for the Conservation of Historic Place in Canada* (2nd ed.). The CDEs for each *Municipal Heritage* designated site (i.e. the Cathedral, Memorial Hall, and Yarrow Chapel) have been used to restrain and guide the changes to the Precinct; as the Deanery building lacks heritage status and its future use remains unclear, additional stakeholder and community input is needed to determine its future and how its CDEs will inform that. The report also identified five broader

goals/guiding principles for the site to help achieve its revitalization and strategic development. Those five guiding principles are:

1. Conserve and maintain the Precinct's designated heritage assets, in perpetuity
2. Maintain the dominance and prominence of Christ Church Cathedral on the site, with strategic locations chosen for development
3. Ensure all new development on the site is appropriate and compatible
4. Have a people-first, pedestrian priority Precinct
5. Revitalize and activate the site, as a whole, by bringing more people to it in a dynamic and differing ways

While detailed Heritage Conservation Strategies for the Cathedral Precinct have yet to be finalized, Cummer Heritage Consulting did conduct a preliminary *Heritage Impact Assessment* (HIA) of the potential impact of the proposed site revitalization. Cummer concluded that direct beneficial impacts of the revitalization would include:

- Enhancement of the site and its heritage resources, including
 - Enhanced economic benefits (to fund the much-needed conservation work);
 - Improved public spaces amongst a renewed landscape; and
 - Increased site vibrancy and greater viability of the Diocese continuing to operate on site
- Increased protection for heritage assets through seismic upgrading and much-needed maintenance work, including preservation of their heritage values and CDEs
- Repair or replacement of deteriorated features will be undertaken following the recommendations outlined in the individual Heritage Conservation Strategies for each building, following the *Standards and Guidelines for the Conservation of Historic Places in Canada*

The preliminary HIA also concluded that the proposed site revitalization could include the following direct adverse impacts:

- Visual impacts and partially obscuring site views with new, high-density development
- Impact to the Courtney Street view corridor of the Cathedral, depending on the allowable height of new development
- Increased traffic and activity (both an adverse and potentially beneficial impact) due to increased use/density on site
- Potential physical impact to Yarrow Chapel in order to accommodate the proposed underground parking; potential adverse impacts will need to be planned for and managed carefully, and this will be addressed in greater detail once plans have been finalized
- The multiple stages of construction on site have the potential to impact the heritage buildings, both in terms of access, use and potentially materials, depending on the nature of the construction (such as whether or not blasting is employed). Considering the nature of the buildings, blasting should be used sparingly and carefully
- Adverse impacts to the site's numerous stakeholders (including the congregation, school community and surrounding neighbours, among others) due to a long, on-

going redevelopment period, which will turn the site into a construction zone for an extended period

And lastly, potential indirect impacts could include:

- Potentially increased shadows cast on certain areas of the Precinct that could impact users and landscaping due to new development on site
- Increased population density and on-site access could also result in an increase in undesirable activity, such as drug-use and vandalism; this is already present on-site however, a CPTED has been complete, and actions will be implemented over the course of redevelopment. Further, an increase in population frequently leads to a reduction in undesirable activities on site

Further, detailed planning work needs to occur to finalize design and construction phasing in order to determine all the potential benefits and minimize, where possible, adverse impacts, all while preserving, restoring, and rehabilitating the Cathedral Precinct to ensure its ability to withstand and survive into the future.

Archaeological Summary

Through an archival research project exploring the history of land acquisition by the Anglican Diocese completed in 2023, requests were made through the Archaeological Branch of British Columbia regarding a variety of sites, including 930 Burdett Avenue/900 Vancouver Street/912 Vancouver Street (PID 023868082, LOT 1 CHRISTCHURCH TRUST ESTATE VICTORIA CITY PLAN VIP65806). Through this research, the only site identified with the Branch was in Pioneer Square (PID 009398597), the City of Victoria owned part directly to the North of the Cathedral Precinct. The site, DcRu-1234, was a historic cemetery that is no longer in use as such. According to the Branch, "the site is a unique case that was provided protection under the *Heritage Conservation Act* because it contained burials."

As there are no plans to alter land within Pioneer Square, no further action has been identified. However, should off-site works through development permit processes required access to subsurface areas of Pioneer square, a heritage permit may be required and will be explored through that future development process.

Seismic Building Assessments

Read Jones Christoffersen Ltd. (RJC) was engaged to conduct structural assessments of the four heritage/historic buildings on the Precinct, with the objective of evaluating and providing commentary regarding seismic code compliance and potential upgrades, renovations, and changes in use. Individual assessments for the four heritage buildings were prepared based on visual site inspections to review visible structural conditions, and a review of available drawings, assessments, historical reports, and documentation. This information was compared to historic, current, and anticipated future building code regulations from relevant versions of the BC Building Code (BCBC) and the National Building Code of Canada

(NBCC). Each building assessment includes a summary of the building's geometry, construction materials, history, and performance to date, along with an opinion of the seismic capacity, all of which can be found in the appendices. Summaries of the Seismic Upgrade reports follow.

NOTE: At the time of submission, Kinetic Construction Ltd. and RJC are working on Class D/C costing for the seismic and structural works outlined below.

Key Findings

All four heritage buildings (Cathedral, Memorial Hall, Yarrow Chapel and Deanery):

- Each of the four buildings were designed and built in conformance with the local building bylaws applicable during construction across various eras
- No geotechnical information about soil or bedrock conditions underneath the buildings is currently available. This information can possibly improve the evaluation of seismic conditions and performance
- Building standards have evolved significantly since these buildings were constructed (1920s – 1990s), including the requirement to design for seismic loads and large increases to the seismic design force levels as building performance and geotechnical risk have been better understood
- Seismic design was not a requirement until the 1980s and therefore buildings constructed prior to 1985 do not have a defined seismic load resisting system
- The BCBC will be updated in 2023, and it is anticipated that the new 2023 BCBC will have a 40% increase in seismic forces compared to BCBC 2018. For all buildings this will mean that their current seismic capacity will become a smaller fraction of what the BCBC requires of new construction

Christ Church Cathedral

The Christ Church Cathedral building covers a 75m by 38m footprint with a multi-level structure. The entire building has either a crawl space or a basement below grade, which is cast-in-place concrete, including walls, footings, columns, and the suspended main floor slab. There is a written record and evidence onsite of seismic restraint of the western parapet between the two bell towers, portions of the central nave ceiling, and the main organ. RJC's understanding is based on a staff site visit, written records of the building's history, a building condition assessment by Morrison Hershfield performed in July 2015, and portions of design drawings. No complete drawing sets are currently available.

The concrete and masonry walls of the Cathedral resist lateral loads due to wind and earthquake forces. The construction was designed and built in general conformance with the standards of the time, which was likely a local bylaw for the nave and bell towers. The seismic design was not a requirement during this era of construction, with seismic design recognizable to modern requirements only being implemented in the mid-1970s. Building standards have evolved significantly since this building was constructed, including introducing design for seismic loads and then increasing seismic design force levels as building performance and geotechnical risk have been better understood. Based on RJC's experience with other similar structures of the era, the Cathedral is expected to be capable of resisting 15% of current code-required force levels, which is below the recommended levels

for existing buildings. If feasible by the client group, a seismic upgrade is recommended but not required by any element of the current Building Code.

The main reasons that the existing structure has a reduced seismic capacity are:

- Lack of sufficient strength in the concrete and masonry walls and their associated footings
- The connections between the walls and diaphragms are unlikely to have the strength to transmit both in-plane and out-of-plane forces
- The diaphragm, particularly the roof diaphragms, is unlikely to have sufficient strength to transfer forces between walls

In their report, RJC proposes the following upgrades in order to meet Level 3 forces, a 5% in 50-year probability of exceedance seismic event, as defined in the National Building Code of Canada 2020 (NBCC). This is roughly 70% of the force required for new construction under the same Building Code and is in conformance with the upgrade standard of existing buildings as outlined in the structural commentaries. Their proposed upgrades are as follows:

- Install reinforcing to eliminate falling hazards, which includes:
 - Restraint of masonry piers above the low roofs with steel frames
 - Restraint of the flying buttresses above the low roofs with steel supports
 - Restraint of the vaulted brick ceilings with Unistrut frames
 - Masonry repointing and restraint
- Install new diaphragms to support the tops of masonry walls and facilitate load transfer between walls. This includes:
 - New plywood on the high and low roofs
 - New diaphragm under the high roof trusses made of steel HSS frames
 - New diaphragm on top of the low roofs with steel plate installed onto the decking to form a steel truss
- Install new shear walls and brace elements. This includes:
 - Install new concrete walls within each bell tower, which are found on the rock and pinned to the rock with anchors
 - Install new concrete shear walls and a steel frame on the east end of the nave

Memorial Hall

Memorial Hall is a two-storey concrete, stone, and timber building. The footprint is 68m by 20m, and the middle portion of the building has a full-height basement, but the remainder is founded at grade. Most of the building is two stories above grade but has a gym area and stage auditorium that is two-storey continuous in height. The roof is typically shiplap sheathing over lumber joists or trusses, but there are cast-in-place concrete reinforced slabs west of the gymnasium. The suspended second and main floor consists of a proprietary concrete joist and pan system called “Truscon”, a metal deck into which reinforcing and concrete are cast. The metal may be composite to the concrete or maybe a convenient formwork system. A large portion of the auditorium area had a concrete second floor/mezzanine installed, made with W beams, metal decking, and concrete topping cast over. The interior walls are a mixture of stone and brick masonry, and the exterior is all stone masonry. Footings are cast-in-place concrete with a slab on grade. Significant seismic

upgrading has been done in the eastern end of the building, including new braces, shear walls, strong-back wall reinforcing, diaphragm to wall connections, and diaphragm reinforcement.

The masonry walls, concrete shear walls, and steel braces resist lateral loads due to wind and earthquake forces. The Hall was designed and built in general conformance with the standards of the time, which was likely a local bylaw for the initial construction, which would not have required seismic design, and 70% of the 1998 British Columbia Building Code (BCBC) for the first seismic upgrades. The 2015 seismic upgrades were to 70% of the 2012 BCBC. Construction standards have evolved significantly since this building was constructed, including the requirement to design for seismic loads. Then, significant increases to the seismic design force levels as building performance and geotechnical risk have been better understood.

Based on the site's historical records, the Memorial Hall was constructed in 1926, and renovations/seismic upgrading happened in three phases in 2002, 2004, and 2015. RJC's understanding is based on a staff site visit, written records of the building's history, and the Architectural and Structural drawings. RJC performed a code comparison between previous upgrades and the 2023 BCBC and found that:

- Initial construction is capable of resisting roughly 15% of 2023 Code forces
- The 2002 and 2004 Seismic upgrades are capable of resisting 30% of 2023 Code forces
- The 2015 upgrades are capable of resisting 45% of 2023 Code forces

In RJC's opinion, the Memorial Hall is not able to resist Level 2 forces based on the following deficiencies:

- The connections between the walls and diaphragms are unlikely to have the strength to transmit both in-plane and out-of-plane forces
- The diaphragm, particularly the roof diaphragms, is unlikely to have sufficient strength to transfer forces between walls
- Several masonry walls are slender and at risk of buckling out in a seismic event

Resistance to lateral loads due to wind and earthquake forces can be increased to meet 70% of the British Columbia Building Code 2023, or Level 3 forces as defined by commentary L, as proposed by RJC and by the following means:

- Install a new reinforced masonry shear wall on the main floor in line with the previously installed seismic brace
- Reinforce connections between the concrete slabs and masonry walls
- Reinforce the wood roof to masonry wall connections over the gym
- Install steel stiffening elements (strong-backs) to masonry walls in the gym and western wing

RJC's understanding of the Memorial building is much better informed than the other structures on the site. Given past work on the previous upgrade phases and strong record

drawings, the only requirements RJC would need before proceeding into detailed design would be coordination with the client group and an architect to ensure the proposed upgrades meet their needs for the building.

Yarrow Chapel

- Based on reviews of other similar buildings, the construction was designed and built in general conformance with the standards of the time, which was likely a local bylaw for the chapel and the 1992 British Columbia Building Code (BCBC) for the archive addition
- Based on a code comparison between the 1992 NBCC and the current 2018 BCBC and the design forces used would be approximately 40% of current code requirements. The older eras of construction are expected to be capable of resisting 15% of current code requirements, based on comparison with similar structures
 - The structure is not able to resist Level 2 forces based on a variety of deficiencies
- Requirements for occupancy and snow loads have not changed significantly since the 1990's construction and the older portions of the building do not show any major signs of distress or deterioration. As a result, the structure is considered satisfactory based on past performance to support its current occupancy as per the NBCC Commentaries

Deanery

- Constructed in 1938 as a residential building and renovated in 1995 to add a stairwell and small addition to the second floor, when it was converted to office use. This renovation does not show a third floor, so it is unknown when that renovation was completed
- Seismic design was not a requirement in the first era of construction. In the stairwell addition, there is possibly a defined seismic load resisting system similar in detailing to current designs, but it probably only restrains the addition and portions of the existing building. It is also possible as a minor addition that they did not require a seismic system or seismic upgrading of the main building
- Based on a code comparison between the 1992 NBCC and the current 2018 BCBC, we believe the design forces originally used would have been approximately 40% of current code requirements. Based on comparison with similar structures of the time, the older eras of construction are expected to be capable of resisting 20% of current code requirements
 - The structure is not able to resist Level 2 forces based on a variety of deficiencies
- Requirements for occupancy and snow loads have not changed significantly since the 1995 construction and the older portions of the building do not show any major signs of distress or deterioration. The structure is considered satisfactory based on past performance to support its current occupancy as per the NBCC Commentaries
- Minor cracking of the interior finishes and concrete was observed, but they do not appear to be an ongoing maintenance concern. Settlement and movement in a structure like this is expected, especially over an 84-year history. Given that none of the cracks keep opening over time, it is assumed the cracking is from normal

fluctuations in temperature and moisture and not a structural concern. Based on past performance, this building is suitable to continue as a residence or personal offices.

- Given the full basement and straightforward regular framing of the main floor, it may be structurally feasible to relocate the Deanery, which would involve:
 - The stairwell addition may need to be removed and rebuilt
 - Lifting the structure above the basement off the concrete footings and relocate the building to a new site
 - New footings would need to be cast at the new location

Next Steps

Seismic upgrades, if done all at once, can be invasive and require significant financial resources. Recommendations for seismic upgrades are provided in order of priority and a phased approach, with smaller scopes of work, each improving the performance of a component of the building. These upgrades can be done along with other maintenance work, such as installing new roofing, to reduce costs.

Cathedral

- Prioritize seismic improvements in the following order:
 - Restraint of the parts and portions of the building that pose a falling hazard
 - Floor to wall connections in the nave and bell towers
 - Steel diaphragm roof bracing in the nave
 - Review of the stability of the walls and columns in the nave
 - Installing shear walls and footings into the bell towers and nave.
- Locate record drawings for the eastern addition and conduct a detailed desktop review, as it is possible the structure has some reserve capacity or only a small number of elements that are below Level 2 forces. This section is a lower priority for seismic upgrades compared to the western portions of the building

Memorial Hall

- Review steeple and masonry chimney to ensure they are not a falling hazard in a seismic event
- Prioritize seismic improvements in the following order:
 - Restrain the parts and portions of the building that pose a falling hazard
 - Install new plywood and blocking and nailing on the roof over the gym
 - Reinforce connections between the gym roof and exterior walls
 - Review the stability of the walls and columns in the gym and rooms to the west and install strong-backs as needed
 - Install shear walls and footings in the gym and western rooms

Yarrow Chapel

- Locate structural record drawings for the archive addition and conduct a detailed desktop review to identify whether potential seismic upgrading was included

- Prioritize seismic improvements in the following order:
 - Reinforce the connection between the roof framing and the exterior walls
 - Install new sheathing and nailing of the roof diaphragm when new roofing is applied
 - Install new steel elements that stiffen the exterior walls
- The ceiling of the chapel was showing some peeling plaster and paint, but these appear to be issues with the roof leaking rather than structural movement. It is recommended that the roof be reviewed and repaired if necessary to ensure no further leaking occurs

Deanery

- Review structural conditions of the two red brick masonry chimneys, which have a slender aspect ratio. Chimneys such as these can be a falling hazard in a seismic event
- Locate structural record drawings for the stairwell addition and complete a detailed desktop review, as it is possible the addition included some seismic upgrading and would affect the implementation of the below noted items
- Prioritize seismic improvements in the following order:
 - Removal or reinforcing of the chimneys
 - Install new sheathing and nailing of the roof diaphragm when new roofing is applied
 - Complete the remainder of the seismic upgrade items

Appendices

A - Building for the Future Reports: Phase One and Two

- Building for the Future Phase One Report & Appendices – Wiser Projects (March 2022)
- Building for the Future Phase 2A Report – Wiser Projects (September 2022)

B - Arborist/Urban Forest Reports

- Tree Inventory Table (July 2022)
- Tree Constraints Plan – Gye + Associates (September 1, 2022)
- Tree Management Plan – School Portables Site – Gye + Associates (June 18, 2021)
- Arborist Report & Development Plan – School Portables Site – Gye + Associates (April 21, 2021)
- Tree Health Condition Report – School Playground Area – Talbot Mackenzie (February 2015)
- Tree Protection Report – Cathedral Commons South Lawn – Talbot Mackenzie (March 23, 2020)
- Level 3 Tree Assessment Report – Cathedral Commons South Lawn – Talbot Mackenzie (March 2020)

C - Design Package

- Victoria Cathedral Masterplan Rezoning Design Package – FaulknerBrowns (January 2024)

D - Environmental Site Disclosure

- Environmental Site Disclosure Statement

E - Survey and Existing Site Plan`

- Site Survey (2022)
- Topographical Survey (2021)
- Site Survey for Learning Pavilions (2021)



F - Landscape Plan

- Landscape Plan – PWL Partnership Landscape Architects Inc. (January 2024)
- Layout and Materials Plan – PWL Partnership Landscape Architects Inc. (January 2024)

G - Heritage Conservation Strategy and Updated Statements of Significance

- Heritage Conservation Strategy – Cummer Heritage Consulting (2023)
- Updated Statement of Significance – Cummer Heritage Consulting (2022)
- Christ Church Cathedral Precinct – Property Acquisition (July 24, 2023)

H - Civil Site Servicing Plan and Off-site Memo

- Civil Site Servicing Report (January 2024)
- Civil Location Plan, Key Plan, Drawing List (January 2024)
- Civil Site Servicing Plan (January 2024)

I - Building Condition Assessments and Seismic Schematic Reports for Cathedral and Memorial Hall

- Christ Church Cathedral, Building Envelope Condition Assessment and Capital Depreciation Report – Morrison Hershfield (May 2023)
- Christ Church Cathedral, West End, Building Envelope Condition Assessment – Morrison Hershfield (July 2015)
- Memorial Hall, Building Envelope Condition Assessment and Capital Depreciation Report – Morrison Hershfield (May 2023)
- Christ Church Cathedral Memorial Hall, Building Condition Assessment – John Dam & Associates (January 2015)
- Christ Church Cathedral Seismic Upgrade, Seismic Upgrade Schematic Design Report – Read Jones Christofferson Ltd. (September 2023)
- Christ Church Cathedral Precinct Historic Buildings Structural and Seismic Assessment Reports – Read Jones Christofferson Ltd. (September 2022)
- Specifications for Christ Church Cathedral & Memorial Hall Exterior Masonry Maintenance, Issue for Construction – Bradley Shuya Architect Inc. (November 2015)
- Christ Church Cathedral Depreciation Report – Morrison Hershfield (July 2015)
- Christ Church Cathedral, Interior Efflorescence Removal – John Dam & Associates (April 2017)
- Phasing Plan / New Addition, Christ Church Cathedral School, Memorial Hall Seismic Upgrade and Facility Improvements – Bradley Shuya Architect Inc. (May 2014)

- Memorial Hall, Outstanding Seismic Upgrading Items – Read Jones Christofferson Ltd. (February 2005)
- Memorial Hall, Seismic Deficiencies – Read Jones Christofferson Ltd. (June 2002)
- RHF Accessibility Report

J - Transportation Impact Assessment

- Traffic Impact Assessment – Watt Consulting Group Ltd. (January 2024)

K - Parking Study

- Parking Study – Watt Consulting Group Ltd. (January 2024)

L - Crime Prevention Through Environmental Design (CPTED)

- Crime Prevention Through Environmental Design – Victoria Police (May 2023)



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