



BROAD STREET

1306-1324 BROAD STREET & 615-625 JOHNSON STREET

Rezoning & HAP Booklet
October 2024
222021



Musson
Cattell
Mackey
Partnership

Broad Street

Rezoning
& HAP

October
2024

Broad Street
Project # 222021

SUBMITTED BY: MUSSON CATTELL MACKEY ARCHITECTS DESIGNERS PLANNERS

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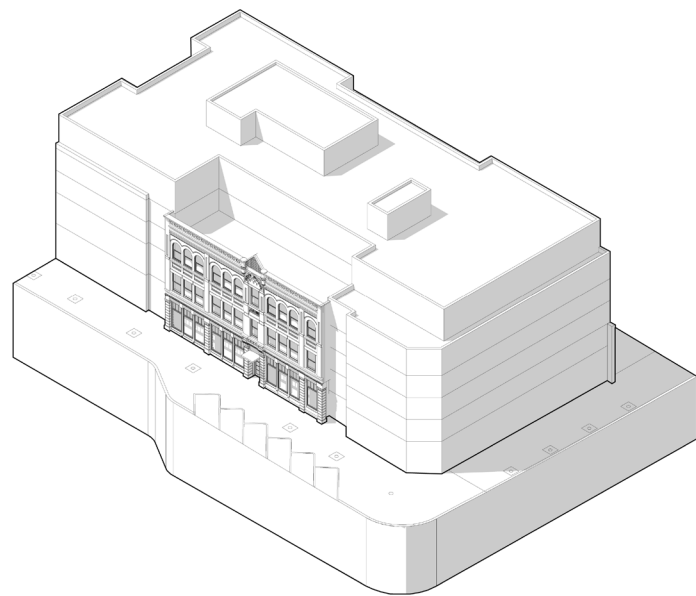
INTRODUCTION

INTRODUCTION

This application puts forth a proposal to rezone the site at 1312-1324 Broad Street, zoned OTD-1 (2018), to a site specific zone to allow:

- An increase to 4.85 FSR
- 8 storey height plus rooftop structures

Previously a six storey proposal was contemplated for this site, and was approved as a combined DP and HAP. The associated applications were 'Rezoning No. 00699,' Heritage Alteration Permit with Variances Permit No. 00018' and Heritage Designation Permit No. 000179'. The approved proposal had an FSR of 3.98 and 135 hotel suites.



Previously approved 6 storey scheme

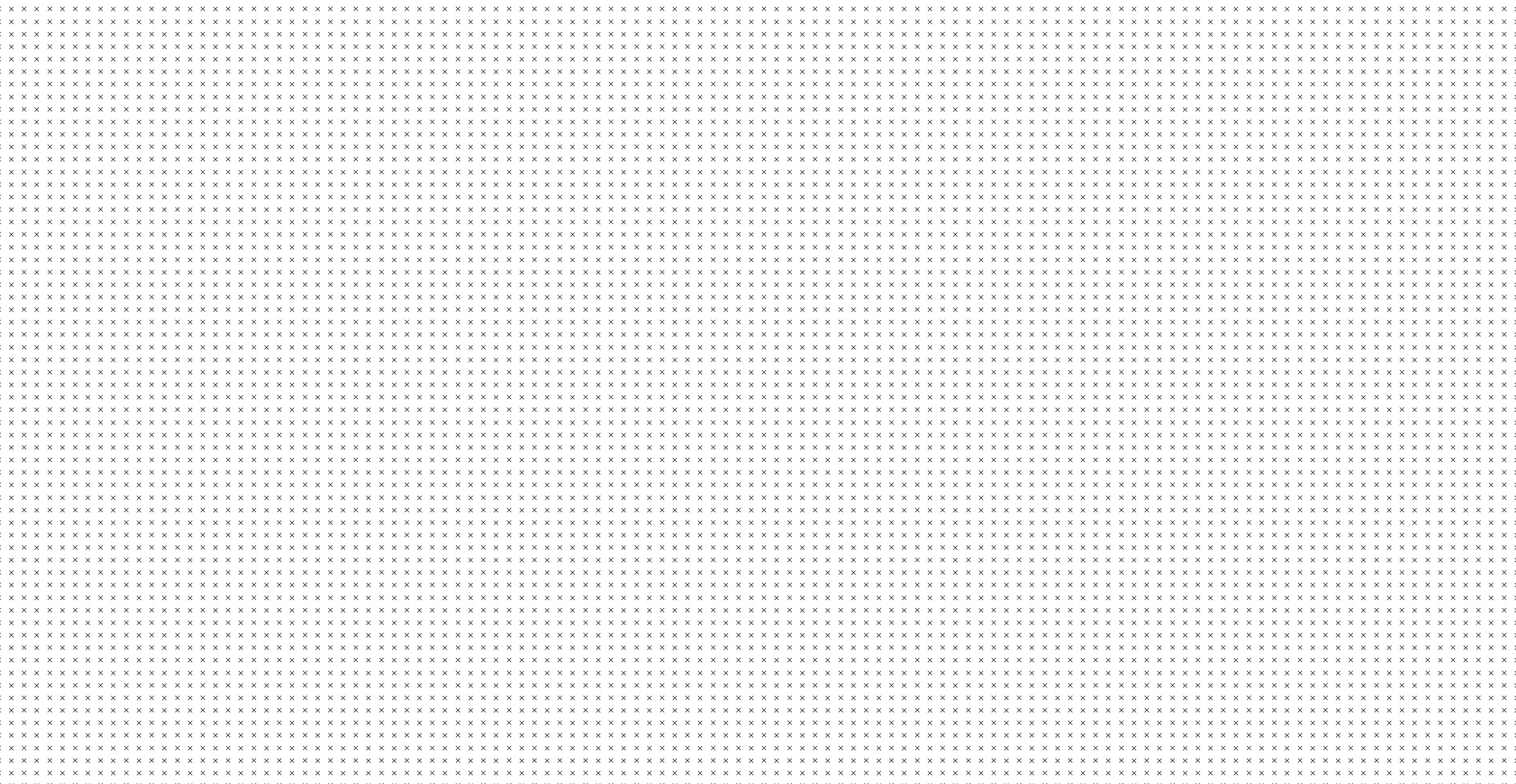
With changes to market conditions, including short-term accommodation demands, an eight-storey version is being proposed as a new Rezoning and HAP application.

The applicant team has been working closely with the City to prepare a design that is well poised to serve the needs of Victoria, including maintaining the design intent of the approved proposal in terms of the heritage approach, pedestrian realm design and shadowing on the adjacent streets.

The proposal represents a vision for the rehabilitation and revitalization of an existing heritage asset and will also contribute to community activation through the provision of much needed short term accommodation. 166 hotel suites will be provided, which is an increase of 31 suites over the previous six-storey version.

Small relaxations to the roof structure setbacks and roof coverage guidelines are sought to allow the design to appropriately respond to the heritage considerations around building massing, and programmatic requirements unique to a hotel use.

The applicant team has taken a holistic approach to the project, balancing heritage rehabilitation, programmatic use, and considerations of the Old Town community to create a destination for visitors and locals alike.



ANALYSIS



PROPOSAL SUMMARY

The proposal consists of an eight-storey hotel that includes the preservation and rehabilitation of the historic Ducks Building and Carriage Factory at the intersection of Broad Street and Johnson Street in downtown Victoria. Anticipated to be one of the only new hotel projects in central Victoria in recent years, the proposal responds to a need for visitor accommodation, offering a range of room types to serve a variety of users.

The Proposal

- FSR: 4.85
- 166 hotel suites
- King, Double Queen and Suite units, with opportunities for connecting rooms serving families.

The proposal also includes a ground floor public facing cafe and restaurant, underground parking accessed by vehicle elevator and long-term bicycle parking.



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Analysis

PROPOSAL SUMMARY

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Building

- The proposal proposes a total area of 9,157 sq. m. over eight levels.
- A majority of the massing above the heritage facades is set back a minimum of 30 feet from Broad Street and Johnson Street to minimize the appearance and scale of the addition while maintaining the restored Duck’s Building facade as the primary architectural element. Level 7 and 8 have significantly smaller floor plates.
- 166 Hotel suites on levels 2-8 including 5 ‘Artist in Residence’ rooms that will feature a rotating selection of art from the creative community in and around Victoria.
- A 494 sq.m. ground floor restaurant and cafe that will serve breakfast, lunch and dinner.
- One level of underground parking accessed by Valet with 36 tandem parking stalls (18 bylaw complying stalls).
- 27 bicycle stalls are provided on P1 and will be accessed through a valet service, with bikes being taken by stair rail, service elevator or vehicle elevator.
- The P1 level will also include hotel back of house service areas.

A hotel program has unique mechanical considerations, and rooftop mechanical equipment is proposed on the uppermost roof, as well as the level seven roof setback. Careful design consideration has been made to minimize the visual impact of the roof top structures from the street.

Analysis

	APPROVED APPLICATION	PROPOSED APPLICATION
Building Storeys	6	8
Hotel Rooms	135	166
FSR	3.98 FSR	4.85 FSR

HOTEL ROOM TYPE

- 13 Family Suites
- 104 King Rooms
- 45 Double Queen Rooms
- 4 Queen Rooms

FLOOR PLATE SIZES

- | | |
|----------------|-----------------------|
| L1: ~14,400 SF | L5: ~14,100 SF |
| L2: ~4,900 SF | L6: ~13,100 SF |
| L3: ~16,770 SF | L7: ~10,200 SF |
| L4: ~16,200 SF | L8: ~8,700 SF |

PROPOSAL UPDATES

Proposal Updates

Previously a six-storey hotel proposal was proposed for this site, and a DP and HAP was approved.

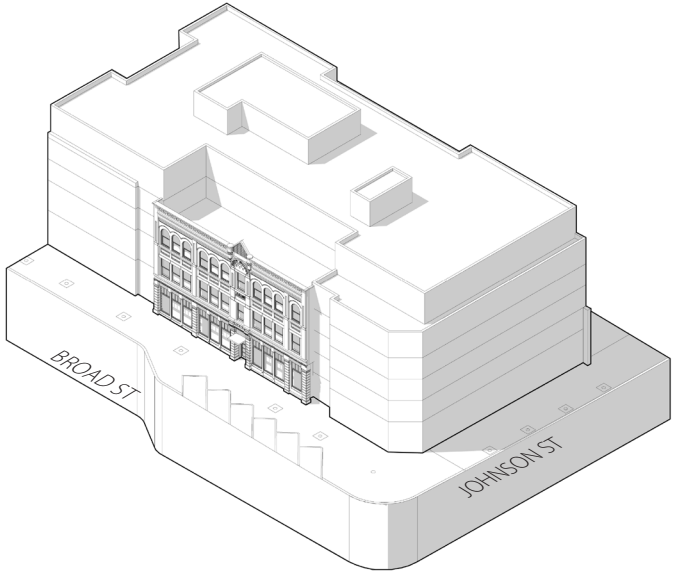
Over recent years the demand for short term accommodation has been steadily increasing, while supply has decreased. The central location in the historic core of Old Town Victoria is a perfect opportunity to provide short term accommodation. The primarily commercial uses in the neighborhood would be supported by the addition of short term rental, and there would be no displacement of existing residential tenants. This revised proposal seeks to expand on the opportunity to provide much needed hotel suites, with a diverse mix of unit types that will serve a variety of visitors. Additional programming - including event space, restaurant and cafe will serve both hotel guests and existing residents. The two additional floors proposed will provide an increase of 31 suites, with minimal impact to the original urban design considerations of the approved six-storey scheme.

The two additional floors have been thoughtfully considered - with additional setbacks along Broad Street and Johnson street to reduce the visual mass in relation to both the retained heritage facade on Broad Street and the overall pedestrian realm. Due to the additional setbacks along Broad Street and Johnson Street, small relaxations to the setbacks for 'Rooftop Structures' is sought.

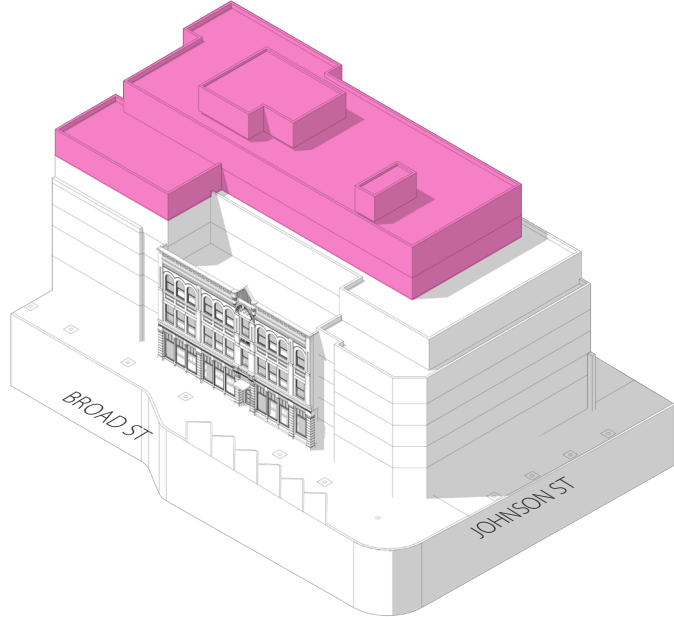
Proposed Rooftop Relaxations

2018 Downtown Bylaw	Current
10. a. Rooftop Structure must not occupy more than 20% of the roof area of the Building.	The current roof coverage is 24%
10. b. A Rooftop Structure must be set back a minimum of 3.0m from the outer edge of the roof.	<p>There are four locations where the setbacks from the Rooftop Structures are less than 3.0m</p> <ul style="list-style-type: none"> 0.78m Elevator Overrun (Roof) 2.14m - Mech Rm/Screen (Roof) 2.31m - Mech Screen (Roof) 2.44m - Mech Screen (L7)

Refer to the architectural drawings and Mayor Letter for additional details.



6 Storey Massing



8 Storey Massing

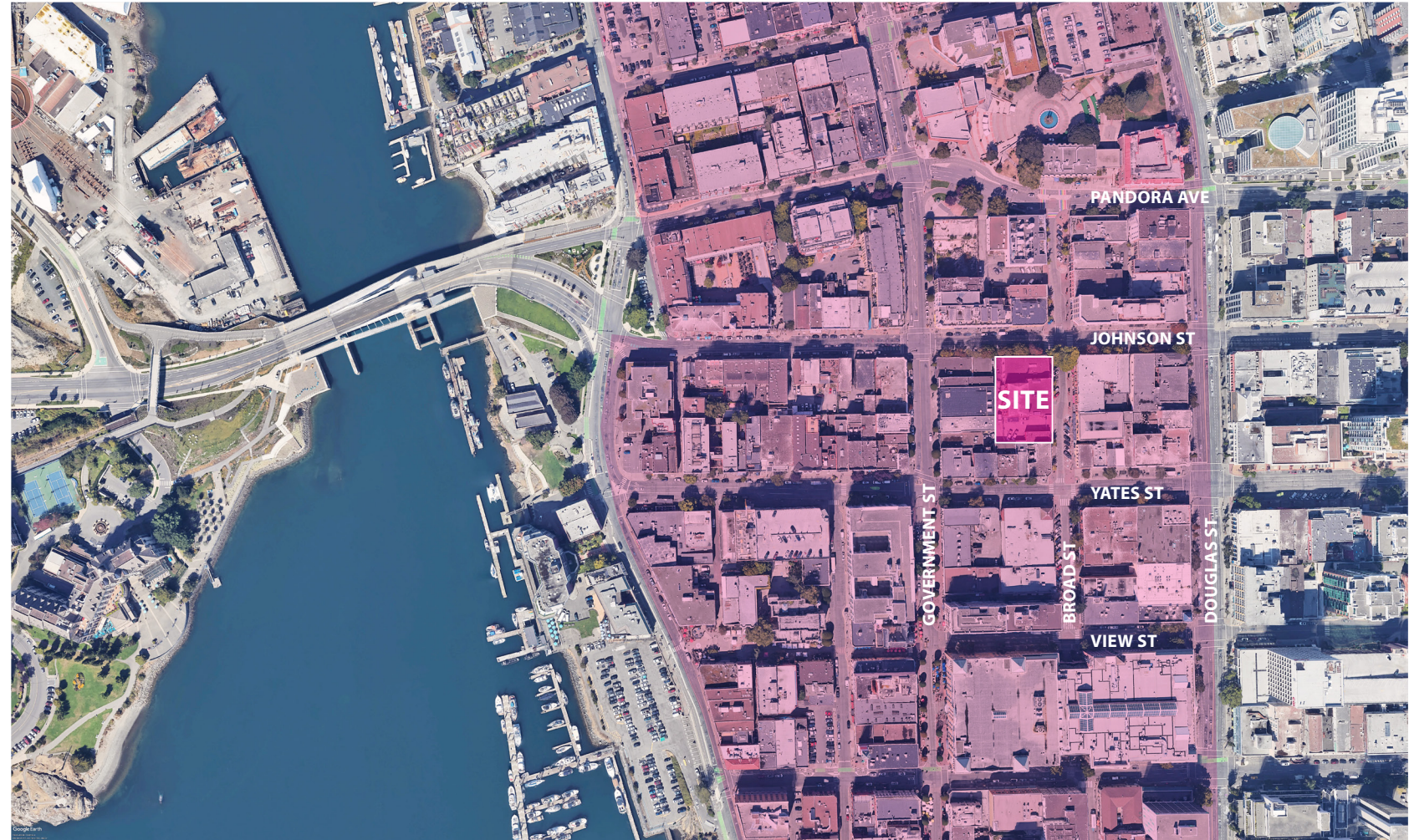
SITE CONTEXT

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The subject site is in the Old Town District of Downtown Victoria, at the intersection of Broad Street and Johnson Street. The site is the consolidation of three separate parcels which includes the historic Ducks Building and Carriage Factory. The Ducks Building has historically significant facades that will be retained facing Broad Street and the lane. A rubble stone wall from the Carriage Factory building facing the lane will also be retained. The lane is accessed off Johnson Street and will provide service access as well as valet drop off for hotel guests. Due to the existing heritage structures and constrained site dimensions access to the underground parking is provided by vehicle elevators.



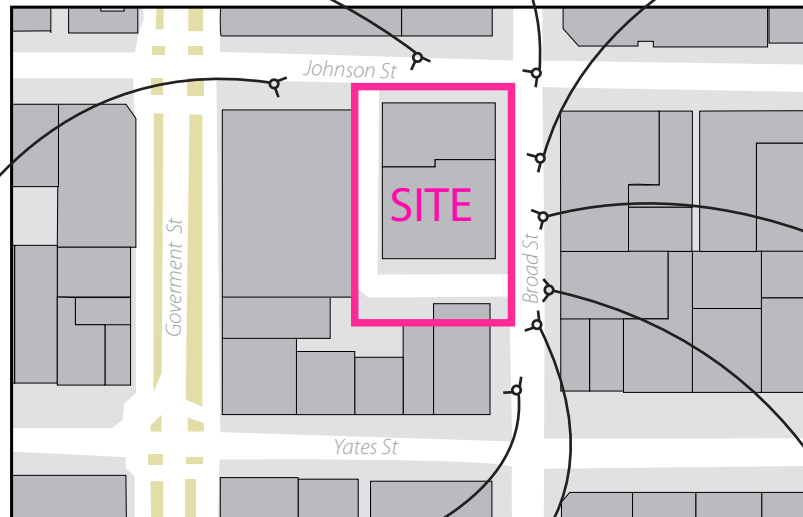
Core Historic (OCP)



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Analysis

HERITAGE CONTEXT

Designed by William Tuff Whiteway for Simeon Duck, completed in 1892. The building was the third owned by Simeon Duck on the block for his carriage business. The first was a two storey building facing Johnson street, and the second at the corner of Broad and Johnson. The Ducks Building is an excellent example of a Victorian-era utilitarian commercial structure.

The Ducks Building formed a contiguous wall with the earlier surviving 1874 stone wall of Duck's original Carriage Factory.

The proposed redevelopment includes: retention and rehabilitation of the front and rear elevations of the Duck's Building, as well as the stone wall of the Carriage Factory, and returns of the front facade; construction of new additions on either side of the Duck's Building; and, construction of a new structure within and extending above the retained walls which is set back from the front and rear elevations of the Duck's Building. A heritage acknowledgement program will also be developed.

The Ducks Building was primarily used for Simeon Duck's business ventures, and was connected with the adjacent buildings under his ownership in various ways over their tenure. The upper floors housed a hotel, as well as a large brothel originally run by Vera Ashton, and later by Stella Carroll. By 1892 a liquor license was issued to M.C. Brown at a "no name" hotel, later renewed as the license for the Canada Hotel in 1899, and later as the Canada Saloon, 1322 Broad Street. Later the upper floors were also used as a music hall and performance space.

After the end of the First World War, a variety of commercial business occupied the ground level storefronts, and the upper floors appear to have been constantly reconfigured for a variety of tenants. The longest-term tenant was The Old British Fish & Chips, which occupied 1318 Broad Street from the 1920s until recently.



Duck's Building, 1318-1322 Broad Street, 1947. [Daily Colonist. City of Victoria Archives M08633]

HERITAGE CONTEXT



Character-Defining Elements

The heritage character-defining elements of the Duck's Building include its:

- location on Broad Street, in Victoria's Old Town District;
- continuous commercial and retail use;
- commercial form, scale and massing, as expressed in its three-storey cubic massing, symmetrical rectangular plan and flat roof, set flush to the front and side property lines; irregular bay spacing with two entries to the upper floors; and raised rear portion that accommodated an assembly hall;
- design elements of the Romanesque Revival style, such as rock-faced masonry piers at street level; rock-faced stone lintels; round-arched windows on the top floor; decorations above the main entry with patterned fret work and a triangular pediment; corbelled cornice detailing, decorative name and date-plates with 'DUCK'S BUILDING' and "A.D. 1892;" and patterned brickwork on the rear facade;
- masonry construction, including: structural front, side and rear brick walls; timber internal frame; parged window sills; and cast-iron storefront columns;
- symmetrical fenestration including: rectangular storefront openings; and round-arched and rectangular double-hung 1-over-1 wooden sash windows with upper-sash horns on the front and rear facades; and
- the contiguous relationship of its rear wall with the 1874 stone wall of the Duck's Carriage Factory to the north.



Stella Carroll's premises, second floor of the Duck's Building. [Linda Eversole, Stella: Unrepentant Madam]



Top: Maynard's Auction Room at 1318 Broad Street, Victoria, circa 1908. [BCA C-05946]

Bottom: Maynard And Sons, Auctioneers. Auction of livestock, harness, and buggies on Broad Street, Victoria, circa 1908. [BCA C-05947]

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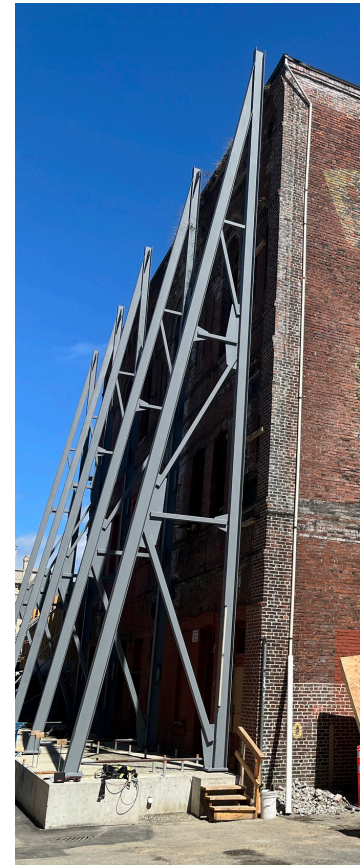
HERITAGE RETENTION

The proposed new development includes the retention, preservation and rehabilitation of portions of the Duck's Building and Duck's Carriage Factory that have significant heritage value. The approach to the conservation and re-use of these structures has been developed under careful consideration with Donald Luxton and Associates, the project Heritage Consultants. The team at Luxton has been closely involved in the design development since early in the project and continue to be close collaborators as work begins on site to prepare these heritage assets for retention and rehabilitation.

A Conservation Plan has been prepared for both the Duck's Building and the Duck's Carriage Factory which outline the considerations and obligations for the conservation and salvage of heritage materials. The plans were included as part of the original, approved proposal, and the obligations have not changed with the new consideration of an eight-storey building.

Work has begun on site, with the existing building being deconstructed by hand, with each component being sorted for re-use in the new development or for other heritage revitalization projects across north america. This process has allowed more than 3,000 cubic yards of material to be diverted from the landfill.

All work has been in compliance with the associated Conservation Plans and approved demolition and abatement permits.



An engineered facade retention system has been installed at the front and rear elevation of the Duck's building. The elevation will be carefully rehabilitated in accordance with the Conservation Plan.



Careful salvage of sound exterior masonry is ongoing for use in restoring the retained elevations and for interior feature elements.



The roof has been carefully removed in sections to allow maximum reuse and recycling of the existing material.

PUBLIC BENEFITS



Economic Benefits

Job Creation

Over 400 full time jobs will be created throughout construction, with the completed hotel offering over 90 full time positions to Victorians.

Investment in Local Economy

Each year, operation of the hotel will add over 14 million dollars to the local economy and almost four million dollars in tax contributions.

Visitor Spend

Visiting hotel guests will bring in over six million dollars annually to the local economy as well as almost two million dollars in annual tax contributions.

Neighborhood Activation

Ongoing hotel guest turnover is expected to bring over 90,000 visitors to the neighborhood annually, encouraging increased pedestrian traffic for local businesses.

Property Tax and City Charges DCC

The eight-storey building will produce approximately +20% additional property tax revenue annually and +38% additional DCC fees (compared to the previously approved version).



Accessible Arts & Culture Facilities & Programming Opportunities

There is an ongoing challenge of space, access and visibility for Victoria's local creative community.

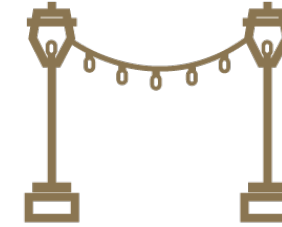
To address this several key benefits are being proposed with the revised development to support and uplift Victoria's arts and business communities including:

Artist Rooms - 'Rotating Galleries in Residence'

Five hotel rooms will be designated as 'artist rooms' featuring a rotating art program by local artists with artwork changing twice a year. Featured artists will also have opportunities for social media promotion, public events, and more, at no cost.

Meeting Space for Arts Organizations - 'Creative Hub'

Offering hotel meeting rooms to the Victoria Arts Council or other local arts organizations for board meetings, exhibitions, workshops or classes, on a regular, agreed upon basis.



Public Realm Enhancements

Street Activation with Catenary Lighting

The development proposes to fund the installation of catenary lighting along the 1300 block of Broad Street, utilizing existing infrastructure to support this enhancement. This lighting improvement will help improve ambiance and safety while creating a welcoming environment for the community, fostering a greater sense of community and opportunity to gather.

BC Hydro

Part of the development will include the installation of an underground BC Hydro Vista Switch, ensuring enhanced capacity for future growth and improving reliability on the BC Hydro downtown network.

Street Activation with Public Amenities

Widened sidewalks and continuous commercial uses at grade will activate the pedestrian realm while providing improved access and circulation to and around the site. This will include activation of the lane through lighting and paving improvements as well as activation through a hotel entrance adjacent the rubble wall, which will be lit at night.

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PROPOSAL

HERITAGE RESPONSE

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The proposed development responds to the existing heritage asset in a considerate and appropriate manner based on the tenets of heritage conservation outlined in the Standards and Guidelines for the Conservation of Historic Places in Canada. New work proposed will consist of aspects of Preservation, Restoration and Rehabilitation.

The overall intent is to rehabilitate the site which will include the conservation of character-defining elements of the retained elevations, while undertaking new construction which will upgrade the structure and services to increase its functionality for continued commercial and mixed use programs. The front and rear facades of the Duck's Building, as well as the stone wall of the Carriage Factory, will be retained as part of the site rehabilitation. A heritage acknowledgement program will be developed.

Three primary considerations for the new interventions and additions to the existing buildings is that they are compatible, distinguishable and subordinate.



View of Existing Ducks Building at the lane.

Compatible

Compatibility is achieved through the use of scale and materiality. The new street fronts along both Broad Street and Johnson Street echo the scale and massing of the heritage buildings through their general height and fenestration rhythm. Materials for the street facades are sensitive to the heritage building without trying to match or mimic what is existing. Brick work and articulation of the new curtainwall contrast the Duck's facade, but also provide a complementary architectural language that does not overpower it.

Distinguishable

It is important for there to be a clear distinction between what is historic and what is new. This is achieved through considerations in the architectural expression both in massing and materiality of the new additions. Subtle massing cues, including recessed glazing between the existing and new along Broad Street create visual cues for the distinction of these architectural elements.



View of Existing Ducks Building storefront on Broad Street.

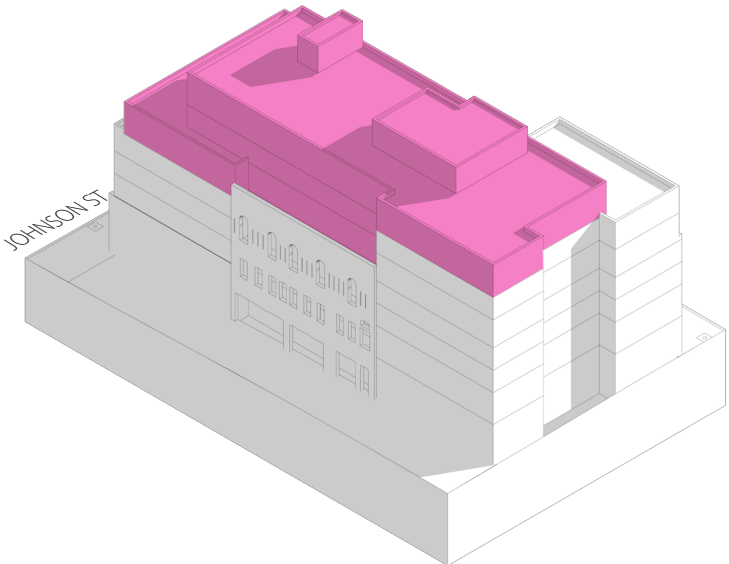
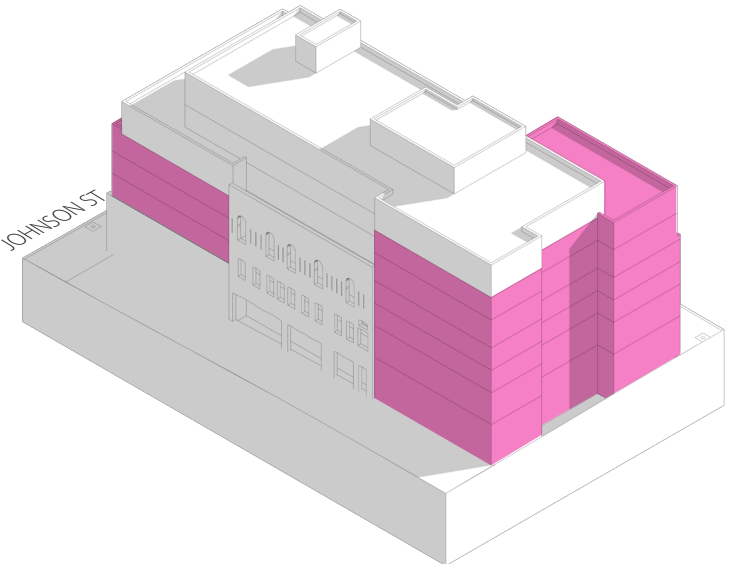
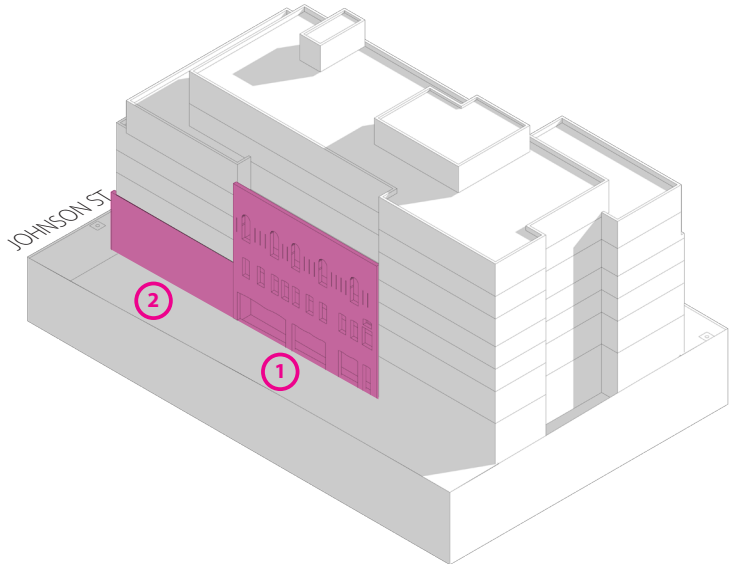
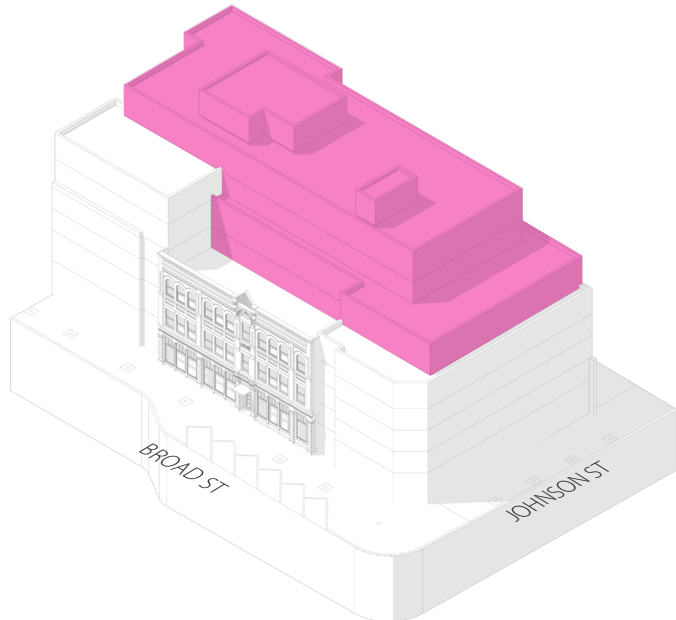
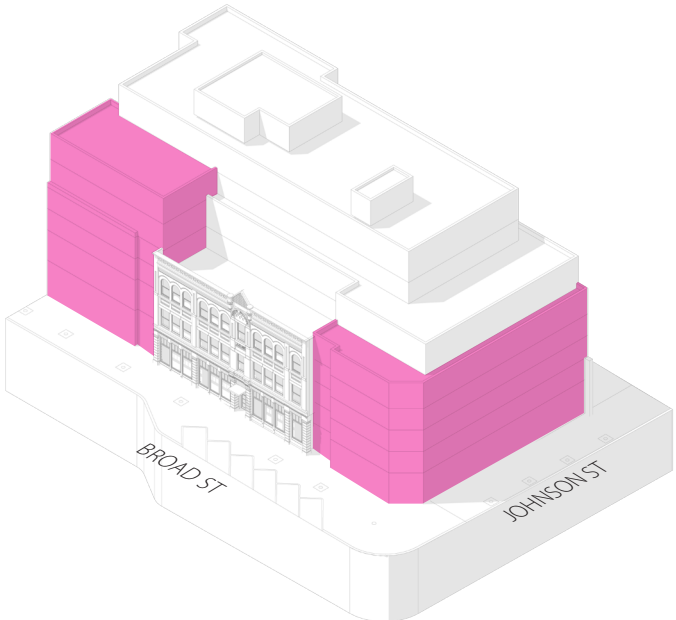
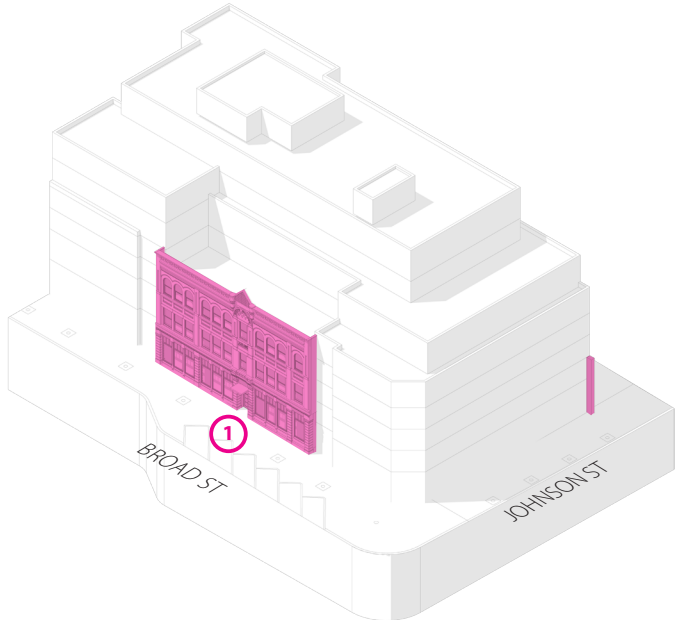


View of Existing Ducks Building storefront on Broad Street.

Subordinate

Subordinate does not mean that a new construction should be smaller than the heritage asset, but rather that it does not detract from the historic elements or adversely impact their heritage value. The new floors added above the existing heritage structure are set back to allow the Ducks facade to maintain primacy of the design. The material palette for the setback portions, as well as the new elements along the lane have been selected to be subordinate while still complimentary and suitable to the new additions.

HERITAGE RESPONSE



Emphasize Heritage

Retain the existing Ducks Building heritage facades (1) and Carriage Factory Rubble wall (2).

Complete Urban Fabric

Extend streetscape with new additions appropriate and compatible with the scale of the existing heritage elements.

Setback Upper Levels

Allow the heritage facades to retain their primacy and create an appropriately scaled pedestrian experience for the neighbourhood.

Broad Street

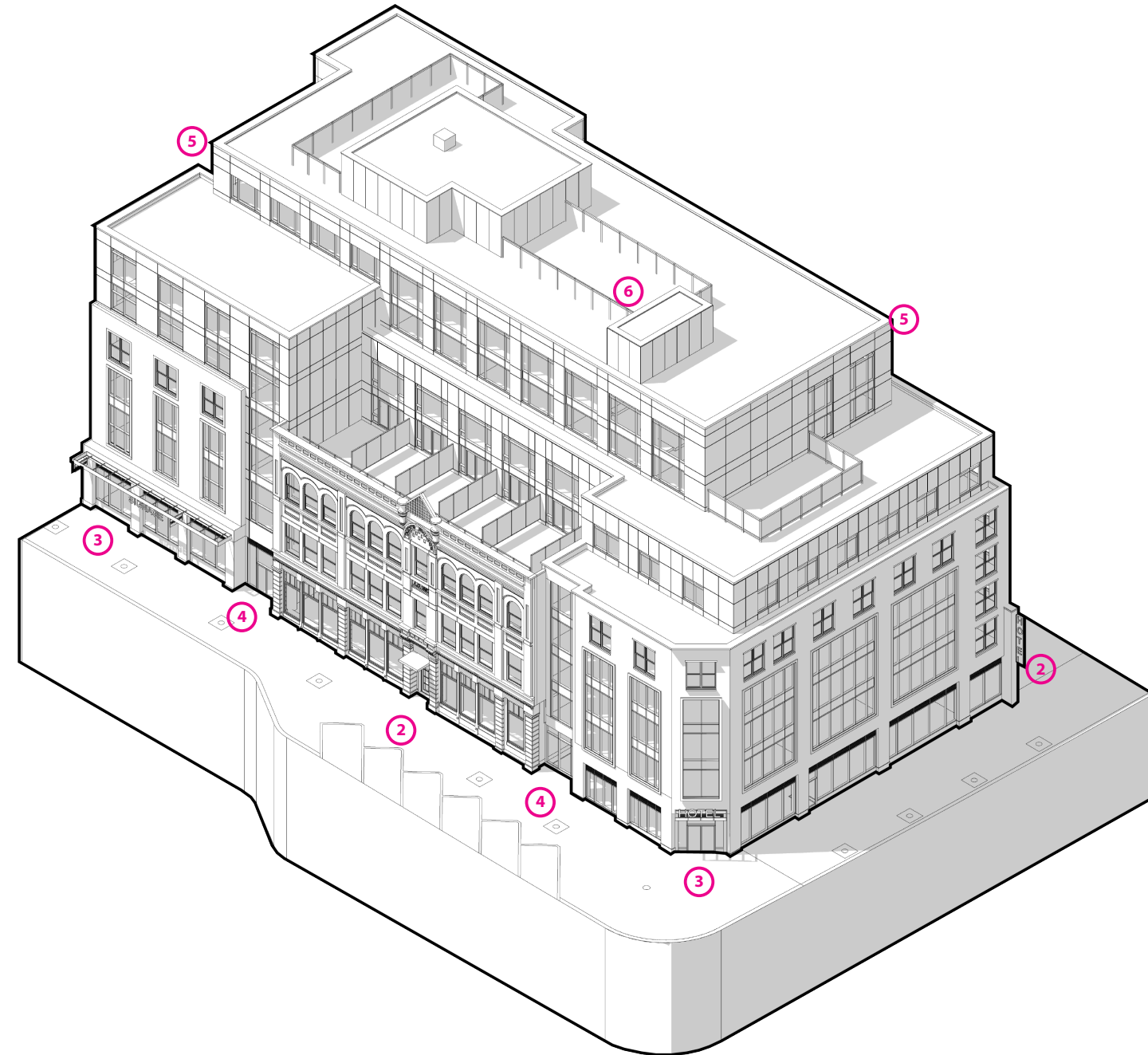
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Proposal

MASSING

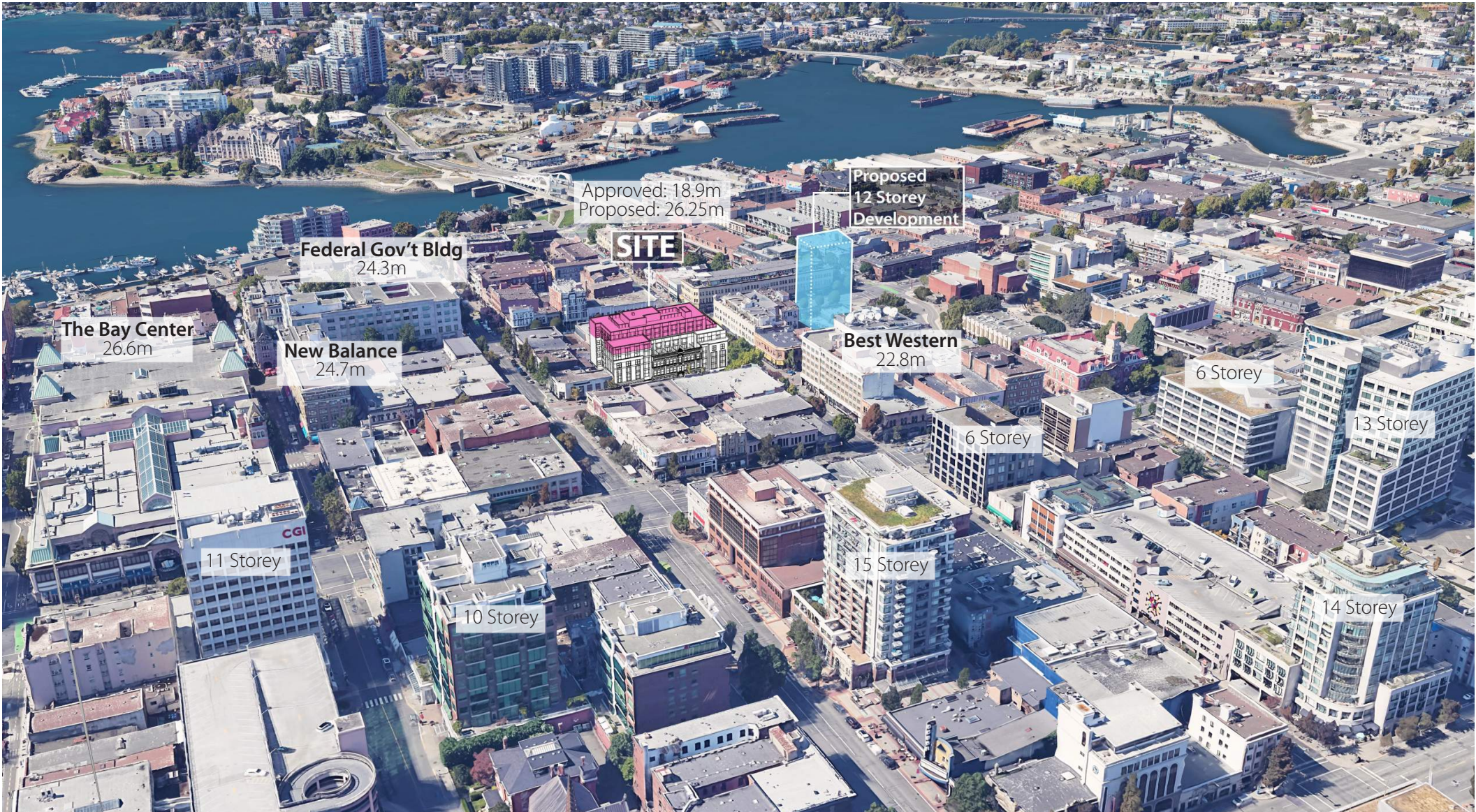
- 1 Consideration of the building massing responds to heritage principles to rehabilitate the existing Duck's building as well as the objectives of the City of Victoria's zoning bylaw.
- 2 The Broad street and lane street facades of the historic Duck's Building are being retained.
- 3 New massing is introduced along Broad Street and Johnson Street to create an active storefront that is pedestrian scaled and responds to the heritage asset.
- 4 Recessed alcoves between the historic and new elements contribute towards distinguishability. Level six is set back from the street so that the additional floors become subordinate, as well as create a street wall expression appropriate to the broader neighbourhood context.
- 5 Level seven and eight are setback further to reduce the visual impact from the street level.
- 6 The mechanical enclosure on the roofs has been minimized to the smallest footprint possible while providing functional service for the hotel program. The rooftop structures are further setback to minimize their visual appearance and are also finished with high quality materials so that they are integrated as part of the overall architectural language.



HEIGHT AND CONTEXT

The building design has been carefully considered to reduce the visual impact of the floors above the existing Duck's Building while also maximizing the opportunity to provide much needed short term rental accommodation to serve the downtown area. The proposal is generally consistent in height with other developments in the area, and is lower than the Bay Center.

A slight relaxation to building height has been requested as part of this application, and additional measures have been taken in the building design to further reduce the visual impact of the 7th and 8th floors and well as the rooftop structures.



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HEIGHT AND CONTEXT

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Aerial view looking at the corner of Broad Street and Johnson Street.

PROPOSED BUILDING IN CONTEXT



Looking west along Johnson St. towards site.



Corner of Government St. and Yates St. looking northeast towards site.



Looking east along Johnson St. towards site.

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PROPOSED BUILDING IN CONTEXT

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Looking south along Broad St. towards site.



Looking north along Broad St. towards site.

DESIGN PRINCIPLES

The proposal is for a high quality hotel development that will provide much needed short term rental accommodation for Downtown Victoria as well as contribute to the community and urban streetscape through the provision of event spaces, a restaurant, cafe, and rehabilitation of a significant heritage asset.

The development will rehabilitate the facade of the Ducks Building along Broad street, providing new building on either side that will complement the heritage facade and enhance the pedestrian realm

through considered massing and high quality materials. The new building facade will wrap the corner at Broad Street and Johnson Street, with a sensitive massing that echoes the previous building on the site. The new massing along Johnson will also create a link with the stone rubble wall retained at the lane. Massing above the heritage facades and new street wall expression is set back to minimize the visual impact of the new addition from the street, while maximizing the opportunity to provide additional hotel suites. Back of house functions including a valet entrance and access for

vehicle parking and loading has been provided at the lane, allowing a continuous, activated pedestrian frontage along the entirety of the Broad and Johnson street elevations. Thoughtful interventions in the heritage facade on the lane side provide additional opportunities for back of house programming including required electrical and mechanical service spaces. A historically compatible material palette has been selected



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MATERIALS

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A high quality material palette has been selected to be both compatible, distinguishable and subordinate to the historic Duck's Building. The materials have also been selected to be sensitive to the existing neighbourhood content and also provide a high quality of architectural expression at the pedestrian realm. Different tones of brick relate to the strong masonry expression throughout the historic downtown core - with contemporary considerations of tone and detailing. Storefront curtainwall is elevated through various articulation and detailing, developing a consistent but varied architectural expression. New punched windows, both in brick and metal panel cladding reference the punched windows of the heritage facades while still being distinguishable. Metal panel in a variety of tones creates a neutral complement to the existing and new masonry elements, with lighter tones on the new upper floors helping further reduce the visual impact.

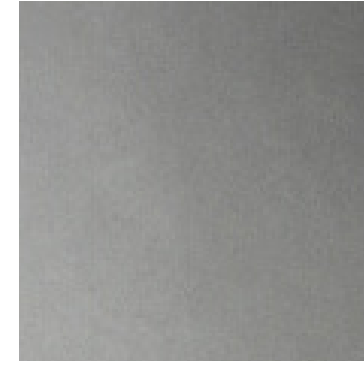
Upper Levels



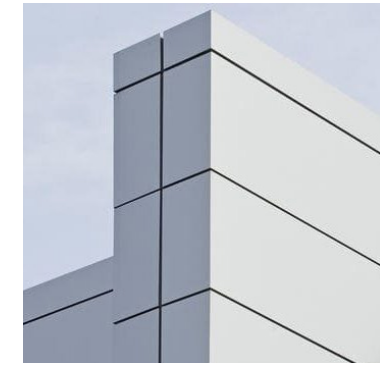
Glass (Grey/Neutral)



Metal Panel (Black)

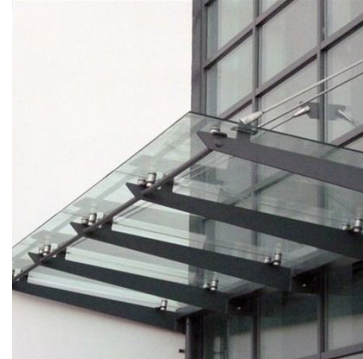


Metal Panel (Dark Grey)



Metal Panel (Light Grey)

Street Level



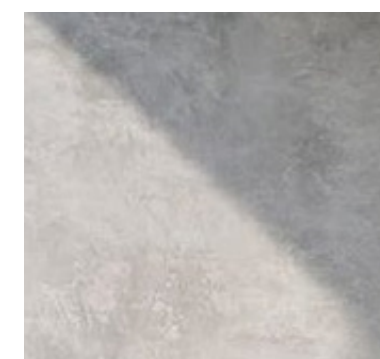
Steel and Glass Canopy



Brick (Wheat)



Brick (Forest Blend)



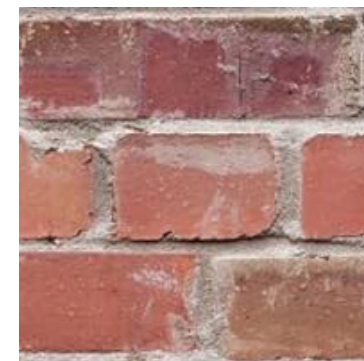
Architectural Concrete



Sandstone (Existing)



Blackwatch Green Storefront



Brick (Salvage Heritage)



Rubble Wall

RENDERINGS

MCM

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Street level view looking at the corner of Broad Street and Johnson Street.

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Street level view looking at Broad Street Elevation.

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Street level view looking north along Broad Street.

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Street level view looking south along Broad Street.

ELEVATIONS

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B-1	Brick (Forest Blend, Norman Size Brick)	EG-1	Rehabilitated Historically Compatible Window
B-2	Brick (Wheat, Normal Size Brick)	ES-1	Existing Stone
C-1	Sealed Exposed Concrete	GL-1	Double Glazed Window w/Charcoal Grey Mullions
C-3	Precast Concrete Panel	GL-2	Insulated Single Glazed Spandrel (Dark Grey)
C-4	Precast Concrete Frame	GL-3	Insulated Single Glazed Spandrel (Harmonized with Vision Glass)
C-5	Precast Concrete Parapet	M-1	Pre finished Aluminum Louvres (Color to Match Mullions)
C-6	Precast Concrete Header/Sill	P-1	Metal Panel - Light Grey
CA-1 S	Steel and Glass Canopy	P-2	Metal Panel - Black
EB-1	Existing Brick	P-3	Metal Panel - Dark Grey

Proposal

ELEVATIONS

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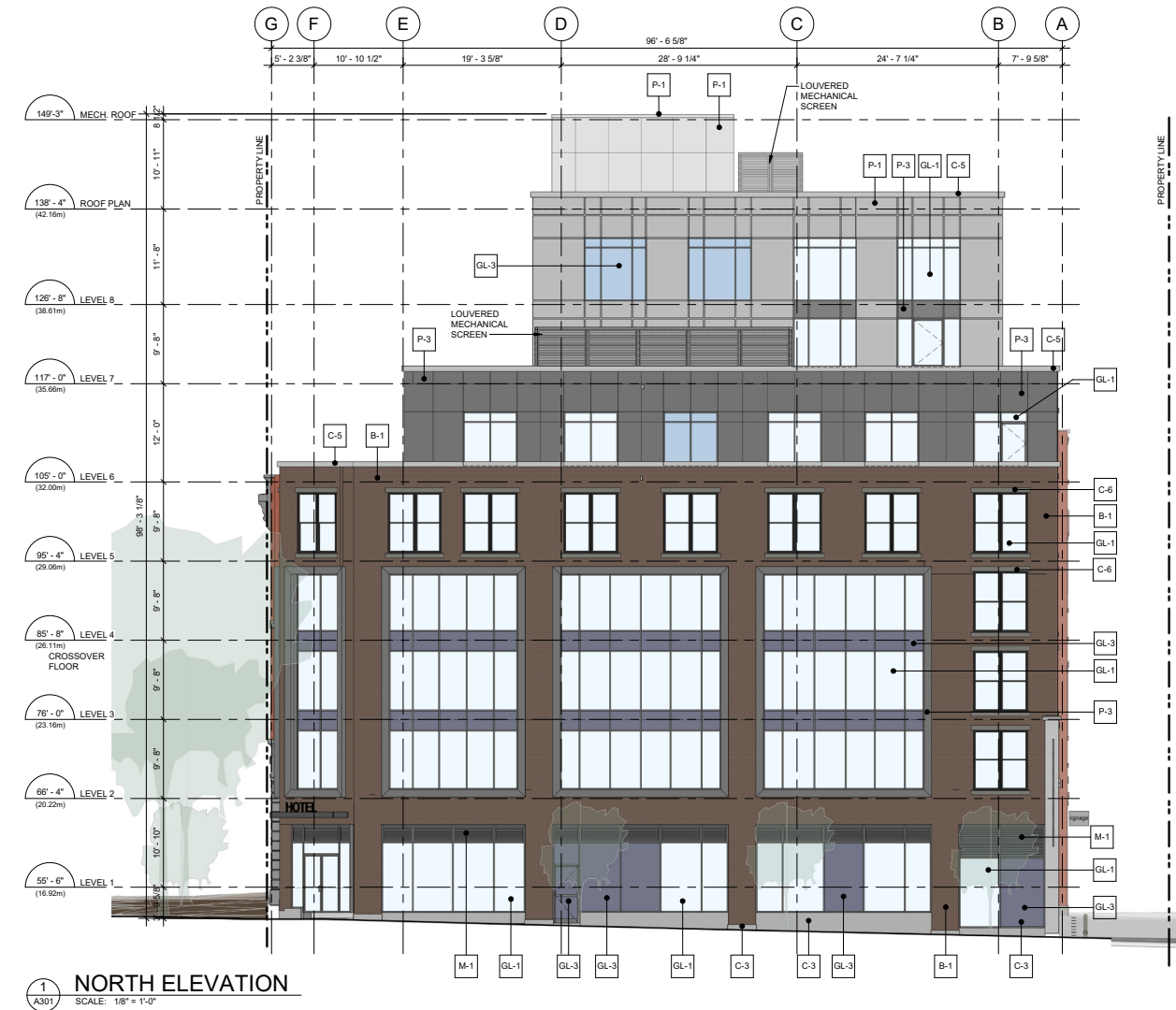
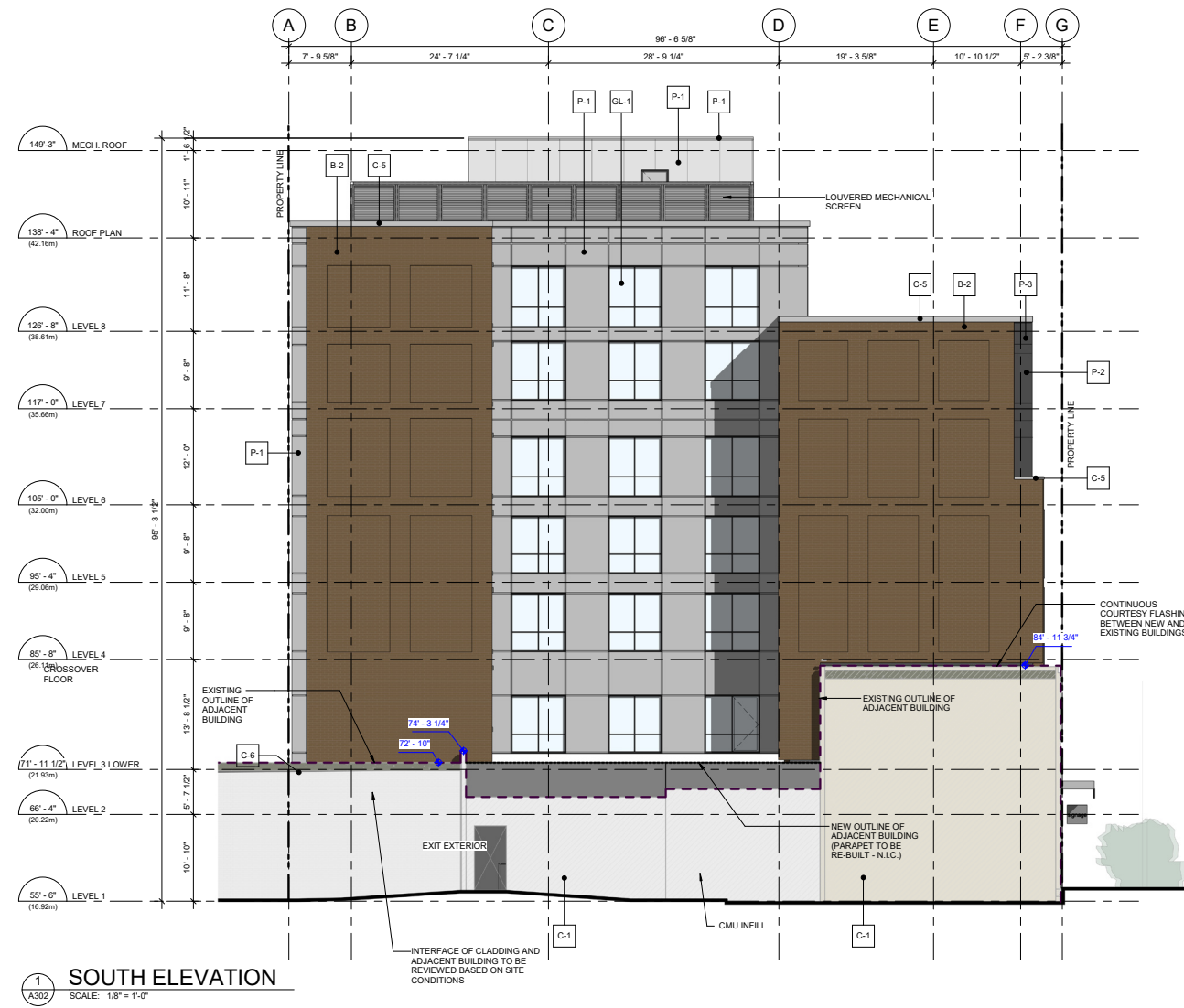


1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Proposal

B-1	Brick (Forest Blend, Norman Size Brick)	EG-1	Rehabilitated Historically Compatible Window
B-2	Brick (Wheat, Normal Size Brick)	ES-1	Existing Stone
C-1	Sealed Exposed Concrete	GL-1	Double Glazed Window w/Charcoal Grey Mullions
C-3	Precast Concrete Panel	GL-2	Insulated Single Glazed Spandrel (Dark Grey)
C-4	Precast Concrete Frame	GL-3	Insulated Single Glazed Spandrel (Harmonized with Vision Glass)
C-5	Precast Concrete Parapet	M-1	Pre finished Aluminum Louvres (Color to Match Mullions)
C-6	Precast Concrete Header/Sill	P-1	Metal Panel - Light Grey
CA-1 S	Steel and Glass Canopy	P-2	Metal Panel - Black
EB-1	Existing Brick	P-3	Metal Panel - Dark Grey

ELEVATIONS



- | | | | |
|--------|---|------|---|
| B-1 | Brick (Forest Blend, Norman Size Brick) | EG-1 | Rehabilitated Historically Compatible Window |
| B-2 | Brick (Wheat, Normal Size Brick) | ES-1 | Existing Stone |
| C-1 | Sealed Exposed Concrete | GL-1 | Double Glazed Window w/Charcoal Grey Mullions |
| C-3 | Precast Concrete Panel | GL-2 | Insulated Single Glazed Spandrel (Dark Grey) |
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| CA-1 S | Steel and Glass Canopy | P-2 | Metal Panel - Black |
| EB-1 | Existing Brick | P-3 | Metal Panel - Dark Grey |

Broad Street

zoning
-IAP

October
24

Proposal

SHADOW STUDIES

■ Incremental shadow increase from approved scheme
The additional height does not create further shadowing on public sidewalks

Broad Street

Rezoning
& HAP

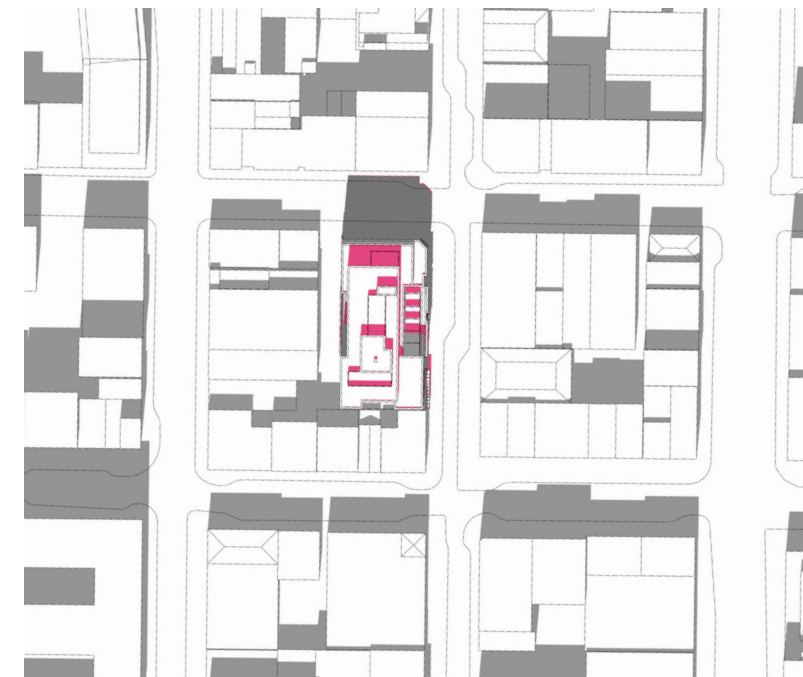
October
2024



Spring Equinox - 10:00am



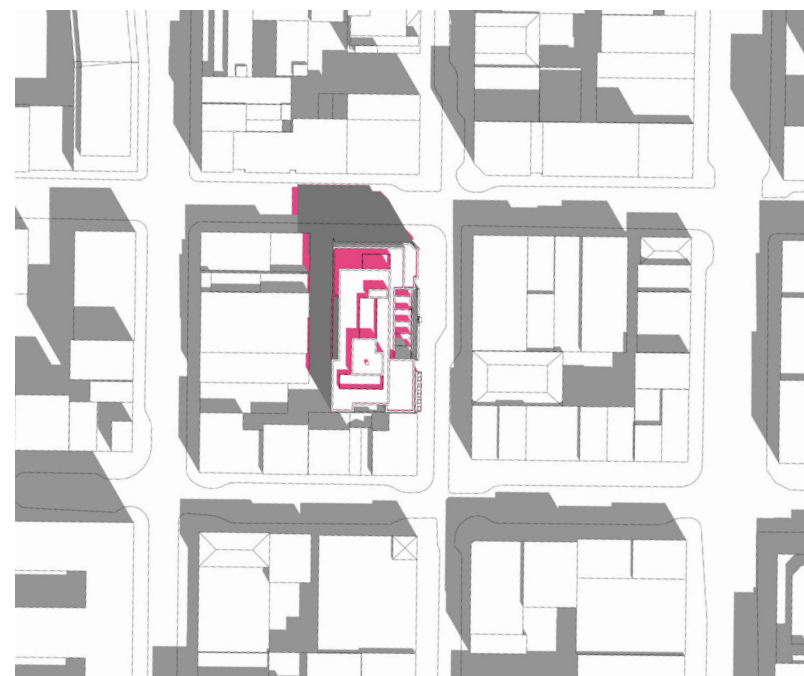
Spring Equinox - 12:00pm



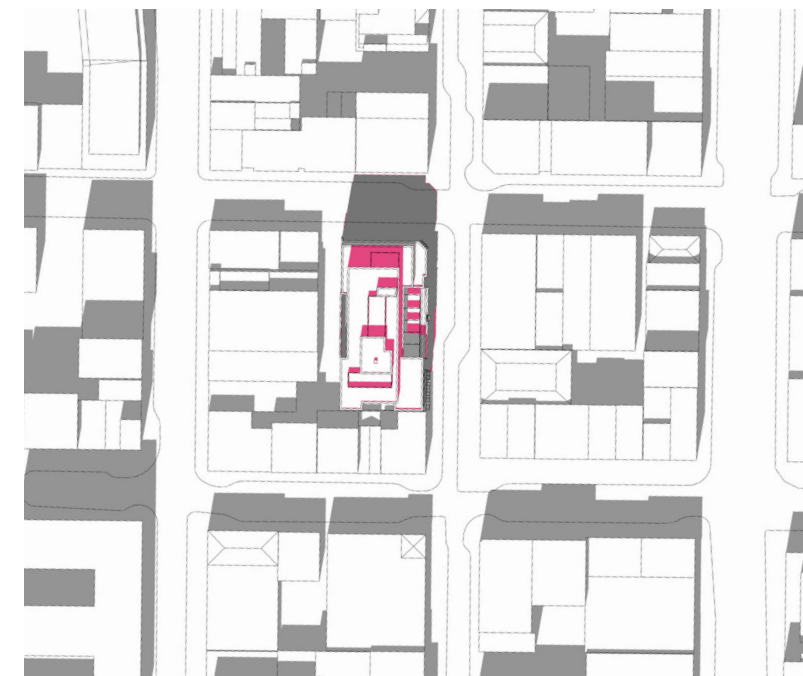
Spring Equinox - 2:00pm



Fall Equinox - 10:00am



Fall Equinox - 12:00pm



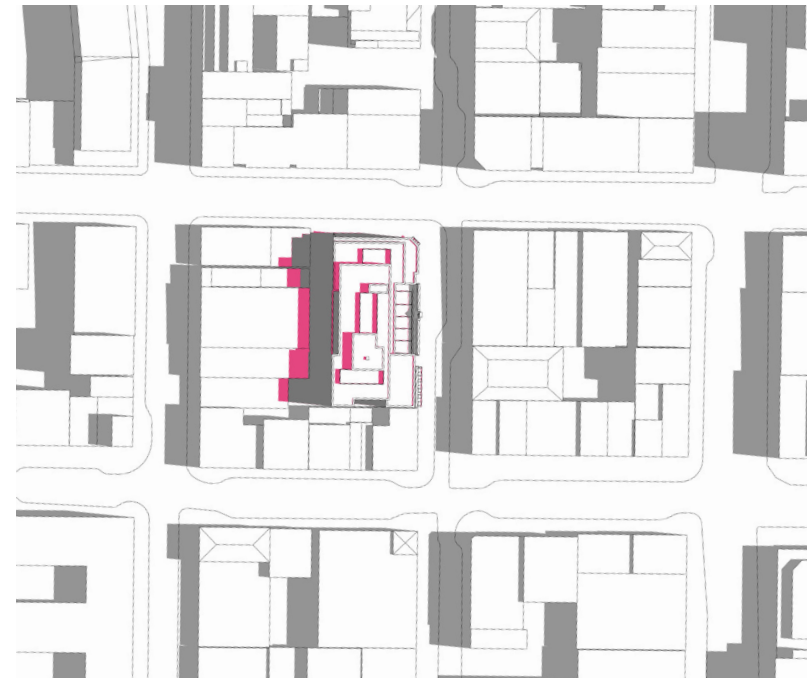
Fall Equinox - 2:00pm



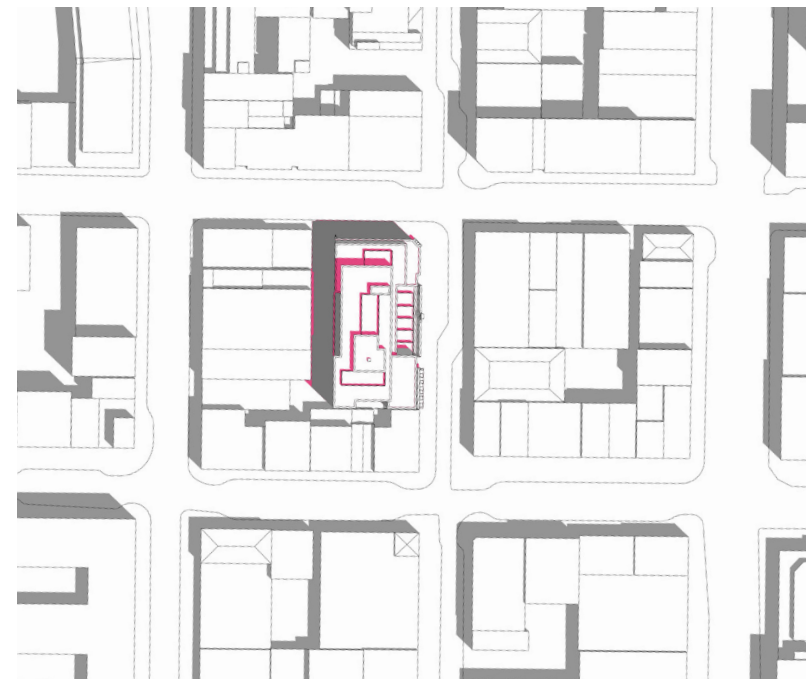
Proposal

SHADOW STUDIES

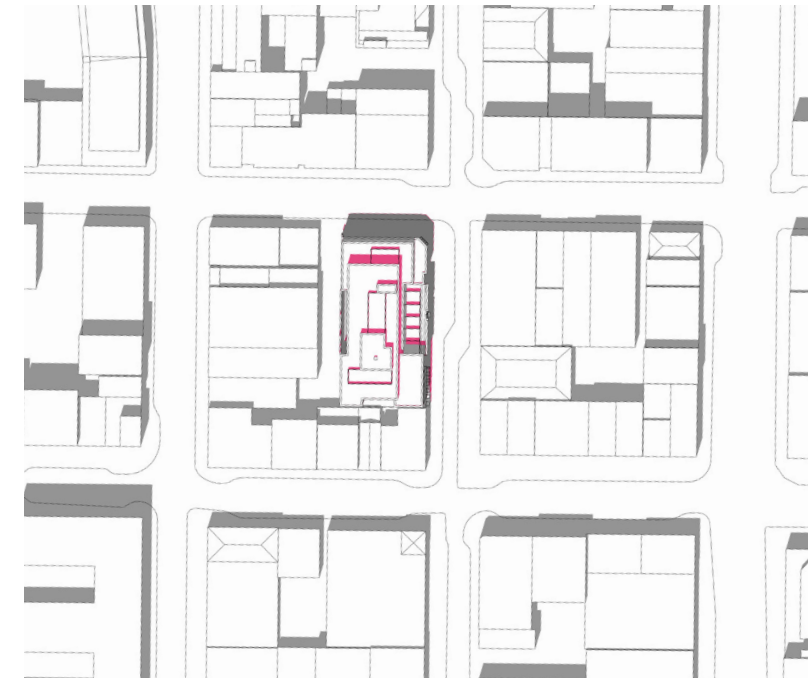
■ Incremental shadow increase from approved scheme
The additional height does not create further shadowing on public sidewalks



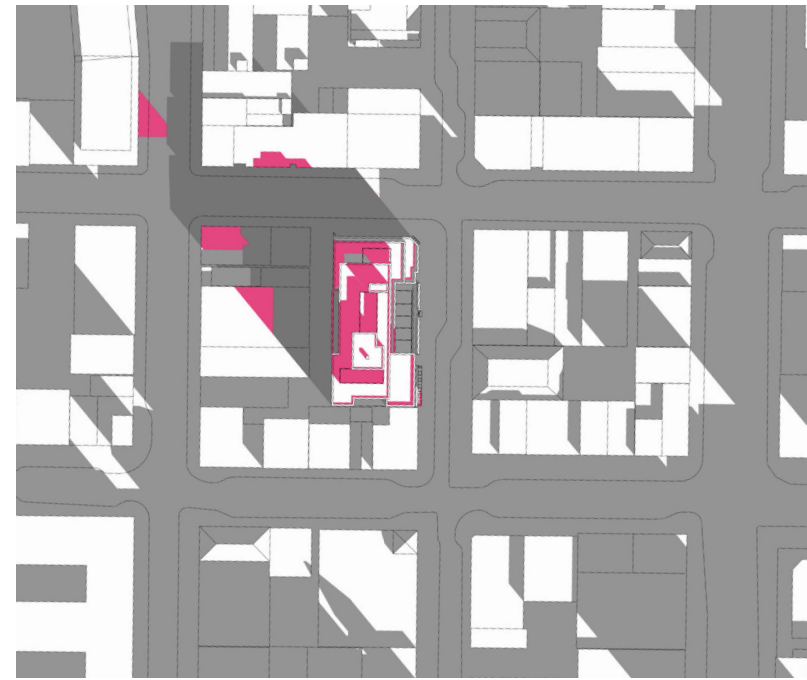
Summer Solstice - 10:00am



Summer Solstice - 12:00pm



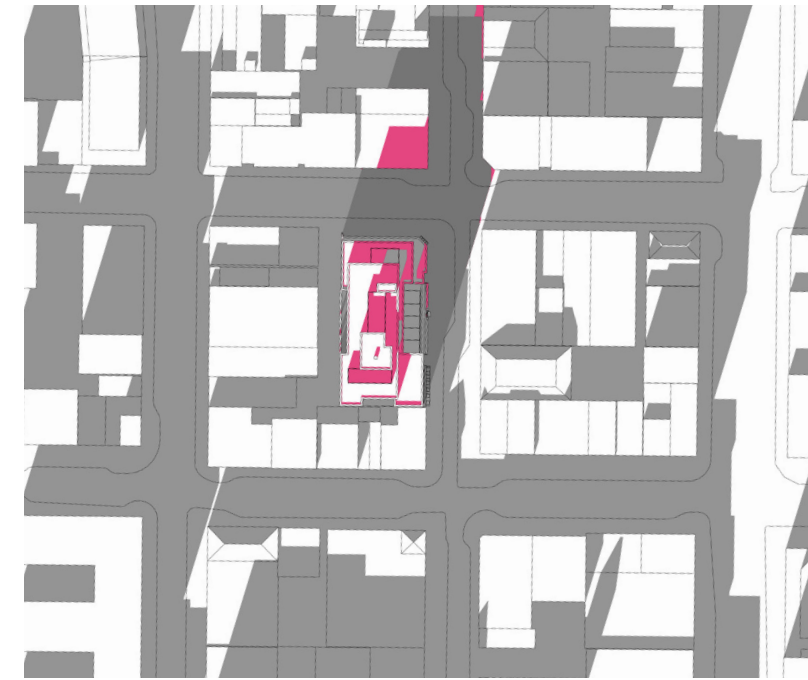
Summer Solstice - 2:00pm



Winter Solstice - 10:00am



Winter Solstice - 12:00pm

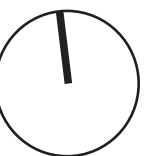


Winter Solstice - 2:00pm

Broad Street

Rezoning
& HAP

October
2024



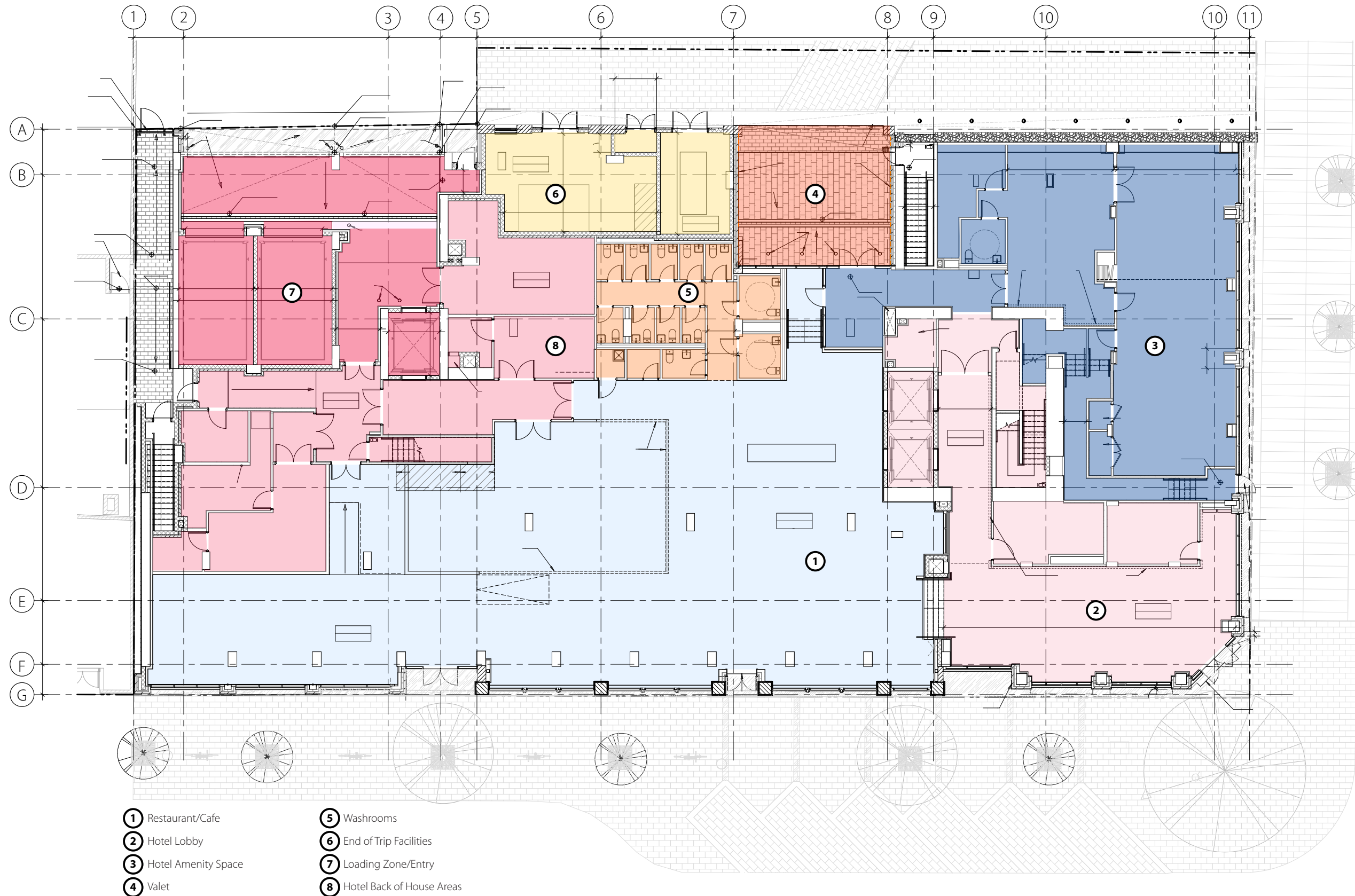
Proposal

VEHICULAR AND PEDESTRIAN SITE ACCESS

Broad Street

Rezoning
& HAP

October
2024



Proposal

LANDSCAPE RATIONALE

An integrated design approach was used to help create a high-quality public realm that meets the City's Downtown Public Realm Plan while leveraging opportunities to enhance urban forestry values and integrating rain water management.

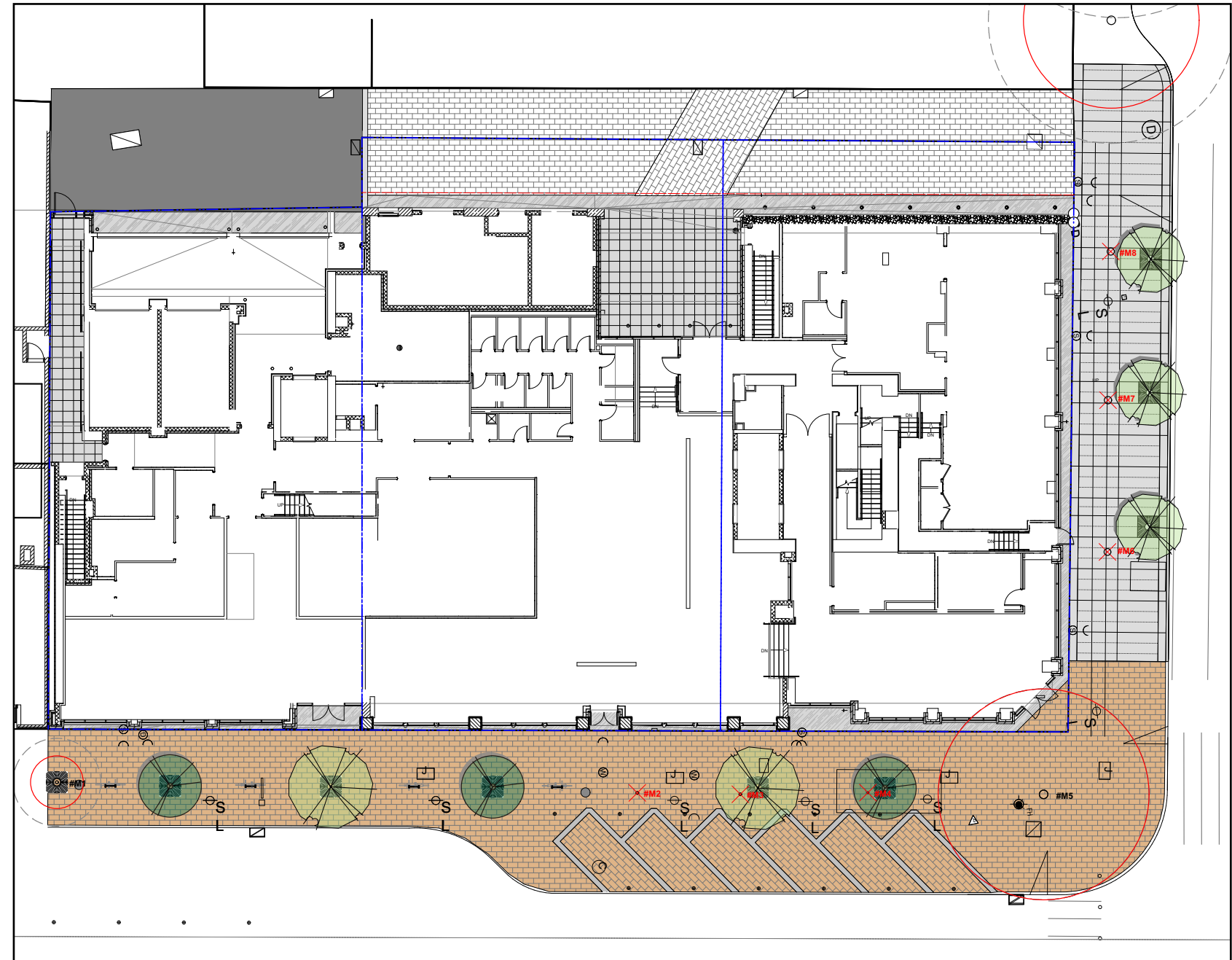
Streetscape

The site plan addresses upgrades to a rear laneway and street frontages on Johnson Street and Broad Street. Improvements to the laneway to create a publicly accessible area include in-ground lighting and unit paving. Johnson Street improvements including concrete paving with tooled joints and basalt banding. Speciality red brick paving at the corner of Johnson and Broad Streets and along the Broad Street frontage will blend seamlessly with the existing streetscape design.

Under the new sidewalks along both Johnson and Broad Streets are a series of soil cells with integrated stormwater management features. These soil cells provide generous soil volumes to support new street trees long into the future, while also providing at-source stormwater management, treating runoff before it enters the municipal storm system.

Upper Terraces

A series of extensive green roofs with pre-grown sedum mats or plantings suitable for either sun or shade conditions are provided on upper levels that provide visual interest, reduce water runoff and provide habitat for birds and insects.

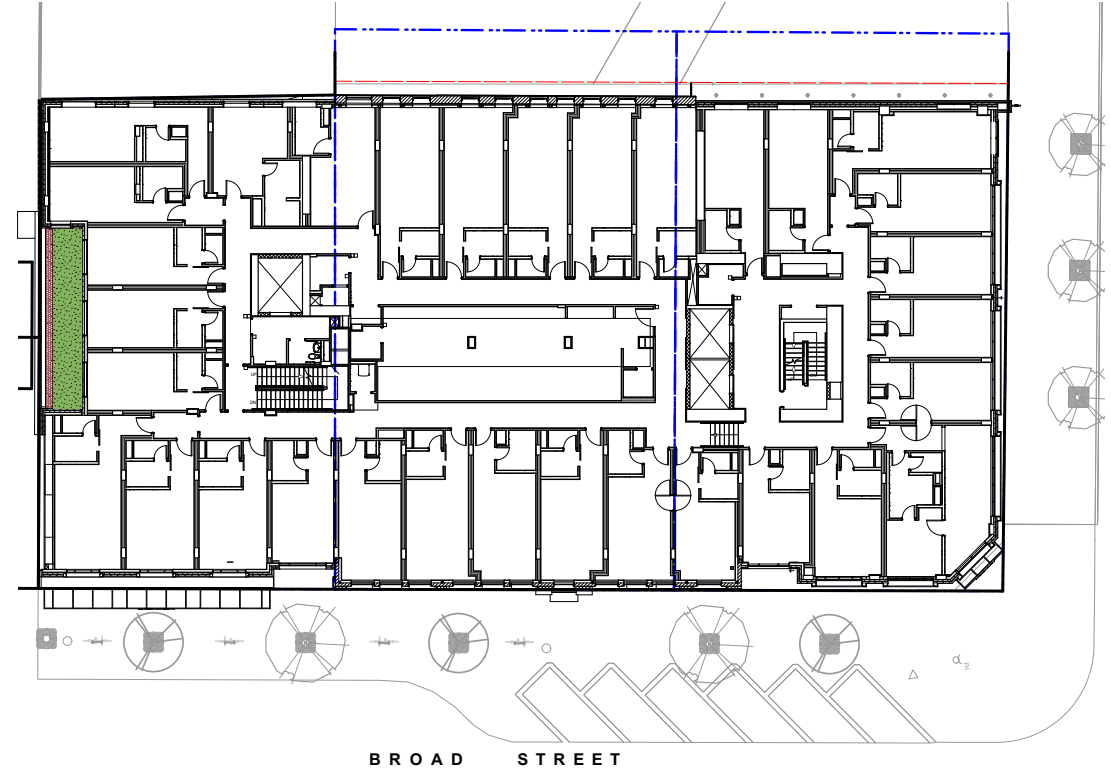


Broad Street

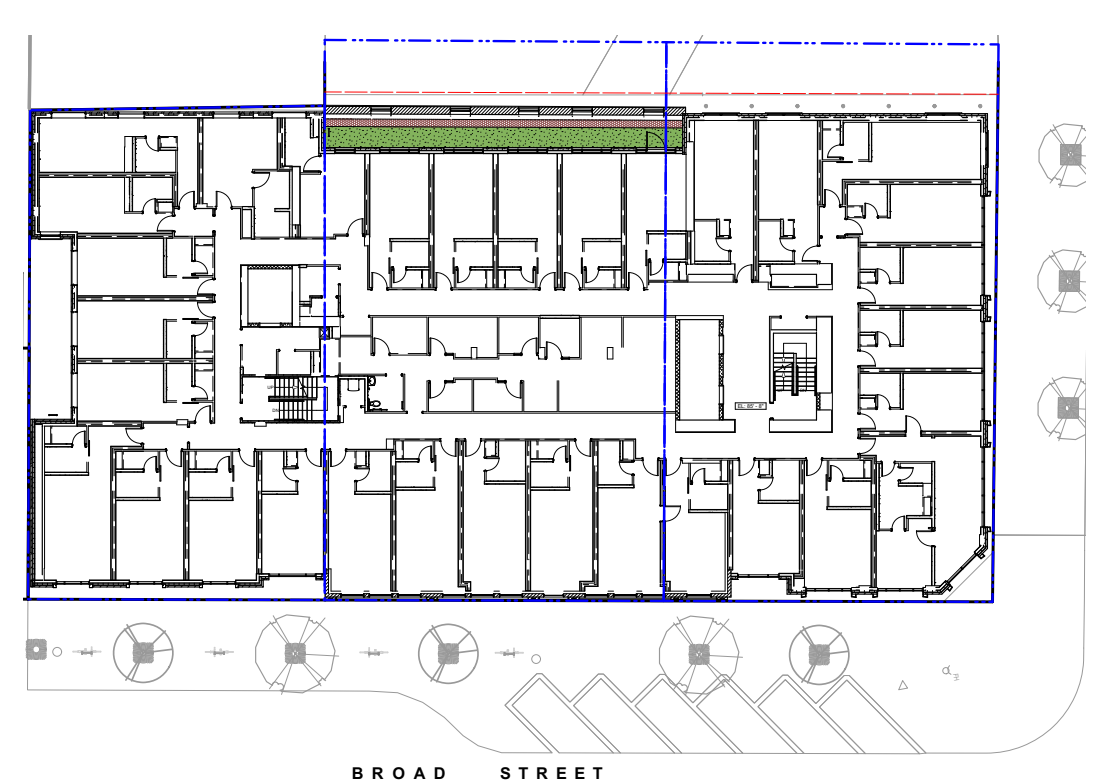
Rezoning
& HAP

October
2024

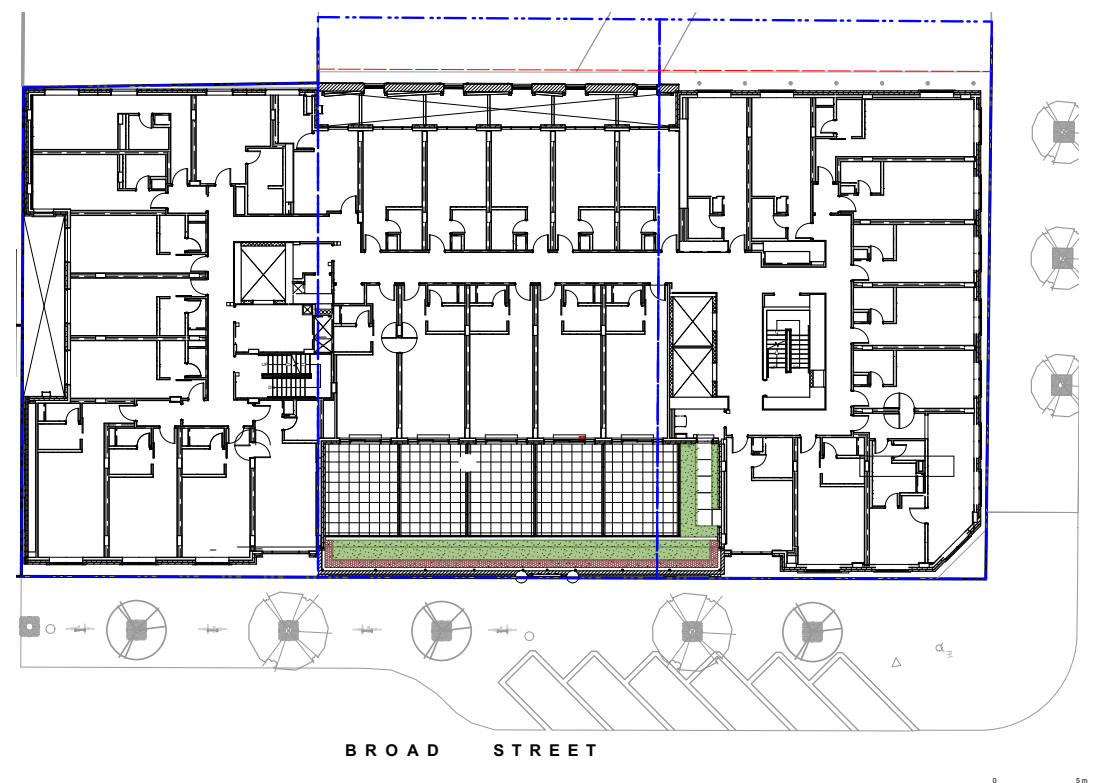
Proposal



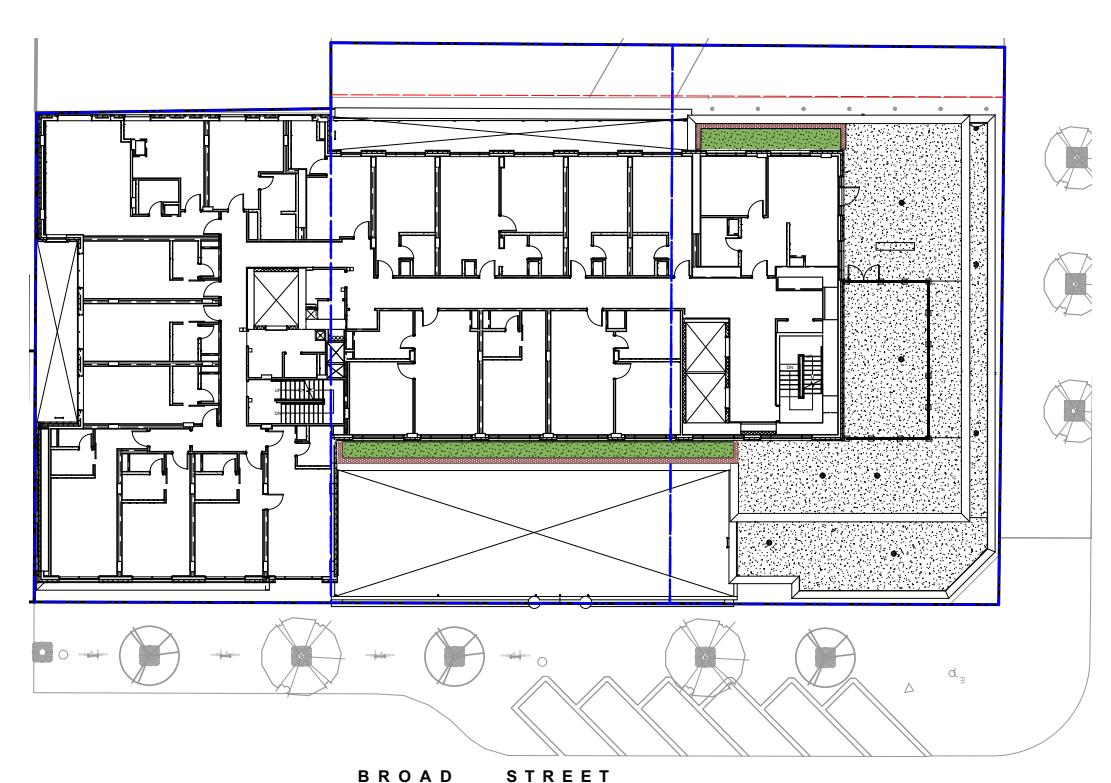
1 Level 3 Landscape Plan
Scale: 1:200



2 Level 4 Landscape Plan
Scale: 1:200

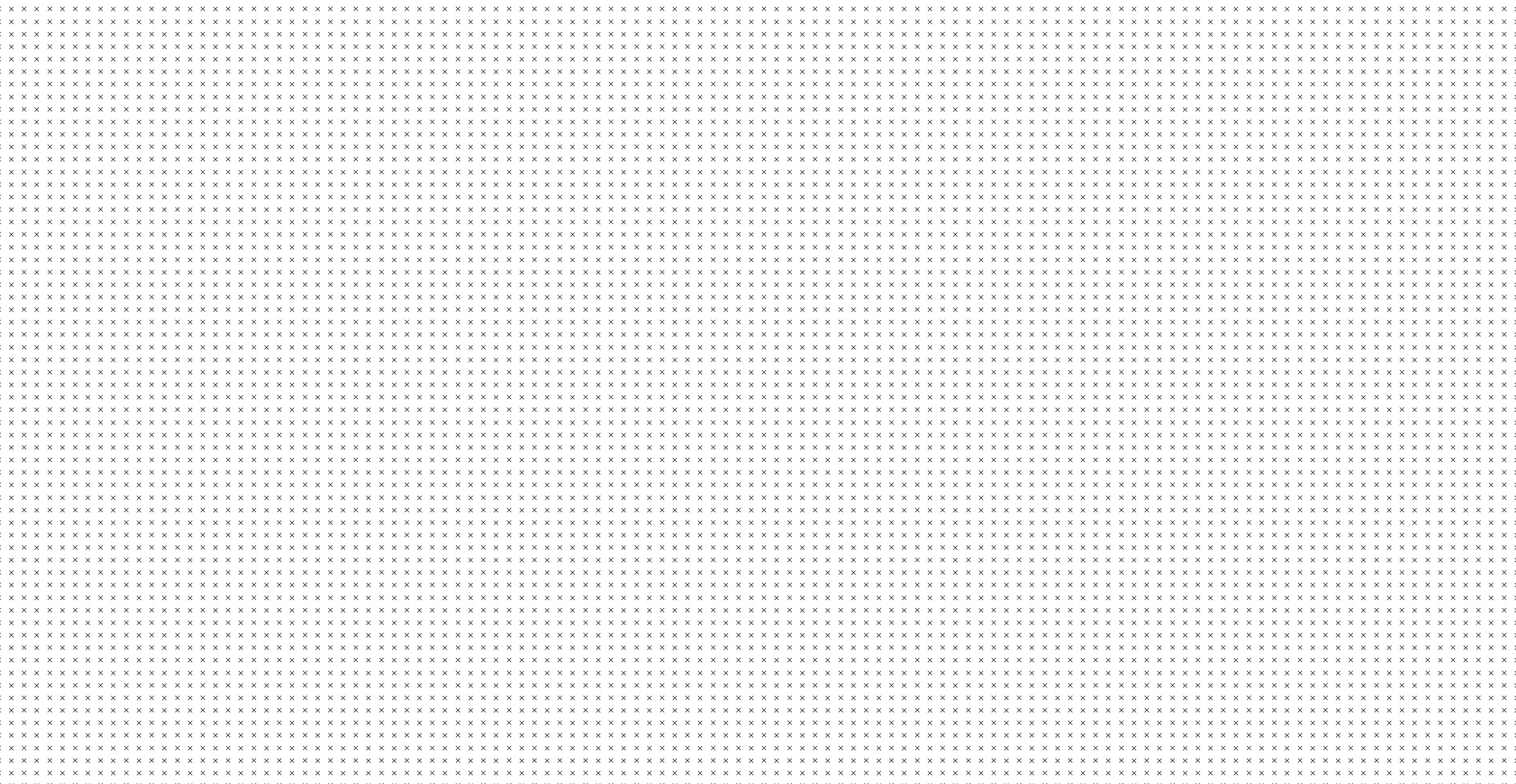


3 Level 5 Landscape Plan
Scale: 1:200



4 Level 7 Landscape Plan
Scale: 1:200





APPENDIX

ARCHITECTURAL DRAWINGS





ARCHITECTURAL

PROJECT DIRECTORY

DEVELOPER

BROAD STREET LIMITED PARTNERSHIP
1400-510 BURRARD ST.
VANCOUVER, B.C. V6C 3A8
TEL: 604.682.6046

DEVELOPMENT MANAGER

CHARD DEVELOPMENT LTD.
1400-510 BURRARD ST.
VANCOUVER, B.C. V6C 3A8
TEL: 604.682.6046
CC: BYRON CHARD

ARCHITECT

MCMP
1900 - 1066 W HASTINGS ST.
VANCOUVER, B.C. V6E 3X1
TEL: 604.687.2990
CC: MARK THOMPSON

STRUCTURAL

RJC
220 - 645 TYEE RD.
VICTORIA, B.C. V9A 6X5
TEL: 604.386.7794
CC: CLINT PLETT

MECHANICAL

AME
721 JOHNSON ST.
VICTORIA, B.C. V8T 5A4
TEL: 250.382.5999
CC: CASSIDY TAYLOR

ELECTRICAL

AES
3RD FLR - 1815 BLANDSHARD ST.
VICTORIA, B.C. V8T 5A4
TEL: 250.381.6121
CC: BAL KLEAR

LANDSCAPE

MURDOCH DE GREEFF INC.
200 - 524 CULDUTHEL RD.
VICTORIA, B.C. V8Z 1G1
TEL: 250.412.2819
CC: SCOTT MURDOCH

HERITAGE

DONALD LUXTON AND ASSOCIATES INC.
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: 604.688.1216
CC: DONALD LUXTON

KNIGHTSTONE

1001 - 45 ST CLAIR AVE.
TORONTO, ON, M4V 1K9
TEL: 416.306.2287
CC: ALAN PERLIS

INTERIOR DESIGN

CHIL
1706 W 1ST AVE
VANCOUVER, B.C. V6J 0E4
TEL: 604.688.8571
CC: ADELE RANKIN

CIVIL

JE ANDERSON
4212 GLANFORD AVE.
VICTORIA, B.C. V8Z 4B7
TEL: 250.727.2214
CC: ROSS TUCK

GEOTECHNICAL

RYZUK GEOTECHNICAL
28 CREASE AVE.
VICTORIA, B.C. V8Z 1S3
TEL: 250.475.3131
CC: ISABELLE MALTAIS

SURVEYOR

EXPLORER LAND SURVEY
101 - 2610 DOUGLAS ST.
VICTORIA, B.C.
TEL:
CC: KENNETH NG

ENVELOPE

RJC
220 - 645 TYEE RD.
VICTORIA, B.C. V9A 6X5
TEL: 604.386.7794
CC: KEVIN PICKWICK

BROAD STREET

222021

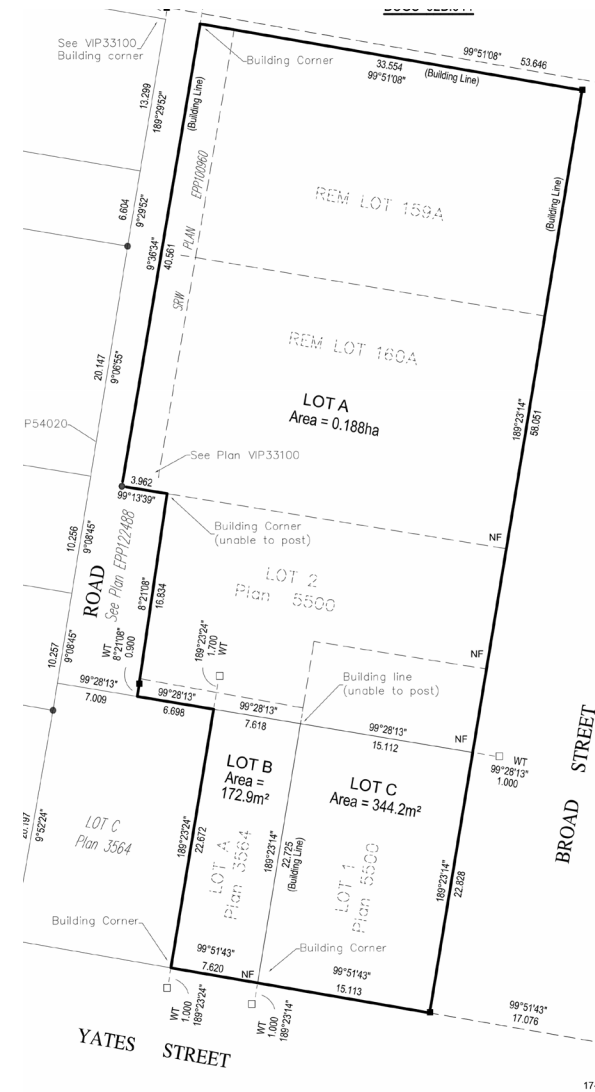
Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
COVER SHEET

Drawing
Scale
Project 222021
Sheet **A000**



LOCATION PLAN



CONTEXT SURVEY PLAN

BROAD STREET REDEVELOPMENT	
Civic Address	1312-1324 Broad Street, Victoria, BC
Legal Address	New Consolidated LOT A
Building Description	8 Storey Hotel Building
Uses	Residential Occupancy (Hotel)
Existing Zone	OTD-1 (2018)
Proposed Zone	Site Specific
Development Permit Area	DPA1 (HC) Historic Core
Final Site Area (sm)	1,889
Final Gross Floor Area (sm)	9,157
Final FAR	4.85
Duck's Building Current Floor Area (sm)	2,346
Ducks Building Retained Floor Area (sm)	2,346
Total Floor Area @ Ground (sm)	1,338
Commercial Floor Area: Restaurant and Café (sm)	494
<i>Restaurant and Café are part of the Hotel</i>	
Site Coverage	90%
Open Site Space	10%
Average Grade (m)	16.3
<i>Refer to calculations on A103</i>	
Height of Building (m)	26.25
<i>Refer to A311, A312</i>	
Roof Top Structures:	
Distance from Top of Roof (m)	2.44
<i>Refer to A210</i>	
Mechanical Screen (L7)	4.46
Mechanical Screen (Roof)	2.14
Mechanical Room (Roof)	0.78
Elevator Overrun (Roof)	
Minimum From Property Line (m)	7.73
<i>Refer to A210</i>	
South	4.29
North	
Roof Coverage	24%
<i>Refer to A210</i>	
Parking Stalls on Site (REQ)(PROVIDED)	(40)(18)
Bicycle Parking Long Term (REQ)(PROVIDED)	(27)(27)
Bicycle Parking Short Term (REQ)(PROVIDED)	(11)(0)
<i>Placement of short term bike parking on public sidewalks will be explored</i>	
Number of Storeys	8
Building Setbacks:	
Front Yard (m)	0
Rear Yard (m)	0
Side Yard (m)	0
Side Yard (m)	0
Combined Side Yard (m)	0
Residential Use Details:	
Total Number of Units	166
Unit Type	Hotel
Ground Oriented Units	0
Min Unit Floor Area (sm)	25
Total Residential Floor Area (sm)	5,339

Sheet List		
Sheet Number	Sheet Name	Sheet Scale
A000	COVER SHEET	N/A
A001	PROJECT DATA	N/A
A101	SITE SURVEY	N/A
A102	EXISTING SITE PLAN	3/32" = 1'-0"
A103	SITE PLAN	3/32" = 1'-0"
A104	CIVIL PLAN	N/A
A201	LEVEL P1	1/8" = 1'-0"
A202	LEVEL 1	1/8" = 1'-0"
A203	LEVEL 2	1/8" = 1'-0"
A204	LEVEL 3	1/8" = 1'-0"
A205	LEVEL 4 (CROSSOVER FLOOR)	1/8" = 1'-0"
A206	LEVEL 5	1/8" = 1'-0"
A207	LEVEL 6	1/8" = 1'-0"
A208	LEVEL 7	1/8" = 1'-0"
A209	LEVEL 8	1/8" = 1'-0"
A210	ROOF PLAN	1/8" = 1'-0"
A301	BUILDING ELEVATION NORTH	1/8" = 1'-0"
A302	BUILDING ELEVATION SOUTH	1/8" = 1'-0"
A303	BUILDING ELEVATION EAST	1/8" = 1'-0"
A304	BUILDING ELEVATION WEST	1/8" = 1'-0"
A311	BUILDING SECTION	1/8" = 1'-0"
A312	BUILDING SECTION	1/8" = 1'-0"
A501	SITE CONTEXT	N/A
A502	SITE CONTEXT	N/A
A503	PERSPECTIVE STUDIES	N/A
A504	PERSPECTIVE STUDIES	N/A
A510	STONE WALL	3/16" = 1'-0"

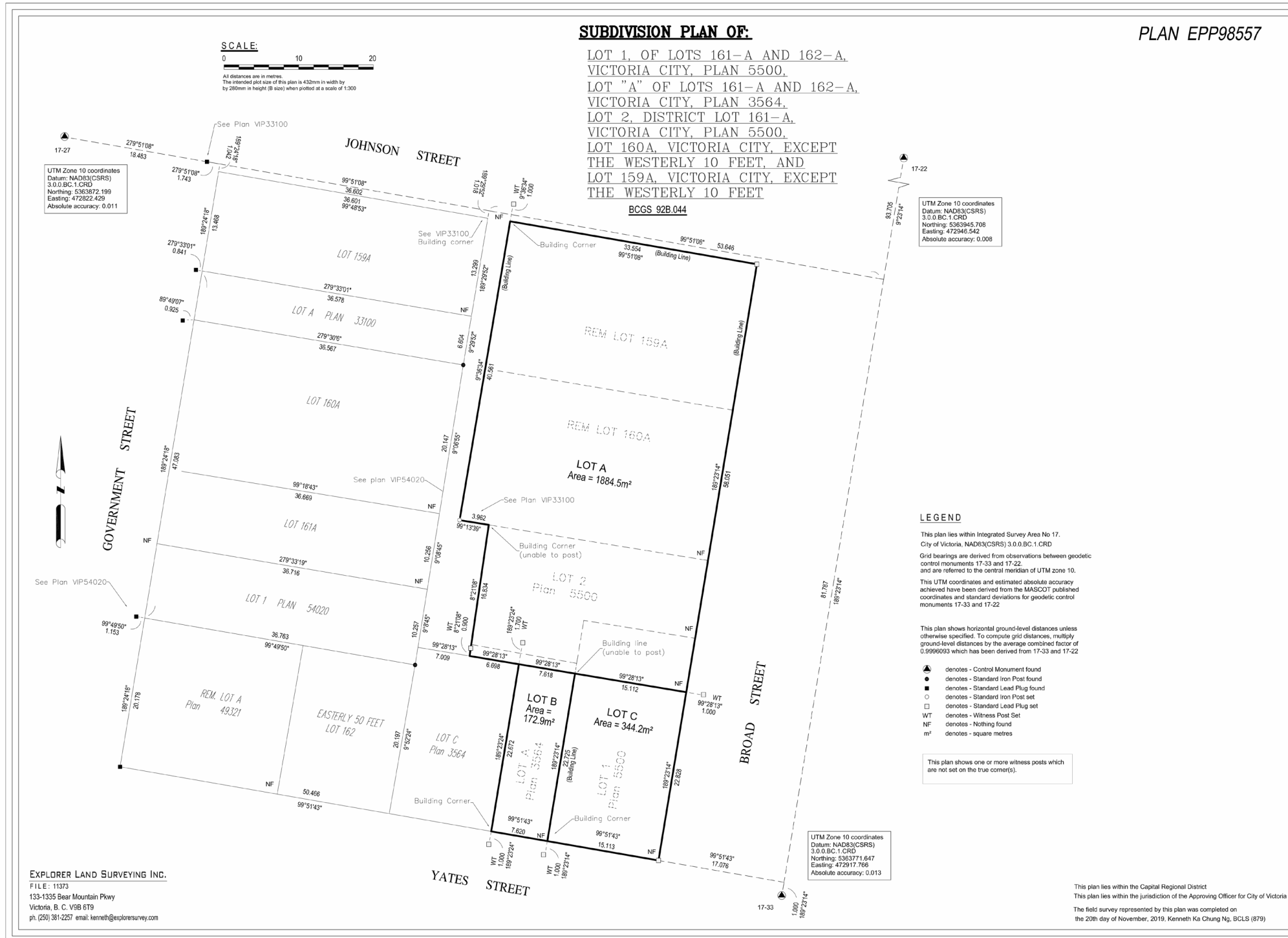
Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
PROJECT DATA

Drawing
Scale
Project 222021

Sheet **A001**

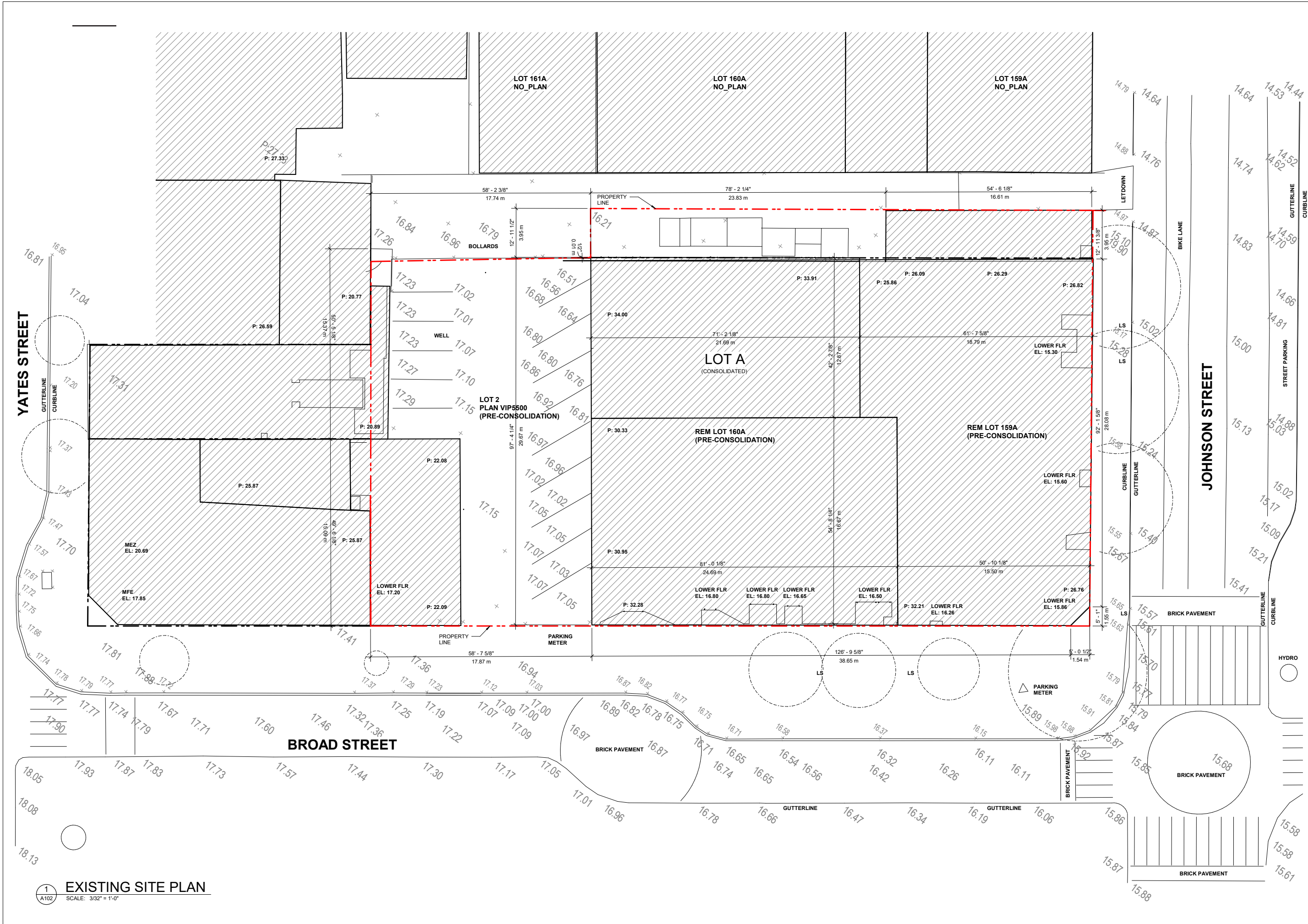
Revisions	YYYY-MM-DD
1 ISSUED FOR HRA	2024-10-21



Seal
BROAD STREET

1312-1324 BROAD STREET
 VICTORIA, B.C.
 Project
 SITE SURVEY

Drawing
 Scale
 Project 222021
 Sheet **A101**



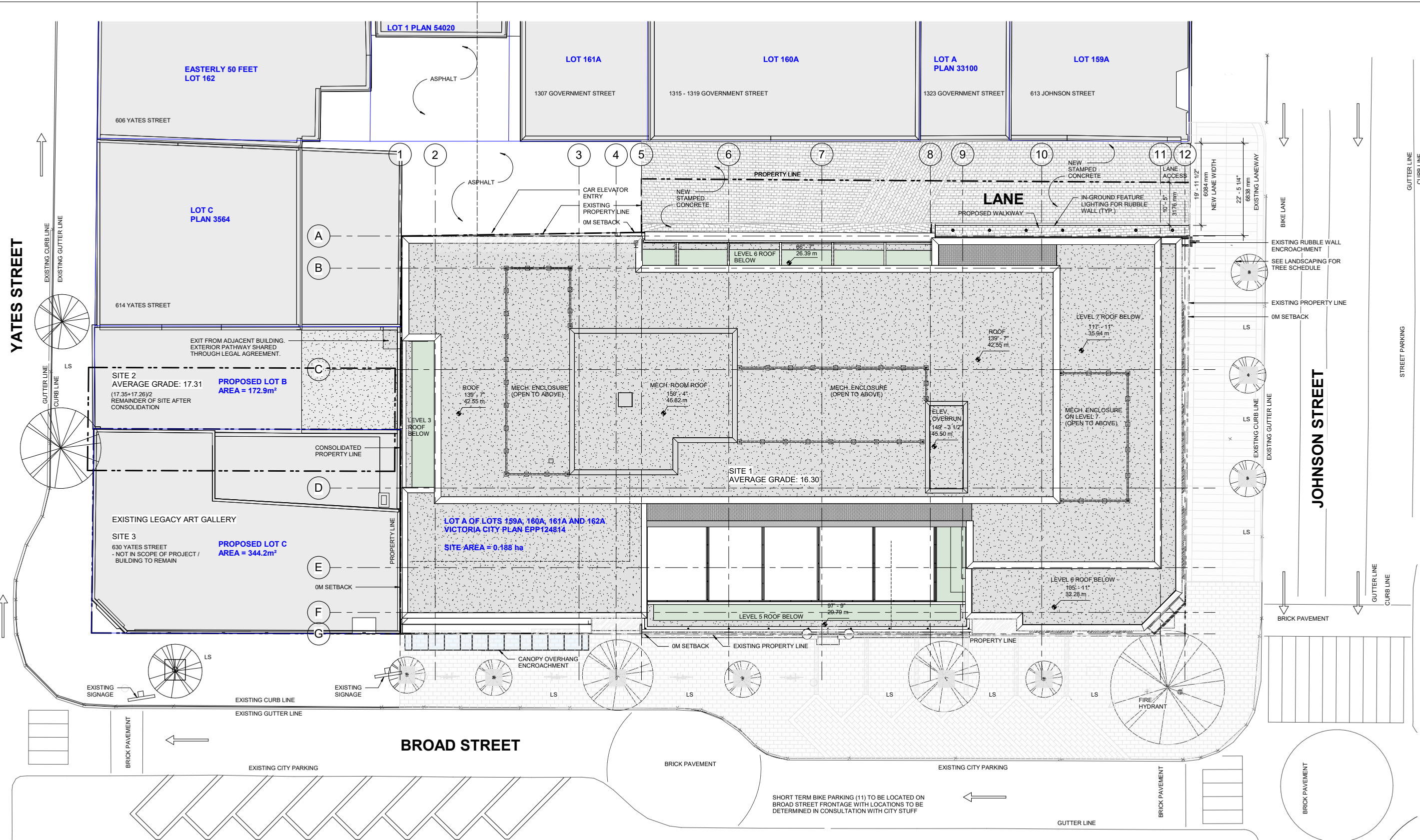
1 EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
EXISTING SITE PLAN

Drawing
Scale 3/32" = 1'-0"
Project 222021

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1 SITE PLAN
A301 SCALE: 3/32" = 1'-0"

Average Grade						
The Duck's Building Redevelopment						
Point	Point Value	Grade Points	Average of Points	Distance		
A	17.33	A+B	16.60	57.70	957.53	
B	15.86	B+C	15.49	29.30	453.86	
C	15.12	C+D	16.01	57.70	923.78	
D	16.90	D+A	17.12	29.30	501.47	
Average Grade	16.30			Perimeter	Sum	
				174.00	2836.64	
Existing Duck's Building						
Point	Point Value	Grade Points	Average of Points	Distance		
A	17.02	A+B	16.44	40.31	662.70	
B	15.86	B+C	15.49	29.30	453.86	
C	15.12	C+D	15.74	40.31	634.48	
D	16.36	D+A	16.69	29.30	489.02	
Average Grade	16.09			Perimeter	Sum	
				139.22	2240.05	

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
SITE PLAN

Drawing
Scale 3/32" = 1'-0"
Project 222021

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SHEET NOTES:

DRAIN

- (D1) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING DRAIN SERVICES AT DEVELOPERS EXPENSE.
- (D2) CITY OF VICTORIA CREWS TO INSTALL A 150mm DRAIN SERVICE TO PROPERTY LINE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE.
- (D3) CONTRACTOR TO RESET EXISTING CATCHBASINS AS REQUIRED AS PER CITY OF VICTORIA SD S11a.
- (D4) CONTRACTOR TO REMOVE EXISTING AREA DRAIN AND CAP LEAD AS REQUIRED.
- (D5) CITY OF VICTORIA CREWS TO INSTALL CATCHBASIN LEAD. CONTRACTOR TO INSTALL PROPOSED TOP-INLET CATCH BASIN AS PER CITY OF VICTORIA SD 11a.
- (D6) CONTRACTOR TO REMOVE EXISTING CATCH BASIN AND CAP LEAD AS REQUIRED.
- (D7) CONTRACTOR TO REMOVE AND REPLACE EXISTING DRAIN VENT AS REQUIRED.

SEWER

- (S1) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING SANITARY SERVICES AT DEVELOPERS EXPENSE.
- (S2) CITY OF VICTORIA CREWS TO INSTALL 150mm SANITARY SERVICE TO PROPERTY LINE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE.

WATER

- (W1) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
- (W2) CITY OF VICTORIA CREWS TO INSTALL 100mm DOMESTIC WATER AND 150mm FIRE SERVICE COMPLETE WITH DCAV AND AND VAULT AS PER CITY OF VICTORIA SD W21 AT DEVELOPERS EXPENSE. CITY OF VICTORIA CREWS TO ADJUST VAULT AS REQUIRED TO FIT ISOLATION VALVE VALVE.

ROAD

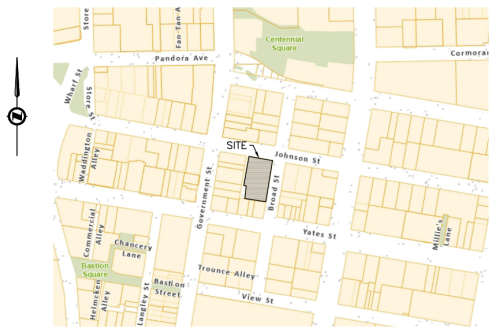
- (R1) CONTRACTOR TO REINSTATE FRONTAGE INCLUDING GUTTER, SIDEWALK, BOULEVARD, BRICK WORK AND PARKING TO CENTERLINE AS REQUIRED. SEE LANDSCAPE PLANS FOR PAVEMENT PATTERN AND CONCRETE DETAILS.
- (R2) CONTRACTOR TO INSTALL 6.0m DRIVEWAY COMPLETE WITH 1.5m FLARES AS PER CITY OF VICTORIA SD C7a HIGHWAY ACCESS BYLAW. DRIVEWAY TO BE 3.0% MAX SLOPE FOR FIRST 6.0m.
- (R3) CONTRACTOR TO RECONSTRUCT AND REGRADE 6.0m LANE. SEE LANDSCAPE AND ARCHITECT PLANS FOR DETAILS.
- (R4) CONTRACTOR TO CONSTRUCT ASPHALT WATER-CONTROL CURB AS REQUIRED.

UTILITIES

- (U1) PROPOSED VISTA SWITCH AND HYDRO SERVICING LOCATION. REFER TO BC HYDRO PLANS FOR DETAILS.

MISCELLANEOUS

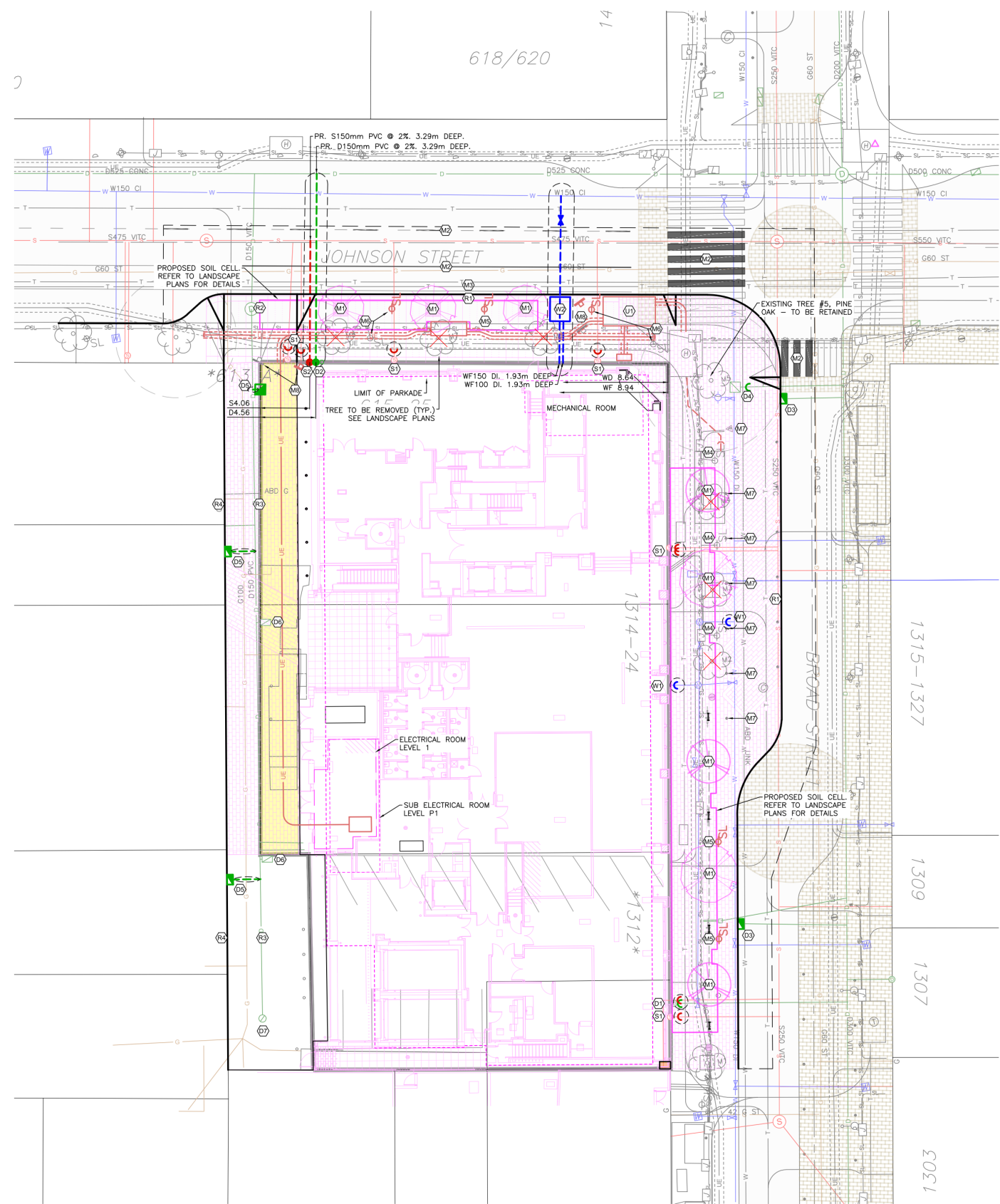
- (M1) PROPOSED BOULEVARD TREES COMPLETE WITH GRATES AS PER CITY OF VICTORIA SPECIFICATIONS. SEE LANDSCAPE PLANS FOR DETAILS.
- (M2) CONTRACTOR TO REINSTATE CROSSWALK AND LINE PAINT AS REQUIRED. PAINT TO BE THERMOPLASTIC AS PER CAT SPECIFICATIONS. CONTRACTOR TO CONFIRM FINAL PAINT LOCATIONS AND SPECIFICATIONS WITH THE CITY OF VICTORIA AT TIME OF CONSTRUCTION.
- (M3) CONTRACTOR TO REINSTATE WHITE AND YELLOW CURB PAINTING ON JOHNSON STREET REQUIRED.
- (M4) EXISTING STREETLIGHT TO BE RETAINED. SEE LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS.
- (M5) CONTRACTOR TO INSTALL NEW STREETLIGHTS AS PER CITY OF VICTORIA STANDARDS. SEE LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS.
- (M6) CONTRACTOR TO RELOCATE EXISTING STREETLIGHT AS REQUIRED. SEE LANDSCAPE AND ELECTRICAL PLANS FOR DETAILS.
- (M7) CONTRACTOR TO REMOVE AND REPLACE EXISTING PARKING POSTS AND METER KIOSK ON BROAD STREET TO THE SATISFACTION OF THE CITY OF VICTORIA.
- (M8) CONTRACTOR TO RE/RE SIGNAGE ON JOHNSON AND BROAD STREET FRONTAGE AS REQUIRED. CONTRACTOR TO COORDINATE WITH THE CITY OF VICTORIA.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500,
REM LOT 159A AND REM LOT 160A, VICTORIA DISTRICT.

BENCHMARK: MONUMENT 17-33
ELEV. 17.88m



PLAN - SITE
H 1:250



ISSUED FOR DEVELOPMENT PERMIT

V:\Projects\33915 - Chard Development - 1324 Broad St\07 - Engineering\02 - Drawings & Sketches (Eng)\33915 - DESIGN.dwg Plot Date: October 22, 2024

**CHARD DEVELOPMENTS
1324 BROAD STREET
SITE SERVICING PLAN**

Scale
horiz. 1:200 Scale N/A
vert. N/A
Sheet 1 of 1
Eng. Project No. 33915
Drafted by. JA



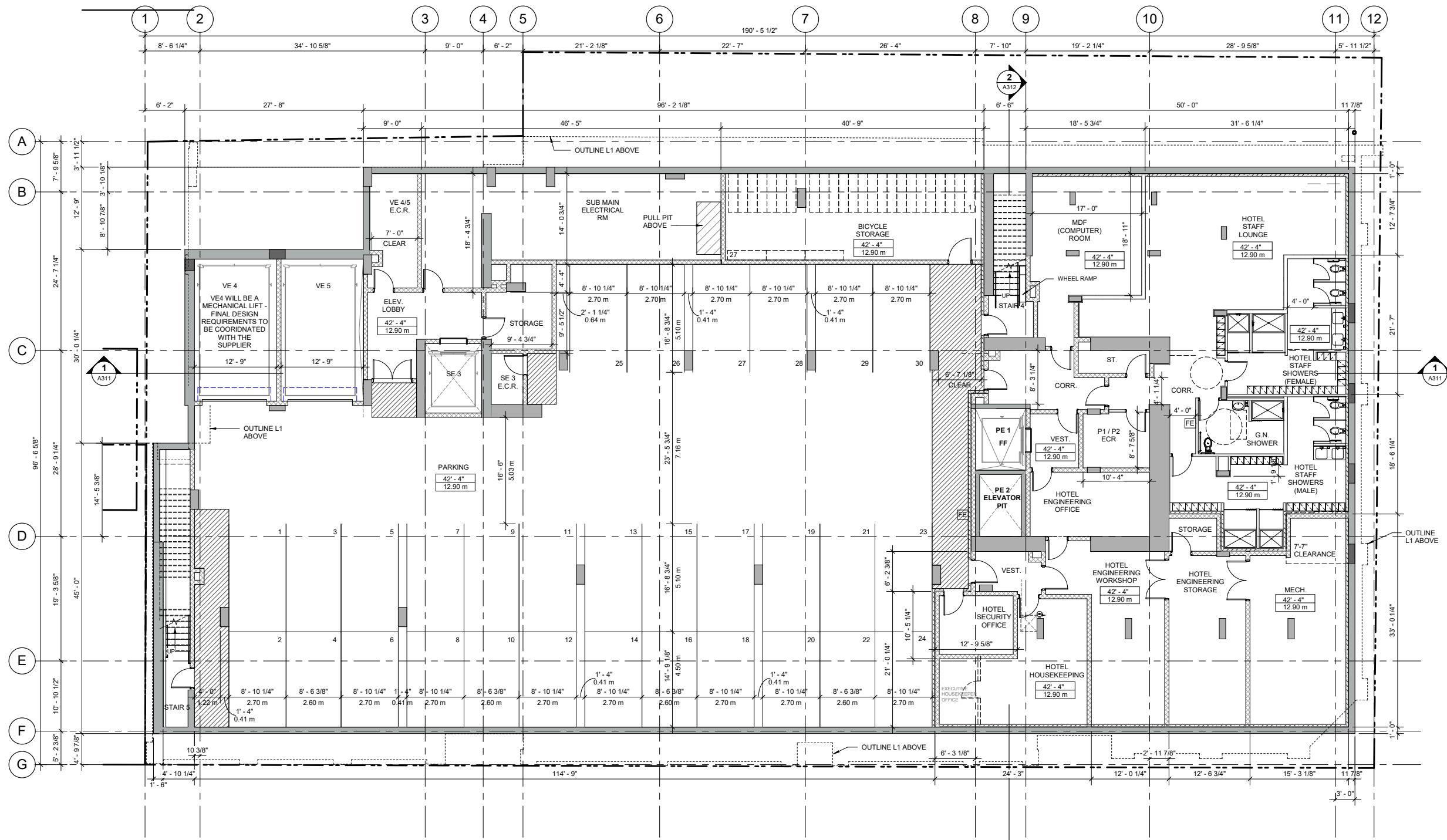
JEA J E ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
CIVIL PLAN

Drawing
Scale
Project 222021







1 LEVEL P1
SCALE: 1/8" = 1'-0"

Car Parking Stalls			
Level	Regular Stalls	Tandem*	Total
LEVEL P1	18	12	30

Bike Stalls			
Level	Horizontal Stalls	Vertical Stalls	Total
LEVEL P1	27	0	27

* TANDEM STALLS ARE NOT BYLAW COMPLIANT AND DO NOT COUNT TOWARDS THE REQUIRED BYLAW REQUIRED STALLS.

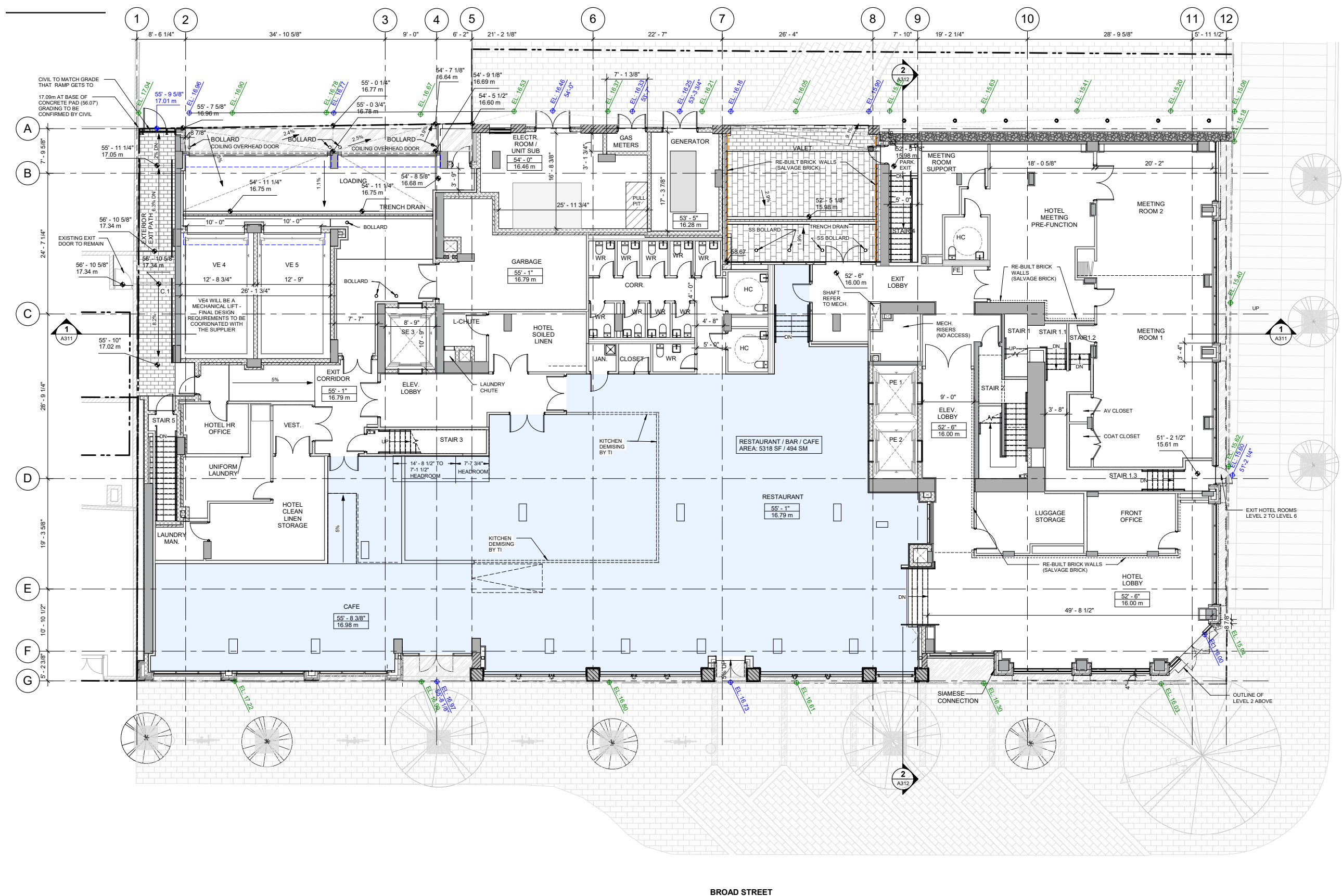
- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET





1312-1324 BROAD STREET
VICTORIA, B.C.
Project
LEVEL 1

Drawing
Scale 1/8" = 1'-0"
Project 222021



1 LEVEL 1
SCALE: 1/8" = 1'-0"

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- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.

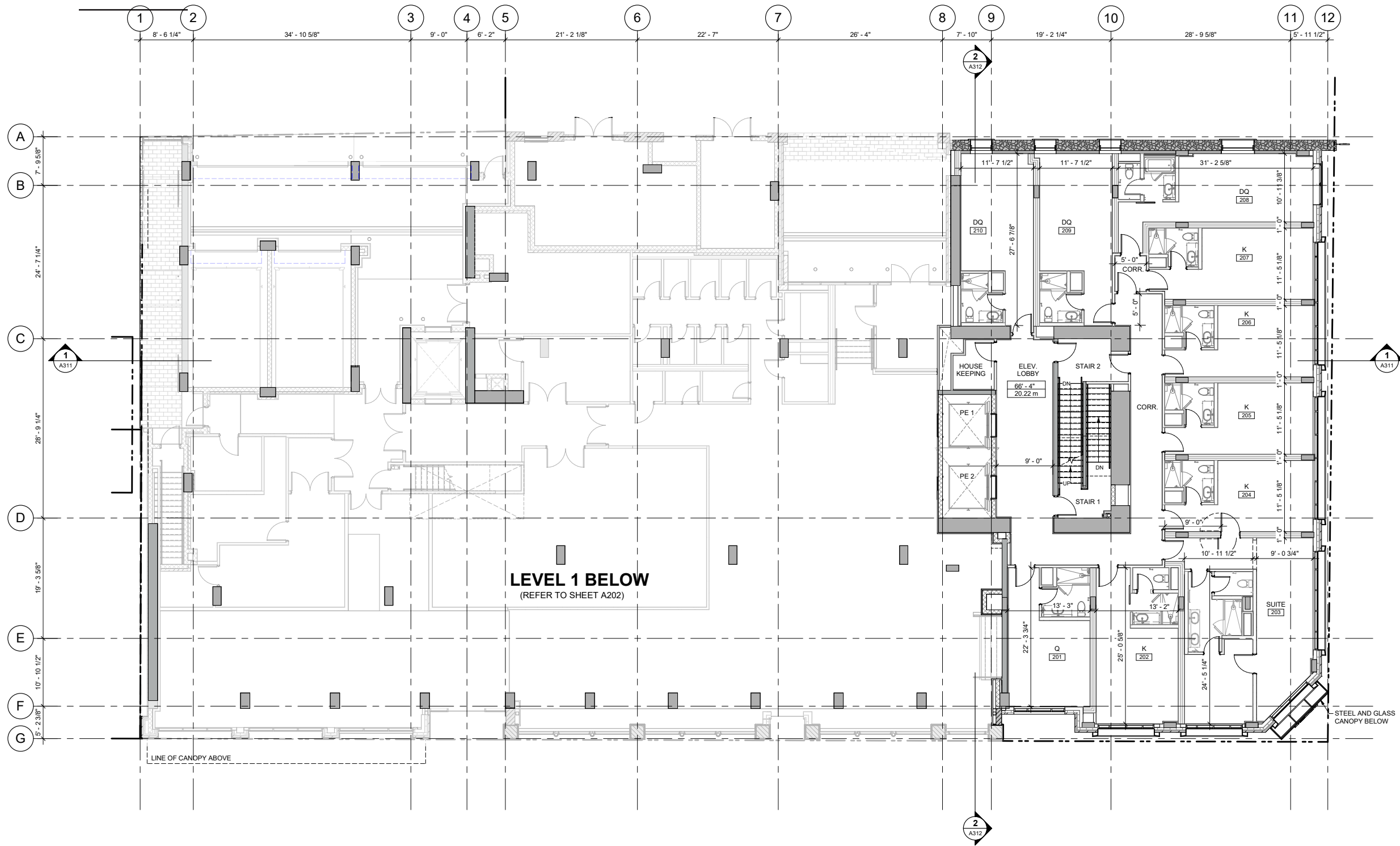
Project
LEVEL 2

Drawing

Scale 1/8" = 1'-0"





Project 222021

Sheet **A203**



LEVEL 2
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.

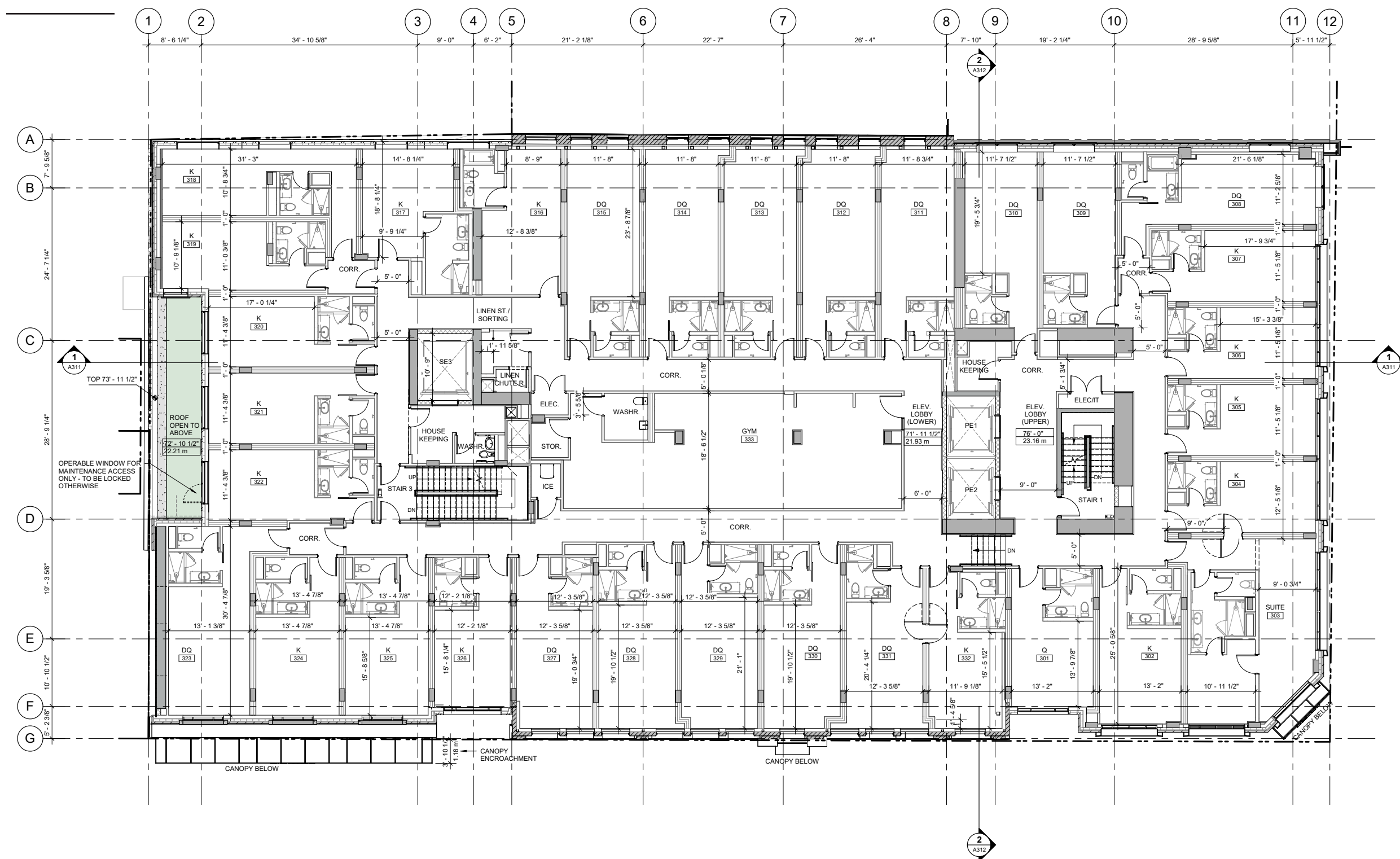
Project
LEVEL 3

Drawing

Scale 1/8" = 1'-0"

Project 222021





Sheet **A204**



1 LEVEL 3
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

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- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.

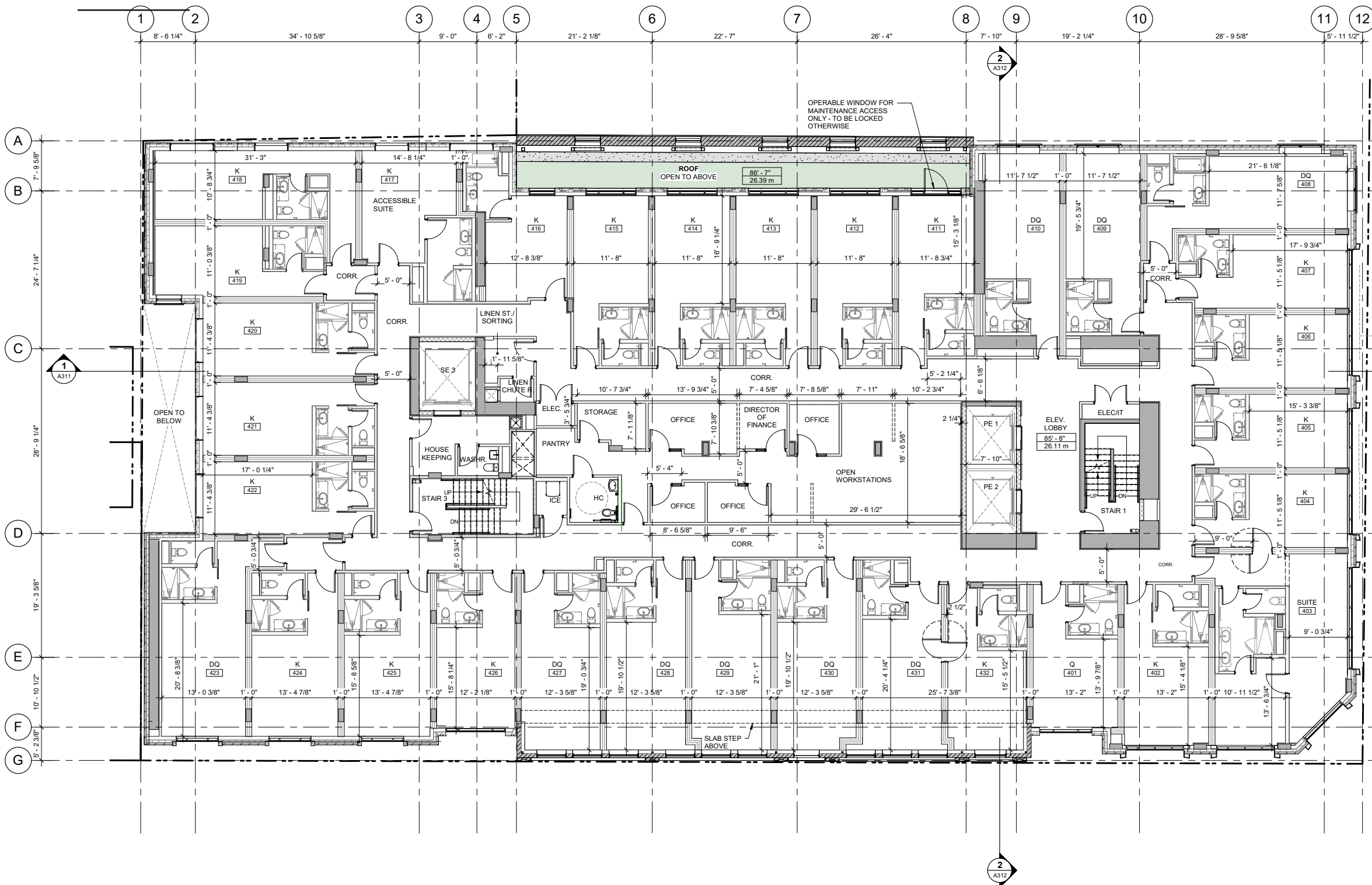
Project
LEVEL 4 (CROSSOVER FLOOR)

Drawing

Scale 1/8" = 1'-0"

Project 222021





Sheet **A205**



1 LEVEL 4
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

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- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET

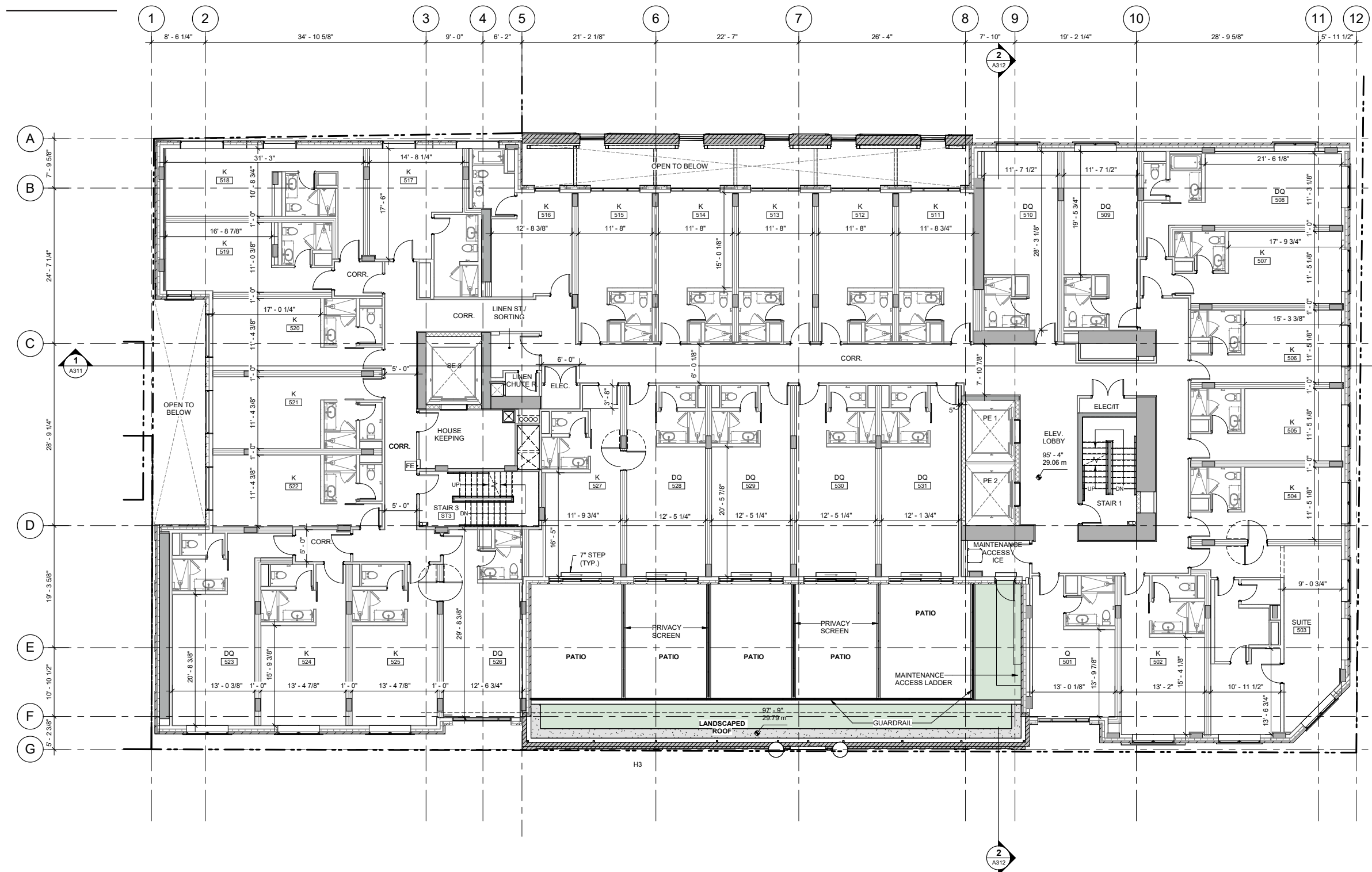
1312-1324 BROAD STREET
VICTORIA, B.C.

Project
LEVEL 5

Drawing
Scale 1/8" = 1'-0"

Project 222021





Sheet **A206**

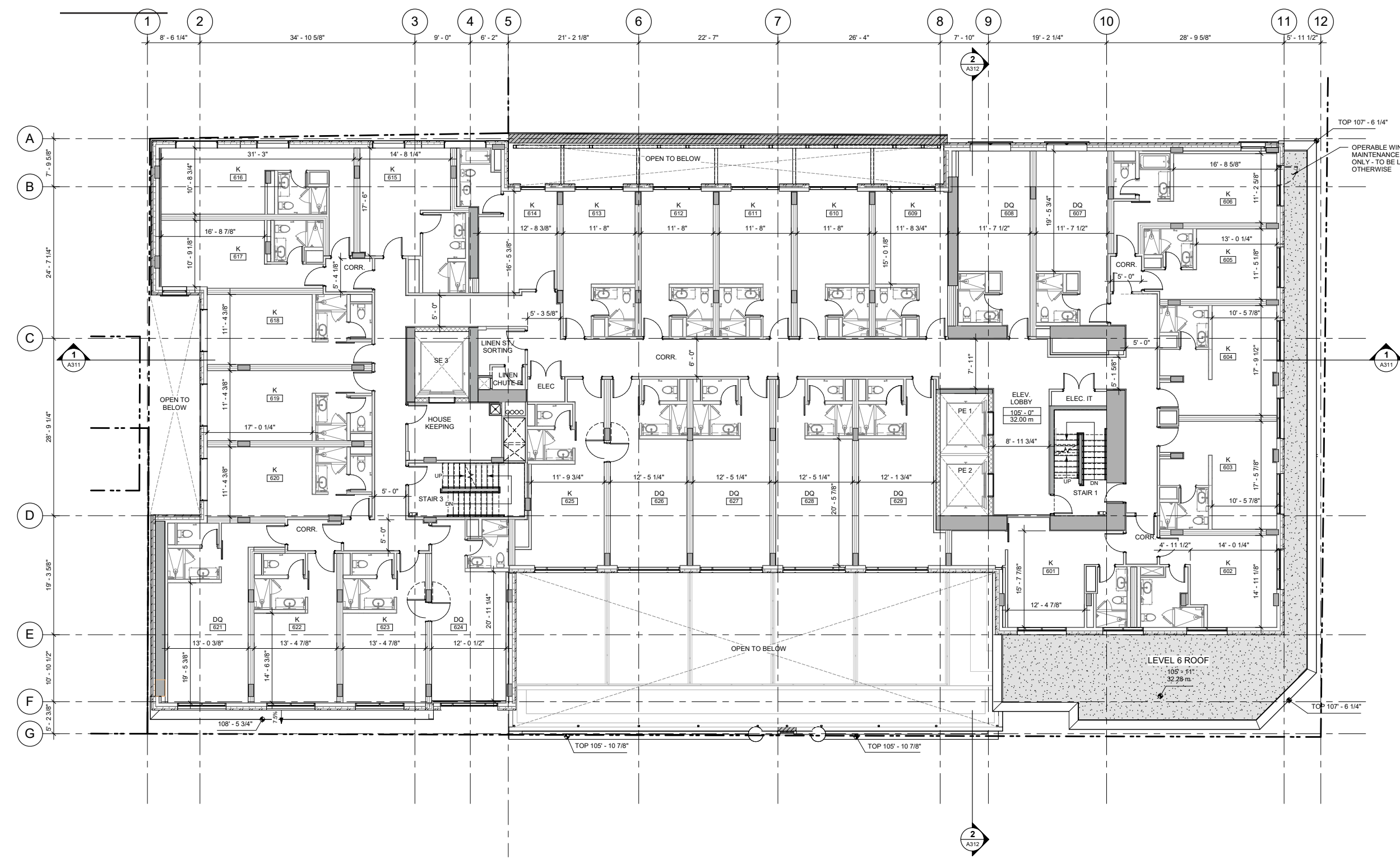


1 LEVEL 5
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

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- WALL MATERIALS:**
-  EXIST. BRICK WAI
 -  EXIST. STONE WAI
 -  EXIST. RUBBLE WAI
 -  NEW CONCRETE STRUCTURE



1 LEVEL 6
SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

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- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.

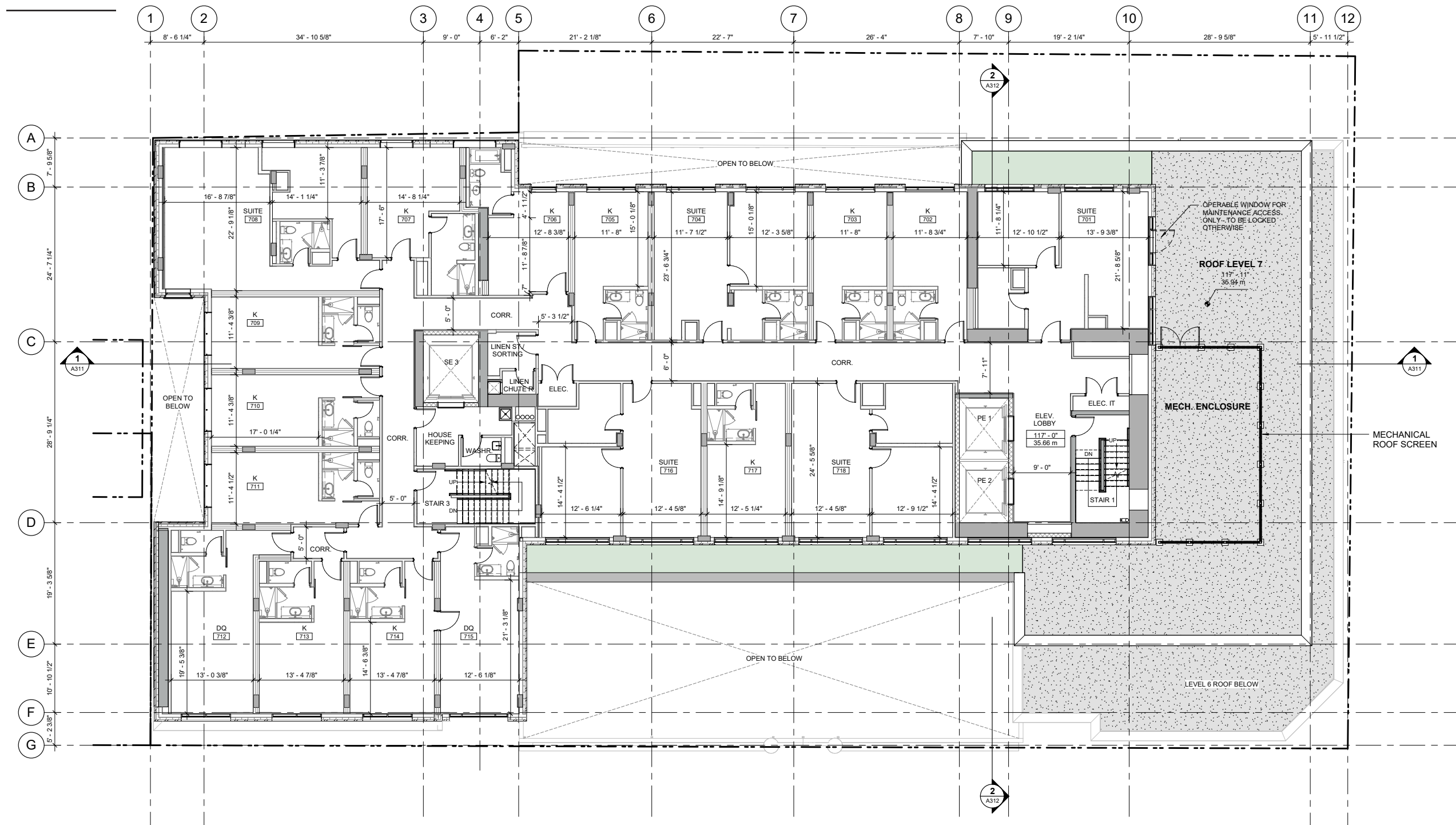
Project
LEVEL 7

Drawing

Scale 1/8" = 1'-0"

Project 222021

Sheet **A208**



1 LEVEL 7
A208 SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

- WALL MATERIALS:**
- EXIST. BRICK WALL
 - EXIST. STONE WALL
 - EXIST. RUBBLE WALL
 - NEW CONCRETE STRUCTURE



Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.

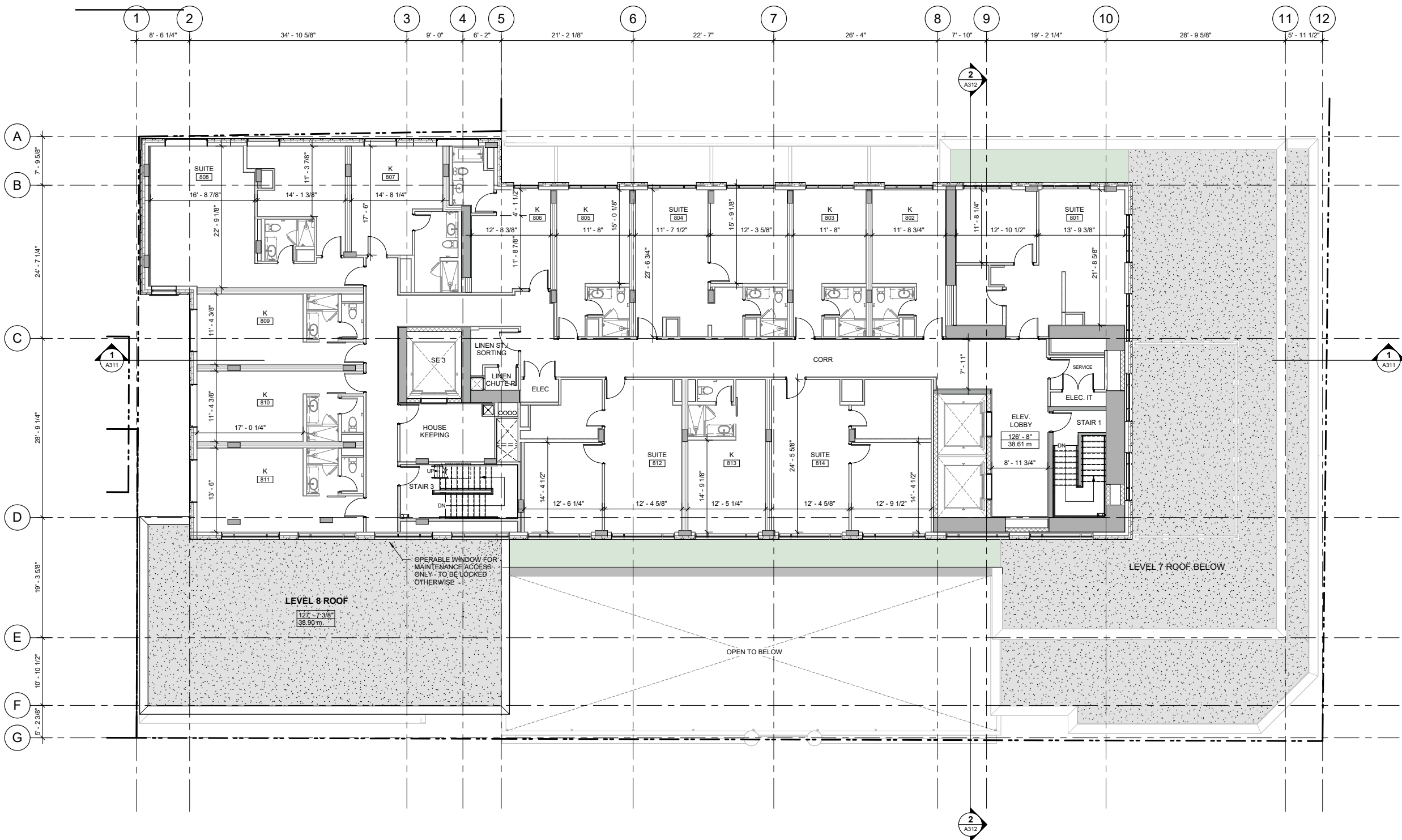
Project
LEVEL 8

Drawing

Scale 1/8" = 1'-0"




Project 222021

Sheet **A209**



1 LEVEL 8
A209 SCALE: 1/8" = 1'-0"

ROOM COUNT SCHEDULE					
LEVEL	Q	DOUBLE QUEEN	KING	SUITE	TOTAL
Not Placed	0	0	0	0	0
LEVEL 2	1	3	5	1	10
LEVEL 3	1	14	16	1	32
LEVEL 4	1	9	21	1	32
LEVEL 5	1	9	20	1	31
LEVEL 6	0	8	21	0	29
LEVEL 7	0	2	11	5	18
LEVEL 8	0	0	9	5	14
ROOF PLAN	0	0	0	0	0
TOTAL	4	45	103	14	166

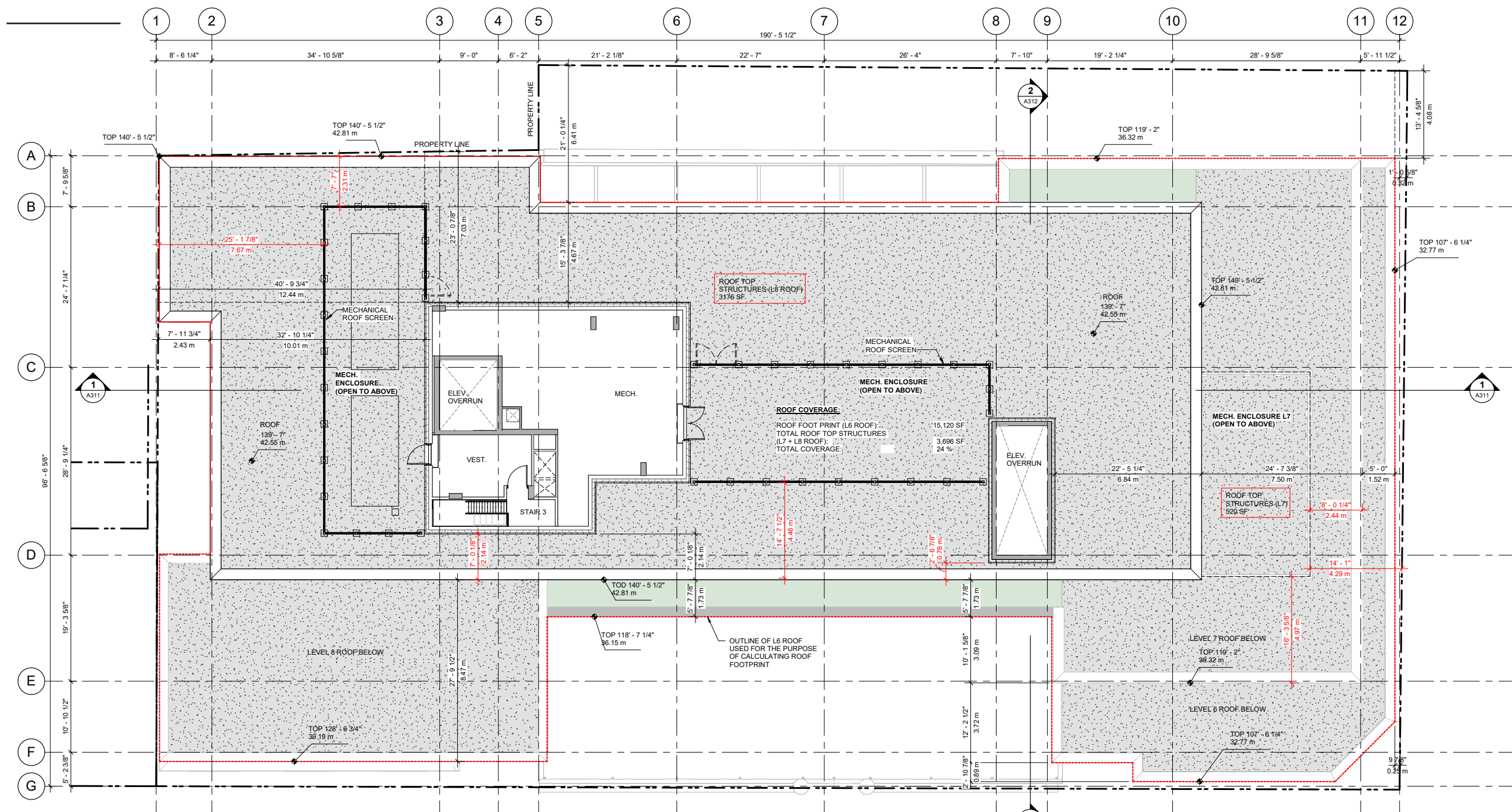
- WALL MATERIALS:**
-  EXIST. BRICK WALL
 -  EXIST. STONE WALL
 -  EXIST. RUBBLE WALL
 -  NEW CONCRETE STRUCTURE



Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
ROOF PLAN

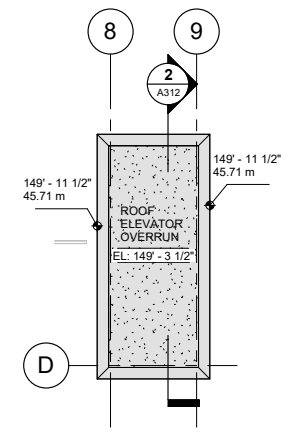
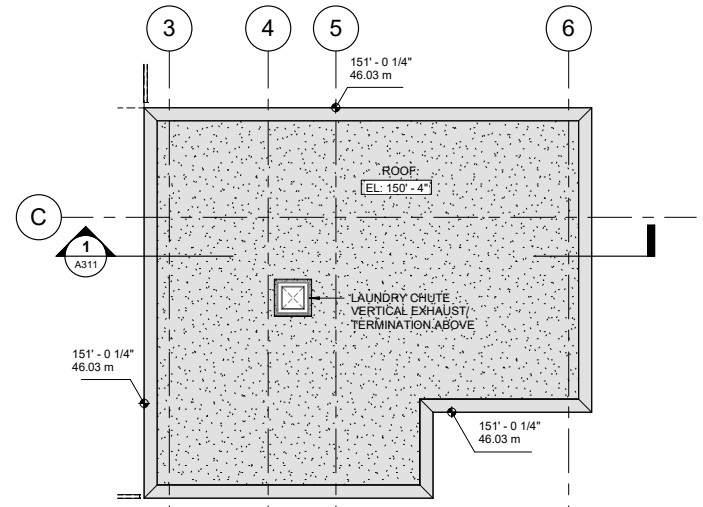
Drawing
Scale 1/8" = 1'-0"
Project 222021
Sheet **A210**



2 ROOF PLAN
SCALE: 1/8" = 1'-0"

1 MECHANICAL ROOM ROOF
SCALE: 1/8" = 1'-0"

3 ELEVATOR OVERRUN ROOF
SCALE: 1/8" = 1'-0"



CONSERVATION STRATEGY:

REFER TO OBSERVATION PLAN (MARCH 2023) FOR ADDITIONAL DESCRIPTION AND DETAILS OF HERITAGE CONSERVATION STRATEGY AND REQUIREMENTS.

MASONRY:
BRICKWORK, STONE, PARGING, AND MASONRY DETAILS TO BE PRESERVED (TYP.)

EXTERIOR BRICK WALLS AND STONE ELEMENTS TO BE PRESERVED (TYP.)

EXTERIOR RUBBLE STONE WALL TO BE PRESERVED (TYP.)

ORIGINAL CORNICE WITH CORBELLED DETAILING, BRACKETS, CENTRAL TRIANGULAR PEDIMENT WITH DECORATIVE NAME AND DATE PLATES TO BE PRESERVED (TYP.)

RUSTICATED STONE PIERS, LINTELS, SILLS TO BE PRESERVED (TYP.)

REMOVE PAINT FROM EXTERIOR BRICK WORK, STONE, PARGING WHERE APPLICABLE. UNDERTAKE TEST SAMPLES FOR ALL CLEANING AND PAINT REMOVAL IN INCONSPICUOUS AREA USING ONLY APPROVED PRODUCTS AND PROCESSES. CLEANING AND PAINT REMOVAL NOT TO CAUSE DAMAGE TO MASONRY.

REPAIR DETERIORATED MASONRY USING APPROVED MASONRY REPAIR MORTARS AND TECHNIQUES. COMPLETE MOCK UP OF REPAIR FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. IF MASONRY IS TOO DETERIORATED TO REPAIR, REPLACE IN KIND.

REPOINT MASONRY USING MORTAR MATCHING STRENGTH, COMPOSITION, COLOUR, AND JOINT PROFILE AS ORIGINAL. COMPLETE MOCK UP OF REPOINTING FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. BRICK TO BE LEFT EXPOSED, FINAL CONDITION TO BE REVIEWED BY HERITAGE CONSULTANT AND BUILDING ENVELOPE ENGINEER.

PAINT SANDSTONE WITH BREATHABLE MINERAL PAINT.

FENESTRATION:
PRESERVE EXISTING WINDOW OPENINGS OF FRONT ELEVATION. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE DOUBLE-HUNG WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF ORIGINAL SASHES.

PRESERVE AND REHABILITATE WINDOWS OF REAR ELEVATION TO SUIT NEW SITE USE AND INTERIOR LAYOUT. UPPER FLOOR WINDOW OPENINGS TO BE PRESERVED AND WINDOW ASSEMBLIES REMOVED. MAKE GOOD OPENINGS OF UPPER FLOOR WHERE WINDOWS HAVE BEEN REMOVED. LOWER FLOOR WINDOW OPENINGS TO BE PRESERVED WITH SOME OPENINGS REHABILITATED TO SUIT NEW INTERIOR LAYOUT. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF HISTORICAL ORIGINAL SASHES.

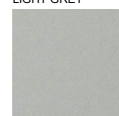
REHABILITATE STREET LEVEL BRICK WALL AND FENESTRATION OF REAR ELEVATION TO SUIT NEW USE AND INTERIOR LAYOUT.

REHABILITATE STOREFRONT OF FRONT ELEVATION WITH NEW WOOD ASSEMBLY STOREFRONT WITH NEW STOREFRONT, TRANSOM, AND ENTRIES REFLECTIVE OF THE APPEARANCE OF THE ORIGINAL AND MADE TO SUIT THE NEW INTERIOR LAYOUT.

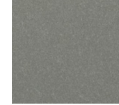
METALWORK:
PRESERVE AND REPAIR THE CAST IRON COLUMNS OF THE FRONT ELEVATION'S STOREFRONT.
COLOUR SCHEME:
REFER TO CONSERVATION PLAN FOR COLOUR SCHEME FOR PAINTED ELEMENTS OF RETAINED FRONT AND REAR ELEVATIONS.

TILE COLOUR

P-1 METAL PANEL LIGHT GREY



P-3 METAL PANEL DARK GREY



PRELIMINARY COLOUR TABLE

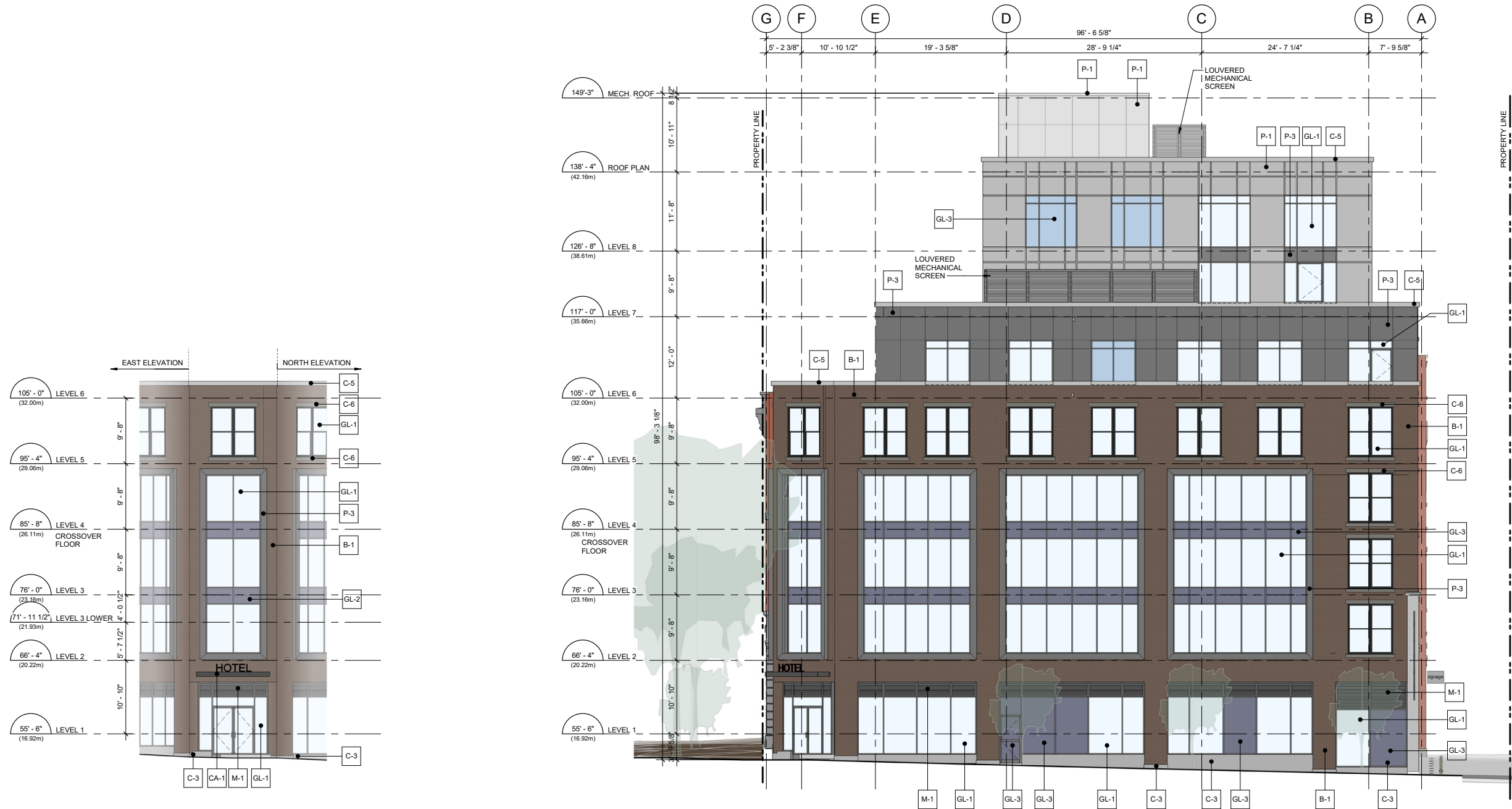
Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17		Gloss
Signage/lettering backdrop	Hastings Red	SW 2801		Low Lustre
Parging	Haddington Grey	SW 2845		Flat
Sandstone	Mineral Paint matched to Haddington Grey	Beek or Keim		Flat
Cast Iron Columns	Blackwatch Green Pratt & Lambert	19-17		Gloss

1. PAINT COLORS MATCHED FROM BENJAMIN MOORE'S 'HISTORICAL VANCOUVER TRUE COLOURS'
2. PRIOR TO INSTALLATION SAMPLES OF NOTED COLORS TO BE PLACED ON THE BUILDING TO BE VIEWED IN NATURAL LIGHT BY PROJECT HERITAGE CONSULTANT.

NOTE: BRICK TO BE RUNNING BOND U.N.O.
GLAZING DIMENSIONS TO C.L. OF MULLION U.N.O.

MATERIAL LEGEND

B-1	BRICK (FOREST BLEND, NORMAN SIZE BRICK)
B-2	BRICK (WHEAT, NORMAN SIZE BRICK)
C-1	SEALED EXPOSED CONCRETE
C-3	PRECAST CONCRETE PANEL (EXPOSED)
C-4	PRECAST CONCRETE FRAME (EXPOSED)
C-5	PRECAST CONCRETE PARAPET (EXPOSED)
C-6	PRECAST CONCRETE HEADER/SILL (EXPOSED)
CA-1	STEEL AND GLASS CANOPY
EB-1	EXISTING BRICK
EG-1	REHABILITATED HISTORICALLY COMPATIBLE WINDOW
ES-1	EXISTING STONE
GL-1	DOUBLE GLAZED WINDOW W/ CHARCOAL GREY MULLIONS
GL-2	INSULATED SINGLE GLAZED SPANDREL (DARK GREY)
GL-3	INSULATED SINGLE GLAZED SPANDREL (HARMONIZED WITH VISION GLASS)
M-1	REFINISHED ALUMINUM LOUVERS (COLOR TO MATCH MULLIONS)
P-1	METAL PANEL - LIGHT GREY
P-2	METAL PANEL - BLACK
P-3	METAL PANEL - DARK GREY



2 NORTH EAST CORNER AT 45°
SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Revisions YYY-MM-DD
1 ISSUED FOR HRA 2024-10-21

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
BUILDING ELEVATION
NORTH

Drawing
Scale 1/8" = 1'-0"
Project 222021

Sheet A301

CONSERVATION STRATEGY:
REFER TO OBSERVATION PLAN (MARCH 2023) FOR ADDITIONAL DESCRIPTION AND DETAILS OF HERITAGE CONSERVATION STRATEGY AND REQUIREMENTS.

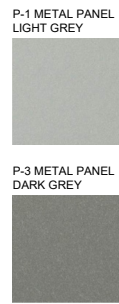
MASONRY:
BRICKWORK, STONE, PARGING, AND MASONRY DETAILS TO BE PRESERVED (TYP.)
EXTERIOR BRICK WALLS AND STONE ELEMENTS TO BE PRESERVED (TYP.)
EXTERIOR RUBBLE STONE WALL TO BE PRESERVED (TYP.)
ORIGINAL CORNICE WITH CORBELLED DETAILING, BRACKETS, CENTRAL TRIANGULAR PEDIMENT WITH DECORATIVE NAME AND DATE PLATES TO BE PRESERVED (TYP.)
RUSTICATED STONE PIERS, LINTELS, SILLS TO BE PRESERVED (TYP.)
REMOVE PAINT FROM EXTERIOR BRICK WORK, STONE, PARGING WHERE APPLICABLE. UNDERTAKE TEST SAMPLES FOR ALL CLEANING AND PAINT REMOVAL IN INCONSPICUOUS AREA USING ONLY APPROVED PRODUCTS AND PROCESSES. CLEANING AND PAINT REMOVAL NOT TO CAUSE DAMAGE TO MASONRY.
REPAIR DETERIORATED MASONRY USING APPROVED MASONRY REPAIR MORTARS AND TECHNIQUES. COMPLETE MOCK UP OF REPAIR FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. IF MASONRY IS TOO DETERIORATED TO REPAIR, REPLACE IN KIND.
REPOINT MASONRY USING MORTAR MATCHING STRENGTH, COMPOSITION, COLOUR, AND JOINT PROFILE AS ORIGINAL. COMPLETE MOCK UP OF REPOINTING FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. BRICK TO BE LEFT EXPOSED, FINAL CONDITION TO BE REVIEWED BY HERITAGE CONSULTANT AND BUILDING ENVELOPE ENGINEER.
PAINT SANDSTONE WITH BREATHABLE MINERAL PAINT.

FENESTRATION:
PRESERVE EXISTING WINDOW OPENINGS OF FRONT ELEVATION. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE DOUBLE-HUNG WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF ORIGINAL SASHES.
PRESERVE AND REHABILITATE WINDOWS OF REAR ELEVATION TO SUIT NEW SITE USE AND INTERIOR LAYOUT. UPPER FLOOR WINDOW OPENINGS TO BE PRESERVED AND WINDOW ASSEMBLIES REMOVED. MAKE GOOD OPENINGS OF UPPER FLOOR WHERE WINDOWS HAVE BEEN REMOVED. LOWER FLOOR WINDOW OPENINGS TO BE PRESERVED WITH SOME OPENINGS REHABILITATED TO SUIT NEW INTERIOR LAYOUT. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF HISTORICAL ORIGINAL SASHES.
REHABILITATE STREET LEVEL BRICK WALL AND FENESTRATION OF REAR ELEVATION TO SUIT NEW USE AND INTERIOR LAYOUT.
REHABILITATE STOREFRONT OF FRONT ELEVATION WITH NEW WOOD ASSEMBLY STOREFRONT WITH NEW STOREFRONT, TRANSOM, AND ENTRIES REFLECTIVE OF THE APPEARANCE OF THE ORIGINAL AND MADE TO SUIT THE NEW INTERIOR LAYOUT.

METALWORK:
PRESERVE AND REPAIR THE CAST IRON COLUMNS OF THE FRONT ELEVATION'S STOREFRONT.

COLOUR SCHEME:
REFER TO CONSERVATION PLAN FOR COLOUR SCHEME FOR PAINTED ELEMENTS OF RETAINED FRONT AND REAR ELEVATIONS.

TILE COLOUR



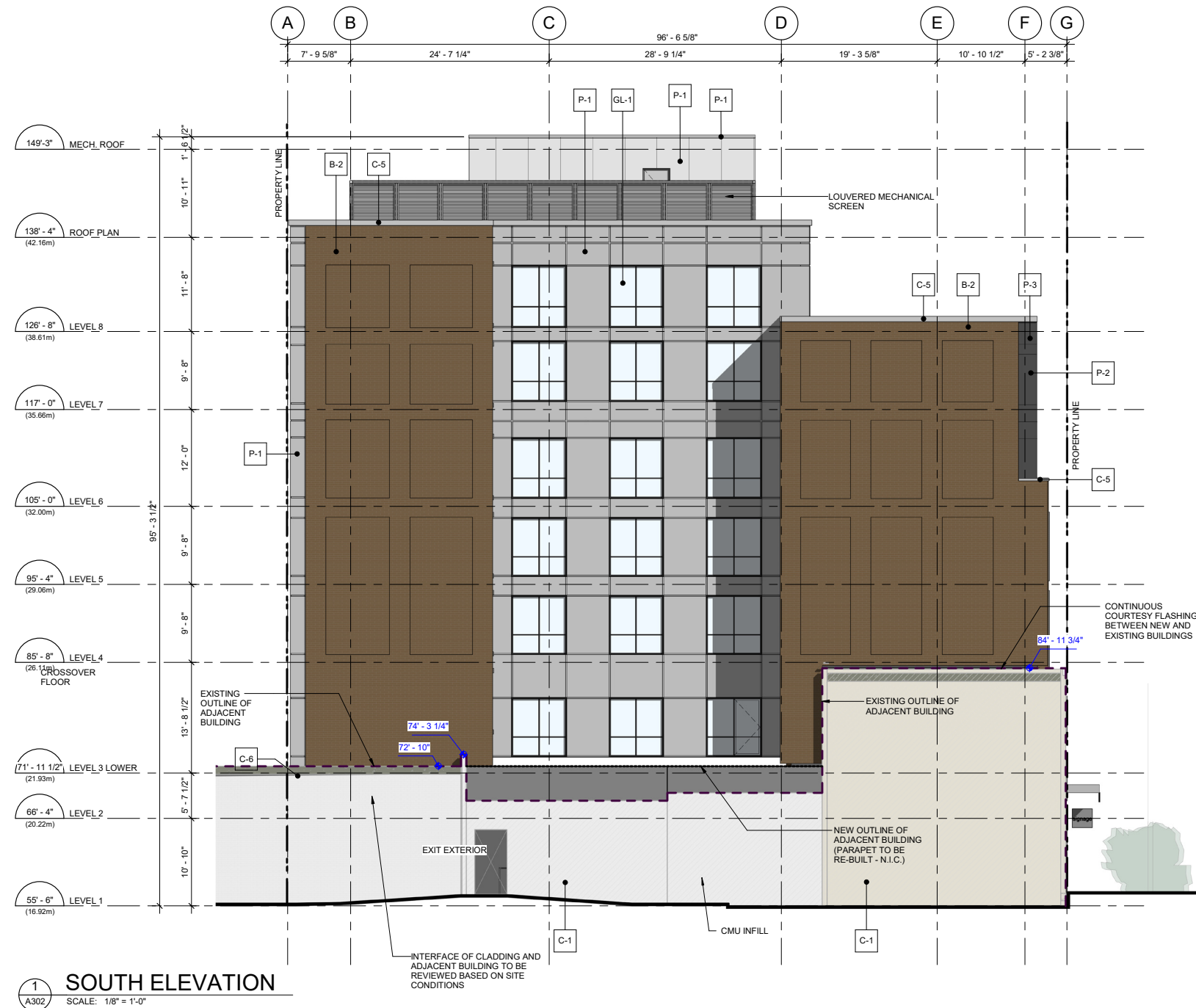
PRELIMINARY COLOUR TABLE

Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss
Signage/lettering backdrop	Hastings Red	SW 2801	[Sample]	Low Lustre
Parging	Haddington Grey	SW 2845	[Sample]	Flat
Sandstone	Mineral Paint matched to Haddington Grey	Beek or Keim	[Sample]	Flat
Cast Iron Columns	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss

1. PAINT COLORS MATCHED FROM BENJAMIN MOORE'S 'HISTORICAL VANCOUVER TRUE COLOURS'
2. PRIOR TO INSTALLATION SAMPLES OF NOTED COLORS TO BE PLACED ON THE BUILDING TO BE VIEWED IN NATURAL LIGHT BY PROJECT HERITAGE CONSULTANT.

MATERIAL LEGEND

B-1	BRICK (FOREST BLEND, NORMAN SIZE BRICK)
B-2	BRICK (WHEAT, NORMAN SIZE BRICK)
C-1	SEALED EXPOSED CONCRETE
C-3	PRECAST CONCRETE PANEL (EXPOSED)
C-4	PRECAST CONCRETE FRAME (EXPOSED)
C-5	PRECAST CONCRETE PARAPET (EXPOSED)
C-6	PRECAST CONCRETE HEADER/SILL (EXPOSED)
CA-1	STEEL AND GLASS CANOPY
EB-1	EXISTING BRICK
EG-1	REHABILITATED HISTORICALLY COMPATIBLE WINDOW
ES-1	EXISTING STONE
GL-1	DOUBLE GLAZED WINDOW W/ CHARCOAL GREY MULLIONS
GL-2	INSULATED SINGLE GLAZED SPANDREL (DARK GREY)
GL-3	INSULATED SINGLE GLAZED SPANDREL (HARMONIZED WITH VISION GLASS)
M-1	PREFINISHED ALUMINUM LOUVERS (COLOR TO MATCH MULLIONS)
P-1	METAL PANEL - LIGHT GREY
P-2	METAL PANEL - BLACK
P-3	METAL PANEL - DARK GREY



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

CONSERVATION STRATEGY:

REFER TO OBSERVATION PLAN (MARCH 2023) FOR ADDITIONAL DESCRIPTION AND DETAILS OF HERITAGE CONSERVATION STRATEGY AND REQUIREMENTS.

MASONRY:
BRICKWORK, STONE, PARING, AND MASONRY DETAILS TO BE PRESERVED (TYP.)

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EXTERIOR RUBBLE STONE WALL TO BE PRESERVED (TYP.)

ORIGINAL CORNICE WITH CORBELLED DETAILING, BRACKETS, CENTRAL TRIANGULAR PEDIMENT WITH DECORATIVE NAME AND DATE PLATES TO BE PRESERVED (TYP.)

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PAINT SANDSTONE WITH BREATHABLE MINERAL PAINT.

FENESTRATION:
PRESERVE EXISTING WINDOW OPENINGS OF FRONT ELEVATION. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE DOUBLE-HUNG WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF ORIGINAL SASHES.

PRESERVE AND REHABILITATE WINDOWS OF REAR ELEVATION TO SUIT NEW SITE USE AND INTERIOR LAYOUT. UPPER FLOOR WINDOW OPENINGS TO BE PRESERVED AND WINDOW ASSEMBLIES REMOVED. MAKE GOOD OPENINGS OF UPPER FLOOR WHERE WINDOWS HAVE BEEN REMOVED. LOWER FLOOR WINDOW OPENINGS TO BE PRESERVED WITH SOME OPENINGS REHABILITATED TO SUIT NEW INTERIOR LAYOUT. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF HISTORICAL ORIGINAL SASHES.

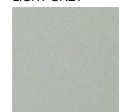
REHABILITATE STREET LEVEL BRICK WALL AND FENESTRATION OF REAR ELEVATION TO SUIT NEW USE AND INTERIOR LAYOUT.

REHABILITATE STOREFRONT OF FRONT ELEVATION WITH NEW WOOD ASSEMBLY STOREFRONT WITH NEW STOREFRONT, TRANSOM, AND ENTRIES REFLECTIVE OF THE APPEARANCE OF THE ORIGINAL AND MADE TO SUIT THE NEW INTERIOR LAYOUT.

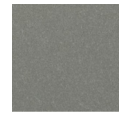
METALWORK:
PRESERVE AND REPAIR THE CAST IRON COLUMNS OF THE FRONT ELEVATION'S STOREFRONT.
COLOUR SCHEME:
REFER TO CONSERVATION PLAN FOR COLOUR SCHEME FOR PAINTED ELEMENTS OF RETAINED FRONT AND REAR ELEVATIONS.

TILE COLOUR

P-1 METAL PANEL
LIGHT GREY



P-3 METAL PANEL
DARK GREY



PRELIMINARY COLOUR TABLE

Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17		Gloss
Signage/lettering backdrop	Hastings Red	SW 2801		Low Lustre
Parping	Haddington Grey	SW 2845		Flat
Sandstone	Mineral Paint matched to Haddington Grey	Beek or Keim		Flat
Cast Iron Columns	Blackwatch Green Pratt & Lambert	19-17		Gloss

1. PAINT COLORS MATCHED FROM BENJAMIN MOORE'S 'HISTORICAL VANCOUVER TRUE COLOURS'
2. PRIOR TO INSTALLATION SAMPLES OF NOTED COLORS TO BE PLACED ON THE BUILDING TO BE VIEWED IN NATURAL LIGHT BY PROJECT HERITAGE CONSULTANT.

NOTE: BRICK TO BE RUNNING BOND U.N.O.
GLAZING DIMENSIONS TO C.L. OF MULLION U.N.O.

MATERIAL LEGEND	
B-1	BRICK (FOREST BLEND, NORMAN SIZE BRICK)
B-2	BRICK (WHEAT, NORMAN SIZE BRICK)
C-1	SEALED EXPOSED CONCRETE
C-3	PRECAST CONCRETE PANEL (EXPOSED)
C-4	PRECAST CONCRETE FRAME (EXPOSED)
C-5	PRECAST CONCRETE PARAPET (EXPOSED)
C-6	PRECAST CONCRETE HEADER/SILL (EXPOSED)
CA-1	STEEL AND GLASS CANOPY
EB-1	EXISTING BRICK
EG-1	REHABILITATED HISTORICALLY COMPATIBLE WINDOW
ES-1	EXISTING STONE
GL-1	DOUBLE GLAZED WINDOW W/ CHARCOAL GREY MULLIONS
GL-2	INSULATED SINGLE GLAZED SPANDREL (DARK GREY)
GL-3	INSULATED SINGLE GLAZED SPANDREL (HARMONIZED WITH VISION GLASS)
M-1	PREFINISHED ALUMINUM LOUVERS (COLOR TO MATCH MULLIONS)
P-1	METAL PANEL - LIGHT GREY
P-2	METAL PANEL - BLACK
P-3	METAL PANEL - DARK GREY



Revisions	YYYY-MM-DD
1 ISSUED FOR HRA	2024-10-21

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
BUILDING ELEVATION EAST

Drawing
Scale 1/8" = 1'-0"
Project 222021

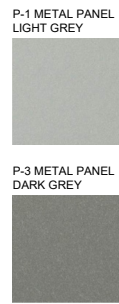
Sheet **A303**

CONSERVATION STRATEGY:
REFER TO OBSERVATION PLAN (MARCH 2023) FOR ADDITIONAL DESCRIPTION AND DETAILS OF HERITAGE CONSERVATION STRATEGY AND REQUIREMENTS.

MASONRY:
BRICKWORK, STONE, PARGING, AND MASONRY DETAILS TO BE PRESERVED (TYP.)
EXTERIOR BRICK WALLS AND STONE ELEMENTS TO BE PRESERVED (TYP.)
EXTERIOR RUBBLE STONE WALL TO BE PRESERVED (TYP.)
ORIGINAL CORNICE WITH CORBELLED DETAILING, BRACKETS, CENTRAL TRIANGULAR PEDIMENT WITH DECORATIVE NAME AND DATE PLATES TO BE PRESERVED (TYP.)
RUSTICATED STONE PIERS, LINTELS, SILLS TO BE PRESERVED (TYP.)
REMOVE PAINT FROM EXTERIOR BRICK WORK, STONE, PARGING WHERE APPLICABLE. UNDERTAKE TEST SAMPLES FOR ALL CLEANING AND PAINT REMOVAL IN INCONSPICUOUS AREA USING ONLY APPROVED PRODUCTS AND PROCESSES. CLEANING AND PAINT REMOVAL NOT TO CAUSE DAMAGE TO MASONRY.
REPAIR DETERIORATED MASONRY USING APPROVED MASONRY REPAIR MORTARS AND TECHNIQUES. COMPLETE MOCK UP OF REPAIR FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. IF MASONRY IS TOO DETERIORATED TO REPAIR, REPLACE IN KIND.
REPOINT MASONRY USING MORTAR MATCHING STRENGTH, COMPOSITION, COLOUR, AND JOINT PROFILE AS ORIGINAL. COMPLETE MOCK UP OF REPOINTING FOR APPROVAL BY CONSULTANTS PRIOR TO PROCEEDING WITH WORK. BRICK TO BE LEFT EXPOSED, FINAL CONDITION TO BE REVIEWED BY HERITAGE CONSULTANT AND BUILDING ENVELOPE ENGINEER.
PAINT SANDSTONE WITH BREATHABLE MINERAL PAINT.

FENESTRATION:
PRESERVE EXISTING WINDOW OPENINGS OF FRONT ELEVATION. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE DOUBLE-HUNG WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF ORIGINAL SASHES.
PRESERVE AND REHABILITATE WINDOWS OF REAR ELEVATION TO SUIT NEW SITE USE AND INTERIOR LAYOUT. UPPER FLOOR WINDOW OPENINGS TO BE PRESERVED AND WINDOW ASSEMBLIES REMOVED. MAKE GOOD OPENINGS OF UPPER FLOOR WHERE WINDOWS HAVE BEEN REMOVED. LOWER FLOOR WINDOW OPENINGS TO BE PRESERVED WITH SOME OPENINGS REHABILITATED TO SUIT NEW INTERIOR LAYOUT. PRESERVE WOOD JAMBS AND REPAIR. REPLACE IN KIND JAMBS TOO DETERIORATED TO REPAIR. REHABILITATE WINDOW SASHES WITH NEW WOOD SASHES WITH THERMAL GLAZING UNITS REFLECTIVE OF HISTORICAL ORIGINAL SASHES.
REHABILITATE STREET LEVEL BRICK WALL AND FENESTRATION OF REAR ELEVATION TO SUIT NEW USE AND INTERIOR LAYOUT.
REHABILITATE STOREFRONT OF FRONT ELEVATION WITH NEW WOOD ASSEMBLY STOREFRONT WITH NEW STOREFRONT, TRANSOM, AND ENTRIES REFLECTIVE OF THE APPEARANCE OF THE ORIGINAL AND MADE TO SUIT THE NEW INTERIOR LAYOUT.
METALWORK:
PRESERVE AND REPAIR THE CAST IRON COLUMNS OF THE FRONT ELEVATION'S STOREFRONT.
COLOUR SCHEME:
REFER TO CONSERVATION PLAN FOR COLOUR SCHEME FOR PAINTED ELEMENTS OF RETAINED FRONT AND REAR ELEVATIONS.

TILE COLOUR



PRELIMINARY COLOUR TABLE

Element	Colour*	Code	Sample	Finish
Window Sash & Storefront	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss
Signage/lettering backdrop	Hastings Red	SW 2801	[Sample]	Low Lustre
Parging	Haddington Grey	SW 2845	[Sample]	Flat
Sandstone	Mineral Paint matched to Haddington Grey	Beek or Keim	[Sample]	Flat
Cast Iron Columns	Blackwatch Green Pratt & Lambert	19-17	[Sample]	Gloss

1. PAINT COLORS MATCHED FROM BENJAMIN MOORE'S "HISTORICAL VANCOUVER TRUE COLOURS"
2. PRIOR TO INSTALLATION SAMPLES OF NOTED COLORS TO BE PLACED ON THE BUILDING TO BE VIEWED IN NATURAL LIGHT BY PROJECT HERITAGE CONSULTANT.

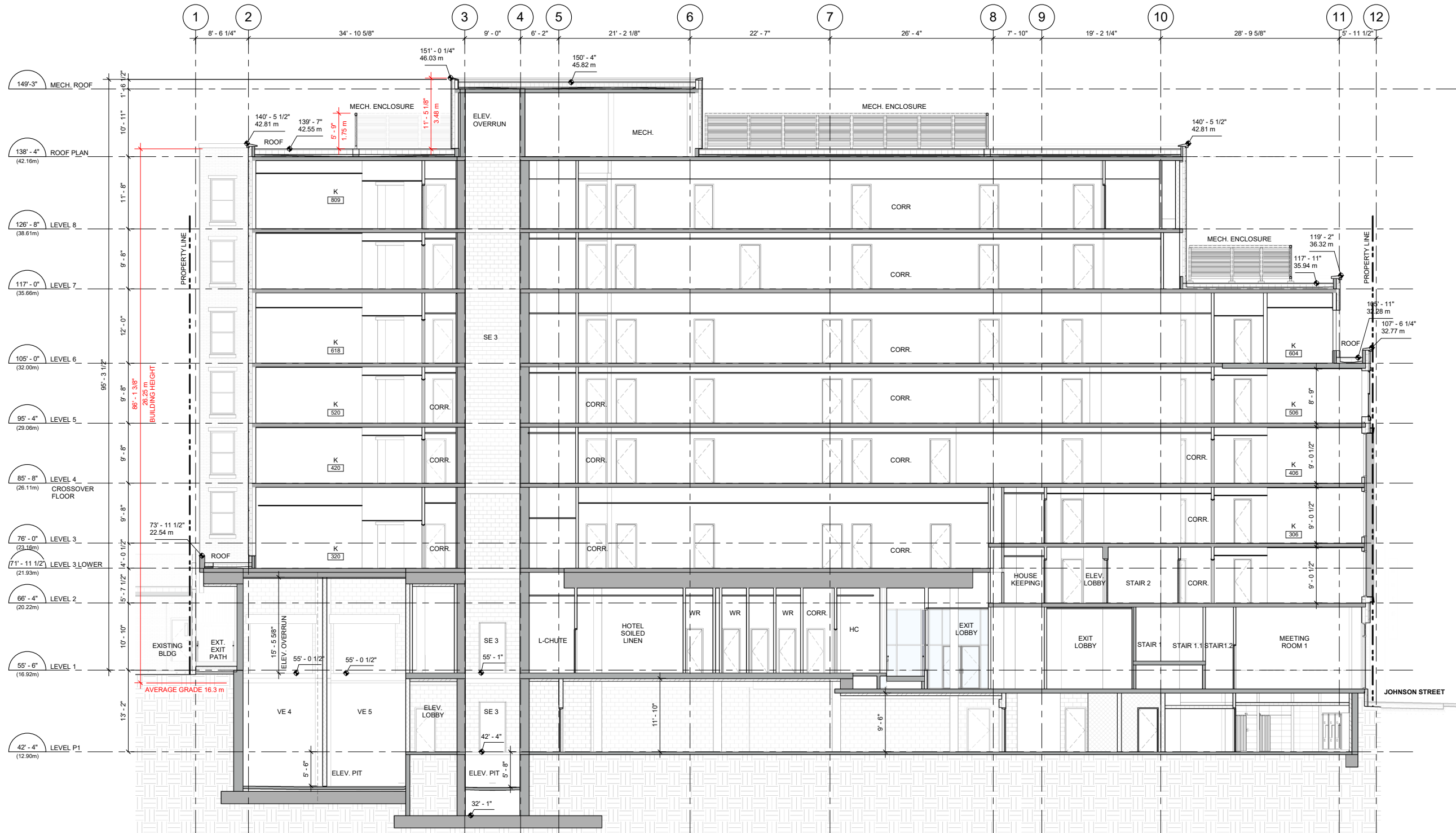
NOTE: BRICK TO BE RUNNING BOND U.N.O.
GLAZING DIMENSIONS TO C.L. OF MULLION U.N.O.

MATERIAL LEGEND

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1 WEST ELEVATION
A304 SCALE: 1/8" = 1'-0"



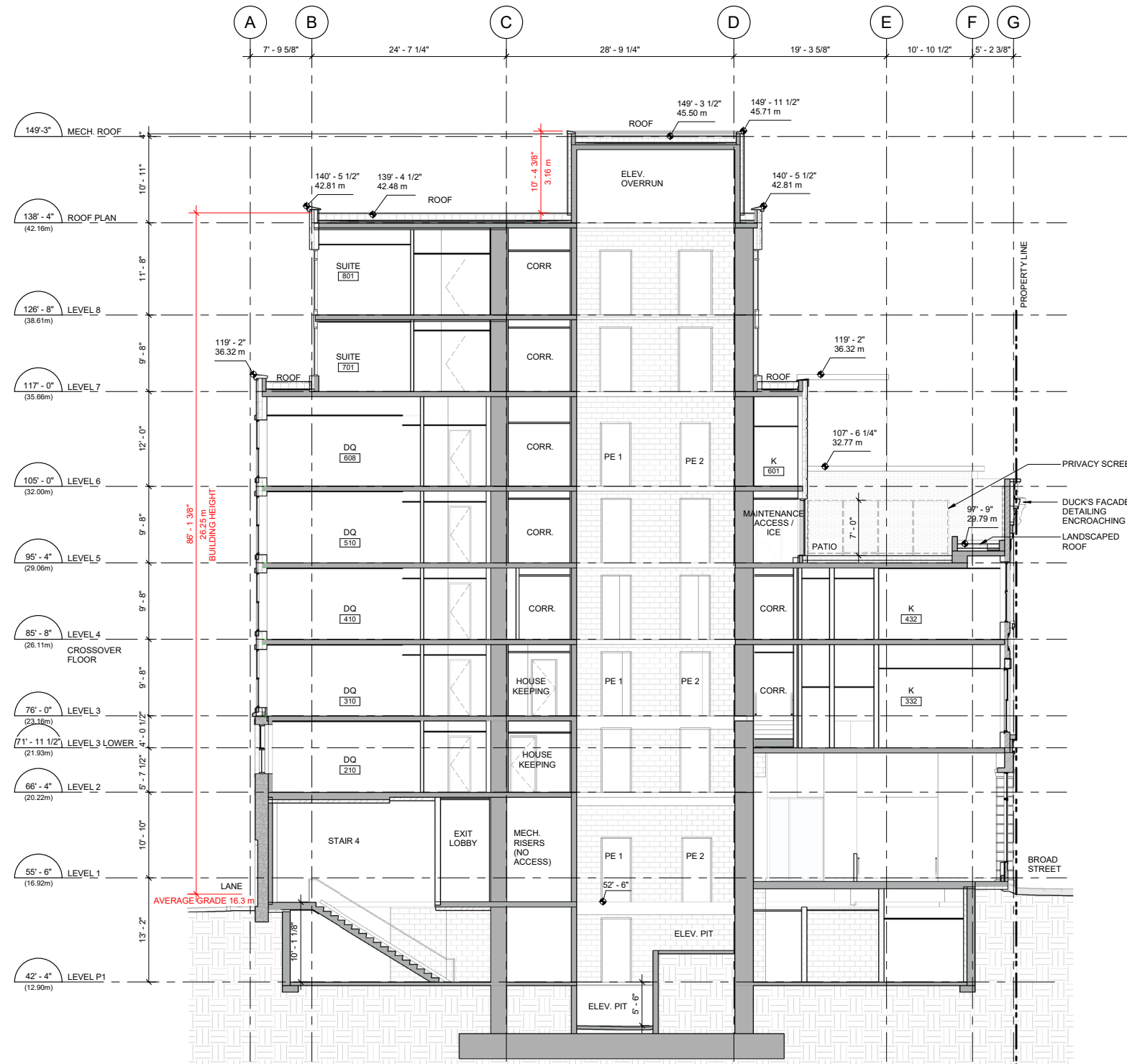
1 BUILDING SECTION 1
SCALE: 1/8" = 1'-0"

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
BUILDING SECTION

Drawing
Scale 1/8" = 1'-0"
Project 222021

Sheet **A311**



2 BUILDING SECTION 2
A201 SCALE: 1/8" = 1'-0"

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
BUILDING SECTION

Drawing
Scale 1/8" = 1'-0"
Project 222021

Sheet **A312**

Revisions	YYYY-MM-DD
1 ISSUED FOR HRA	2024-10-21



3 EAST ELEVATION CONTEXT PROPOSED
SCALE: 1" = 20'-0"



1 EAST ELEVATION CONTEXT EXISTING
SCALE: 1" = 20'-0"



4 NORTH ELEVATION CONTEXT PROPOSED
SCALE: 1" = 20'-0"



2 NORTH ELEVATION CONTEXT EXISTING
SCALE: 1" = 20'-0"

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
SITE CONTEXT

Drawing
Scale 1" = 20'-0"
Project 222021
Sheet **A501**



JOHNSON STREET

LONDON FLATS
1313 BROAD STREET

ROBINSON'S OUTDOOR STORE
1307 BROAD STREET

META YOGA
1303 BROAD STREET

YATES STREET

1 BROAD STREET CONTEXT FACING EAST
SCALE: N/A



606 - 614 JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

BROAD STREET



BEST WESTERN
636 JOHNSON STREET

2 JOHNSON STREET CONTEXT FACING NORTH
SCALE: N/A



1298 BROAD STREET SQUARE



AUDIO VIDEO REPLAY
620 JOHNSON STREET



631 - 635 JOHNSON STREET



605 - 613 JOHNSON STREET

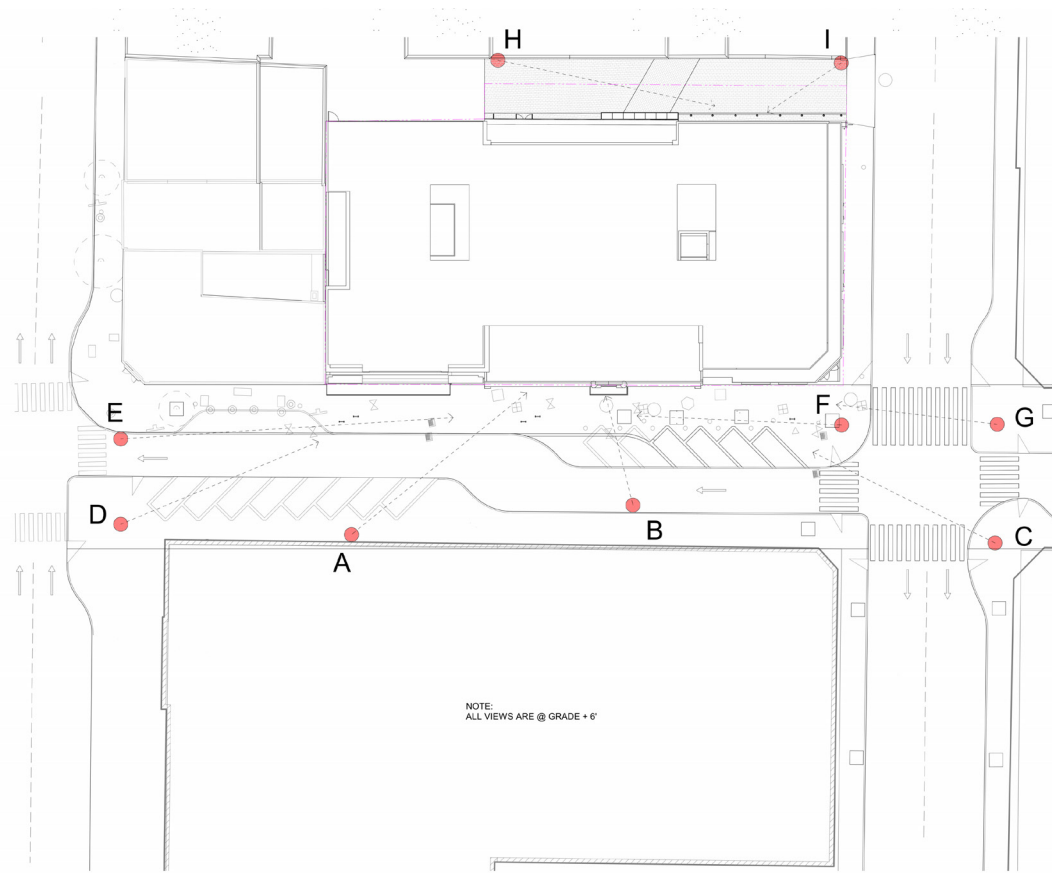
3 BROAD STREET CONTEXT FACING WEST
SCALE: N/A

4 JOHNSON STREET CONTEXT FACING SOUTH
SCALE: N/A

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
SITE CONTEXT

Drawing
Scale 1/8" = 1'-0"
Project 222021
Sheet A502



1 KEY PLAN SHEET VIEW IMAGES
SCALE: 1/8" = 1'-0"



2 YATES TO JOHNSON EAST - A
SCALE:



3 BROAD STREET - SOUTH BUILDING & DUCKS - B
SCALE:



4 BROAD & JOHNSON - C
SCALE:

Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.
Project
PERSPECTIVE
STUDIES

Drawing
Scale 1/8" = 1'-0"
Project 222021

Sheet **A503**



1 YATES & BROAD - D
SCALE: N/A



2 YATES & BROAD - E
SCALE: N/A



3 BROAD & JOHNSON - F
SCALE: N/A



4 BROAD & JOHNSON - G
SCALE: N/A



5 LANEWAY TO JOHNSON - H
SCALE: N/A



6 LANEWAY STONEWALL - I
SCALE: N/A

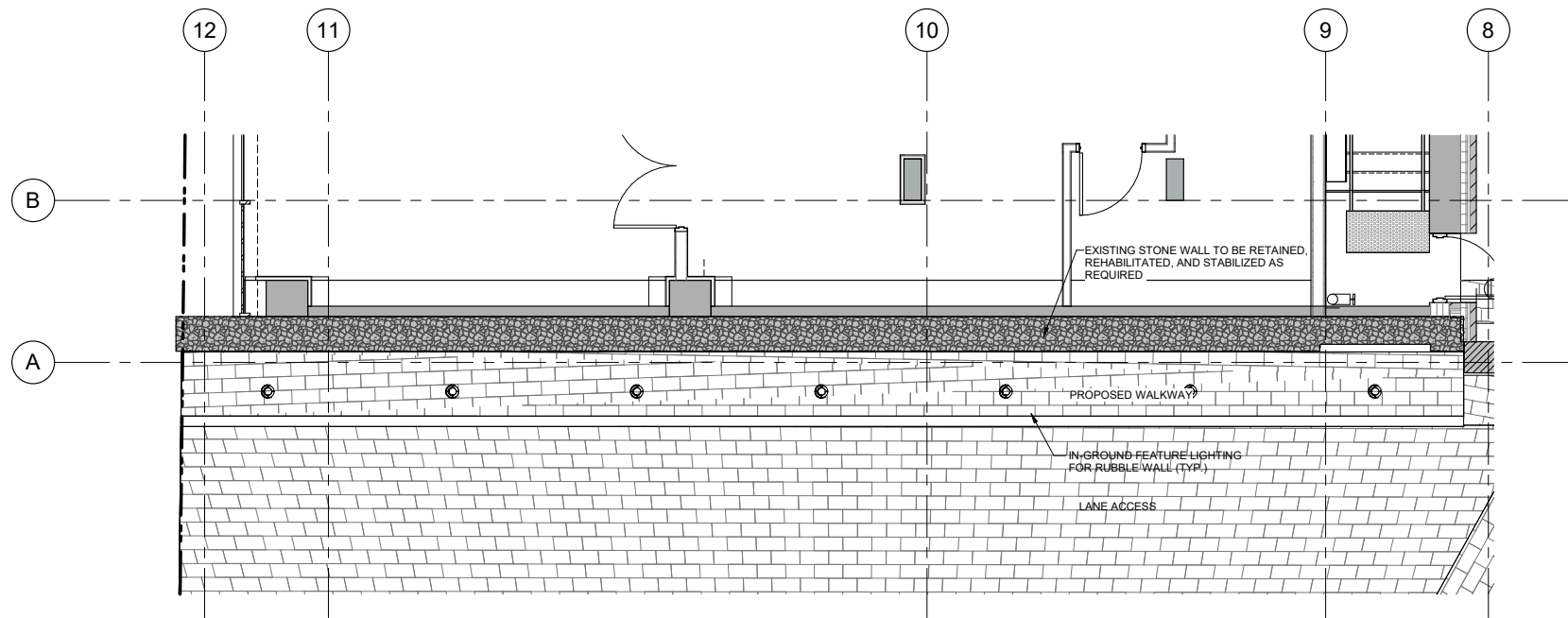
Seal
BROAD STREET

1312-1324 BROAD STREET
VICTORIA, B.C.

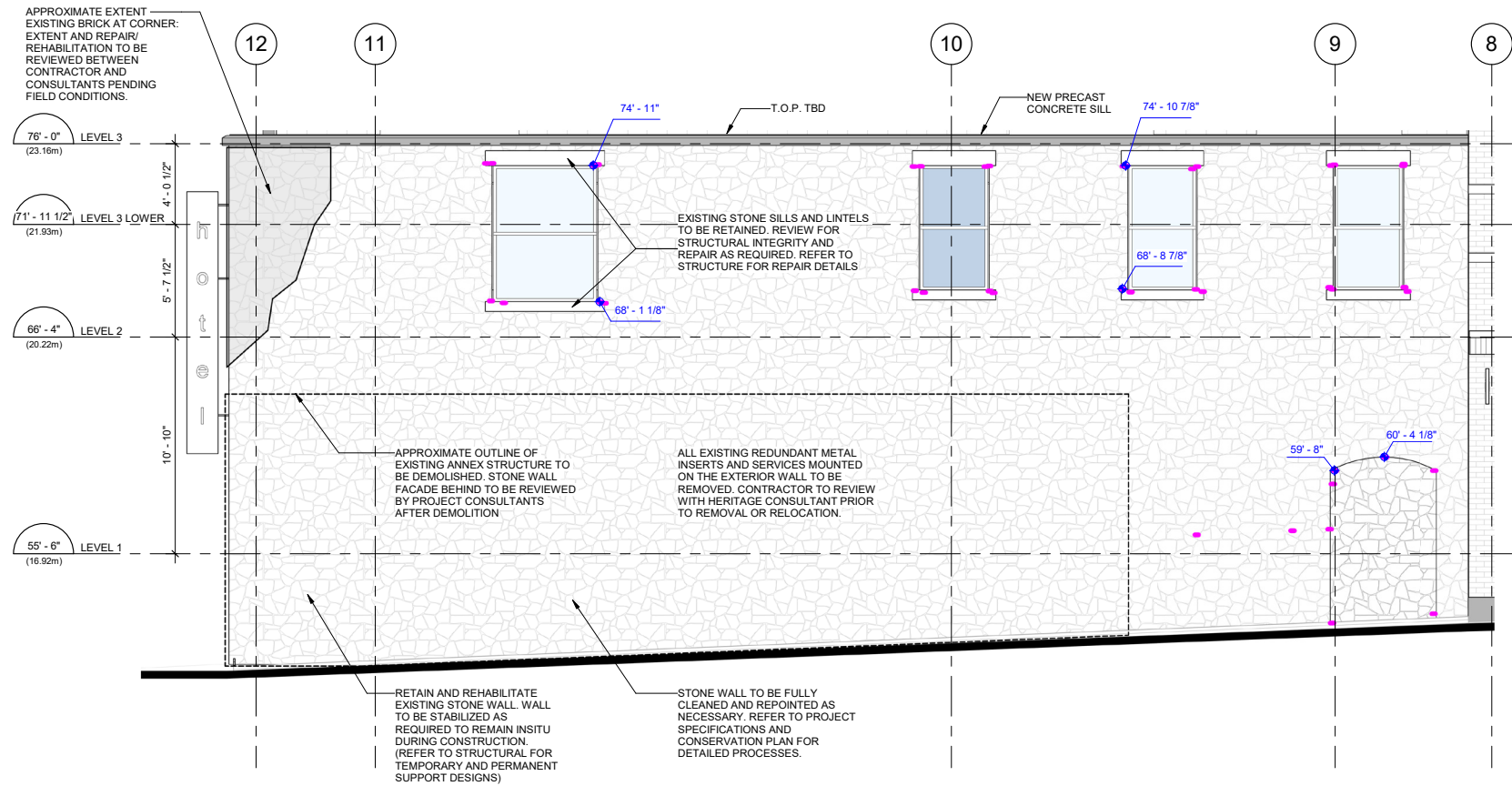
Project
PERSPECTIVE
STUDIES

Drawing
Scale
Project 222021

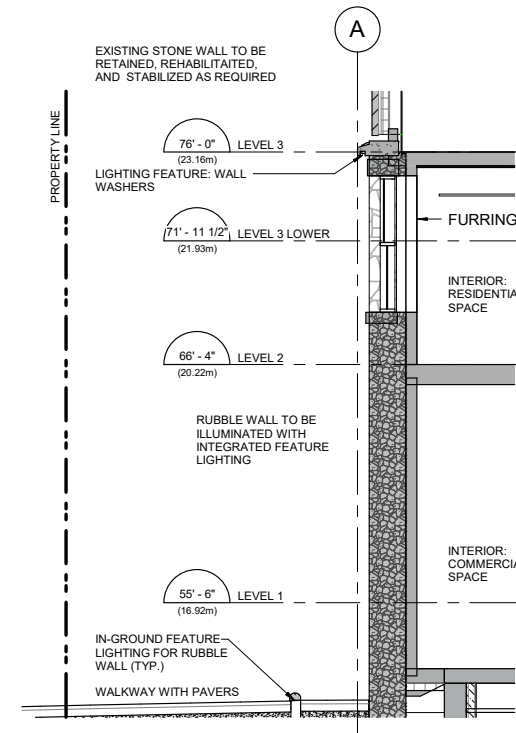
Sheet
A504



3 STONE WALL L1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 HERITAGE ELEVATION - WEST
SCALE: 1/4" = 1'-0"



2 STONE WALL SECTION
SCALE: 1/4" = 1'-0"

APPENDIX

LANDSCAPE DRAWINGS



MDI LANDSCAPE ARCHITECTS
3388A Tenison Ave P: 250-412-2891
Victoria, BC V8Z 3P6 E: admin@mdidesign.ca

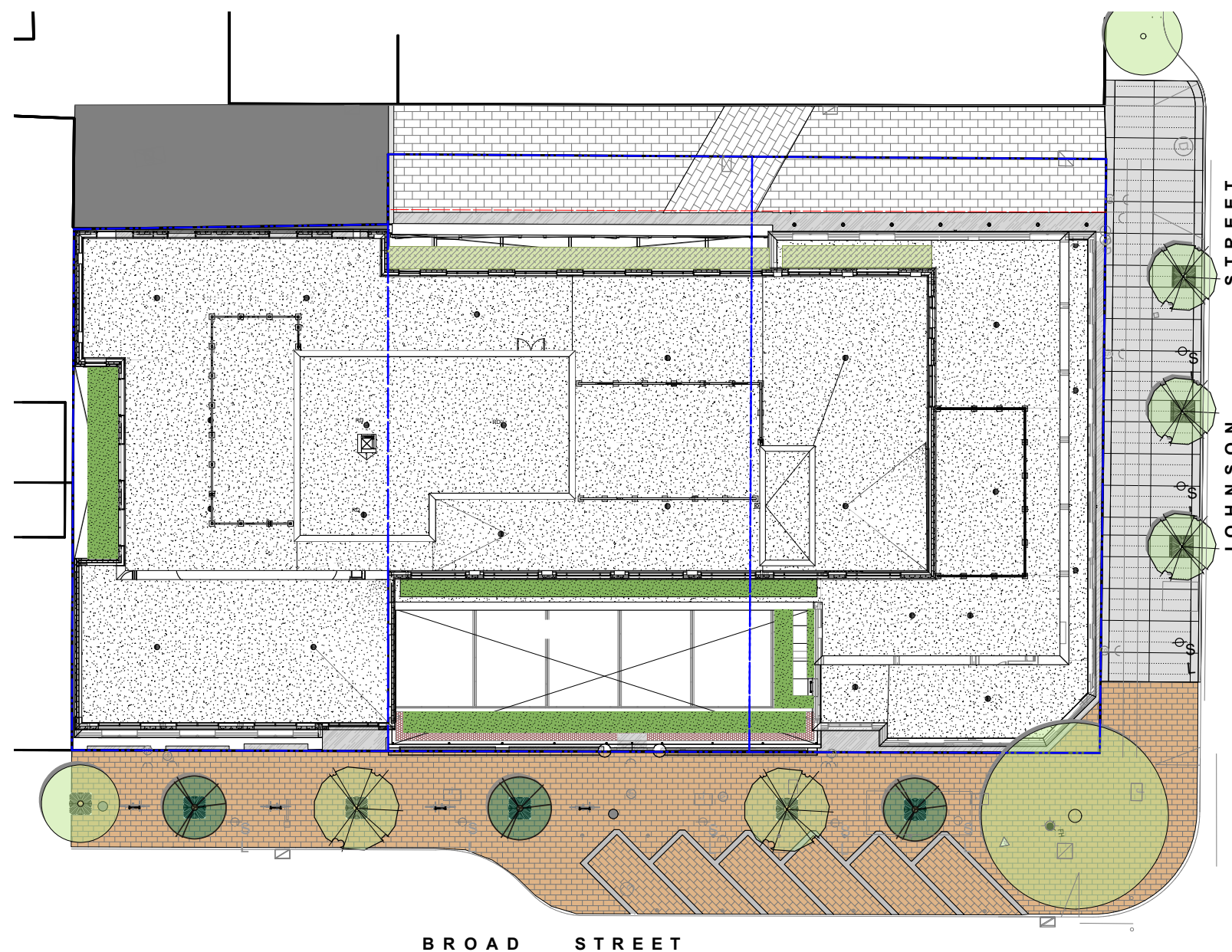
Landscape Sheets

Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information
L1.01	Landscape Materials Plan - At Grade
L1.02	Landscape Materials Plan - Terrace Levels
L2.01	Planting Plan
L2.02	Soil Cell Information - Boulevard Trees

1312-1314 BROAD STREET

VICTORIA BC

KEY PLAN



NOT FOR CONSTRUCTION



No.	Issued For	Issue Date
1	DP	2024-10-22



client
CHARD DEVELOPMENT

project
BROAD STREET
1312-1314 BROAD ST
VICTORIA, BC

sheet title
Cover

project no.	123.13
scale	1:150 @ 24"x36"
drawn by	ML/SC
checked by	SM
sheet no.	

L0.00

GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyaguer Way, Richmond, BC, V6X 3G9. p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

PAVING NOTES

- Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

OFF SITE IRRIGATION NOTES

- All boulevard irrigation work, including required inspections, shall comply to "City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw".
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042. Irrigation Inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.
- Design/build drawings for boulevard Irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work
- Boulevard irrigation point of connection to be 25 mm service from existing water connection on, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Boulevard Irrigation electric zone valves to be RainBird PGA, except tree drip valves: Rainbird Low Flow Control Zone Kit w/ PR Filter; XGZLF-100-PRF 1.
- 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeve 300mm beyond edge of hard surface into soft landscape areas.

OFF-SITE IRRIGATION INSPECTIONS REQUIRED

- The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
 - Irrigation sleeving prior to backfilling
 - Open trench main line and pressure test
 - Open trench lateral line
 - Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly is to have an inspection tag completed and attached.

BOULEVARD PLANTING NOTES

- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
- The finished grade for boulevards must be firm against footprints, loose textured, free of all stones, roots, and branches. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

OFF-SITE HORTICULTURE INSPECTIONS REQUIRED

- The following inspections are required for all off-site horticulture areas:
 - Excavated and scarified subgrade prior to placement of growing media.
 - Installed and prepared growing media prior to planting.
 - Plant material on-site prior to planting.
 - Planted landscape prior to mulch installation.
 - At time that planted and mulched landscape meets the conditions for Total Performance as required by MMCD.

WARRANTY AND MAINTENANCE NOTES

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- Refer to Landscape Specifications for Maintenance Period following Acceptance.
- Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
- Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PE	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAN OUT	PT	POINT, POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ M	CUBIC METRE	QTY	QUANTITY
DEG	DEGREE	R	RADIUS
DEMO	DEMOLISH, DEMOLITION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCE(D)
DIM	DIMENSION	REQ'D	REQUIRE(D)
DTL	DETAIL	REV	REVISION
DWG	DRAWING	ROW	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SAN	SANITARY
EL	ELEVATION	SD	STORM DRAIN
ENG	ENGINEER	SF	SQUARE FOOT (FEET)
EQ	EQUAL	SHT	SHEET
EST	ESTIMATE	SIM	SIMILAR
E.W.	EACH WAY	SPECS	SPECIFICATIONS
EXIST	EXISTING	SQ M	SQUARE METRE
EXP	EXPANSION, EXPOSED	ST	STORM SEWER
FG	FINISHED FLOOR ELEVATION	STA	STATION
FL	FLOW LINE	STD	STANDARD
FOC	FACE OF CURB	SYM	SYMMETRICAL
FT	FOOT (FEET)	T&B	TOP AND BOTTOM
FTG	FOOTING	TC	TOP OF CURB
GA	GAUGE	TF	TOP OF FOOTING
GEN	GENERAL	TH	THICK
GR	GRADE ELEVATION	TH	THICKNESS
HORIZ	HORIZONTAL	TOPO	TOPOGRAPHY
HP	HIGH POINT	TR	TOP OF RAMP
HT	HEIGHT	TS	TOP OF STEP
ID	INSIDE DIAMETER	TW	TOP OF WALL
INV	INVERT ELEVATION	TYP	TYPICAL
IN	INCH(ES)	VAR	VARIES
INCL	INCLUDE(D)	VOL	VOLUME
JT	JOINT	W	WITH
LF	LINEAR FEET	W/O	WITHOUT
LP	LOW POINT	WT	WEIGHT
		WL	WATER LEVEL
		WWF	WELDED WIRE FRAME
		YD	YARD
		@	AT

LINE TYPE LEGEND

	Property line
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	Right of Way
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL
	Proposed Contour Line, 0.5m interval
	Existing Contour Line, 0.5m interval
	Extent of Existing Treeline
	SPEA
	RAR Setback

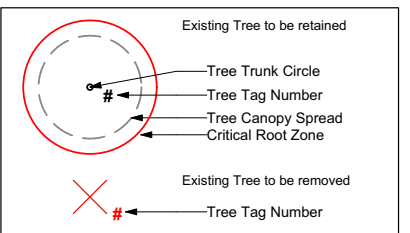
UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

EXISTING		PROPOSED
	Storm Drain	
	Sewer	
	Water	
	Electrical	
	Gas	
	Hydro Tel	

EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies).



MATERIALS LEGEND		DETAIL
	Municipal Sidewalk Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.	Refer to Civil
	Asphalt Paving	Refer to Civil
	Broad Street Paving Specialty Red Brick Paving, mortar set, to match existing	Refer to Civil
1.0 HARDSCAPE SURFACES		DETAIL/ SPEC NO.
1.1	Concrete Unit Paving - Vehicular Belgard Standard Series, 80 mm thickness, herringbone pattern, shadow grey colour	1-L3.01 32 14 13
1.2	Unit Paver - On Pedestal Belgard Texada Slab, Natural Colour	2-L3.01 32 14 13
1.3	Concrete Paving Sawcut control joints, light broom finish	Refer to Arch, Structural
1.4	Stamped Concrete Pattern to be reviewed with consultant prior to installation.	Refer to Arch, Structural
1.5	Concrete Band 300mm wide	3-L3.01 32 14 13
3.0 SOFTSCAPE		DETAIL/ SPEC NO.
3.1	Green Roof Area Next Level TerraExt, 100 mm depth engineered soil, pre-grown roof modules on tray system. Installed by Next Level qualified installer.	1-DET1 L3.01 See Mfr. Spec
5.0 SITE FURNISHINGS		DETAIL/ SPEC NO.
5.1	Bike Rack Downtown Bike rack	4-L3.01 32 33 00
5.2	Single Globe Light To match existing, refer to Civil	Refer to Civil
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing	32 33 00
5.4	Tree Grate - Johnson Street 48" W square tree grate	32 33 00
5.5	In Ground Lighting Refer to Electrical for fixture	Refer to Elec.



MDI LANDSCAPE ARCHITECTS
3388A Temyson Ave
Victoria, BC V8Z 3P6
P: 250-412-2891
E: admin@mdi-design.ca

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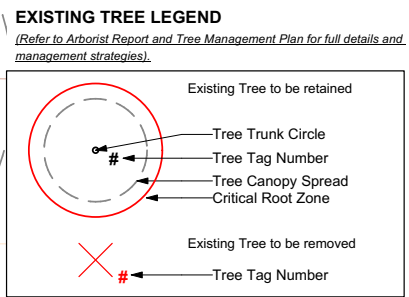
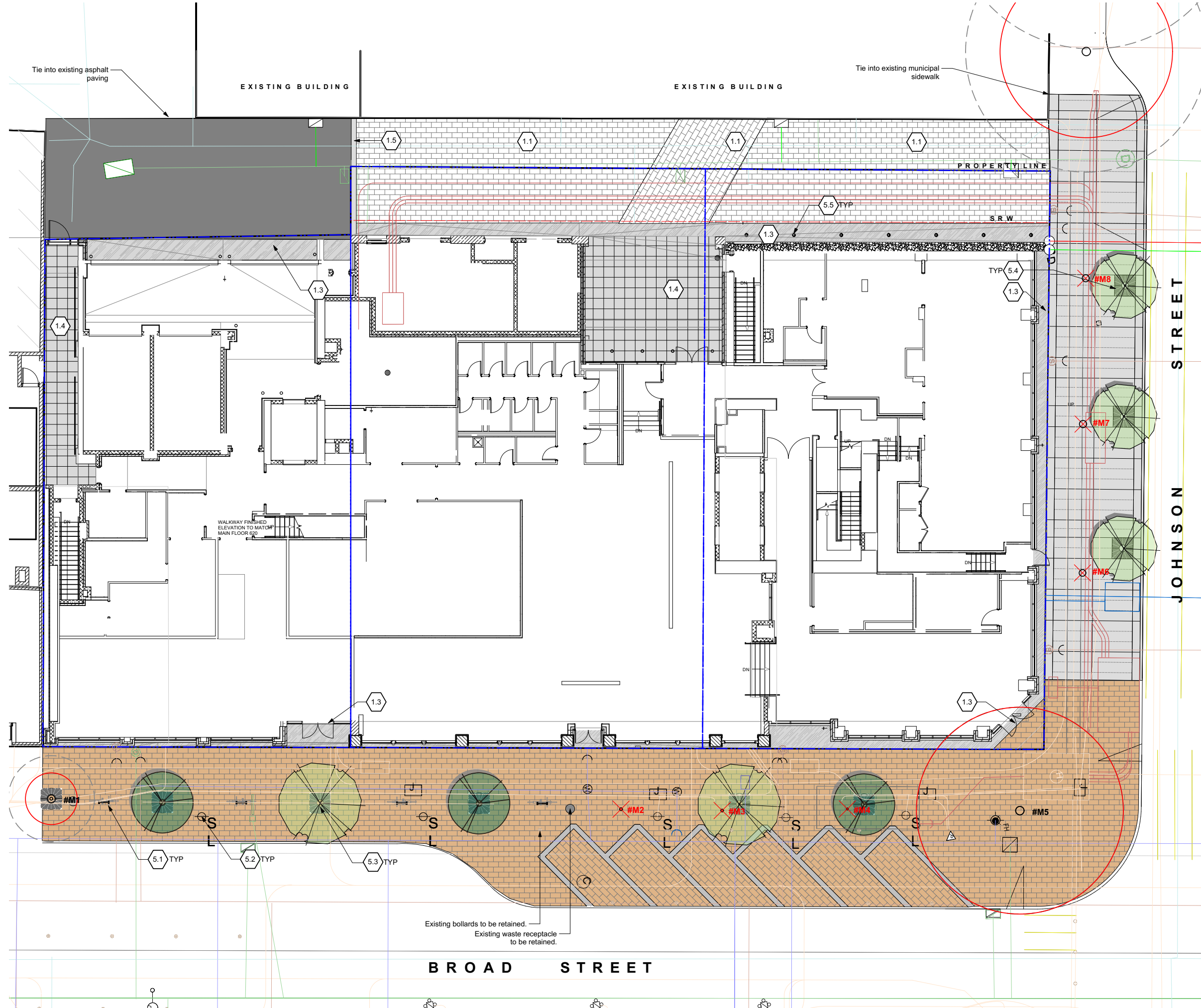
client
CHARD DEVELOPMENT

project
BROAD STREET
1312-1314 BROAD ST
VICTORIA, BC

sheet title
General Information

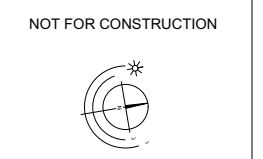
project no.	123.13
scale	@ 24"x36"
drawn by	ML/SC
checked by	SM
sheet no.	

L0.01



MATERIALS LEGEND

	Municipal Sidewalk Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.
	Asphalt Paving
	Broad Street Paving Specialty Red Brick Paving, mortar set, to match existing
1.0 HARDSCAPE SURFACES	
1.1	Concrete Unit Paving - Vehicular Belgard Standard Series, 80 mm thickness, herringbone pattern, shadow grey colour
1.2	Unit Paver - On Pedestal Belgard Texada Slab, Natural Colour
1.3	Concrete Paving Sawcut control joints, light broom finish
1.4	Stamped Concrete Pattern to be reviewed with consultant prior to installation.
1.5	Concrete Band 300mm wide
3.0 SOFTSCAPE	
3.1	Green Roof Area Next Level TerraExt, 100 mm depth engineered soil, pre-grown roof modules on tray system. Installed by Next Level qualified installer.
5.0 SITE FURNISHINGS	
5.1	Bike Rack Downtown Bike rack
5.2	Single Globe Light To match existing, refer to Civil
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing
5.4	Tree Grate - Johnson Street 48" W square tree grate
5.5	In Ground Lighting Refer to Electrical for fixture



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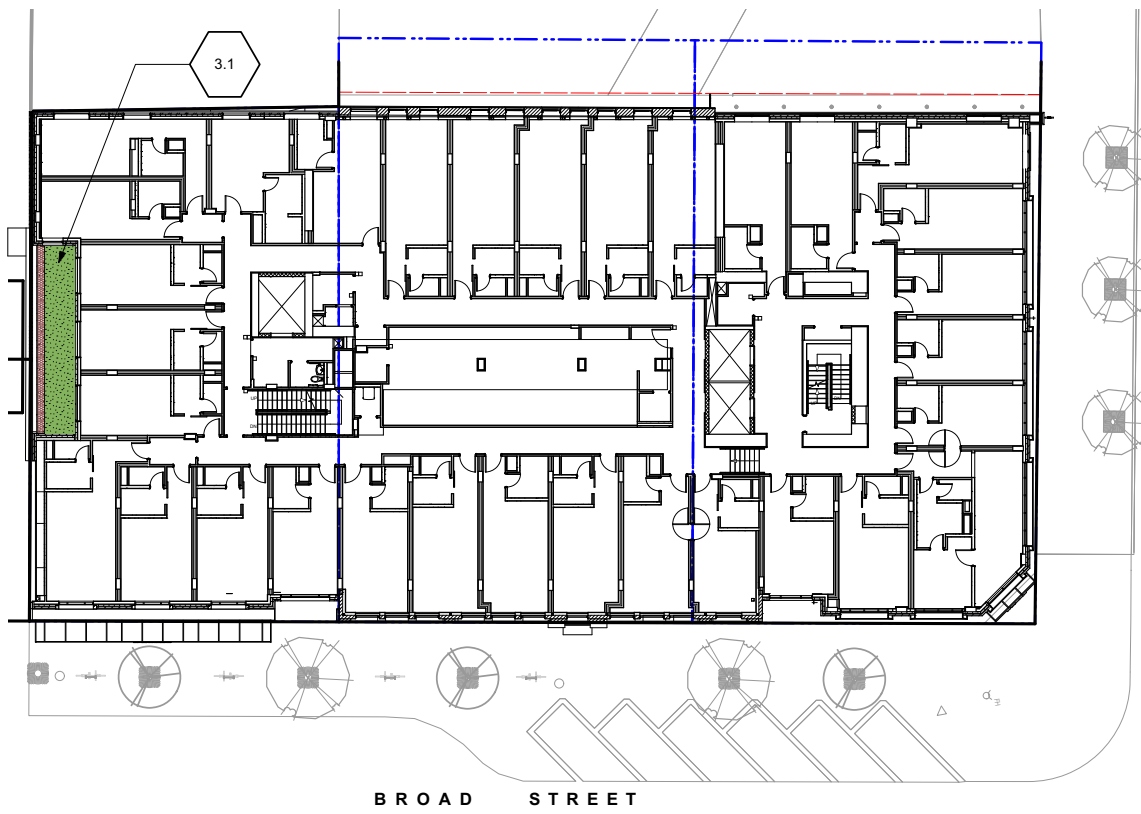
client
CHARD DEVELOPMENT

project
BROAD STREET
 1312-1314 BROAD ST
 VICTORIA, BC

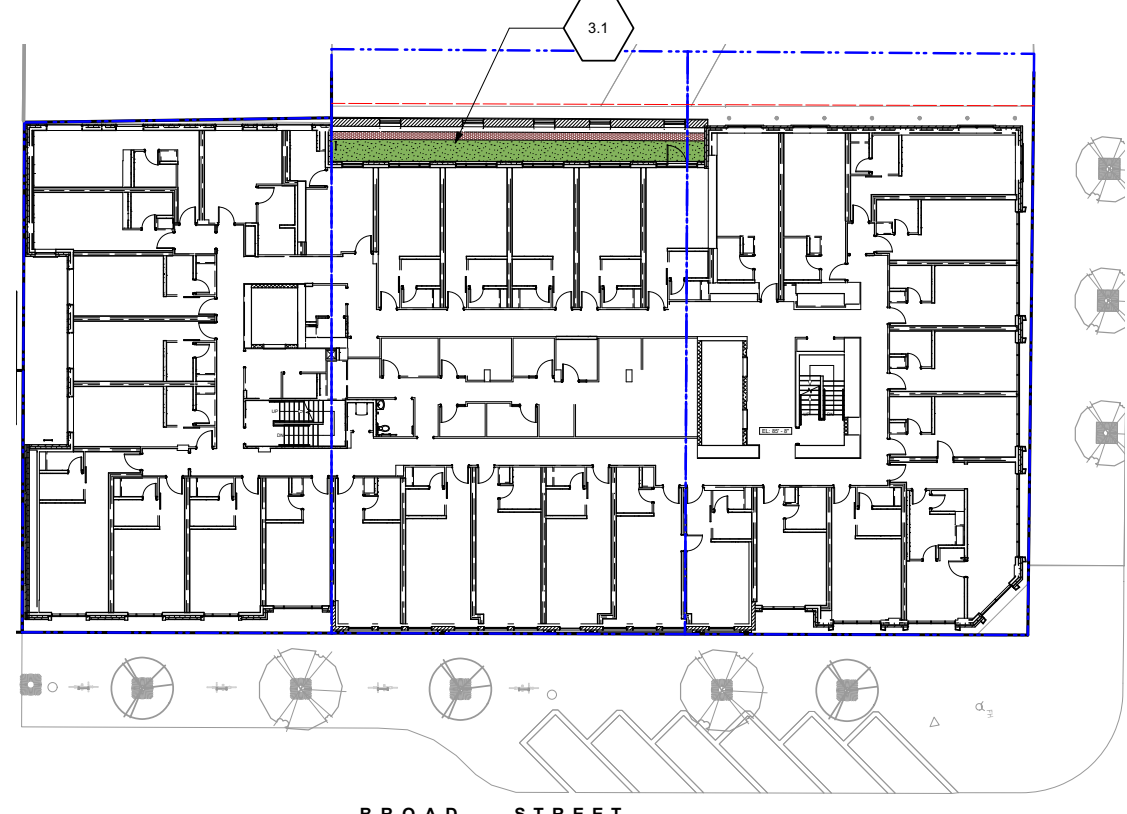
sheet title
Landscape
Materials Plan - At Grade

project no. 123.13
 scale 1:100 @ 24"x36"
 drawn by ML/SC
 checked by SM
 sheet no.

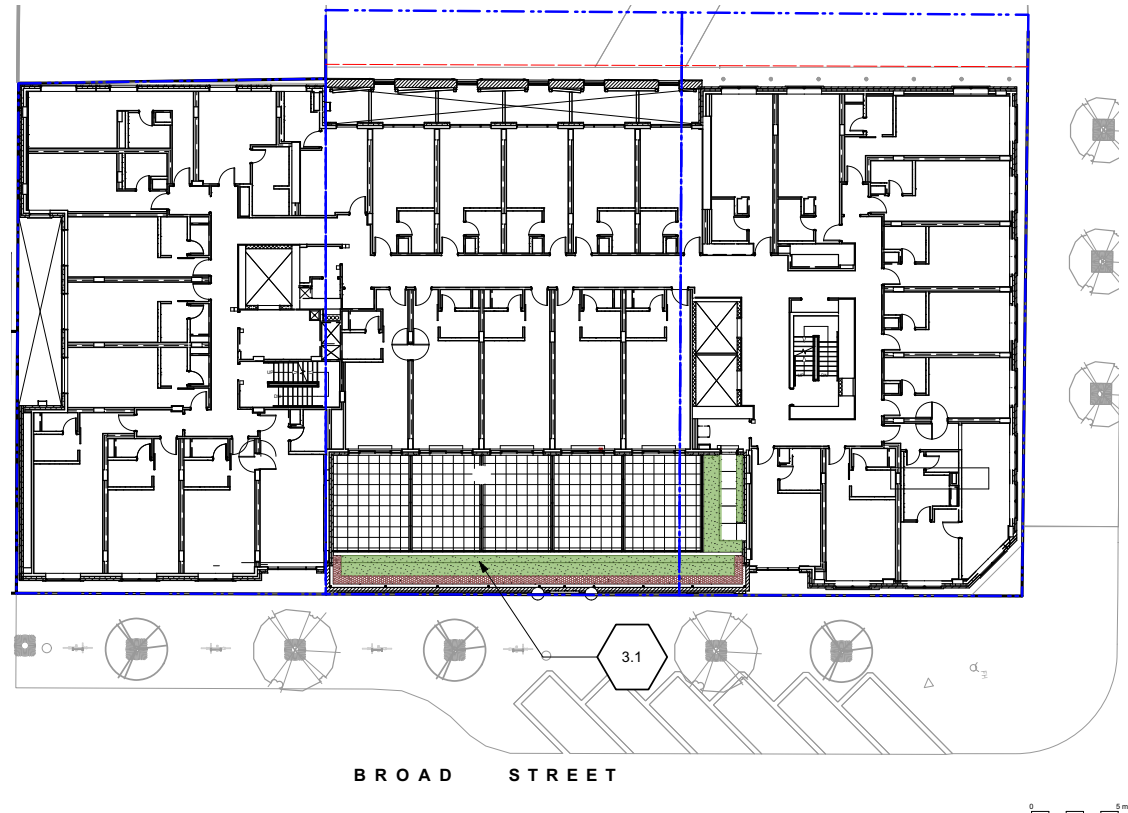
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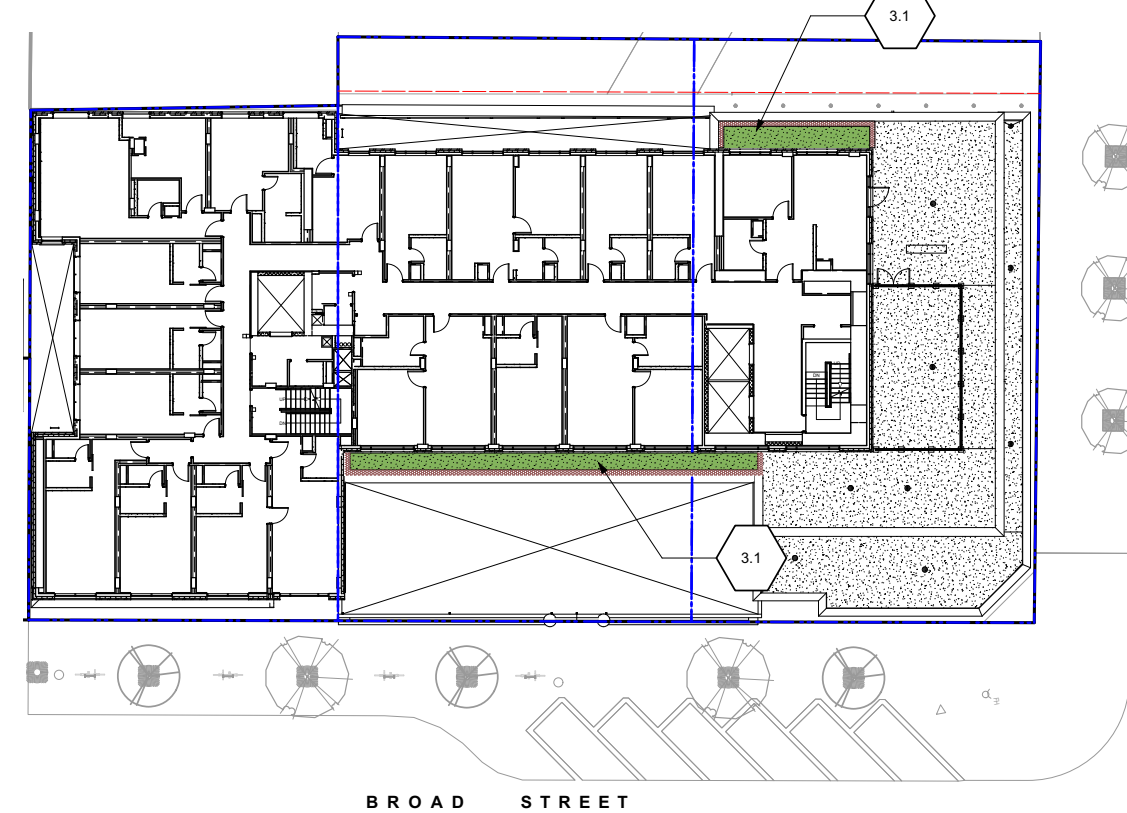
1 Level 3 Landscape Plan
Scale: 1:200



2 Level 4 Landscape Plan
Scale: 1:200

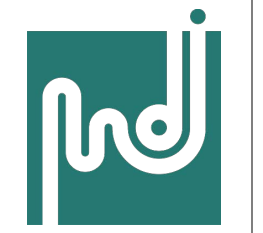


3 Level 5 Landscape Plan
Scale: 1:200



4 Level 7 Landscape Plan
Scale: 1:200

MATERIALS LEGEND	
	Municipal Sidewalk Cast in Place Concrete with Fine Broom Finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.
	Asphalt Paving
	Broad Street Paving Specialty Red Brick Paving, mortar set, to match existing
1.0 HARDSCAPE SURFACES	
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3.0 SOFTSCAPE	
3.1	Green Roof Area Next Level TerraExt, 100 mm depth engineered soil, pre-grown roof modules on tray system. Installed by Next Level qualified installer.
5.0 SITE FURNISHINGS	
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5.2	Single Globe Light To match existing, refer to Civil
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing
5.4	Tree Grate - Johnson Street 48" W square tree grate
5.5	In Ground Lighting Refer to Electrical for fixture



MDI LANDSCAPE ARCHITECTS
3388A Tenison Ave
Victoria, BC V8Z 3P6
P: 250-412-2891
E: admin@mdi.ca

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client
CHARD DEVELOPMENT

project
BROAD STREET
1312-1314 BROAD ST
VICTORIA, BC

sheet title
**Landscape
Materials Plan -
Terrace Levels**

project no. 123.13
scale 1:100 @ 24"x36"
drawn by ML/SC
checked by SM
sheet no.

L1.02



MDI LANDSCAPE ARCHITECTS
 3388A Tenison Ave P: 250-412-2891
 Victoria, BC V8Z 3P6 E: admin@mdidesign.ca

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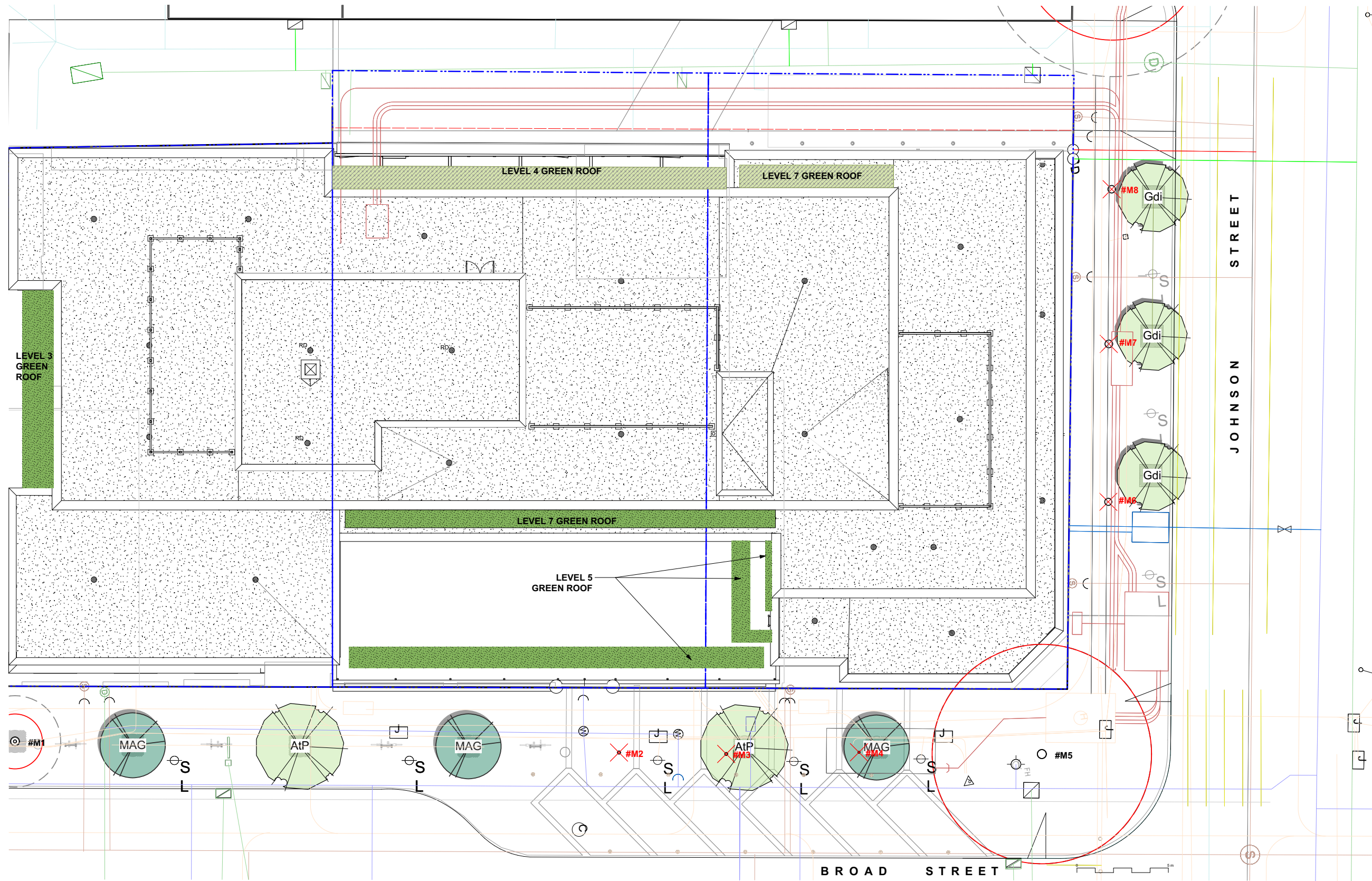
client
CHARD DEVELOPMENT

project
 BROAD STREET
 1312-1314 BROAD ST
 VICTORIA, BC

sheet title
Planting Plan

project no. 123.13
 scale 1:100 @ 24"x36"
 drawn by ML/SC
 checked by SM
 sheet no.

L2.01



PLANT LIST

LEVEL 1

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
AIP	2	Acer truncatum 'Pacific Sunset'	Shantung Maple	5.0 cm cal, b+b
Gdi	3	Gymnocladus dioica 'espresso'	Espresso Coffeetree	5.0 cm cal, b+b
MAG	3	Magnolia kobus	Kobus Magnolia	5.0cm cal, b&b

LEVEL 3 GREEN ROOF - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS
 AREA: 18.6 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

GREEN ROOF LEVEL 4 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SHADY AREAS
 AREA: 26.4 sq m

16.5%	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
16.5%	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
16.5%	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
16.5%	Gaultheria shallon	Salal	Sp3, 30cm o.c.
16.5%	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
16.5%	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

GREEN ROOF LEVEL 5 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS
 AREA: 34.8 sq m

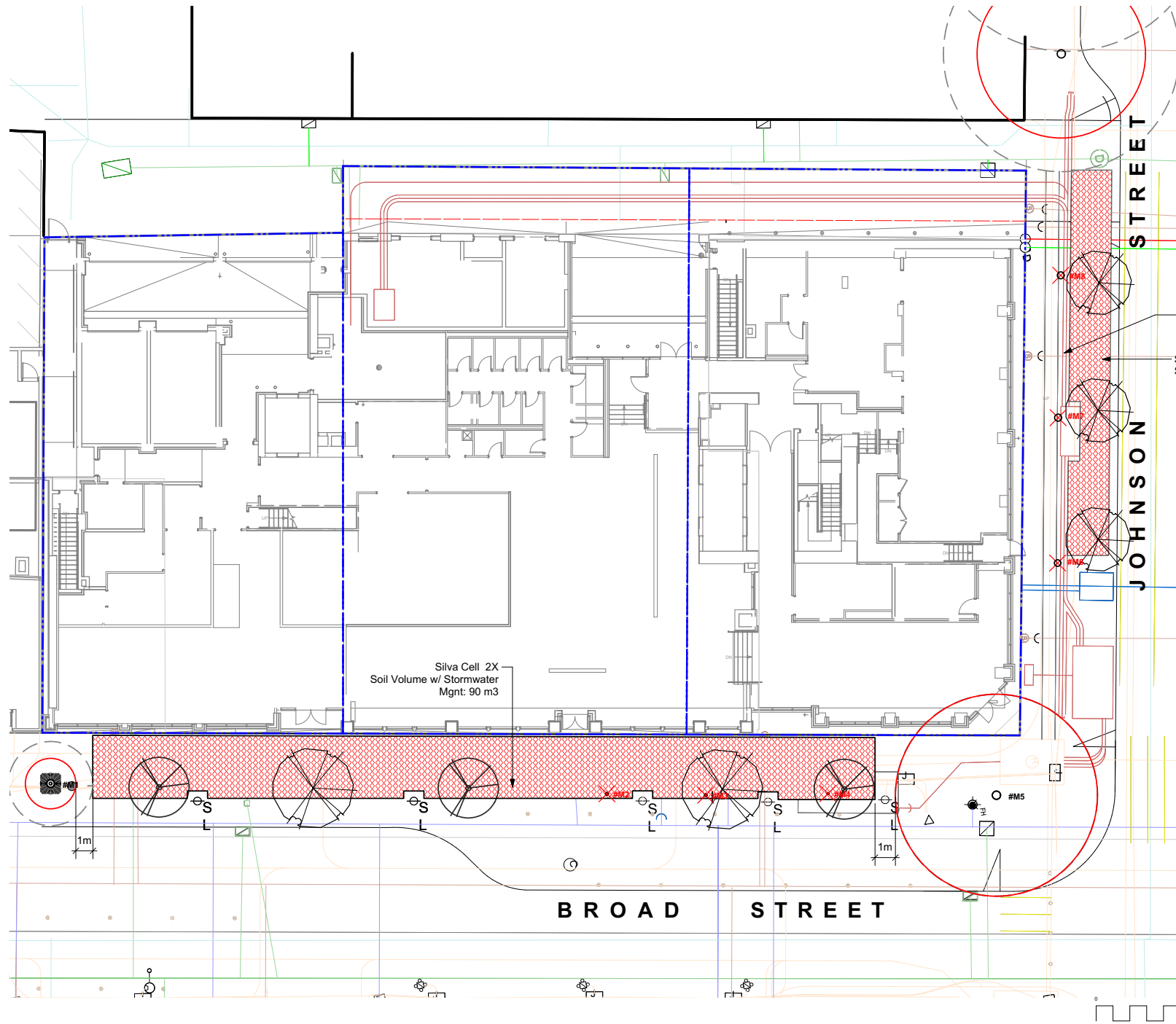
20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

GREEN ROOF LEVEL 7 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SHADY AREAS
 AREA: 10.4 sq m

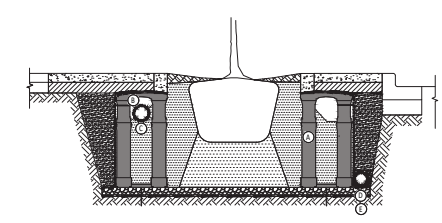
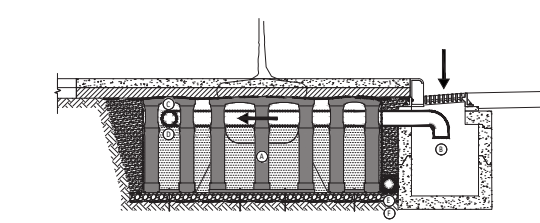
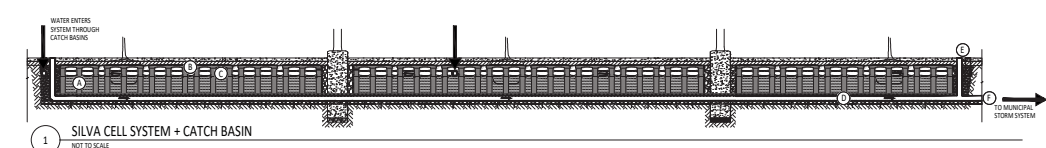
16.5%	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
16.5%	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
16.5%	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
16.5%	Gaultheria shallon	Salal	Sp3, 30cm o.c.
16.5%	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
16.5%	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

GREEN ROOF LEVEL 7 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS
 AREA: 23.0 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium



TREE CELLS WITH INTEGRATED STORMWATER MGNT SAMPLE DETAILS



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client
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project
 BROAD STREET
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 VICTORIA, BC

sheet title
**Soil Cell
 Information -
 Boulevard Trees**

project no.	123.13
scale	1:200 @ 24"x36"
drawn by	ML/SC
checked by	SM
sheet no.	

L2.02

Musson Cattell Mackey Partnership
Architects Designers Planners
A Partnership of Corporations

Suite 1900, 1066 West Hastings Street
Vancouver, V6E 3X1

T 604.687.2990

F 604.687.1771

www.mcmparchitects.com