

Commercial / Residential Development - 1150 Cook Street, Victoria BC



Context Plan Sc.1:750



Proposed Development - View from intersection of View & Cook Street

Project Statistics

Street Address	1150 Cook Street, Victoria, BC, V8V 3Z9				
Legal Description	PID 009-388-257 Lot 996 & East Part of Lot 997, Victoria				
Development Permit Area	DPA 3(HC) - Core Mixed-use residential				
Existing Zoning	R-48				
Proposed Zoning	R-48				
Existing Use	Restaurant				
Proposed Use	Retail & Residential				
Site Area	1,009.20 sm				
Proposed FSR	8.98				
Parking	Required	Proposed			
Residential	0	41			
Commercial	0	0			
Total		41			
Bicycle Parking (long-term)	Required	Proposed			
1 space/ Units < 45m2	94				
1.25 space/ Units > 45m2	44				
Total	138	138			
Bicycle Parking (short-term)	Required	Proposed			
0.1 / dwelling unit	13	13			
Physical Form	Permitted	Proposed			
	in R-48 zone	as per DCAP			
Height of Building	30 m	45 m			
Number of Storeys	10 storeys	15 storeys			
Building Setbacks	Permitted	Proposed			
		Level 01	L 02 & 03	L 04	L 05 - 15
Front Yard	0.5 m	2 m	0 m	3.7 m	2.1 m
Rear Yard	-	0.1 m	0 m	5.9 m	5.9 m
Side Yard East	-	1.7 m	0.5 m	3.4 m	2.8 m
Side Yard West	-	0.1 m	0 m	4.8 m	4.8 m
Combined Side Yards	-	1.8 m	0.5 m	8.2 m	7.6 m
Use					
Total Commercial Floor Area	166.22 sm				
Total Residential Floor Area	7,390.29 sm				
Total Number of Residential Units	129				

Date
2019 Oct 23

Issue / Revisions
Issued for DP



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Project
**Commercial / Residential Development
1150 Cook Street
Victoria, BC**

Sheet Title
Cover Sheet

Project Number
19004

Scale
1:500

Sheet Number
A-00

Project Team

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115-866 Goldstream Ave., Victoria,
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ENVIRONMENTAL
Active Earth Engineering Ltd.
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BC, V8N 3R9
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ARBORIST
Talbot Mackenzie
& Associates Consulting Arborists
4370 Inturban Rd., Victoria,
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T: (250) 479 8733

ARCHITECTURAL
NSDA Architects
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T: 604 669 1926

GEOTECHNICAL
Ryzuk Geotechnical
28 Crease Ave., Victoria,
BC, V8Z 1S3
T: (250) 475 3131

ELECTRICAL
AES Engineering
300-1815 Blanshard St., Victoria,
BC, V8T 5A4
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LANDSCAPE
Lombard North Group (B.C.) Inc.
836 Cormorant St., Victoria,
BC, V8W 1R1
T: (250) 386 3336

ENVELOPE
Morrison Hershfield
536 Broughton St., Victoria,
BC, V8W 1C6
T: (250) 361 1215

BUILDING CODE
Celerity Engineering
104-2750 Quadra St., Victoria,
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Drawing List

Architectural

A-00	Cover Sheet	A-101	P2 & P1 Parking Plan
A-01	Context Images	A-102	Proposed Site / Main Floor Plan
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Civil

C-01 Preliminary Site Servicing

Landscape

L-01 Landscape Plan



Key Plan Sc.1:500



1. Cook Street Looking South



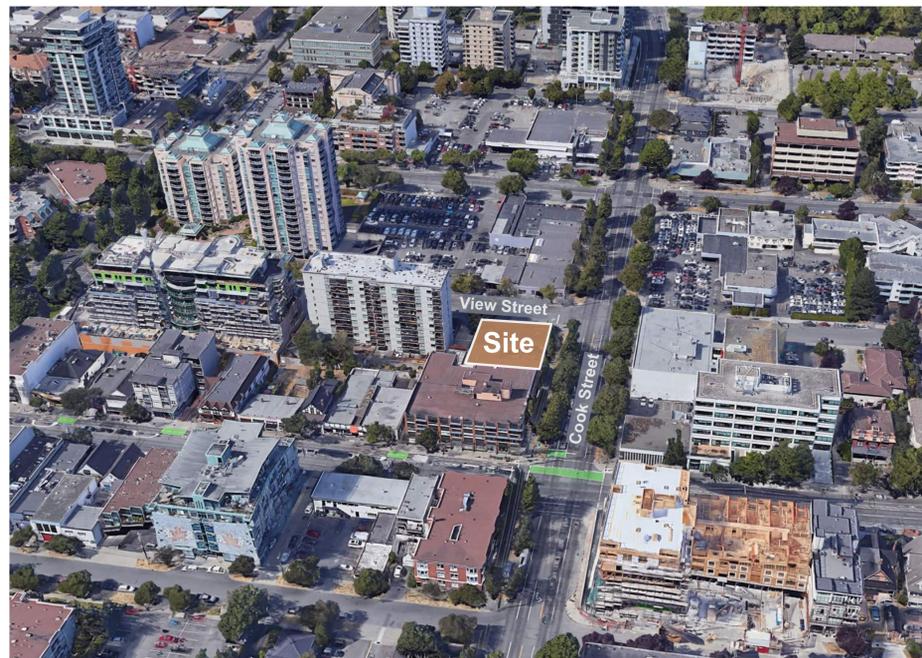
2. Cook Street Looking North



3. Site along Cook Street



4. Site along View Street



Site Aerial View



5. View Street looking East



6. View Street looking South East

Seal

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Project
Commercial / Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
Context Images

Project Number
19004

Scale
1:500

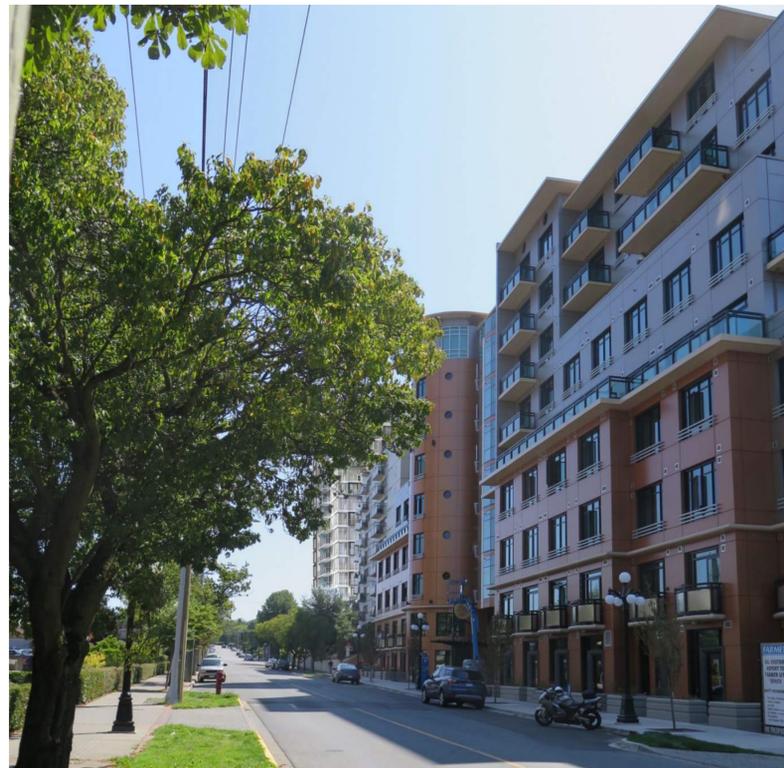
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A-01



Key Plan Sc.1:500



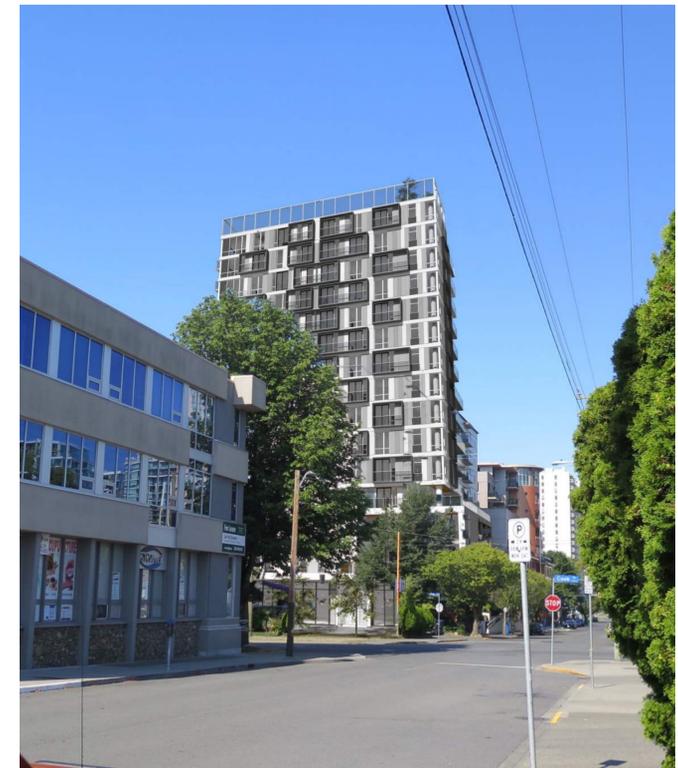
A Cook Street Looking North



B View Street Looking East



C Cook Street Looking South



D View Street Looking West

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1150 Cook Street
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Sheet Title
Street View Renderings

Project Number
19004

Scale

Sheet Number
A-02



Perspective looking SW from View Street



Perspective looking NW from Cook Street

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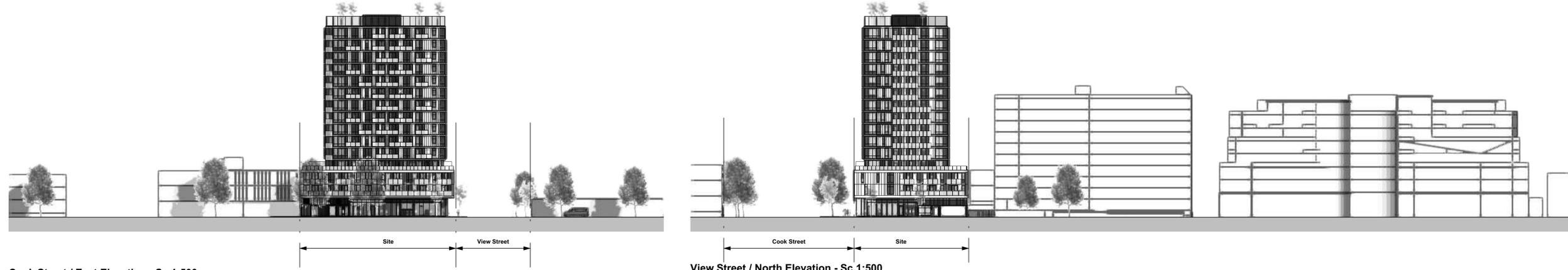
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Project
Commercial / Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
Perspectives

Project Number
19004
Scale

Sheet Number
A-03



Cook Street / East Elevation - Sc.1:500

View Street / North Elevation - Sc.1:500



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Project
Mixed-use Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
Streetscapes
& Aerial View of
Proposed Development

Project Number
19004

Scale
As Shown

Sheet Number
A-004



20 March/September - 10 AM



20 March/September - 12 PM



20 March/September - 2 PM



20 June - 10 AM



20 June - 12 PM



20 June - 2 PM

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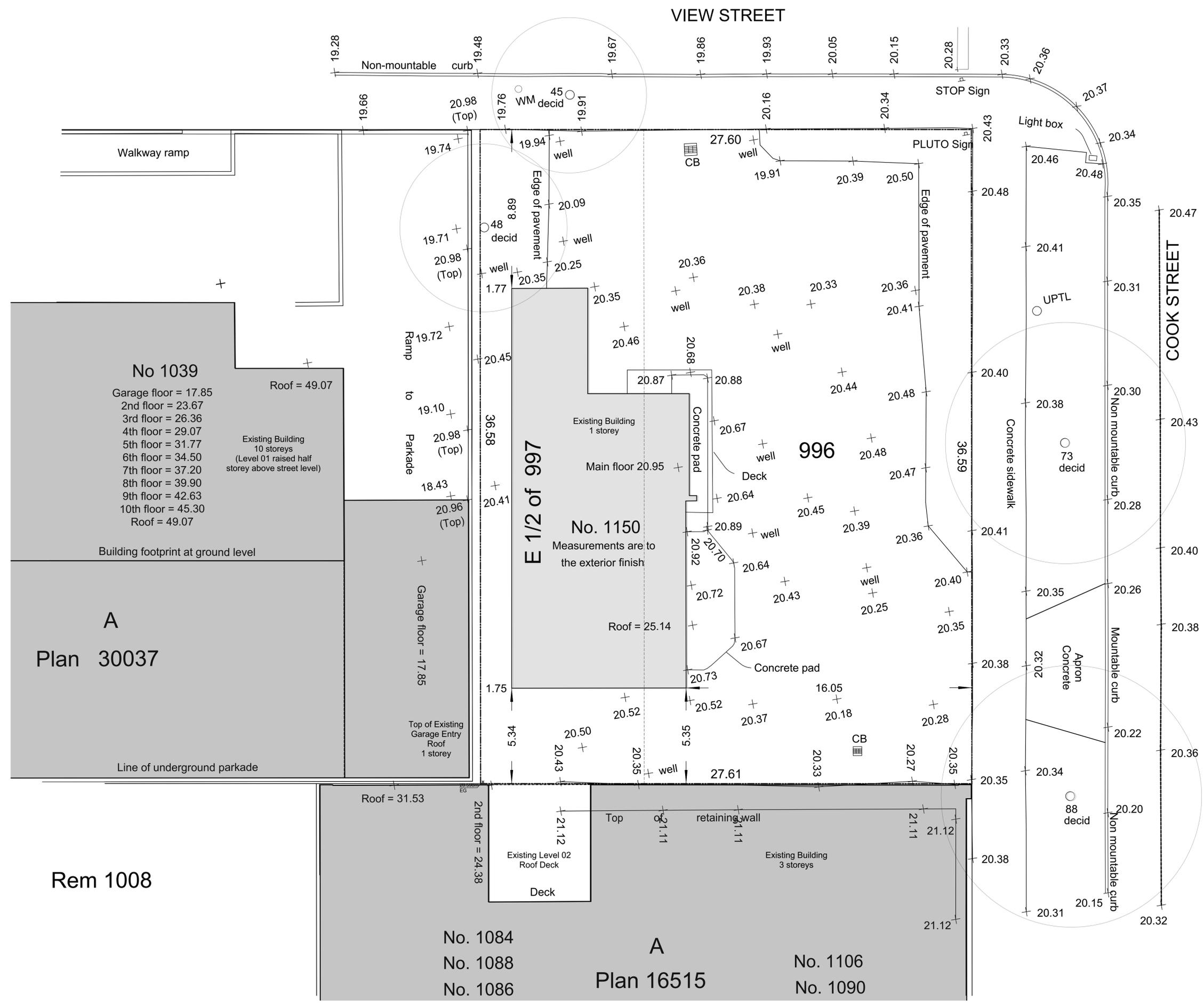
Project
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Victoria, BC

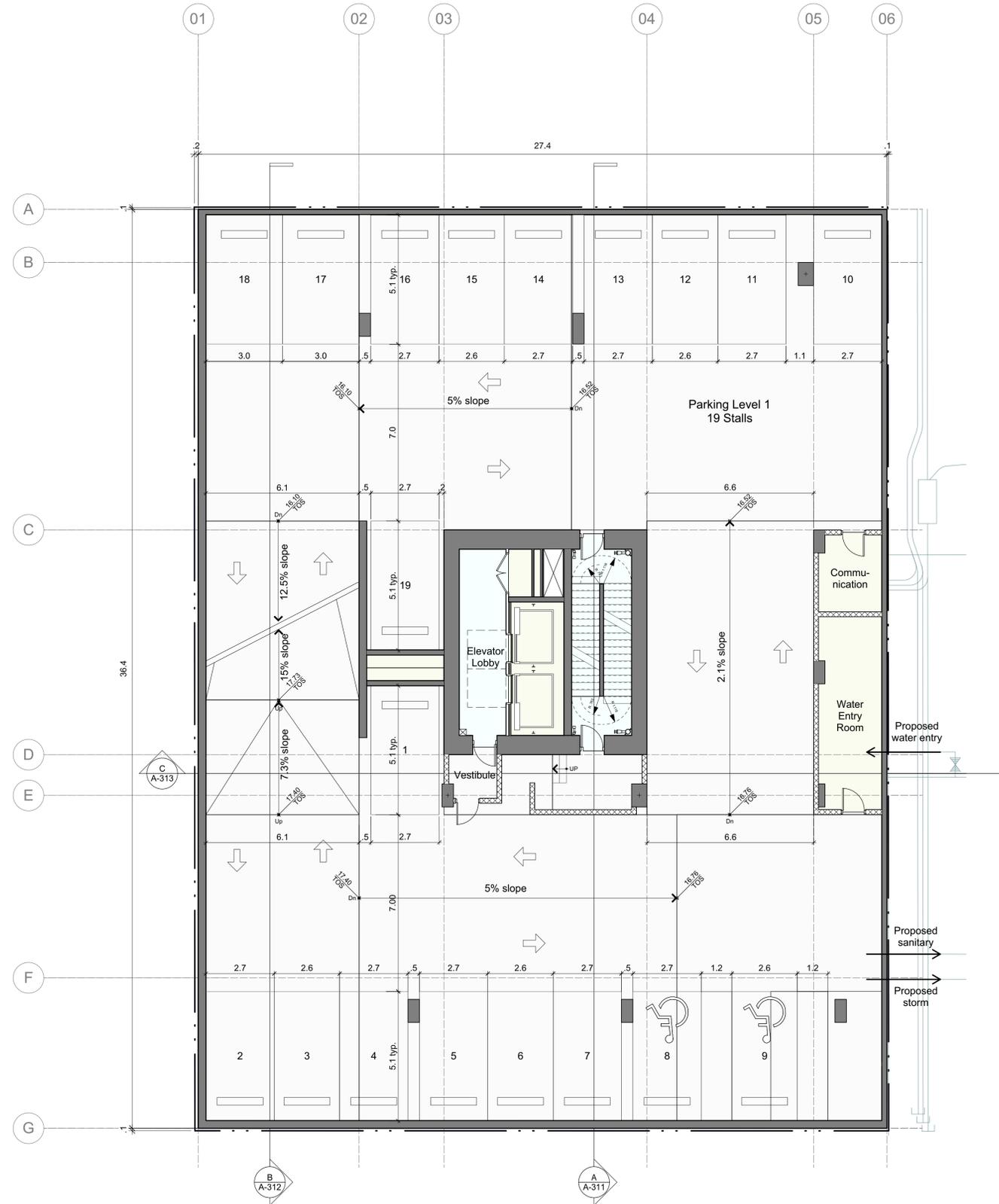
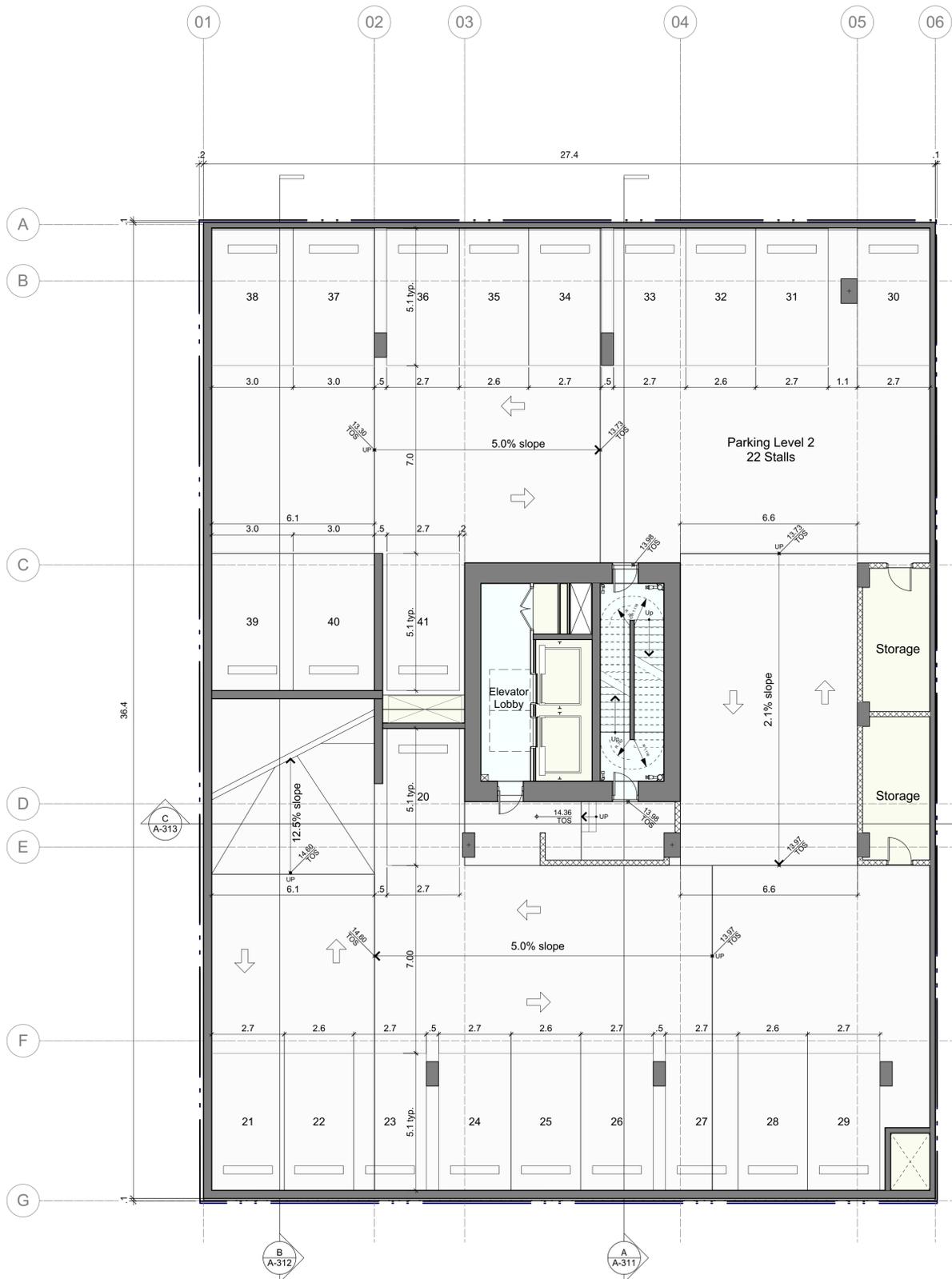
Sheet Title
Shadow Analysis

Project Number
19004

Scale
1:1250

Sheet Number
A-05





Legend

- Parking
- Services & shafts
- Circulation
- Bicycle storage
- Commercial
- Waste room
- Amenity
- Studio+Den
- 1 Bedroom
- 1 Bedroom+Den
- 2 Bedroom
- Open to below



Seal

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Project
Commercial/Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
P2 P1 Parking

P2 Level areas

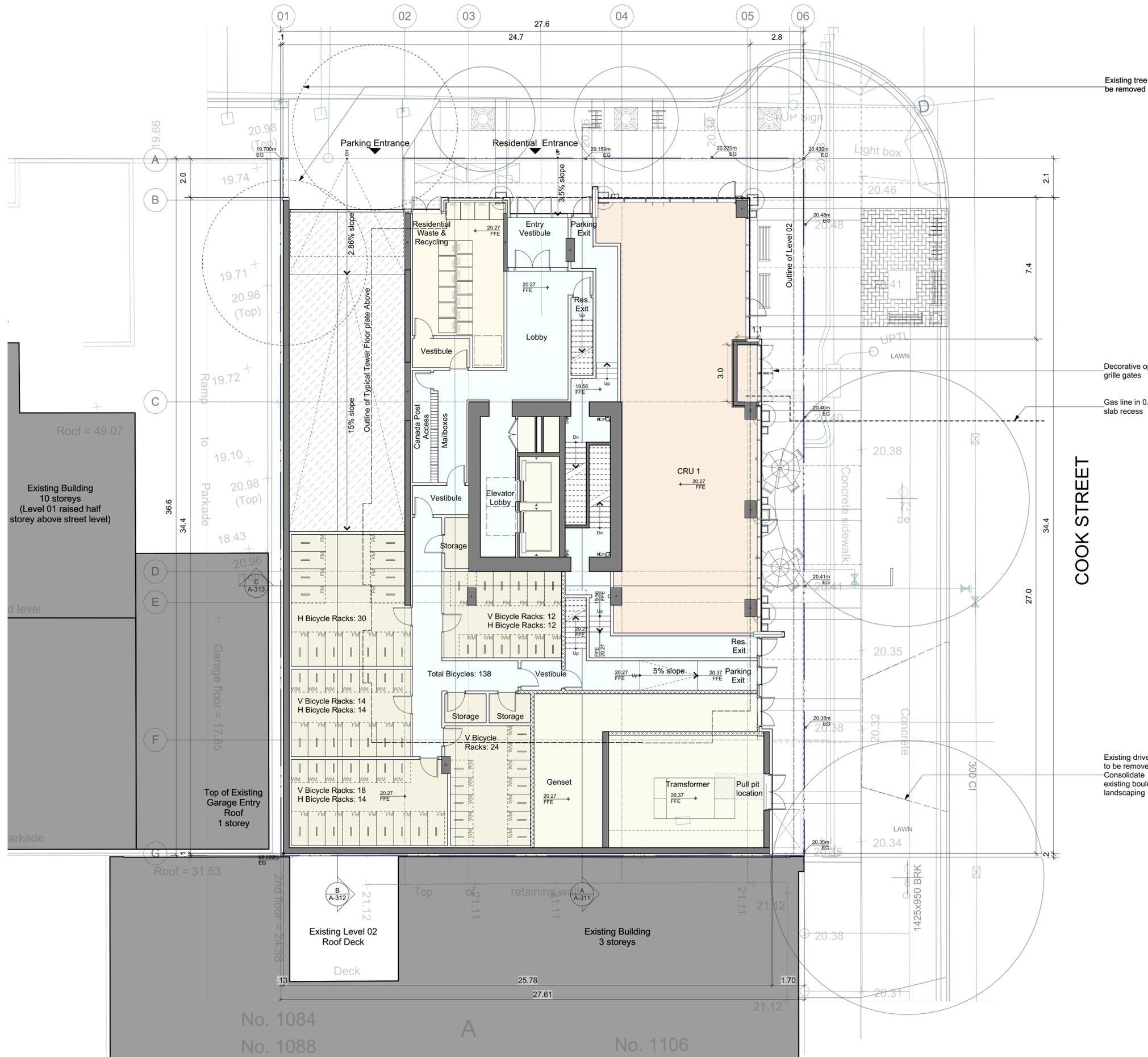
Parking	866.23
Services	55.11
Circulation	43.90
Total	965.24

P1 Level areas

Parking	869.73
Services	51.59
Circulation	43.90
Total	965.22

Project Number
19004
Scale
1:100
Sheet Number
A-101

VIEW STREET



Existing tree to be removed

Decorative open grille gates

Gas line in 0.6m slab recess

Existing driveway to be removed. Consolidate existing boulevard landscaping

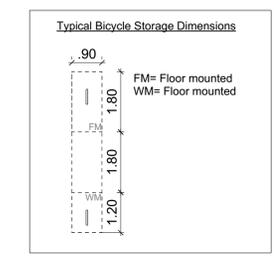
Date: 2019 Oct 23
Issue / Revisions: Issued for DP

Project Information Table

Zone	R-48
Site Area	1,009.20 sm
Total Floor Area	9,062.52 sm
Commercial Floor Area	166.22 sm
Floor Space Ratio	8.98
Site Coverage	85%
Open Site Space	965.30 sm 15%
Height of Building	45 m
Number of Storeys	15
Parking Stalls (number) on Site	41
Bicycle Storage	138
Building Setbacks	
Front Yard	2.00 m
Rear Yard	0.10 m
Side Yard East	1.70 m
Side Yard West	0.10 m
Combined Side Yards	1.80 m
Residential Use Details	
Ground Oriented Units	N/A
Unit Type	Min. Unit Floor Area No. of Units
Studio+Den	53.6 sm 4
1BR	40.2 sm 98
1BR+Den	58.7 sm 1
2BR	54.6 sm 26
Total Number of Units	129
Total Residential Floor Area	7,390.03 sm

Legend

- Parking
- Services & shafts
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- 1 Bedroom+Den
- 2 Bedroom
- Open to below



Level 01 areas

OTB	105.97
Commercial	166.22
Services	117.27
Waste & Recycling	43.20
Circulation	204.71
Bicycle Storage	187.59
Total	824.96

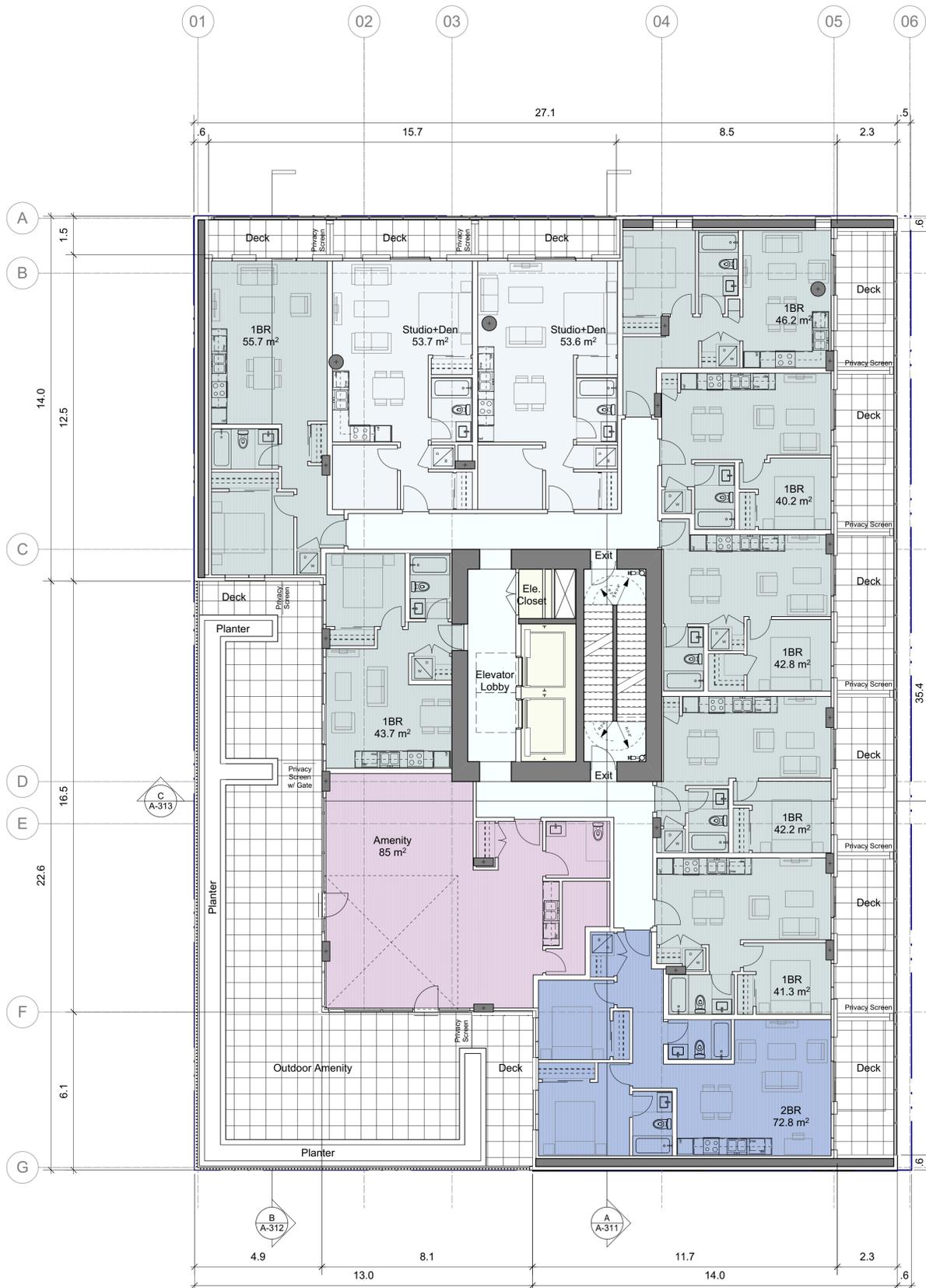
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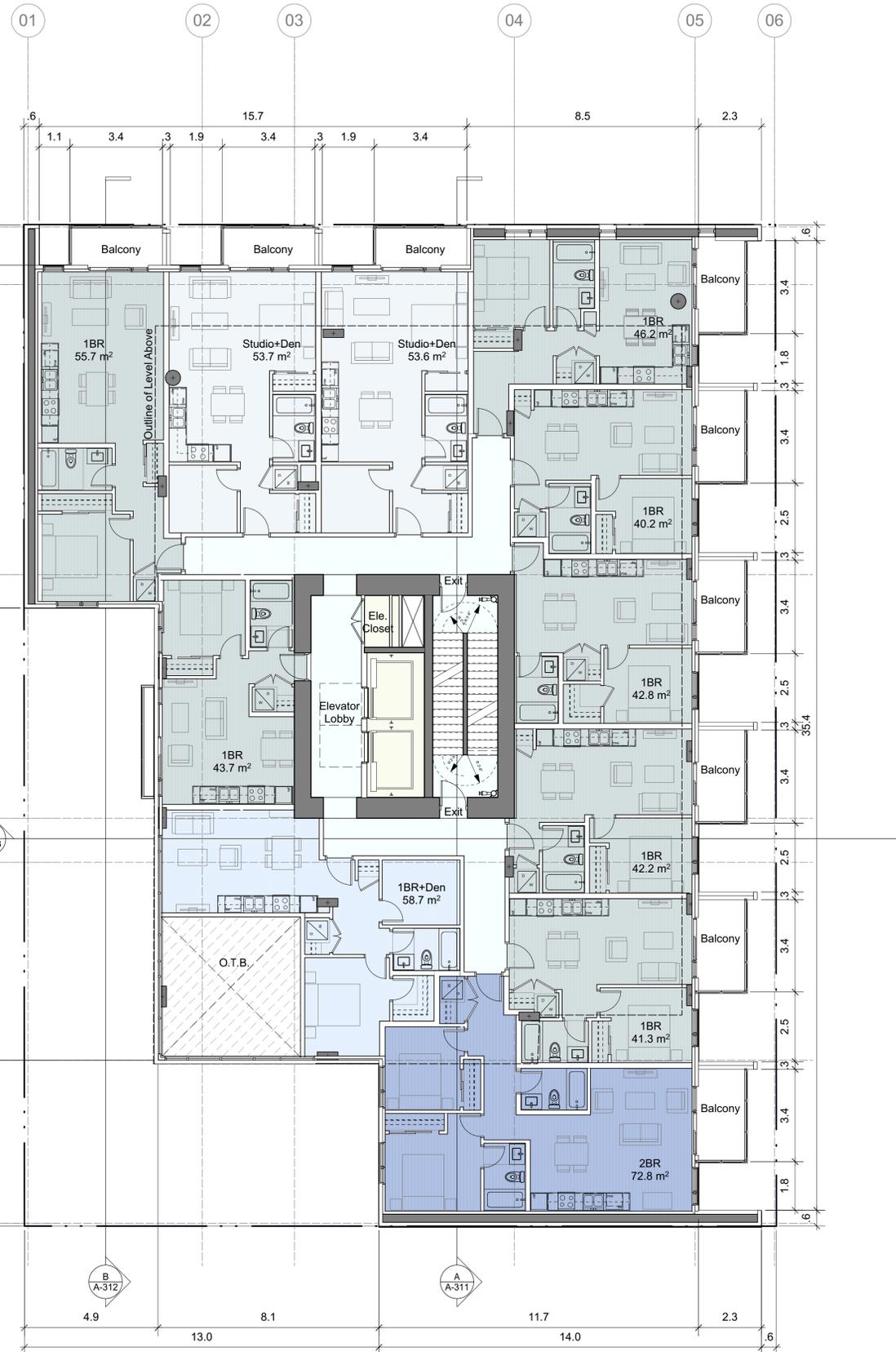
Sheet Title
Proposed Site / Main Floor Plan

Project Number
 19004
 Scale
 1:100
 Sheet Number
A-102



Level 02 areas

Residential Units	492.34
Amenity	85.04
Services	18.33
Circulation	88.41
Total	684.11



Level 03 areas

OTB	26.53
Residential Units	551.06
Services	18.33
Circulation	88.20
Total	684.11

Legend

- Parking
- Services & shafts
- Circulation
- Bicycle storage
- Commercial
- Waste room
- Amenity
- Studio+Den
- 1 Bedroom
- 1 Bedroom+Den
- 2 Bedroom
- Open to below



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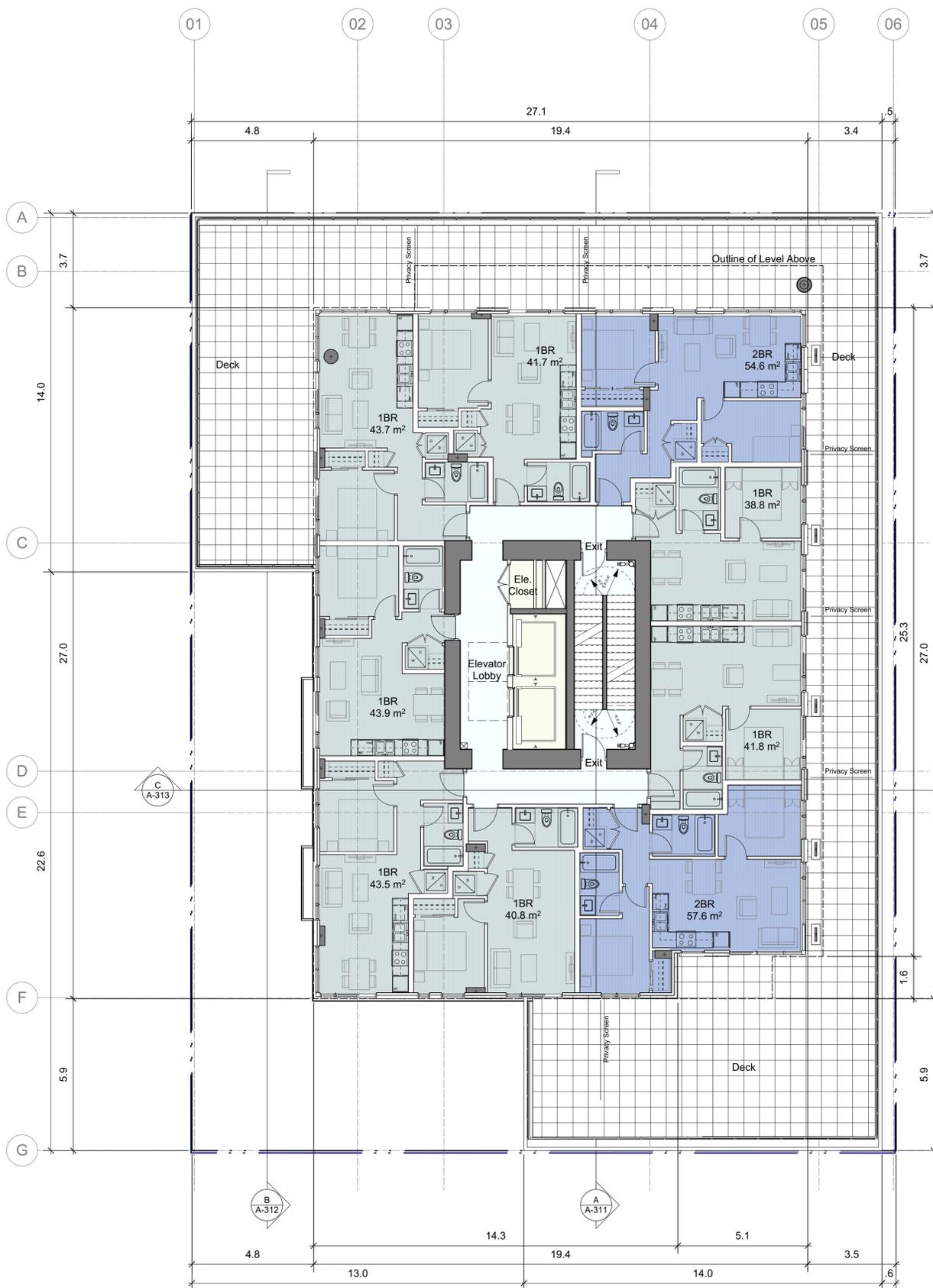
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Project
Commercial/Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
2nd Floor & 3rd Floor

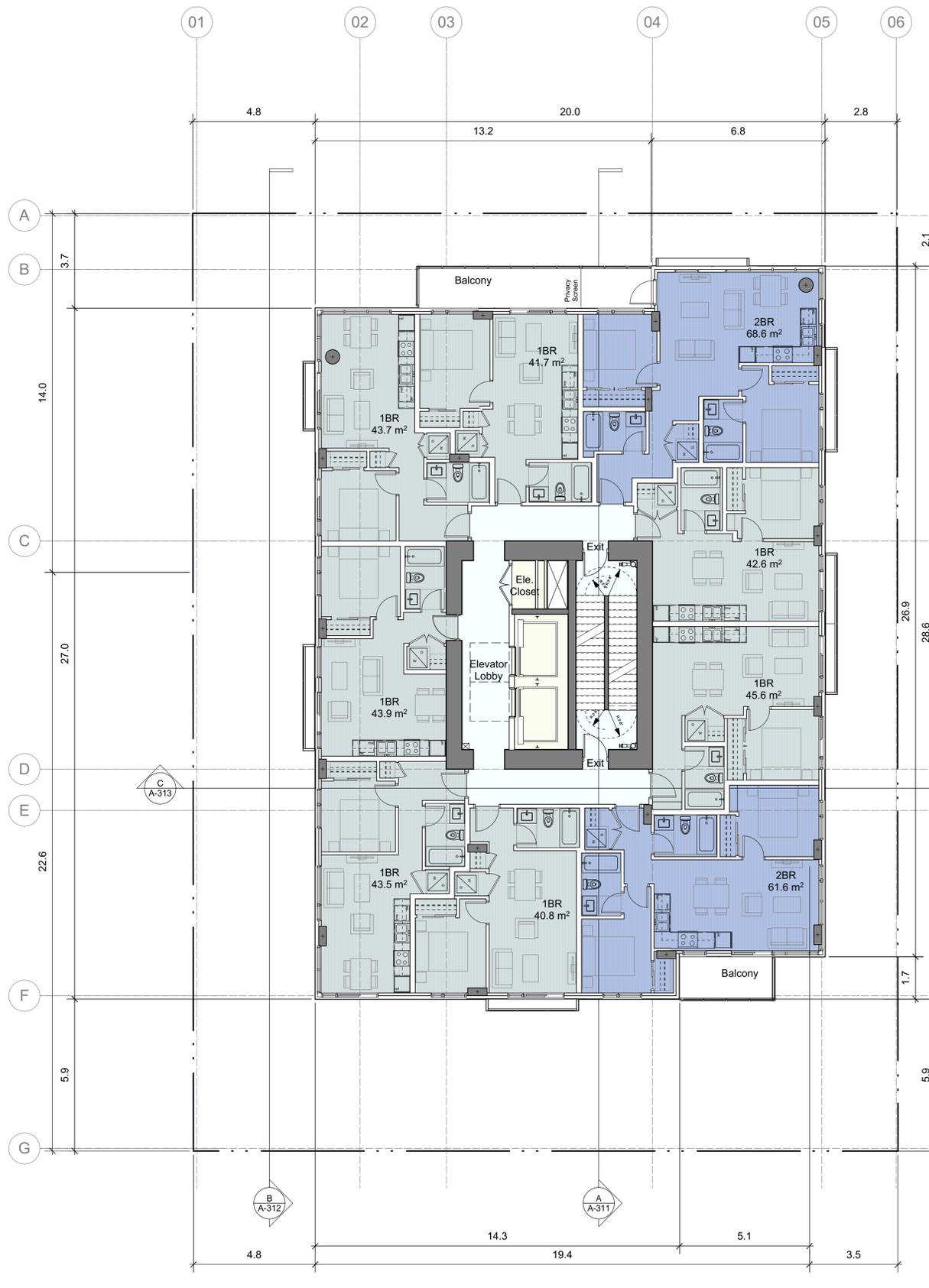
Project Number
19004
Scale
1:100

Sheet Number
A-103



Level 04 areas

Residential Units	406.35
Services	18.33
Circulation	67.38
Total	492.05



Level 05-15 areas

Residential Units	431.86
Services	18.33
Circulation	67.38
Total	517.56

Legend

- Parking
- Services & shafts
- Circulation
- Bicycle storage
- Commercial
- Waste room
- Amenity
- Studio+Den
- 1 Bedroom
- 1 Bedroom+Den
- 2 Bedroom
- Open to below



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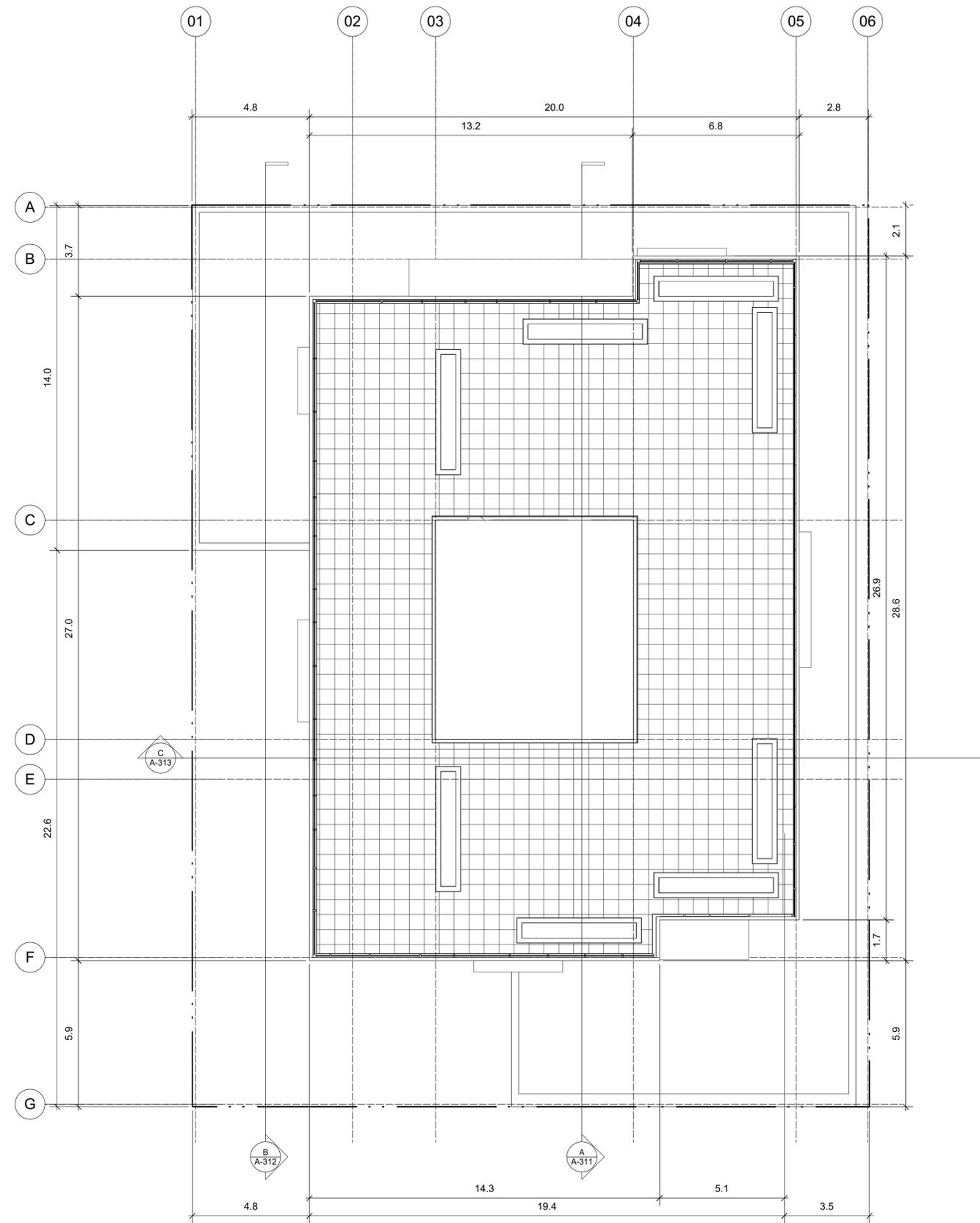
Project
Commercial/Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
4th Floor Plan & Typical Floor (L5 to L15)

Project Number
19004

Scale
1:100

Sheet Number
A-104



Seal



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Project
Commercial/Residential Development
1150 Cook Street
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Sheet Title
Roof Plan

Project Number
19004

Scale
1:100

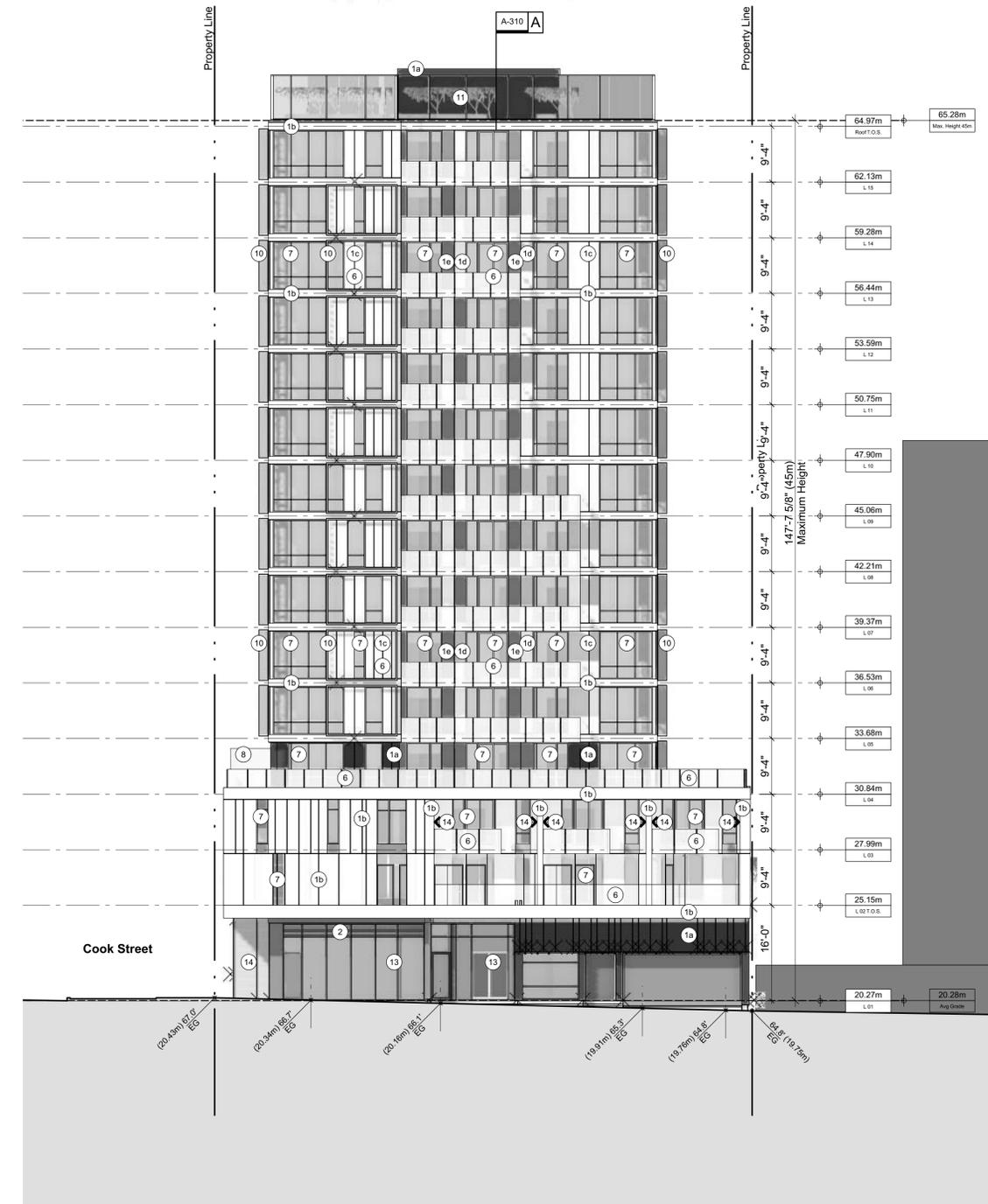
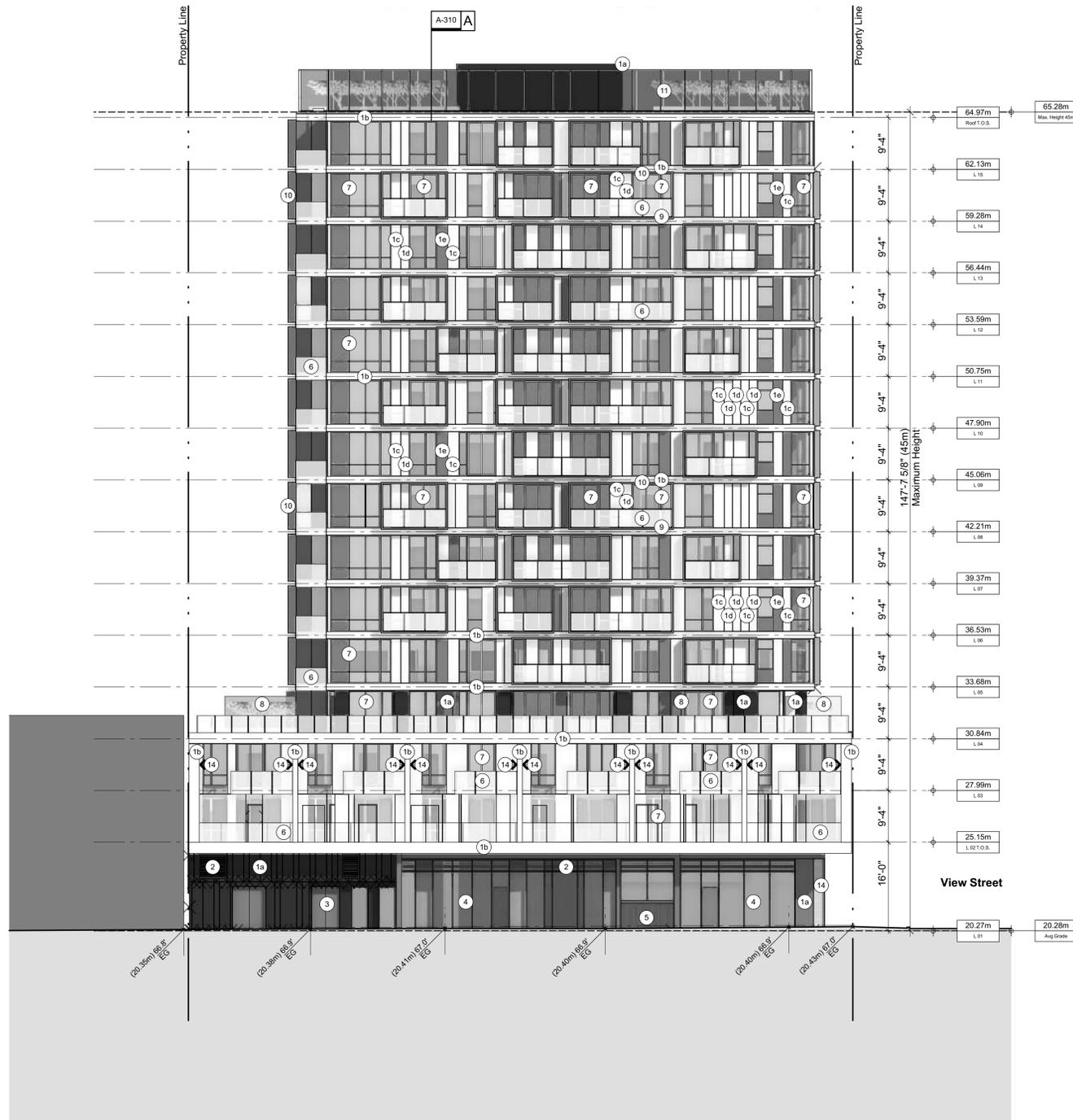
Sheet Number
A-105

Materials & Finishes

- | | |
|---|---|
| 1a Composite metal cladding - black | 6 Glass railing |
| 1b Composite metal cladding - white | 7 Window wall |
| 1c Composite metal cladding - silver - light | 8 Privacy screen |
| 1d Composite metal cladding - silver - medium | 9 Metal grille Juliet balcony |
| 1e Composite metal cladding - silver - dark | 10 Composite metal panel |
| 2 Wall and window louvres | 11 Glass screen |
| 3 Metal door to match cladding | 12 Flat bar fence |
| 4 Curtain wall | 13 Painted concrete |
| 5 Open grille gasmeter enclosure | 14 Fiber cement panels - wood plank texture |

Date
2019 Oct 23

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Project
Mixed-use Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
East & North Elevation

Project Number
19004

Scale
1:150

Sheet Number
A-301

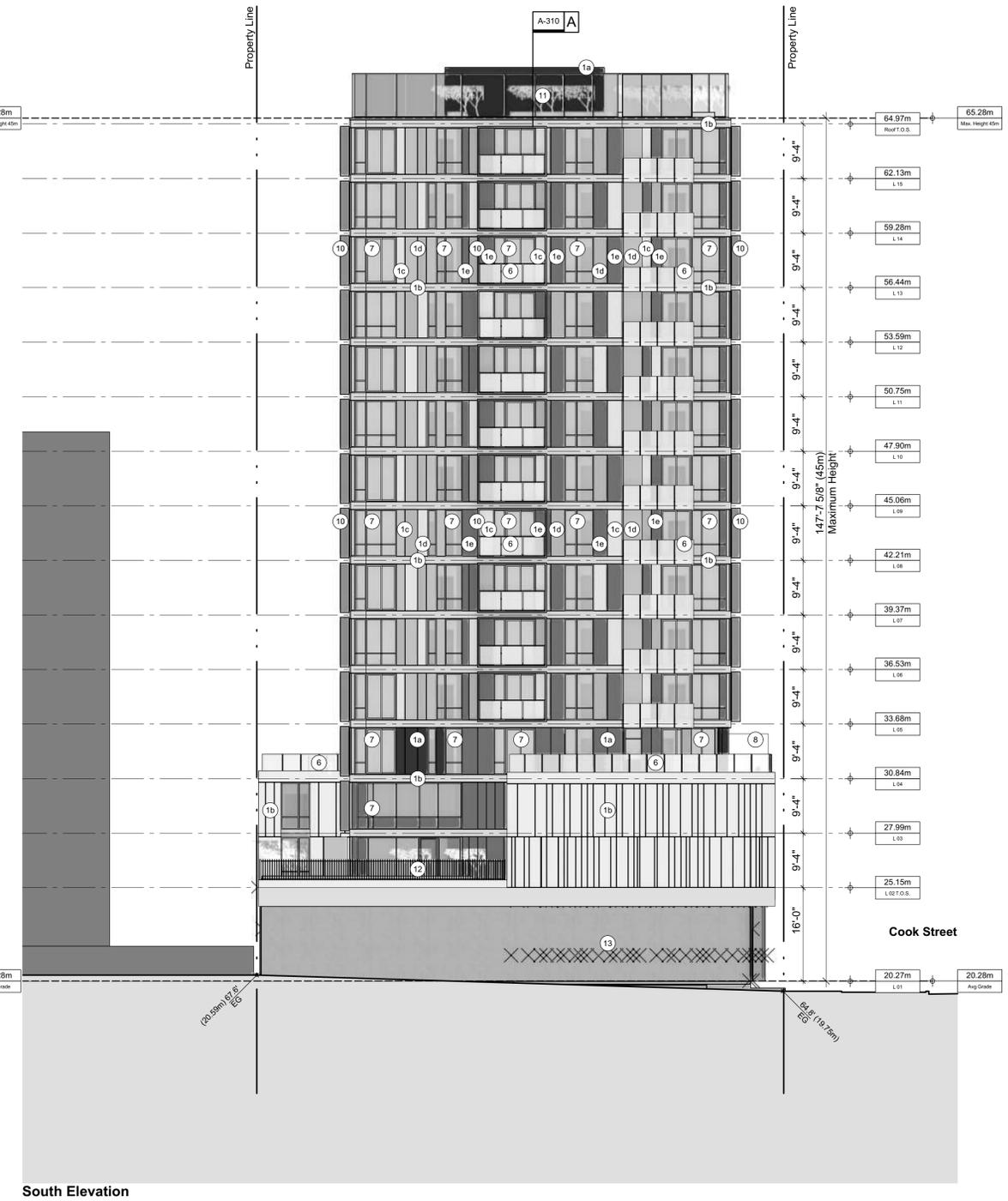
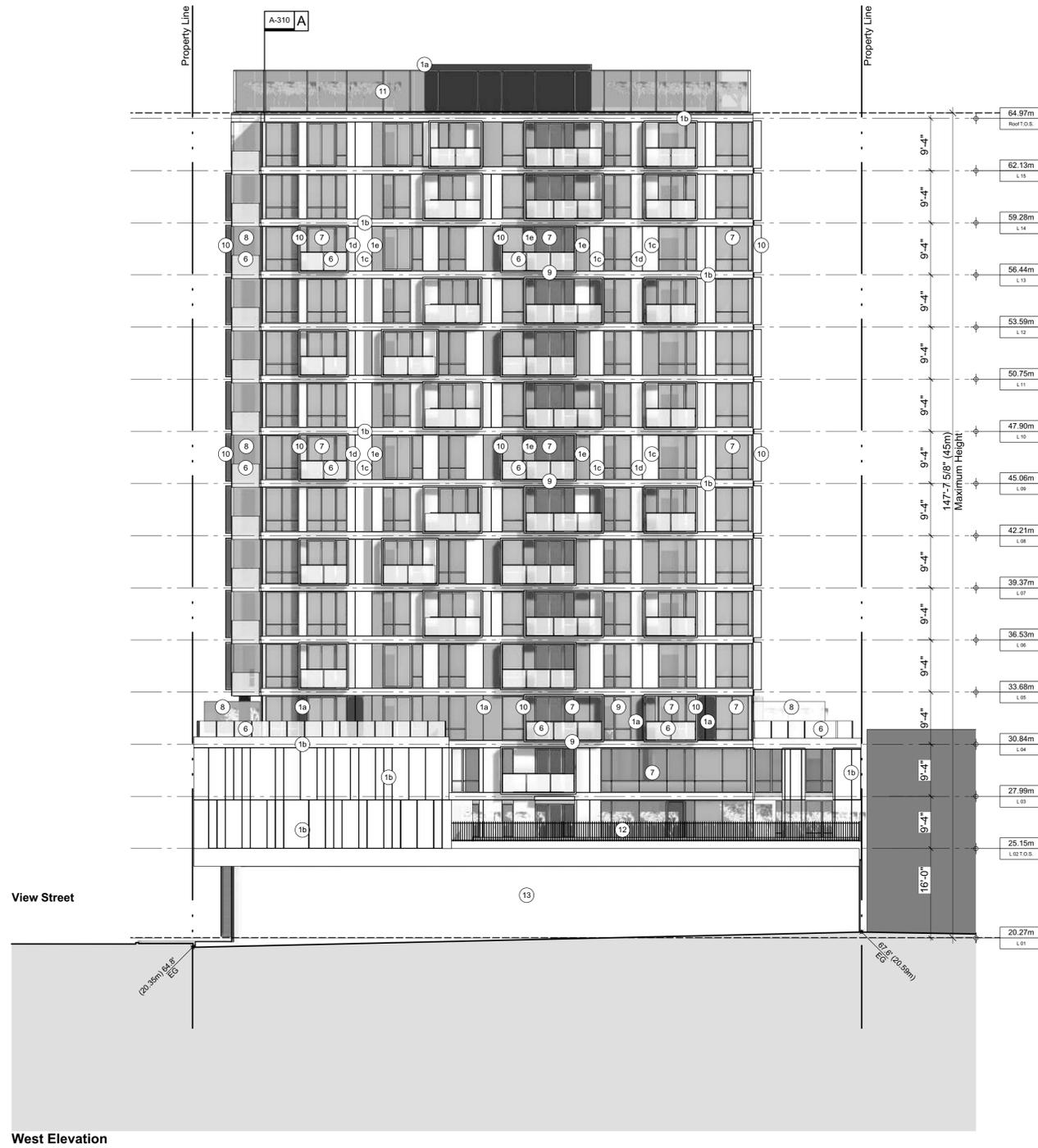
East Elevation

North Elevation

Materials & Finishes

- | | |
|---|---|
| 1a Composite metal cladding - black | 6 Glass railing |
| 1b Composite metal cladding - white | 7 Window wall |
| 1c Composite metal cladding - silver - light | 8 Privacy screen |
| 1d Composite metal cladding - silver - medium | 9 Metal grille Juliet balcony |
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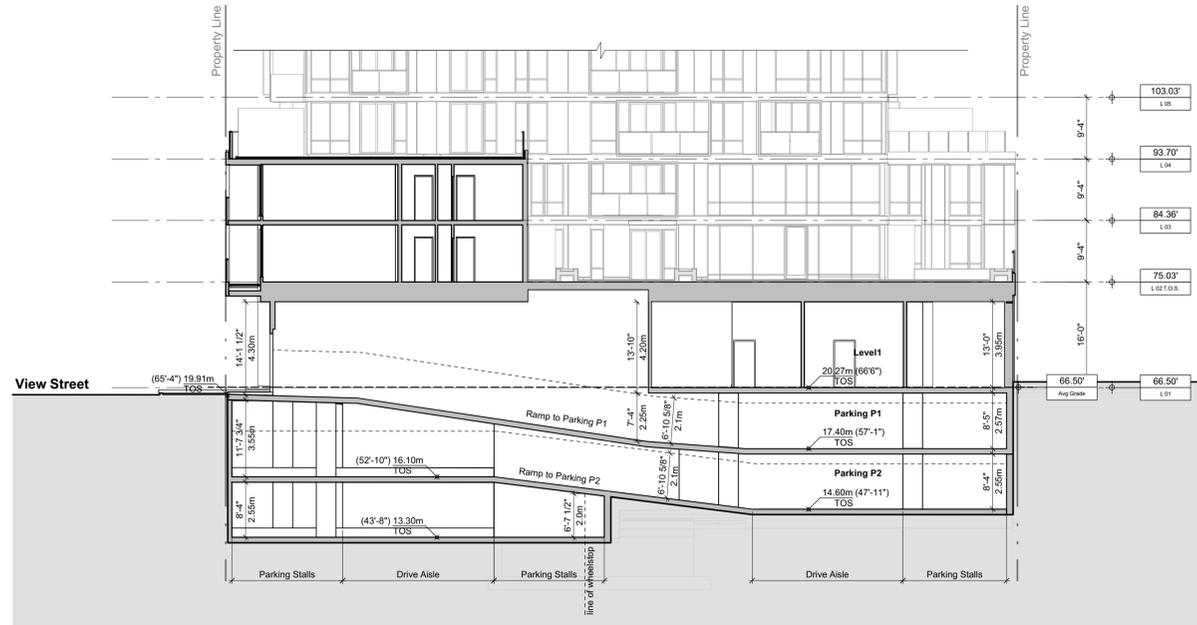
Project
Mixed-use Residential Development
1150 Cook Street
Victoria, BC

Sheet Title
South & West Elevation

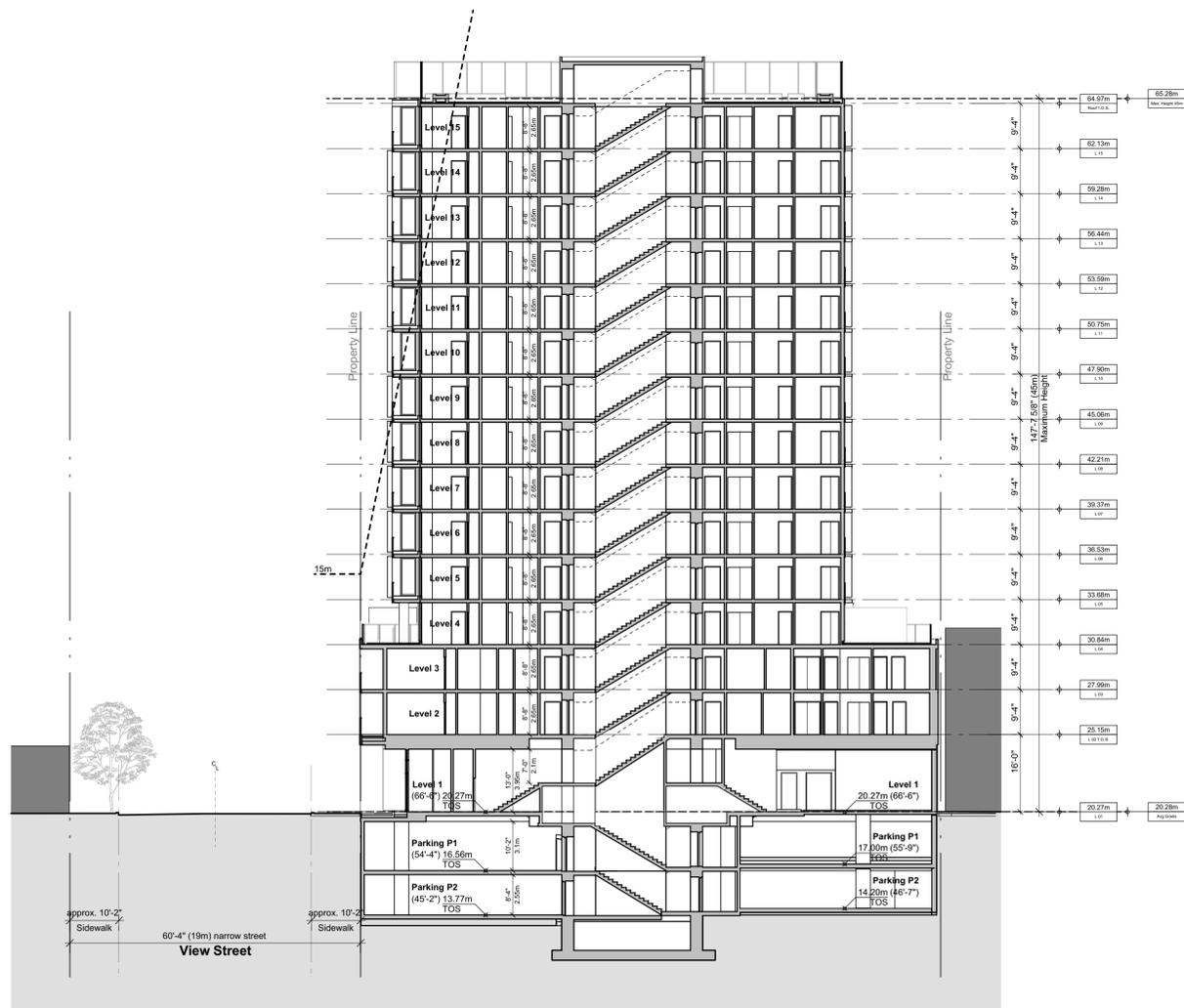
Project Number
19004

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1:150

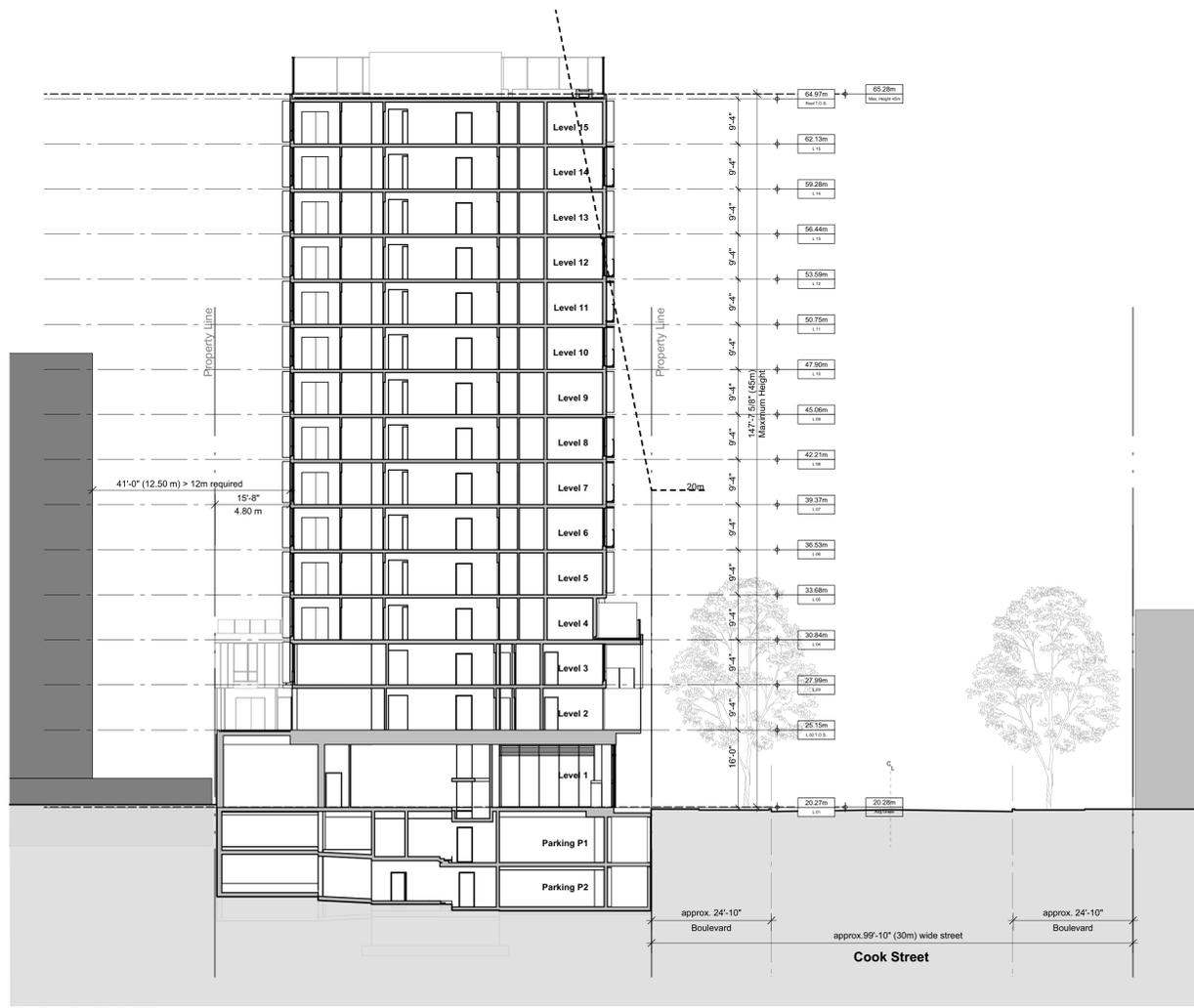
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A-302



Section B - Section through parking access ramp Sc. 1:150



Section A - Sc. 1:200



Section C - Sc. 1:200

Seal

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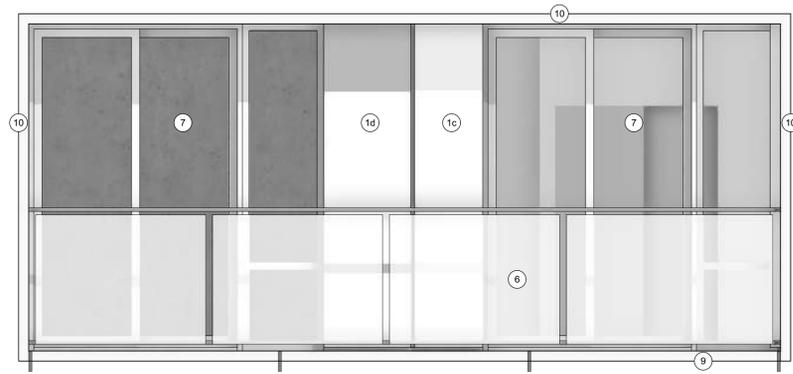
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Project:
 Mixed-use Residential Development
 1150 Cook Street
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Sheet Title:
 Section A, B & C

Project Number:
 19004
 Scale:
 As Shown
 Sheet Number:
 A-311



① Aluminum composite metal panel cladding with thermal break clip system on steel stud framing



①a Aluminum composite metal panel
Texture: Flat, Colour: Black



①b Aluminum composite metal panel
Texture: Flat, Colour: White



①c Aluminum composite metal panel
Texture: Brushed, Colour: Silver-light



①d Aluminum composite metal panel
Texture: Brushed, Colour: Silver-medium



①e Aluminum composite metal panel
Texture: Brushed, Colour: Silver-dark



② Anodized mechanical grilles
Colour to match wall cladding



③ Metal exit doors
Colour to match wall cladding



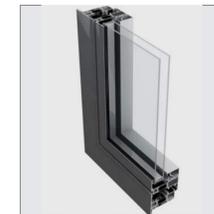
④ Curtain wall



⑤ Flat bar grille
Colour to match curtain wall mullions



⑥ Glass railing



⑦ Window wall



⑧ Privacy screen



⑨ Juliet balcony steel grille platform



⑩ Juliet balcony shadow box



⑪ Frosted roof top screening



⑫ Flat bar fence



⑬ Painted concrete



⑭ Fiber cement panels
Texture: Wood plank

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
- EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BED ALL PIPE USING CLASS "B" BEDDING.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
- DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG VIEW STREET AND COOK STREET DURING CONSTRUCTION.
- COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
- ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

SEWER AND DRAIN

- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 150# PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150# PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- THE CITY OF VICTORIA SHALL INSTALL THE SEWER AND DRAIN CONNECTIONS TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
- VIDEO INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY

WATER

- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
- CONTRACTOR TO TEST, CHLORINATE, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER. CHLORINATION AND DISINFECTION TO AWWA C651.
- CONTRACTOR TO ENSURE CHLORINE SOLUTIONS ARE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEANS CANADA REGULATIONS PRIOR TO DISCHARGING TO ANY DRAINAGE COURSE.
- THE CITY OF VICTORIA FORCES SHALL CAP THE EXISTING SERVICES AND REMOVE THE WATER METER AT THE DEVELOPER'S EXPENSE.
- THE CITY OF VICTORIA TO PROVIDE 100mm FIRE CONNECTION AND 50mm DOMESTIC WATER CONNECTION c/w 50mm METER TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.

ROAD

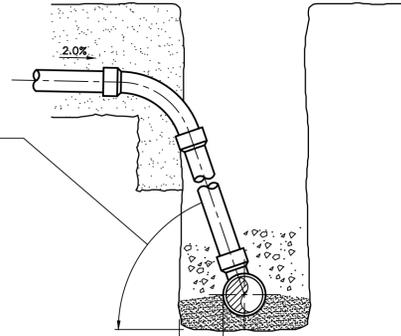
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.

PARKS

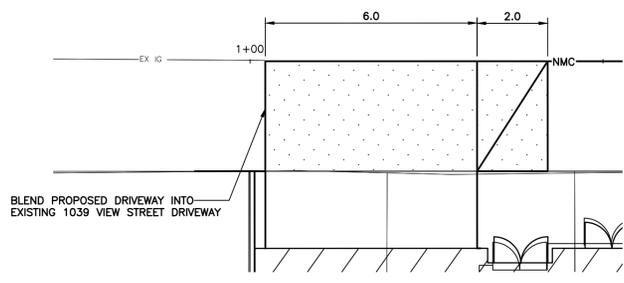
- OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
- PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION. HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
- OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
- THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.
- THE ARBORIST TO DIRECT THE REMOVAL OF TREES WITHIN THE SEWER AND DRAIN EASEMENTS AND RIGHT OF WAYS AND TO PRUNE ROOTS ENCOUNTERED DURING TRENCHING TO ENSURE THE PRESERVATION OF THE OAK TREES.
- THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ONSITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.

HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
- CONSTRUCT HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
- IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTIS BC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL.



DEEP TRENCH SERVICE CONNECTION DETAIL N.T.S.



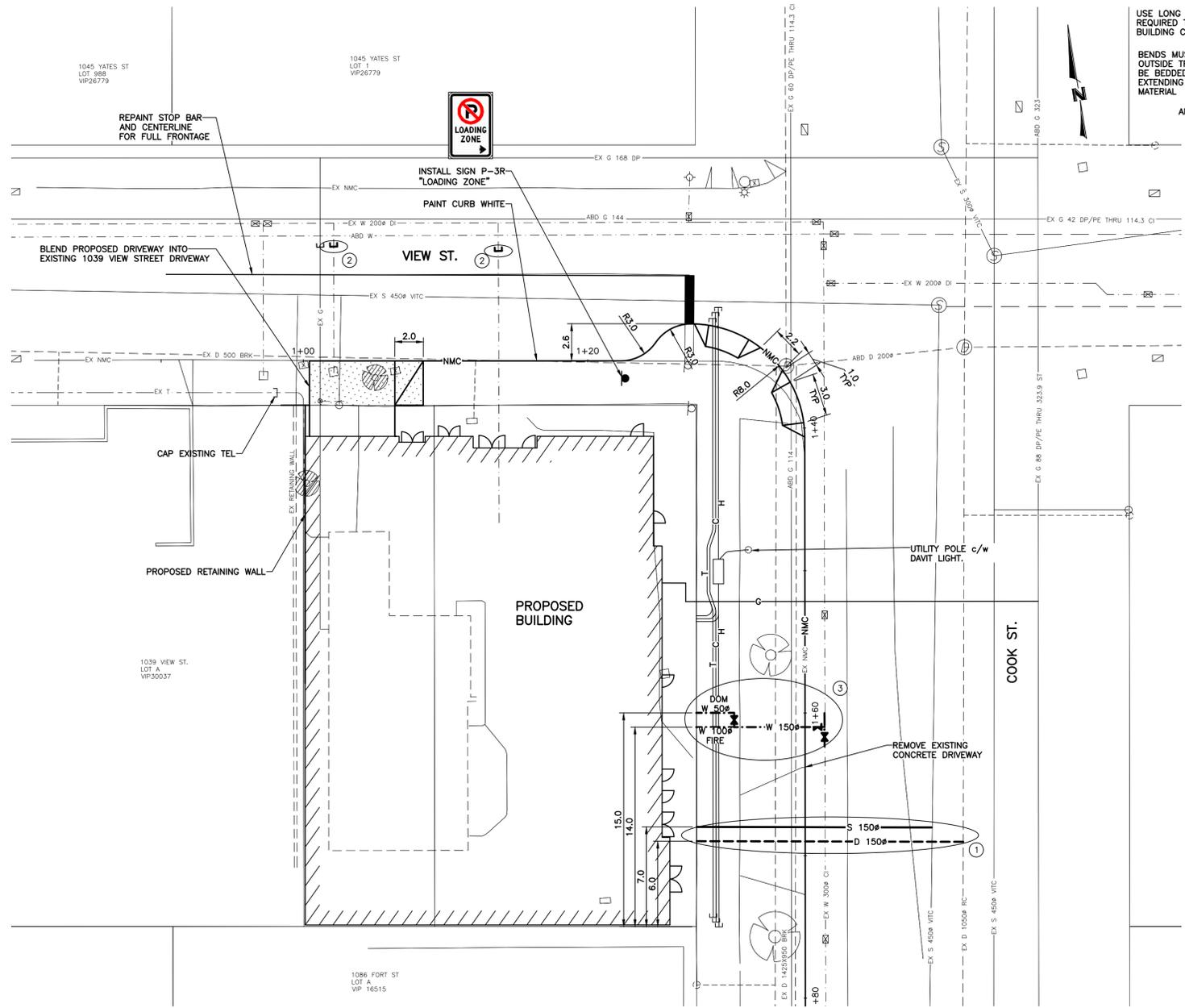
DRIVEWAY DETAIL SCALE 1:100

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
UTILITY	HYDRO ELECTRIC CO.		
	TELEPHONE CO.		
	GAS CO.		
	CABLE CO.		
	FIBRE OPTIC CO.		
MUNICIPAL	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		



LOCATION PLAN N.T.S.

PROPOSED SUBDIVISION OF LOT X, BLOCK Y, SECTION ZZ, RANGE X EAST, PLAN 1313, NORTH SAANICH DISTRICT.



USE LONG SWEEP BENDS AS REQUIRED TO MEET GRADE OF BUILDING CONNECTION

BENDS MUST BE LOCATED OUTSIDE TRENCH AND MUST BE BEDDED IN GRAVEL EXTENDING TO UNDISTURBED MATERIAL

ANGLE TO BE LESS THAN 45°

COOK ST.

VIEW ST.

PROPOSED BUILDING

REMOVE EXISTING CONCRETE DRIVEWAY

UTILITY POLE c/w DAVIT LIGHT.

REPAINT STOP BAR AND CENTERLINE FOR FULL FRONTAGE



INSTALL SIGN P-3R "LOADING ZONE"

PAINT CURB WHITE

BLEND PROPOSED DRIVEWAY INTO EXISTING 1039 VIEW STREET DRIVEWAY

CAP EXISTING TEL

PROPOSED RETAINING WALL

1039 VIEW ST. LOT # VP50037

1086 FORT ST LOT A VP 16515

WESTBROOK CONSULTING LTD. - 2010-10-15 11:28AM H:\PROJECTS\1428_1150_Cook_35\UAC Drawings\1428-01.dwg

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND		EXISTING U/G UTL.		PROPOSED U/G UTL.	
WATER	—W—	GAS	—G—	MANHOLE	⊙
SEWER	—S—	CURB	—C—	CLEANOUT	⊙
DRAIN	—D—	SIDEWALK	—S/W—	CATCHBASIN	⊠
DITCH	—D—	EDGE PAVE.	—E/P—	METER	⊙
CULVERT	—C—	BUSHLINE	—B—	REDUCER	—R—
HEADWALL	—H—	TREE	—T—	MONUMENT	⊕
				LOT PIN	•
				LEAD PLUG	▪

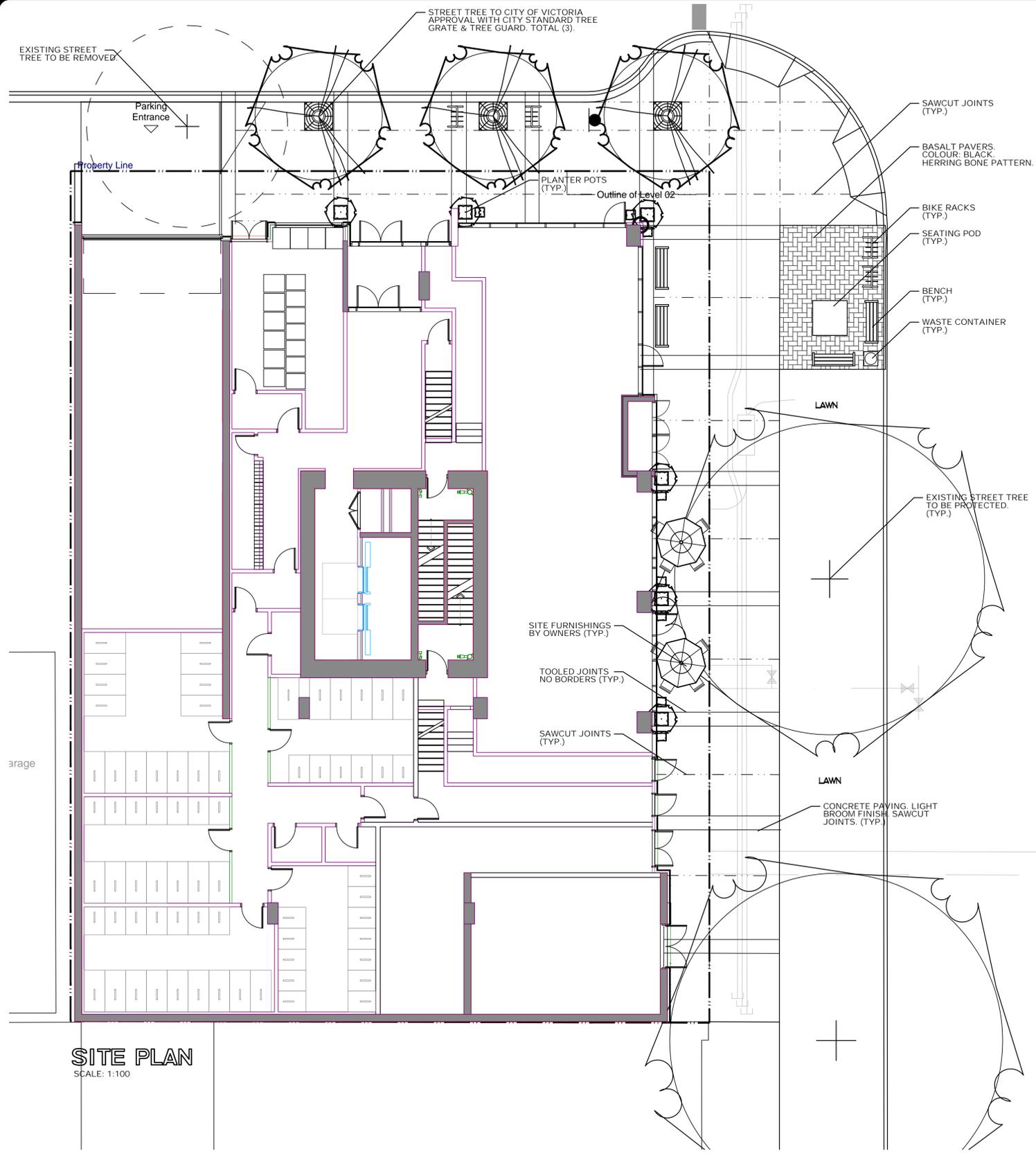
REVISIONS			
No.	DESCRIPTION	DATE	SCALE
1	REVISED DRIVEWAY	19.10.10	1:250

DESIGNED BC
DRAWN IY
CHECKED
DATE AUGUST 2019
B.M.
ELEV.
SCALE Horz. 1:250
Vert.

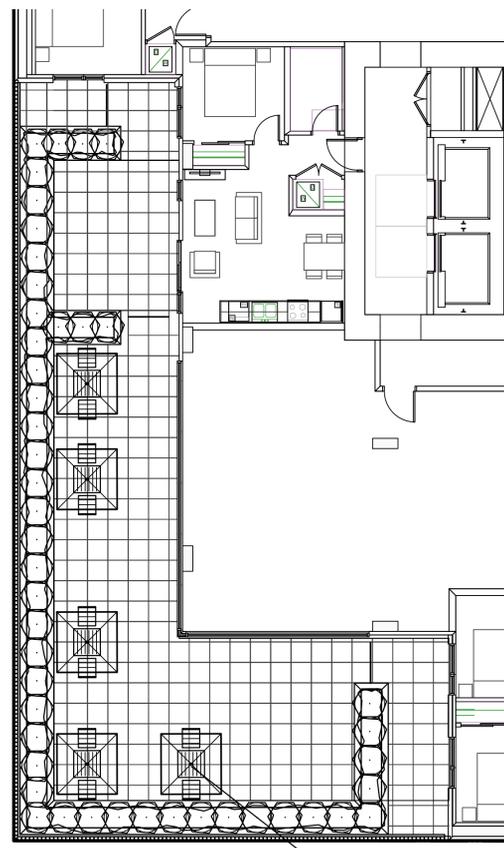
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
1150 COOK STREET
66 DEVELOPEMENT LTD
PRELIMINARY SITE SERVICING

WESTBROOK PROJECT No. **3426**
GOVERNING AUTHORITY FILE No.
SHEET **1** OF **1** REV. **1**
WESTBROOK DRAWING No. **3426-01**

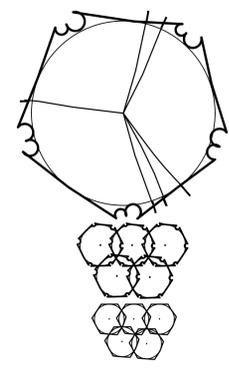


SITE PLAN
SCALE: 1:100



TERRACE PLAN
SCALE: 1:100

LEGEND



- MEDIUM DECIDUOUS TREE TO BE A SELECTION OF: RED MAPLE, KATSURA TREE, HEDGE MAPLE, HONEY LOCUST, LITTLE LEAF LINDEN, TREMBLING ASPEN; SIZE 5 CM CAL.; APPROXIMATE NO. - 03
- LARGE SHRUB TO BE A SELECTION OF: GLOSSY ABELIA (BL), PIERIS (BL), RHODODENDRON (BL), MEXICAN ORANGE (BL), DECIDUOUS AZALEA (DEC), COTONEASTER (BL), PORTUGUESE LAUREL (BL), FIRETHORN (BL), HYDRANGEA (DEC); SIZE 27 CM POT; APPROXIMATE NO. - 06
- MEDIUM SHRUB TO BE A SELECTION OF: RHODODENDRON (BL), JAPANESE AZALEA (BL), PINK ESCALLONIA (BL), BARBERRY (BL), BUXUS (BL), FERNS (BL); SIZE 21 CM POT; APPROXIMATE NO. - 47

NOTES

- LANDSCAPE AREAS ARE TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- THIS DRAWING IS CONCEPTUAL ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.
- THIS DRAWING IS FOR SOFT LANDSCAPE ONLY.

NO.	DATE	BY	REVISION

DESIGN	S.P.
CHECKED	J.P.
DATE	OCT. 23, 2019
DRAWING	1150 CS - L1R4.DWG
FILE	245 16 02

Lombard North Group
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 FAX: (250) 366-4132
 EMAIL: lombnord@lombnord.com

1150 COOK STREET
VICTORIA, B.C.

CONSULTANT

LANDSCAPE PLAN | **PI**