



1690 West 2nd Avenue

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DOCKSIDE COMMONS PRECINCT A2-1 AND A2-2 DEVELOPMENT PERMIT LANDSCAPE

Civic Address:
Building A2-2: 90 Esquimalt Road
Building A2-1: 343 Tye Road

CONSULTANT TEAM
OWNER: BOSA Development
ARCHITECT: RHA Architects
STRUCTURAL: Giotman Simpson
LANDSCAPE: ETA Landscape Architecture
CIVIL: KWL

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DESIGN RATIONALE

Context

Nestled within the greater Dockside Green planned community, Phase 2 will continue the established form of development to the north, keeping with well-documented Design Guidelines for the neighbourhood contained in the "Dockside Green Master Development Agreement" and the "Dockside Urban Design Guidelines", and specifically those established for the "Dockside Commons Precinct".

For this phase, the Tyee Gateway will be the main landscape feature at grade linking Tyee Road to Dockside Crescent and Dockside Commons via a grand linear pedestrian space lined with tree and at grade planting beds. As the gateway meanders to the east it opens to Dockside Crescent and ultimately Dockside Commons Park - an engaging large common amenity feature that will serve the residents of the Dockside Neighbourhood at the ground level.

Landscape

The Tyee Gateway connection provides the entry point to this phase of the Dockside Green development. An expansive entry and linear plaza invite pedestrian circulation and engagement with the site as a whole. Private patios and adjacent lobbies frame the gateway connection creating a balanced and rhythmic approach to the Dockside Commons Park that highlights the view corridor to the south and east.

The rhythm of the Gateway is enhanced through a unified design language that encompasses catenary lighting, curvilinear at-grade planters, seating, and pixelated paving patterns. These elements lead the users through the space culminating in the Dockside Commons Park and connections to the remaining Dockside Precincts including the Dockside Greenway to the North.

The materiality of the Plaza is unified with and references the architectural expression; layered plantings are consistent with CPTED principles through clear sightlines and visual permeability and natural access control through clearly defined boundaries between public and private realms. A lighting program allows for clearly lit pathways without disruption to adjacent residents.

The Tyee Gateway provides uninterrupted universal access along its length from Tyee Road through to Dockside Crescent and Esquimalt Road to the south, to the existing Greenway to the north and provides for a universally accessible connection from Dockside Crescent to Harbour Road. Universally accessible connections to the overall Dockside neighbourhood is an integral component of Dockside Green. Tyee Gateway connects to Dockside Crescent through a series of open spaces and a universally accessible pathway. This gateway fosters public engagement and builds upon the industrial nature of the docks to the south and the Johnston Bridge with open views that embrace both. This transition space functions as the node for north-south and east west connections.

Storm water run-off is further integrated over the entire site through an expansive planting buffer that intercepts rainfall through a wide variety of evergreen and deciduous planting.

Planting along walkways, throughout the Tyee Gateway and in landscape planting buffers are varied in height and consistent with CPTED principles that promote natural surveillance through clear sightlines and visual permeability, natural access control through clearly defined boundaries between public and private realms and territorial reinforcement with amenities in communal areas that encourage activity and use.

The Dockside Commons Park will be a publicly accessible park located at the eastern portion of the Dockside Commons Precinct and will be the primary natural amenity space for Dockside Commons Precinct; it allows for a universally accessible path and naturalized passive play for all ages. The planting palette allows for sensory play, respite in the shade, pollinator habitat, and passive enjoyment. The Dockside Commons Park is integrated in form and nestled with Dockside Green as a whole.

No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Project
**Dockside Commons
Precinct A2-1 and A2-2**

**90 Esquimalt Road
343 Tye Road**

Drawing Title

Cover Sheet

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale NTS
Reviewed By	Drawing No.
Date 2023.06.23	L0.0 1 of 38

PROPOSED PLANT PALETTE: L1 & OFF-SITE

ID	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFF-SITE						
OT 01	5 Ornamental Tree 01	Ornamental Tree 01	as shown			
OT 04	2 City of Victoria Tree	City of Victoria Tree	as shown			Comment 3
	0		as shown			

LAWN - OFFSITE

Non-Netted, grown on sand

TREES						
Afa	6 Acer x freemanii 'Armstrong'	Armstrong maple	as shown	6.5cm cal/B&B	full/ bushy canopy	P
Ag	11 Acer griseum	paperbark maple	as shown	3m ht/B&B	full/ bushy canopy	W, P
Bnd	2 Betulus nigra 'Dura-Heat'	Dura-Heat river birch	as shown	3m ht/B&B	full/ bushy canopy; low-l	
Cht	3 Chitalpa taskentensis	chitalpa	as shown	7cm cal/B&B	full/ bushy canopy	P,B
Cv	9 Cornus 'Venus'	Venus dogwood	as shown	6cm cal/B&B	full/ bushy canopy	B,P,W
Myb	5 Magnolia 'Yellow Bird'	Yellow Bird magnolia	as shown	7cm cal/B&B	full/ bushy canopy	
Ns	2 Nyssa sylvatica	black tupelo	as shown	6cm cal/B&B	full/ bushy canopy	B, P
Oa	2 Oxydendron Arboreum	Sourwood	as shown	6cm cal/B&B	matched crowns	
Pd	5 Pinus densiflora	Japanese red pine	as shown	3m ht/B&B	full/ bushy canopy	N, E, S
Pot	11 Populus tremuloides 'Erecta'	columnar Swedish aspen	as shown	3m - 4m ht/ B&B	low branching/ multistem	
Sto	6 Styrao obassia	fragrant snowbell	as shown	4m ht/B&B	full/ bushy canopy	P,W
Stps	4 Stewartia pseudocamellia	Japanese stewartia	as shown	4m ht/B&B	full/ bushy canopy; multi	W,P
	0		as shown			

SHRUBS / GROUNDCOVERS / PERENNIALS

Cf	264 Carex flacca	blue sedge		0.51	---	full/ bushy plants	E
Cod	72 Cotoneaster dammeri	bearberry cotoneaster	---		---	full/ bushy plants	E, B, P
Csf	12 Cornus sericea 'Flaviramea'	yellow twig dogwood		1.37 #5 cont.		full/ bushy plants	N, B, P, W
Csk	440 Cornus sericea 'kelseyi'	Dwarf Red Osier dogwood		0.61 #2 cont.		full/bushy	
Ct	61 Choisyia ternata	Mexican mock orange		1.07 #3 cont.		full/ bushy plants	E, P
Dis	24 Dicentra spectabilis	bleeding heart		0.61 #2 cont.		full/ bushy plants	P
Heh	154 Helleborus x hybridus 'Royal Heritage'	hellebore		0.51 #2 cont.		full/ bushy plants	E, W, P
Id	29 Iris douglasiana	Douglas iris		0.91 #1 cont.			
Jul	117 Junco effusus	common rush		0.46 #1 cont.	.3m o.c.		
Lis	214 Liriope spicata	creeping lily turf		0.41 #1 cont.		full/ bushy plants	E, B, P
Lp	26 Lonicera pileata	box leaf honeysuckle		0.76 #5 cont.		full/ bushy plants	E, B, P
Mn	605 Mahonia nervosa	longleaf mahonia		0.46 #3 cont.		full/ bushy plants	N, E, B, P, Ed
Ob	84 Osmanthus x burkwoodii	fragrant olive		0.84 #5 cont.		full/ bushy plants	E, B, P
Pa	407 Pennisetum alopecuroides	Fountain Grass		0.61 #2 cont.		full/ bushy plants	B, W
Pah	128 Pennisetum alopecuroides 'Hameln'	dwarf fountain Grass		0.46 #2 cont.-heavy		full/ bushy plants	B, W
Pca	29 Physocarpus capitatus	pacific ninebark		1.07 #3 cont.		full/bushy	B, P
Pm	207 Polystichum munitum	sword fern		0.76 #3 cont.		full/ bushy plants	N, E
Pt	3 Pachysandra terminalis	Japanese spurge		0.25 #1 cont.		full/ bushy plants	E, P
Rak	52 Rhododendron 'Anah Kruschke'	Anah Kruschke rhododendron		0.76 #5 cont.		full/ bushy plants	E, P
Rc	46 Rubus calycinooides	creeping bramble		0.61 #1 cont.		full/ bushy plants	E, B, P, Ed
Rr	20 Rosa rugosa	rugosa rose		0.91 #2 cont.		full/ bushy plants	B, P
Rs	56 Ribes sanguineum 'King Edward'	flowering currant		0.91 #5 cont.		full/ bushy plants	
Sa	121 Symphoricarpos albus	snowberry		0.76 #5 cont.		full/ bushy plants	N, B, P, W
Tmh	116 Taxus x media 'Hicksii'	Anglojap yew		0.61 1.2m ht/B&B		full/ bushy plants - male	E
Vd	41 Viburnum davidii	David's viburnum		1.07 #3 cont.		full, bushy plants	E, B, P
	0			0			

LAWN

Non-Netted, grown on sand

NOTES:

- 1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
- 2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
- 3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST
- 4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PROPOSED PLANT PALETTE: INTERIM

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFF-SITE							
Aps	9	Acer palmatum 'Seiryu'	Seiryu Japanese maple	as shown	5cm cal/B&B	full/ bushy canopy	P
SHRUBS / GROUNDCOVERS / PERENNIALS - OFFSITE							
Csk-1	73	Cornus sericea 'kelseyi'	Dwarf Red Osier dogwood		0.61 #5 cont.	full/bushy	
Pah	324	Pennisetum alopecuroides 'Hameln'	dwarf fountain Grass		0.46 #2 cont.-heavy	full/ bushy plants	B, W
	0				0		

NOTES:

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- 2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
- 3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST
- 4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PROPOSED PLANT PALETTE: ROOFTOP

ID	ITY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES							
Ag	1	Acer griseum	paperbark maple		3.66 4m ht/B&B	full/ bushy canopy	W, P
Pdu	6	Pinus densiflora 'Umbraculifera'	Japanese red pine		9.14 2.5m ht/B&B	full/ bushy canopy; spec	E
Sm	6	Stewartia monadelph	orangebark stewartia		3.66 4m ht/B&B	multistemmed	W,P
	0				0		

SHRUBS / GROUNDCOVERS / PERENNIALS

Cta	76	Choisyia x dewitteana 'Aztec Pearl'	Aztec Pearl mock orange		0.81 #3 cont.	full/ bushy plants	E, P
Hmo	3	Hamamelis mollis	Chinese witch hazel		3.66 4m ht/B&B	full/ bushy plants	P, W
Hpi	40	Hebe pinguifolia	hebe		0.51 #2 cont.	full, bushy plants	E, P
Is	865	Iberis sempervirens 'Snowflake'	snowflake candytuft		0.3 #1	full, bushy plants	All-Purpose Plant Food
Lis	33	Liriope spicata	creeping lily turf		0.41 #1 cont.	full/ bushy plants	E, B, P
Nat	54	Nassella tenuissima	Mexican feather grass		0.36 #2 cont.	full/ bushy plants	
Pah	86	Pennisetum alopecuroides 'Hameln'	dwarf fountain Grass		0.46 #2 cont.-heavy	full/ bushy plants	B, W
Rc	52	Rubus calycinooides	creeping bramble		0.3 #1 cont.	full/ bushy plants	E, B, P, Ed
Yuf	15	Yucca flaccida	Adam's needle		0.76 #3 cont.	full/ bushy plants	E, B, P
	0				0		

LAWN

Non-Netted, grown on sand

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- 2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
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PROPOSED PLANT PALETTE: DOCKSIDE PEDESTRIAN CONNECTION

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES							
Ns	2	Nyssa sylvatica	black tupelo	as shown	6cm cal/ B&B	full/ bushy canopy	B, P
Pot	11	Populus tremuloides 'Erecta'	columnar Swedish aspen	as shown	3m - 4m ht/ B&B	low branching/ multistem	
SHRUBS / GROUNDCOVERS / PERENNIALS							
Csk	133	Cornus sericea 'kelseyi'	Dwarf Red Osier dogwood		0.61 #5 cont.	full/bushy	
Epa	18	Echinacea purpurea 'Alba'	White Coneflower		0.46 #2 cont.	full/ bushy plants	
Gs	23	Gaultheria shallon	salal		0.61 #2 cont.	full/ bushy plants	N, E, B, P, Ed
Mn	325	Mahonia nervosa	longleaf mahonia		0.46 #3 cont.	full/ bushy plants	N, E, B, P, Ed
Mr	18	Mahonia repens	Creeping Oregon grape		0.53 #3 cont.	full/ bushy plants	N, E, B, P, Ed
Pa	192	Pennisetum alopecuroides	Fountain Grass		0.61 #2 cont.	full/ bushy plants	B, W
Pc	7	Physocarpus capitatus	Pacific ninebark		1.22 #7 cont.	full/ bushy	B, P
Pl	3	Hamamelis x intermedia 'Jelena'	witch hazel 'Jelena'		1.07 #5 cont.	full/ bushy plants	
Pm	20	Polystichum munitum	Sword Fern		0.61 #3 cont.	full/ bushy plants	N, E

NOTES:

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- 2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
- 3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST
- 4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

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A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RdDP
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Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

Drawing Title

Landscape Notes
& Schedules

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Date 2023.06.23	L0.1 2 /
	38

**ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO THE CURRENT EDITION OF THE CSLA LANDSCAPE STANDARDS.**

**ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO
ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.**

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCTIBLE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION CSLA LANDSCAPE STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (1L IN TABLE T-6.3.5.1 OF THE CURRENT EDITION OF THE CSLA LANDSCAPE STANDARDS). IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE
*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%
*ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%
*SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm): 50-70%
*SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm): 10-25%
*CLAY (SMALLER THAN 0.002mm): 0-20%
*CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0 as per CSLA Standards

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE CURRENT EDITION CSLA LANDSCAPE STANDARDS :

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
LARGE TREE	750mm(30")	900mm(35")
TREES (10m3 PER TREE)	600mm (24")	750mm(30")
LARGE SHRUBS	600mm(24")	500-900mm(20"-36")
SMALL SHRUBS	450mm(18")	300-500mm(12"-20")
GROUNDCOVERS	300mm(12")	225mm(9")
LAWN-IRRIGATED	150mm(6")	150mm(6")
LAWN-NOT IRRIGATED	150mm(6")	225mm(9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATEC, OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CCME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 2" MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE CSLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL SOFTSCAPE AREAS TO INCLUDE MIN. 75MM GRAVEL DRAINAGE LAYERS IN ADDITION TO INDICATED SOIL DEPTH.

**PLANT COUNTS
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BIRD FRIENDLY PLANTING
PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE BEEN SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS GROUPED IN NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND GROUNDCOVERS, MIMICKING THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS. THESE LAYERS WILL BE VARIED WITH A DIVERSITY OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROTECTS MANY BIRD SPECIES. SPECIFIC LOCAL AND NON-INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR ABILITY TO PROVIDE YEAR-ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING OPPORTUNITIES.

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MATERIALS AND FURNISHINGS - DOCKSIDE PEDESTRIAN CONNECTION

SITE FURNISHINGS - DOCKSIDE PEDESTRIAN CONNECTION									
ID	REFERENCE	DESCRIPTION	SIZE	COLOUR	MATERIAL	MODEL	MANUFACTURER	QTY	NOTES
F1	2/L.12.4	Radial seating	As per detail	natural	Thermal Ash	Ogden Cantilever	Maglin	4	
F4	8/L.12.2	CIP planters	As per detail	Natural	Light sandblasted finish concrete	Custom	Custom	-	
		Concrete ping pong table					Sanderson	1	re-purposed from ph 1

MATERIALS									
ID	REFERENCE	DESCRIPTION	SIZE	COLOUR	PATTERN	MODEL	MANUFACTURER	QTY	NOTES
M1	-/L.-	Heavy timber decking	8 x 12 rough cut timber	Natural	-	Custom	Custom	-	heavier decking than Greenway bridges - industrial grade
M2	1/L.12.2	Paver A	11.10" x 3.50" x 3.15"	Natural	Boardwalk	Boardwalk	Barkman	-	Permeable
M3	1/L.12.2	Paver B	11.10" x 3.50" x 3.15"	Charcoal	Boardwalk	Boardwalk	Barkman	-	Permeable
M7	2/L.12.2	Pedestrian concrete	-	Natural	Broom Finish	Custom	Custom	-	

LIGHTING FEATURES				
ID	REFERENCE	DESCRIPTION	MODEL	MANUFACTURER NOTES
L1	3/L.12.5	Bollard lighting	L910	MP Lighting same as Greenway
L2	4/L.12.5	Step/Wall lighting	L49	MP Lighting same as Greenway
L3	5/L.12.5	Strip lighting	VERS-01-SW-1.5	Qtran same as Greenway

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.

MATERIALS AND FURNISHINGS

SITE FURNISHINGS											
ID	REFERENCE	DESCRIPTION	SIZE	COLOUR	MATERIAL	MODEL	MANUFACTURER	QTY	NOTES		
F1	2/L.12.4	Radial seating	As per detail	natural	Thermal Ash	Ogden Cantilever	Maglin	4			
F3	1/L.12.4	Bike racks	As per detail	Meteor grey	Aluminium	5990-UG	Equiparc	31	To be anchored		
F4	8/L.12.2	CIP planters	As per detail	Natural	Light sandblasted finish	Custom	Custom	-			
F5	7/L.12.2	Metal planter	As per detail	As per material	Steel	Custom	Custom	1	Powder coated		
F6	3/L.12.3	Metal fence & gate	As per detail	As per material	Aluminium	Custom	Custom	-	Powder coated		
F7	4/L.12.4	Round concrete planters	As per detail	As per material	As per detail	Pixel Layout	Maglin	-			
F8	5/L.12.4	Modular block seating	As per detail	As per material	Aluminium	Custom	Sanderson concrete	10			
F9	3/L.12.4	Tree Grate	5' dia.	Raw	Recycled grey iron	5' rd. rainbow	Urban accessories	3			
F10	2/L.12.4	Circular bench surround	As per detail	natural	Thermal Ash	Ogden Cantilever	Maglin	1			

MATERIALS											
ID	REFERENCE	DESCRIPTION	SIZE	COLOUR	PATTERN	MODEL	MANUFACTURER	QTY	NOTES		
M1	-/L.-	Wood decking	2 x 10 rough cut cedar	Natural	-	Custom	Custom	-	To match Phase 1 Tyee Plaza		
M2	1/L.12.2	Paver A	75x300x108mm	Charcoal	running bond	VS-5	Belgard	-	vehicular		
M3	1/L.12.2	Paver B	150x300x108mm	natural/charcoal	running bond	VS-5	Belgard	-	vehicular		
M4	1/L.12.2	Paver C	24" x 24" x 2"	Charcoal	Grid	Vancouver Bay	Mutual materials	-	Hydrapressed Slab		
M5	3/L.12.2	Paver D	18" x 18" x 1 5/8"	Charcoal	-	Vancouver Bay	Mutual materials	-	Hydrapressed Slab		
M6	3/L.12.2	Paver E	150mm x 300mm x 108mm	Natural	Pedestrian running bond	VS5	Expocrete	-			
M7	2/L.12.2	Pedestrian concrete	-	Natural	Broom Finish	Custom	Custom	-			
M8	2/L.12.3	Extensive green roof	Varies	-	-	Sedum Roof	Next Level	-			
M9	4/L.12.3	Drip strip	14" deep	-	-	-	-	-			
M10	-/L.-	Engineered wood decking	-	Brown Oak	Grooved profile	Custom	Timbertech	-	Rooftop		
M11	1/L.12.3	Precast concrete pavers	48" x 18" x 6"	Natural	Concrete	Roman steps	Sanderson concrete	-			

LIGHTING FEATURES				
ID	REFERENCE	DESCRIPTION	MODEL	MANUFACTURER NOTES
L1	1/L.12.5	Catenary lighting	Exton Powerspan Cable System	Tegan Lighting -
L2	2/L.12.5	Festoon lighting	Globe Series	MaxiLED Lighting -
L3	3/L.12.5	Bollard lighting	L910	MP Lighting -
L4	4/L.12.5	Step/Wall lighting	L49	MP Lighting -
L5	5/L.12.5	Strip lighting	VERS-01-SW-1.5	Qtran -

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**Project
Dockside Commons
Precinct A2-1 and A2-2**

**90 Esquimalt Road
343 Tyee Road**

Drawing Title

**Landscape Notes
& Schedules**

Legal

Project Manager	Project ID
NT	22211
Drawn By	Scale
TT	NTS
Reviewed By	Drawing No.
	L0.2
Date	3
2023.06.23	38

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimal Road
343 Tye Road

Drawing Title

Precedent Images

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale NTS
Reviewed By	Drawing No.
Date 2023.06.23	L0.3 4 of 38

Softscape - Flowing, wave-like planters, islands, and seating



Habitat Focus

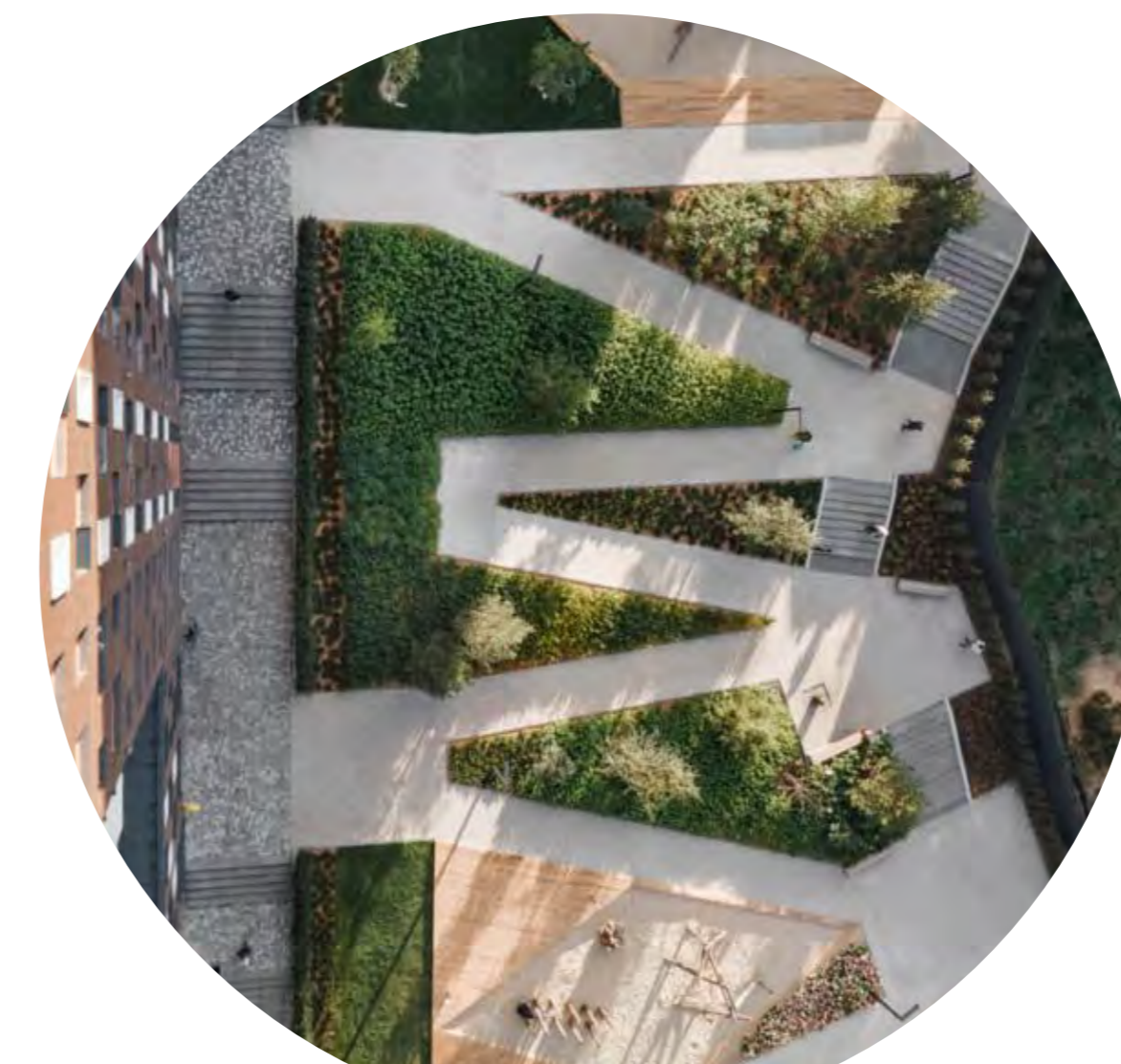
Native and adapted species



Pixelated paving patterns



Accessible entryway



Interim landscape park



Supporting active lifestyle



Bike-friendly community space



Decorative construction hoarding

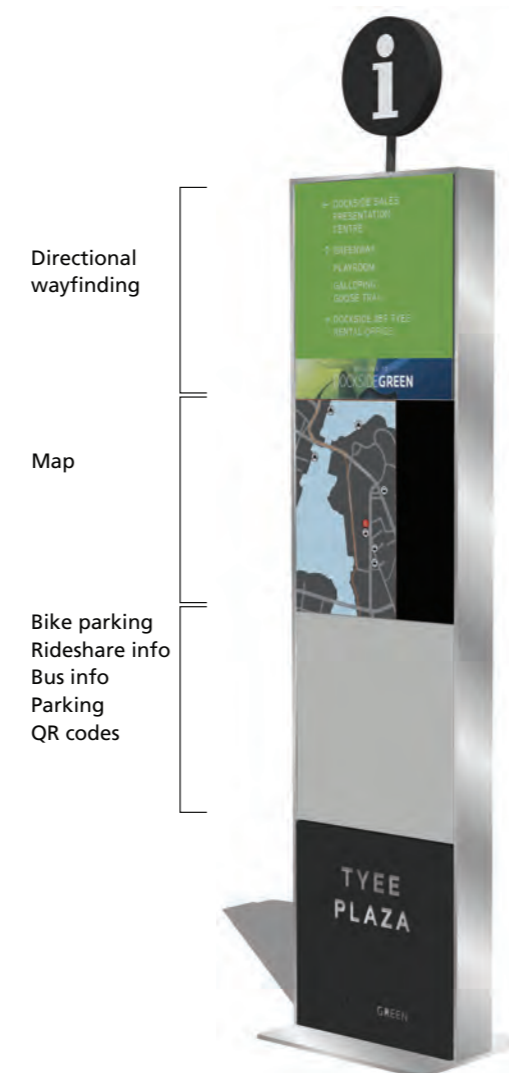
Green roof



Lighting



Environmental, Mobility Hub, and Wayfinding signage



Revision

No. Date Revision Notes

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Project
**Dockside Commons
Precinct A2-1 and A2-2**

90 Esquimalt Road
343 Tye Road

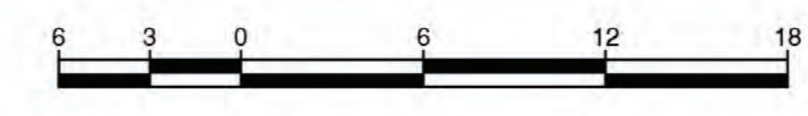
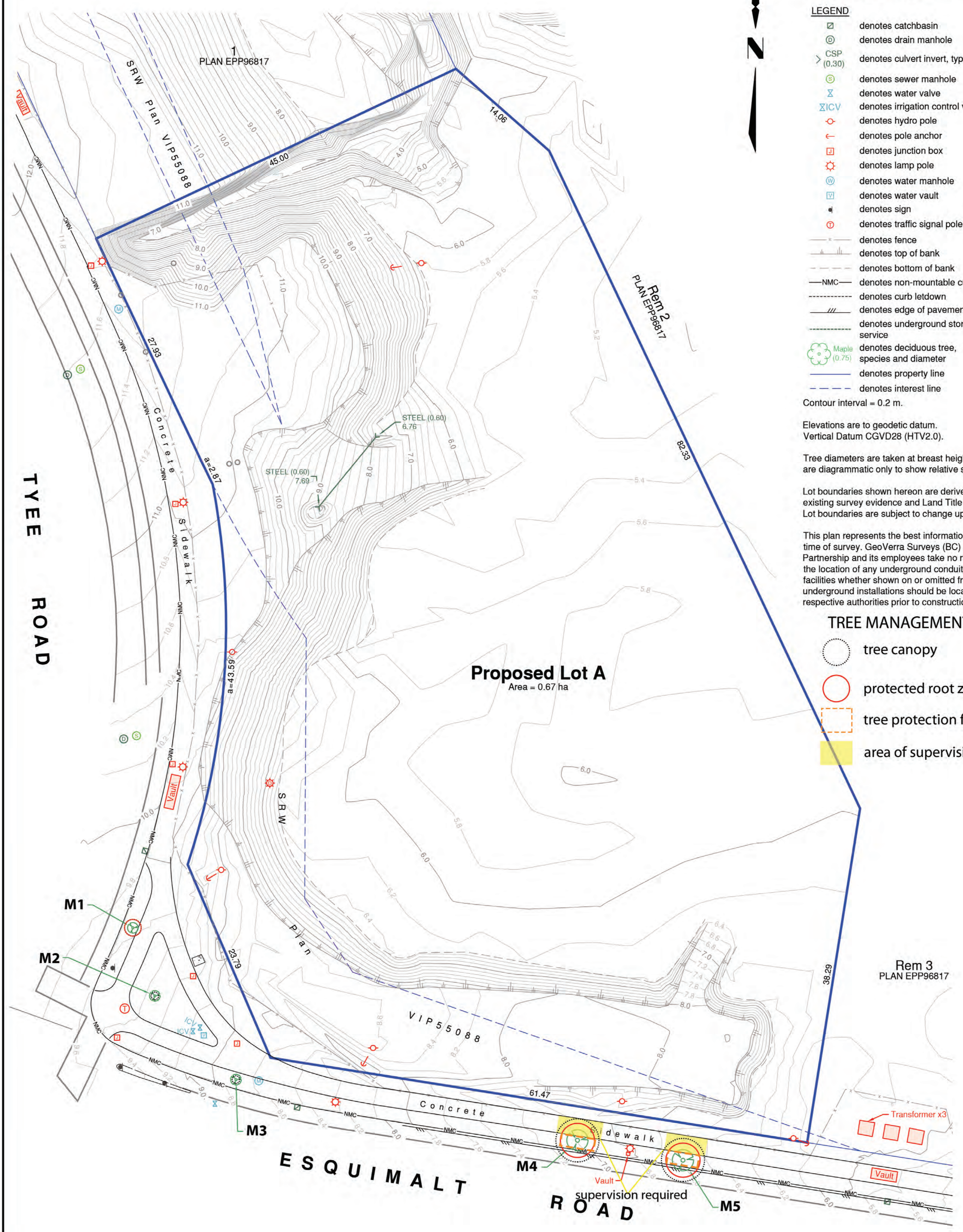
Drawing Title

Precedent Images

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale NTS
Reviewed By	Drawing No.
Date 2023.06.23	L0.4 5 38

TREE MANAGEMENT PLAN



The intended plot size of this plan is 420mm in width by 594mm in height (ISO A2 size) when plotted at a scale of 1:300

All distances are in metres and decimals thereof.

- LEGEND**
- ☐ denotes catchbasin
 - ⊙ denotes drain manhole
 - > CSP (0.30) denotes culvert invert, type and size
 - ⊙ denotes sewer manhole
 - ⊗ denotes water valve
 - ⊗ IICV denotes irrigation control valve
 - ⊗ denotes hydro pole
 - ⊗ denotes pole anchor
 - ⊗ denotes junction box
 - ⊗ denotes lamp pole
 - ⊗ denotes water manhole
 - ⊗ denotes water vault
 - ⊗ denotes sign
 - ⊗ denotes traffic signal pole
 - denotes fence
 - denotes top of bank
 - denotes bottom of bank
 - NMC denotes non-mountable curb
 - denotes curb letdown
 - denotes edge of pavement
 - denotes underground storm drain service
 - ⊗ Maple (0.75) denotes deciduous tree, species and diameter
 - denotes property line
 - denotes interest line
- Contour interval = 0.2 m.
- Elevations are to geodetic datum.
Vertical Datum CGVD28 (HTV2.0).
- Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.
- Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.
- This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

- TREE MANAGEMENT LEGEND**
- ⊙ tree canopy
 - ⊙ protected root zone
 - ⊗ tree protection fence
 - area of supervision

NOTE:
TREE MANAGEMENT PLAN SHOWN FOR REFERENCE ONLY. REFER TO ARBORIST REPORT.

Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

Issue No.	Date	Issue Notes
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Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

Drawing Title
Tree Management Plan

Project Manager	Project ID
NT	22211
Drawn By	Scale
TT	NTS
Reviewed By	Drawing No.
	L0.5
Date	Sheet
2023.06.23	6 of 38

CLIENT: BOSA DEVELOPMENT	<p>795 Market Street Victoria, BC • V8T 0B4 t: 250-542-9767 • www.geoverra.com</p>	PROJECT: DOCKSIDE GREEN PHASE 2	TITLE: TOPOGRAPHIC SURVEY
		PROJECT NO: 21-04415-001	DRAWING NO: 21-04415-001-TOPO01
CLIENT REF. NO:		SCALE: As-Noted	DATE: 2023-01-10
		DISCIPLINE: GEOMATICS	SHEET NO: 1 of 1

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
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Project
**Dockside Commons
Precinct A2-1 and A2-2**

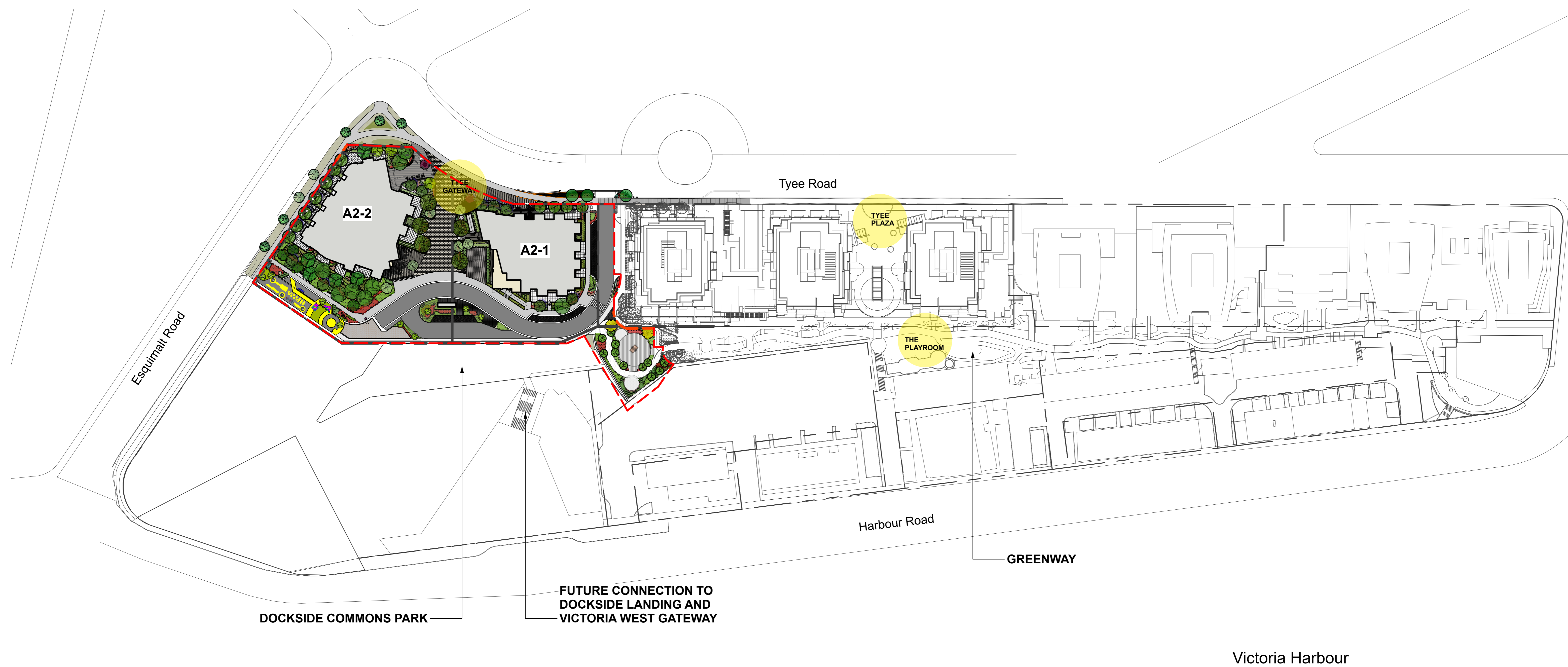
90 Esquimalt Road
343 Tyee Road

Drawing Title

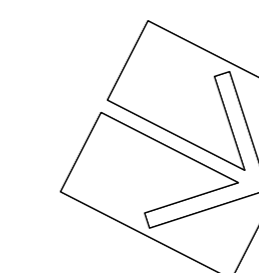
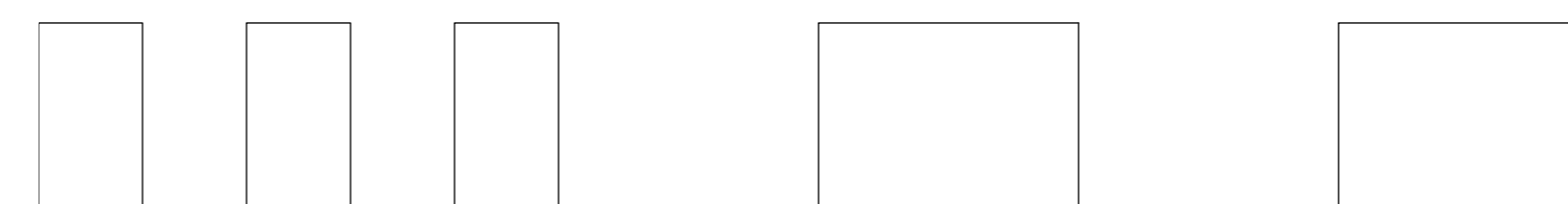
**Dockside Green
Overall Plan**

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale NTS
Reviewed By	Drawing No.
Date 2023.06.23	L0.6 7 38



0 50 75 100 125 150 m



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
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C	2023-06-23	Issued for ReDP

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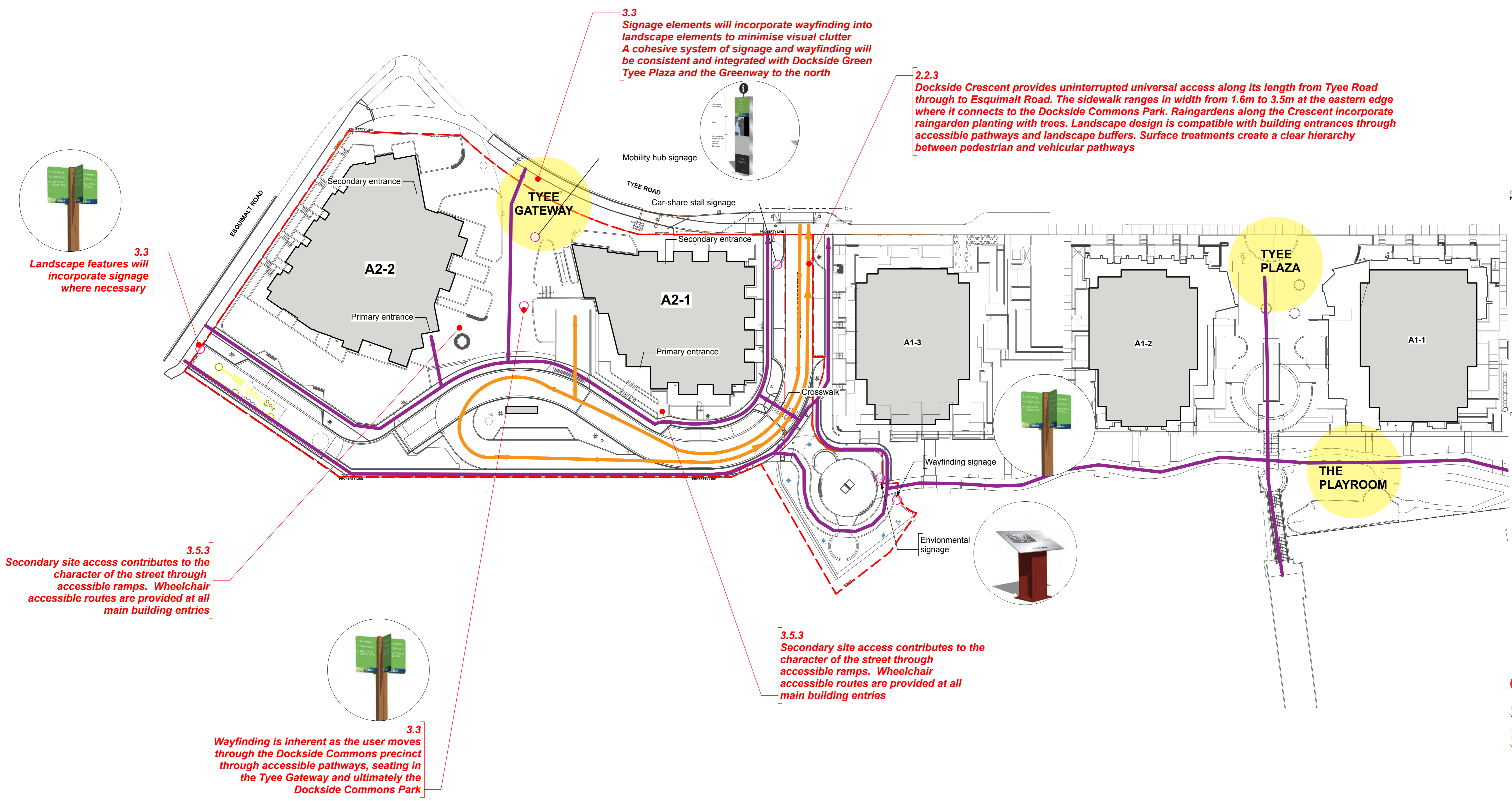
Project
**Dockside Commons
Precinct A2-1 and A2-2**

90 Esquamalt Road
343 Tye Road

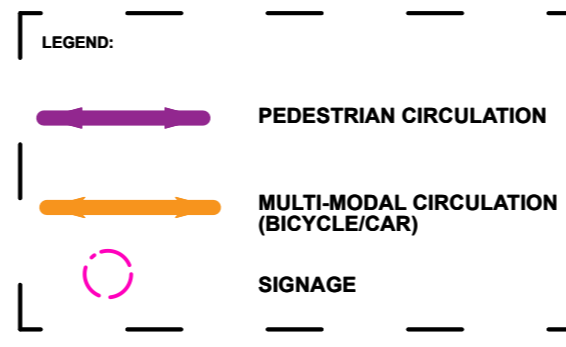
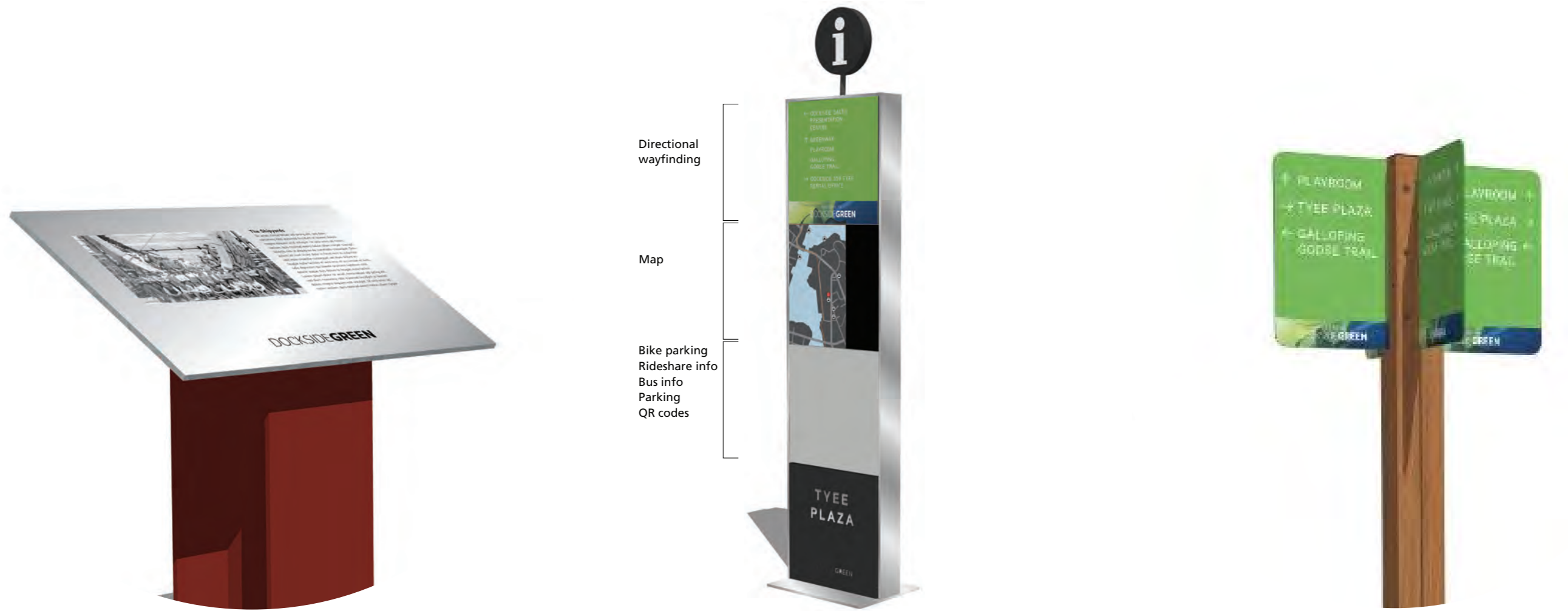
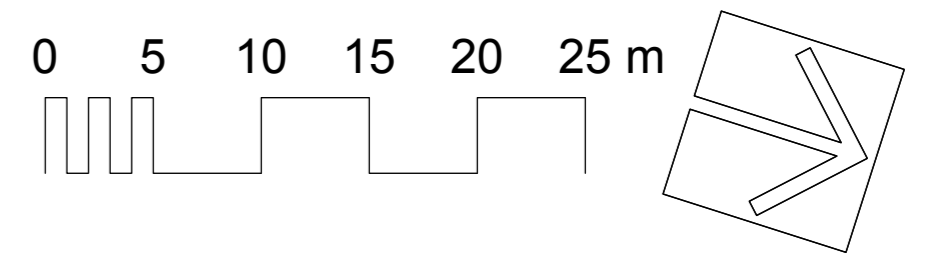
Drawing Title
**Circulation
and Wayfinding
Plan
Interim**

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale NTS
Reviewed By	Drawing No.
Date 2023.06.23	L1.1 8 38

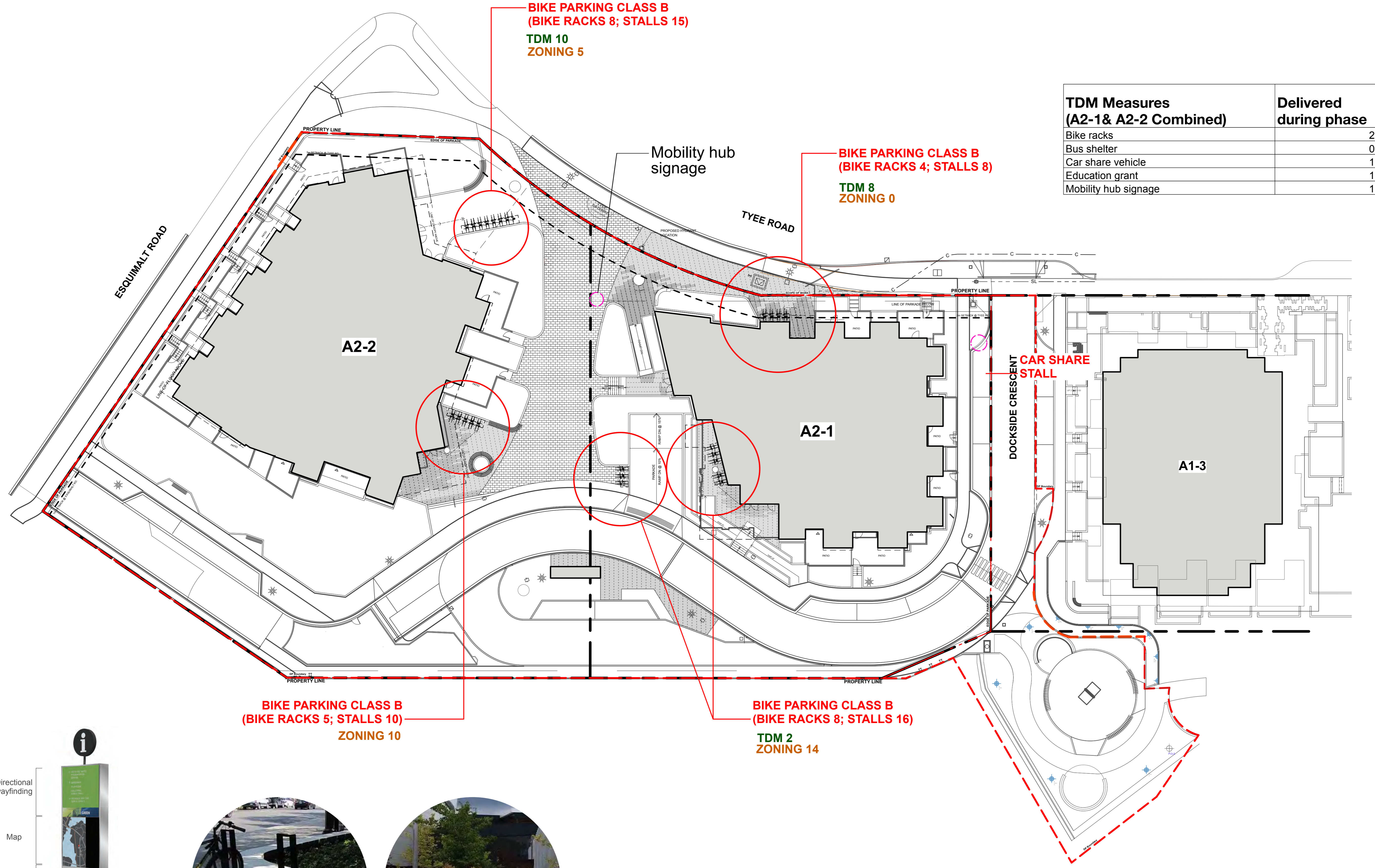


1 Circulation and Wayfinding
Scale: 1:350



Environmental, Mobility Hub, and Wayfinding signage

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP



TDM Measures (A2-1 & A2-2 Combined)	Delivered during phase
Bike racks	2
Bus shelter	0
Car share vehicle	1
Education grant	1
Mobility hub signage	1

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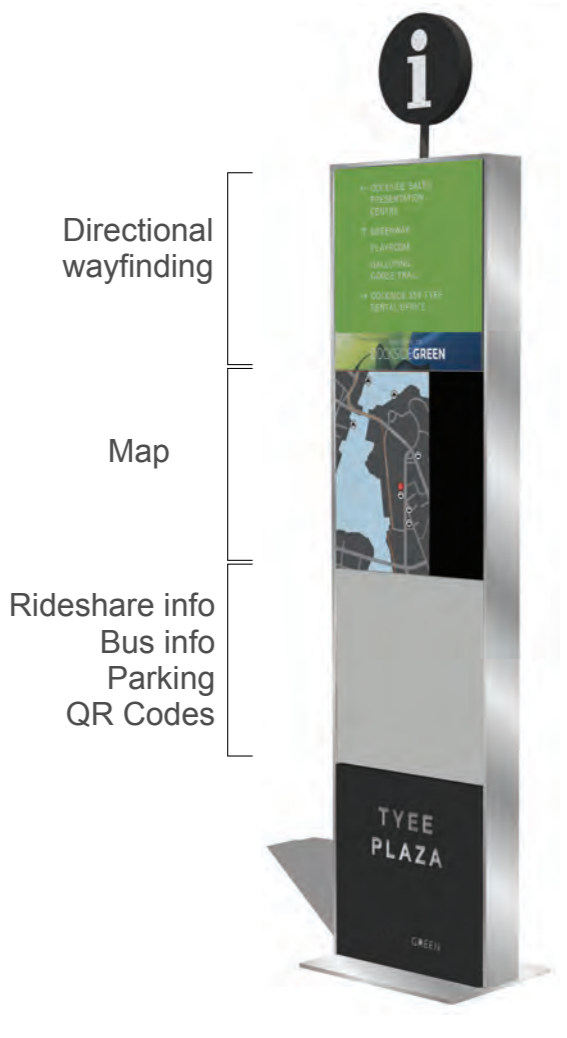
Project
Dockside Commons Precinct A2-1 and A2-2

**90 Esquimalt Road
343 Tyee Road**

Drawing Title
TDM Plan

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale NTS
Reviewed By	Drawing No.
Date 2023.06.23	L1.2 9 of 38



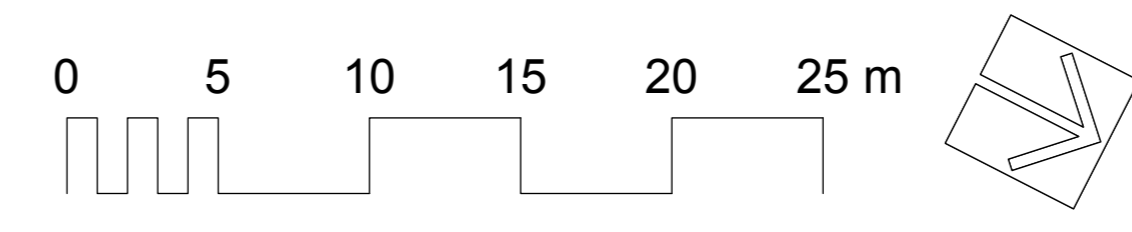
Mobility hub signage



Bike racks



1 TDM
Scale: 1:250



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Project
Dockside Commons
Precinct A2-1 and A2-2

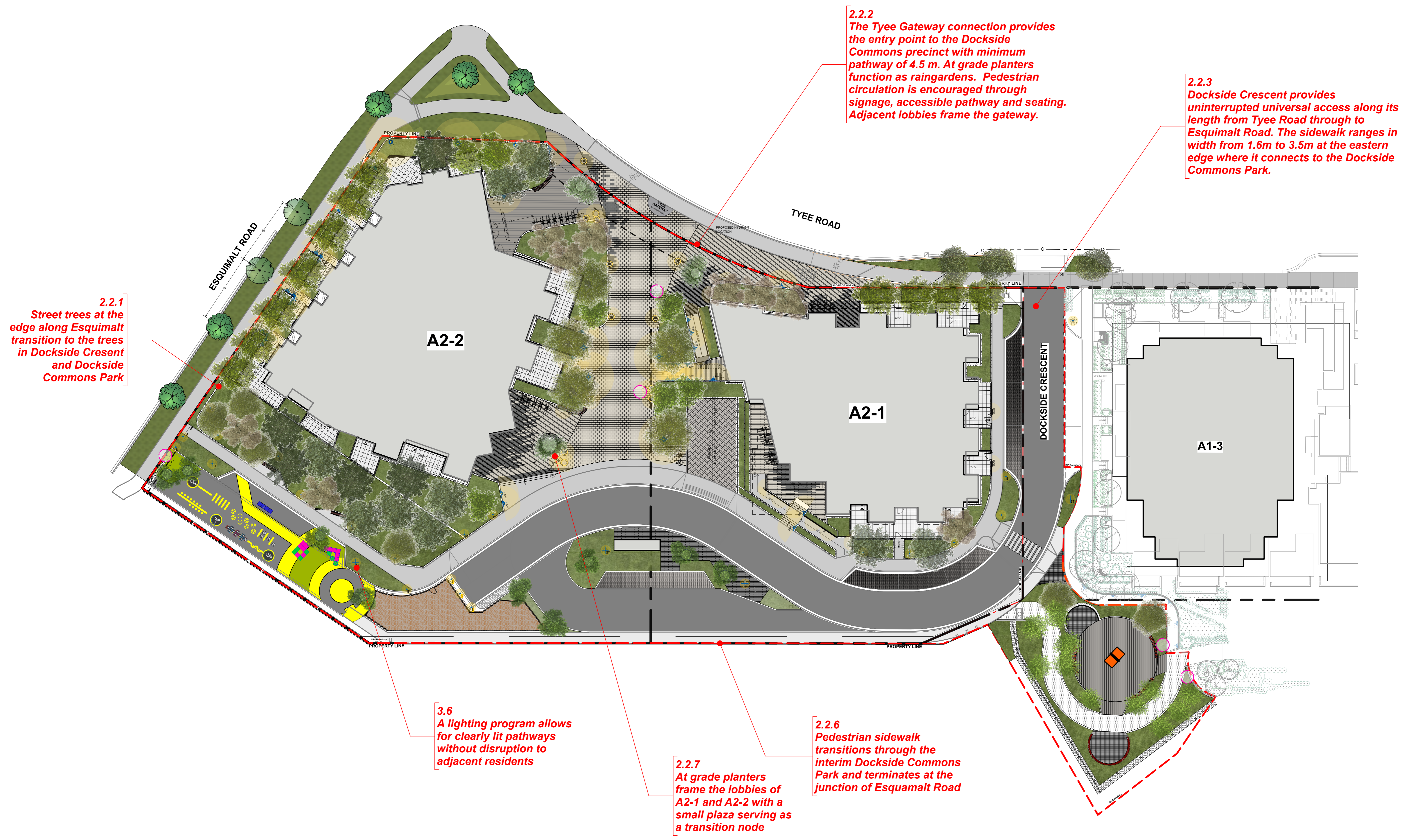
Address
90 Esquamalt Road
343 Tyee Road

Drawing Title

Interim Concept Plan

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L2.1 10 of 38



2.2.1
Street trees at the edge along Esquamalt transition to the trees in Dockside Crescent and Dockside Commons Park

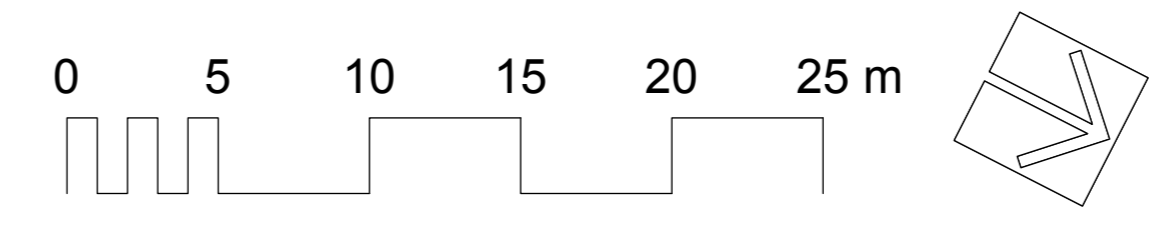
2.2.2
The Tyee Gateway connection provides the entry point to the Dockside Commons precinct with minimum pathway of 4.5 m. At grade planters function as raingardens. Pedestrian circulation is encouraged through signage, accessible pathway and seating. Adjacent lobbies frame the gateway.

2.2.3
Dockside Crescent provides uninterrupted universal access along its length from Tyee Road through to Esquamalt Road. The sidewalk ranges in width from 1.6m to 3.5m at the eastern edge where it connects to the Dockside Commons Park.

3.6
A lighting program allows for clearly lit pathways without disruption to adjacent residents

2.2.7
At grade planters frame the lobbies of A2-1 and A2-2 with a small plaza serving as a transition node

2.2.6
Pedestrian sidewalk transitions through the interim Dockside Commons Park and terminates at the junction of Esquamalt Road



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
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C	2023-06-23	Issued for RUDP

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RUDP
C	2023-06-23	Issued for RUDP

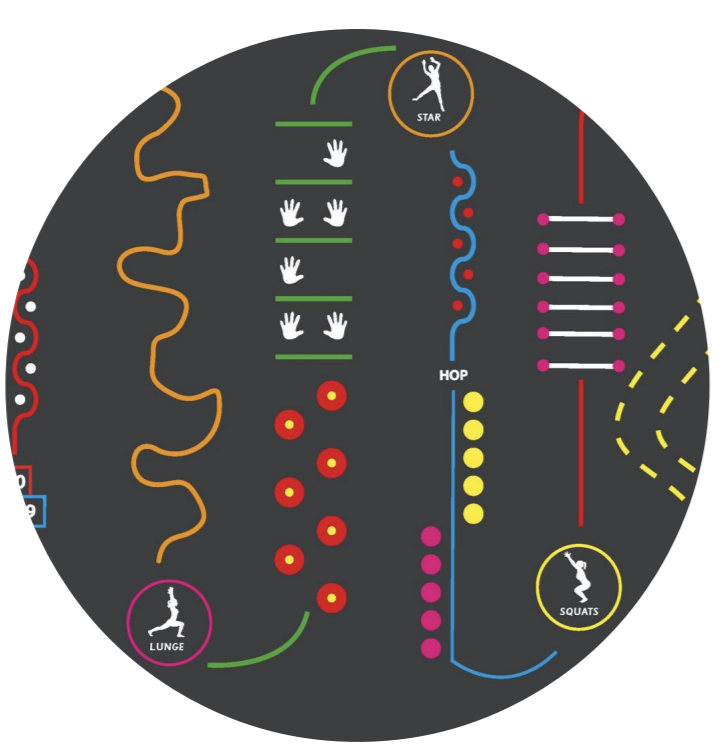
Professional Seal



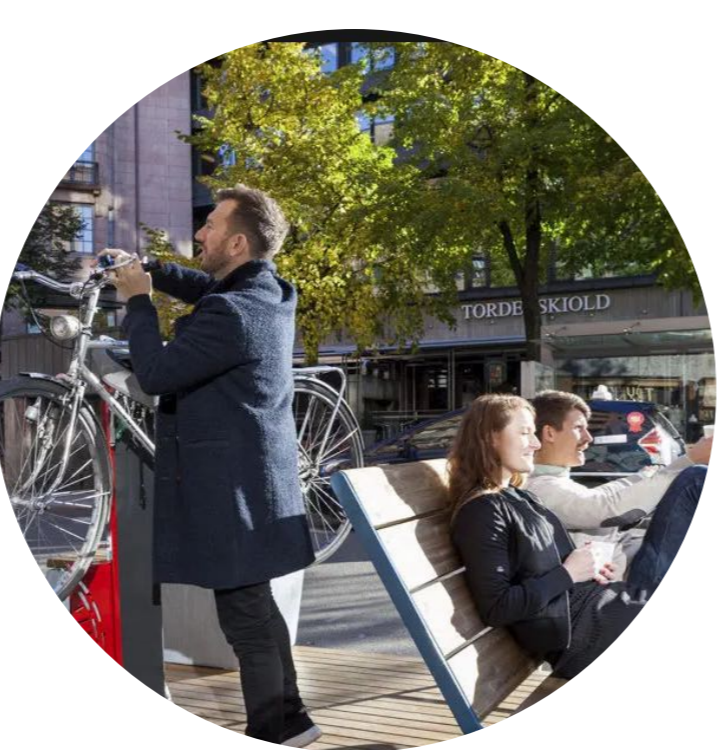
3.7
Signage and construction hoarding will communicate the ultimate condition of what will be the Dockside Commons Park.
Landscape finishes are consistent with Tye Plaza and the Greenway to the North
All incomplete street works such as the sidewalk connection through to Esquimalt Road will be safe
Signage and construction hoarding will communicate the ultimate condition of what will be the Dockside Commons Park and the continuation of Dockside Crescent.



Decorative marking for play



Active lifestyle and bike-friendly community space



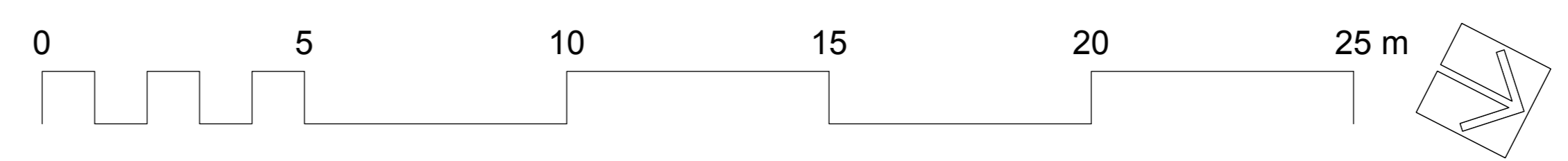
Decorative construction hoarding



Pixel bench



Dog play area

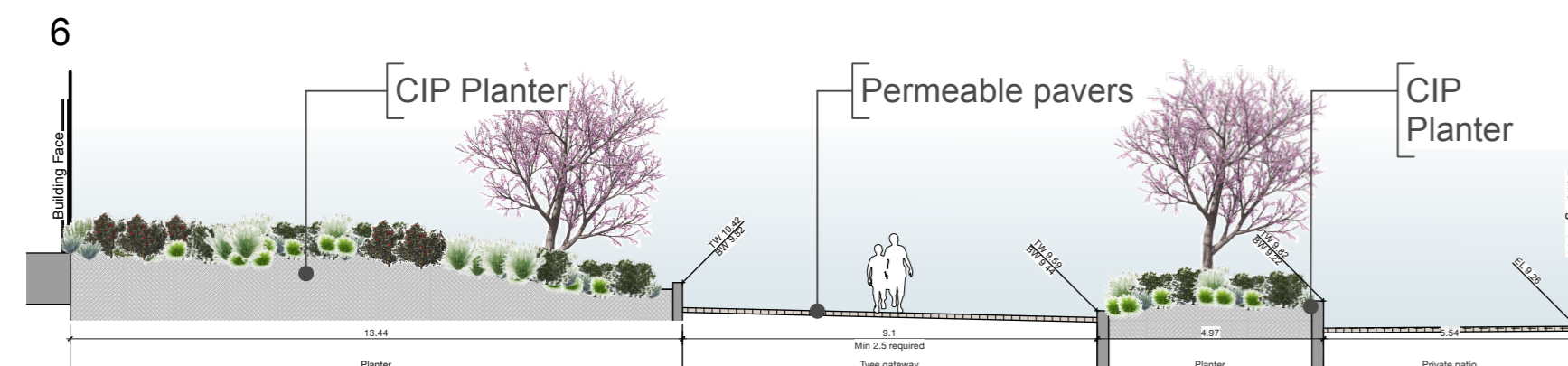


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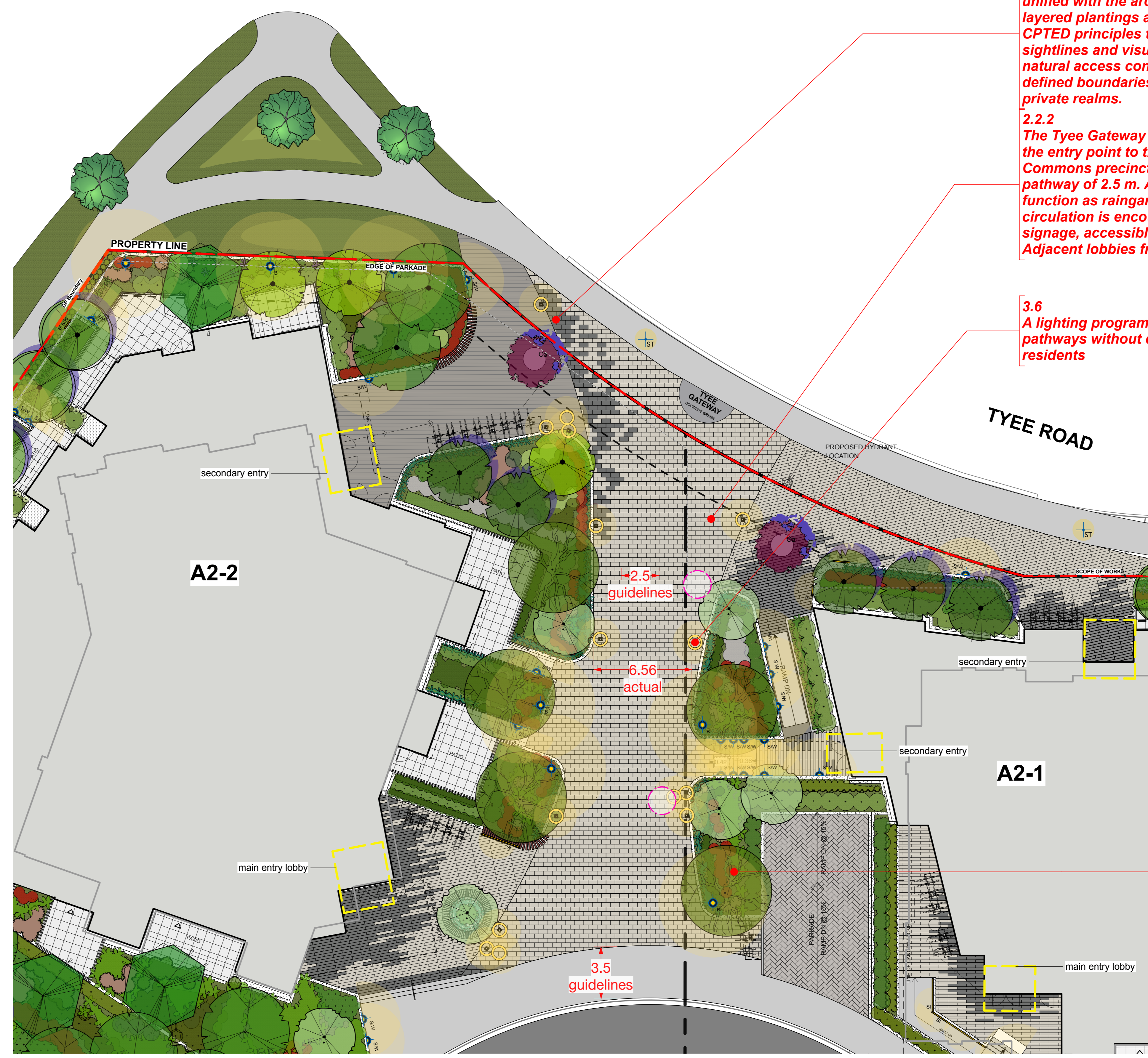
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Project
Dockside Commons Precinct A2-1 and A2-2
90 Esquimalt Road
343 Tye Road
 Drawing Title
Interim Dockside Commons
Concept Plan

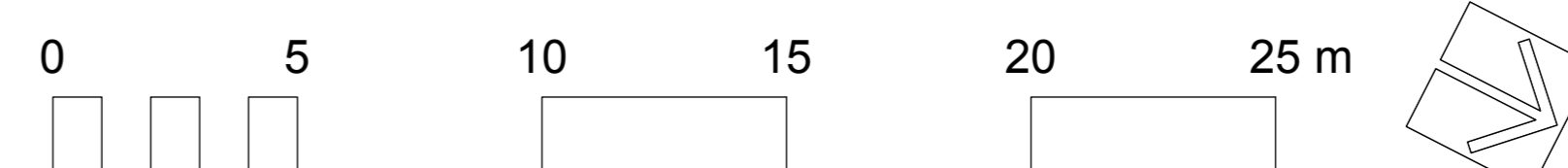
Project Manager	NT	Project ID	22211
Drawn By	TT	Scale	As Noted
Reviewed By		Drawing No.	
Date	2023.06.23	Sheet	L2.2 11 of 38



2 Connecting pathway between A2-2 and A2-1
Scale: 1:150



1 Tyee Gateway Concept Plan
Scale: 1:150



3.6
The materiality of the Tyee Gateway is unified with the architectural expression; layered plantings are consistent with CPTED principles through clear sightlines and visual permeability and natural access control through clearly defined boundaries between public and private realms.

2.2.2
The Tyee Gateway connection provides the entry point to the Dockside Commons precinct with minimum pathway of 2.5 m. At grade planters function as raingardens. Pedestrian circulation is encouraged through signage, accessible pathway and seating. Adjacent lobbies frame the gateway.

3.6
A lighting program allows for clearly lit pathways without disruption to adjacent residents

3.6
Planting along walkways, throughout the Tyee Gateway and in landscape planting buffers are varied in height and consistent with CPTED principles that promote natural access control through clearly defined boundaries between public and private realms and territorial reinforcement with amenities in communal areas that encourage activity and use.

Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

Issue No.	Date	Issue Notes
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B	2023-05-12	Issued for ReDP
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Project
Dockside Commons
Precinct A2-1 and A2-2

**90 Esquimalt Road
343 Tyee Road**

Drawing Title
Tyee Gateway
Concept Plan

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No. L2.3
Date 2023.06.23	12 of 38

Precedent Images



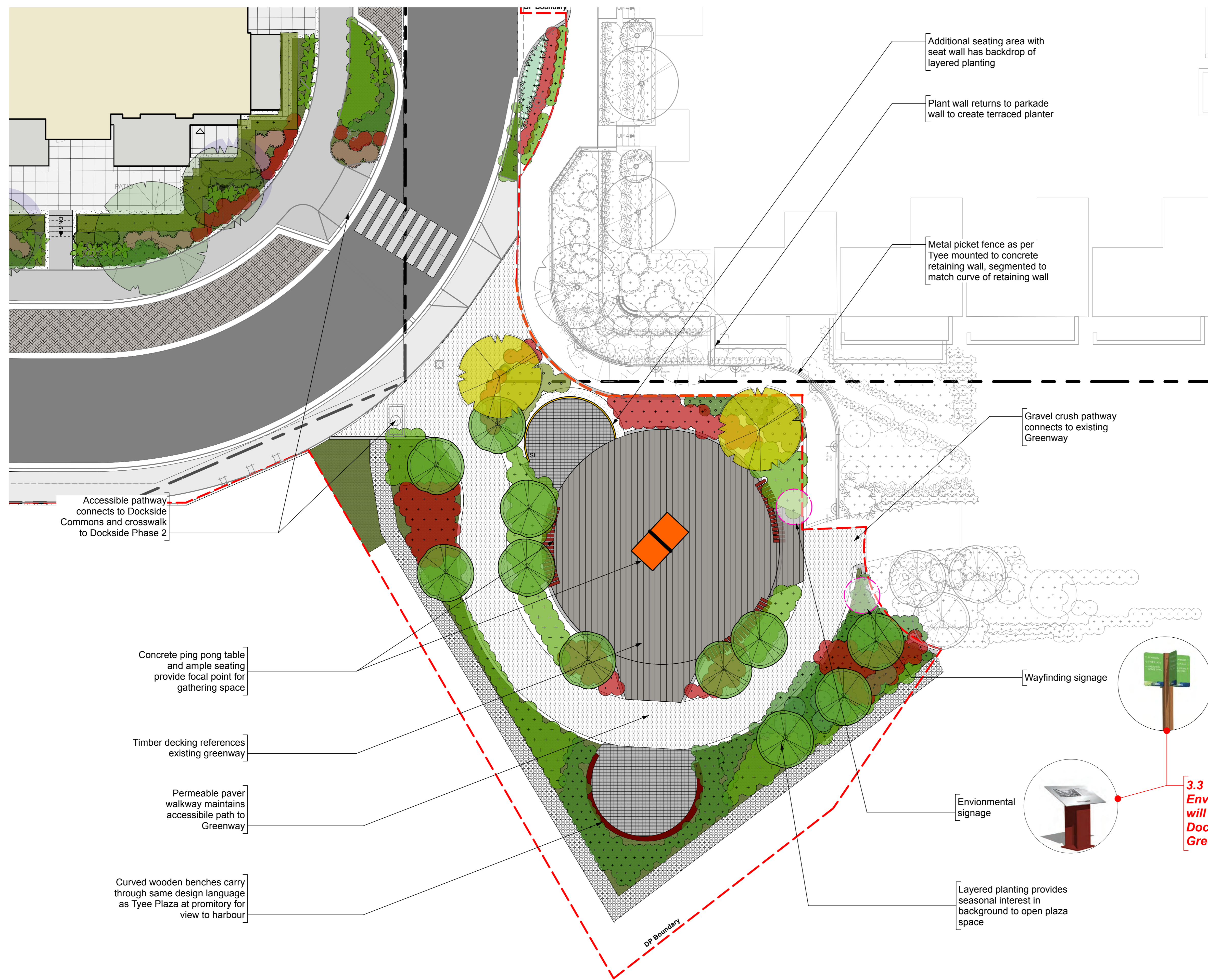
Curvilinear planters, pixelated pavers, timber seating

Pedestrian pole light

Planting palette

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Artistic representation of Dockside Turnaround (from Phase 1)



Accessible pathway connects to Dockside Commons and crosswalk to Dockside Phase 2

Additional seating area with seat wall has backdrop of layered planting
 Plant wall returns to parkade wall to create terraced planter

Metal picket fence as per Tye mounted to concrete retaining wall, segmented to match curve of retaining wall

Gravel crush pathway connects to existing Greenway

Concrete ping pong table and ample seating provide focal point for gathering space

Timber decking references existing greenway

Permeable paver walkway maintains accessible path to Greenway

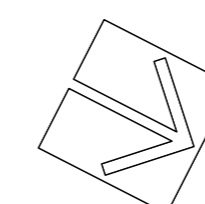
Curved wooden benches carry through same design language as Tye Plaza at promitory for view to harbour

Wayfinding signage

Environmental signage

Layered planting provides seasonal interest in background to open plaza space

3.3 Environmental and wayfinding signage will be consistent and integrated with Dockside Green Tye Plaza and the Greenway to the north



1 Dockside Pedestrian Connection
 Scale: 1:100

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Project
 Dockside Commons Precinct A2-1 and A2-2

**90 Esquimalt Road
 343 Tye Road**

Drawing Title
Dockside Pedestrian Connection

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L2.4 13 of 38

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
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C	2023-06-23	Issued for ReDP

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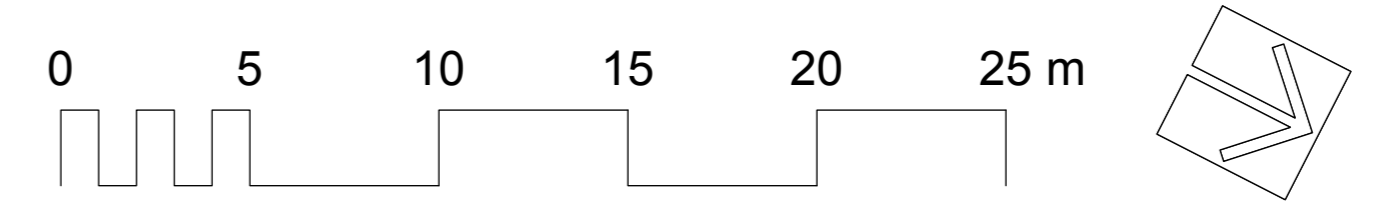
Project
Docks Commons
Precinct A2-1 and A2-2

90 Esquamalt Road
343 Tye Road

Drawing Title
Landscape Plan: L1

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No. L3.1
Date 2023.06.23	1.4 of 38



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

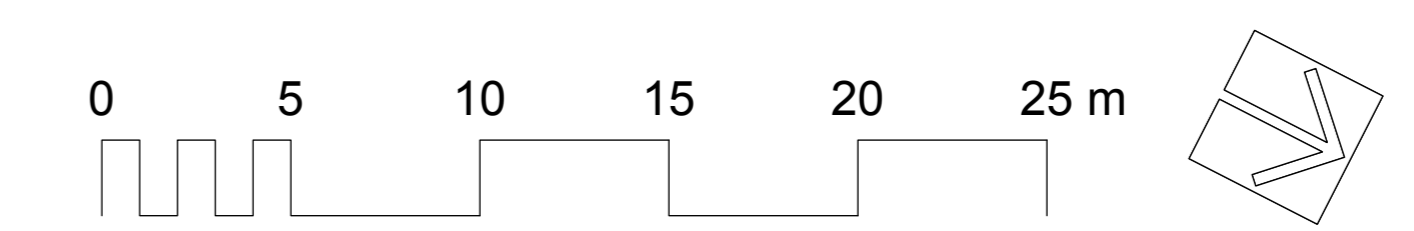
Drawing Title

Landscape Plan: L4

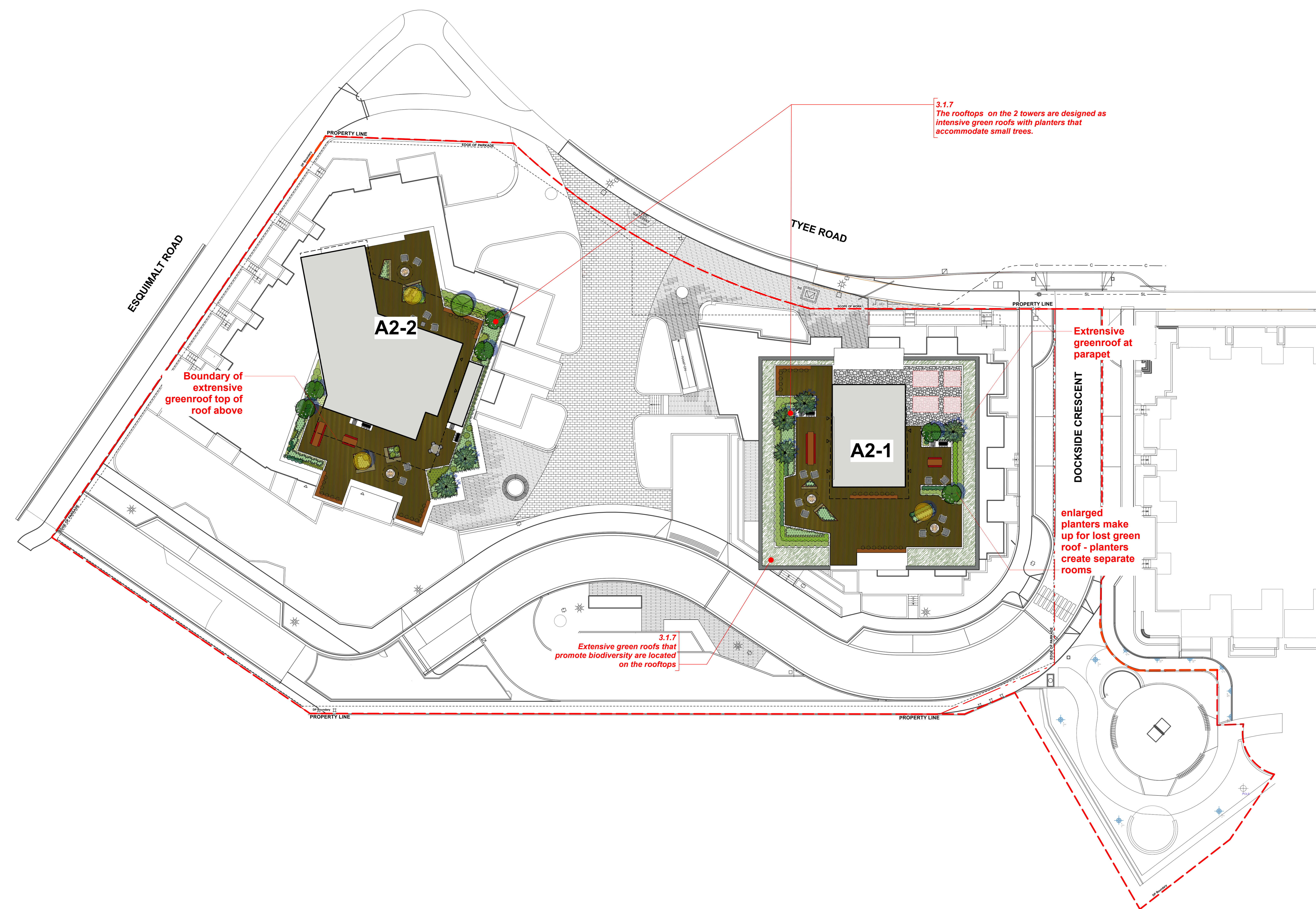
Legal



1 Landscape Plan: L4
Scale: 1:200



Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No. L3.2
Date 2023.06.23	15 of 38



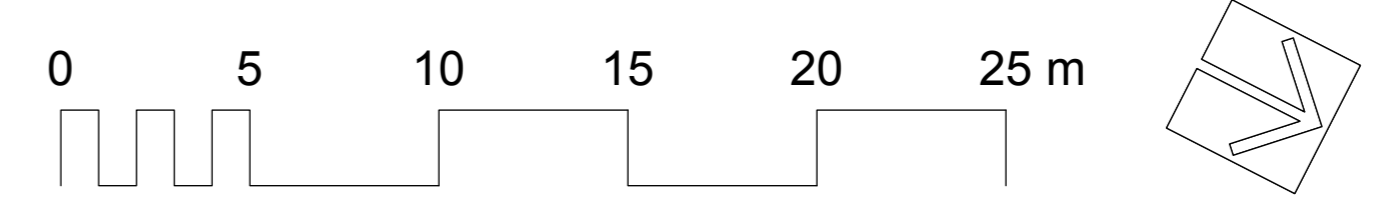
3.1.7
The rooftops on the 2 towers are designed as intensive green roofs with planters that accommodate small trees.

Boundary of extensive greenroof top of roof above

Extensive greenroof at parapet

enlarged planters make up for lost green roof - planters create separate rooms

3.1.7
Extensive green roofs that promote biodiversity are located on the rooftops



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

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Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimal Road
343 Tyee Road

Drawing Title

Materials Plan: L1
A2-1

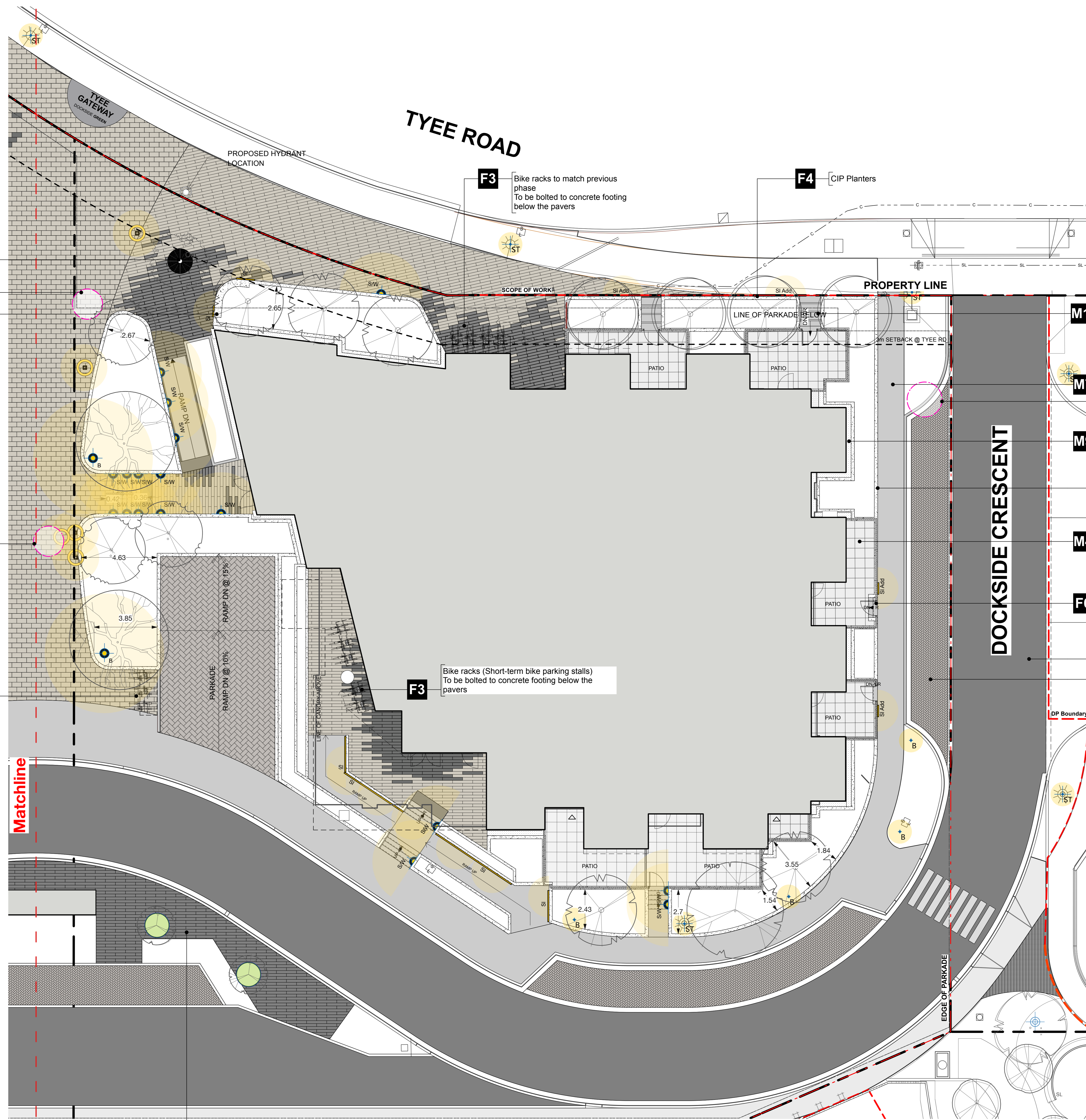
Legal

Project Manager	Project ID
NT	22211

Drawn By	Scale
TT	As Noted

Reviewed By	Drawing No.
	L4.1

Date	Sheet
2023.06.23	17



- Metal tree grate **F9**
- Mobility sign **F1**
- Radial seating **F1**

- Wayfinding sign **F9**

- Bike racks (Short-term bike parking stall) **F3**

- F3** Bike racks to match previous phase
To be bolted to concrete footing below the pavers

- F4** CIP Planters

- M11** Precast concrete pavers
- M7** Pedestrian concrete. Sidewalk as per Docksides Crescent guidelines
Car share stall sign
- M9** Drip strip

- Addresses to be incorporated into planter wall

- M4** Paver C

- F6** Metal fence and gate

- Asphalt roadway as per CIVIL
- Vehicular pavers

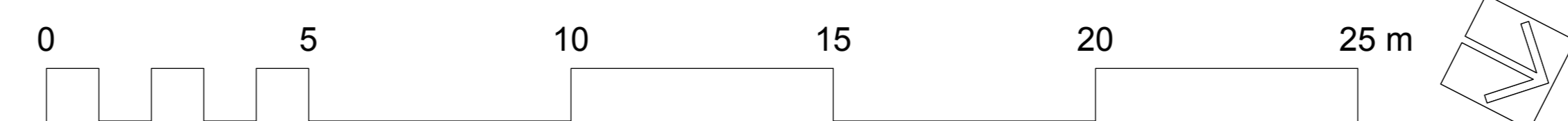
LIGHTING PLAN LEGEND

	Step / Wall Light
	Spot Light
	Bollard Light
	Path Light
	Down Light
	Street Light

MATERIALS AND FURNISHINGS

ID	REFERENCE	DESCRIPTION
SITE FURNISHINGS		
F1	2/L12.4	Radial seating
F3	1/L12.4	Bike racks
F4	8/L12.2	CIP planters
F5	7/L12.2	Metal planter
F6	3/L12.3	Metal fence & gate
F7	4/L12.4	Round concrete planters
F8	5/L12.4	Modular block seating
F9	3/L12.4	Tree Grate
F10	2/L12.4	Circular bench surround
MATERIALS		
M1	-/L.-	Wood decking
M2	1/L12.2	Paver A
M3	1/L12.2	Paver B
M4	1/L12.2	Paver C
M5	3/L12.2	Paver D
M6	3/L12.2	Paver E
M7	2/L12.2	Pedestrian concrete
M8	2/L12.3	Extensive green roof
M9	4/L12.3	Drip strip
M10	-/L.-	Engineered wood decking
M11	1/L12.3	Precast concrete pavers

1 Materials Plan: L1 A2-1
Scale: 1:100



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
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Issue No.	Date	Issue Notes
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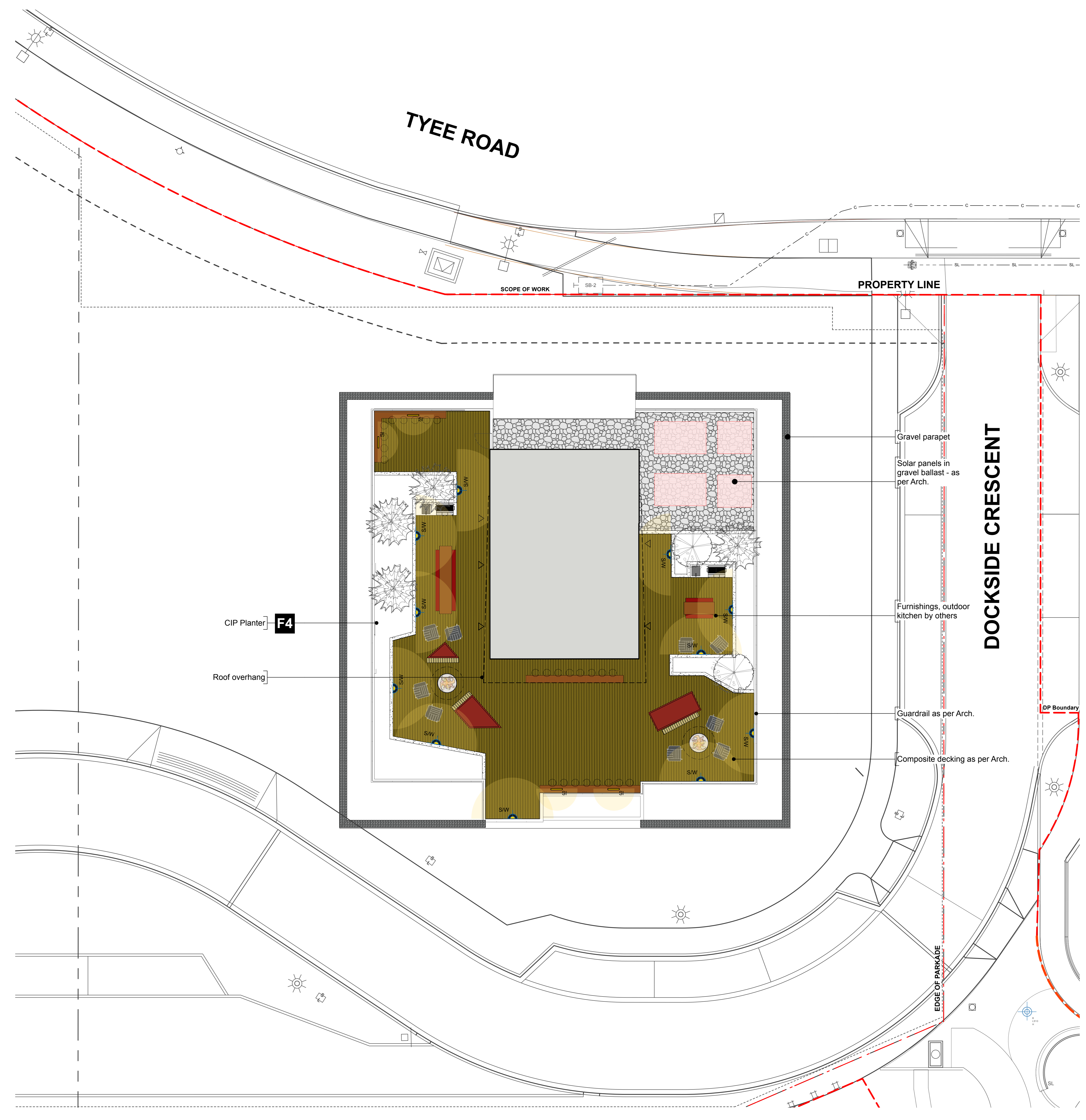
Project
Dockside Commons Precinct A2-1 and A2-2

**90 Esquimalt Road
 343 Tye Road**

Drawing Title
Materials Plan: Rooftop A2-1

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L4.5 19 38



TYEE ROAD

PROPERTY LINE

DOCKSIDE CRESCENT

EDGE OF PARKADE

SCOPE OF WORK

Gravel parapet
 Solar panels in gravel ballast - as per Arch.

Furnishings, outdoor kitchen by others

Guardrail as per Arch.

Composite decking as per Arch.

DP Boundary

CIP Planter **F4**

Roof overhang

LIGHTING PLAN LEGEND

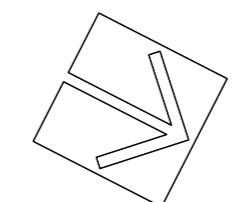
S/W	Step / Wall Light
Sp	Spot Light
B	Bollard Light
Pl	Path Light
DL	Down Light
ST	Street Light

MATERIALS AND FURNISHINGS

SITE FURNISHINGS	
ID	REFERENCE DESCRIPTION
F1	2/L12.4 Radial seating
F3	1/L12.4 Bike racks
F4	8/L12.2 CIP planters
F5	7/L12.2 Metal planter
F6	3/L12.3 Metal fence & gate
F7	4/L12.4 Round concrete planters
F8	5/L12.4 Modular block seating
F9	3/L12.4 Tree Grate
F10	2/L12.4 Circular bench surround

MATERIALS	
ID	REFERENCE DESCRIPTION
M1	-/L.- Wood decking
M2	1/L12.2 Paver A
M3	1/L12.2 Paver B
M4	1/L12.2 Paver C
M5	3/L12.2 Paver D
M6	3/L12.2 Paver E
M7	2/L12.2 Pedestrian concrete
M8	2/L12.3 Extensive green roof
M9	4/L12.3 Drip strip
M10	-/L.- Engineered wood decking
M11	1/L12.3 Precast concrete pavers

1 Materials Plan: Rooftop A2-1
 Scale: 1:100



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
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Issue No.	Date	Issue Notes
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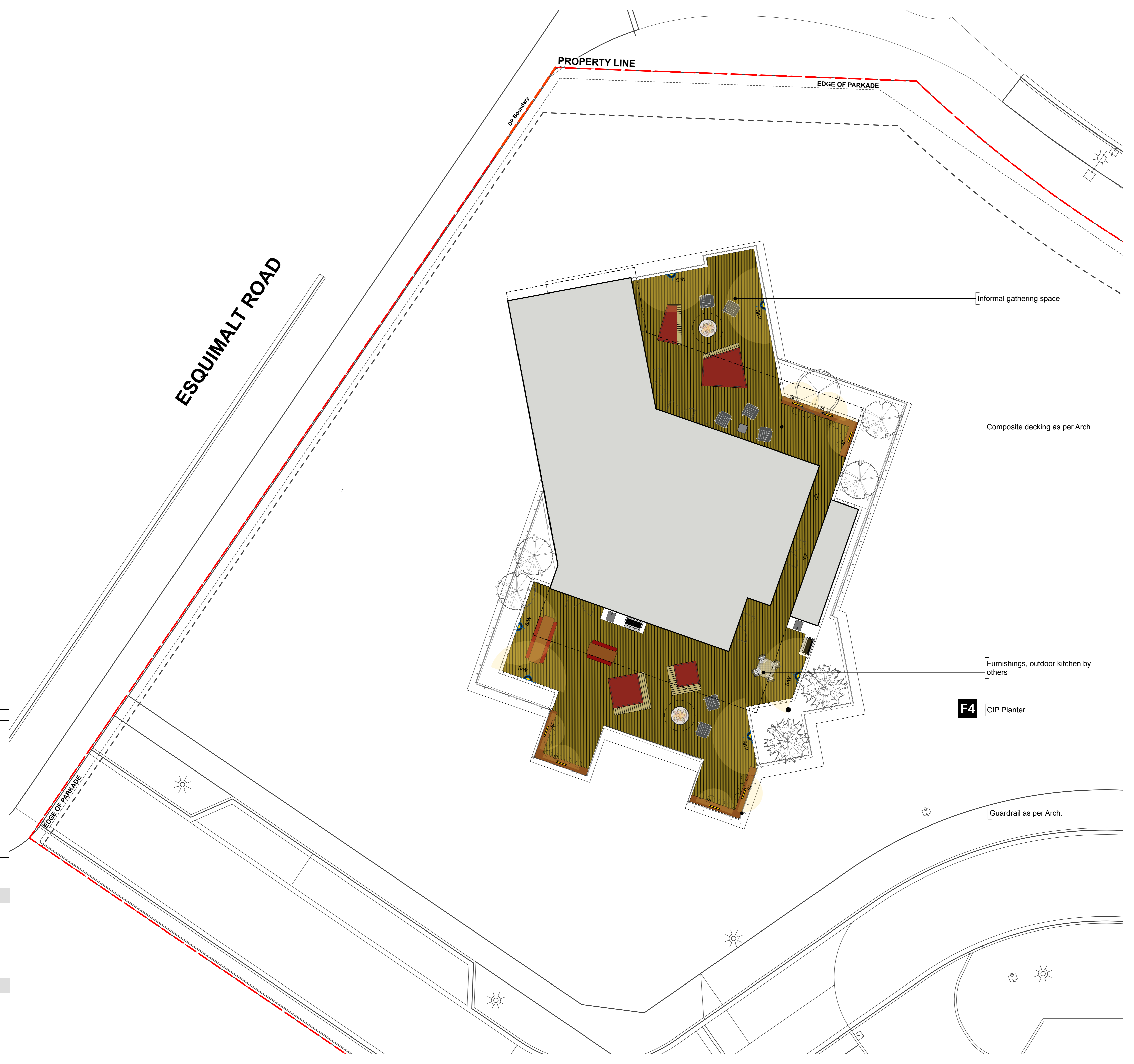
Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

Drawing Title
Materials Plan: Rooftop
A2-2

Legal

Project Manager	Project ID	Scale	Drawing No.
NT	22211		
Drawn By	Scale	Drawing No.	Date
TT	As Noted		
Reviewed By	Scale	Drawing No.	Date
2023.06.23			L4.6
			20
			38



LIGHTING PLAN LEGEND

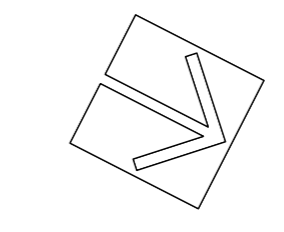
	Step / Wall Light
	Spot Light
	Bollard Light
	Path Light
	Down Light
	Street Light

MATERIALS AND FURNISHINGS

SITE FURNISHINGS		
ID	REFERENCE	DESCRIPTION
F1	2/L12.4	Radial seating
F3	1/L12.4	Bike racks
F4	8/L12.2	CIP planters
F5	7/L12.2	Metal planter
F6	3/L12.3	Metal fence & gate
F7	4/L12.4	Round concrete planters
F8	5/L12.4	Modular block seating
F9	3/L12.4	Tree Grate
F10	2/L12.4	Circular bench surround

MATERIALS		
ID	REFERENCE	DESCRIPTION
M1	-/L--	Wood decking
M2	1/L12.2	Paver A
M3	1/L12.2	Paver B
M4	1/L12.2	Paver C
M5	3/L12.2	Paver D
M6	3/L12.2	Paver E
M7	2/L12.2	Pedestrian concrete
M8	2/L12.3	Extensive green roof
M9	4/L12.3	Drip strip
M10	-/L--	Engineered wood decking
M11	1/L12.3	Precast concrete pavers

1 Materials Plan: Rooftop A2-2
 Scale: 1:100



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

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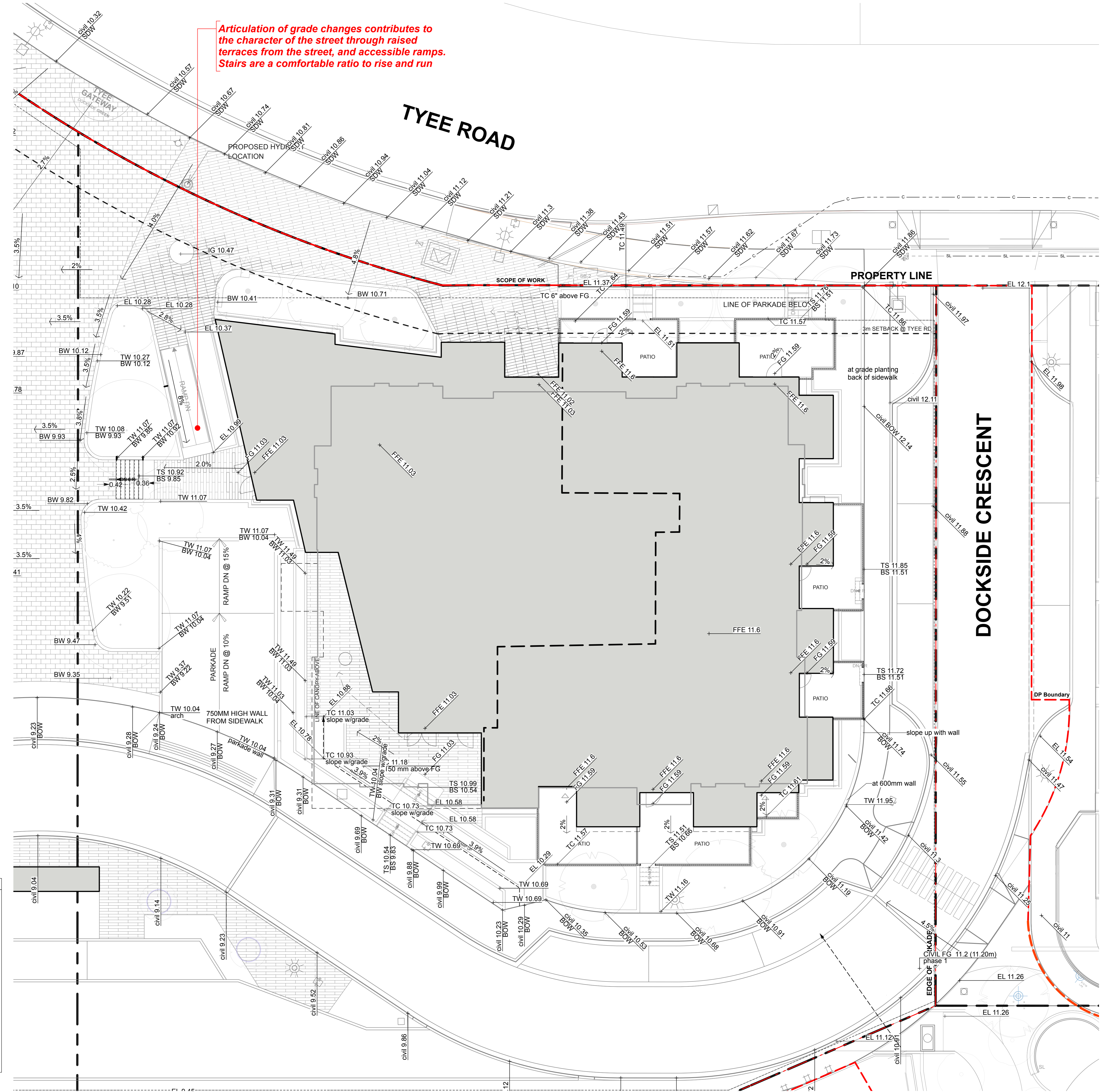
Project
Dockside Commons
Precinct A2-1 and A2-2

Address
90 Esquimalt Road
343 Tye Road

Drawing Title
Landscape Grading
& Drainage Plan: L1
A2-1

Legal

Project Manager	Project ID
NT	22211
Drawn By	Scale
TT	As Noted
Reviewed By	Drawing No.
	L6.1
Date	Page
2023.06.23	21
	38

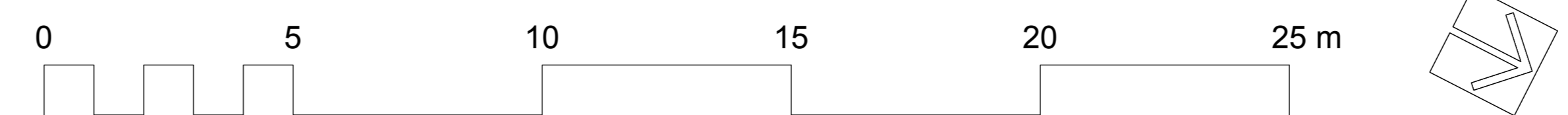


Articulation of grade changes contributes to the character of the street through raised terraces from the street, and accessible ramps. Stairs are a comfortable ratio to rise and run

LANDSCAPE GRADING & DRAINAGE PLAN LEGEND

TW 0.00m	TW - Top of Wall
BW 0.00m	BW - Bottom of Wall
TS 0.00m	TS - Top of Step
BS 0.00m	BS - Bottom of Step
ToS 0.00m	ToS - Top of Slab
FFE 0.00m	FFE - Finish Floor
PG 0.00m	PG - Proposed Grade
EG 0.00m	EG - Existing Grade
IG 0.00m	IG - Interpolated Grade
BOW 0.00m	BOW - Back of Walk (CIVIL)
1% - 5% MIN/MAX	Slope
AD	Area Drain
LB	Lawn Basin
PD	Planter Drain
TD	Trench Drain

1 Landscape Grading & Drainage Plan: L1 A2-1
Scale: 1:100



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RdDP
C	2023-06-23	Issued for RdDP

Issue No.	Date	Issue Notes
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Project
 Dockside Commons
 Precinct A2-1 and A2-2

Address
 90 Esquimalt Road
 343 Tye Road

Drawing Title
 Landscape Grading
 & Drainage Plan: L1
 A2-2

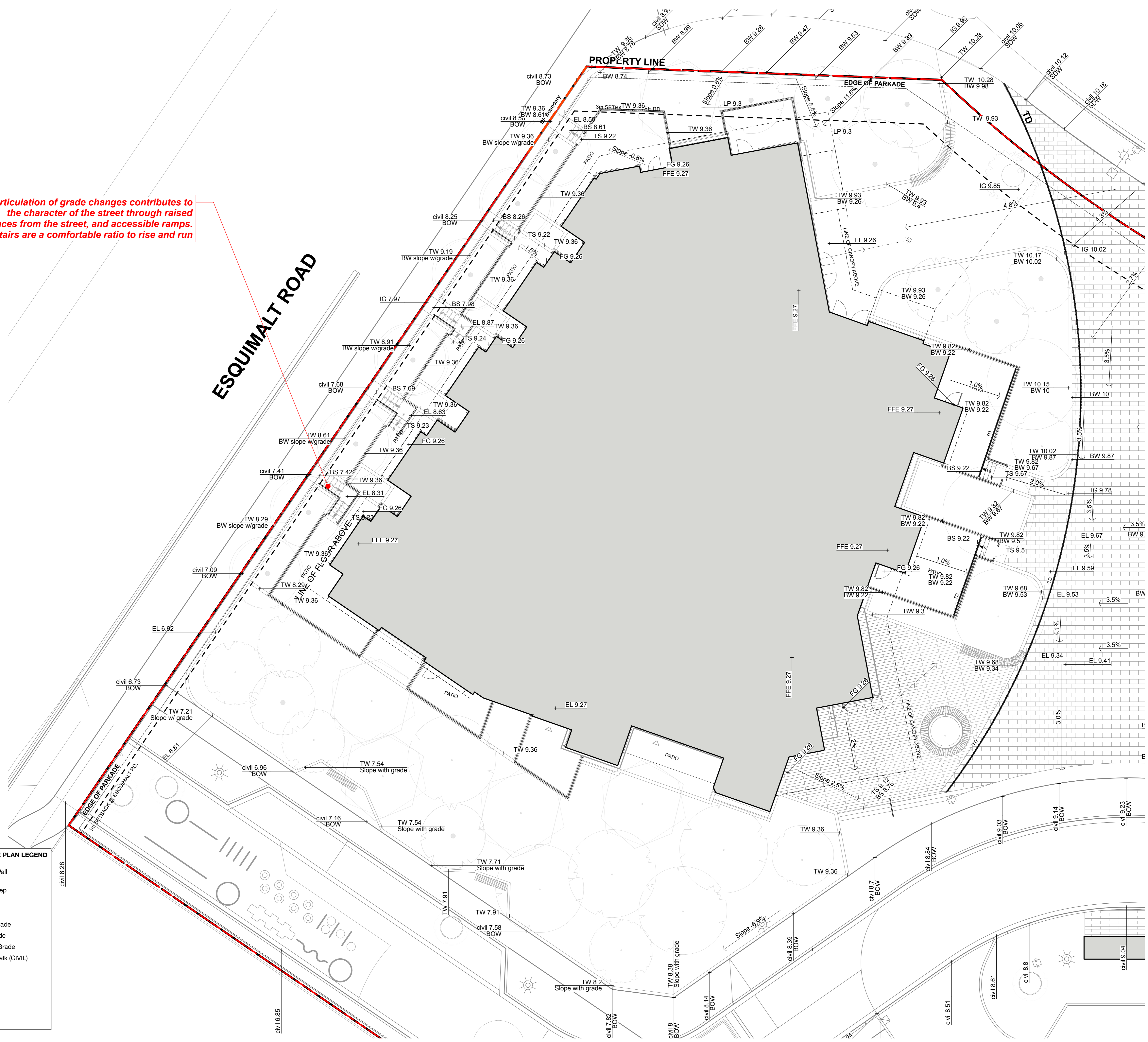
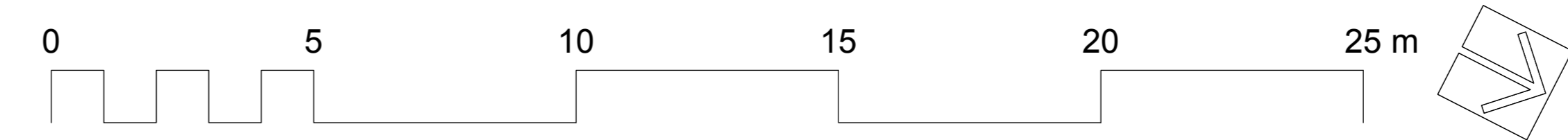
Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No. L6.2
Date 2023.06.23	Page 22 of 38

Articulation of grade changes contributes to the character of the street through raised terraces from the street, and accessible ramps. Stairs are a comfortable ratio to rise and run

LANDSCAPE GRADING & DRAINAGE PLAN LEGEND	
TW 0.00m	TW - Top of Wall
BW 0.00m	BW - Bottom of Wall
TS 0.00m	TS - Top of Step
BS 0.00m	BS - Bottom of Step
ToS 0.00m	ToS - Top of Slab
FFE 0.00m	FFE - Finish Floor
PG 0.00m	PG - Proposed Grade
EG 0.00m	EG - Existing Grade
IG 0.00m	IG - Interpolated Grade
BOW 0.00m	BOW - Back of Walk (CIVIL)
1% - 5%	Slope
AD	Area Drain
LB	Lawn Basin
PD	Planter Drain
TD	Trench Drain

1 Landscape Grading & Drainage Plan: L1 A2-2
 Scale: 1:100



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Project
Dockside Commons
Precinct A2-1 and A2-2

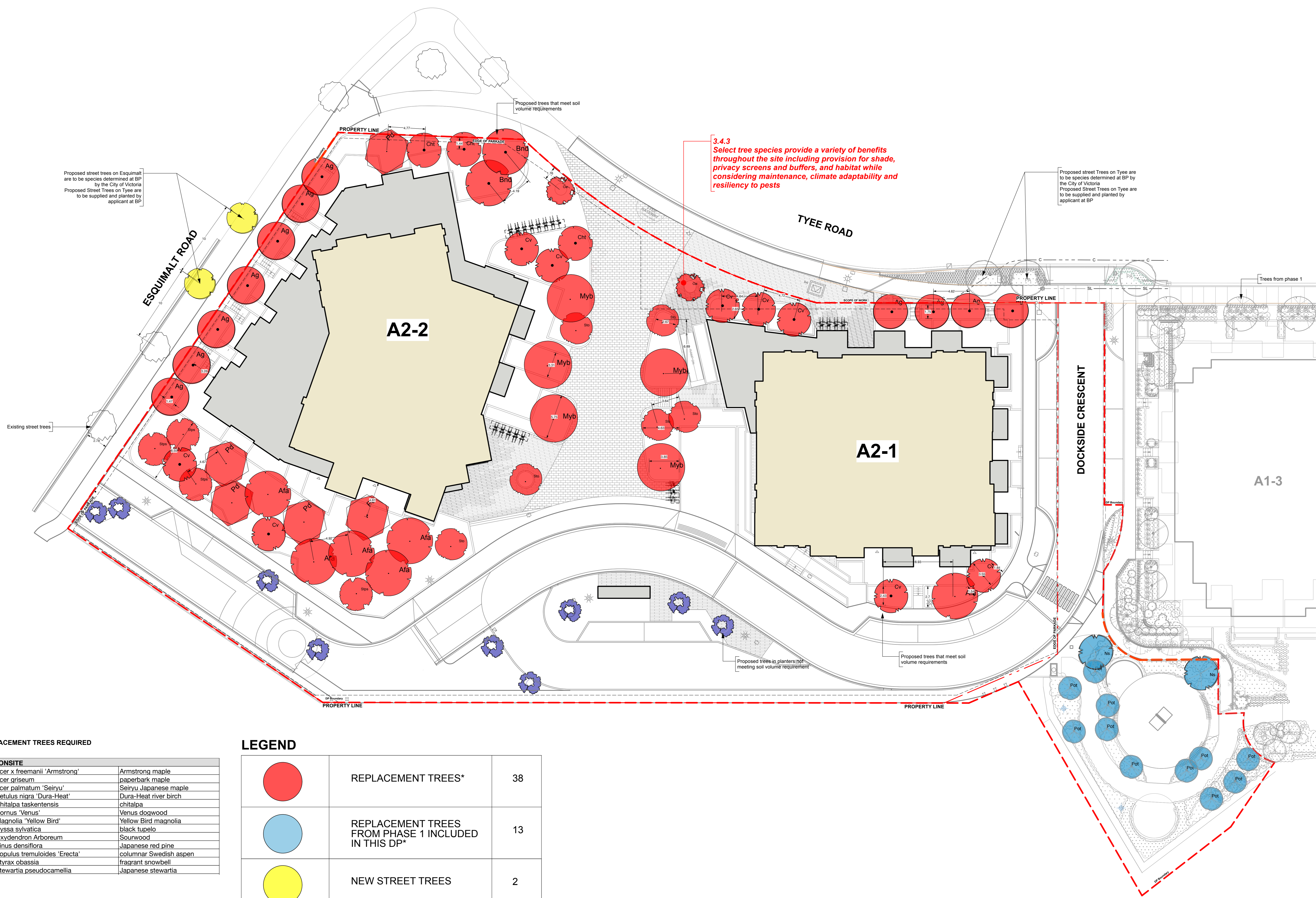
Address
90 Esquimalt Road
343 Tye Road

Drawing Title

Tree Plan: L1

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No. L7.0
Date 2023.06.23	Page 23 of 38



3.4.3
Select tree species provide a variety of benefits throughout the site including provision for shade, privacy screens and buffers, and habitat while considering maintenance, climate adaptability and resiliency to pests

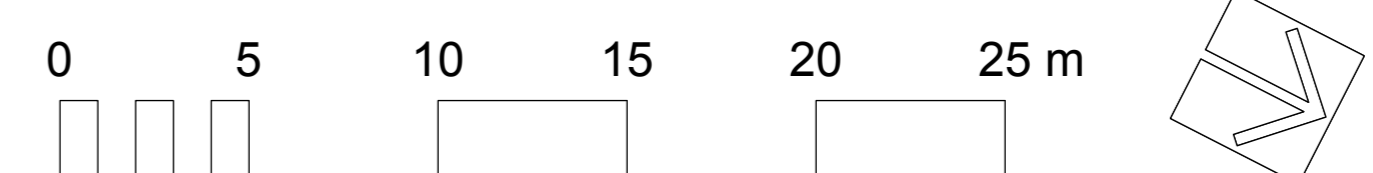
36 REPLACEMENT TREES REQUIRED

TREES - ONSITE		
Afa	Acer x freemanii 'Armstrong'	Armstrong maple
Aq	Acer griseum	paperbark maple
Aps	Acer palmatum 'Seiryu'	Seiryu Japanese maple
Bnd	Betulus nigra 'Dura-Heat'	Dura-Heat river birch
Chl	Chitalpa taskentensis	chitalpa
Cv	Cornus 'Venus'	Venus dogwood
Myb	Magnolia 'Yellow Bird'	Yellow Bird magnolia
Ns	Nyssa sylvatica	black tupelo
Oa	Oxydendron Arboreum	Sourwood
Pd	Pinus densiflora	Japanese red pine
Pot	Populus tremuloides 'Erecta'	columnar Swedish aspen
Sto	Styrax obassia	fragrant snowbell
Stps	Stewartia pseudocamellia	Japanese stewartia

LEGEND

	REPLACEMENT TREES*	38
	REPLACEMENT TREES FROM PHASE 1 INCLUDED IN THIS DP*	13
	NEW STREET TREES	2
	INTERIM TREES (Planters)	9
	EXISTING TREES	5

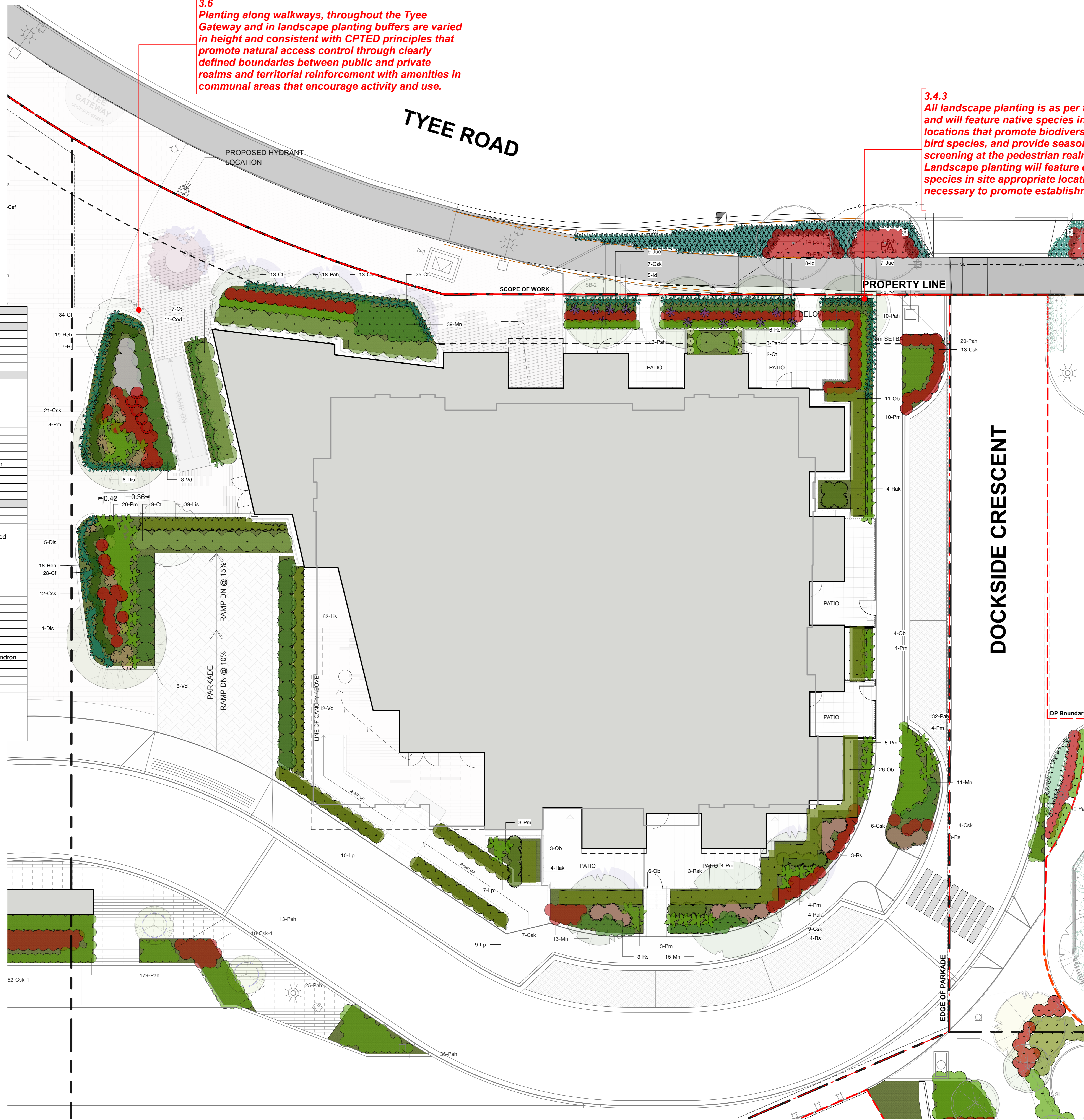
* Trees selected from Part 1 and Part 2 of the Municipal Tree Protection Bylaw No. 21-035



3.6
Planting along walkways, throughout the Tye Gateway and in landscape planting buffers are varied in height and consistent with CPTED principles that promote natural access control through clearly defined boundaries between public and private realms and territorial reinforcement with amenities in communal areas that encourage activity and use.

3.4.3
All landscape planting is as per the design guidelines and will feature native species in site appropriate locations that promote biodiversity for pollinators and bird species, and provide seasonal interest and screening at the pedestrian realm. Landscape planting will feature drought tolerant native species in site appropriate locations. Irrigation will be as necessary to promote establishment.

ID	LATIN NAME	COMMON NAME
TREES - OFF-SITE		
OT 01	Ornamental Tree 01	Ornamental Tree 01
OT 04	City of Victoria Tree	City of Victoria Tree
TREES - ONSITE		
Afa	Acer x freemanii 'Armstrong'	Armstrong maple
Ag	Acer griseum	paperbark maple
Aps	Acer palmatum 'Seiryu'	Seiryu Japanese maple
Bnd	Betulus nigra 'Dura-Heat'	Dura-Heat river birch
ChT	Chitalpa taskentensis	chitalpa
Cv	Cornus 'Venus'	Venus dogwood
Myb	Magnolia 'Yellow Bird'	Yellow Bird magnolia
Ns	Nyssa sylvatica	black tupelo
Oa	Oxydendron Arboreum	Sourwood
Pd	Pinus densiflora	Japanese red pine
Pop	Populus tremuloides 'Erecta'	columnar Swedish aspen
Sto	Styrax obassia	fragrant snowbell
Stps	Stewartia pseudocamellia	Japanese stewartia
SHRUBS / GROUNDCOVERS / PERENNIALS		
Cf	Carex flacca	blue sedge
Cod	Cotoneaster dammeri	bearberry cotoneaster
Csf	Cornus sericea 'Flaviramea'	yellow twig dogwood
Csk	Cornus sericea 'kelseyi'	Dwarf Red Osier dogwood
Ct	Choisya ternata	Mexican mock orange
Dis	Dicentra spectabilis	bleeding heart
Heh	Helleborus x hybridus 'Royal Heritage'	hellebore
Id	Iris douglasiana	Douglas iris
Jue	Juncus effusus	common rush
Lis	Liriope spicata	creeping lily turf
Lp	Lonicera pileata	box leaf honeysuckle
Mn	Mahonia nervosa	longleaf mahonia
Ob	Osmanthus x burkwoodii	fragrant olive
Pa	Pennisetum alopecuroides	Fountain Grass
Pah	Pennisetum alopecuroides 'Hamel'	dwarf fountain Grass
Pca	Physocarpus capitatus	pacific ninebark
Pm	Polystichum munitum	sword fern
Pt	Pachysandra terminalis	Japanese spurge
Rak	Rhododendron 'Anah Kruschke'	Anah Kruschke rhododendron
Rc	Rubus calycioides	creeping bramble
Rr	Rosa rugosa	rugosa rose
Rs	Ribes sanguineum 'King Edward'	flowering currant
Sa	Symphoricarpos albus	snowberry
Tmh	Taxus x media 'Hicksii'	Angiojap yew
Vd	Viburnum davidii	David's viburnum



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Project
 Dockside Commons
 Precinct A2-1 and A2-2

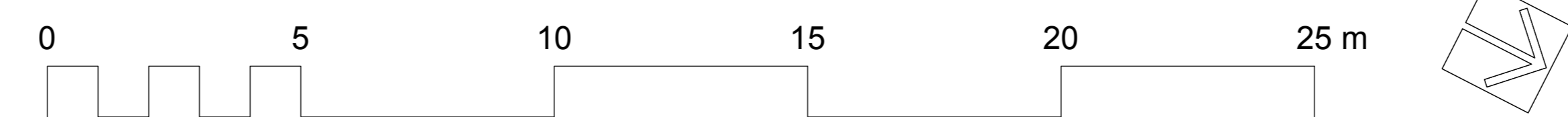
Address
 90 Esquimalt Road
 343 Tye Road

Drawing Title
 Planting Plan: L1
 A2-1

Legal

Project Manager	Project ID
NT	22211
Drawn By	Scale
TT	As Noted
Reviewed By	Drawing No.
Date	L8.1
2023.06.23	24
	38

1 Planting Plan: L1 A2-1
 Scale: 1:100



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

Issue No.	Date	Issue Notes
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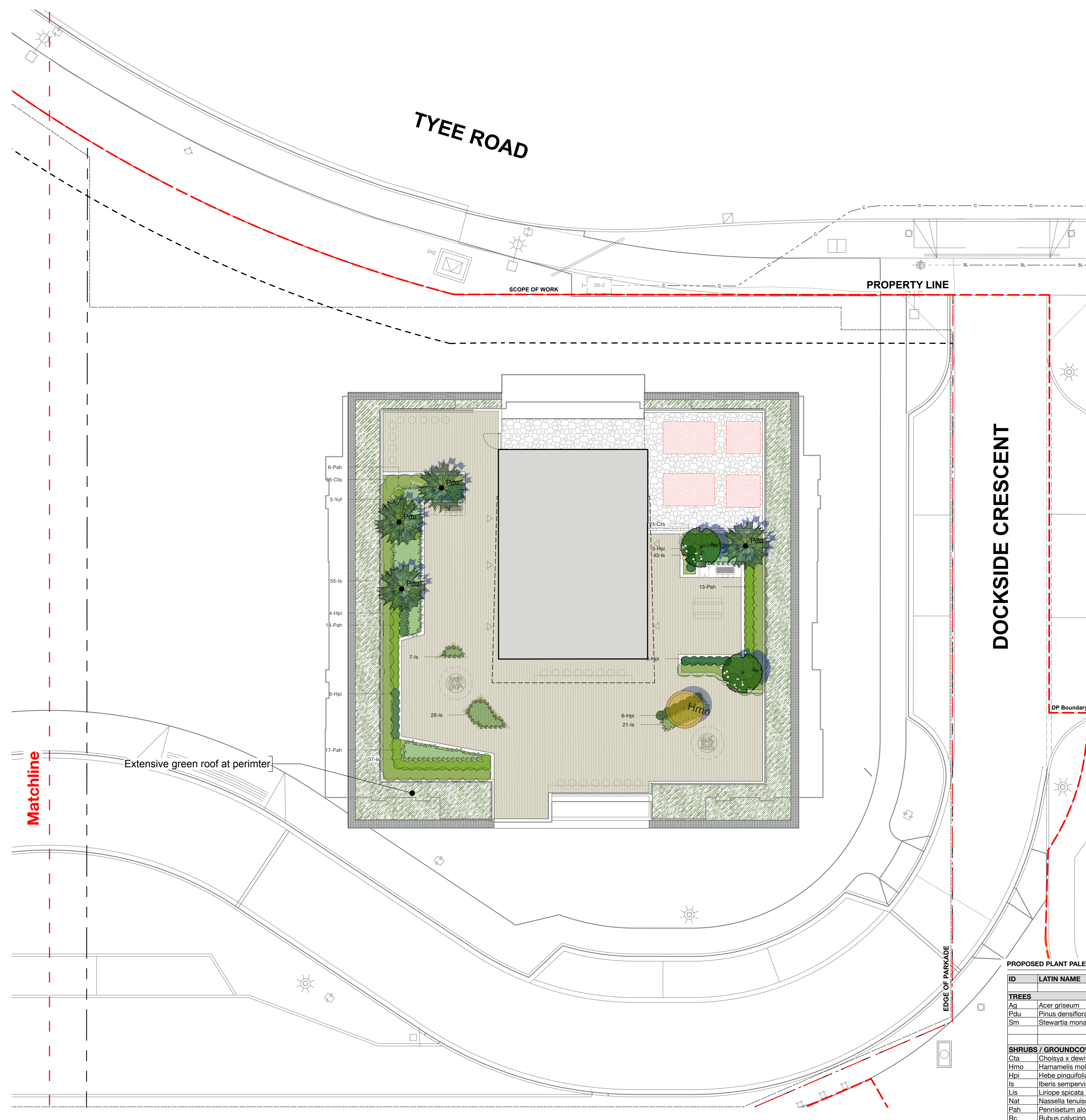
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Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

Drawing Title
Planting Plan: Rooftop.
A2-1

Project Manager NT	Project ID 22211	Scale As Noted	L8.5
Drawn By TT	Scale As Noted	Drawing No. 26	
Reviewed By			38
Date 2023.06.23			



1 Planting Plan: Rooftop A2-1
Scale: 1:100



PROPOSED PLANT PALETTE: ROOFTOP

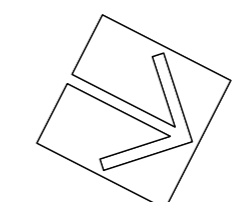
ID	LATIN NAME	COMMON NAME
TREES		
Aq	Acer griseum	paperbark maple
Pdu	Pinus densiflora 'Umbraculifera'	Japanese red pine
Sm	Stewartia monadelpha	orangebark stewartia
SHRUBS / GROUNDCOVERS / PERENNIALS		
Cta	Choisya x dewitteana 'Aztec Pearl'	Aztec Pearl mock orange
Hmo	Hamelis mollis	Chinese witch hazel
Hpi	Hebe pinnatifolia	hebe
Is	Iberis sempervirens 'Snowflake'	snowflake candytuft
Lis	Liriope spicata	creeping lily turf
Nat	Nassella tenuissima	Mexican feather grass
Pah	Pennisetum alopecuroides 'Hameln'	dwarf fountain Grass
Rc	Rubus calycinoides	creeping bramble
Yuf	Yucca flaccida	Adam's needle



PROPOSED PLANT PALETTE: ROOFTOP

ID	LATIN NAME	COMMON NAME
TREES		
Ag	<i>Acer griseum</i>	paperbark maple
Pdu	<i>Pinus densiflora</i> 'Umbraculifera'	Japanese red pine
Sm	<i>Stewartia monadelpha</i>	orangebark stewartia
SHRUBS / GROUNDCOVERS / PERENNIALS		
Cia	<i>Choisya x dewitteana</i> 'Aztec Pearl'	Aztec Pearl mock orange
Hmo	<i>Hamamelis mollis</i>	Chinese witch hazel
Hpi	<i>Hebe pinnatifolia</i>	hebe
Is	<i>Iberis sempervirens</i> 'Snowflake'	snowflake candytuft
Lis	<i>Liriope spicata</i>	creeping lily turf
Nat	<i>Nassella tenuissima</i>	Mexican feather grass
Pah	<i>Pennisetum alopecuroides</i> 'Hameln'	dwarf fountain Grass
Rc	<i>Rubus calycinoides</i>	creeping bramble
Yuf	<i>Yucca flaccida</i>	Adam's needle

1 Planting Plan: Rooftop A2-2
Scale: 1:100



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

Issue No.	Date	Issue Notes
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B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

Drawing Title
Planting Plan: Rooftop
A2-2

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L8.6 27 of 38

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

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Project
Dockside Commons Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tyee Road

Drawing Title
Soil Depth Plan: L1

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L9.1 28 38

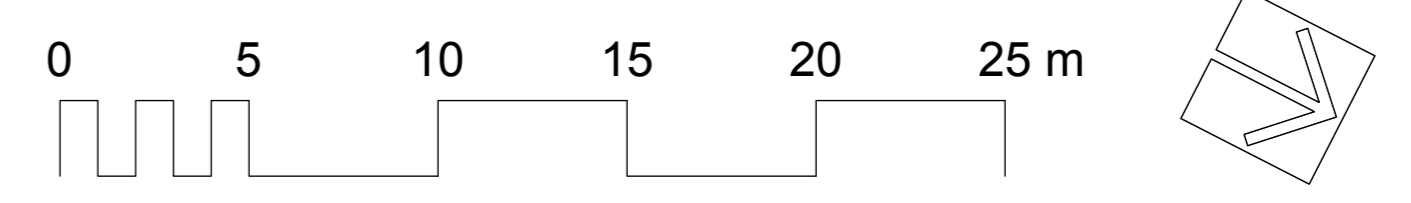


LEGEND:

- 610 mm [Hatched pattern]
- 900 mm [Hatched pattern]
- 1067 mm [Hatched pattern]
- SOIL CELLS - 2X 784mm [Grid pattern]

Planting Area ID	Area (m2)	Replacement Trees Proposed							Soil Volume Required (m³)			Multiplier used	Medium
		A. Estimated Soil Volume Multiplier	B. Small	C. Medium	D. Large	E. Small	F. Medium	G. Large	Total				
Planting Area 1	26	0.9	23.4	1				8	0	0	8	8	6
Planting Area 2	14	0.9	12.6	2				12	0	0	12	6	6
Planting Area 3	8	0.9	7.2	1				8	0	0	8	8	6
Planting Area 4	88	0.9	34.2	3				18	0	0	18	6	6
Planting Area 5	11	0.9	9.9	1				8	0	0	8	8	6
Planting Area 6	11	0.9	9.9	1				8	0	0	8	8	6
Planting Area 7	116	0.9	104.4	2	3			16	45	0	61	8	15
Planting Area 8	13	1.07	11.77	2				12	0	0	12	6	6
Planting Area 9	8	1	8	1				8	0	0	8	8	6
Planting Area 10	8	1	8	1				8	0	0	8	8	6
Planting Area 11	8	1	8	1				8	0	0	8	8	6
Planting Area 12	11	1.07	11.77	2				12	0	0	12	6	6
Planting Area 13	323	0.9	290.7	6	7			36	105	0	141	6	6
Planting Area 14	98	0.9	88.2	1	2			8	30	0	38	8	15
Planting Area 15	11	0.9	9.9	1				8	0	0	8	8	6
Planting Area 16	35	0.9	31.5	1	1			0	20	0	20	8	20
Planting Area 17	26	0.9	23.4	1	1			0	20	0	20	0	20
Planting Area 18	53	0.9	47.7	4	1			24	20	0	44	6	20
Planting Area 19	38	0.9	34.2	1	1			8	20	0	28	8	20
Planting Area 20	57	0.9	51.3	2	1			12	20	0	32	6	20
Planting Area 21	13.98	0.9	12.582	1	0			8	0	0	8	8	6
Planting Area 22	37.9	0.9	34.11	1	1			6	15	0	21	6	6
Planting Area 23	119	0.9	107.1	0	4			0	60	0	60	15	15
Planting Area 24	66	1.9	125.4	0	6			0	90	0	90	15	15
Planting Area 25	11	2.9	31.9	0	2			0	30	0	30	15	15

1 Soil Depth Plan: L1
Scale: 1:200



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Project
Dockside Commons
Precinct A2-1 and A2-2

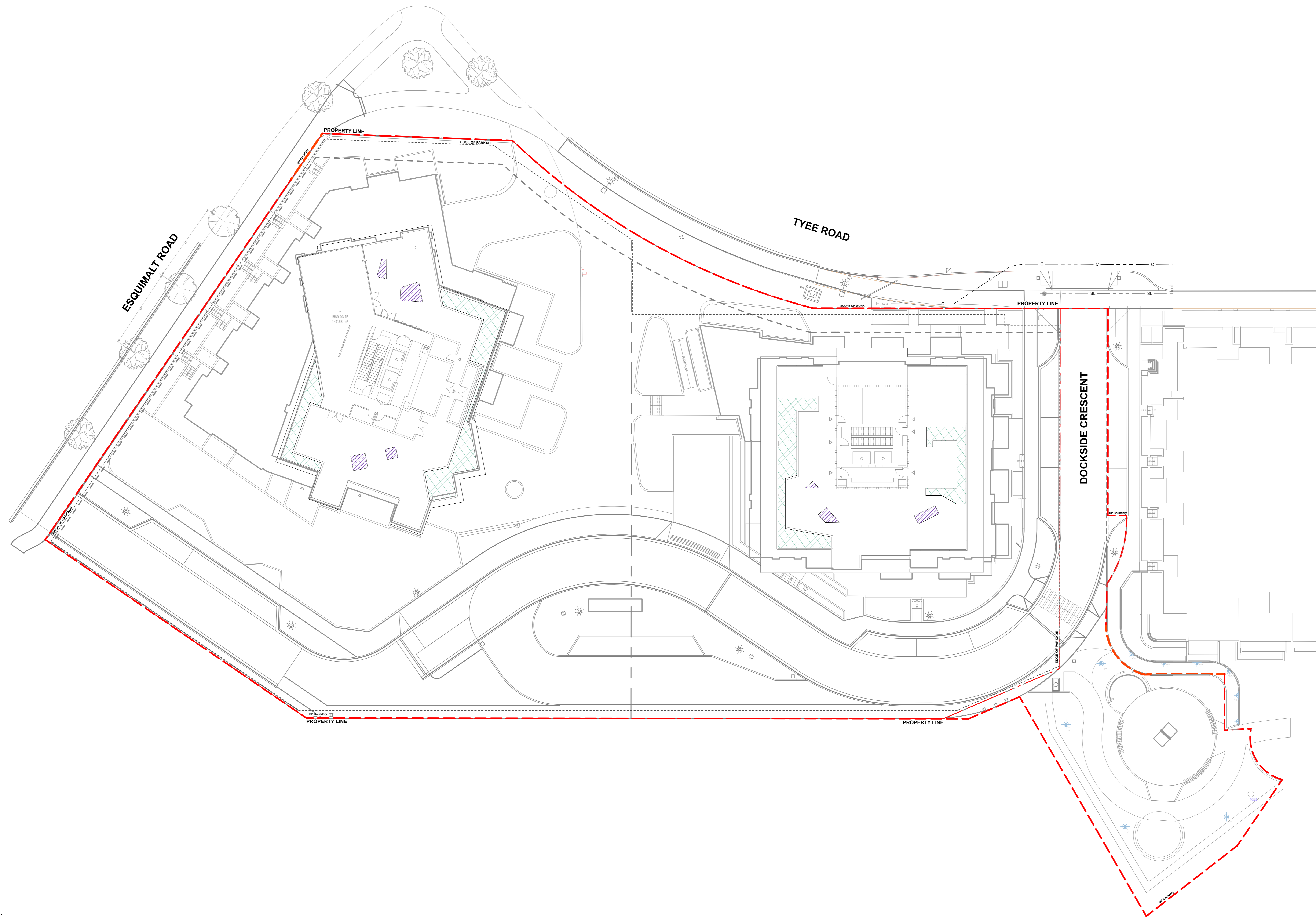
90 Esquimalt Road
343 Tyee Road

Drawing Title

Soil Depth Plan: Rooftop

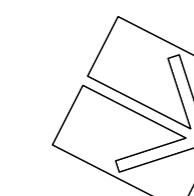
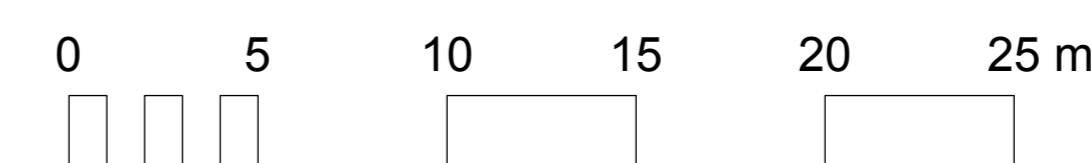
Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L9.2 29 38



LEGEND:	
610 mm	
1067 mm	

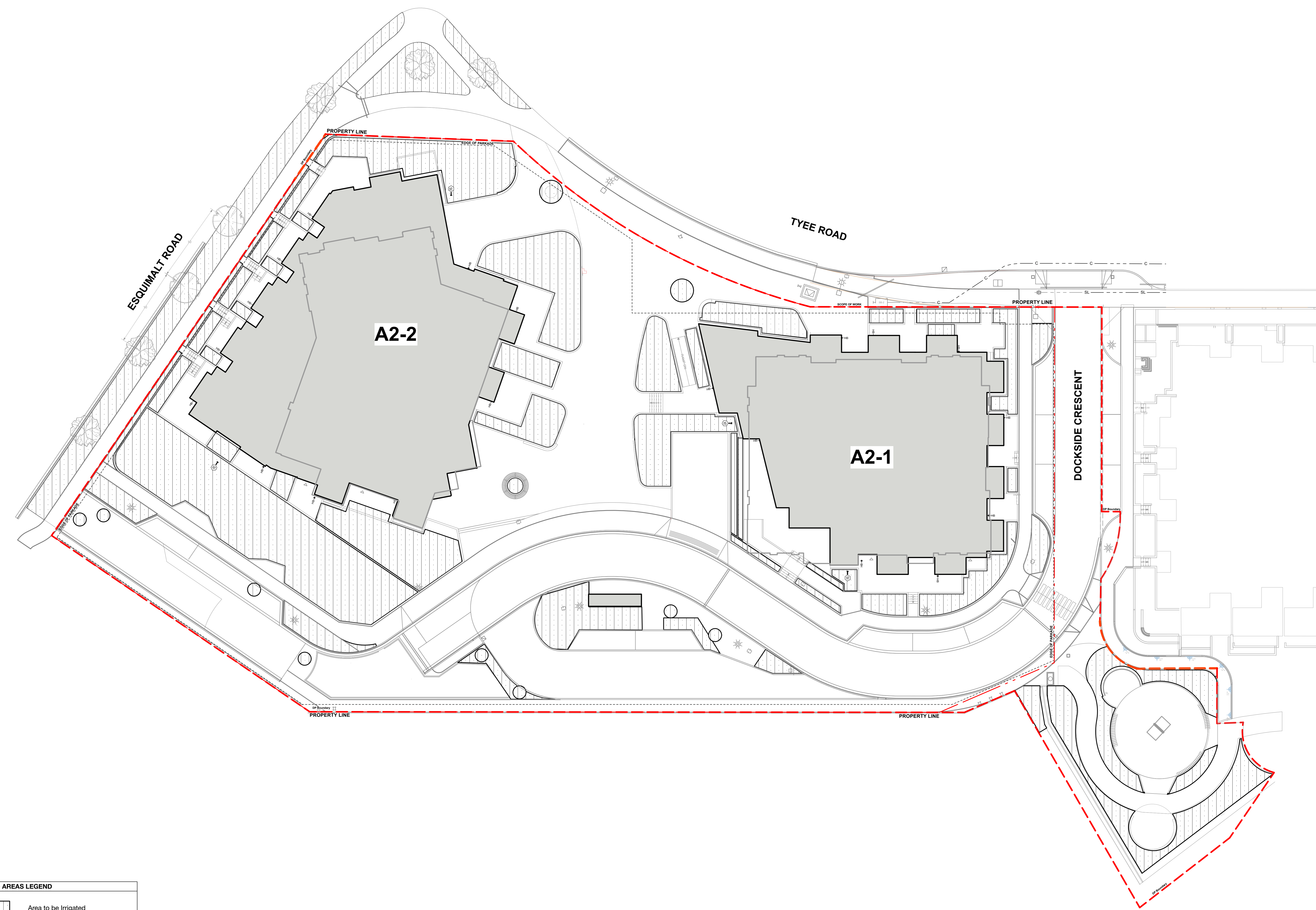
1 Soil Depth Plan: Rooftop
Scale: 1:200



Revision No.	Date	Revision Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

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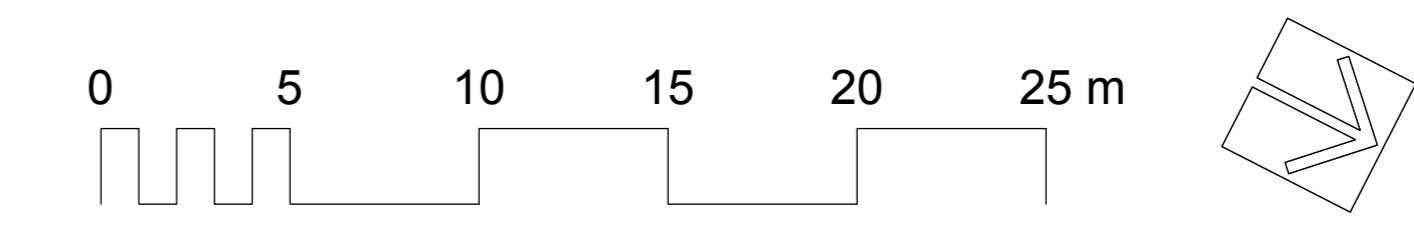
IRRIGATED AREAS LEGEND

	Area to be Irrigated
	Irrigation Stub-out
	Hosebib
	Gas Connection

Note:

1. Refer to Canadian landscape standard, typ.
2. This sheet is for reference only. Contractor to refer to Irrigation drawings for the Irrigation design.
3. Final locations per Mechanical.
4. Shop drawings to be provided prior to installation for Landscape review.

1 Soil Depth Plan: L1
Scale: 1:200



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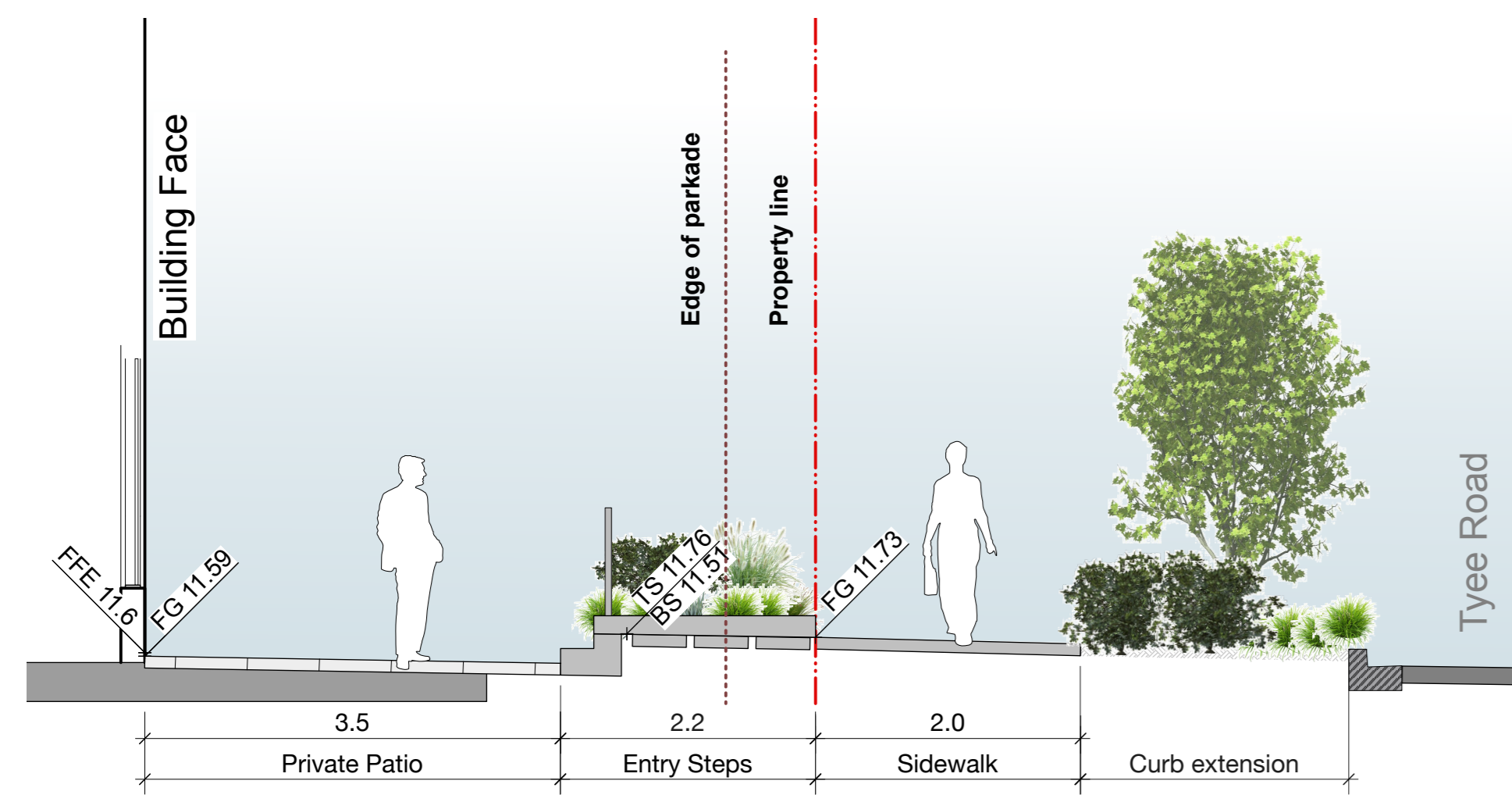
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Project
Dockside Commons
Precinct A2-1 and A2-2

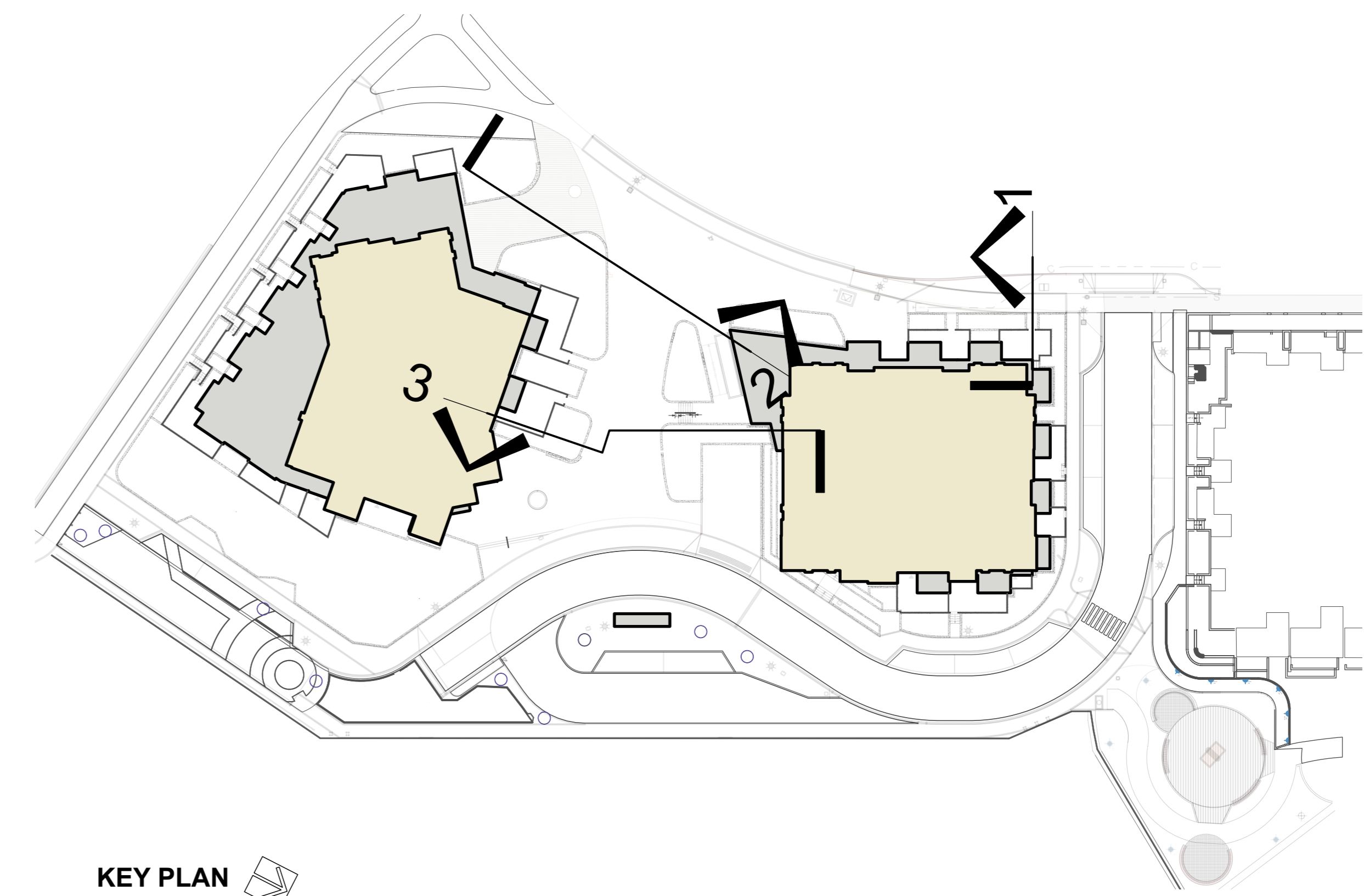
90 Esquimalt Road
343 Tyee Road

Drawing Title
Irrigated Area Plan: L1

Project Manager NT	Project ID 22211	Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted	Drawn By TT	Scale As Noted
Reviewed By	Drawing No.	Date 2023.06.23	L10.1 of 38

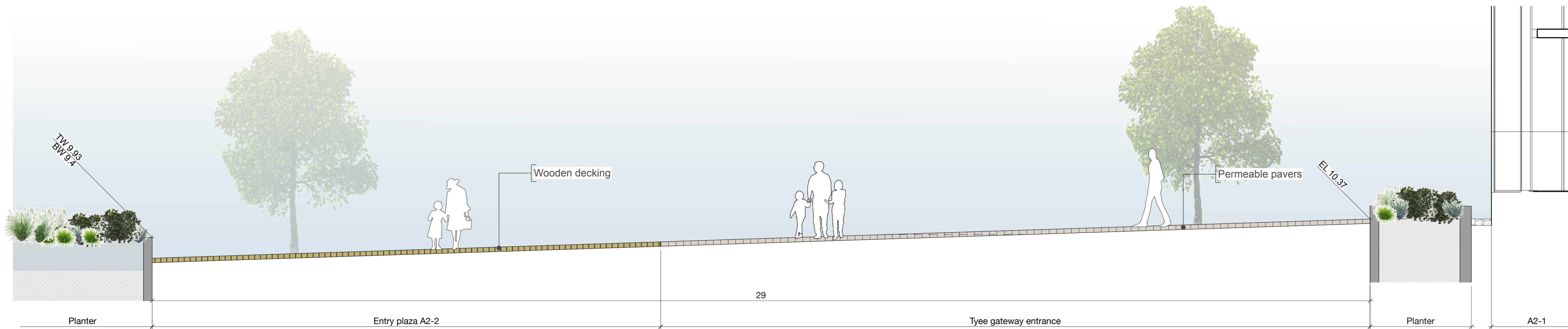


1 Section 1: Residential entry on Tye Road
Scale: 1:50

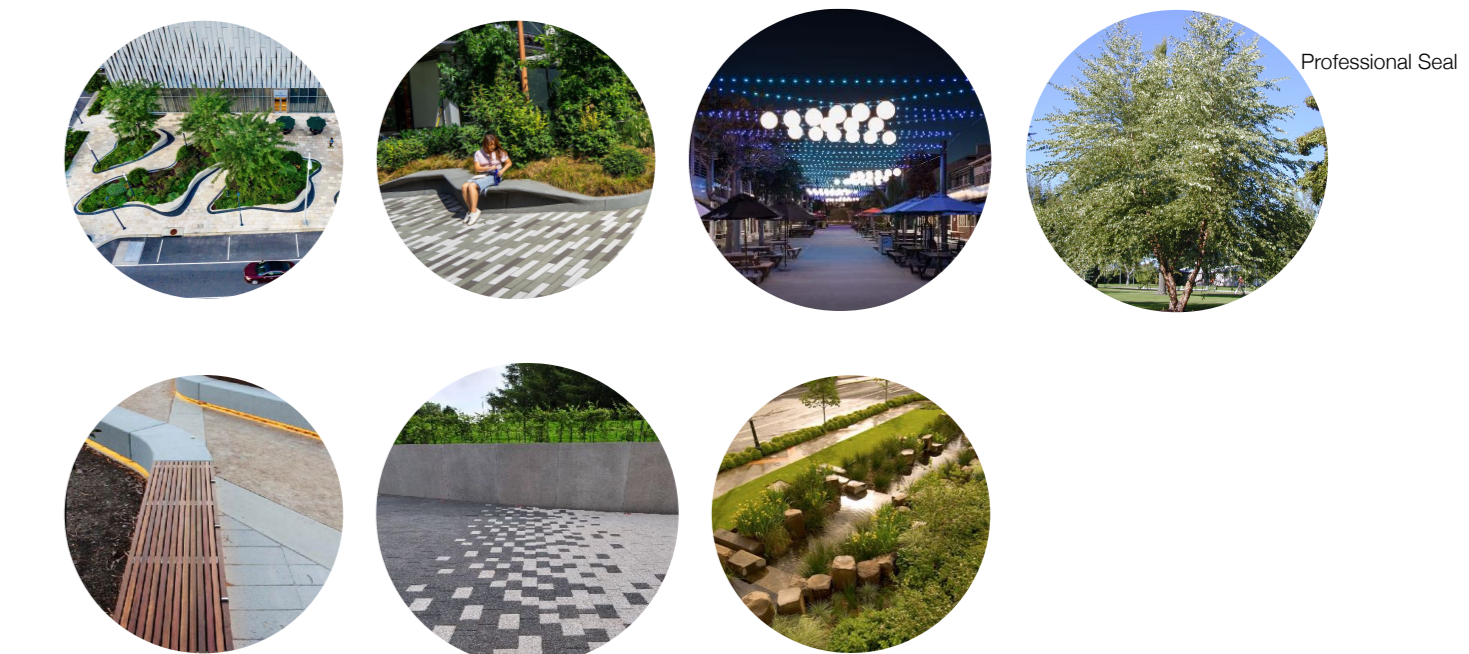


Issue

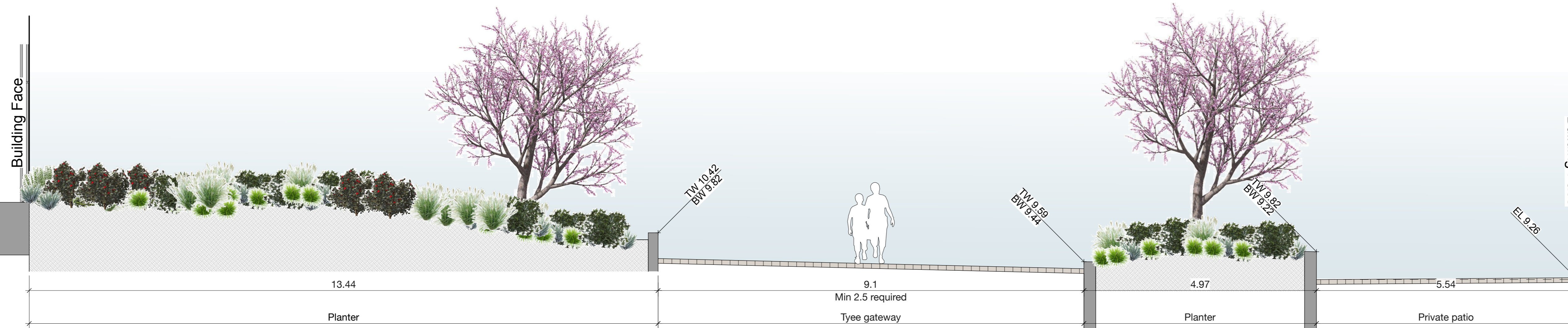
No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP



2 Section 2: Section across Tye Gateway Entrance
Scale: 1:50



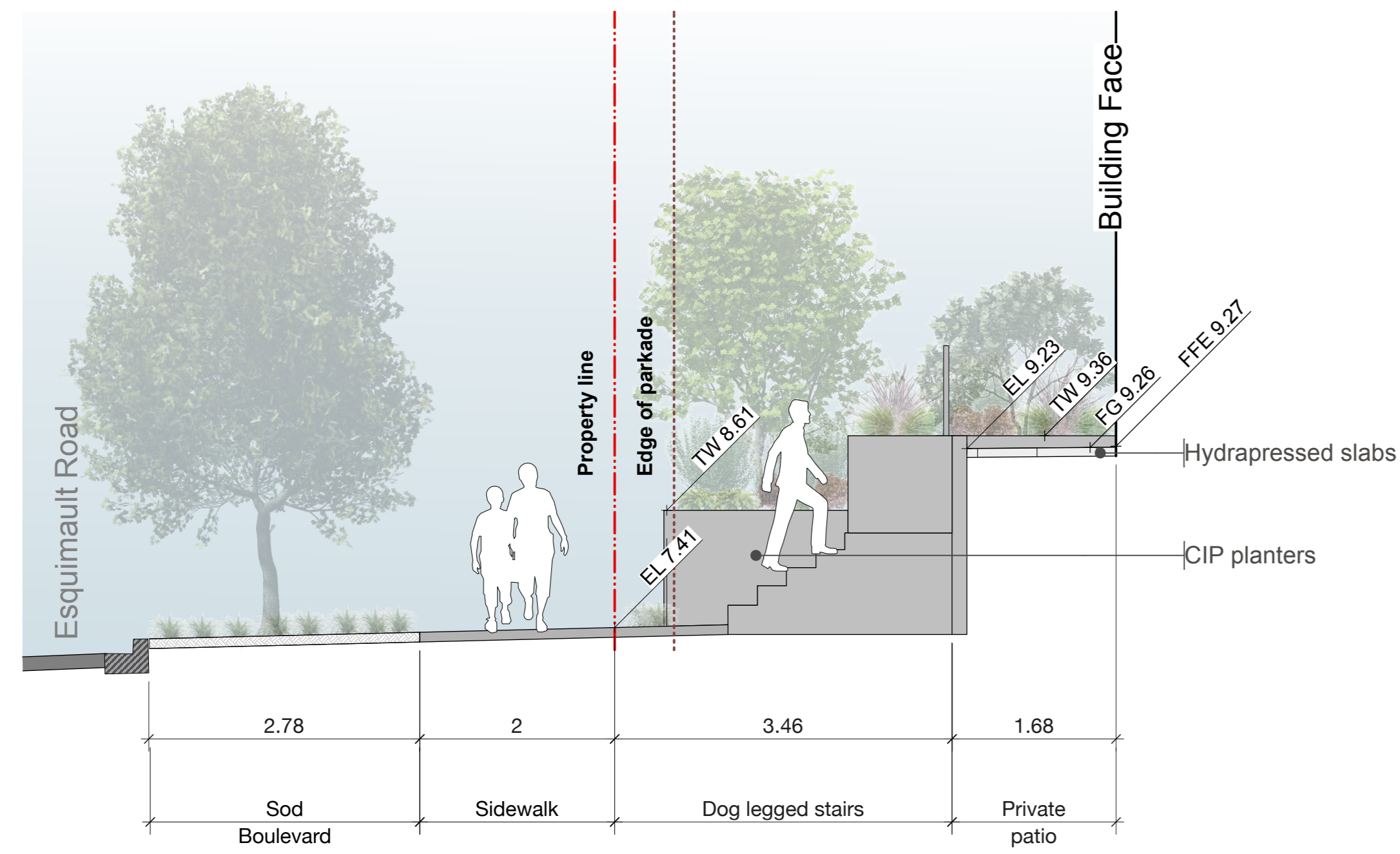
The Tye Gateway connection provides the entry point to the development. An expansive entry and linear plaza invite pedestrian circulation and engagement with the site as a whole.



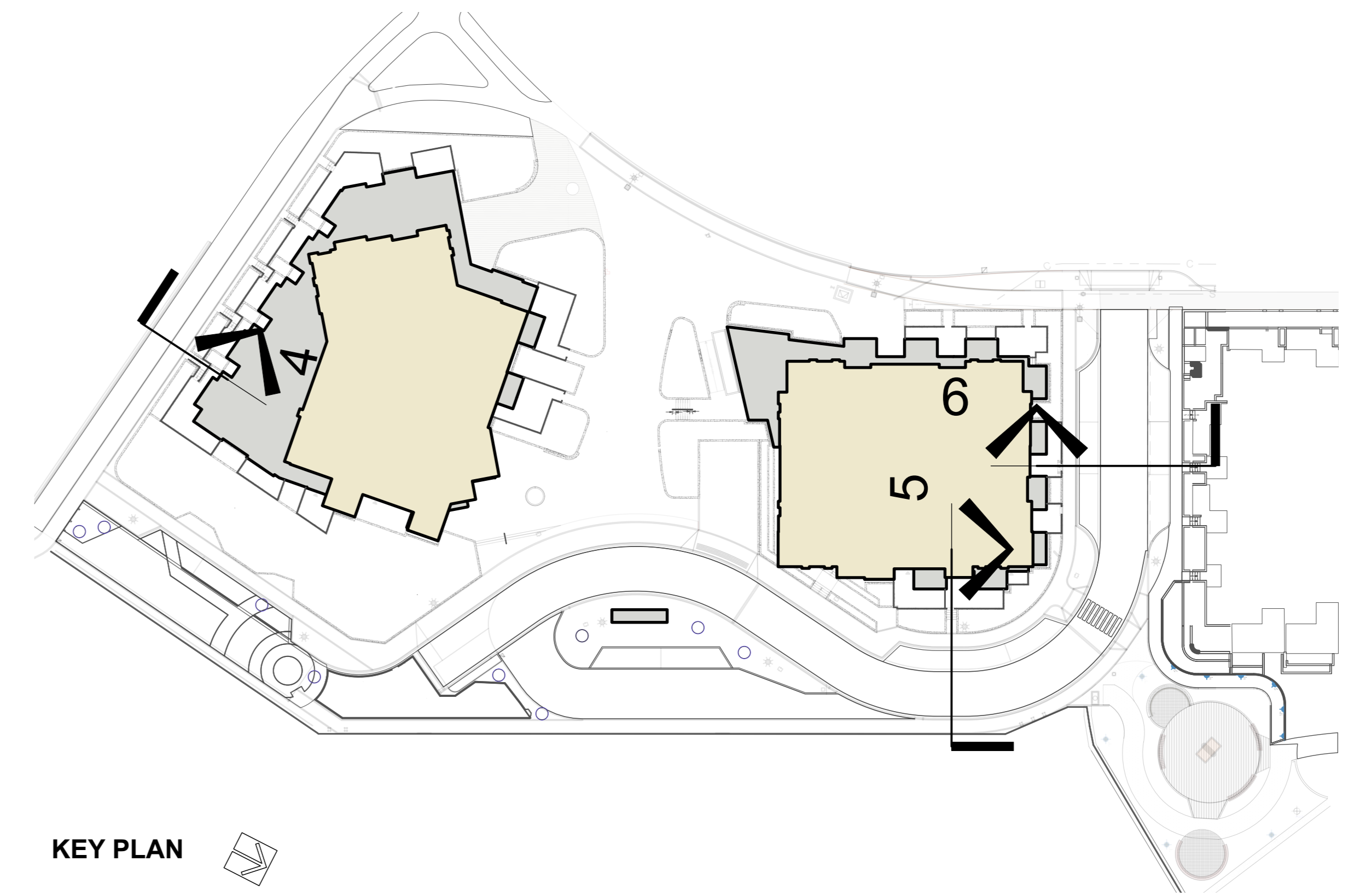
3 Section 3: Connecting pathway between A2-2 and A2-1
Scale: 1:50



The planting is layered and varied in height. Consistent with CPTED principles, the planting design promotes natural surveillance through clear sightlines and visual permeability, natural access control through clearly defined boundaries between public and private realms, and territorial reinforcement with amenities in communal areas that encourage activity and use.



4 Section 4: Entry off Esquimault Road to private patio A2-2
Scale: 1:50

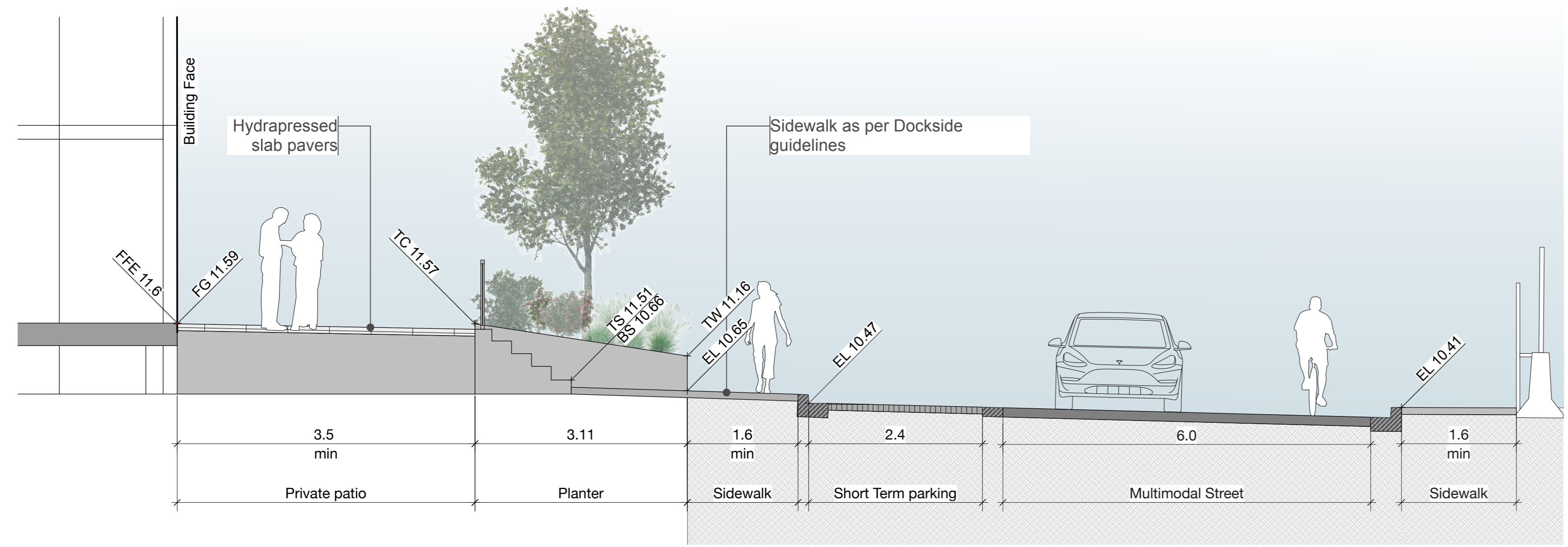


KEY PLAN

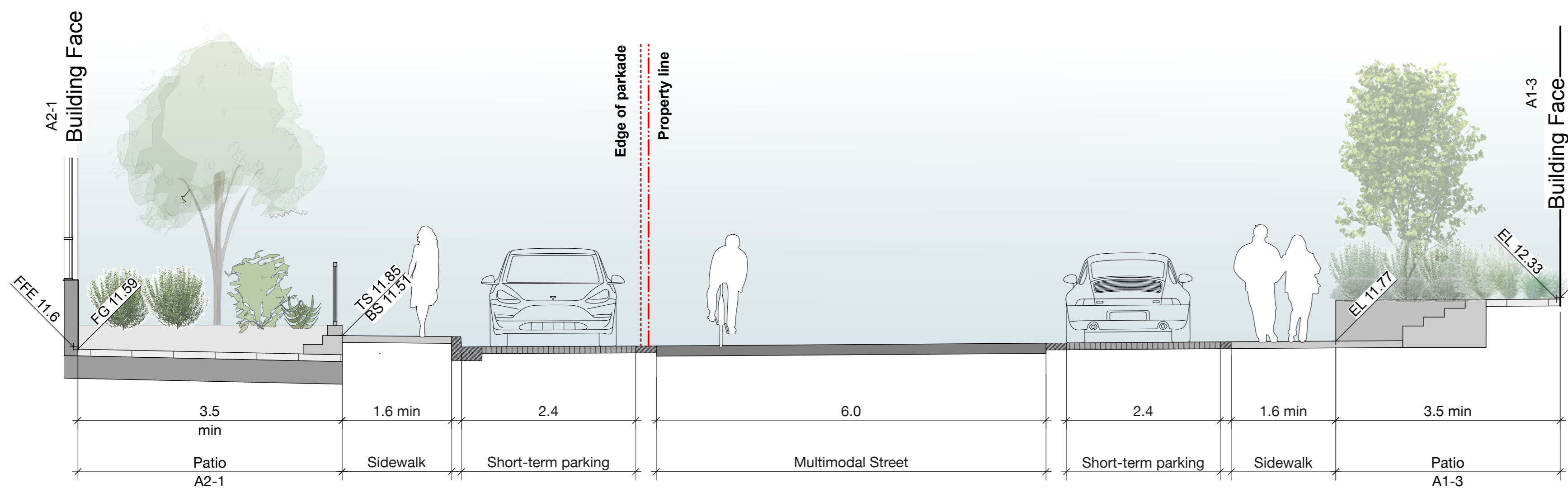
Issue

No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP

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5 Section 5: Landscape buffer adjacent to exit stairs (A2-1)
Scale: 1:50



6 Section 6: Section across Dockside Crescent from A2-1 to A1-3
Scale: 1:50

The design intent on the Phase 2 side mirrors Phase 1 to create a sense of neighborhood and community



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Project
Dockside Commons
Precinct A2-1 and A2-2

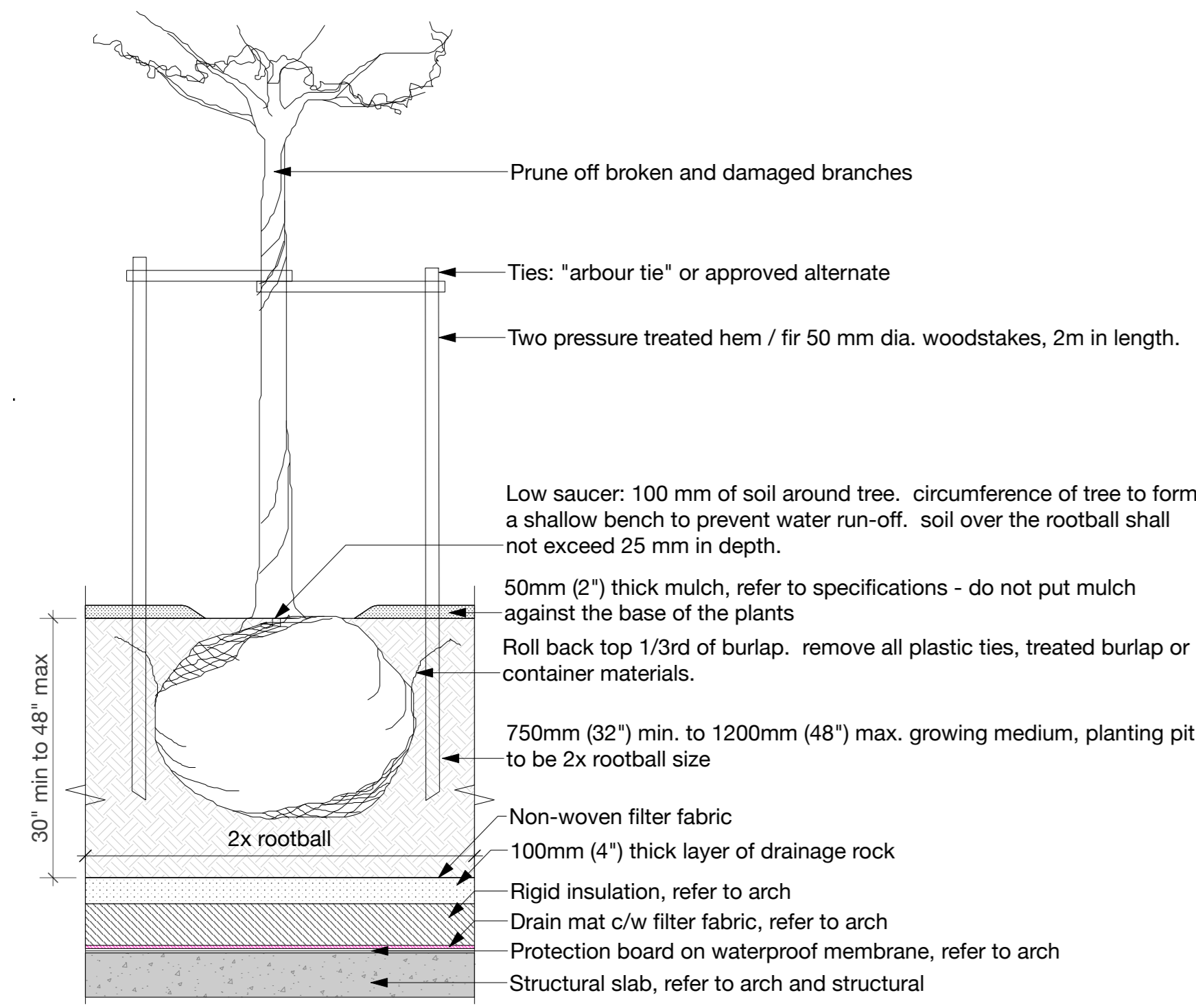
90 Esquimault Road
343 Yee Road

Drawing Title

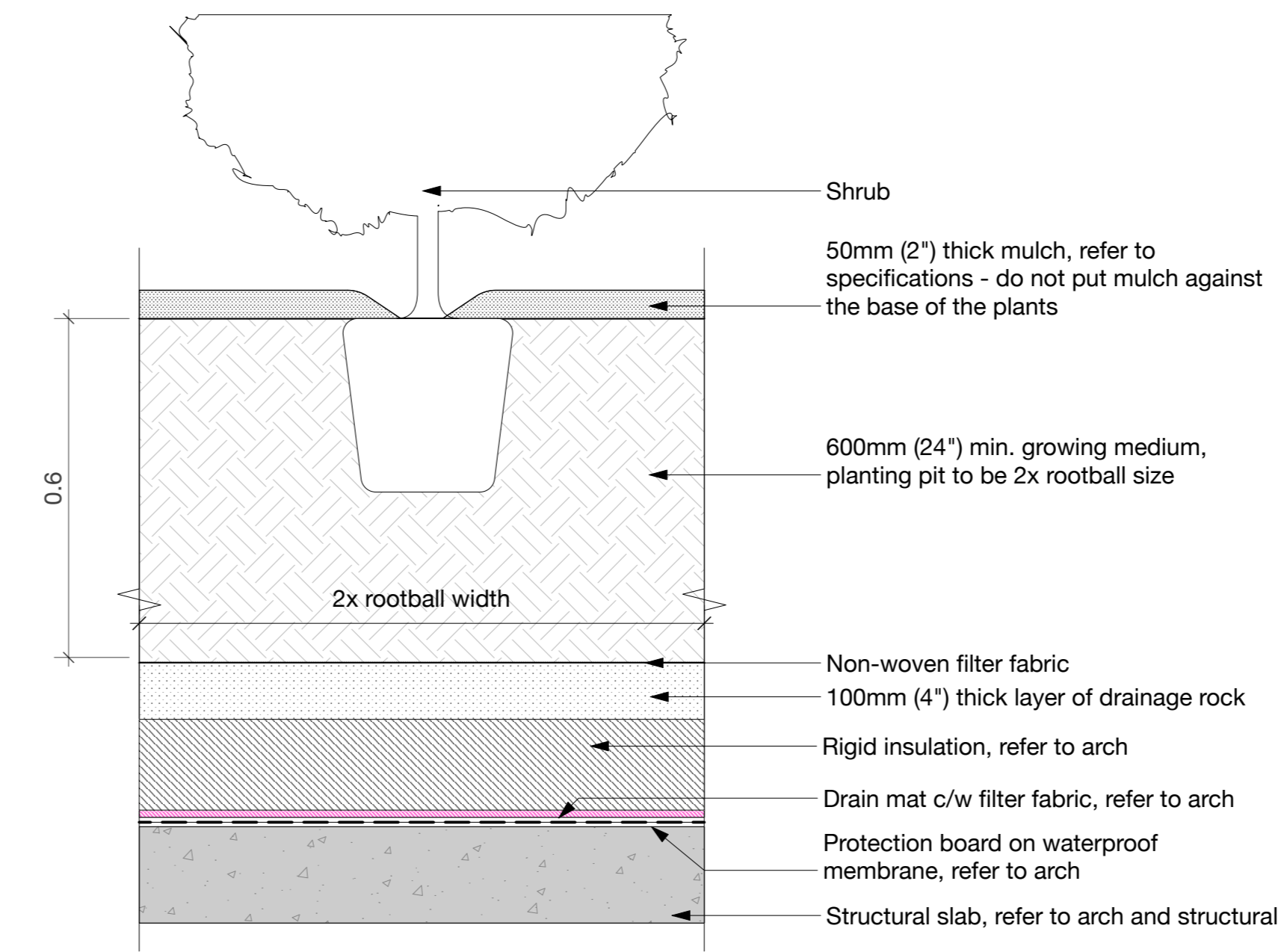
Landscape Sections
& Elevations

Legal

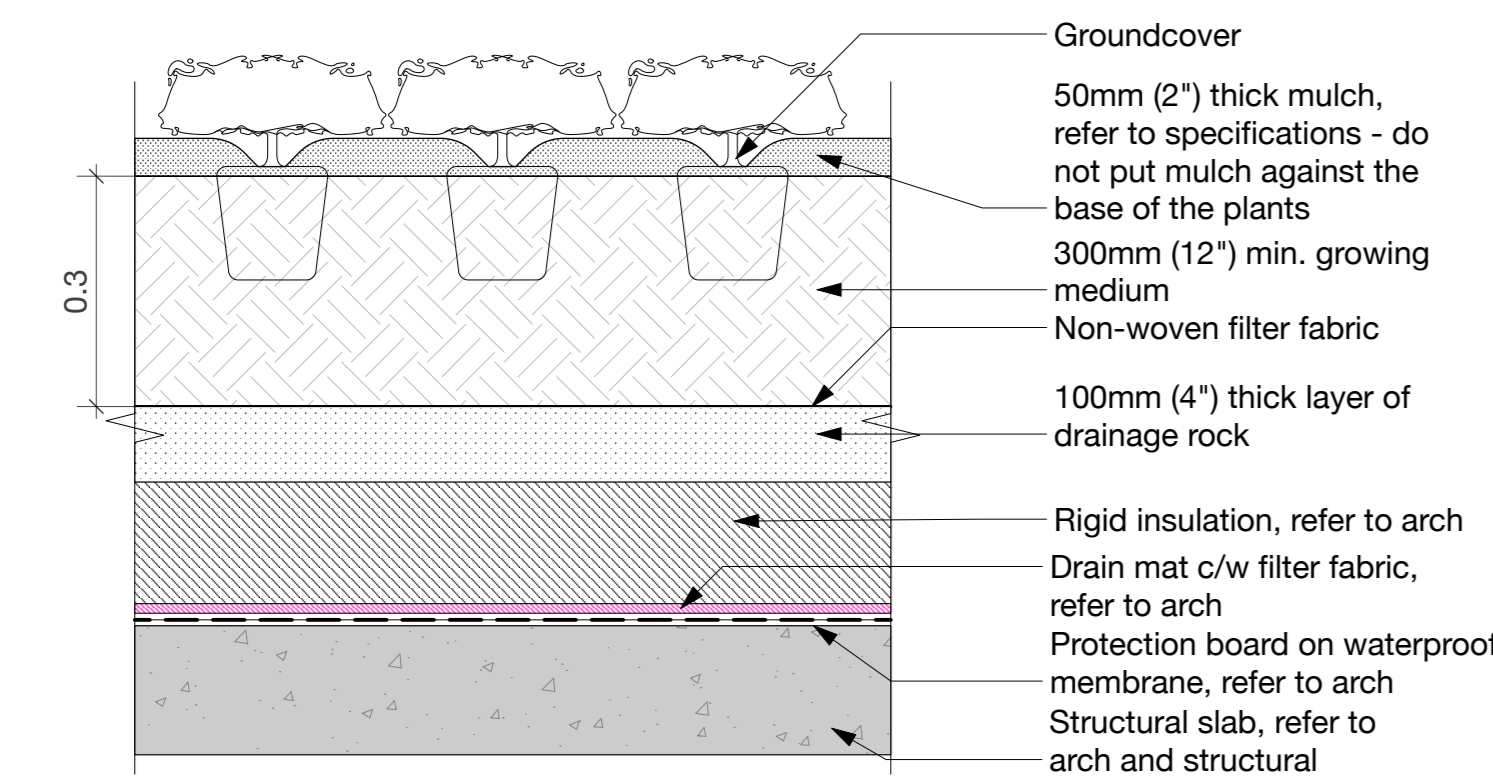
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Drawn By TT	Scale As Noted
Reviewed By	Drawing No. L11.2
Date 2023.06.23	32 of 38



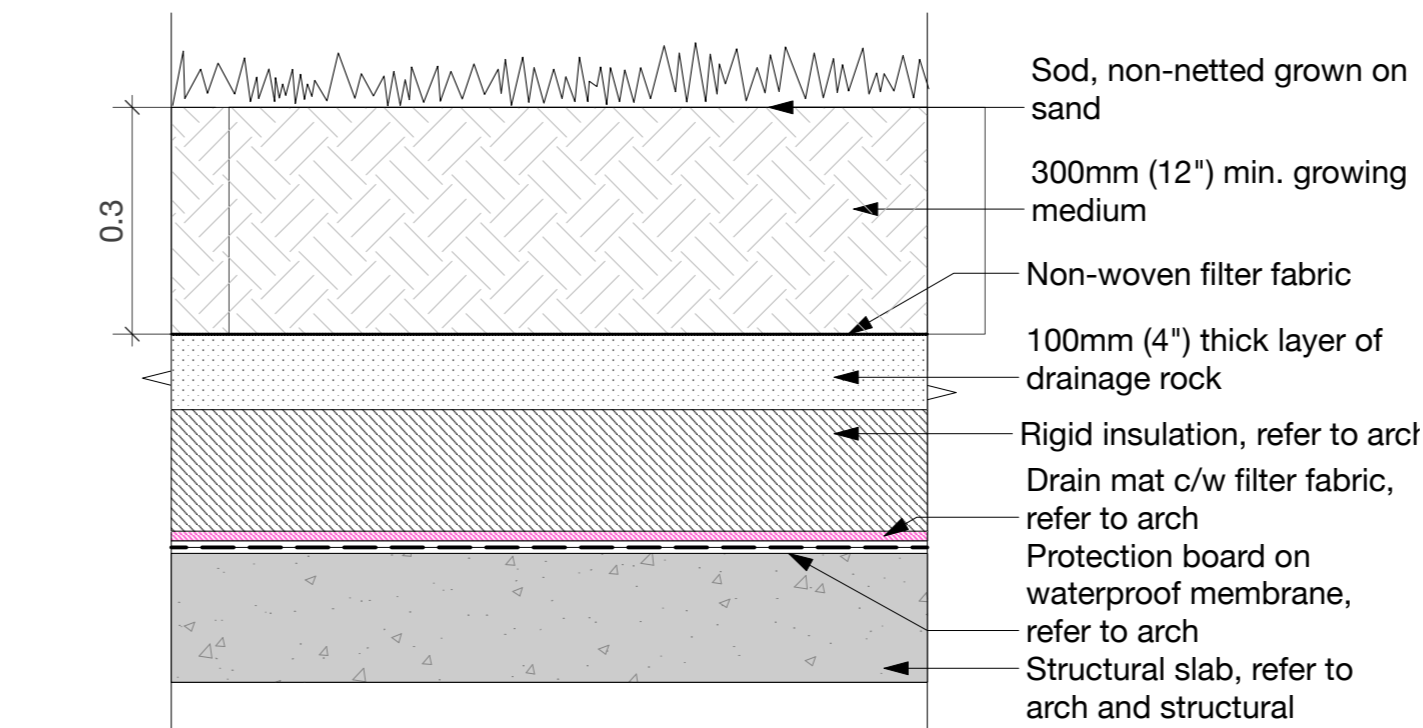
1 DETAIL: Trees on Slab
Scale: 1:20



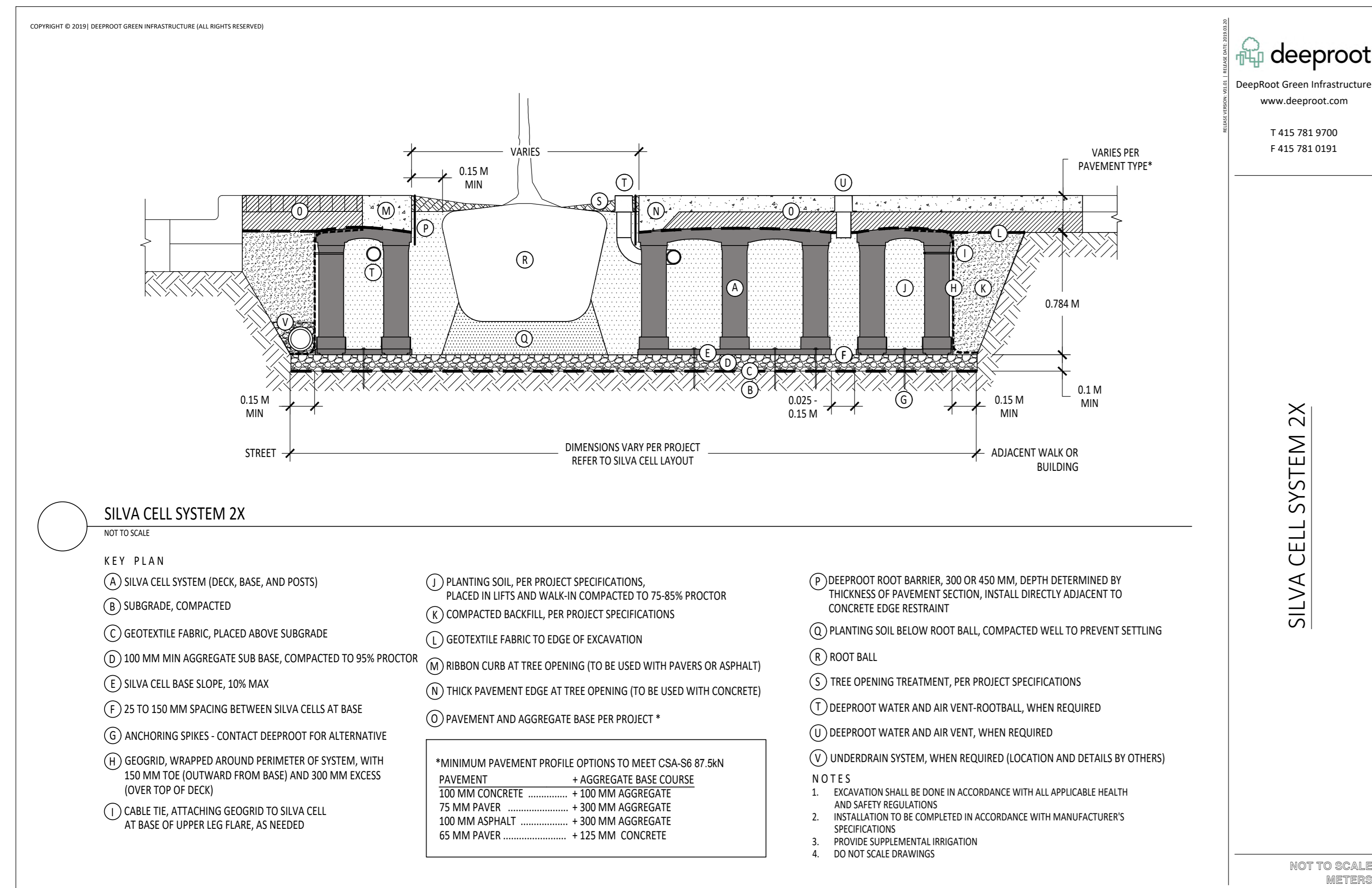
2 DETAIL: Shrubs on Slab
Scale: 1:10



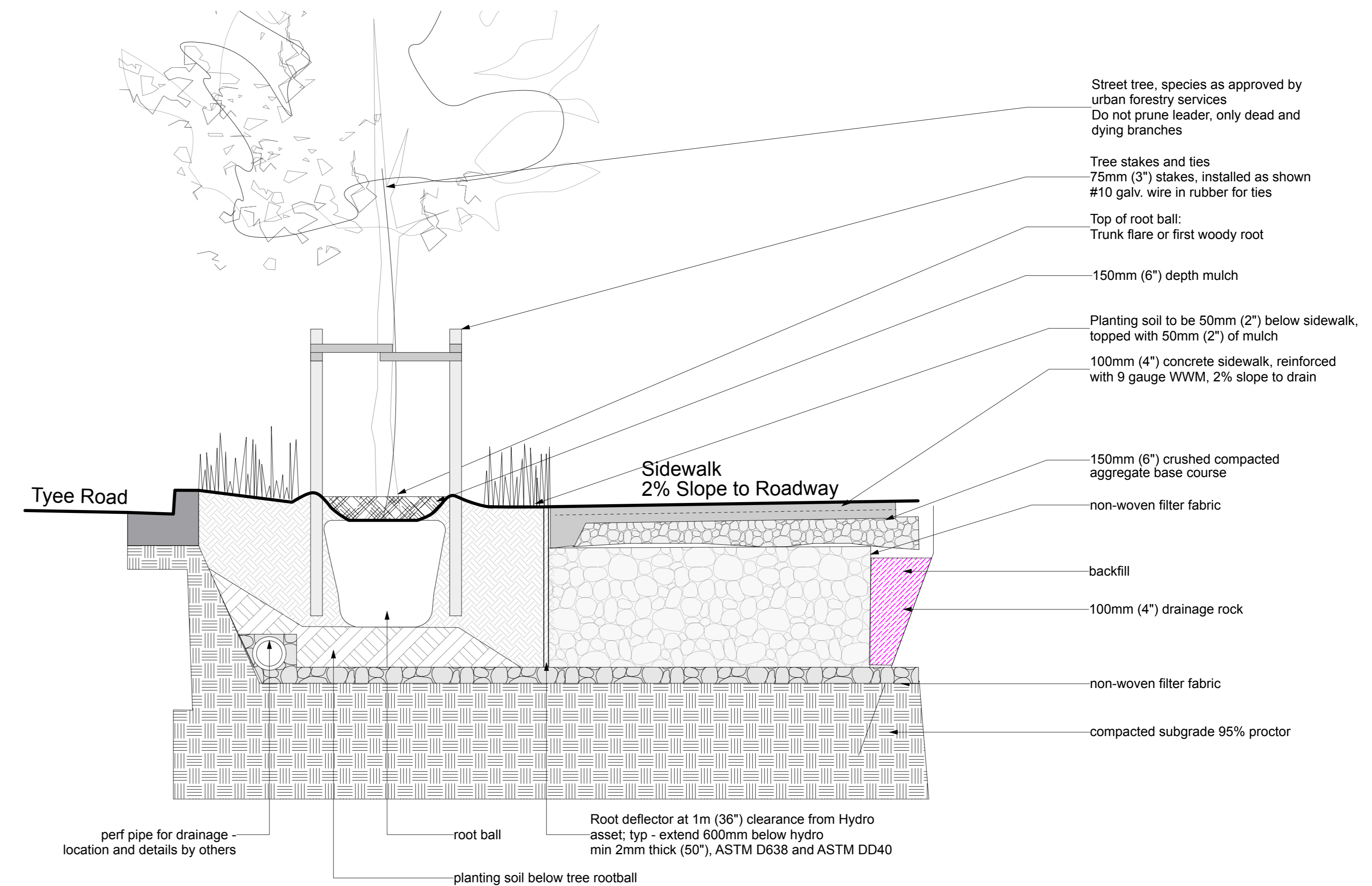
3 DETAIL: Groundcover on Slab
Scale: 1:10



4 DETAIL: Sod on Slab
Scale: 1:10



5 DETAIL: Silva Soil Cells
Scale: 1:10



6 DETAIL: Offsite Street Trees
Scale: 1:20

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RdDP
C	2023-06-23	Issued for RdDP

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Project
**Dockside Commons
Precinct A2-1 and A2-2**

90 Esquimat Road
343 Tyee Road

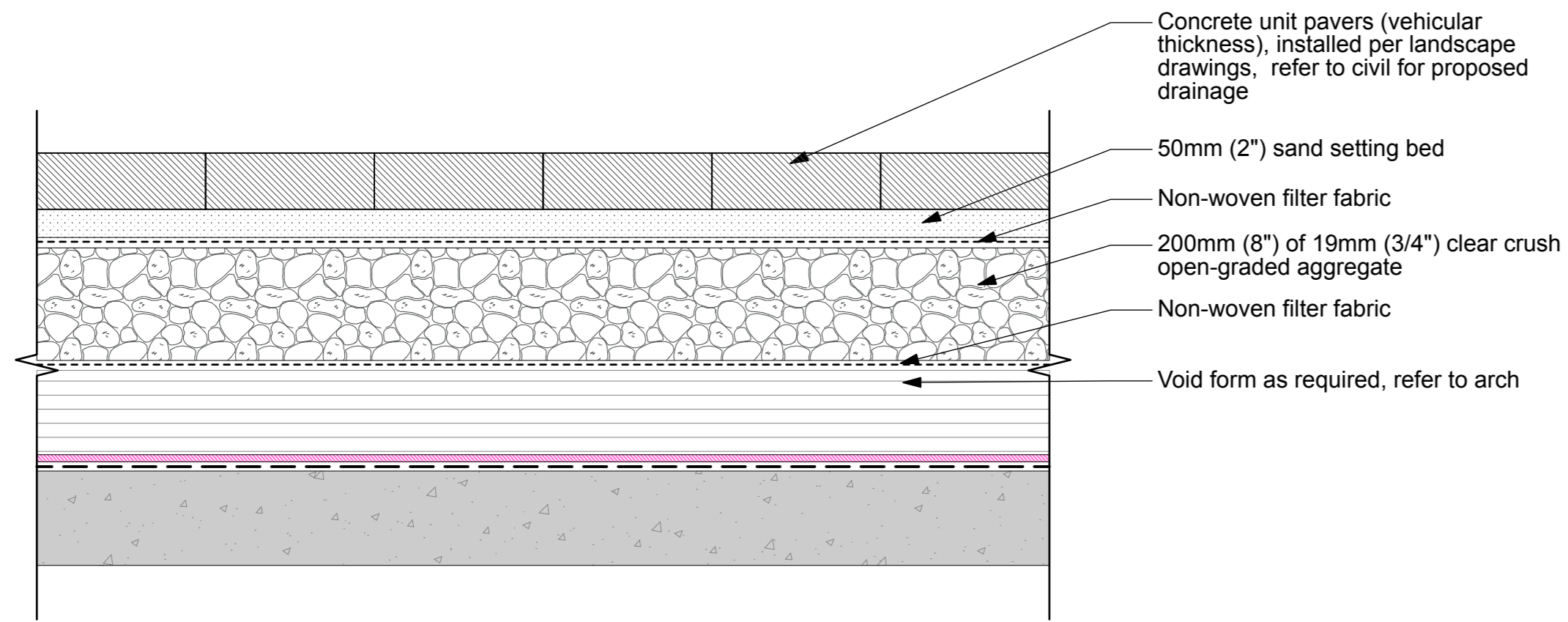
Drawing Title

Softscape Details

Legal

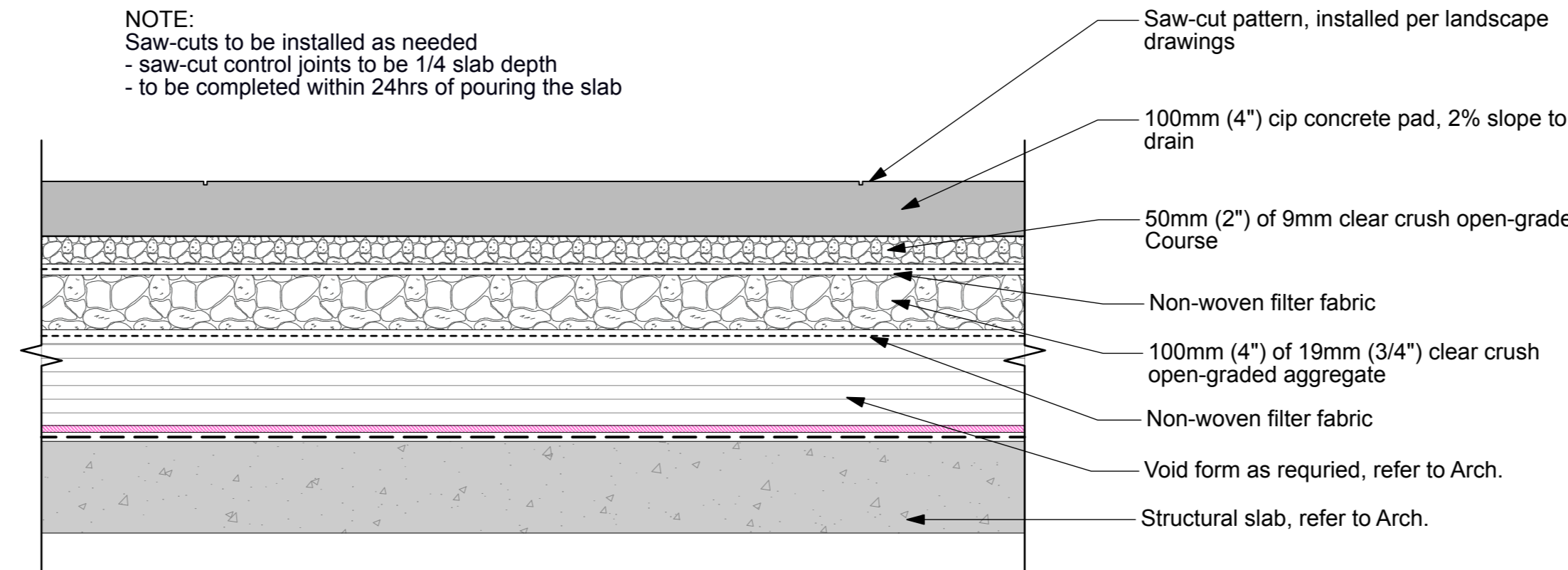
Project Manager	Project ID
NT	22211
Drawn By	Scale
TT	As Noted
Reviewed By	Drawing No.
2023.06.23	L12.1
	34
	38

ETA NOTES: THIS DETAIL SHOULD BE PROVIDED BY CIVIL, IT IS SHOWN HERE FOR REFERENCE ONLY



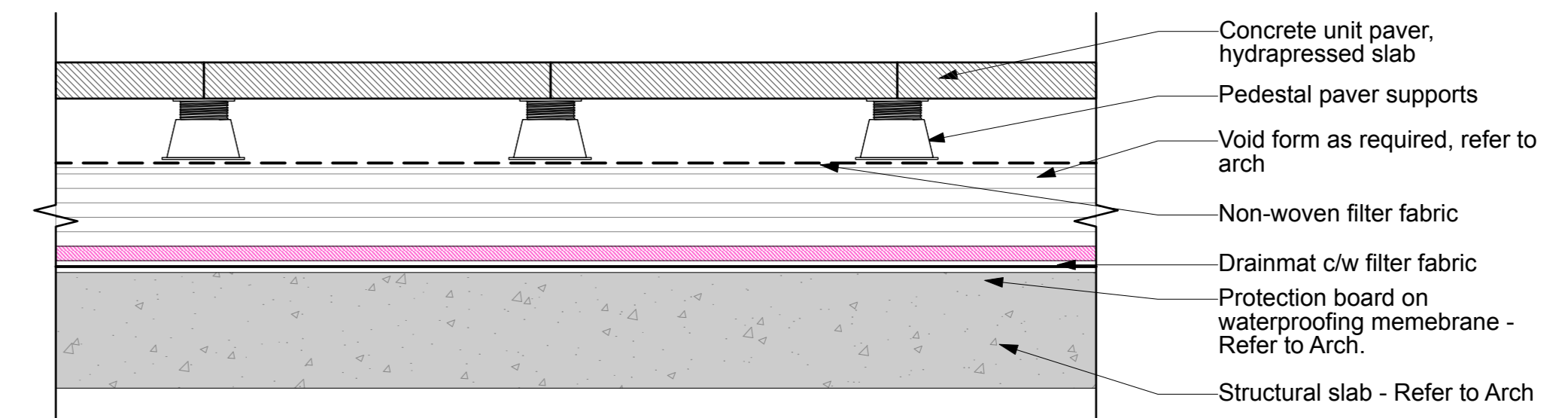
1 DETAIL: Unit Paver on Slab
Scale: 1:10

NOTE:
Saw-cuts to be installed as needed
- saw-cut control joints to be 1/4 slab depth
- to be completed within 24hrs of pouring the slab



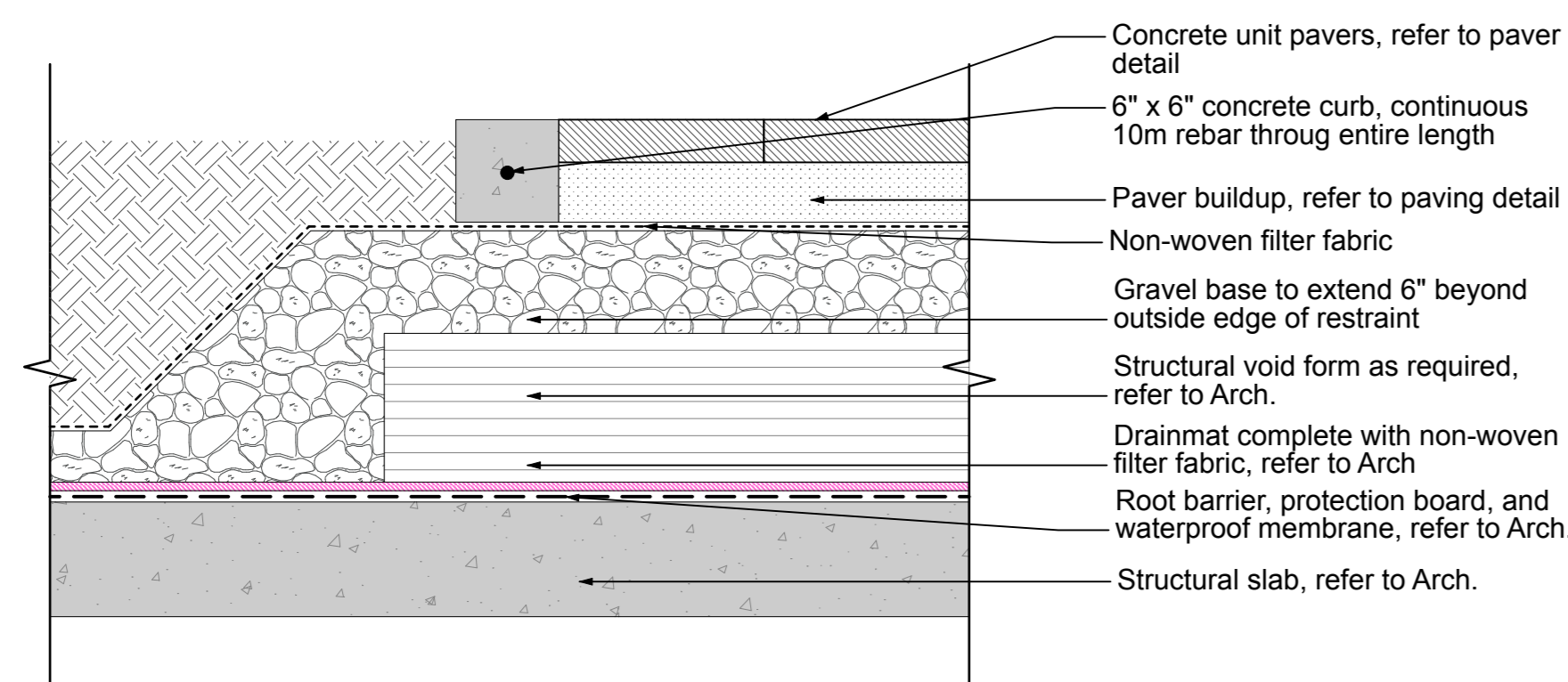
2 DETAIL: Pedestrian Concrete on Slab
Scale: 1:10

ETA NOTES: FOR STONE OR PORCELAIN ADJUST THE PAVER HEIGHT AS NEEDED AND UPDATED CALLOUT. PORCELAIN PAVERS SHOULD HAVE METAL BACKING PLATE IF INSTALLED ON PEDESTALS.



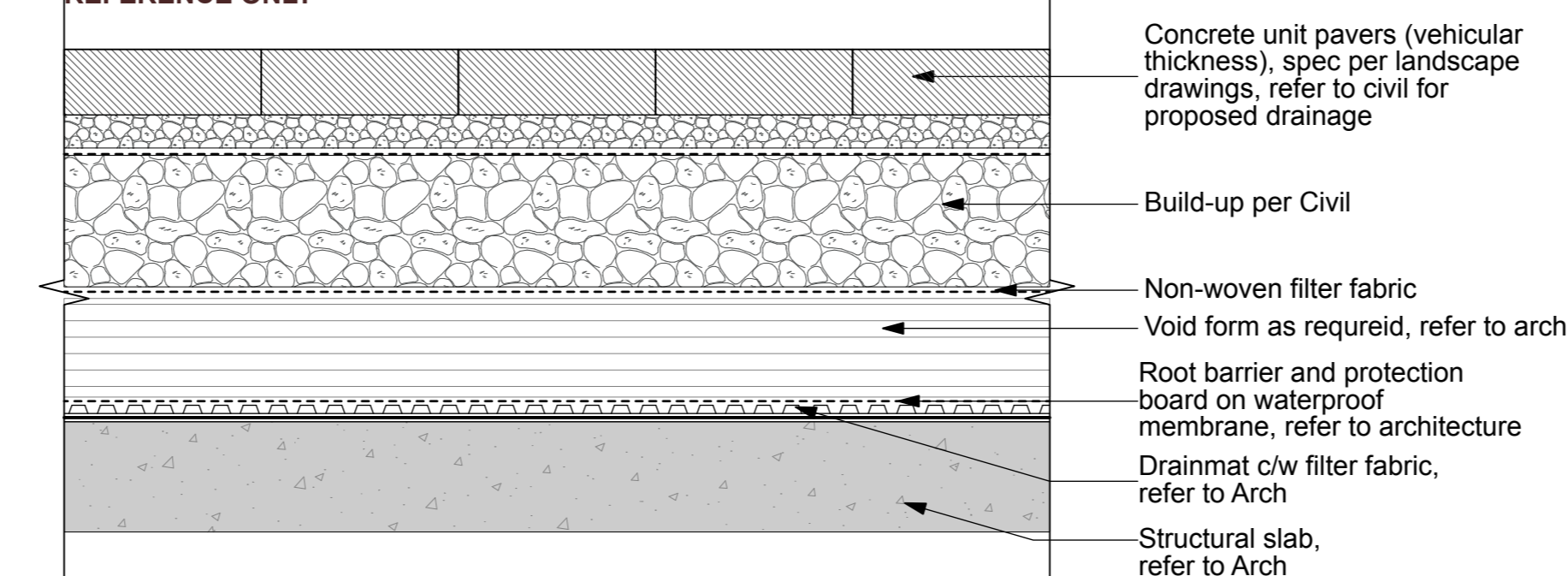
3 DETAIL: Unit Paver on Pedestals
Scale: 1:10

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
C	2023-06-23	Issued for ReDP



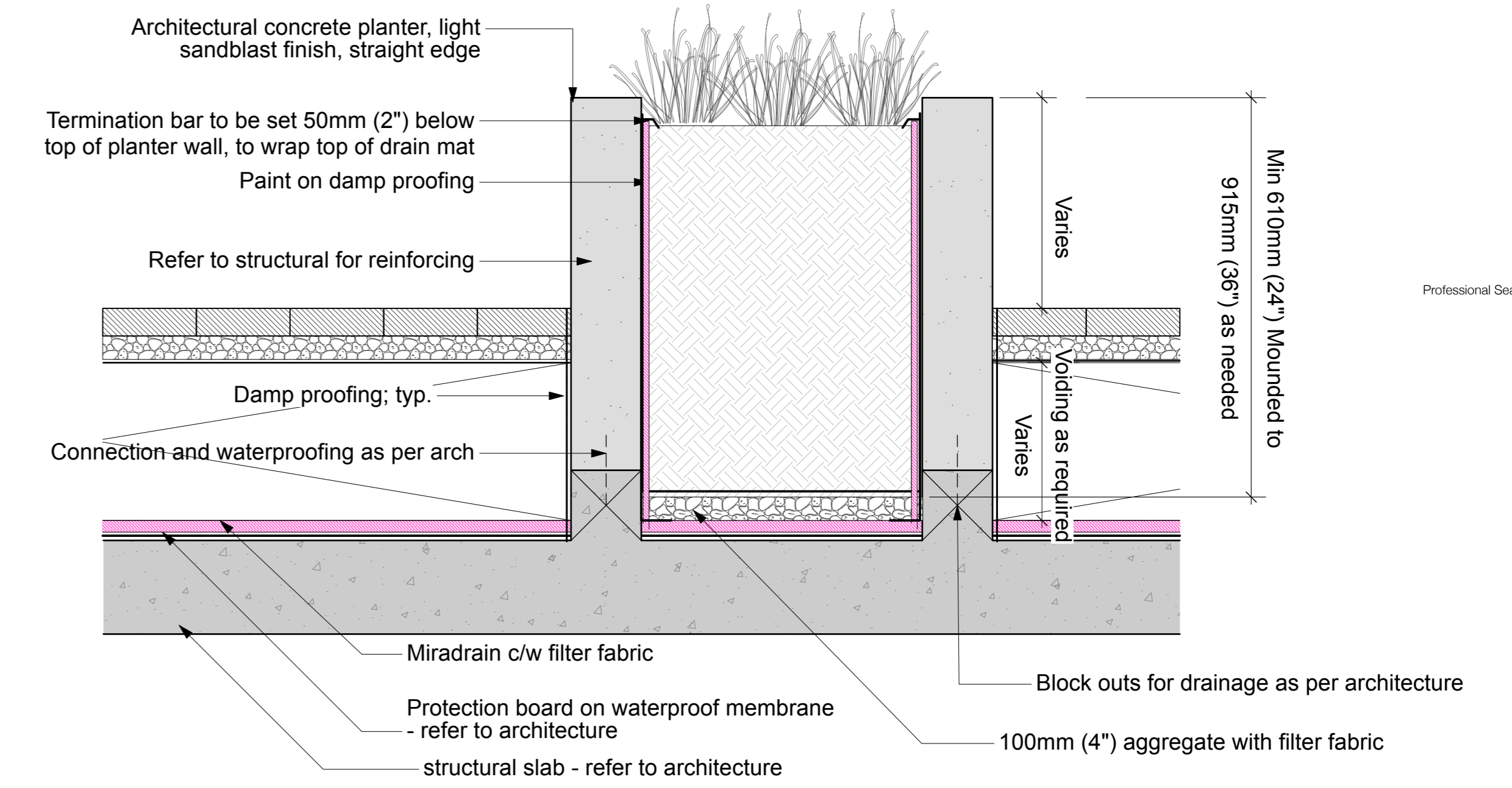
4 DETAIL: Paver Edger on Slab over build-up
Scale: 1:10

ETA NOTES: THIS DETAIL SHOULD BE PROVIDED BY CIVIL, IT IS SHOWN HERE FOR REFERENCE ONLY



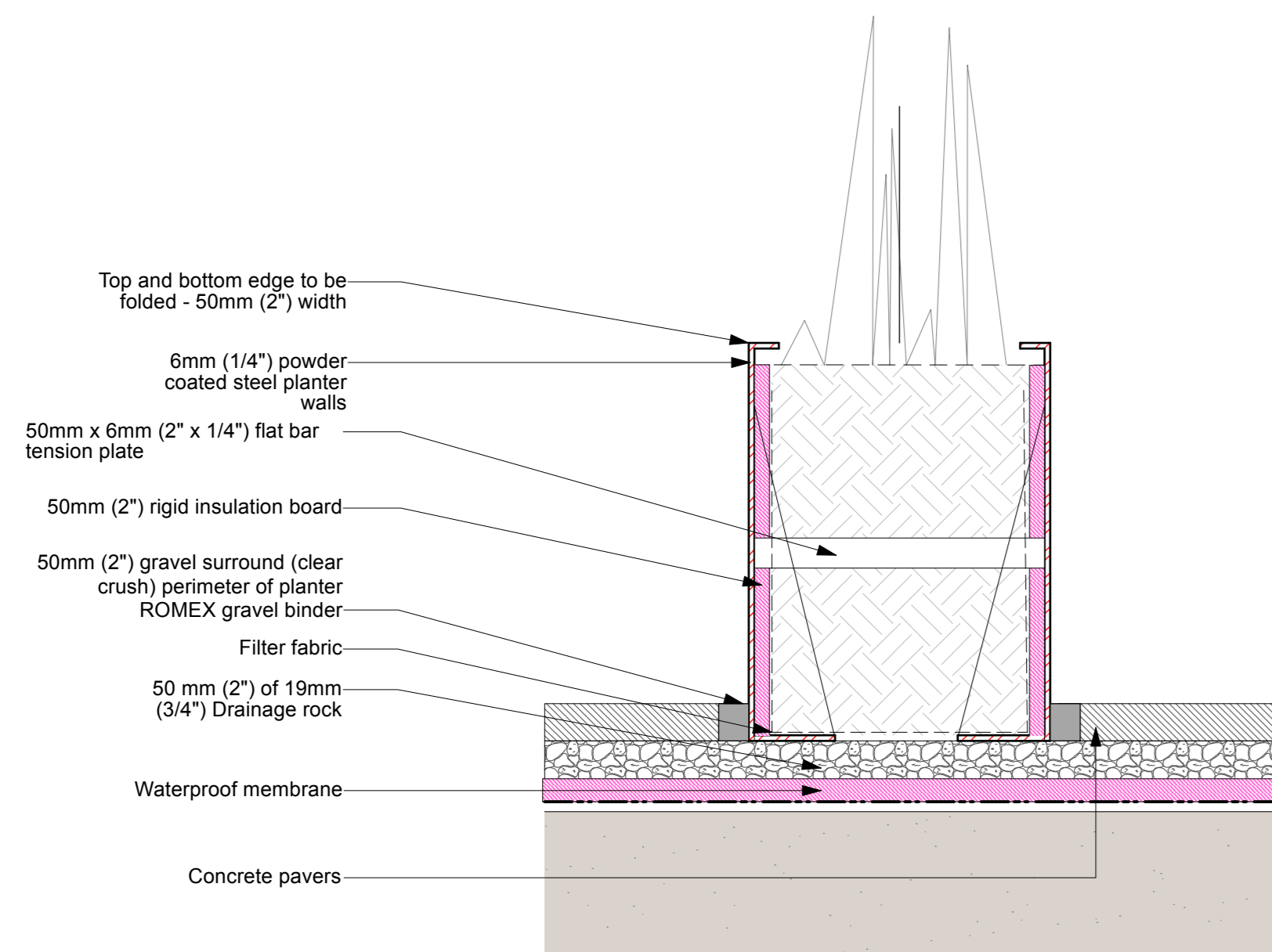
Notes:
-Refer to Civil for vehicular grade details and build-up

5 DETAIL: Vehicular pavers at grade
Scale: 1:10



6 DETAIL: CIP Planter
Scale: 1:10

Professional Seal



7.1 DETAIL: Metal Planter
Scale: 1:10



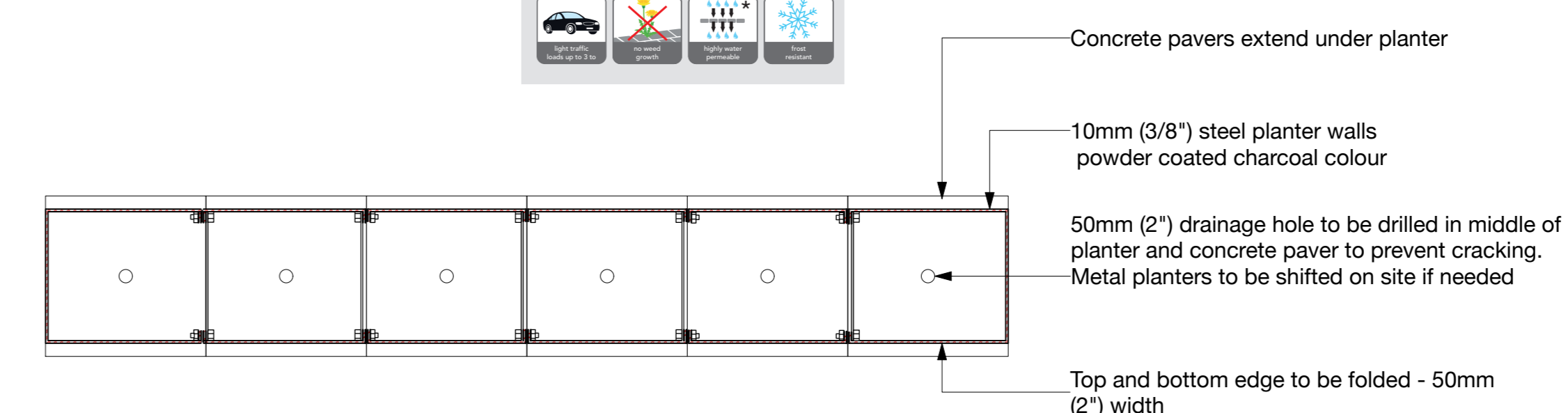
7.3 Precedent Image

ROMPOX® - D7000

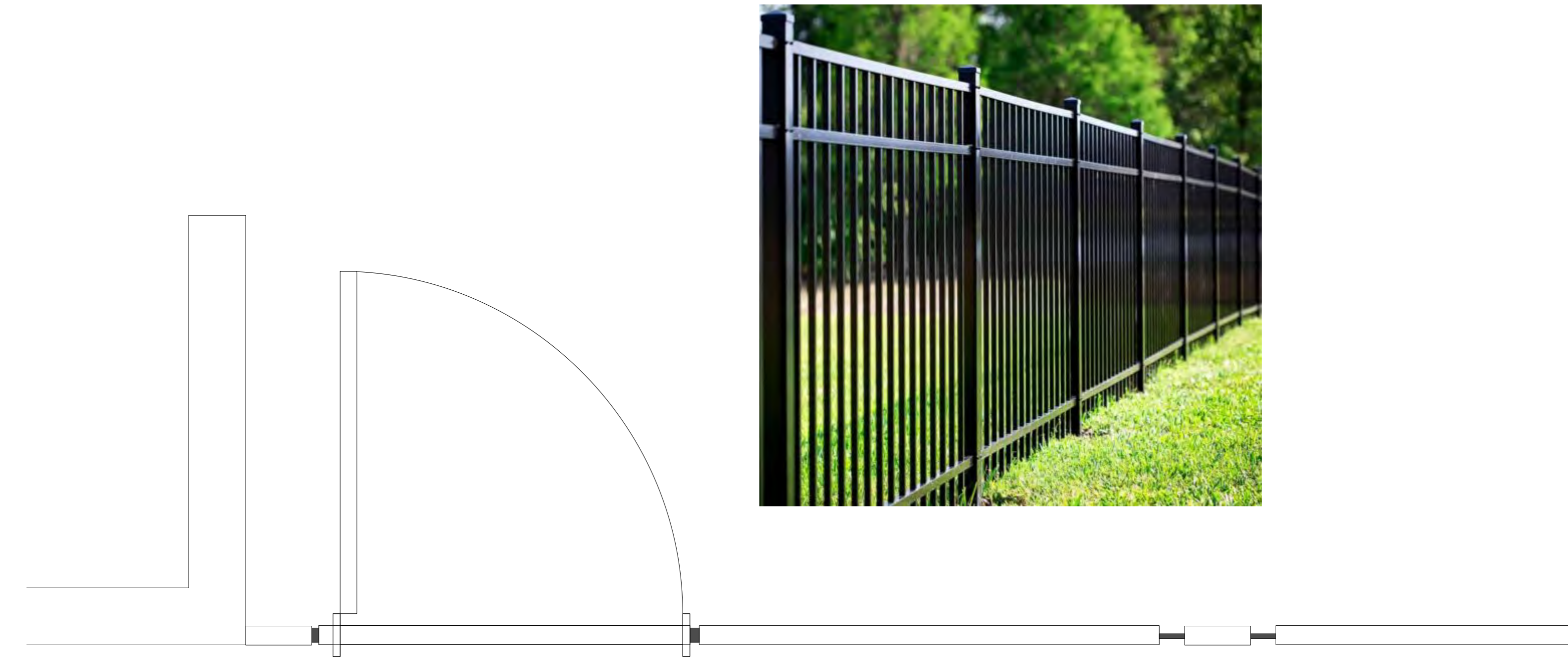
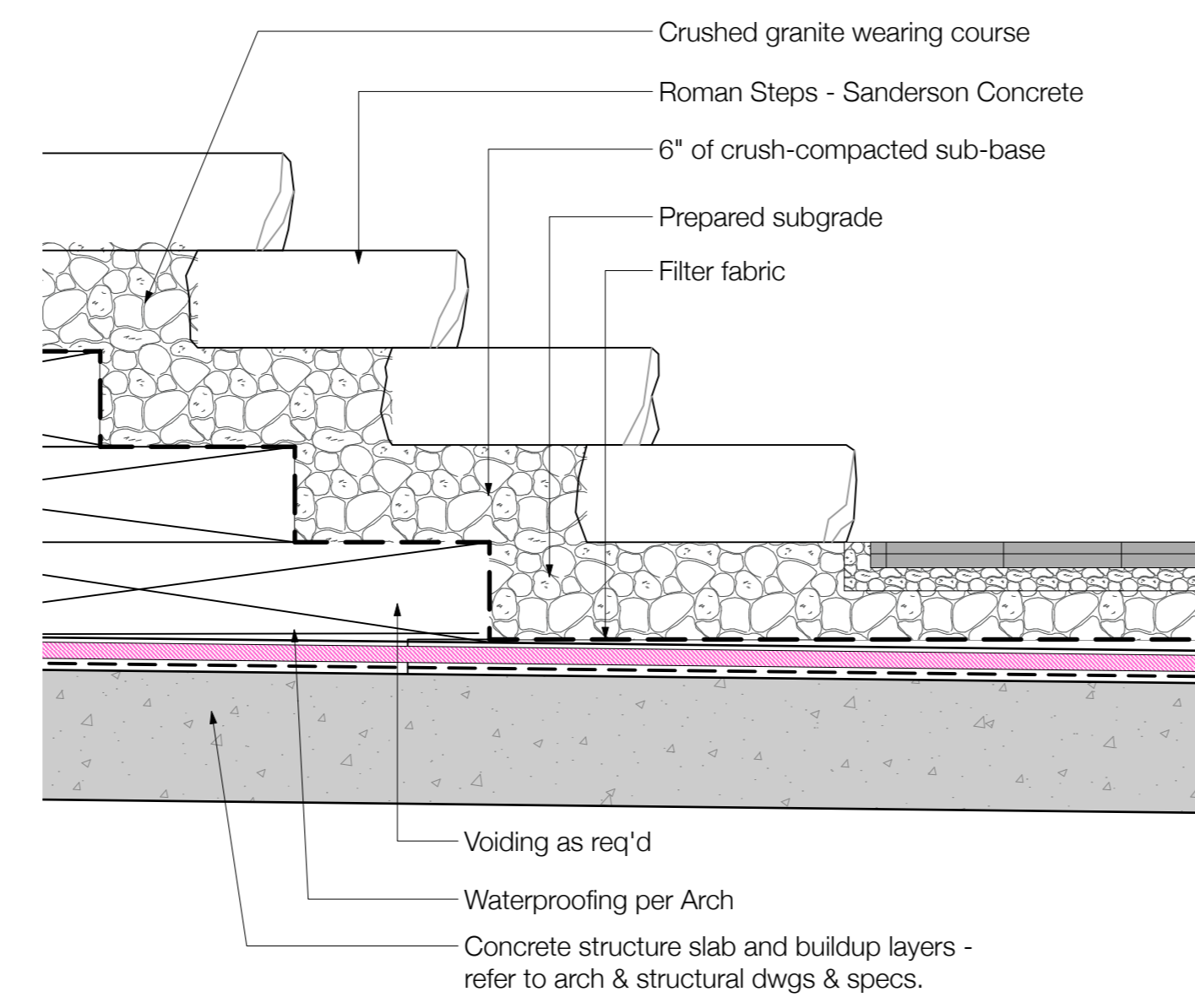
The all-in-one gravel and grit stabilizer

ROMPOX® D7000, the #1 grit and gravel Stabilizer, is a simple solution for creating custom pathways, garden trails and commercial walkways. This eco-friendly liquid polymer stabilizer for crushed stone and decomposed granite materials creates a dust-free surface and durable surface in a few easy application steps. For the quick and uncomplicated strengthening of road surfaces with sufficient fine particles (e.g. water-bound road surfaces), especially for protection against wear, rutting, abrasion, weed growth and dust control. ROMPOX® D7000 strengthens existing road surfaces and protects especially against erosion on downhill gradients. Through the use of ROMPOX® D7000 the stability of the coating is greatly improved and thus the maintenance costs are reduced. The areas of application go from private areas in the garden and around the house to public areas such as park paths, foot and bike paths and tree surrounds.

- Properties**
- for garden paths as well as public areas
 - extra strong formula
 - reduces surface abrasion and dust formation
 - reduces maintenance costs
 - reduces erosion on slopes with heavy rainfall
 - weed & ant resistant
 - can be applied at surface temperatures of > 7 °C / > 45 °F
- THE EXTRA STRONG, FLEXIBLE POLYMER LIQUID

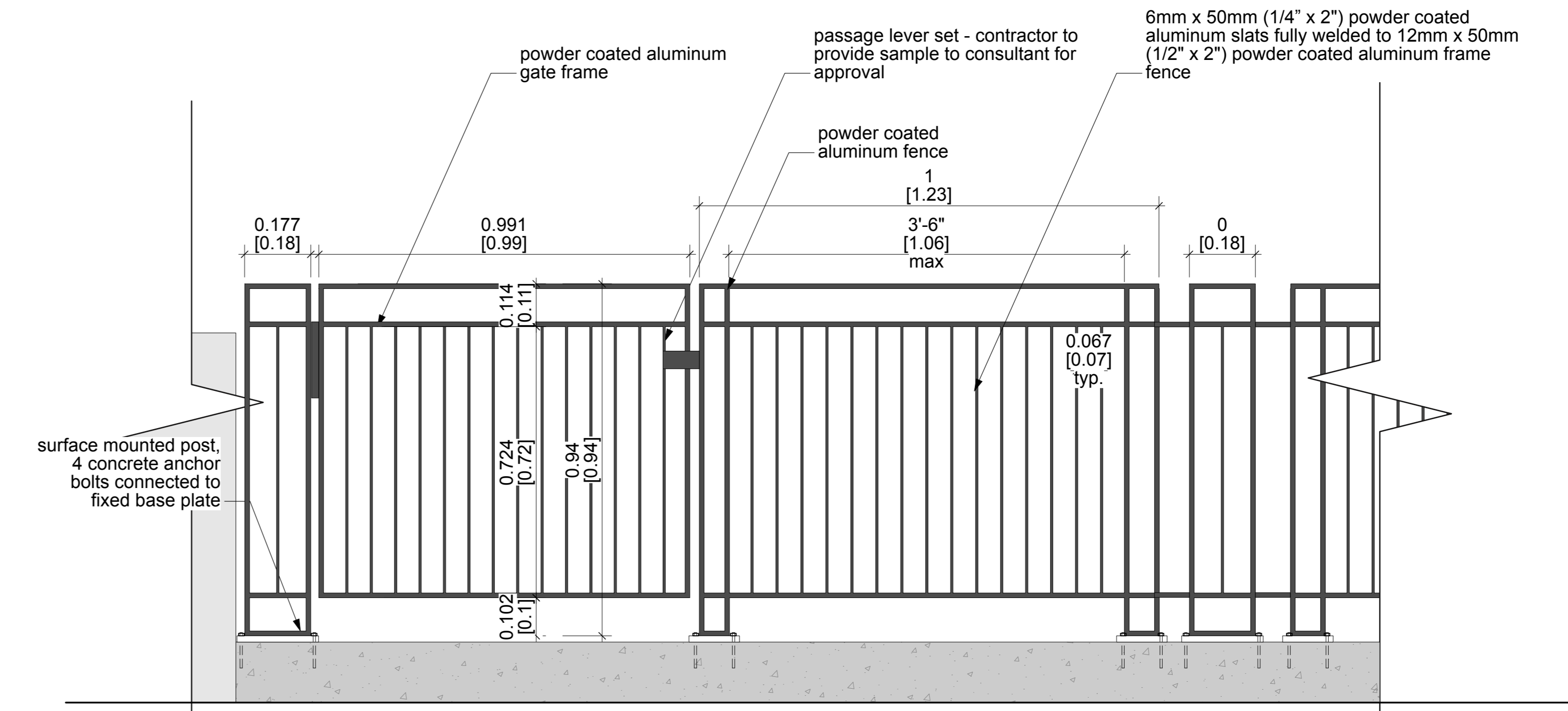


7.3 DETAIL: Metal Planter
Scale: 1:20



Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RfDP
C	2023-06-23	Issued for RfDP

1 DETAIL: Landing / Step units
Scale: 1:8



3 DETAIL: Fence and Gate
Scale: 1:10

ARCHITEX ASSURED GREEN ROOFS
semi-intensive

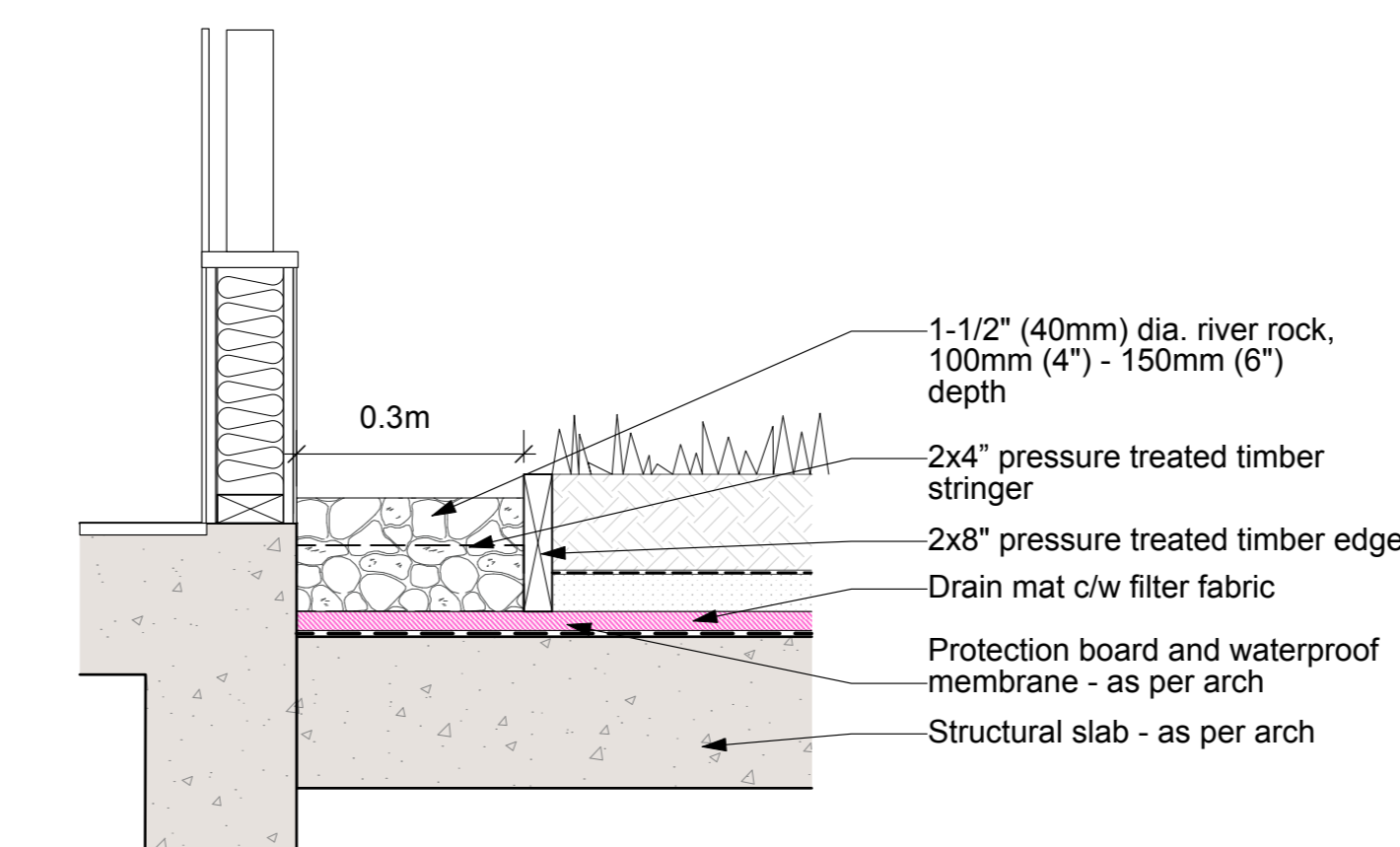
Medium depth green roofs that usually use more substantial grasses, perennials or smaller shrubs. The soil or grow media substrate layer is usually 150mm to 300 mm or 6-12" and the entire system has a saturated weight of less than 40 lbs. per square foot, average being about 30 lbs. per square foot. In addition to the usual ecological benefits this type of construction has the added value of providing additional valuable space for recreational use.

KEY FEATURES:

- Suitable for everyday use;
- Increased property value;
- Better use of available space;
- Wide range of possible designs;
- Relatively low investment cost;
- Improved thermal efficiency;
- Technically sound;

ARCHITEX ASSURED Green Roofs Products Inc.
202 - 29 West 7th Ave. Vancouver, BC V6T 1S5
Phone: 604.683.1459 Fax: 604.683.1459
info@architex.com www.architex.com

2 DETAIL: Semi-intensive Green Roof
Scale: 1:12



4 DETAIL: Drip Strip on Slab
Scale: 1:10

Professional Seal

eta landscape architecture
1690 West 2nd Avenue
Vancouver, BC, Canada V6J 1H4
T 604.683.1456
F 604.683.1459
V www.eta.ca

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recourse to the Consultant.

Project
Dockside Commons
Precinct A2-1 and A2-2

90 Esquimalt Road
343 Tye Road

Drawing Title

**Hardscape
Details**

Legal

Project Manager	Project ID
NT	22211
Drawn By	Scale
TT	As Noted
Reviewed By	Drawing No.
Date	L12.3
2023.06.23	36
	of
	38

Revision		
No.	Date	Revision Notes

Issue		
No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for ReDP
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Professional Seal

eta landscape architecture

1690 West 2nd Avenue
Vancouver, BC, Canada, V6J 1H4

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recourse to the Consultant.

Project
Dockside Commons
Precinct A2-1 and A2-2


**90 Esquimalt Road
343 Yee Road**

Drawing Title

**Site furnishing
Details**

Legal

Project Manager	Project ID	NT	22211
Drawn By	Scale		
Reviewed By	As Noted	TT	NTS
Date	2023.06.23	37	L12.4
		of	38



EP 5990 Bike rack

SPECIFICATIONS

Frame : Aluminum components
Finish : Polyester powder coated
Foot support (UG) : Hot-dipped galvanized steel flat

AVAILABLE

5990-AG Surface mount, 2 bikes per rack
5990-UG Inground mount, 2 bikes per rack

Depth : 300mm (11 3/4") Length : 200mm (7 7/8") Height : 825mm (32 1/2") Weight : 20 kg (45 lb)

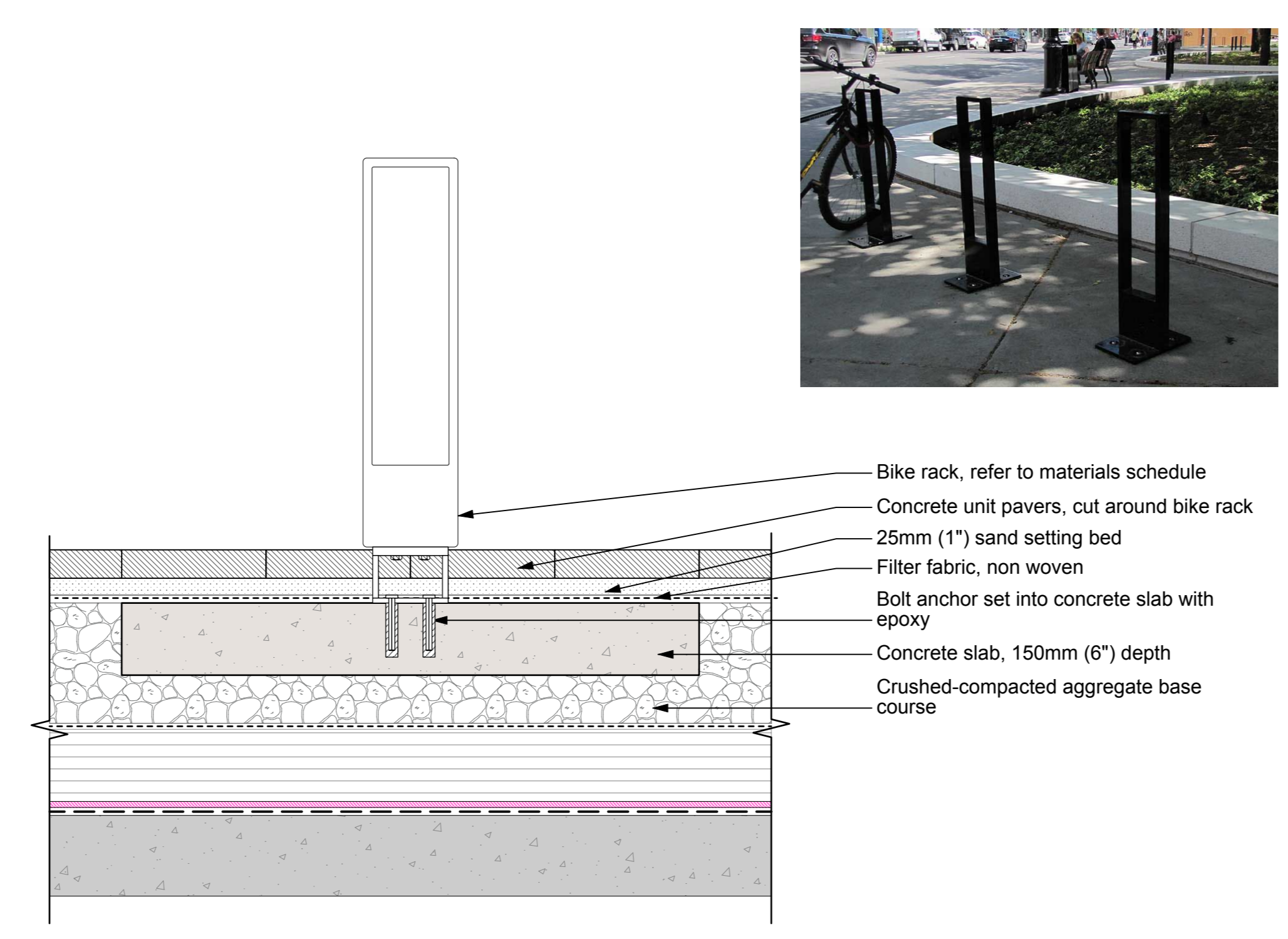
This bike rack must be anchored.
Our warranty applies when our product is properly installed and anchored.

CONCRETE SLABS AND ANCHORS

7005 1 slab 610mm X 610mm X 152mm (24" X 24" X 6")
7016 1 slab 610mm X 203mm (24" X 8")
QS 4 stainless steel kwik bolts
QAV 4 drop-in anchors with stainless steel theft-proof bolts

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DESIGN DURABILITY EXPERTISE 1001 James Brodie Street, Saint-Jean-sur-Richelieu, Québec, J2X 0C1, Canada
Tel.: 450-346-1882 | 800-363-7054
info@equiparc.com | equiparc.com



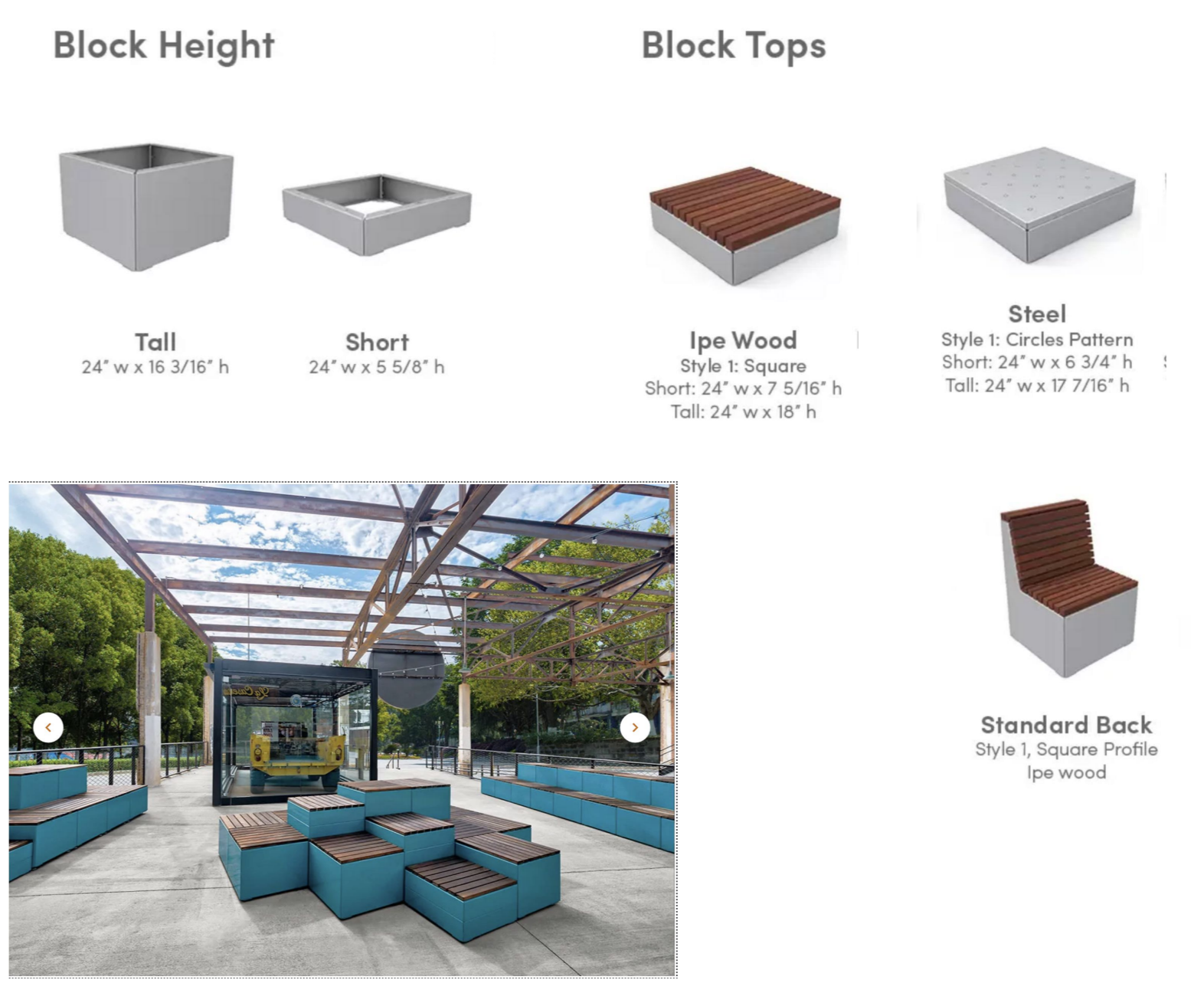
ITEM	QTY	DESCRIPTION	UNIT	CONSTRUCTION
1	2	BIKE RACK, INTERIOR	UNIT	5990-AG
2	1	BIKE RACK, EXTERIOR	UNIT	5990-UG
3	1	BIKE RACK, EXTERIOR	UNIT	5990-UG
4	1	BIKE RACK, EXTERIOR	UNIT	5990-UG
5	1	BIKE RACK, EXTERIOR	UNIT	5990-UG
6	1	BIKE RACK, EXTERIOR	UNIT	5990-UG
7	1	BIKE RACK, EXTERIOR	UNIT	5990-UG
8	1	BIKE RACK, EXTERIOR	UNIT	5990-UG

APPROVED BY: _____
DATE: _____

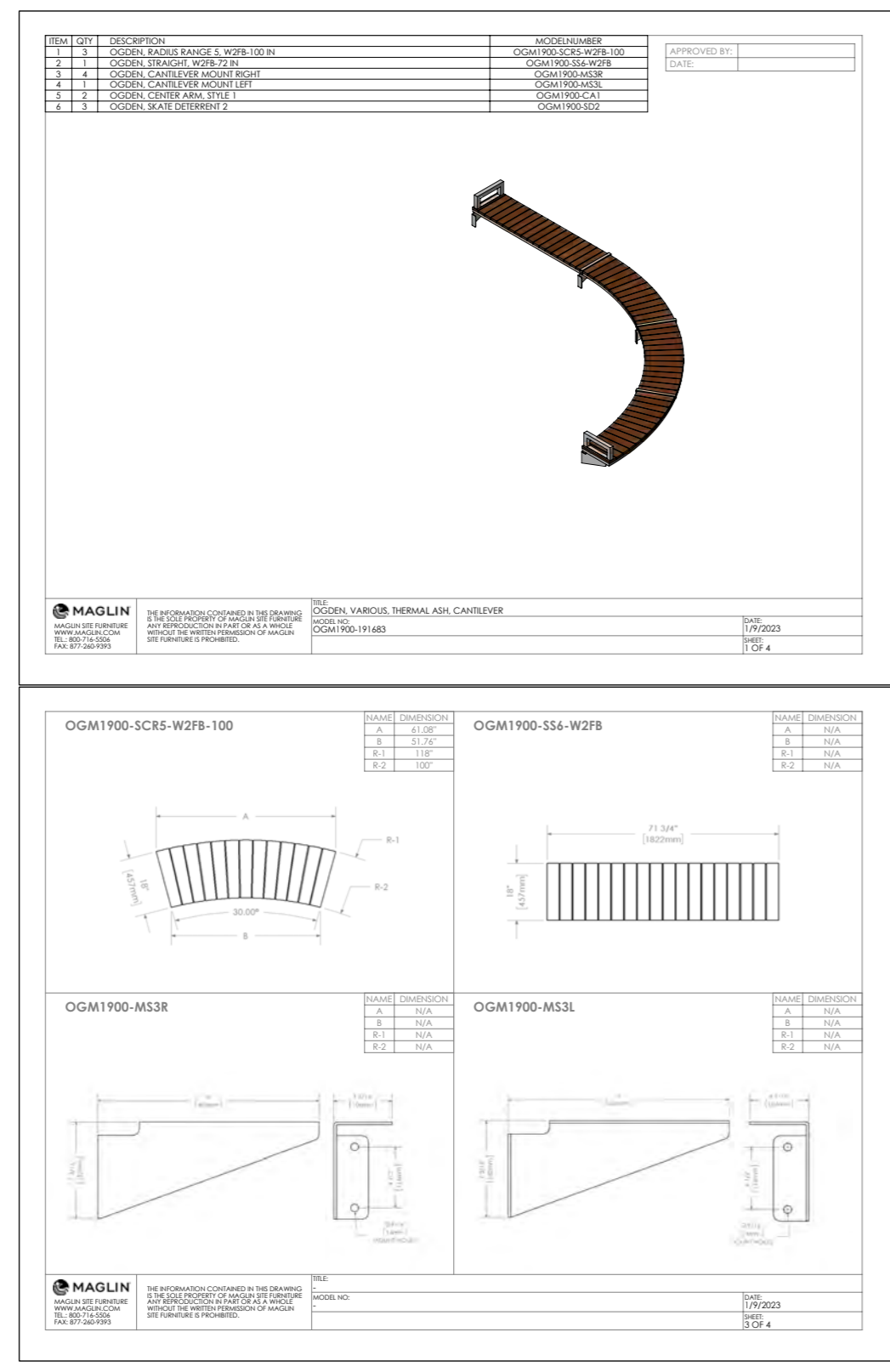
MAQLIN 1001 James Brodie Street, Saint-Jean-sur-Richelieu, Québec, J2X 0C1, Canada
Tel.: 450-346-1882 | 800-363-7054
info@equiparc.com | equiparc.com

PROJECT: LAMONT, 23974
DATE: 10/28/2021
DRAWN BY: TT
CHECKED BY: NTS
SCALE: 1:10

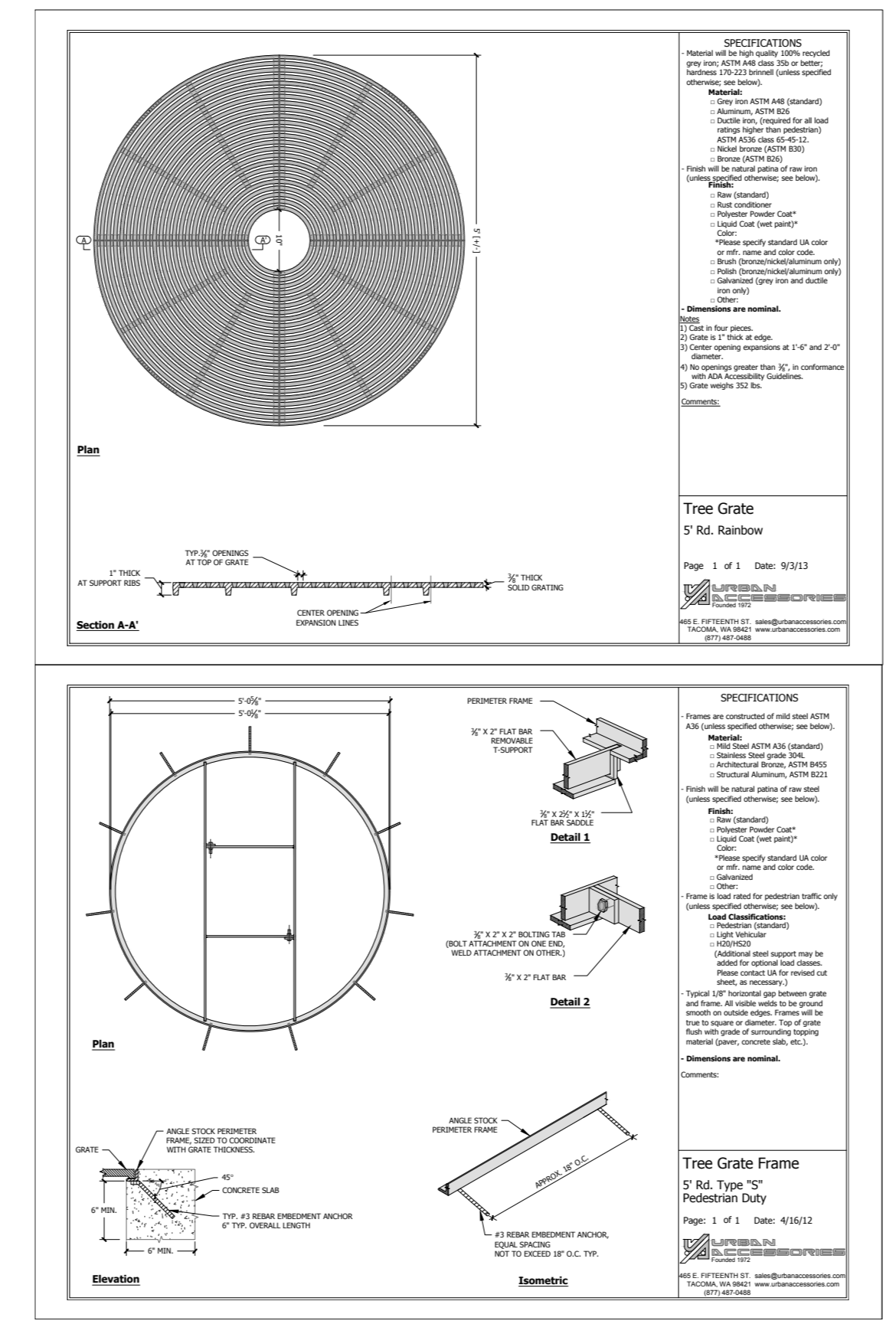
1 DETAIL: Bike rack
Scale: 1:10



4 DETAIL: Modular block seating
Scale: 1:10



2 FURNISHING: Seating A
NTS



3 FURNISHING: Tree Grate
NTS




5 DETAIL: Round concrete planters
NTS

Typology Ring Light

Spec Sheet | CQ700

landscapeforms



The Typology Collection, designed and engineered in collaboration with BMW Designworks, opens a new realm of possibility in the way the urban landscape is experienced. Intelligent, systemic engineering complements existing architecture in meaningful and practical ways - defining and connecting spaces, and intuitively guiding the movement of visitors in and among them. Typology's ring light is stunning, seemingly levitating light fixtures recognized instantly from almost a mile away. Perched atop an aluminum mast, a circular strip of LEDs creates a solid ring of ambient light that, when viewed from underneath, is like a looking glass to the sky.

Housing & Materials
Cast aluminum construction. Flexible LED light engine is clamped into fixture housing with aluminum segmented arcs. Housing features a spun aluminum glass white powdercoat reflector. All hardware is magna-coated steel.

Electrical
Surge protected 120V through 277V 50/60Hz electronic driver, 0-10V dimming, -40°C start temperature. Cast aluminum driver housing assembly located at top of pole. Available with optional ANSI C136.41 twist lock receptacle or Wattstopper FSP-311B photo/motion sensor.

Light Engine
Fully encapsulated flexible linear LED fixture delivers downward direct and indirect lighting in conjunction with the glass white metal reflector. A RoHS compliant circuit board is included. Available in 2700K, 3000K, 3500K, and 4000K, >90 CRI across all available color temperatures.

Distribution
TV

Warranty
LED lighting products are warranted for six years.

Certification
UL Listed for Wet Location, CE, International Dark Sky Approved, Buy America Compliant, RoHS Compliant

Designed by Designworks, a BMW Group company
Click here for patent information related to this product.

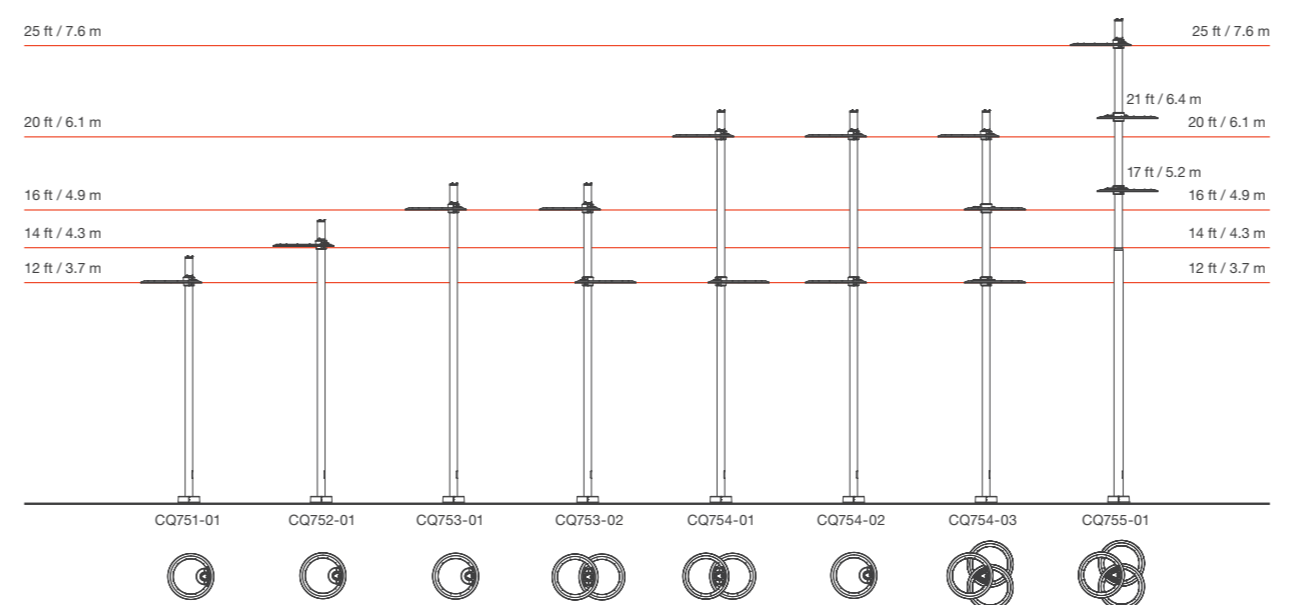
Revised January 17, 2022 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048



Typology Ring Light

Spec Sheet | CQ700

landscapeforms



Pole
Round pole is 5" diameter or stepped 6" to 5" diameter depending on height. Manufactured from seamless 6063 aluminum alloy and heat treated to produce a T6 temper. Pole is topped with aluminum driver housing assembly. Flush mounted hand hole cover includes two magna-coated fasteners.

Base plate
Base plate is cast aluminum A506 alloy heat treated to a T6 temper. Base options include four cast aluminum end covers or a three-piece cast aluminum cover plate. Pole is mounted at grade with galvanized steel anchor bolts. Template and anchor hardware included.


Mounting
Housing is attached to a 5" diameter section of pole with a two-piece permanent mold cast compression clamp. All hardware is magna-coated steel.

Revised January 17, 2022 | Landscape Forms Inc. | 800.521.2546 | F 269.381.3455 | 7800 E. Michigan Ave., Kalamazoo, MI 49048

MaxiLED Lighting

MaxiLED Large Globe Series

Static - Datasheet



KEY FEATURES

- Static Colours
- IP68
- 24VDC

Product Overview

MaxiLED Strands provide exceptionally long strands of globe-lensed LEDs that can be used to outline buildings and bridges or connect architectural features with brilliant white / colour lighting. Each strand is built for permanent installations with rugged, injection-molded outer globes, heavy gauge wiring and dependable LEDs. More than one colour can be used on a single strand.

Specifications	Static Colours
Electrical specification	
Power input:	24VDC
LED Current:	-
Watts per unit:	0.6w
Max. Units per system (1.5mm sq cable):	See Chart below
Lumens (Est.)	70,000lm
Lumen Maintenance 65%:	-
LED options	
Clear White (10,000K):	YES
Warm White (2700K):	YES
Red, Green, Blue, Pink and Amber:	YES
System Cable Distances	
Max. Run distance:	100m (328 ft)
Protection	
IP Rating:	IP68
Operation Temperature:	-25 to +50
Globe	
Material:	UV stabilized polycarbonate
Listings:	UL / cUL, CE, BS EN60598, IEC 60598
Cable Colours	
Black (Standard):	YES
White (Minimum order):	YES (on request)
PAL (Minimum order):	YES (on request)
Dimensions & Weights	
Diameter (mm):	63 mm (2.5 in)
Height (mm):	62 mm (2.3 in)
Weight Globe (Each):	41G (1.44 Ounce)
Weight cable CE (1 Meter):	71G (2.50 Ounce)
Weight cable UL (1 Meter):	56G (1.97 Ounce)
Transformer	Max. Quantity of Fixings
100W:	100 Globes
150W:	200 Globes
240W:	300 Globes

Even though the total load is below the power supply capacity, this is due to the inrush current limitations on start up.

UK Designed and Manufactured

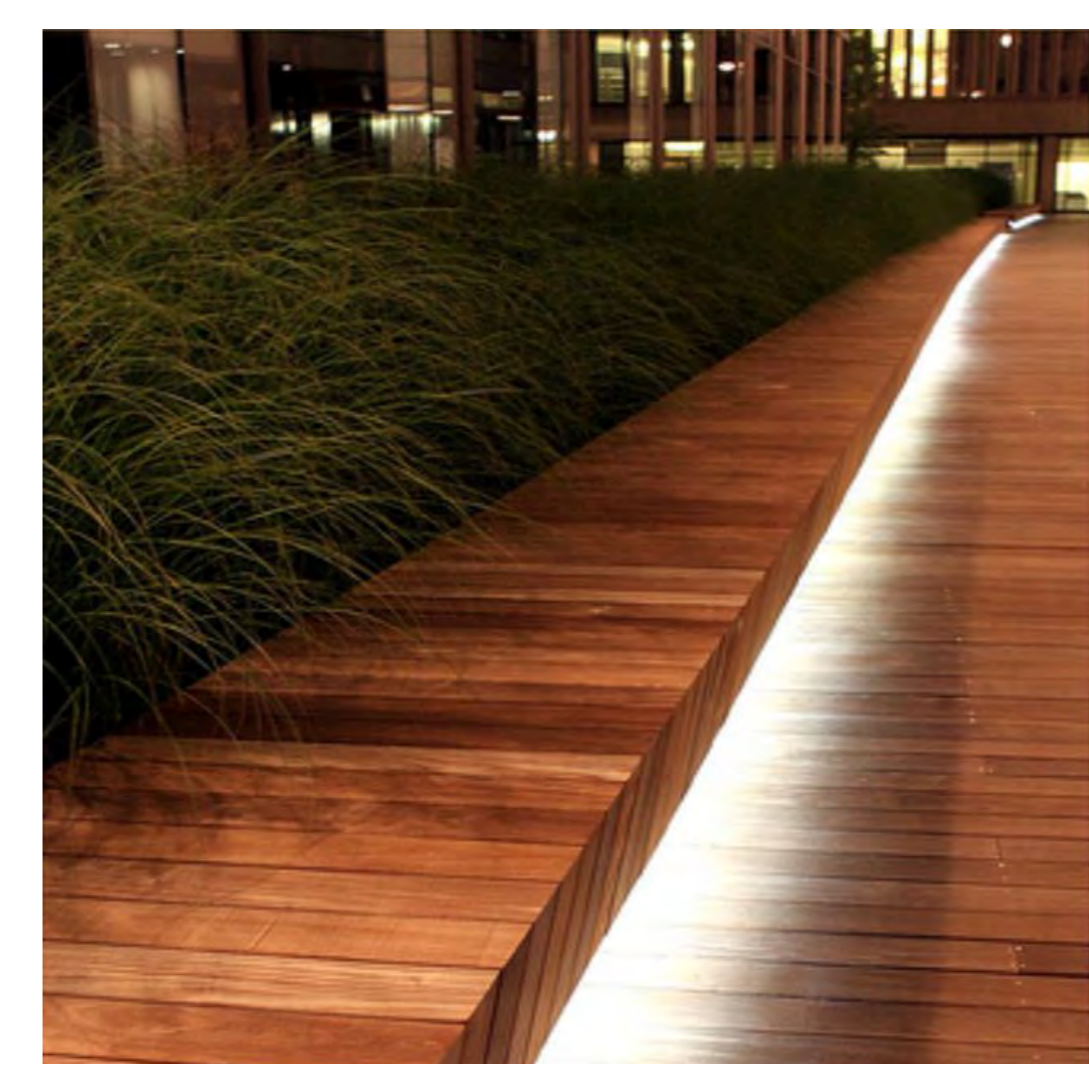
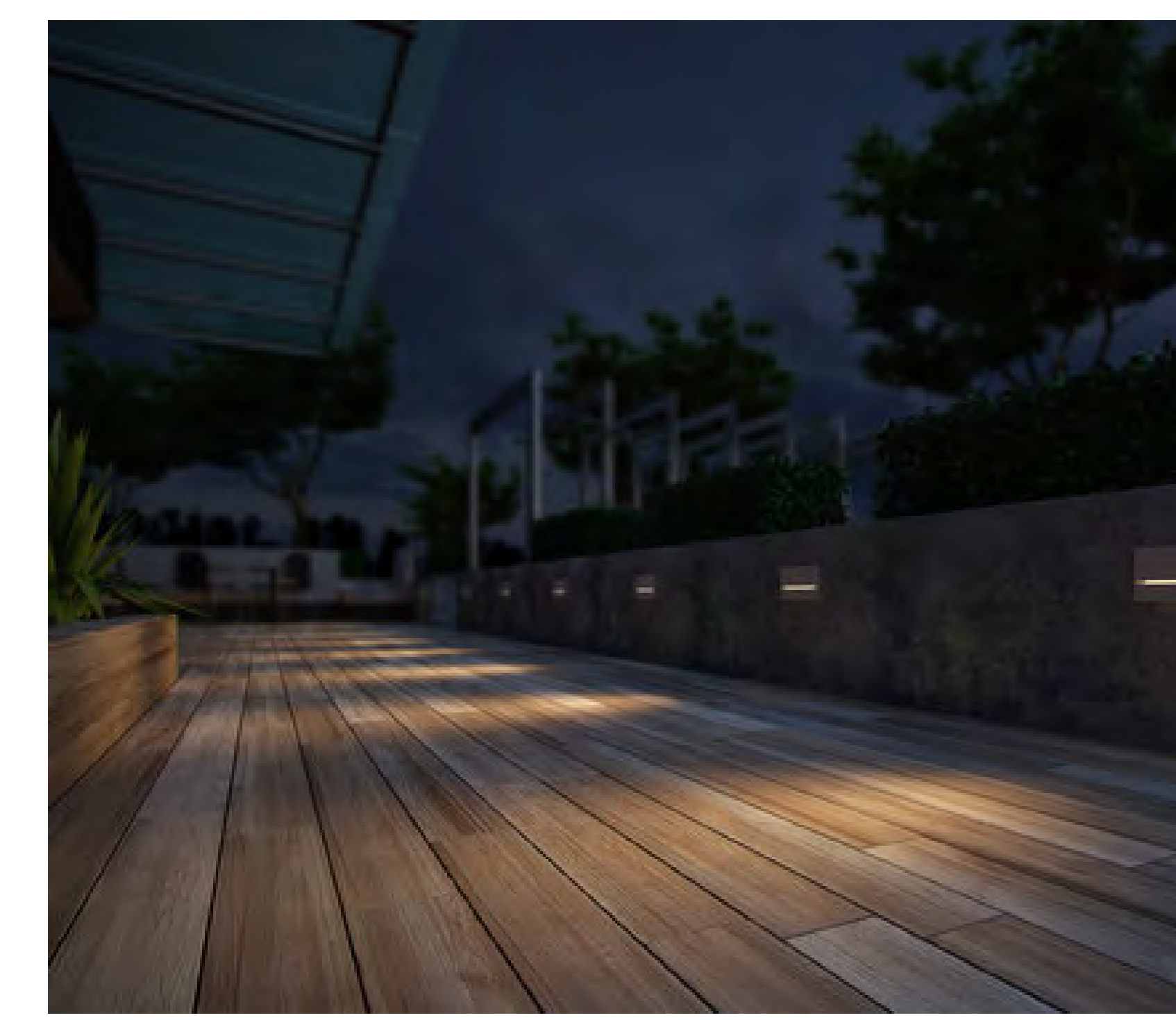
MaxiLED Lighting
Unit 2, Farrington Place, Rossendale Road Ind. Est. Burnley, Lancashire, UK, BB11 5TY
T: +44 (0)845 8732 001 E: sales@maxiledlighting.com Web: www.maxiledlighting.com

Issue No.	Date	Issue Notes
A	2023-01-31	Issued for DP
B	2023-05-12	Issued for RaDP
C	2023-06-23	Issued for RaDP

Professional Seal

7 LIGHTING CUTSHEET: PEDESTRIAN POLE LIGHT

5 LIGHTING CUTSHEET: FESTOON LIGHTING




IMPLIGHTING

L49

EXTERIOR / INTERIOR
Steplight | For walls, stairs, and walkways.

- Wet, Damp, and Dry location

RoHS CE



IMPLIGHTING

L910

EXTERIOR
Bollard


- Wet, Damp, and Dry location

RoHS CE



VERS-PROUD (01)

Linear Fixtures - Surface



The VERS Proud is a finished aluminum fixture utilizing an extruded lens that sits proud of the fixture for maximum variations of LED sources. The high-quality Proud lens provides a delicate glow at the edges of the fixture, creating a slim line of light. Integrated metal endcaps combined with an extruded aluminum housing give this fixture a polished modern look suitable for dry, damp, and wet locations.

6 LIGHTING CUTSHEET: STEP LIGHT

4 LIGHTING CUTSHEET: BOLLARD LIGHTING

8 LIGHTING CUTSHEET: STRIP LIGHTING

eta landscape architecture

1690 West 2nd Avenue
Vancouver, BC, Canada, V6J 1H4

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W | www.eta.ca

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Project
Dockside Commons Precinct A2-1 and A2-2

90 Esquimat Road
343 Tye Road

Drawing Title
Lighting Details

Legal

Project Manager NT	Project ID 22211
Drawn By TT	Scale As Noted
Reviewed By	Drawing No.
Date 2023.06.23	L12.5 38 38