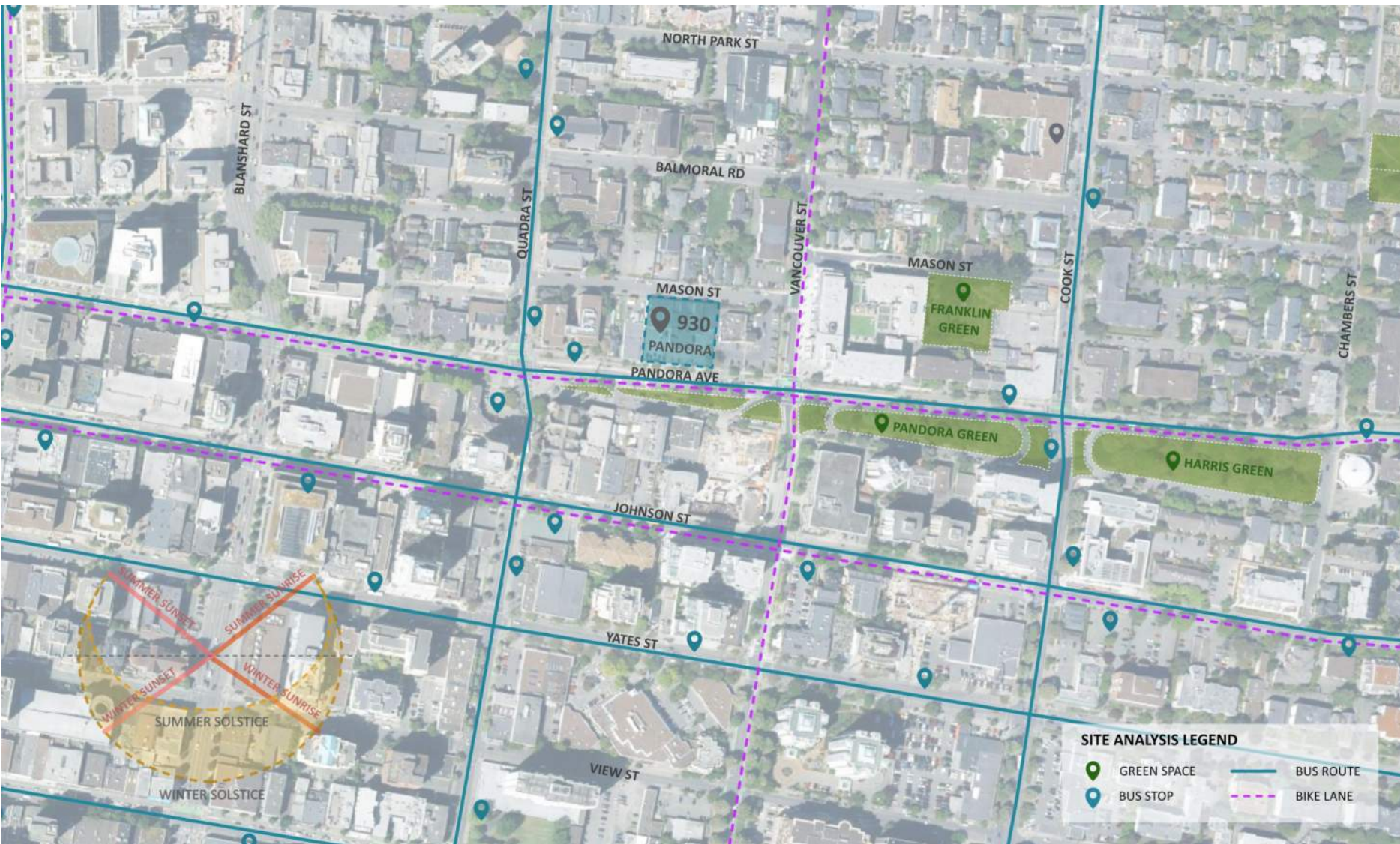




1 Mason Street Aerial View

2 Site Analysis



DRAWING LIST

- ARCHITECTURAL**
- A001 PROJECT DATA
 - A002 SITE SURVEY
 - A003 STREET VIEWS
 - A004 SKYLINE ANALYSIS
 - A005 VIEW ANALYSIS
 - A006 SHADOW STUDIES
 - A007 BYLAW CALCULATIONS
 - A101 SITE PLAN
 - A201 P2 PLAN
 - A202 P1 PLAN
 - A203 L1 PLAN
 - A205 L2 PLAN
 - A206 L3 PLAN
 - A207 L4 PLAN
 - A208 L5 PLAN
 - A209 L6-L18 TYPICAL PLAN
 - A210 L19-L20 TYPICAL PLAN
 - A211 ROOF PLAN
 - A220 L1 LIGHTING PLAN
 - A301 BUILDING ELEVATIONS
 - A302 BUILDING ELEVATIONS
 - A310 CONTEXT ELEVATIONS
 - A320 MATERIALS BOARD
 - A401 BUILDING SECTIONS

LANDSCAPE

- L1.1 LANDSCAPE SITE PLAN - NORTH
- L1.2 LANDSCAPE SITE PLAN - SOUTH
- L1.3 LANDSCAPE SECTIONS
- L1.4 LANDSCAPE PLANTING PLAN - NORTH
- L1.5 LANDSCAPE PLANTING PLAN - SOUTH
- L1.6 LANDSCAPE AMENITY DECK PLANS
- L1.7 LANDSCAPE DETAILS

CIVIL

- 22-04 1-CSP CONCEPTUAL SERVICING AND FRONTAGE WORKS

LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	HW	Hardware	STN	Stained
AL	Aluminum	INSUL	Insulated	STN	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
CC	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
CL	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OH	Overhead	TGL	Tempered Glass
OW	Operable Window	PF	Prefinished	TLGL	Translucent Glass
CW	Complete With	PL	Plastic Laminate	TCC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
CPT	Carpet Tile	PTDW	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FFE	Finished Floor Elevation	RA	Rubber Base	UNO	Unless Noted Otherwise
FG	Finished Grade	RES	Resilient Flooring	UIS	Unless Noted Otherwise
GB	Grab Bar	RD	Roof Drain	VCT	Vinyl Composition Tile
GEL	Glass Block	RD-P	Roof Drain - Planter	VI	Vision Glass
GWB	Georgian Wire Glass	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
H/C	Hollow Core	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
HCW	Hollow Core Wood	SCW	Solid Core Wood	VWC	Vinyl Wall Covering
H/C	Handicap	SD	Soap Dispenser	WC	Water Closet
HM	Hollow Metal	SL	Sealer	WD	Wood
		SP	Spandrel Glass	WPM	Waterproof Membrane
		SPC	Solid Particleboard Core	WRC	Water Repellent Coating

PROJECT INFORMATION TABLE	
Zone (existing)	CA-1
Site area (m ²)	2,674.55m ²
Total floor area (m ²)	14,706.6m ²
Commercial floor area (m ²)	1,467.8m ² (Community Center and Daycare)
Floor space ratio	5.499 : 1 F58
Site coverage %	68.12%
Open site space %	31.88%
Height of building (m)	72.79m
Number of storeys	21 Storeys
Parking stalls (number) on site	99
Bicycle parking number (storage and rack)	
Resident stalls, long-term	237
Staff, long term	12
Visitor, short-term	28
L1 Setbacks	
Front yard	0m
Rear yard	5.20m
Side yard (West)	0.30m south / 9.80m north
Side yard (East)	0.30m south / 6.47m north
Combined side yards	0.60m south / 16.27m north
Tower Setbacks	
Front yard	3.92m
Rear yard	15.33m
Side yard (East)	18.76m
Side yard (West)	10.42m
Combined side yards	29.18m
Residential Use Details	
Total number of units	205
Supportive housing studio units	47 (10% accessible)
Affordable housing studio units	34
Affordable housing 1 bedroom units	67 (5% of AH total are accessible 1-bed units)
Affordable housing 2 bedroom units	42
Affordable housing 3 bedroom units	15
Ground-oriented units	0
Minimum unit floor area (m ²)	25m ²
Total residential floor area (m ²)	13,197m ²

Design Criteria for a High-Rise Residential Building	Recommended	Proposed
Site area for an interior lot – minimum	1 600sm	2 674.55sm
Tower setback from the street – minimum	3m	3.92m
Tower setback from the side and rear property lines - minimum	10m	10.42m min (west side)
Tower floor plate size – maximum	650m ²	618m ²
Floor plate width - consider a maximum of	24m	25.44m
Building Orientation	North-South	North-South

930 PANDORA - VEHICLE PARKING									
COMMUNITY CENTER					CA-1 Multiplier		ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
SCHEDULE C	Ratio	Area (sm)	Calculation	Rounded	0.5	Rounded			
DAYCARE	1/100sm	286	2.86	3	1.43	1			
OFFICE	1/70sm	0	0.0	0	0.00	0			
CC	1/30sm	1220	40.67	41	20.33	25			
TOTAL		1506	43.53	44.0	21.76	21	26	12	-9.00
Access:	Table 5			1 + 1 Van	1 Van	2 + 1 Van	2 + 1 Van		
AFFORDABLE HOUSING									
SCHEDULE C	Ratio	# of units	Calculation	Rounded	CA-1 Multiplier	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
Unit Area	Ratio				0.55				
<45sm	0.2	34	6.8	7	18.7	19			
<70sm	0.5	109	54.5	54	59.95	60			
>70sm	0.75	15	11.25	11	8.25	8			
Visitor	0.1	158	15.8	16	0	0			
TOTAL							79	83	-6.00
Access:	Table 5			3 + 2 Van	3 + 2 Van	3 + 2 Van	3 + 2 Van		
SUPPORTIVE HOUSING									
SCHEDULE C	Ratio	Area (sm)	Calculation	Rounded	CA-1 Multiplier	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
L2-L3	1/80sm	2188	29.85	30	14.93	15	6	6	-9.00
ALL USES TOTAL									
SCHEDULE C TOTAL					CA-1 TOTAL		ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
							123	111	-24.00

930 PANDORA - BIKE PARKING									
COMMUNITY CENTER					CA-1 Multiplier		ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
SCHEDULE C - LONG TERM	Ratio	Area (sm)	Calculation	Rounded	0.5	Rounded			
DAYCARE	1/700sm	286	0.41	1					
OFFICE	1/150sm	0	0.00	0					
CC	N/A	1220	N/A	0					
TOTAL							6	5	5.00
SCHEDULE C - SHORT TERM	Ratio	# of units	Calculation	Rounded	CA-1 Multiplier	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
DAYCARE	1/200sm	286	1.43	1					
OFFICE	1/400sm	0	0.00	0					
CC	1/200sm	1220	6.10	6					
TOTAL							8	7	1.00
RESIDENTIAL (SUPPORTIVE AND AFFORDABLE HOUSING)									
SCHEDULE C - LONG TERM	Ratio	# of units	Calculation	Rounded	CA-1 Multiplier	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
Unit Area	Ratio				0.5				
<45sm	1	80	80	80	In-suite	47			
<45sm	1.25	125	156	156	In Parkade	196			
TOTAL							236	243	-7.00
SCHEDULE C - SHORT TERM	Ratio	# of units	Calculation	Rounded	CA-1 Multiplier	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
Visitor	0.1	205	20.5	20					
TOTAL							20	20	0.00

PROJECT DESCRIPTION

CIVIC ADDRESS:
926/928 and 930/932 PANDORA AVE
VICTORIA, BC

LEGAL DESCRIPTION
LOT 1 Suburban Lot 10 Victoria City Plan 16474
PID: 000-764-281
Charge on title: CA7382487 (Covenant)

LOT A Suburban Lot 10 Victoria City Plan 11092
PID: 000-764-281
Charge on title: CA7382487 (Covenant)

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
20-Storey non-combustible mixed use.

USES:
P2-P1: Group F-3 Parking Garage
Level 1: Group A-2 Community Center and Daycare
Level 2-20: Group C Residential

EXISTING ZONE: CA-1

SITE AREA: 2674.55m² (28 788 s.f.)

FLOOR AREA:
L1 COMMUNITY USE: 1 517m² (16 328s.f.)
SUPPORTIVE HOUSING: 2 387m² (25 693s.f.)
AFFORDABLE HOUSING: 10 744m² (115 647s.f.)

TOTAL PROPOSED: 14 648m² (157 670s.f.)

TOTAL SPACE RATIO: 5.498 : 1 FSR

GRADE OF BUILDING: 24.98m (GEODETIC)

HEIGHT OF BUILDING: 72.12m

NUMBER OF STOREYS: 21 STOREYS

RESIDENTIAL PARKING: 81 stalls (incl. 5 accessible)

COMMERCIAL PARKING: 12 stalls (incl. 3 accessible)

SHF STAFF: 6 stalls

BICYCLE PARKING: 249

CLASS 1: (includes 12 staff stalls)

SHORT TERM (RACK): 28

L1 SETBACKS:
FRONT (Pandora): 0m
REAR (Mason): 5.20m
SIDE (East): 0.30m south / 9.80m north
SIDE (West): 0.30m south / 6.47m north

TOWER SETBACKS:
FRONT (Pandora): 3.92m
REAR (Mason): 15.33m
SIDE (East): 18.76m
SIDE (West): 10.42m

TOWER FLOORPLATE: 618sm
WIDTH (East-West): 25.44m
DEPTH (North-South): 29.51m

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ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM ROOM NAME & ROOM NUMBER

DOOR DOOR NUMBER See Door Schedule

WINDOW WINDOW NUMBER See Window Schedule

WALL WALL TYPE See Assemblies Schedule

RATED WALL RATED WALL DESIGNATION

ELEVATION ELEVATION DATUM

CEILING CEILING HEIGHT

AREA AREA OF DROP CEILING

KEYNOTE KEYNOTE SYMBOL

MATERIAL MATERIAL TAG

INTERIOR INTERIOR ELEVATION REFERENCE

ROOM ROOM FINISHES

Original Submission
Received Date:
May 2, 2025

24-11-22 Issued for DP Amendment
23-06-20 Issued for DDP Rev. 2
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Development Permit
Drawn By JY/IS Checked By JY/RAW
Scale As indicated Project Number 2141

NOTE: All dimensions are shown in millimeters.

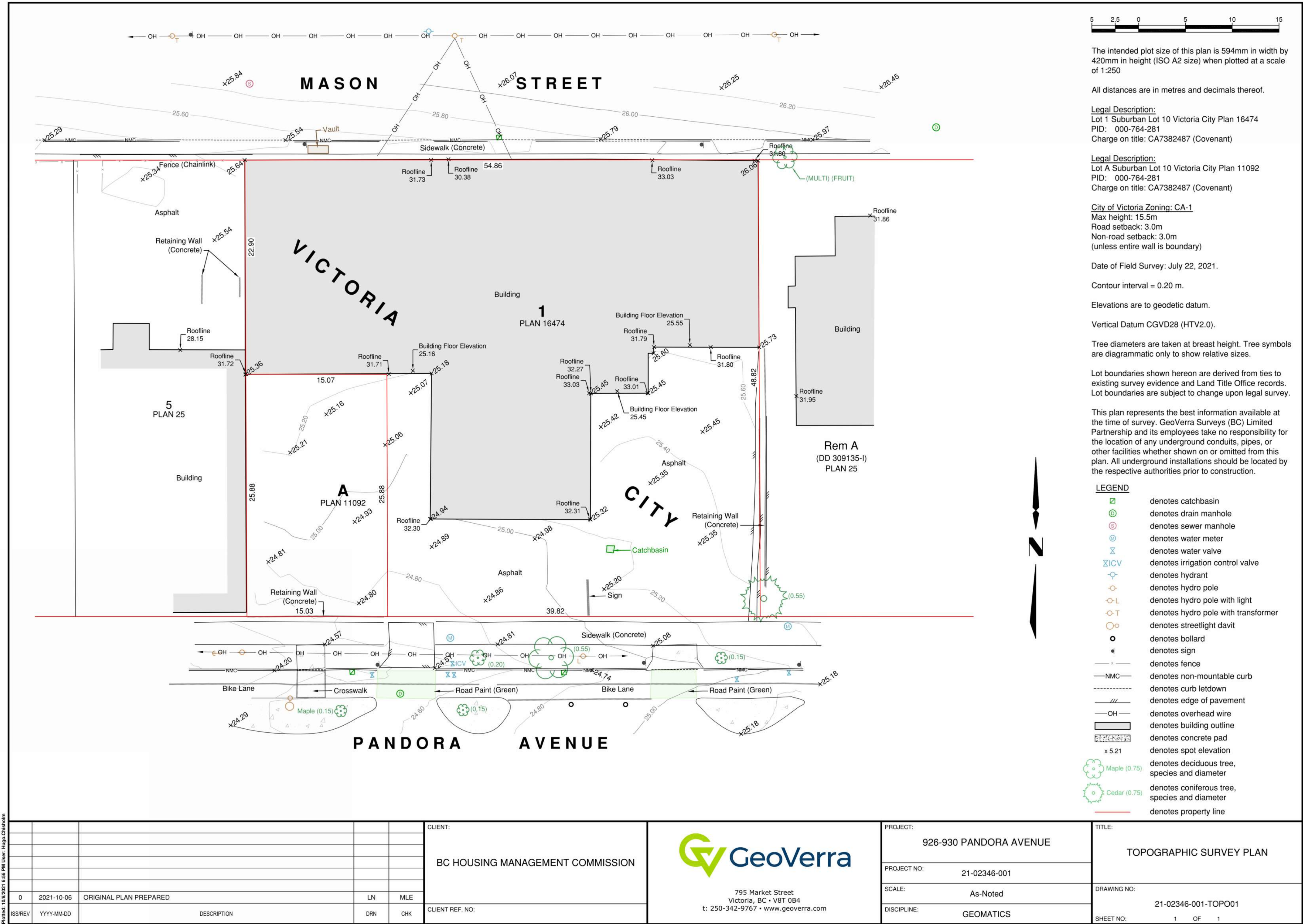
930 Pandora

Project Data

A001

dhkArchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810

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Printed: 10/3/2021 1:05 PM User: Raga Chhabra



1 Pandora Street Frontage
A003 SCALE: 1 : 1



2 Mason Street Frontage
A003 SCALE: 1 : 1

Plot Date	24-11-22	Drawing File	Issued for Development Permit
Drawn By	Author	Checked By	Checker
Scale	1 : 1	Project Number	2141
NOTE: All dimensions are shown in millimeters.			

930 Pandora

Street Views



A003

dHKarchitects
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3 View Looking North East
A004 SCALE: 1 : 1



5 View Looking North
A004 SCALE: 1 : 1



1 View Looking South West
A004 SCALE: 1 : 1



2 View Looking East
A004 SCALE: 1 : 1



6 View Looking West
A004 SCALE: 1 : 1



4 View Looking South
A004 SCALE: 1 : 1

24-11-22 Issued for DP Amendment
23-06-20 Issued for DDP Rev. 2
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Issued for
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Scale 1 : 1 Project Number JY/RAW
2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

Skyline Analysis



A004

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102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1 View From Pandora at Vancouver
A005 SCALE: 1 : 1



2 View From Pandora at Quadra
A005 SCALE: 1 : 1



3 Quadra at Mason
A005 SCALE: 1 : 1



4 View From Mason at Vancouver
A005 SCALE: 1 : 1

24-11-22 Issued for DP Amendment
23-06-20 Issued for DDP Rev. 2
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Issued for
Development Permit
Drawn By JY/IS Checked By JY/RAW
Scale 1 : 1 Project Number 2141

NOTE: All dimensions are shown in millimeters.

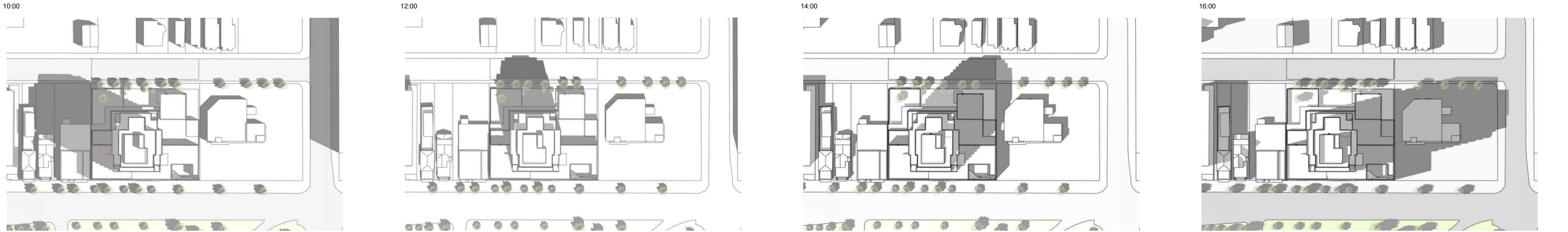
930 Pandora

View Analysis

dHkA A005

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102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
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SUMMER SOLSTICE



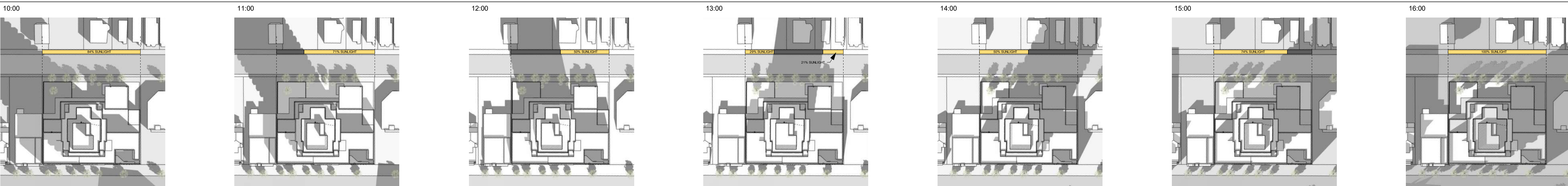
EQUINOX



WINTER SOLSTICE



SHADOW CALCULATIONS - EQUINOX



Plot Date	24-11-22	Drawing File	Issued for Development Permit
Drawn By	JY/IS	Checked By	JY/RAW
Scale	1 : 1	Project Number	2141
NOTE: All dimensions are shown in millimeters.			

930 Pandora

Shadow Studies

dHka

A006

dHKarchitects

Victoria

977 Fort Street

Nanaimo

V8V 3K3

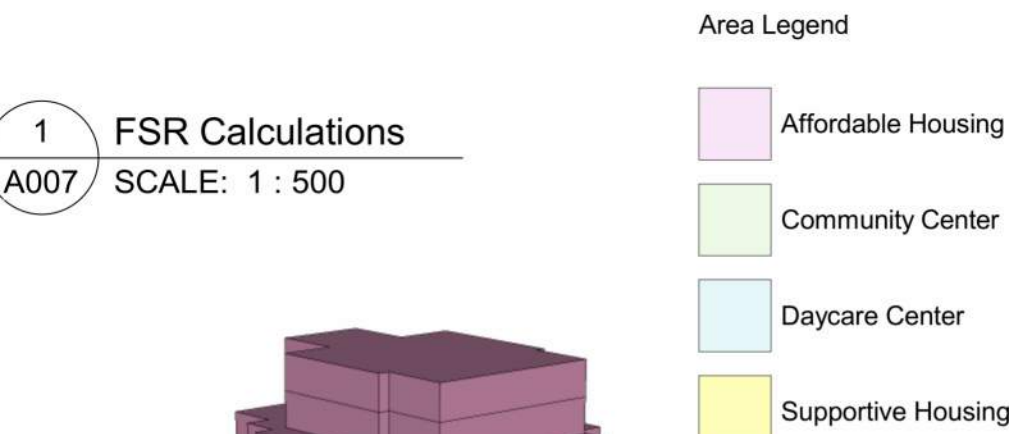
V9T 0H2

T 1-250-658-3367

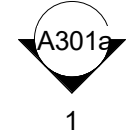
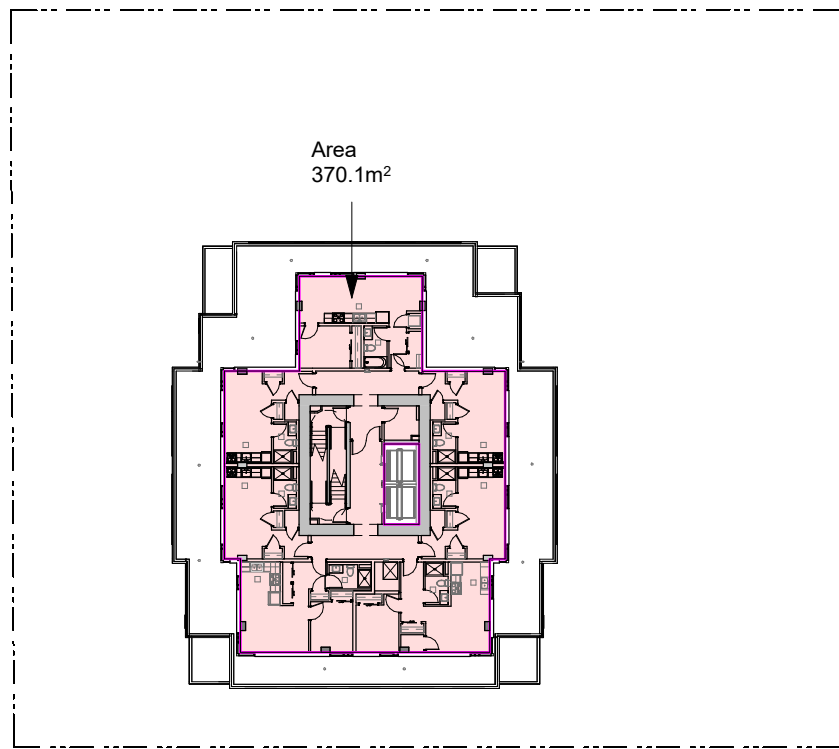
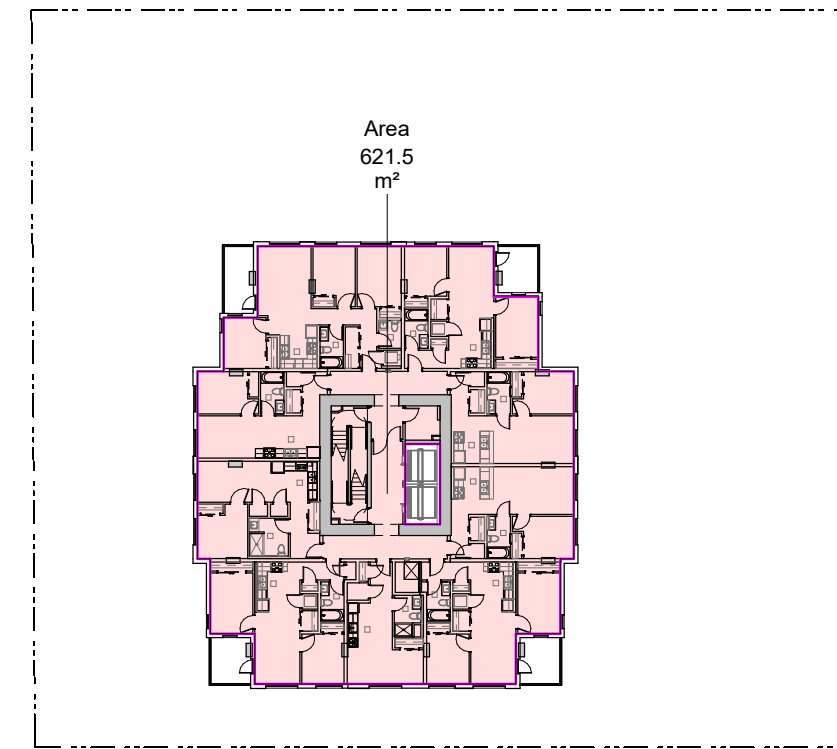
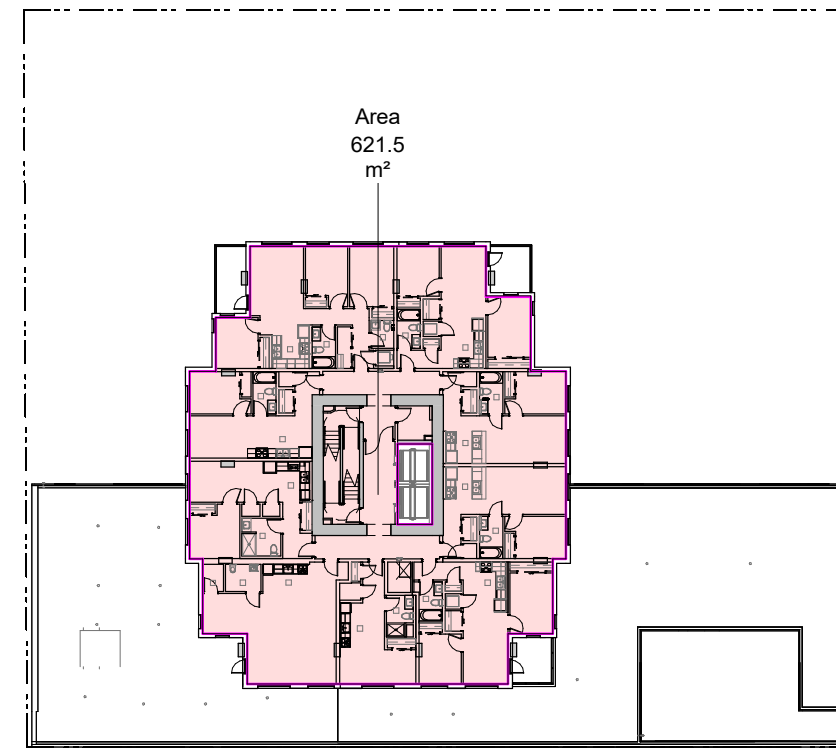
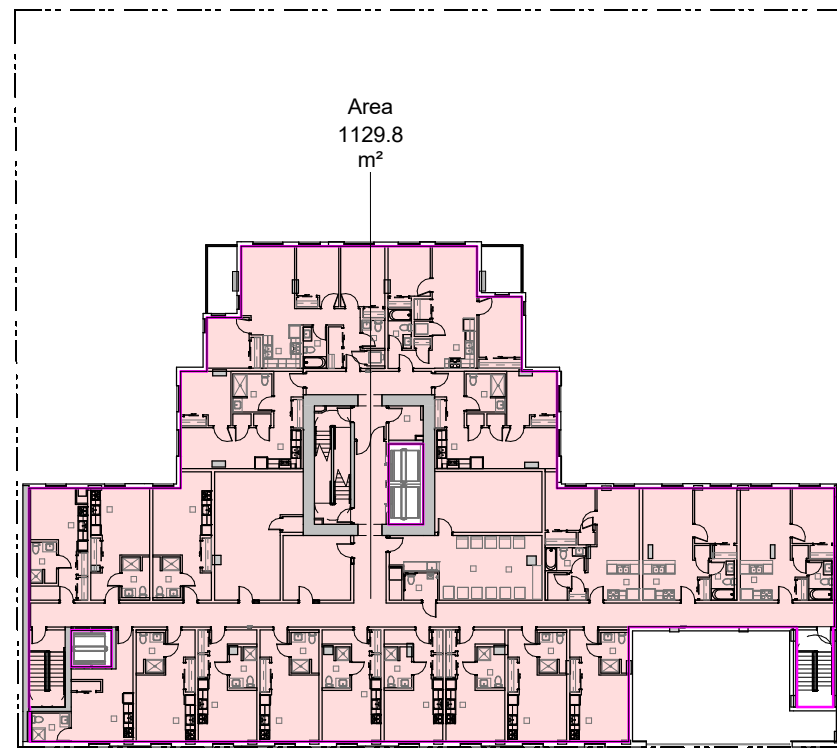
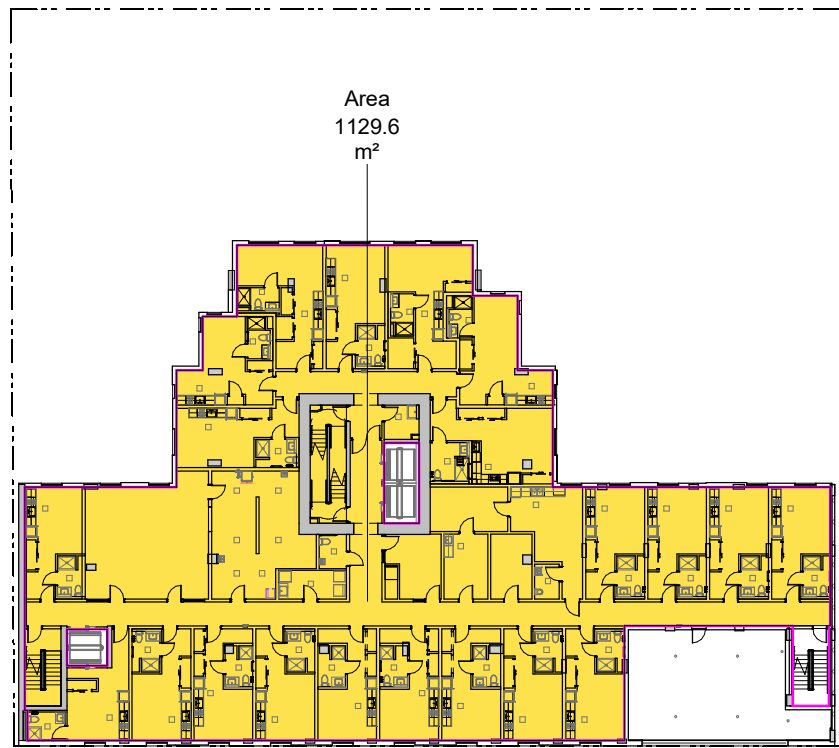
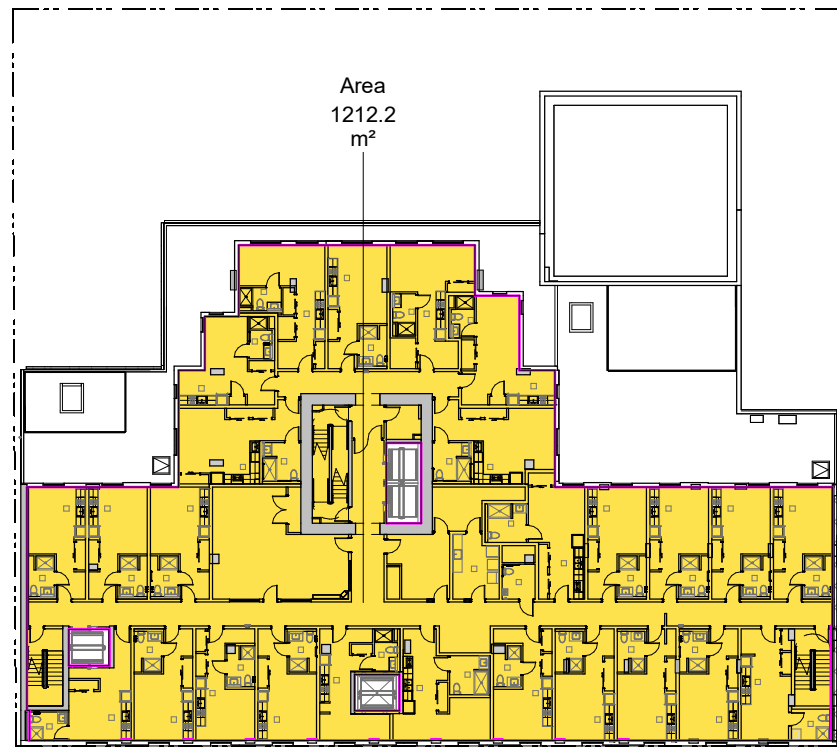
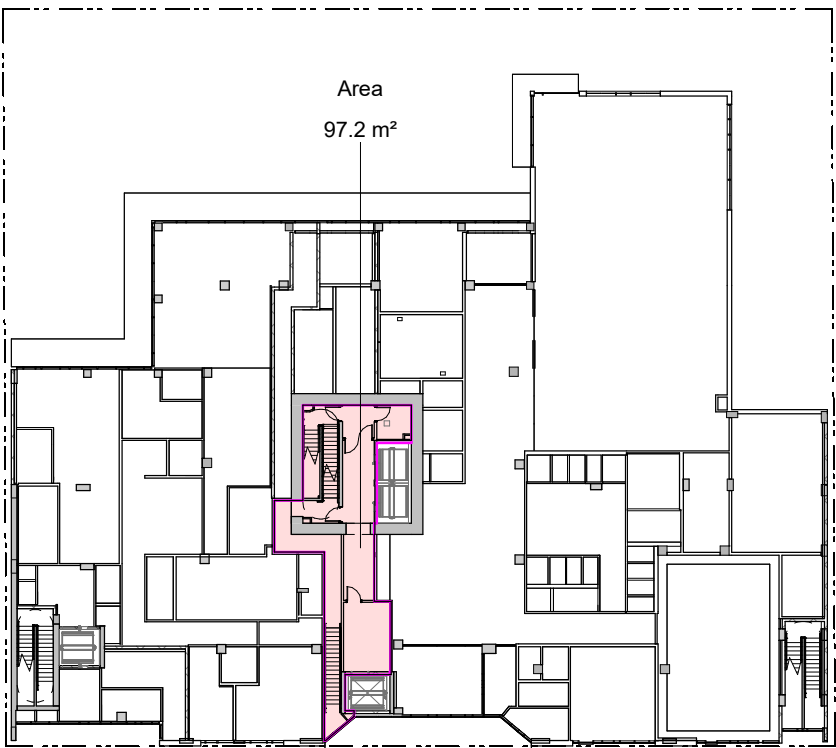
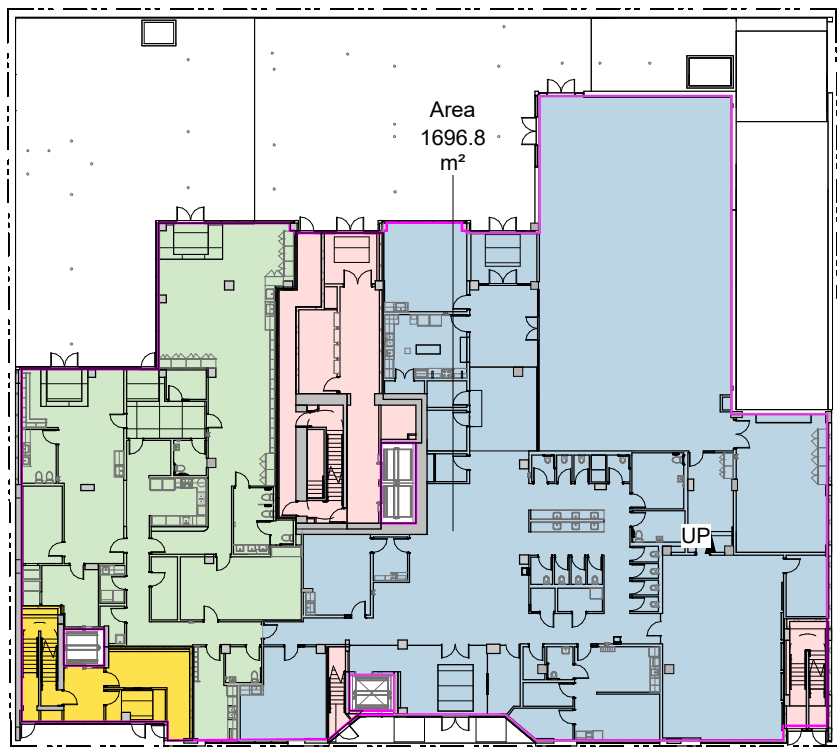
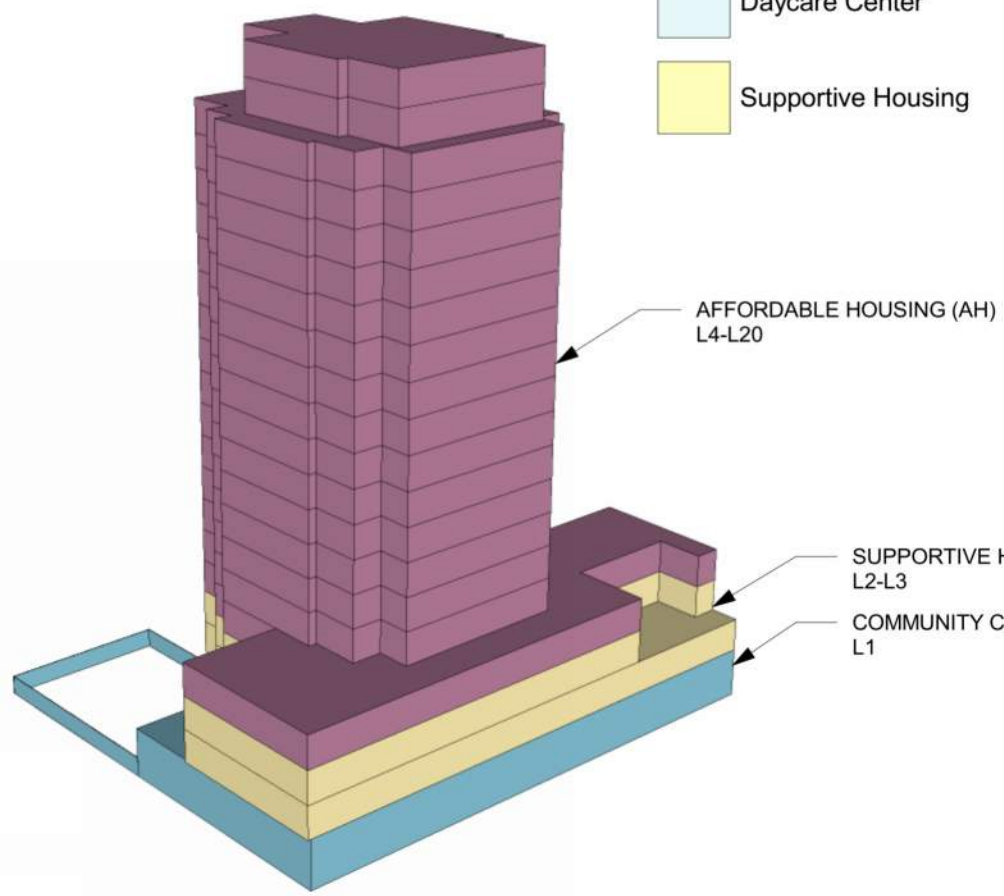
T 1-250-585-5810

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LEVEL	COMMUNITY CENTER	DAYCARE CENTER	AFFORDABLE HOUSING	SUPPORTIVE HOUSING
L1	1,053.9	413.9	166.4	62.4
Mezzanine Exit			97.2	
L2				1,212.2
L3				1,129.6
L4			1,129.8	
L5			621.5	
L6-18			621.5	
L19-20			370.1	
	1,053.90	413.9	10,834.60	2,404.18
TOTAL	14,706.58			
Site Area	2,674.55			
FSR	5.499			



1 FSR Calculations
A007 SCALE: 1 : 500



UNIT TYPES

TYPE	AREA	COUNT
UNIT 0A	28.26 m²	40
UNIT 0B	26.41 m²	3
UNIT 0C	24.94 m²	1
UNIT 0D	29.36 m²	1
UNIT 0E	39.18 m²	1
UNIT 0F	33.14 m²	1
UNIT 0G	39.63 m²	3
UNIT 0H	30.60 m²	2
UNIT 0I	36.89 m²	2
UNIT 0J	33.86 m²	2
UNIT 0K	35.39 m²	2
UNIT 0L	36.52 m²	1
UNIT 0M	29.68 m²	8
UNIT 0N	33.99 m²	14
UNIT 1A	45.28 m²	3
UNIT 1B	54.03 m²	8
UNIT 1C.1	47.05m²	8
UNIT 1C	49.05 m²	42
UNIT 1D	48.00 m²	6
UNIT 2A	60.43 m²	42
UNIT 3A	83.15 m²	15
TOTAL		205

GRADE POINT	EXISTING GRADE (m)	DESIGN GRADE (m)
A	25.10	24.95
B	25.10	24.95
C	25.16	24.95
D	25.16	24.95
E	25.16	25.20
F	25.16	25.20
G	25.16	25.20
H	25.16	25.20
I	25.16	25.20
J	25.16	25.20
K	25.16	25.20
L	25.16	25.20
M	25.16	26.05
N	25.16	26.05
O	25.50	25.20
P	25.50	22.76
Q	25.60	22.76
R	25.60	25.60
S	25.30	25.30
T	25.30	25.30
U	25.30	25.30
V	25.06	25.06
W	24.95	24.95
X	24.85	24.90
Y	24.80	24.82
Z	24.66	24.66
AA	24.66	24.50
BB	24.44	24.50

GRADE POINTS	DISTANCE BETWEEN GRADE POINTS (mm)	CALCULATION
A to B	9,306	233.58
B to C	9,668	242.96
C to D	9,450	237.76
D to E	718	18.06
E to F	5,203	130.91
F to G	718	18.06
G to H	6,205	156.12
H to I	718	18.06
I to J	4,204	105.77
J to K	9,140	229.96
K to L	3,709	93.32
M to N	9,587	241.21
N to O	21,077	530.72
P to Q	6,323	143.91
R to S	21,271	541.35
S to T	2,690	68.06
T to U	797	20.16
U to V	16,600	417.99
V to W	2,804	70.11
W to X	9,581	238.57
X to Y	2,784	69.11
Y to Z	10,930	270.30
Z to AA	1,432	35.31
AA to BB	9,525	233.84
BB to A	24,756	613.21
PERIMETER (m)	199	TOTAL 4978.42

AVERAGE GRADE 24.99



3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora
926-930 Pandora Ave
Victoria, BC
Bylaw Calculations

dHka A007

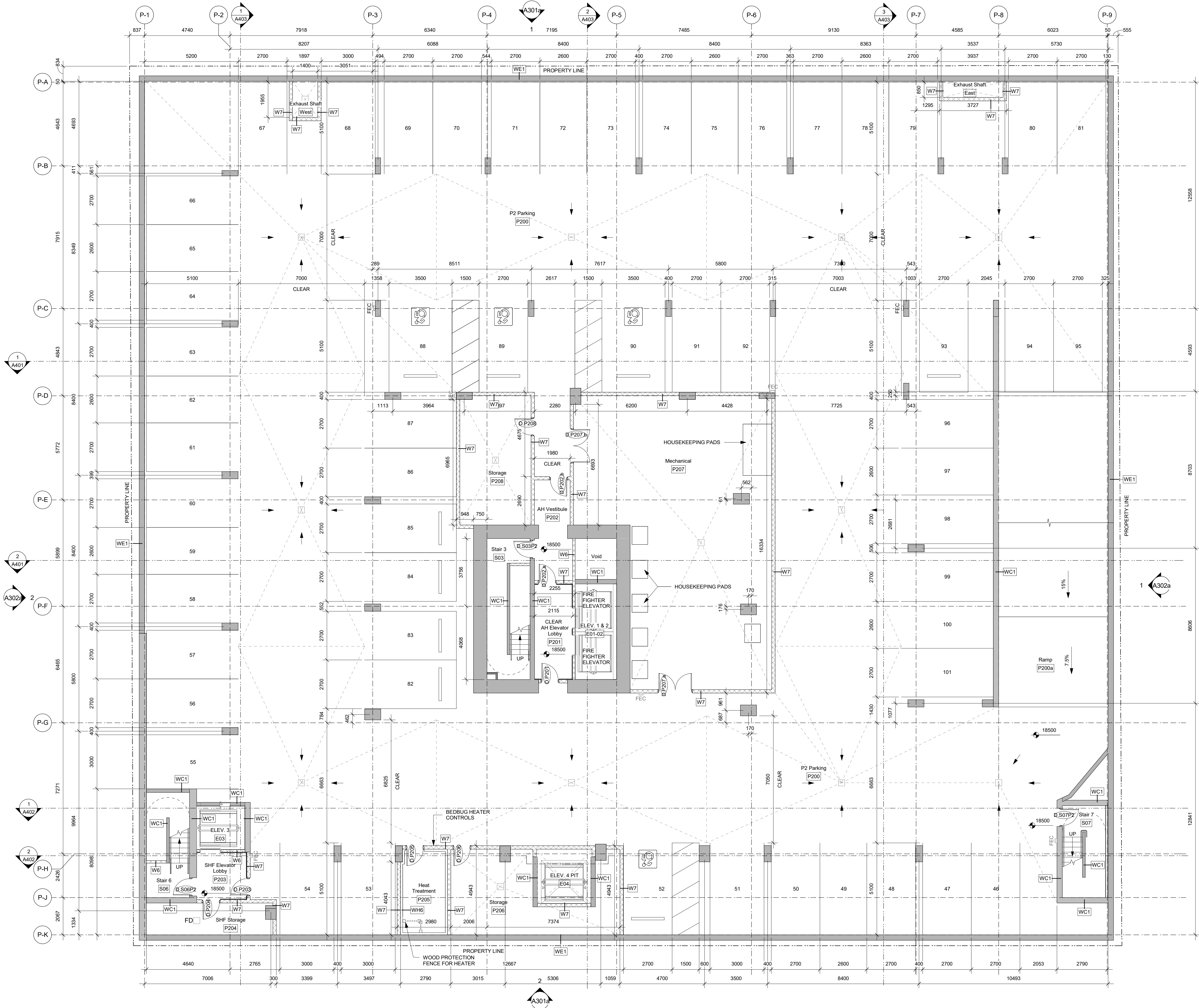
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V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810
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1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site, and design of outdoor public and amenity spaces.
3. Refer to A002 Survey for Property line dimensions and existing grades
4. Refer to A003 for proposed grades at building footprint.
5. Refer to A221 L1 Overall Plan for ground level grading, access, and site design.
6. Refer to Overall Plans for rooftop details.

Issued	24-10-22	Description	For Tender
Drawn By	JY/BL	Checked By	JY/RW
Scale	As indicated	Project Number	2141

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3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

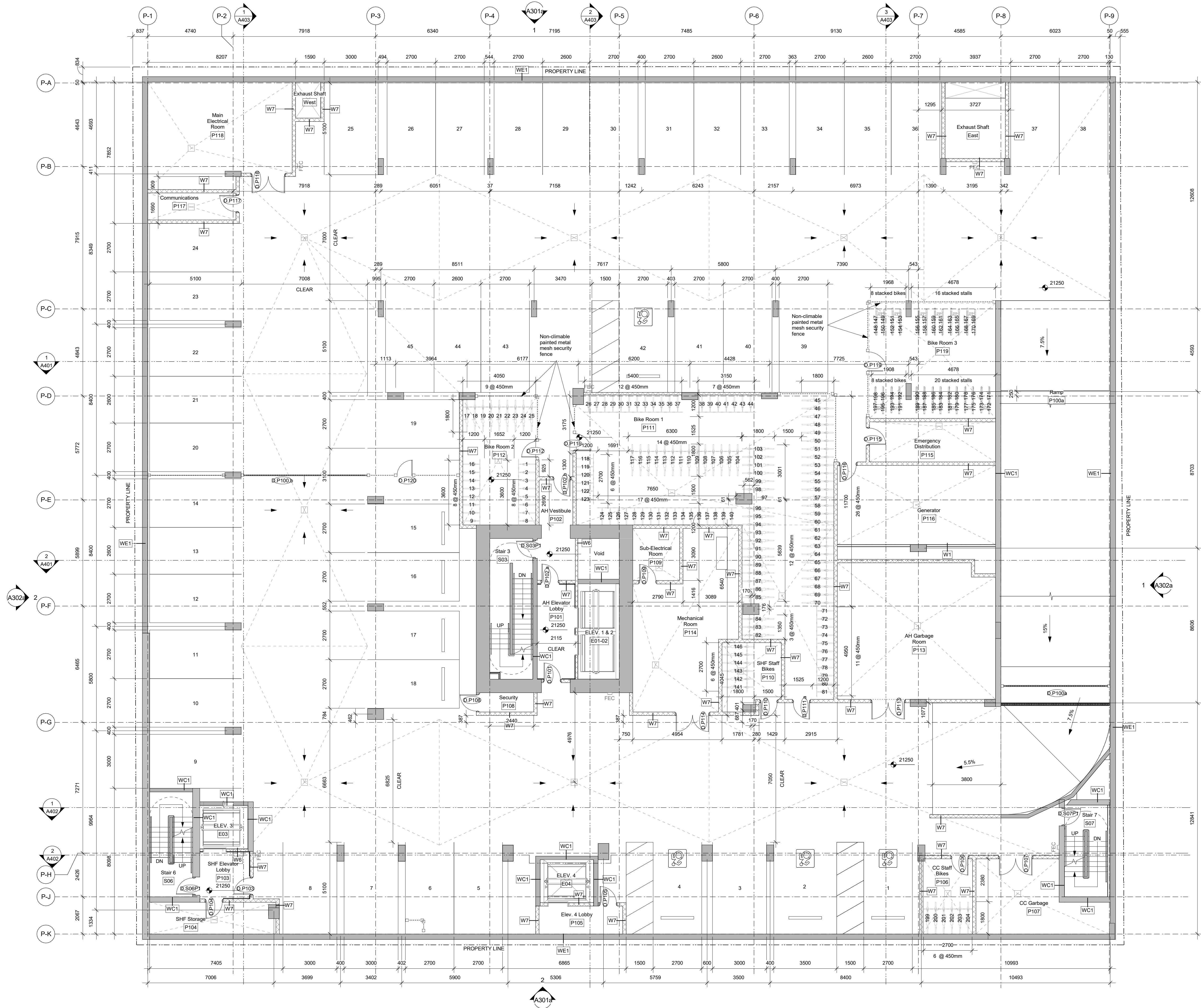
NOTE: All dimensions are shown in millimeters.

930 Pandora
926-930 Pandora Ave
Victoria, BC
P2 - Overall Plan



A201

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NOTE: All dimensions are shown in millimeters.

930 Pandora
926-930 Pandora Ave
Victoria, BC
P1 - Overall Plan



A202

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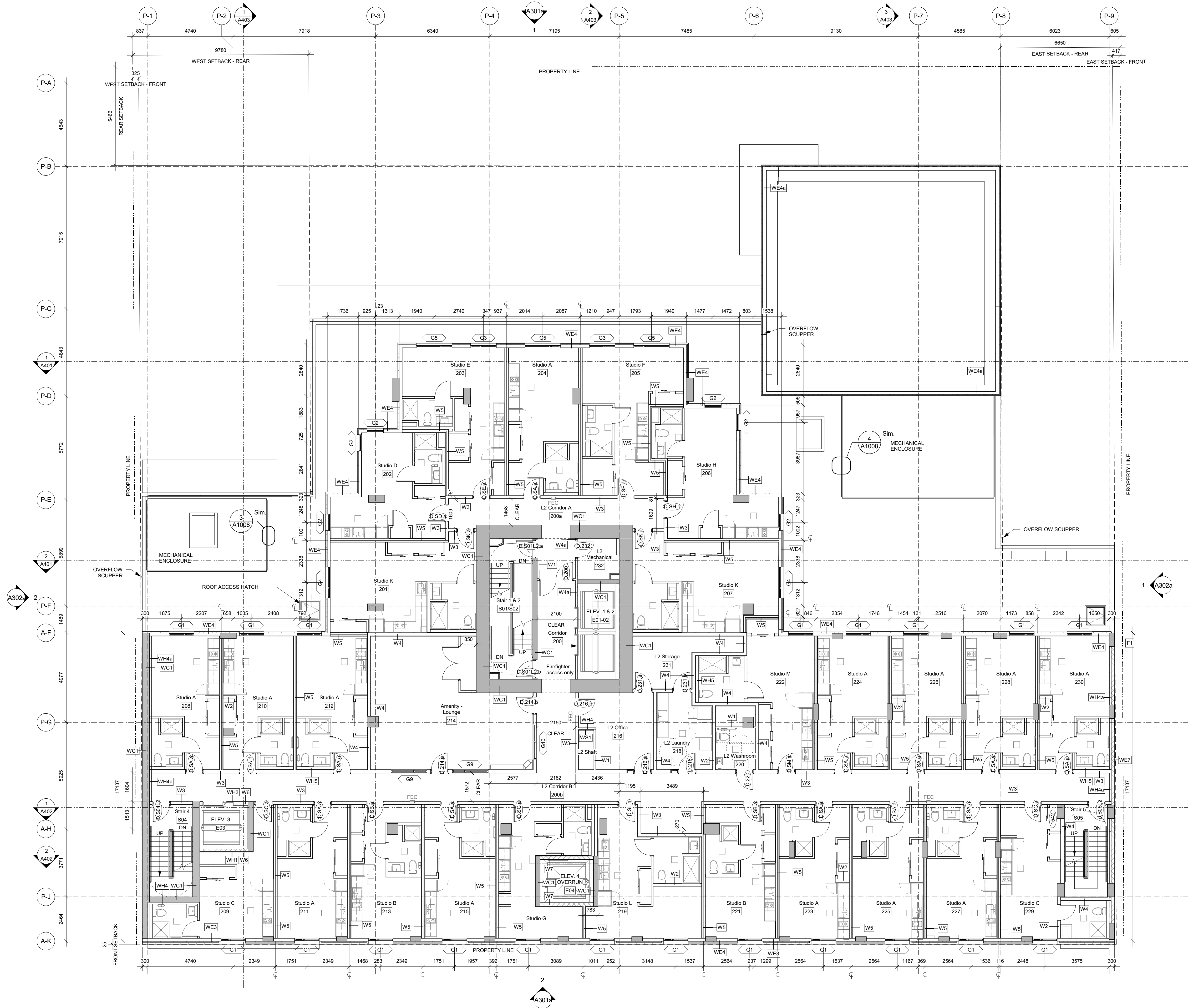
NOTE: All dimensions are shown in millimeters.

930 Pandora
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Mezzanine - Overall
Plan



A204

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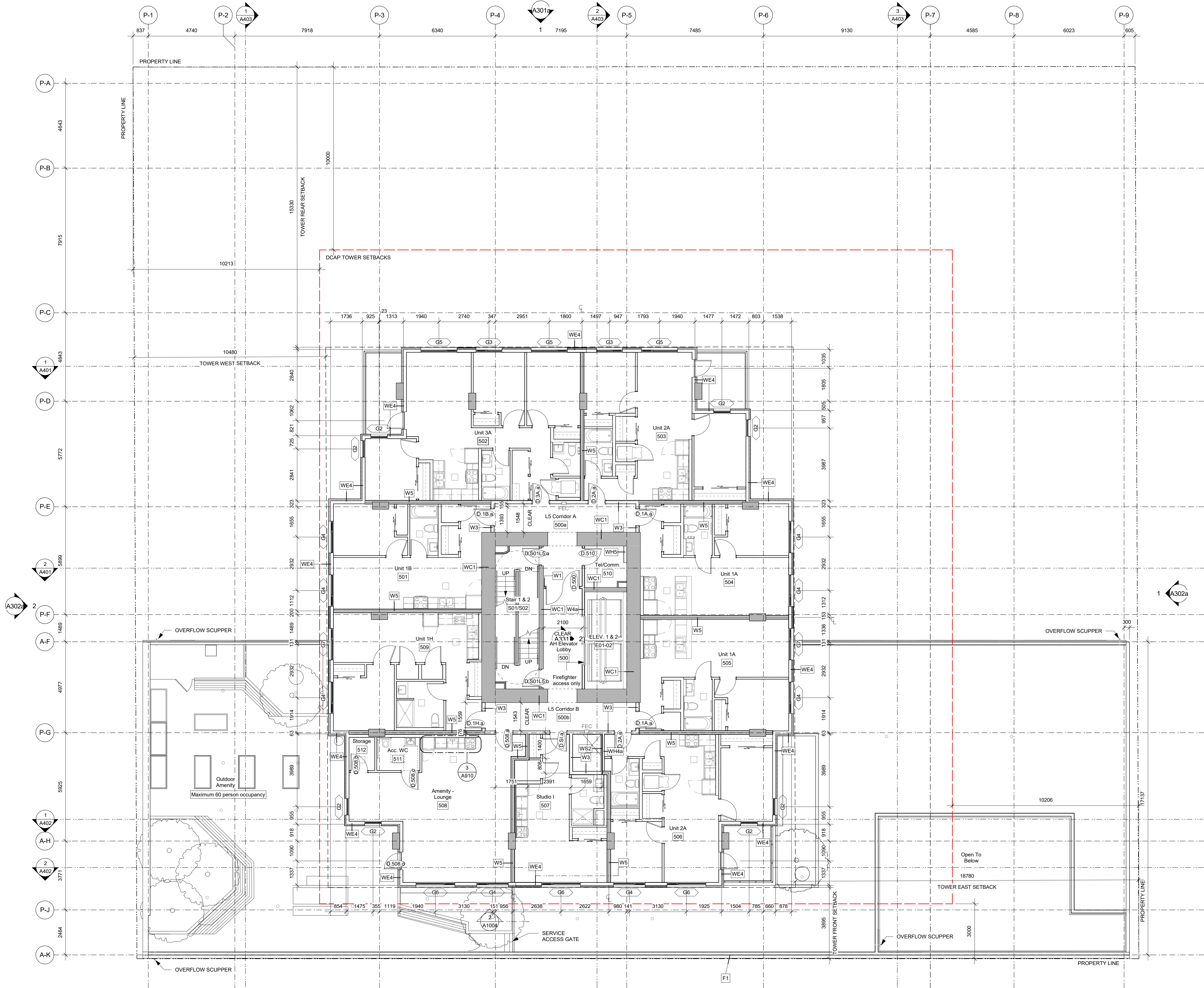
NOTE: All dimensions are shown in millimeters.

930 Pandora
926-930 Pandora Ave
Victoria, BC
L2 - Overall Plan



A205

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L5, L10, L15, L19 have been designed as emergency cross over floors in compliance with 3.4.6.18

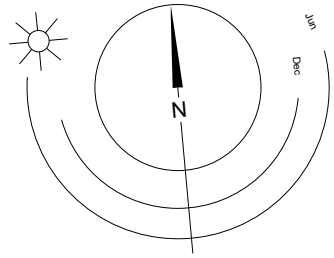
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Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

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930 Pandora
926-930 Pandora Ave
Victoria, BC
L5 - Overall Plan



0 2500 5000 mm
1 : 100



A208

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L5, L10, L15, L19 have been designed as emergency cross over floors in compliance with 3.4.6.18

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Rev.	Date	Description

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Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

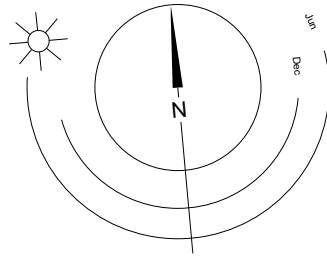
NOTE: All dimensions are shown in millimeters.

930 Pandora
926-930 Pandora Ave
Victoria, BC
L19-L20 - Overall
Plan

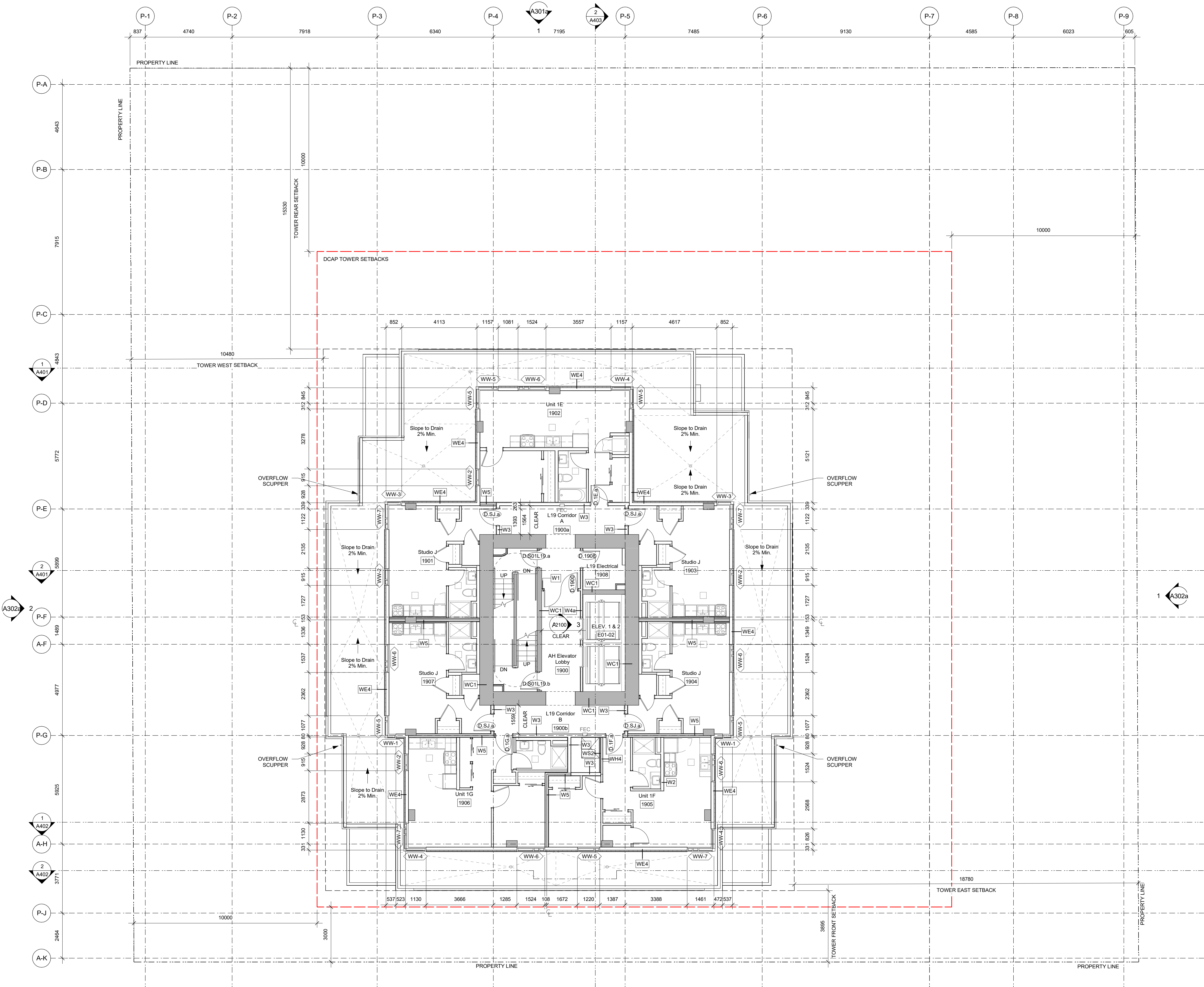


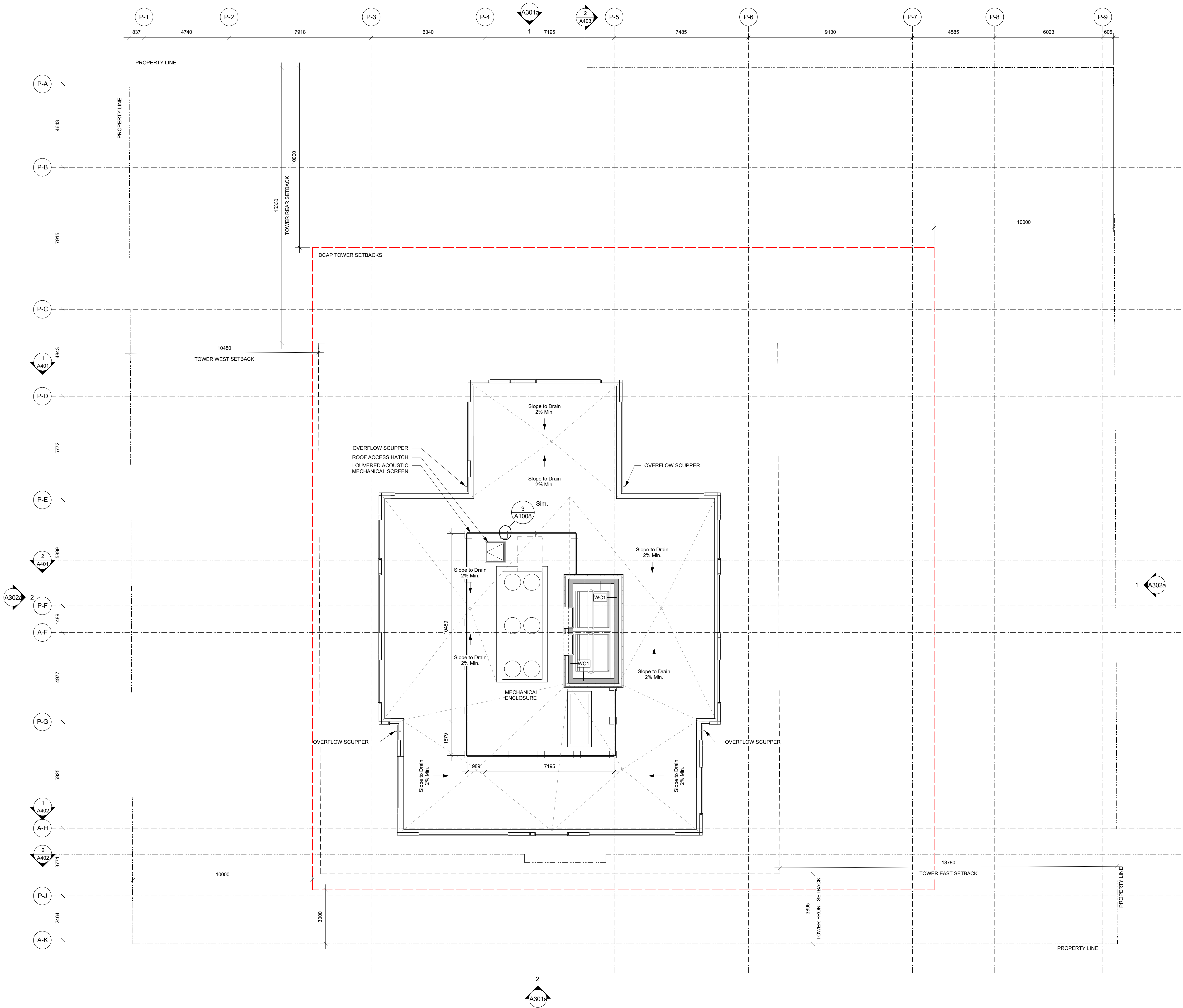
A210

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0 2500 5000 mm
1 : 100





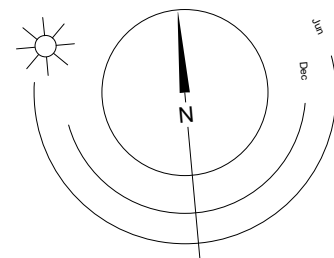
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930 Pandora
926-930 Pandora Ave
Victoria, BC
Roof Overall Plan

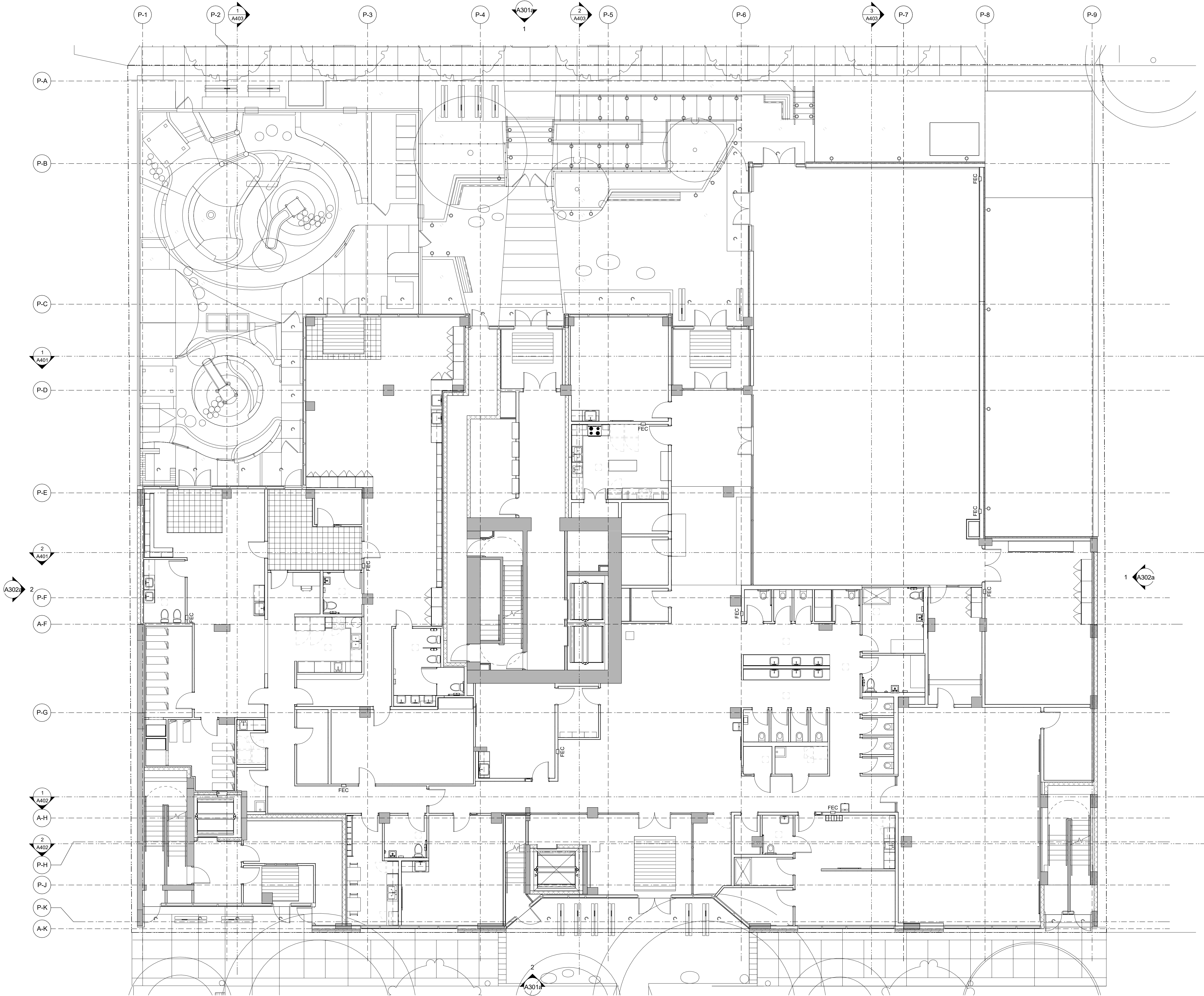


0 2500 5000 mm
1 : 100



A211a

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Rev.	Date	Description

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Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2141

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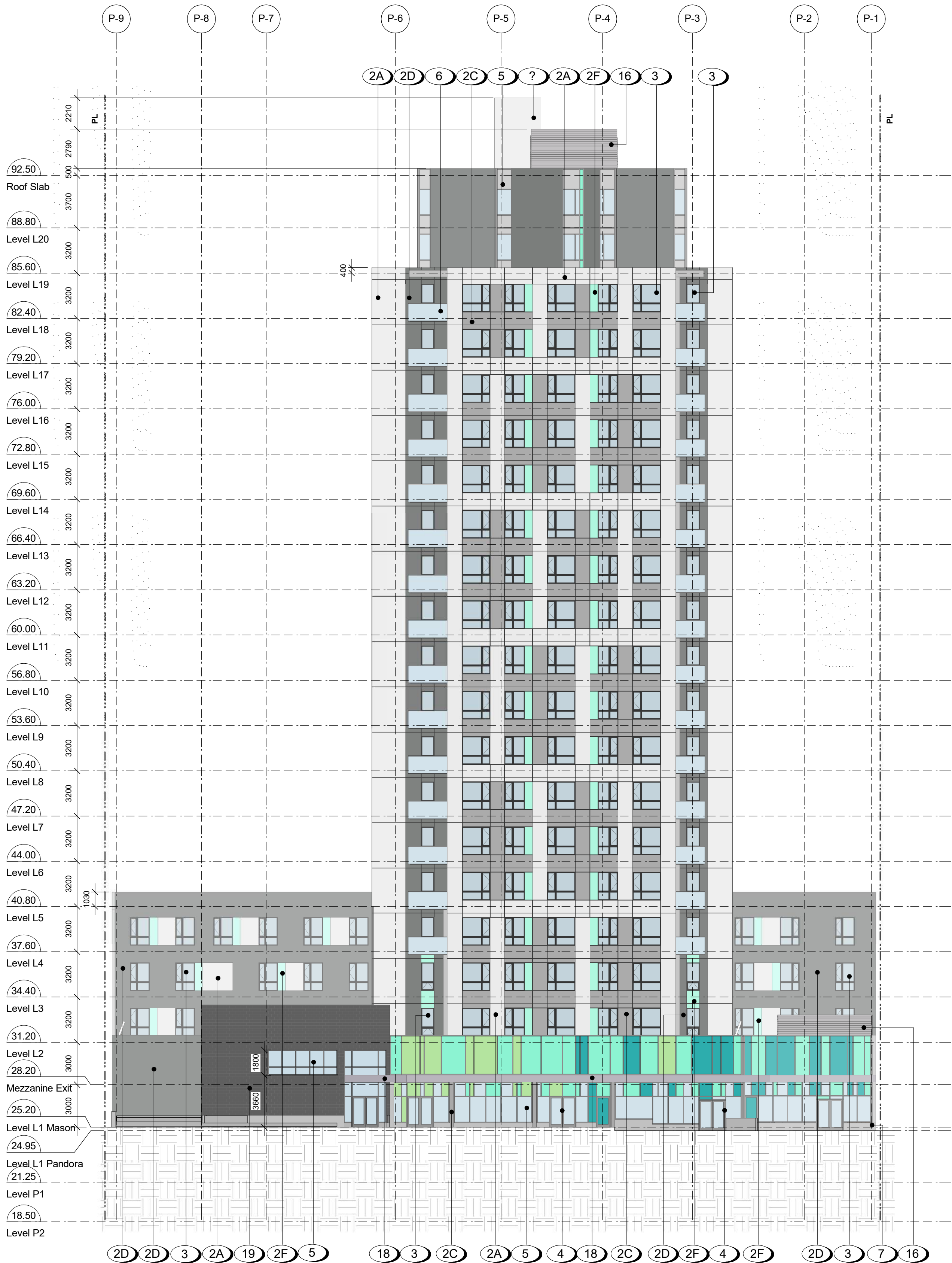
930 Pandora
926-930 Pandora Ave
Victoria, BC
L1 Lighting Plan



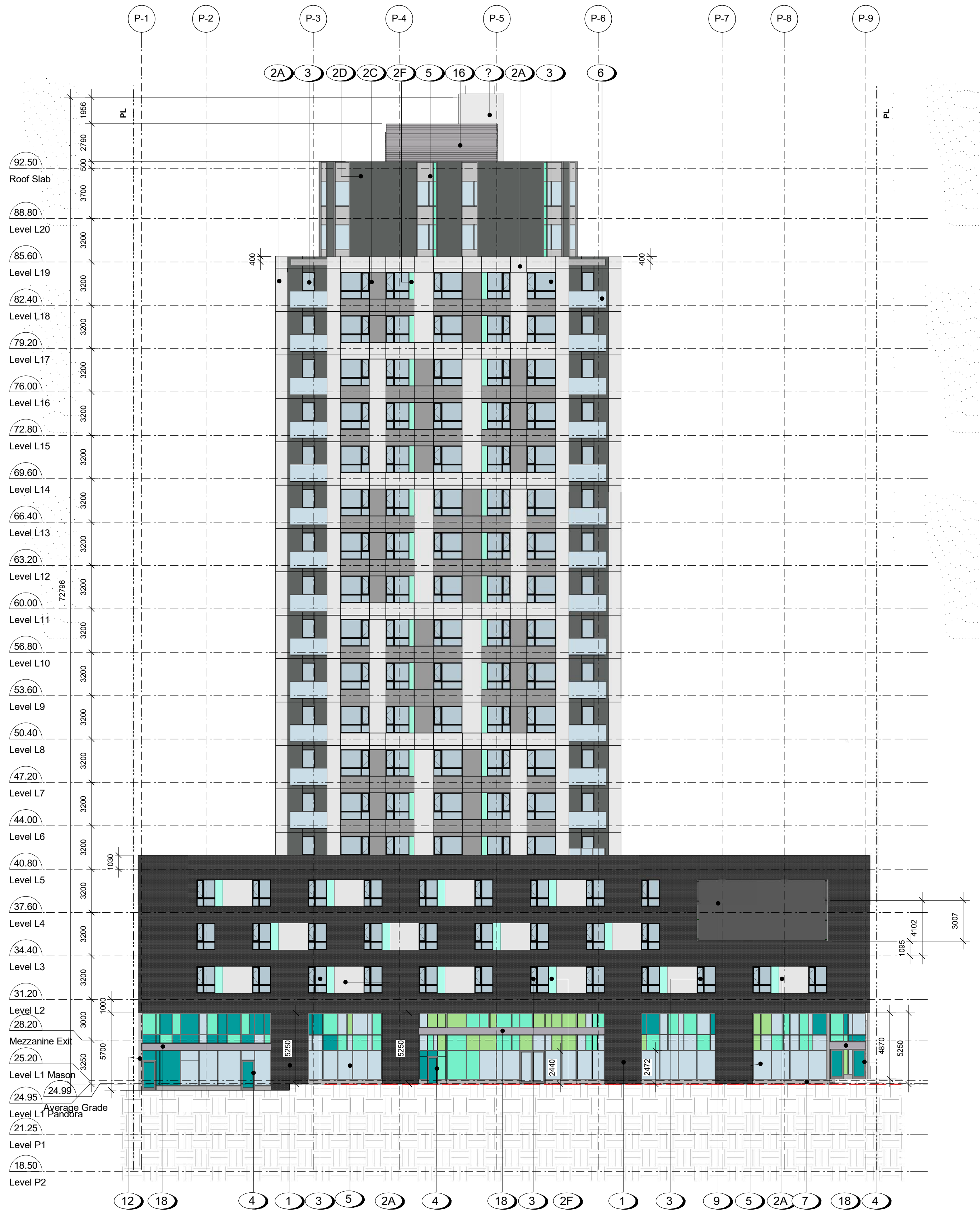
A220a

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1 North Elevation View
A301a SCALE: 1 : 200



2 South Elevation View
A301a SCALE: 1 : 200

MATERIALS LEGEND

- Running Bond Bricks - Standard Size in Charcoal
- Smooth Finish Fibre Cement Panel
Flush-Jointed with Matching Trim.
Colors A, B, C, D, E, and F as noted.
A White
B Light Grey
C Slate Grey
D Dark Grey
F Teal
- Fibreglass Window
- Aluminum Window Wall c/w Door Entry System and Spandrel Panel
- Aluminum Window Wall
- Tempered, Laminated Glass Guardrail w/ Anodized Aluminum Cap and Handrail
- Architectural Exposed Concrete Column
- Canopy: Metal Composite Panel
Pre-finished in Dark Grey
- Planted Metal Mesh Screen - Greenscreen by Tournesol, powder coated silver
- Play Area Fence
- Metal Signage
- Painted Concrete Wall
- Pre-finished Metal Flashing
Color to match Cladding
- Fiberglass Frame Swing Door
- Concrete Planter
- Acoustic Mechanical Screen
- Concrete Block Wall, with cementitious waterproofing
- Aluminum Panel clad Canopy
- Textured through-colour fibre cement panel

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

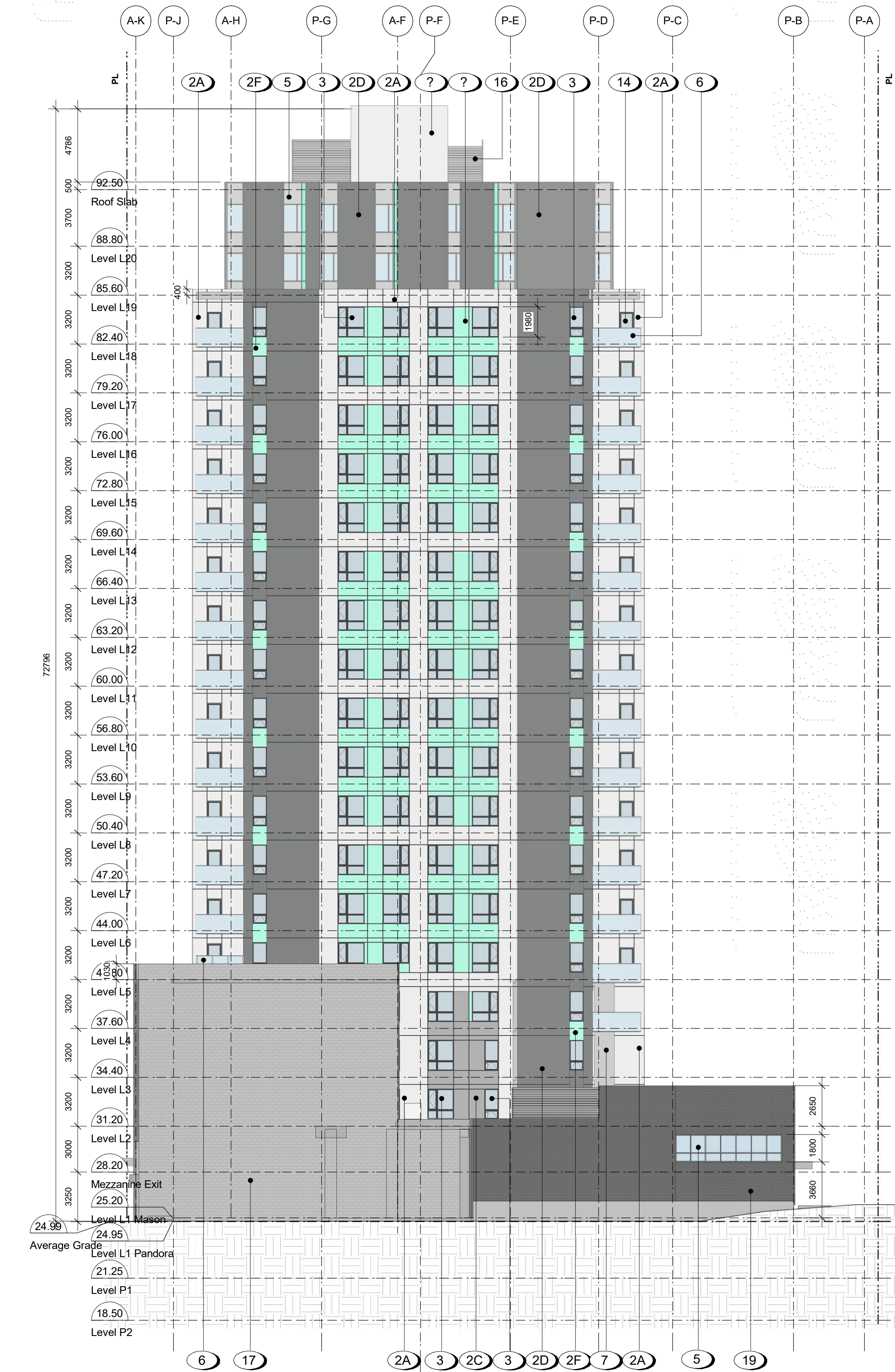
Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

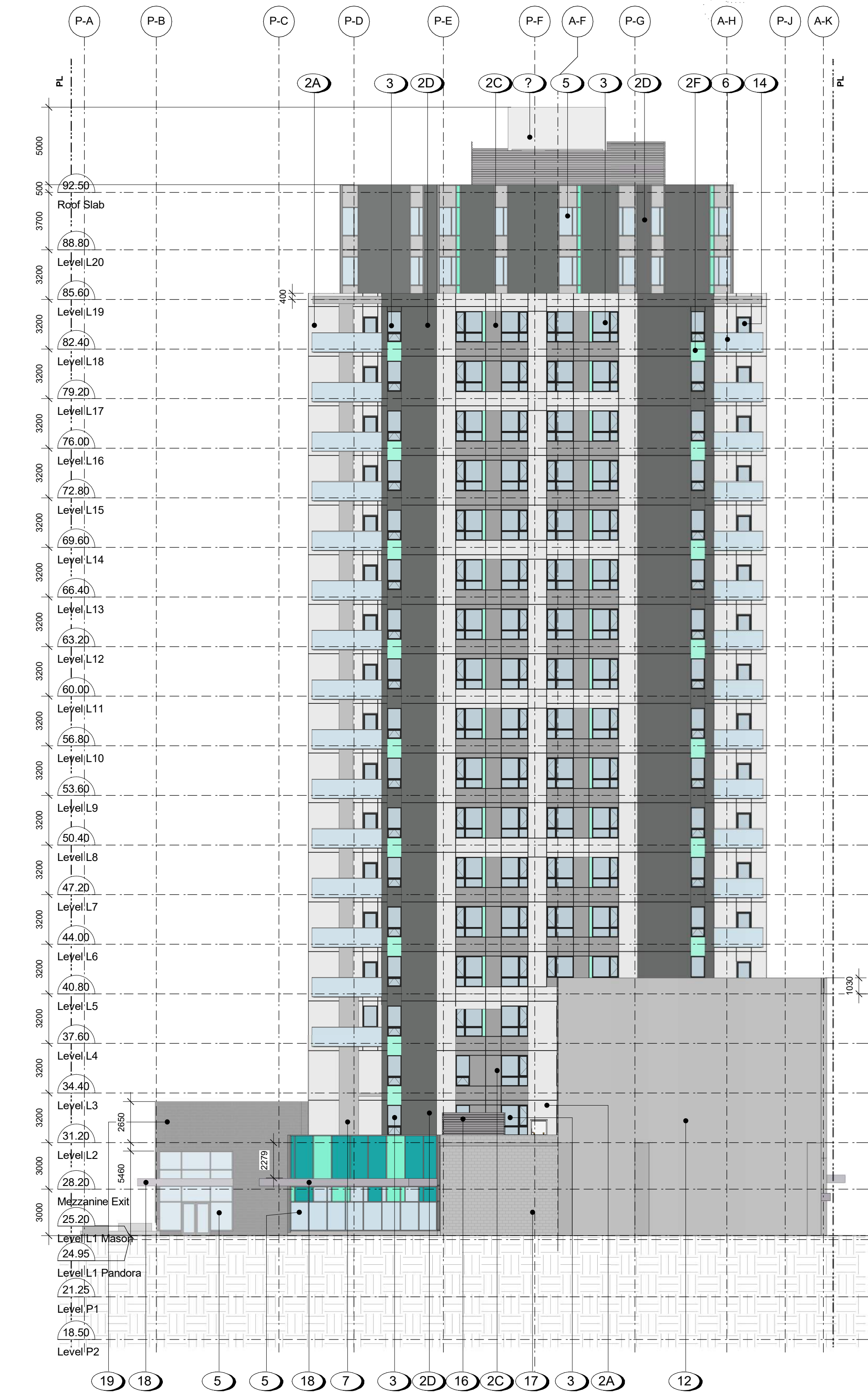
930 Pandora
926-930 Pandora Ave
Victoria, BC
Elevations - North
and South

dHka A301a

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1 East Elevation Copy 1
A302a SCALE: 1 : 200



2 West Elevation Copy 1
A302a SCALE: 1 : 200

MATERIALS LEGEND

- 1 Running Bond Bricks - Standard Size in Charcoal
- 2 Smooth Finish Fibre Cement Panel
Flush-Jointed with Matching Trim.
Colors A, B, C, D, E, and F as noted.
A White
B Light Grey
C Slate Grey
D Dark Grey
F Teal
- 3 Fibreglass Window
- 4 Aluminum Window Wall c/w Door Entry System and Spandrel Panel
- 5 Aluminum Window Wall
- 6 Tempered, Laminated Glass Guardrail w/ Anodized Aluminum Cap and Handrail
- 7 Architectural Exposed Concrete Column
- 8 Canopy: Metal Composite Panel
Pre-finished in Dark Grey
- 9 Planted Metal Mesh Screen - Greenscreen by Tournesol, powder coated silver
- 10 Play Area Fence
- 11 Metal Signage
- 12 Painted Concrete Wall
- 13 Pre-finished Metal Flashing
Color to match Cladding
- 14 Fiberglass Frame Swing Door
- 15 Concrete Planter
- 16 Acoustic Mechanical Screen
- 17 Concrete Block Wall, with cementitious waterproofing
- 18 Aluminum Panel clad Canopy
- 19 Textured through-colour fibre cement panel

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora
926-930 Pandora Ave
Victoria, BC
Elevations - East and West



1 North Context Elevation
A310 SCALE: 1 : 500



2 South Context Elevation
A310 SCALE: 1 : 500

24-11-22 Issued for DP Amendment
23-06-20 Issued for DDP Rev. 2
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Issued for
Development Permit
Drawn By JY/IS Checked By JY/RAW
Scale 1 : 500 Project Number 2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

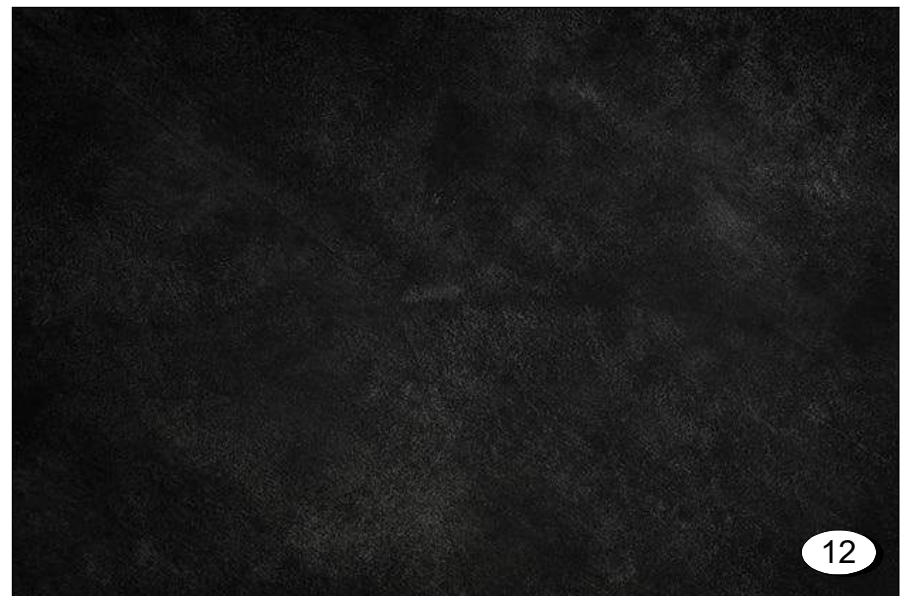
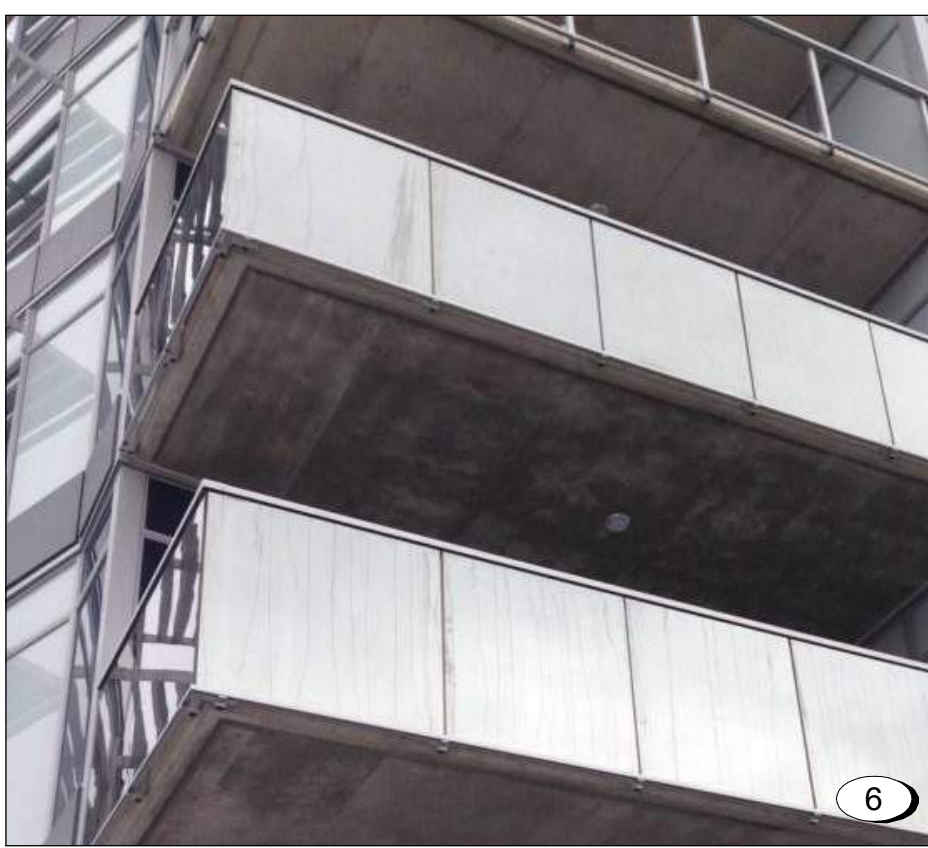
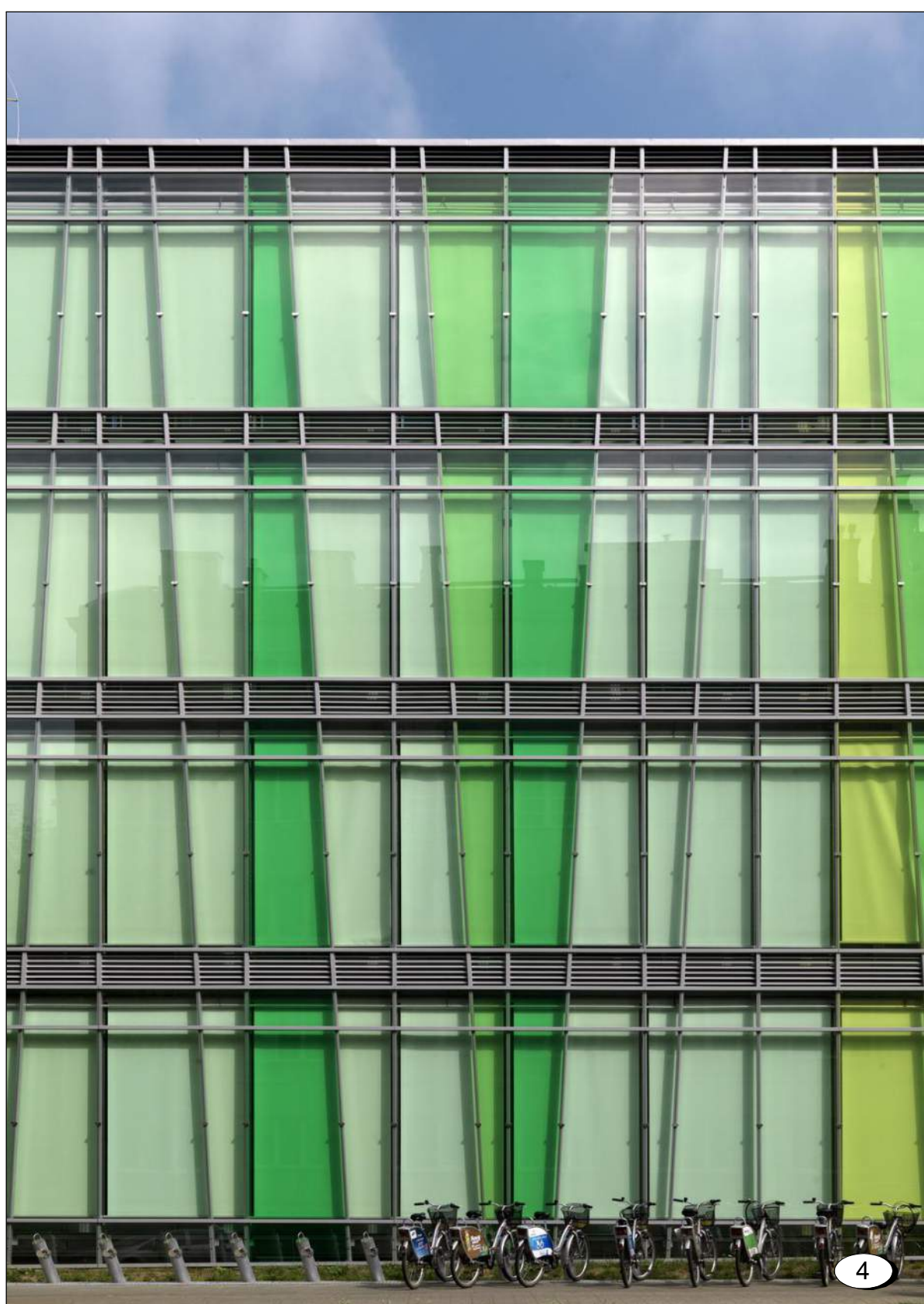
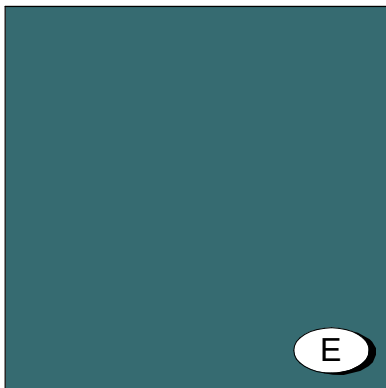
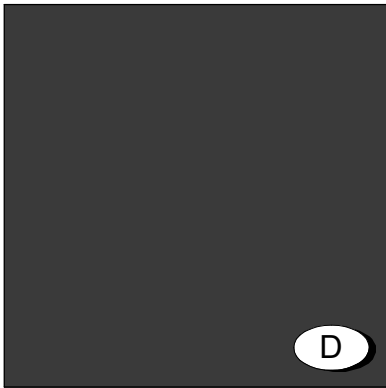
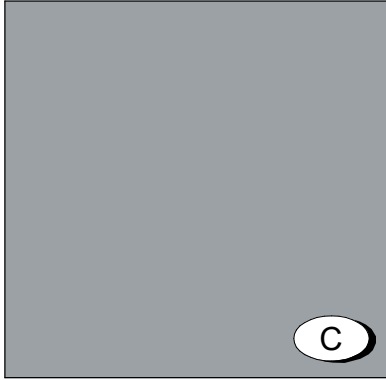
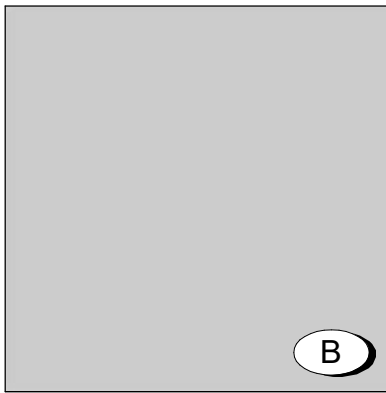
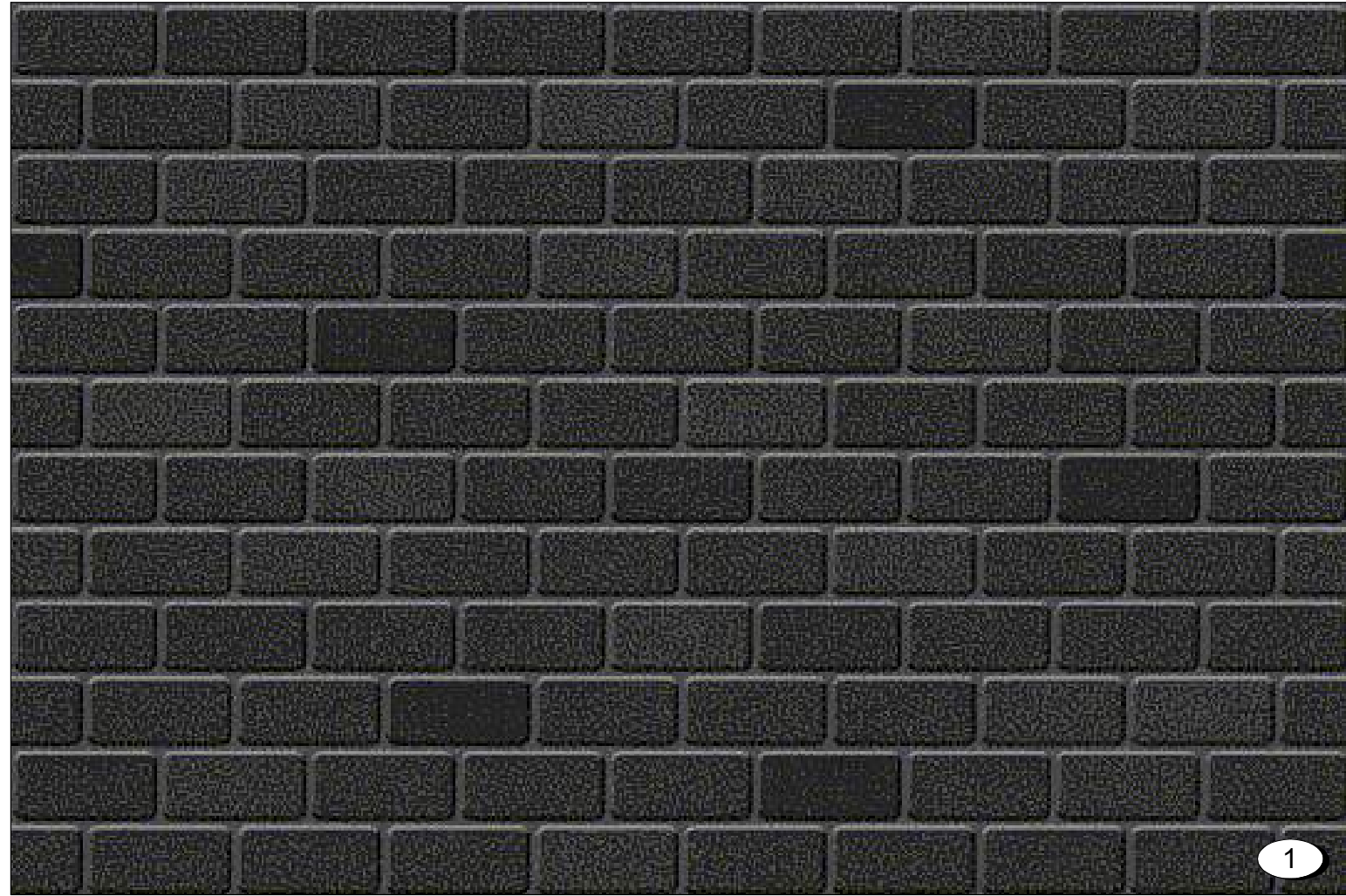
Context Elevations



A310

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2024-11-28 4:27:55 PM



MATERIALS LEGEND

- 1 Running bond standard size bricks in Charcoal
- 2 Smooth finish fibre-cement panel, flush jointed with matching trim. Colours A, B, C, and D as noted.
 - A White
 - B Light Grey
 - C Slate Grey
 - D Dark Grey
 - E Dark Teal
- 3 Vinyl frame window, white
- 4 Anodized aluminum storefront glazing, c/w spandrel panel and doors
- 5 Anodized aluminum window wall, c/w spandrel panel
- 6 Tempered, laminated glass guardrail with anodized aluminum cap and handrail.
- 7 Architectural exposed concrete column
- 8 Canopy: Metal composite panel pre-finished in dark grey
- 9 Planted metal mesh screen
- 10 Play area fence
- 11 Metal signage
- 12 Painted concrete wall, colour to match Brick
- 13 Metal Flashing, colour matched to cladding
- 14 Vinyl frame swing door, white
- 15 Concrete planter
- 16 Anodized aluminum framed window
- 17 Acoustic mechanical screen

Plot Date	24-11-22	Drawing File	Issued for Development Permit
Drawn By	JY/IS	Checked By	JY/RAW
Scale	1 : 1	Project Number	2141
NOTE: All dimensions are shown in millimeters.			

930 Pandora

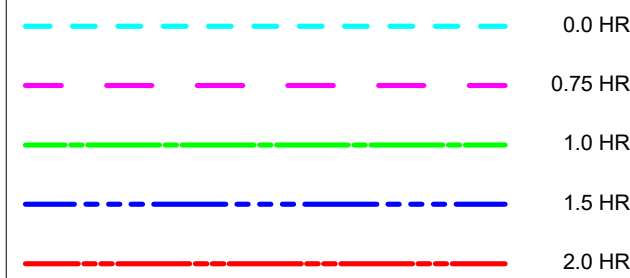
Materials Board



A320

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Fire Separation Legend



3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/ICM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

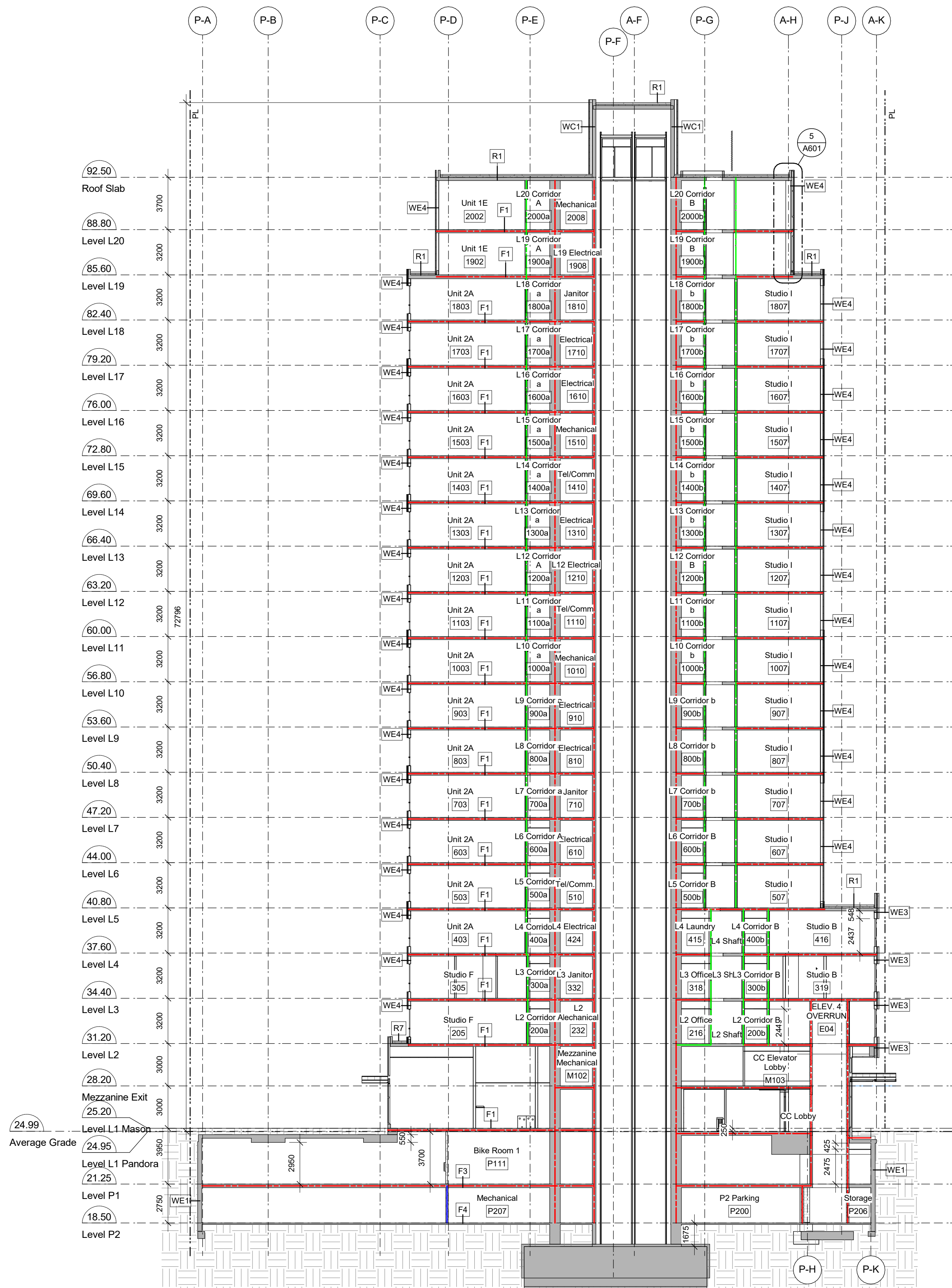
NOTE: All dimensions are shown in millimeters.

930 Pandora
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Victoria, BC
Building Sections

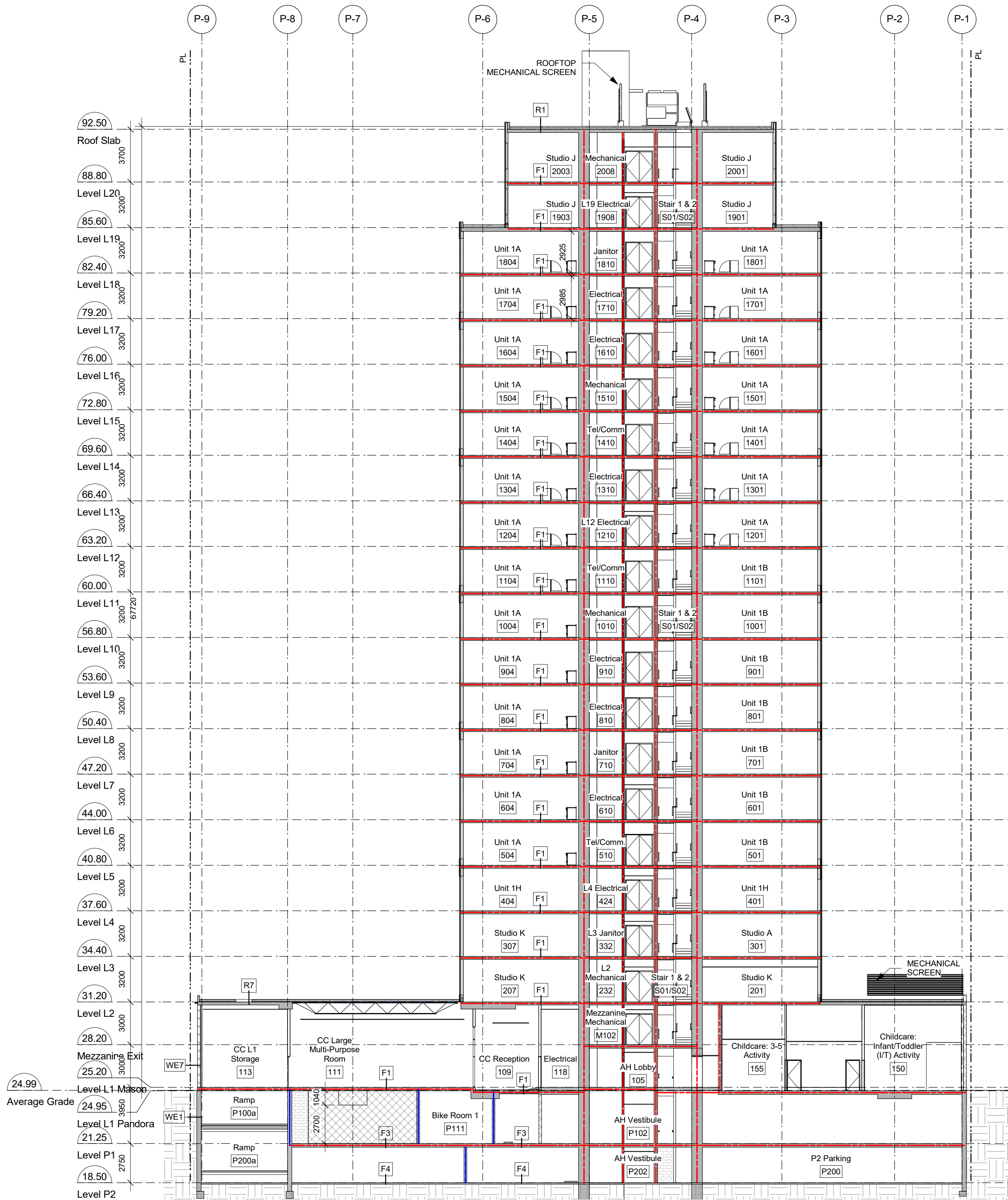


A401a

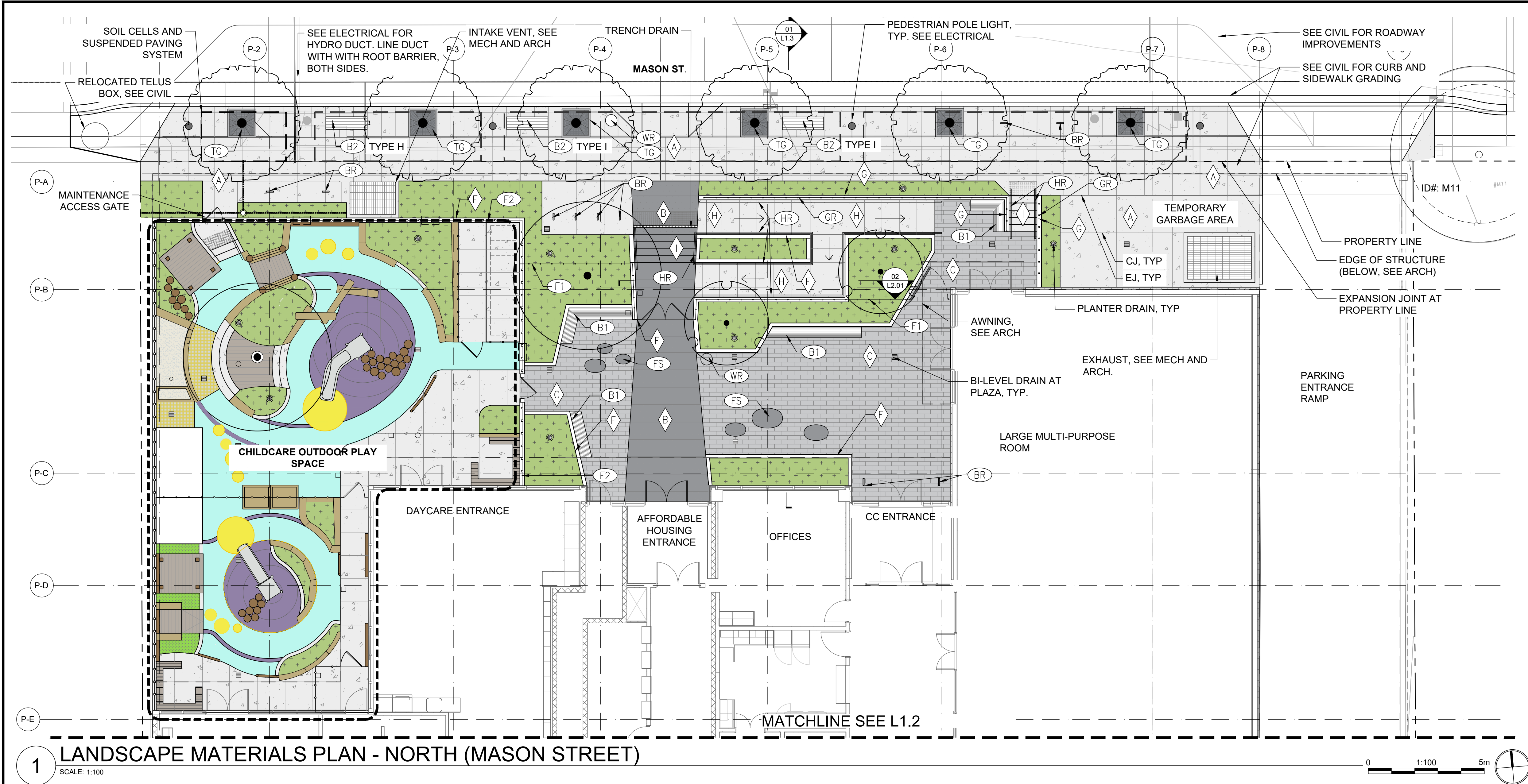
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1 North-South Section Through Core looking East
A401a SCALE: 1 : 200



2 East-West Section Through Core Looking South
A401a SCALE: 1 : 200



LEGEND

PROPERTY LINE

PROPOSED STREET TREE, PER COV STANDARDS

PROPOSED DECIDUOUS TREE, SEE PLANTING PLANS

CRITICAL ROOT ZONE DRIPLINE

TRUNK DBH

EXISTING TREE TO BE RETAINED (SEE TREE MANAGEMENT PLAN BY ARBORIST)

EXISTING TREE TO BE REMOVED AND TRANSPLANTED AT INDICATED LOCATION (SEE TREE MANAGEMENT PLAN BY ARBORIST)

MIXED SHRUB AND GROUND COVER PLANTING, SEE PLANTING PLANS

SOIL CELL TRENCH

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1 LANDSCAPE MATERIALS PLAN - NORTH (MASON STREET)

SCALE: 1:100

GENERAL NOTES

- ALL MEASUREMENTS IN METRES UNLESS OTHERWISE NOTED.
- INFORM THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN DETAILS AND IN-FIELD MEASUREMENTS. COMPLETION OF UNAUTHORIZED CHANGES MAY BE SUBJECT TO REJECTION.
- REFER TO ENGINEERING DRAWINGS FOR U/G SERVICES LOCATIONS AND INFORMATION PRIOR TO LANDSCAPE IMPROVEMENTS. ALL EXISTING UTILITIES TO BE IDENTIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- REFER TO CIVIL FOR ALL CIVIL WORKS AND DETAILS AND IRRIGATION POINTS OF CONNECTION FOR BOULEVARD AREAS.
- REFER TO ELECTRICAL FOR LANDSCAPE LIGHTING FIXTURES, LOCATIONS, AND ALL ELECTRICAL WORKS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING WORKS.
- REFER TO MECHANICAL FOR HOSE BIB LOCATIONS AND IRRIGATION POINTS OF CONNECTION FOR SITE IRRIGATION.
- REFER TO ARBORIST REPORT FOR TREE MANAGEMENT PLAN, TREE RETENTION, TREE PROTECTION MEASURES AND DETAILS.
- SITE IMPROVEMENTS WITHIN CRITICAL ROOT ZONES OF EXISTING TREES TO BE COORDINATED WITH ARBORIST IN FIELD.
- CONTRACTOR TO MAKE GOOD ALL CONSTRUCTION RELATED DAMAGE OUTSIDE THE LIMIT OF WORK.
- DESIGNS, PLANS AND RECOMMENDATIONS ARE PROVIDED FOR THE SPECIFIC PURPOSE INDICATED HEREIN AND MAY NEED TO BE MODIFIED DEPENDING ON ACTUAL FIELD CONDITIONS THAT MAY BE DISCOVERED DURING CONSTRUCTION. LANARC EXPRESSLY DENIES ANY RESPONSIBILITY FOR CONSTRUCTED WORKS THAT ARE SUBJECT TO SITE CONDITIONS THAT AFFECT THE INTEGRITY OF THE DESIGN.
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HARDSCAPE SCHEDULE

SYMBOL	TYPE	FINISH/COLOUR/NOTES
	CIP CONCRETE SIDEWALK	FINISH AND SCORING PATTERN PER CoV STANDARDS FOR NEW TOWN, SEE CIVIL FOR GRADING
	CIP CONCRETE WALKWAY WITH INTEGRAL COLOR	SOLOMON COLOURS DRY INTEGRAL COLOUR MIX - ONYX.
	UNIT PAVERS TYPE 1	CLASSIC STANDARD PAVERS BY BELGARD, RUNNING BOND
	UNIT PAVERS TYPE 2 (ROOF DECKS)	TEXADA SLABS BY BELGARD, 450MM X 450MM
	DECORATIVE ROCK (ROOF DECKS)	WASHED PEBBLE
	C.I.P CONCRETE PLANTER WALL	HEIGHT VARIES
	C.I.P CONCRETE RETAINING WALL	HEIGHT VARIES
	C.I.P. CONCRETE UNIVERSAL ACCESS RAMP	MAX 1:12 (8.3%)
	CIP CONCRETE STAIRS	RISER HEIGHT VARIES TACTILE INDICATOR STRIP AT TOP LANDING
	UNIT PAVERS TYPE 3	PRECAST CONCRETE UNIT PAVERS PER CoV STANDARD, RUNNING BOND, FLUSH CIP CONCRETE EDGE
	BASALT PAVER BAND	MORTAR SET BASALT PAVERS PER CoV STANDARDS, 300MM X 450MM X 60MM

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES
	PLANTER WALL BENCH	TIMBER BENCH MOUNTED TO C.I.P. CONCRETE WALL
	CoV STANDARD BENCH	PER CoV STANDARDS FOR NEW TOWN, BENCHES TYPE H AND I, SURFACE MOUNTED, SEE PLANS FOR LOCATIONS
	BIKE RACK	PER CoV STANDARDS FOR NEW TOWN, SURFACE MOUNTED
	WASTE RECEPTACLE WITH INTEGRATED ASH TRAY	PER CoV STANDARDS FOR NEW TOWN, TYPE A RECEPTACLE, SURFACE MOUNTED
	FEATURE SEATING ELEMENT	PRECAST CONC. PEBBLE SEAT BY SANDERSON CONCRETE, VARYING SIZES
	FENCE TYPE 1 - METAL FENCE AND GATE (4' HEIGHT)	SEE DETAIL 02 / L1.8
	FENCE TYPE 2 - SECURE FENCE AND GATES AROUND CHILD CARE AREA (6' HEIGHT)	SOLID, NON CLIMBABLE FENCE, SEE DETAIL 01/L1.8
	VINE TRELLIS	VERTICAL VINE TRELLIS BY GREENSCREEN. SEE ARCH FOR DETAILS
	CAFE TABLE AND CHAIRS (ROOF DECKS)	PARC CENTRE BY LANDSCAPE FORMS, OR APPROVED EQUAL
	COMMUNAL TABLE (ROOF DECKS)	SOLID PICNIC SET BY STREETLIFE, OR APPROVED EQUAL
	GUARDRAIL	SEE DETAIL 02 / L1.8
	HANDRAIL	PAINTED METAL HANDRAIL
	TREE GRATE WITH METAL TREE GUARD	PER CoV STANDARDS
	URBAN AGRICULTURE PLANTER	ARTIFEX SELF-WATERING PLANTER, OR APPROVED EQUAL

* TOTAL ONSITE BIKE PARKING = 24

PRELIMINARY
NOT FOR CONSTRUCTION

DDP AMENDMENT	VW	JZ	25.03.24
DDP REVISION 2B	SB	BL	23.07.05
DDP REVISION 2	SB	BL	23.06.20
DP REVISION 1	SB	BL	23.02.22
DP PACKAGE	SB	BL	22.11.21
Issued	By	Appd.	YY.MM.DD

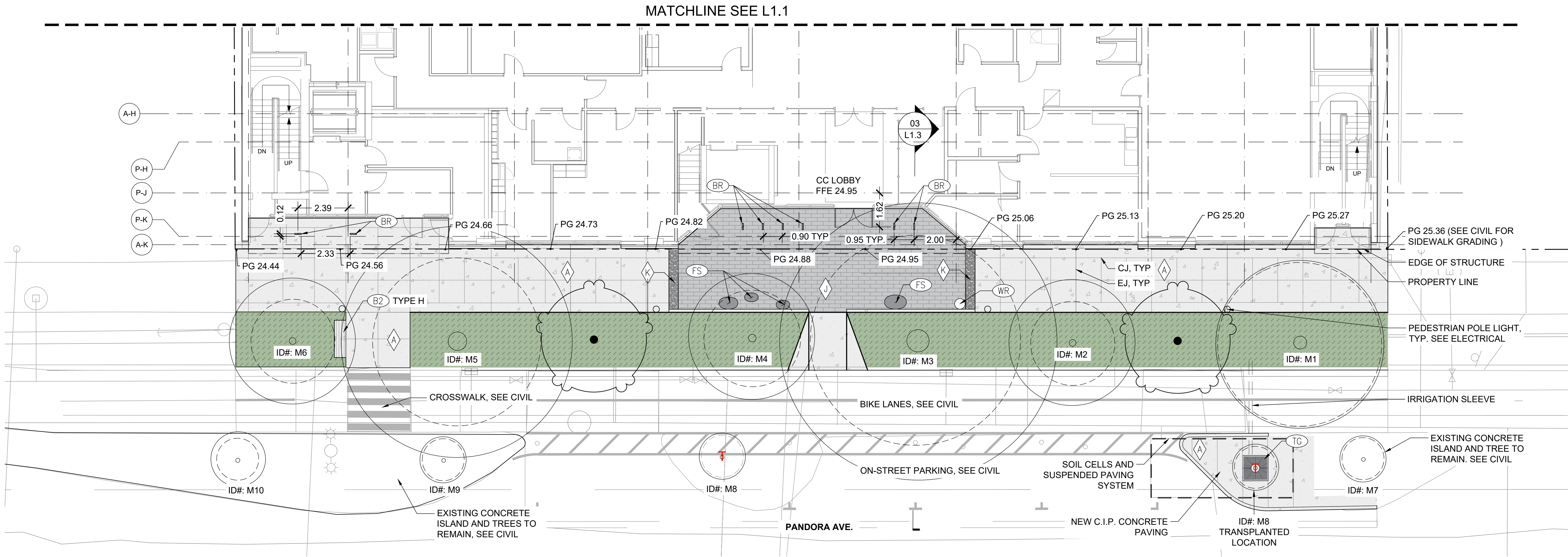
Permit-Seal
930 PANDORA

Project
LANDSCAPE MATERIALS PLAN - NORTH (MASON STREET)
Title

21-313	As Noted
Project No.	Scale
L1.1	3
Drawing No.	Permit No.
	Revision

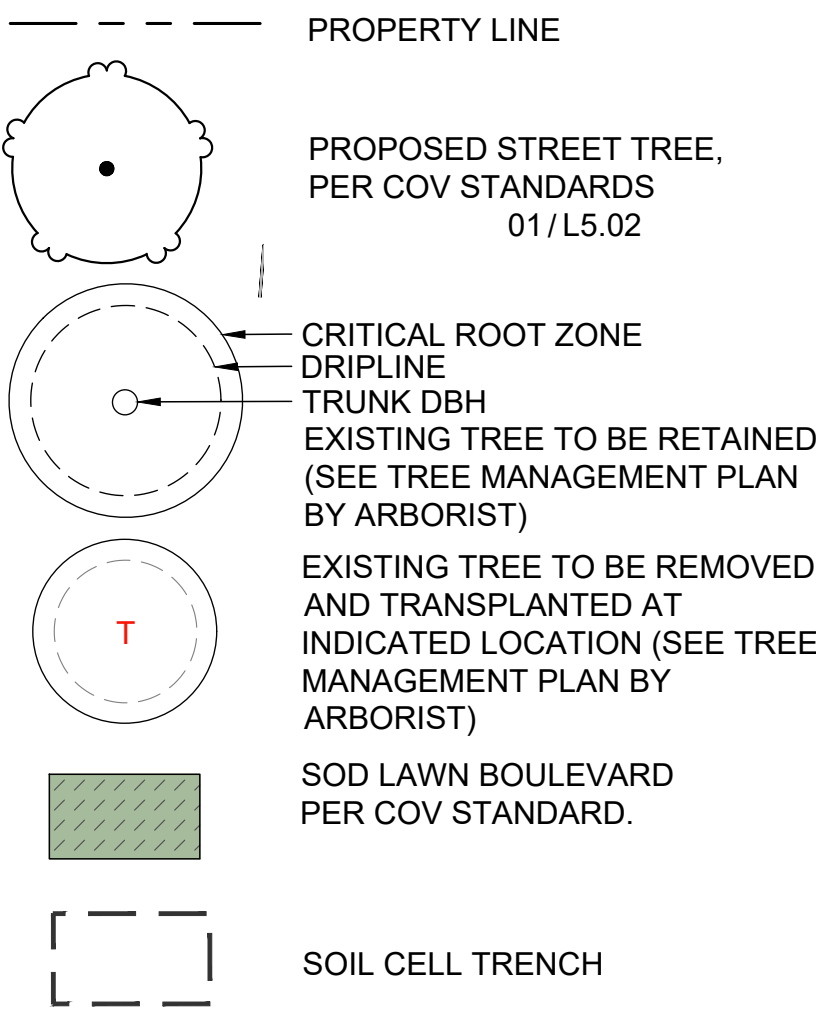
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1 LANDSCAPE MATERIALS & LAYOUT PLAN - SOUTH (PANDORA AVENUE)

LEGEND



GENERAL NOTES

- SEE L1.01 FOR GENERAL NOTES.
- SEE L1.07 FOR GRADING ENLARGEMENT

HARDSCAPE SCHEDULE

SYMBOL	TYPE	FINISH/COLOUR/NOTES
	CIP CONCRETE SIDEWALK	FINISH AND SCORING PATTERN PER CoV STANDARDS FOR NEW TOWN, SEE CIVIL FOR GRADING
	CIP CONCRETE WALKWAY WITH INTEGRAL COLOR	SOLOMON COLOURS DRY INTEGRAL COLOUR MIX - ONYX,
	UNIT PAVERS TYPE 1	CLASSIC STANDARD PAVERS BY BELGARD, RUNNING BOND
	UNIT PAVERS TYPE 2 (ROOF DECKS)	TEXADA SLABS BY BELGARD, 450MM X 450MM
	DECORATIVE ROCK (ROOF DECKS)	WASHED PEBBLE
	C.I.P. CONCRETE PLANTER WALL	HEIGHT VARIES
	C.I.P. CONCRETE RETAINING WALL	HEIGHT VARIES
	C.I.P. CONCRETE UNIVERSAL ACCESS RAMP	MAX 1:12 (8.3%)
	CIP CONCRETE STAIRS	RISER HEIGHT VARIES TACTILE INDICATOR STRIP AT TOP LANDING
	UNIT PAVERS TYPE 3	PRECAST CONCRETE UNIT PAVERS PER CoV STANDARD, RUNNING BOND, FLUSH CIP CONCRETE EDGE
	BASALT PAVER BAND	MORTAR SET BASALT PAVERS PER CoV STANDARDS, 300MM X 450MM X 60MM

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES
	PLANTER WALL BENCH	TIMBER BENCH MOUNTED TO C.I.P. CONCRETE SEAT WALL
	CoV STANDARD BENCH	PER CoV STANDARDS FOR NEW TOWN, BENCHES TYPE H AND I, SURFACE MOUNTED, SEE PLANS FOR LOCATIONS
	BIKE RACK	PER CoV STANDARDS, SURFACE MOUNTED
	WASTE RECEPTACLE	PER CoV STANDARDS FOR NEW TOWN, TYPE A RECEPTACLE, SURFACE MOUNTED
	FEATURE / PLAYFUL SEATING ELEMENT	PRECAST CONC. PEBBLE, BY SANDERSON CONCRETE, VARYING SIZES
	FENCE TYPE 1 - METAL FENCE AND GATE (4' HEIGHT)	SEE DETAIL 02 / L1.8
	FENCE TYPE 2 - SECURE FENCE AND GATES AROUND CHILDCARE AREA (6' HEIGHT)	SOLID, NON CLIMBABLE FENCE, SEE DETAIL 01 / L1.8

GRADING LEGEND

- BS BOTTOM OF STAIR
BW BOTTOM OF WALL
EG EXISTING GRADE
FFE FINISHED FLOOR ELEVATION
PG PROPOSED GRADE
TB TOP OF BENCH
TS TOP OF STAIR
TW TOP OF WALL

GRADING NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN GRADES SHOWN ON THE PLANS AND GRADES IN THE FIELD.
- CONFIRM ALL DRAIN LOCATIONS WITH MECHANICAL TO ENSURE CONNECTION TO SLAB DRAINAGE. SEE MECHANICAL.

SYMBOL	ITEM	DESCRIPTION/NOTES
	VINE TRELLIS	VERTICAL VINE TRELLIS BY GREENSCREEN, SEE ARCH
	CAFE TABLE AND CHAIRS	PARC CENTRE BY LANDSCAPE FORMS, OR APPROVED EQUAL
	COMMUNAL TABLE	SOLID PICNIC SET BY STREETLIFE, OR APPROVED EQUAL
	GUARD RAIL	SEE DETAIL 02 / L1.8
	HAND RAIL	PAINTED METAL HANDRAIL
	TREE GRATE WITH METAL TREE GUARD	PER CoV STANDARDS
	URBAN AGRICULTURE PLANTER	ARTIFEX SELF-WATERING PLANTER, OR APPROVED EQUAL

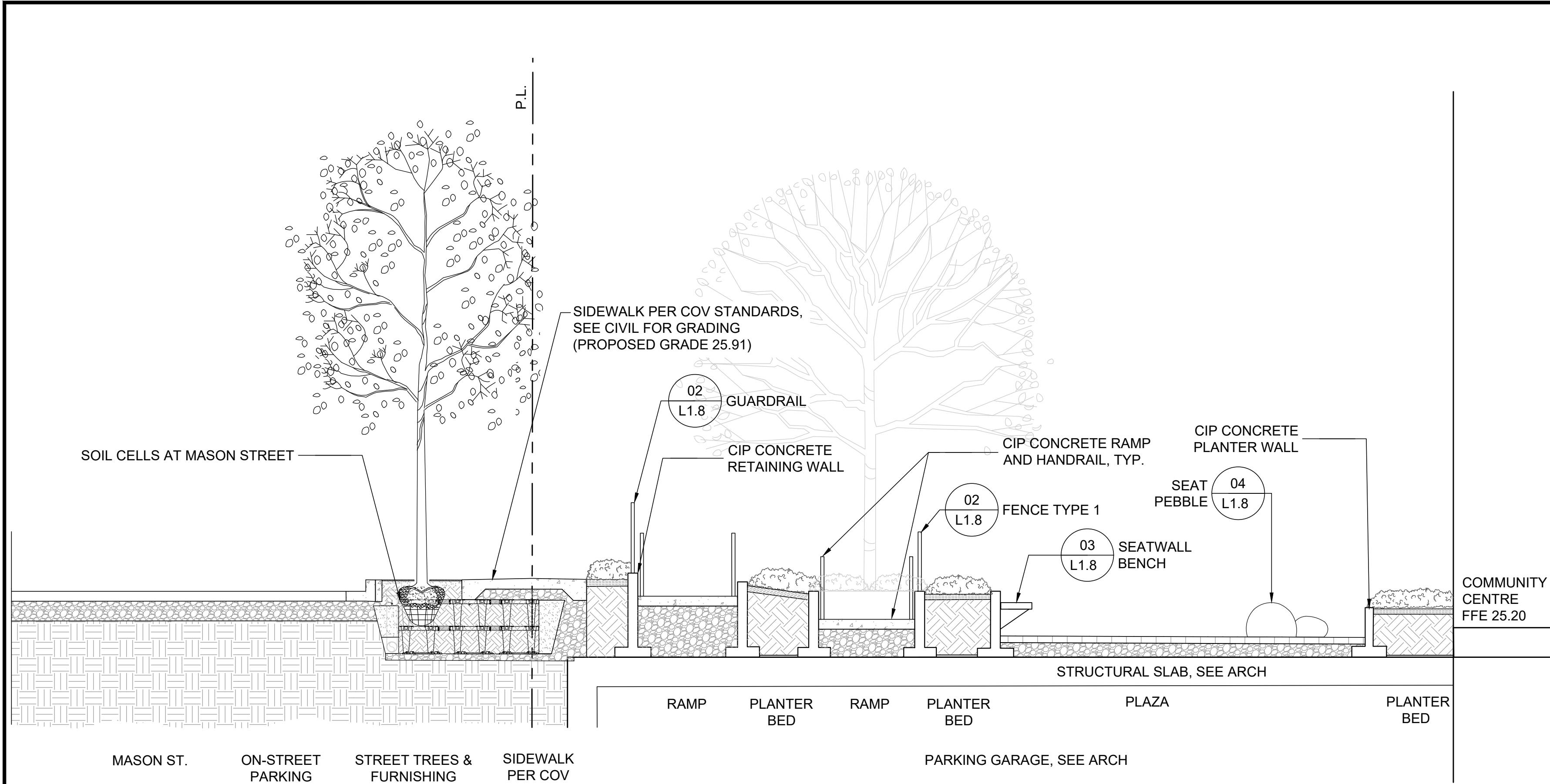
* TOTAL ONSITE BIKE PARKING = 24

DDP AMENDMENT	VW	JZ	25.03.24
DDP REVISION 2B	SB	BL	23.07.05
DDP REVISION 2	SB	BL	23.06.20
DP REVISION 1	SB	BL	23.02.22
DP PACKAGE	SB	BL	22.11.21
Issued	By	Appd.	YY.MM.DD

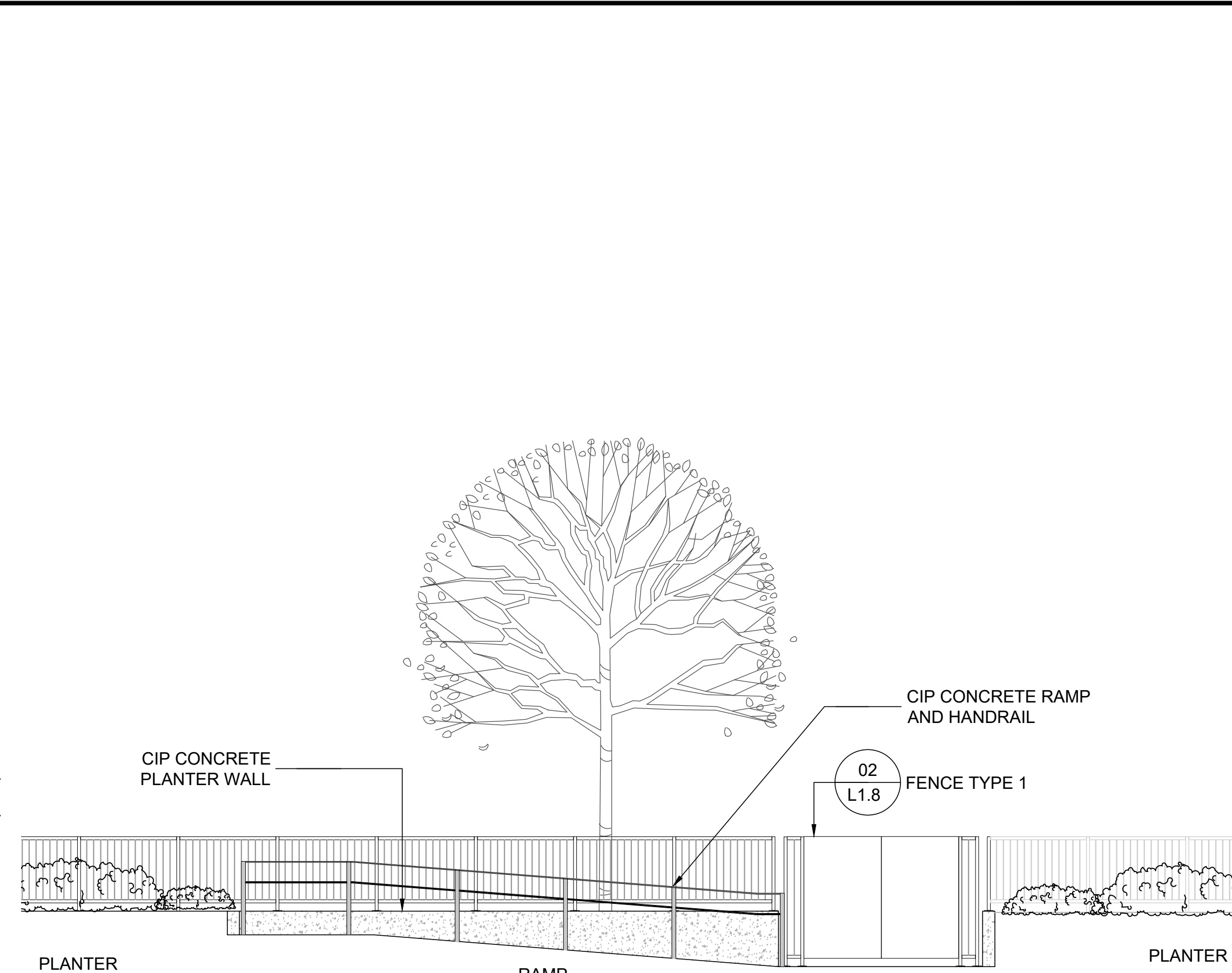
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930 PANDORA

Project
LANDSCAPE MATERIALS & LAYOUT PLAN - SOUTH (PANDORA AVENUE)

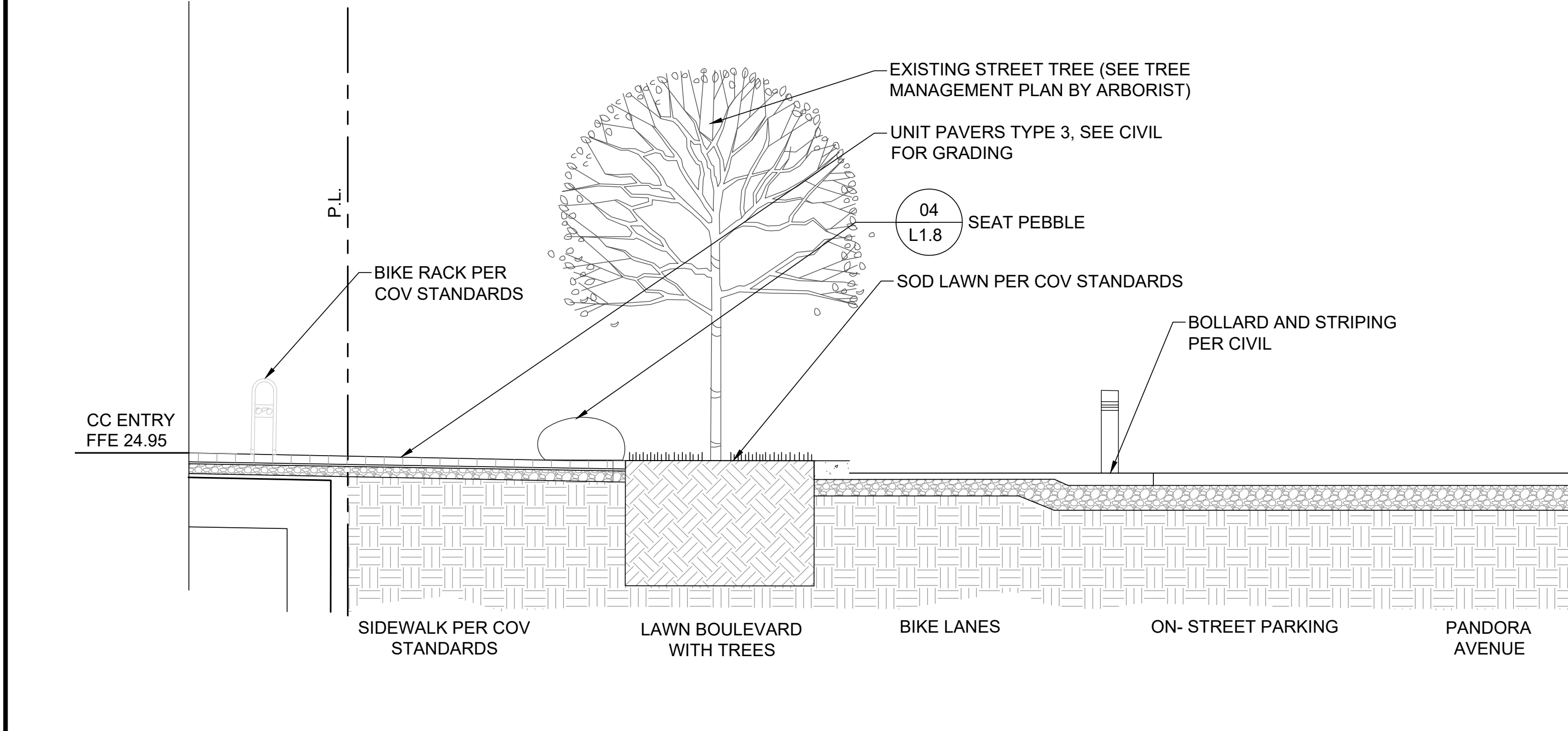
21-313	As Noted
Project No.	Scale
L1.2	3
Drawing No.	Permit No. Revision



1 SITE SECTION - NORTH (MASON STREET)
SCALE: 1:50



2 SITE ELEVATION - ENTRY GATE AND RAMP (MASON STREET)
SCALE: 1:50



3 SITE SECTION - SOUTH (PANDORA AVENUE)
SCALE: 1:50

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DDP AMENDMENT	VW	JZ	25.03.24
DDP REVISION 2B	SB	BL	23.07.05
DDP REVISION 2	SB	BL	23.06.20
DP REVISION 1	SB	BL	23.02.22
DP PACKAGE	SB	BL	22.11.21
Issued	By	Appd.	YY.MM.DD

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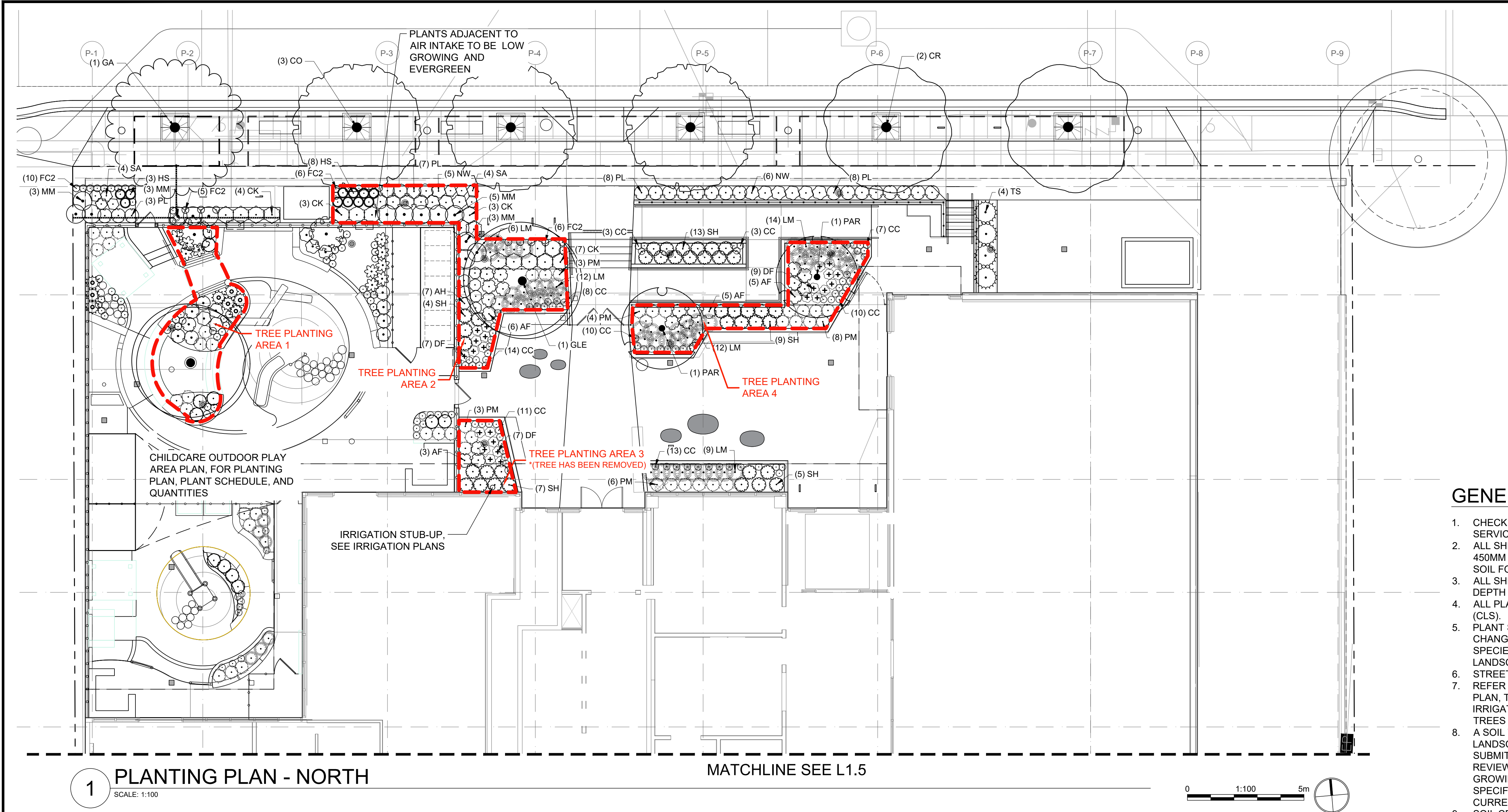
930 PANDORA

Project

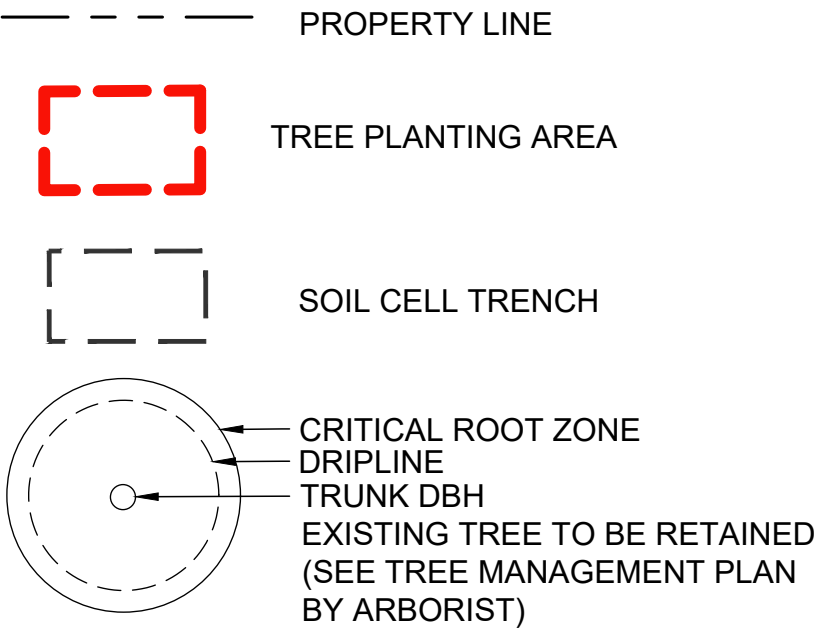
LANDSCAPE SECTIONS

Title

21-313	As Noted
Project No.	Scale
L1.3	3
Drawing No.	Permit No. Revision



LEGEND



GENERAL PLANTING NOTES

- CHECK FOR LOCATIONS OF WATER LINES AND ANY OTHER U/G SERVICES PRIOR TO DIGGING.
- ALL SHRUB AND GROUND COVER AREAS TO RECEIVE MIN. 450MM DEPTH PLANTING SOIL. 700MM DEPTH MIN. PLANTING SOIL FOR TREES (SEE SOIL VOLUME SUMMARY TABLE).
- ALL SHRUB AND GROUND COVER AREAS TO RECEIVE 75MM DEPTH MULCH
- ALL PLANTING WORKS TO CANADIAN LANDSCAPE STANDARD (CLS).
- PLANT SPECIES AS SHOWN ON CANDIDATE PLANT LIST MAY CHANGE, BASED ON NURSERY AVAILABILITY. ALL PLANT SPECIES REPLACEMENTS TO BE COORDINATED WITH LANDSCAPE ARCHITECT.
- STREET TREE SPECIES AND PLANTING PER CoV STANDARD.
- REFER TO ARBORIST'S REPORT FOR TREE MANAGEMENT PLAN, TREE PROTECTION MEASURES, AND PLANTING AND IRRIGATION INSTALLATION WITHIN ROOT ZONES OF EXISTING TREES TO REMAIN.
- A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS treepermits@victoria.ca FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD
- SOIL CELLS / SUSPENDED PAVING SYSTEM TO BE STRATAVAULT, OR APPROVED EQUAL REFER TO MANUFACTURER'S WEBSITE FOR SPECIFICATIONS, ACCREDITATION, COMPLIANCE & WARRANTY INFORMATION.
- ALL PLANTED AREAS TO BE IRRIGATED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.

1 PLANTING PLAN - NORTH

SCALE: 1:100

PLANT SCHEDULE STREETSCAPE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES						
	ACE	Acer rubrum 'Bowhall'	Bowhall Maple	7 cm Cal.	B&B	1
*NOTE: THIS TREE IS NOT SHOWN ON THE DRAWINGS. TO BE PROCURED AS AN ALTERNATIVE TO TRANSPLANTING FOR TREE IN PANDORA AVENUE ISLAND.						
	CO	Celtis occidentalis	Common Hackberry	8 cm cal.	B&B	3
	CR	Cercidiphyllum japonicum 'Red Fox'	Red Fox Katsura Tree	8 cm cal.	B&B	2
	GA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	8 cm cal.	B&B	1
	GLE	Gleditsia triacanthos 'Streetkeeper'	Streetkeeper Honey Locust	8 cm cal.	B&B	3
	PAR	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Parrotia	6cm Cal.	B&B	2

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
SHRUBS						
	AH	Anemone x hybrida 'Honorine Jobert'	Honorine Jobert Japanese Anemone	1 gal.	Pot	7
	AF	Athyrium filix-femina	Common Lady Fern	1 gal.	Pot	19
	CC	Cornus canadensis	Bunchberry Dogwood	10cm Pot	Pot	79
	CK	Cornus stolonifera 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	1 gal.	Pot	17
	DF	Dicentra formosa	Western Bleeding-Heart	1 gal.	Pot	23
	FC2	Fragaria chiloensis	Beach Strawberry	10 cm	Pot	27
	HS	Helictotrichon sempervirens	Blue Oat Grass	1 gal.	Pot	11
	LM	Liriope muscari	Lilyturf	2 gal.	Pot	53
	MM	Miscanthus sinensis 'Morning Light'	Morning Light Eulalia Grass	1 gal.	Pot	14
	NW	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.	Pot	11
	PM	Polystichum munitum	Western Sword Fern	1 gal.	Pot	24
	PL	Prunus laurocerasus 'Mount Vernon'	Mount Vernon English Laurel	1 gal.	Pot	26
	SH	Sarcococca hookeriana humilis	Trailing Sweetbox	1 gal.	Pot	38
	SA	Sedum x 'Autumn Joy'	Autumn Joy Sedum	1 gal.	Pot	8
	TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5' Ht.	B&B	4

*NOTE: PLANT SCHEDULE SHOWN IS FOR THE MASON STREET STREETSCAPE / PLAZA AND PANDORA STREET STREETSCAPE ONLY. REFER TO CHILD CARE AREA PLANTING PLAN AND SCHEDULE FOR QUANTITIES IN THE PLAY AREA .

SOIL VOLUME SUMMARY TABLE

TREE PLANTING AREA ID	AREA (M²)	SOIL VOLUME MULTIPLIER	ESTIMATED SOIL VOLUME (M³)	NUMBER OF TREES *			SOIL VOLUME REQUIRED (M³)
				S	M	L	
TREE PLANTING AREA 1	18.90	0.8	15.12	0	1	0	15.00
TREE PLANTING AREA 2	28.10	0.7	19.67	0	1	0	15.00
TREE PLANTING AREA 3 ****	-	-	-	0	0	0	0.00
TREE PLANTING AREA 4	19.40	0.7	13.58	2	0	0	12.00
TREE PLANTING AREA 5	13.70	0.7	9.59	1	0	0	6.00
TREE PLANTING AREA 6	22.70	1.0	22.70	3	0	0	18.00
TREE PLANTING AREA 7	9.05	0.7	6.34	1	0	0	6.00
TREE PLANTING AREA 8	15.6	0.7	10.92	1	0	0	6.00
TREE PLANTING AREA 9	15.77	1.0	15.77	0	1	0	15.00

* SEE TREE PROTECTION BYLAW 21-035 FOR THE SOIL VOLUME REQUIREMENTS BREAK DOWN.
** ALL REPLACEMENT TREES ON THE ROOFTOP ARE TO BE PLANTED IN THE MINIMUM SOIL VOLUME.
*** ALL TREES PROPOSED FOR REPLACEMENT ARE ON SITE.
**** NOTE, THE PROPOSED TREE HAS BEEN REMOVED FROM TREE PLANTING AREA 3

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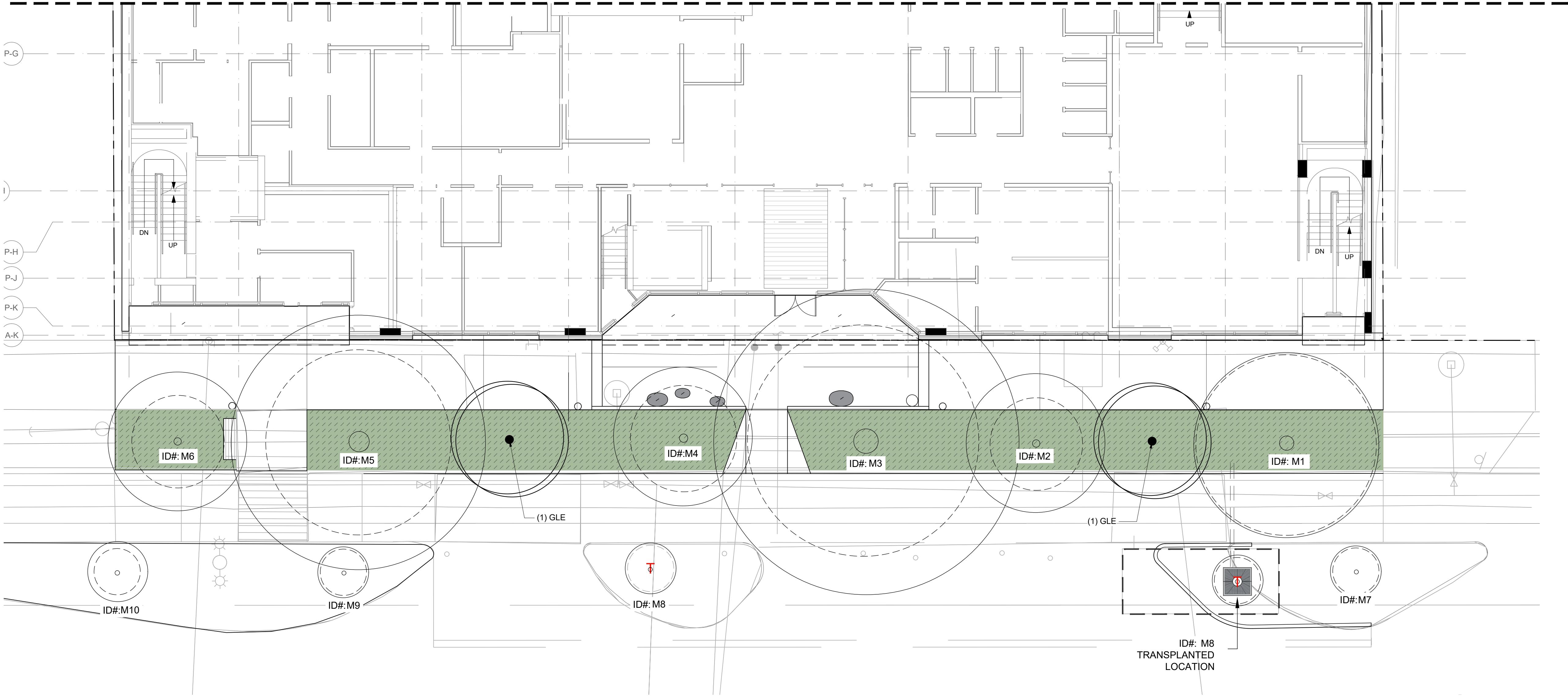
PLANTING PLAN - NORTH

Title

21-313 As Noted
Project No. Scale

L1.4 3
Drawing No. Permit No. Revision

MATCHLINE SEE L1.4



1 PLANTING PLAN - SOUTH
SCALE: 1:100

LEGEND

- PROPERTY LINE
- CRITICAL ROOT ZONE
- DRIPLINE
- TRUNK DBH
- EXISTING TREE TO BE RETAINED (SEE TREE MANAGEMENT PLAN BY ARBORIST)
- EXISTING TREE TO BE REMOVED AND TRANSPLANTED AT INDICATED LOCATION (SEE TREE MANAGEMENT PLAN BY ARBORIST)
- SOD LAWN BOULEVARD PER COV STANDARD.
- SOIL CELL TRENCH

NOTES

1. SEE L1.4 FOR PLANT SCHEDULE AND PLANTING NOTES.

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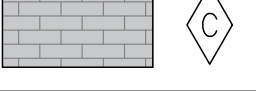
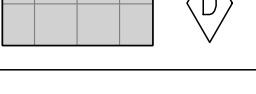
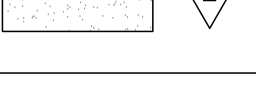
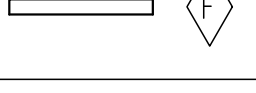
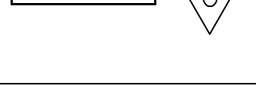
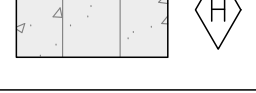
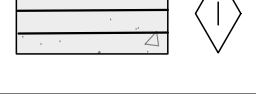
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Project
PLANTING PLAN - SOUTH

Title

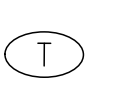
21-313	As Noted
Project No.	Scale
L1.5	3
Drawing No.	Permit No. Revision

HARDSCAPE SCHEDULE

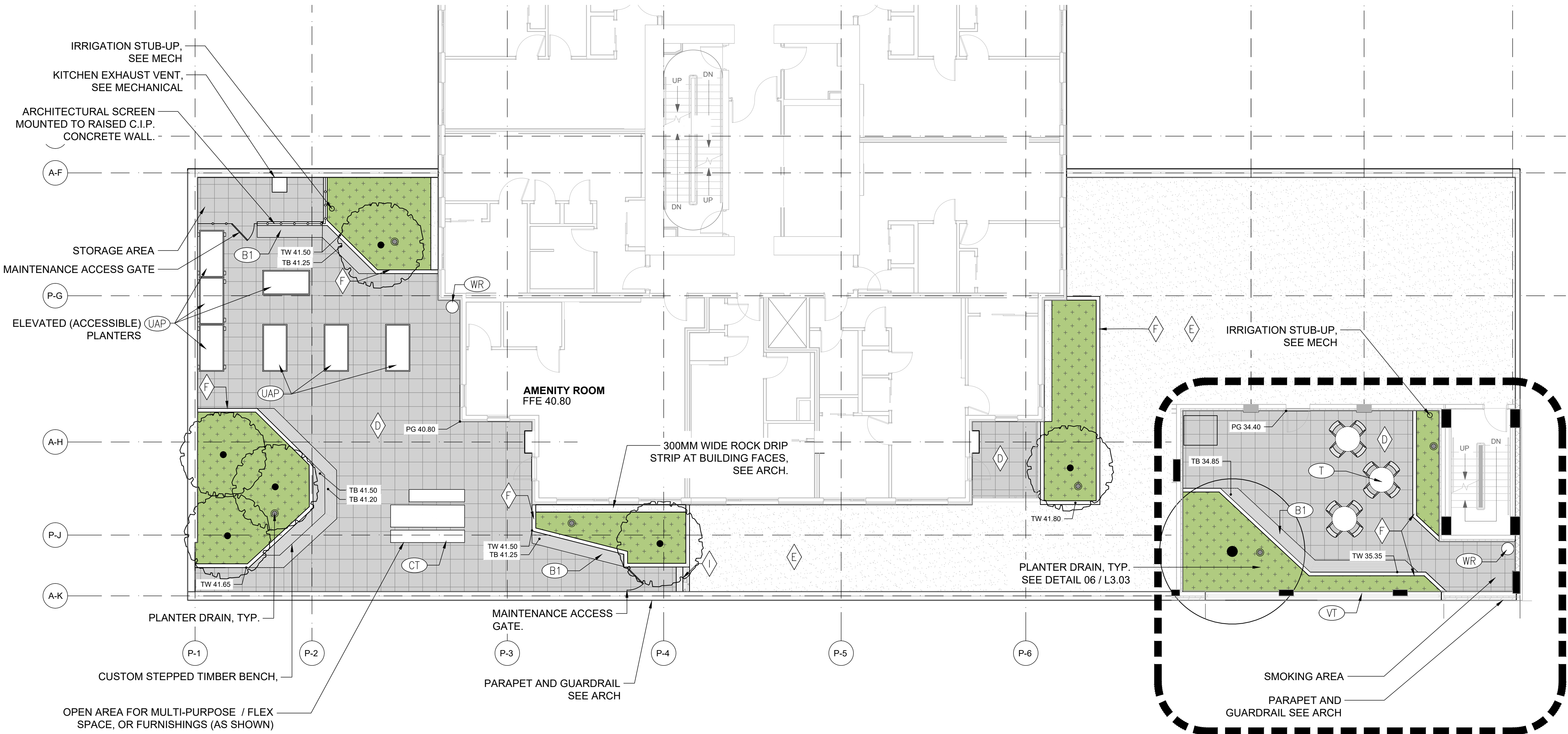
SYMBOL	TYPE	FINISH/COLOUR/NOTES
	CIP CONCRETE SIDEWALK	FINISH AND SCORING PATTERN PER CoV STANDARDS FOR NEW TOWN, SEE CIVIL FOR GRADING
	CIP CONCRETE WALKWAY WITH INTEGRAL COLOR	SOLOMON COLOURS DRY INTEGRAL COLOUR MIX - ONYX,
	UNIT PAVERS TYPE 1	CLASSIC STANDARD PAVERS BY BELGARD, RUNNING BOND
	UNIT PAVERS TYPE 2 (ROOF DECKS)	TEXADA SLABS BY BELGARD, 450MM X 450MM
	DECORATIVE ROCK (ROOF DECKS)	WASHED PEBBLE
	C.I.P. CONCRETE PLANTER WALL	HEIGHT VARIES
	C.I.P. CONCRETE RETAINING WALL	HEIGHT VARIES
	C.I.P. CONCRETE UNIVERSAL ACCESS RAMP	MAX 1:12 (8.3%)
	CIP CONCRETE STAIRS	RISER HEIGHT VARIES TACTILE INDICATOR STRIP AT TOP LANDING
	UNIT PAVERS TYPE 3	PRECAST CONCRETE UNIT PAVERS PER CoV STANDARD, RUNNING BOND, FLUSH CIP CONCRETE EDGE
	BASALT PAVER BAND	MORTAR SET BASALT PAVERS PER CoV STANDARDS, 300MM X 450MM X 60MM

SITE FURNISHINGS SCHEDULE

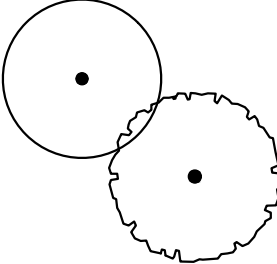
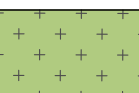
SYMBOL	ITEM	DESCRIPTION/NOTES
	PLANTER WALL BENCH	TIMBER BENCH MOUNTED TO C.I.P. CONCRETE SEAT WALL
	CoV STANDARD BENCH	PER CoV STANDARDS FOR NEW TOWN, BENCHES TYPE H AND I, SURFACE MOUNTED, SEE PLANS FOR LOCATIONS
	BIKE RACK TYPE 1	PER CoV STANDARDS, SURFACE MOUNTED
	WASTE RECEPTACLE	PER CoV STANDARDS FOR NEW TOWN, TYPE A RECEPTACLE, SURFACE MOUNTED
	FEATURE / PLAYFUL SEATING ELEMENT	PRECAST CONC. PEBBLE, BY SANDERSON CONCRETE, VARYING SIZES
	FENCE TYPE 1 - METAL FENCE AND GATE (4' HEIGHT)	SEE DETAIL 02 / L1.8
	FENCE TYPE 2 - SECURE FENCE AND GATES AROUND CHILDCARE AREA (6' HEIGHT)	SOLID, NON CLIMBABLE FENCE, SEE DETAIL 01/L1.8

SYMBOL	ITEM	DESCRIPTION/NOTES
	VINE TRELLIS	VERTICAL VINE TRELLIS BY GREENSCREEN. SEE ARCH.
	CAFE TABLE AND CHAIRS	PARC CENTRE BY LANDSCAPE FORMS, OR APPROVED EQUAL
	COMMUNAL TABLE	SOLID PICNIC SET BY STREETLIFE, OR APPROVED EQUAL
	GUARD RAIL	SEE DETAIL 02 / L1.8
	HAND RAIL	SEE DETAIL 01 / L1.8
	TREE GRATE WITH METAL TREE GUARD	PER CoV STANDARDS
	URBAN AGRICULTURE PLANTER	ARTIFEX SELF-WATERING PLANTER, OR APPROVED EQUAL

* TOTAL ONSITE BIKE PARKING = 24



LEGEND

-  PROPOSED DECIDUOUS TREE, SEE PLANTING PLAN
-  MIXED SHRUB AND GROUNDCOVER PLANTING, SEE PLANTING PLAN
- PLANTER DRAIN

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Project
LANDSCAPE MATERIALS
PLAN - AMENITY DECKS

Title

21-313 As Shown
Project No. Scale

L1.6
Drawing No. Permit No. Revision

PLANT SCHEDULE ROOFTOP PLANTING

SYMBOL CODE BOTANICAL NAME COMMON NAME SIZE CONTAINER QTY DETAIL

TREES

	BET	Betula nigra 'Dura Heat'	Dura Heat Birch	6 cm cal.	B&B	1	
	SO	Styrax obassia	Fragrant Snowbell	7 cm Cal.	B&B	6	

SYMBOL CODE BOTANICAL NAME COMMON NAME SIZE CONTAINER QTY

SHRUBS

	AM	Achillea millefolium	Common Yarrow	1 gal.	Pot	15	
	AF	Athyrium filix-femina	Common Lady Fern	1 gal.	Pot	9	
	CA	Clematis armandii 'Apple Blossom'	Evergreen Clematis	1 gal.	Pot	8	
	CC	Cornus canadensis	Bunchberry Dogwood	10cm Pot	Pot	23	
	DF	Dicentra formosa	Western Bleeding-Heart	1 gal.	Pot	21	
	FC2	Fragaria chiloensis	Beach Strawberry	10 cm	Pot	70	
	HS	Helictotrichon sempervirens	Blue Oat Grass	1 gal.	Pot	31	
	LA2	Lavandula angustifolia	English Lavender	1 gal.	Pot	26	
	LM	Liriope muscari	Lilyturf	2 gal.	Pot	7	
	LP	Lonicera pileata	Privet Honeysuckle	1 gal.	Pot	12	
	MM	Miscanthus sinensis 'Morning Light'	Morning Light Eulalia Grass	1 gal.	Pot	11	
	NW	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.	Pot	27	
	PM	Polystichum munitum	Western Sword Fern	1 gal.	Pot	36	
	SH	Sarcococca hookeriana humilis	Trailing Sweetbox	1 gal.	Pot	23	
	SA	Sedum x 'Autumn Joy'	Autumn Joy Sedum	1 gal.	Pot	15	
	SM	Stipa tenuissima	Mexican Feather Grass	1 gal.	Pot	32	

LEGEND

--- PROPERTY LINE
 TREE PLANTING AREA
SEE SHEET L1.4 FOR SOIL
VOLUME SUMMARY TABLE



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**PLANTING PLAN -
ROOFDECKS**

Title

21-313 As Shown
Project No. Scale

L1.7 3
Drawing No. Permit No. Revision



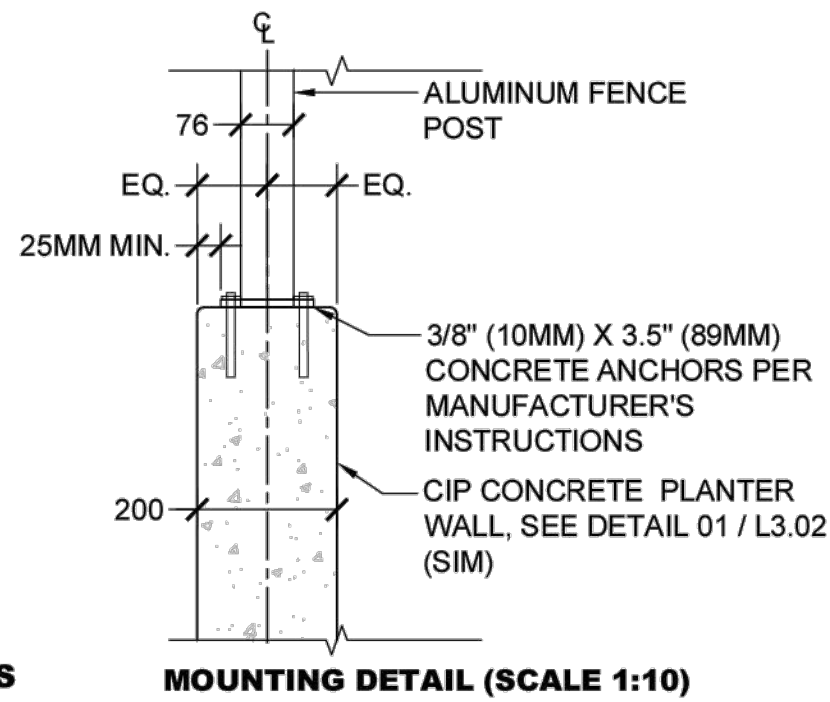
IMAGE 01 - 6' (1.8M HIGH) NON CLIMBABLE FENCE AND GATE



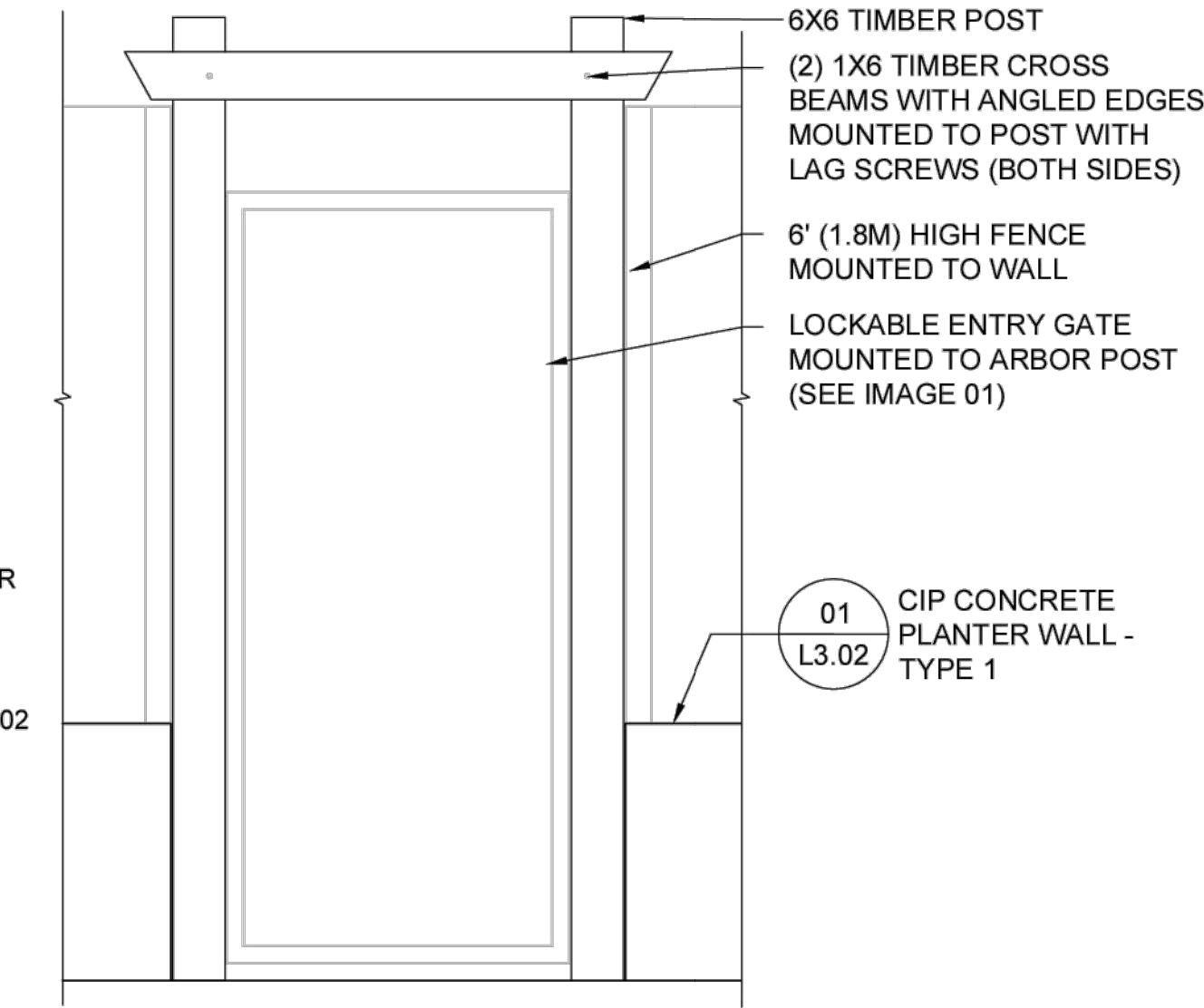
IMAGE 02 - PEEKABOO PORTAL



IMAGE 03 - PAINTED SLATS



MOUNTING DETAIL (SCALE 1:10)



ENTRY ARBOR ELEVATION (1:20)

NOTES:

- 6' (1.8M) HIGH NON-CLIMBABLE FENCE.
- CUSTOM TIMBER SLAT FENCE WITH ALUMINUM POSTS.
- ALUMINUM POSTS TO BE HOFT 6' LINE POST KIT, OR APPROVED EQUAL. SURFACE MOUNT POSTS TO C.I.P CONCRETE WALL PER MANUFACTURER'S INSTRUCTIONS.
- TWO GATES, SEE LANDSCAPE MATERIALS PLAN L1.01 FOR LOCATIONS. DESIGN TO MATCH FENCE.
- ALL ALUMINUM PARTS AND PIECES TO BE POWDER COATED. POWDER COAT COLOUR TO MATCH FENCE TYPE 1.
- ALL WOOD TO BE TIGHT-KNOT CEDAR, NO. 2 GRADE OR BETTER, SANDED SMOOTH.
- CEDAR SLATS FACING MASON STREET AND PLAZA TO BE PAINTED. PAINT COLOUR TBC WITH ARCH.
- CEDAR SLATS FACING DAYCARE TO BE CLEAR STAINED OR PAINTED PER IMAGE 03.
- PEEKABOO PORTALS PER IMAGE 02 AND AS INDICATED ON L1.04.
- ENTRY ARBOR OVER MAIN GATE (SEE ELEVATION) ARBOR TO BE PAINTED TO MATCH FENCE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCE, PEEKABOO PORTAL, GATE, AND ARBOR ASSEMBLY INCLUDING PLANS, ELEVATIONS, FINISHES, CONNECTIONS, AND HARDWARE.
- REFER TO SECURITY DRAWINGS FOR GATE HARDWARE

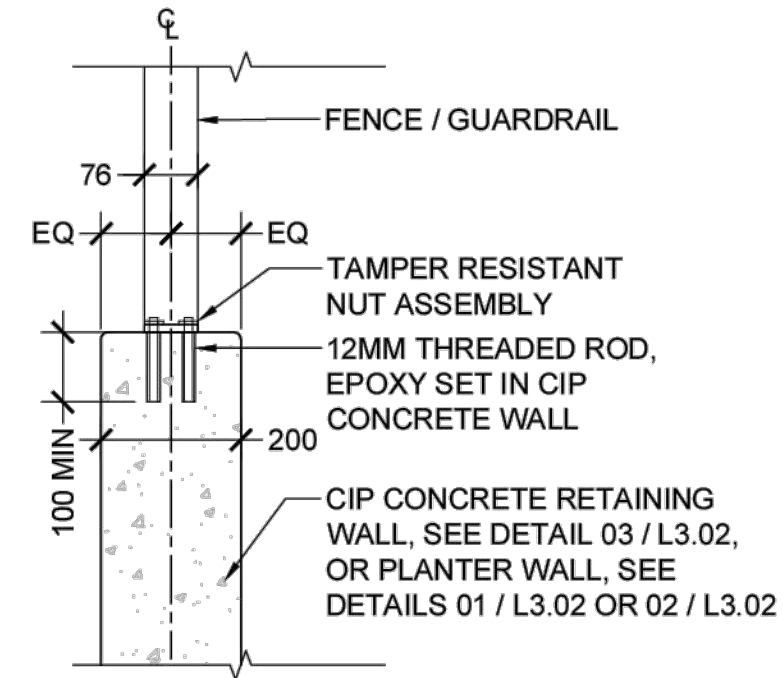
NOTES:

- FENCE MANUFACTURER: LANDSCAPE FORMS FENCE TYPE 1 MODEL & INFO:
 - LINE FENCE PANELS
 - MODEL: VERTICAL LOUVER - STRAIGHT
 - HEIGHT: 4' (1.2 M)
 - POWDERCOAT COLOUR: BLACK
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCE ASSEMBLY INCLUDING PLANS, ELEVATIONS, FINISHES, CONNECTIONS, AND HARDWARE
- SURFACE MOUNT POSTS TO CONCRETE WALL OR FOOTING, SEE MOUNTING DETAILS AND PLANS
- (2) GATE LOCATIONS:
 - WEST (MAIN) GATE: STANDARD LINE GATE, DOUBLE SWING
 - EAST GATE: CUSTOM, SEE DETAIL 01 / L3.05
- REFER TO SECURITY DRAWINGS FOR GATE HARDWARE

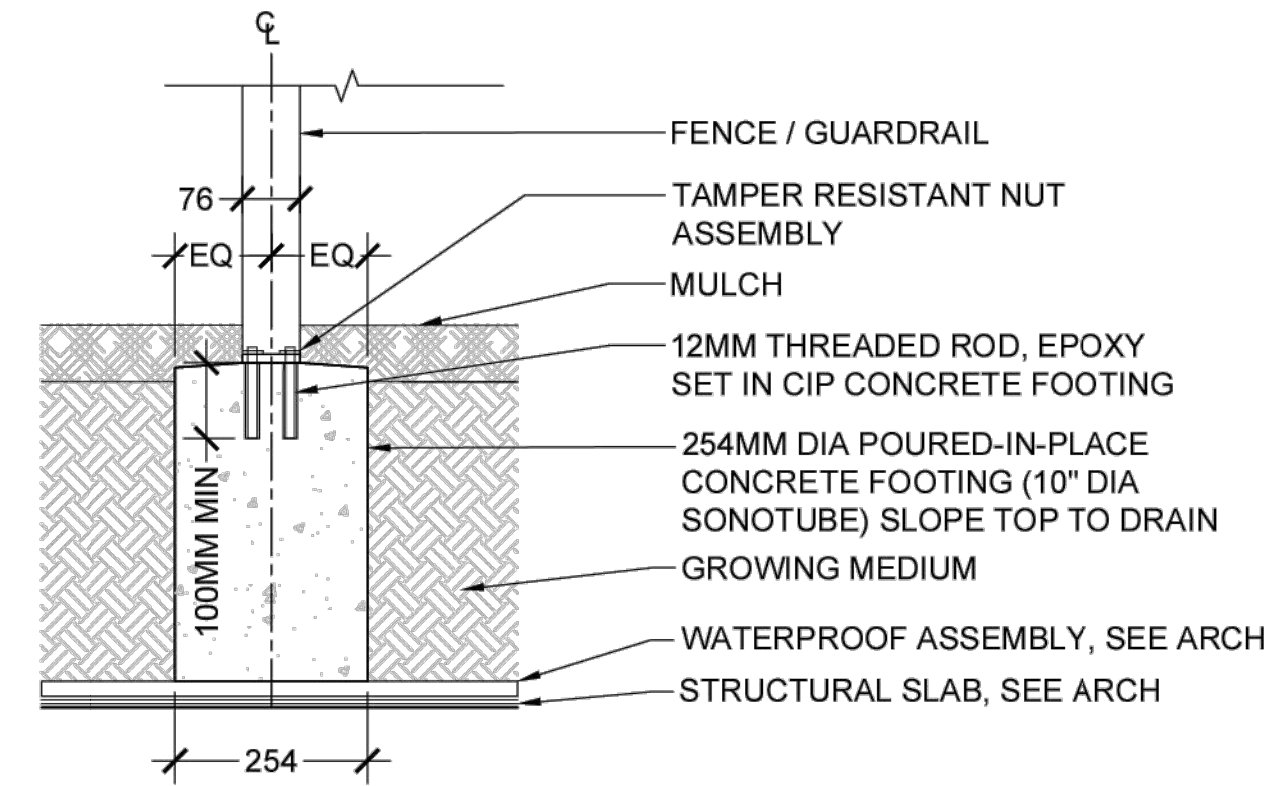


02 FENCE TYPE 1 AND GUARDRAIL

SCALE: NTS



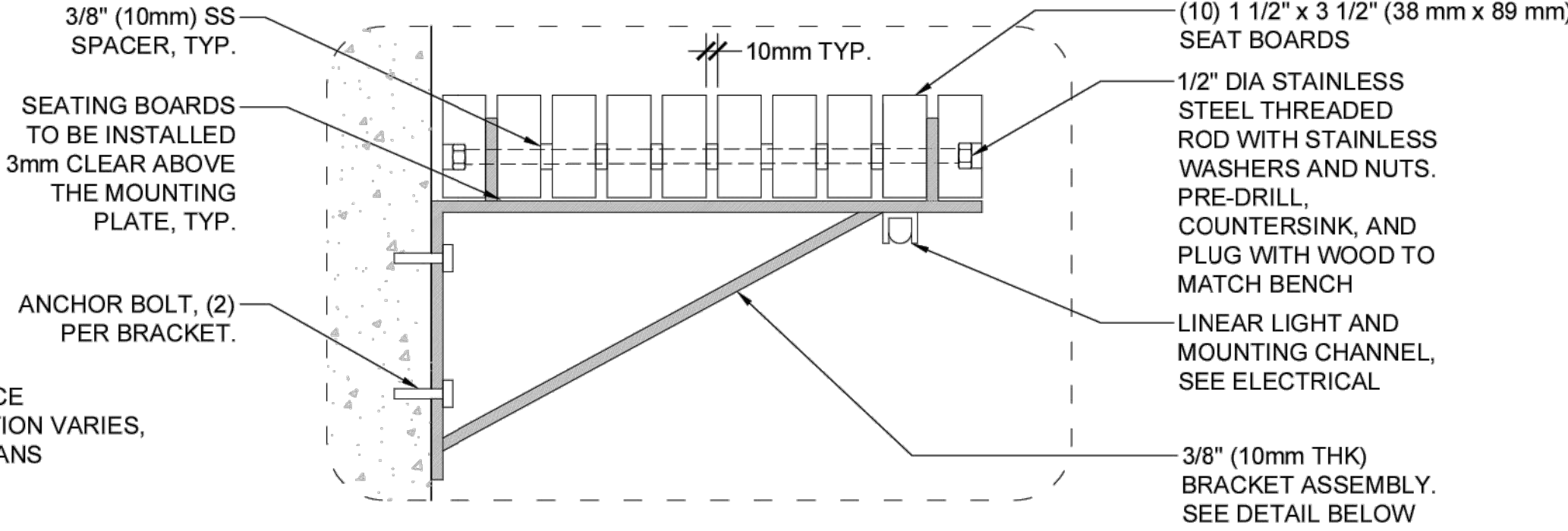
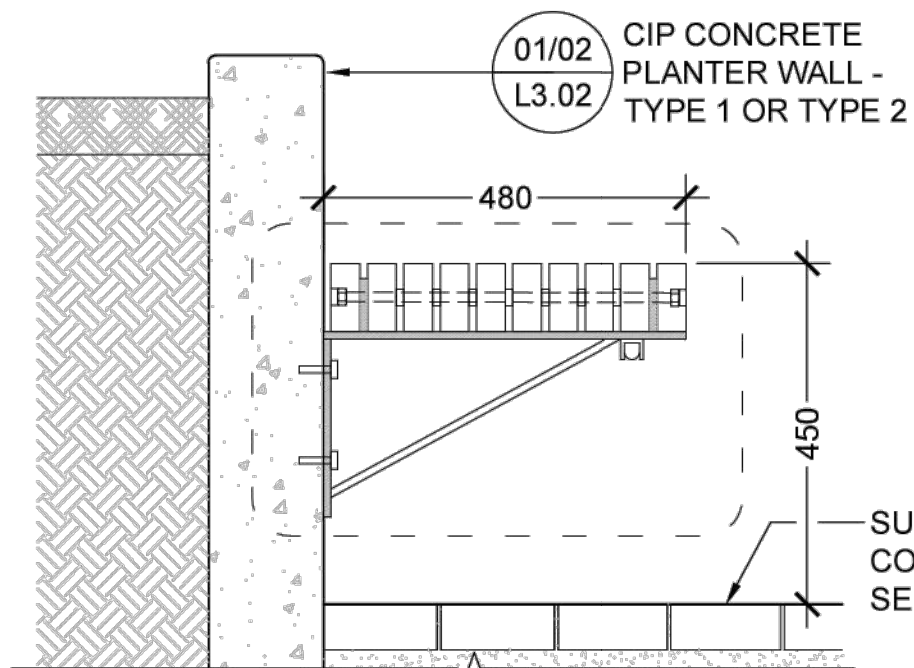
MOUNTING DETAIL - TYPICAL CONDITION AT RETAINING WALL AND PLANTER WALL (SCALE 1:10)



MOUNTING DETAIL - TYPICAL CONDITION IN RAISED PLANTER BED (SCALE 1:10)

01 FENCE TYPE 2

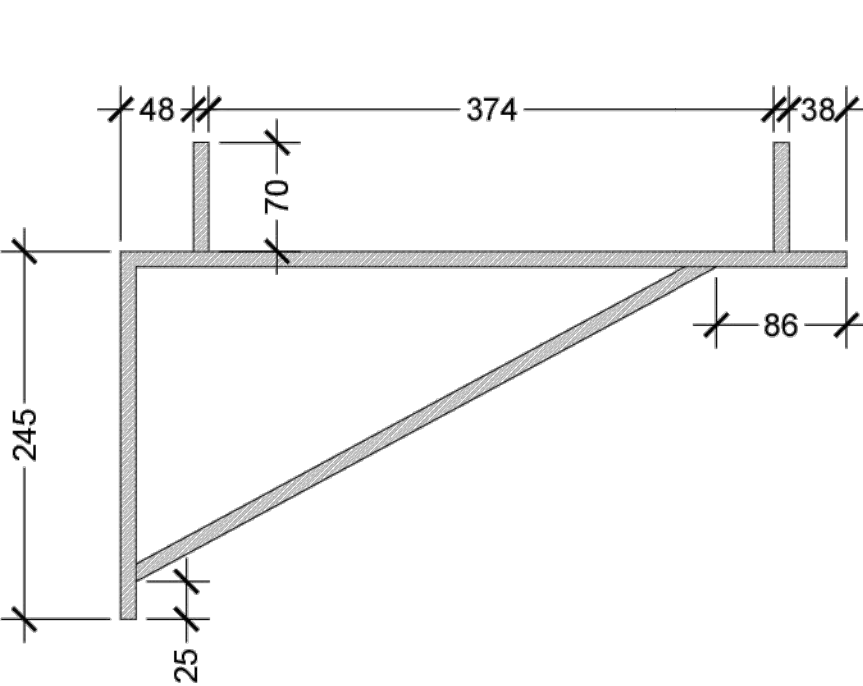
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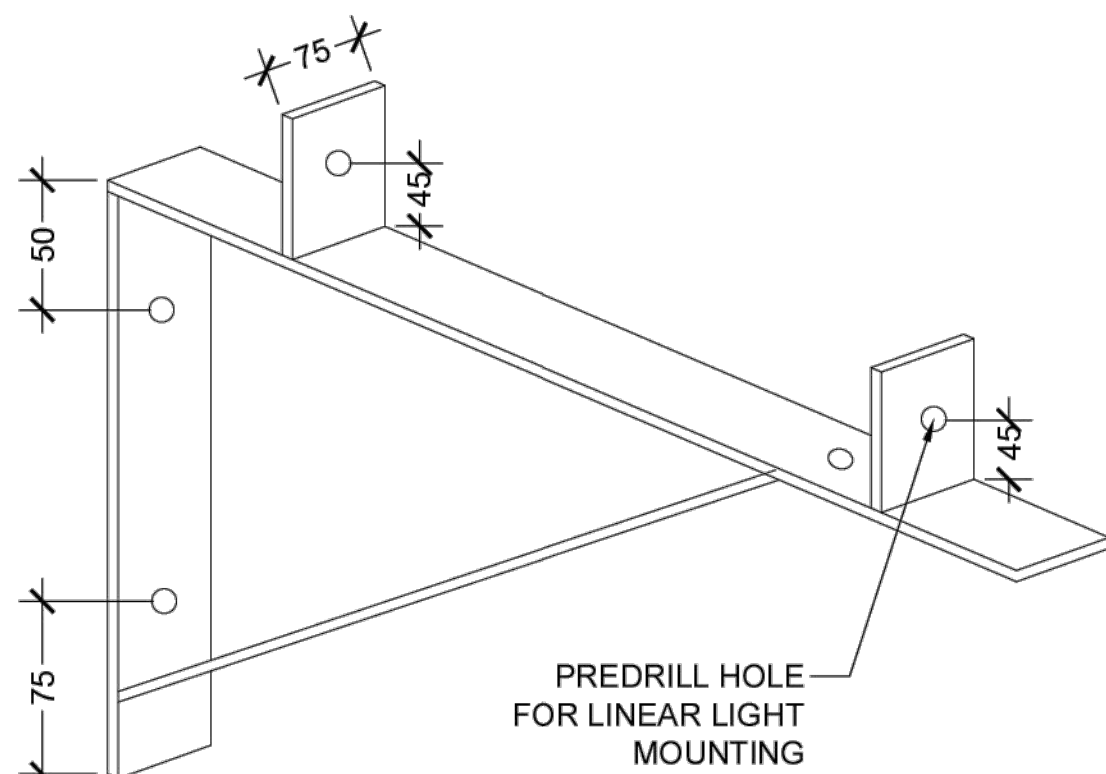
ENLARGEMENT DETAIL: BENCH TOP MOUNT SCALE: 1:5

NOTES:

- SHOP DRAWING TO BE PROVIDED BY METAL FABRICATOR FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING.
- SPACE MOUNTING BRACKETS EQUALLY, 1M O.C. MAX.
- ALL METAL PLATES TO BE MILD STEEL, OR APPROVED EQUAL.
- ALL ATTACHMENTS, INCLUDING NUTS, WASHERS AND BOLT HEADS TO BE STAINLESS STEEL.
- ALL PLATES AND BRACKETS TO BE PRE-DRILLED TO RECEIVE FASTENERS.
- ALL PLATES AND EXPOSED STEEL ATTACHMENTS TO BE PAINTED, COLOUR BLACK.
- GRIND ALL CUT / WELDED SURFACES TO SMOOTH UNIFORM FINISH.
- ALL WOOD TO BE SUSTAINABLY SOURCED AND CERTIFIED DOMESTIC THERMALLY MODIFIED AMERICAN ASH, OR APPROVED EQUAL.



ENLARGEMENT DETAIL: MOUNTING BRACKET SCALE: 1:5



BRACKET ASSEMBLY SCALE: NTS

03 WALL MOUNTED BENCH

SCALE: 1:10



REFERENCE IMAGE (NTS)

NOTES:

MANUFACTURER: SANDERSON CONCRETE (WWW.SANDERSONCONCRETE.CA)

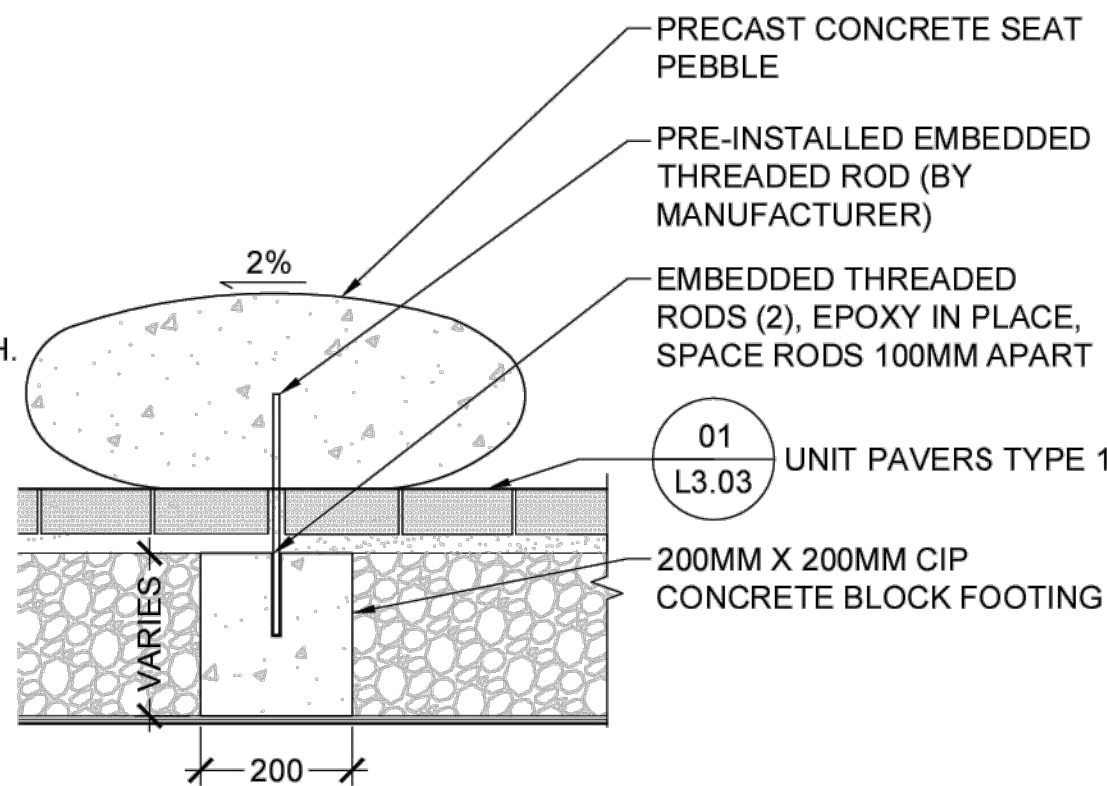
PRODUCT: SEAT PEBBLE (CUSTOM)

MATERIAL / FINISH: SMOOTH, SLIP-RESISTANT FINISH. INTEGRAL COLOURED CONCRETE - MATCH SHADE WITH C.I.P. CONCRETE PAVING (ONIX BY SOLOMON COLOURS, OR APPROVED EQUAL)

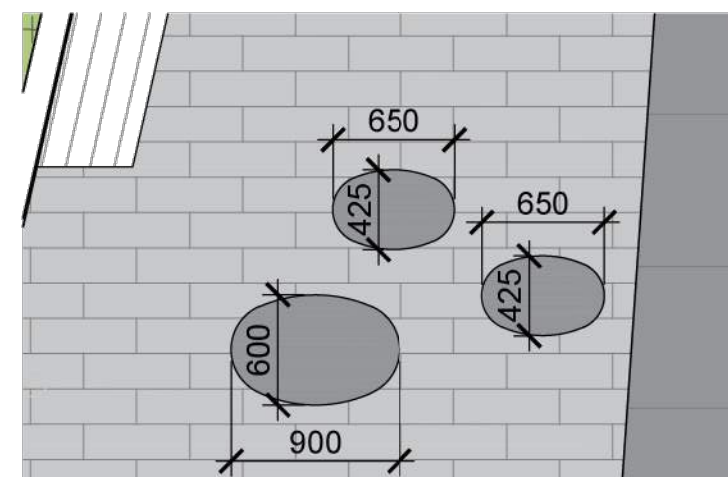
SIZES:

- SMALL: 425mm x 650mm x 400mm
- MEDIUM 1: 600mm x 900mm x 450mm
- MEDIUM 2: 700mm x 1050mm x 450mm
- LARGE: 850mm x 1300mm x 500mm

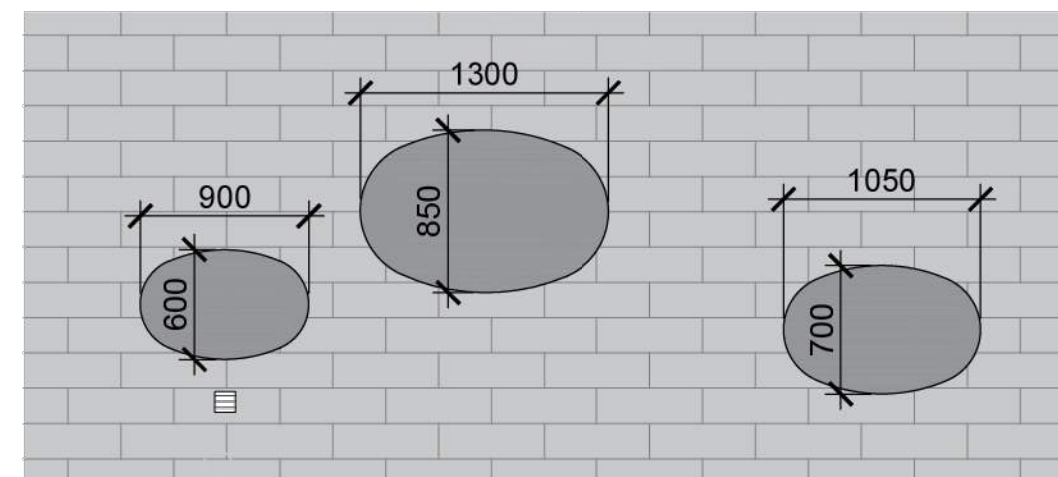
ALL PEBBLES TO HAVE 2% CROSS SLOPE TO DRAIN SMALL SIZE PEBBLES (425MM X 650MM) TO BE MOUNTED WITH (2) EMBEDDED THREADED RODS TO C.I.P. CONCRETE FOOTING.



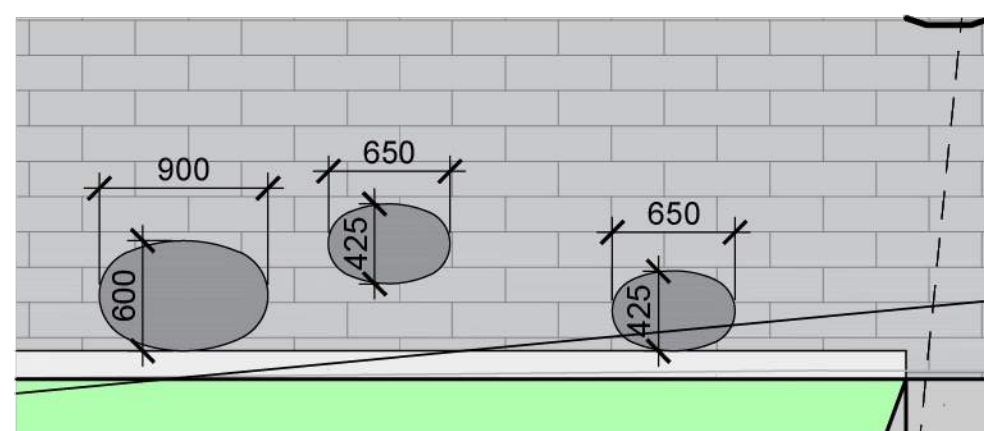
MOUNTING DETAIL - SMALL PEBBLES (SCALE 1:10)



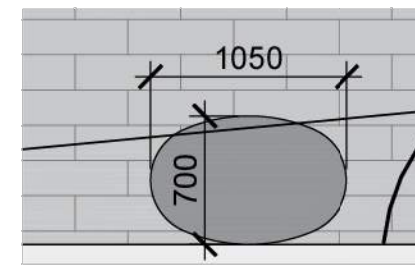
PLAN - MASON ST. PLAZA PEBBLES, GROUPING 1



PLAN - MASON ST. PLAZA PEBBLES, GROUPING 2



PLAN - PANDORA AVE. PEBBLE GROUPING



PLAN - PANDORA AVE. PEBBLE

04 SEAT PEBBLE

SCALE: NTS

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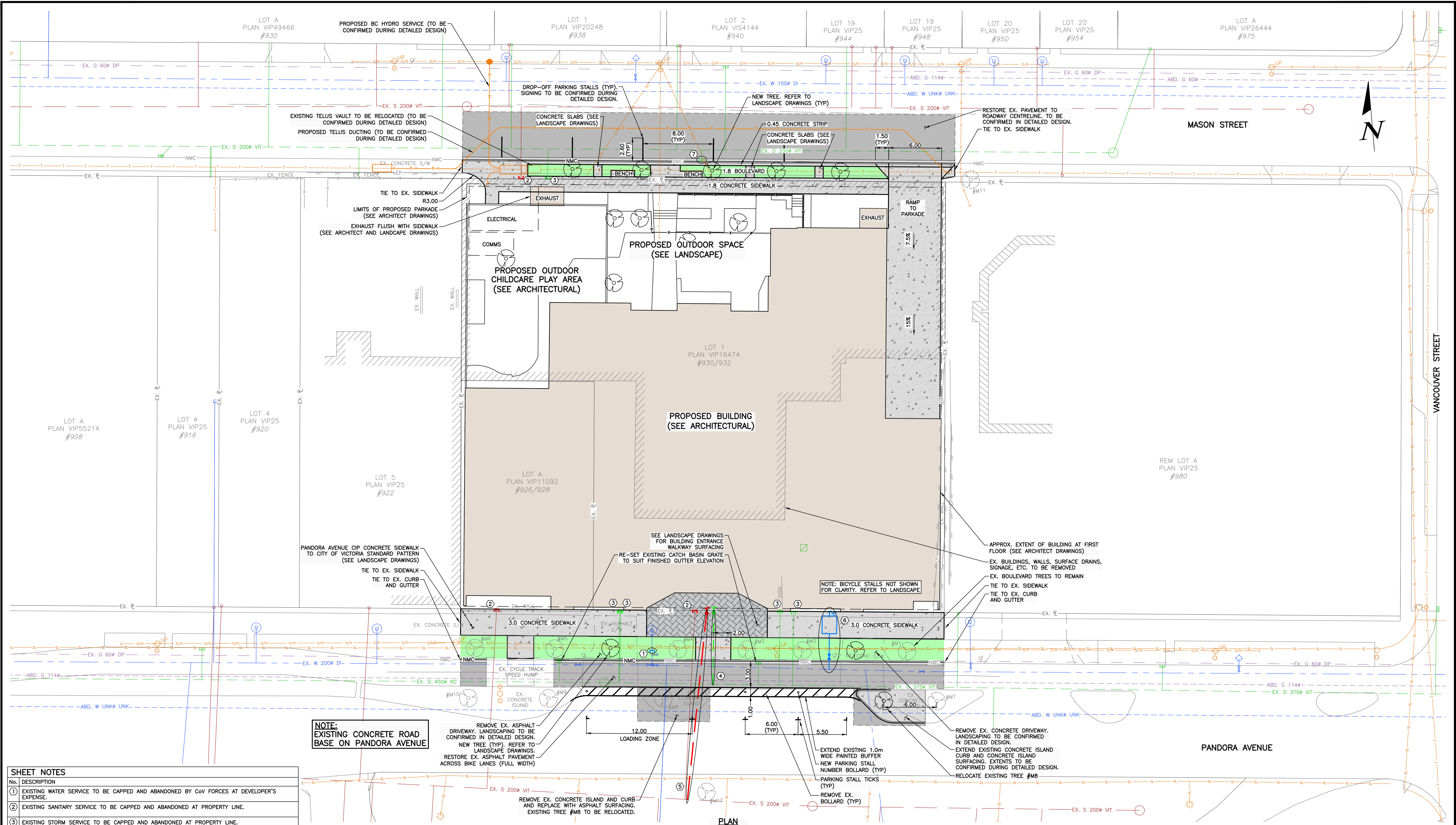
LANDSCAPE DETAILS

Title

21-313 As Shown
Project No. Scale

L1.8

Drawing No. Permit No. Revision



SHEET NOTES	
No.	DESCRIPTION
1	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
2	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
3	EXISTING STORM SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
4	NEW 200" STORM SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
5	NEW 150" SANITARY SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
6	NEW 100" DOMESTIC WATER SERVICE CONNECTION AND 150" FIRE WATER SERVICE CONNECTION c/w METER VAULT (PER CoV DWG. SD W21) BY CoV FORCES AT DEVELOPERS EXPENSE.
7	REMOVE / REPLACE EXISTING CATCH BASIN. NEW CATCH BASIN LEAD BY CoV FORCES AT DEVELOPER'S EXPENSE.
8	EXISTING TREE (SEE ARBORIST REPORT)

NOTE:
EXISTING CONCRETE ROAD
BASE ON PANDORA AVENUE

CAUTION: EXISTING UTILITIES KNOWN TO BE IN THE
PROJECT VICINITY ARE SHOWN SCHEMATICALLY AND
INCLUDE, BUT ARE NOT LIMITED TO: BC HYDRO, CITY OF
VICTORIA WATER/SANITARY/STORM DRAIN, FORTISBC, AND
TELLUS COMMUNICATIONS. FIELD LOCATES REQUIRED PRIOR
TO CONSTRUCTION. HAND DIG WERE REQUIRED.

- PLAN NOTES:
- FOR BUILDING INFORMATION, SEE DRAWINGS BY JHK ARCHITECTS.
 - FOR LANDSCAPING, SEE DRAWINGS BY LANARC CONSULTANTS.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT). NEW HYDRANT TO BE INSTALLED IF DISTANCE REQUIREMENT IS NOT MET.
 - ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE.
 - BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
 - ONSITE WALKWAYS, WALLS, BENCHES, BICYCLE STALLS AND OTHER LANDSCAPE FEATURES NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

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PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC



PROJECT: 930 PANDORA AVENUE VICTORIA, BC		SCALE HORIZ: 1:200 VERT: N/A	
TITLE: PRELIMINARY CIVIL PLAN		PROJECT NO. 22-041	
		ISSUED/REVISION	
		APPROVING AUTHORITY FILE NO.	
		DRAWING NO.	
		22-041-CSP	