

2540 - 2542 SHELBOURNE STREET



Project Rendering - North Looking View @ Shelbourne Street



Project Rendering - North Looking View @ Amenity and Play Area

PROJECT DESCRIPTION

CIVIC ADDRESS:
2540 - 2542 SHELBOURNE STREET
VICTORIA, BC
LEGAL DESCRIPTION
LOT 8 AND AMENDED LOT 10 (DD141161)
BLOCK 6, SECTION 8A VICTORIA DISTRICT PLAN 881A

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
Group C, 3 Storey Wood Construction

USES: Residential Townhomes

EXISTING ZONE: R1-B

PROPOSED ZONE: TBD

SITE AREA: 1,526m² (16,426 s.f.)

FLOOR AREAS

TOTAL PROPOSED: 1,552.5 m² (16,711 s.f.)

FLOOR SPACE RATIO: 1.02 : 1 FSR

SITE COVERAGE: 42%

OPEN SITE SPACE: 33%

GRADE OF BUILDING: North Bldg 20.3m
South Bldg 20.2m
(See Site Plan for Avg Grade Calculation)

HEIGHT OF BUILDING: North Bldg 10.7m
South Bldg 10.8m

NUMBER OF STOREYS: 3 STOREYS

RESIDENTIAL PARKING: 13 stalls (EV Ready)

BICYCLE PARKING: 15 Class 1 EV Ready (in suite)

12 Short term (rack)

SETBACKS:

North Bldg South Bldg
FRONT (Street): 8.11m 8.00m
REAR: 7.22m 3.02m
SIDE (North): 2.44m 19.19m
SIDE (South): 19.19m 2.44m
COMBINED SIDE: 4.88m 4.88m

SUITE COMPOSITION:
TOTAL: 16 SUITES
3 Bedroom: 1
2 Bedroom: 14
Ground-Oriented Units: 15
Minimum Unit Floor Area: 107.5m²

BUILDING CODE SUMMARY:

BCBC Part 9, Group C, 3 Storey Wood Construction
North Building: 303.8 m² Building Area
South Building: 336.5 m² Building Area

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

PROJECT DIRECTORY

DEVELOPER
Shelbourne Project Limited Partnership
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ARCHITECT
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LANDSCAPE CONSULTANT
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3-664 Queens Avenue, Street Level,
Victoria, BC V8T 1M5
P. 250.598.0105

ARBORIST
Talmack Urban Forestry Consultants Ltd.
Noah Talbot, BA
P. 250.896.5492

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:	
201	ROOM NAME & NUMBER
101a	DOOR NUMBER See Door Schedule
W-10	WINDOW NUMBER See Window Schedule
W1	WALL TYPE See Assemblies Schedule
2.0 hr	RATED WALL DESIGNATION
.00.00	ELEVATION DATUM
2440	CEILING HEIGHT
1	KEYNOTE SYMBOL
12	MATERIAL TAG
1 A901	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES

DRAWING LIST

A000	COVER SHEET / PROJECT DATA
A001	SURVEY
A002	SHADOW STUDY
A003	PERSPECTIVE VIEWS
A004	PERSPECTIVE VIEWS
A101	SITE PLAN
A201	L1 PLAN
A202	L2 PLAN
A203	L3 PLAN
A204	ROOF PLAN
A301	ELEVATIONS
A302	ELEVATIONS
A303	STREET ELEVATION
A401	SECTIONS
A900	AREA PLANS

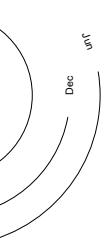
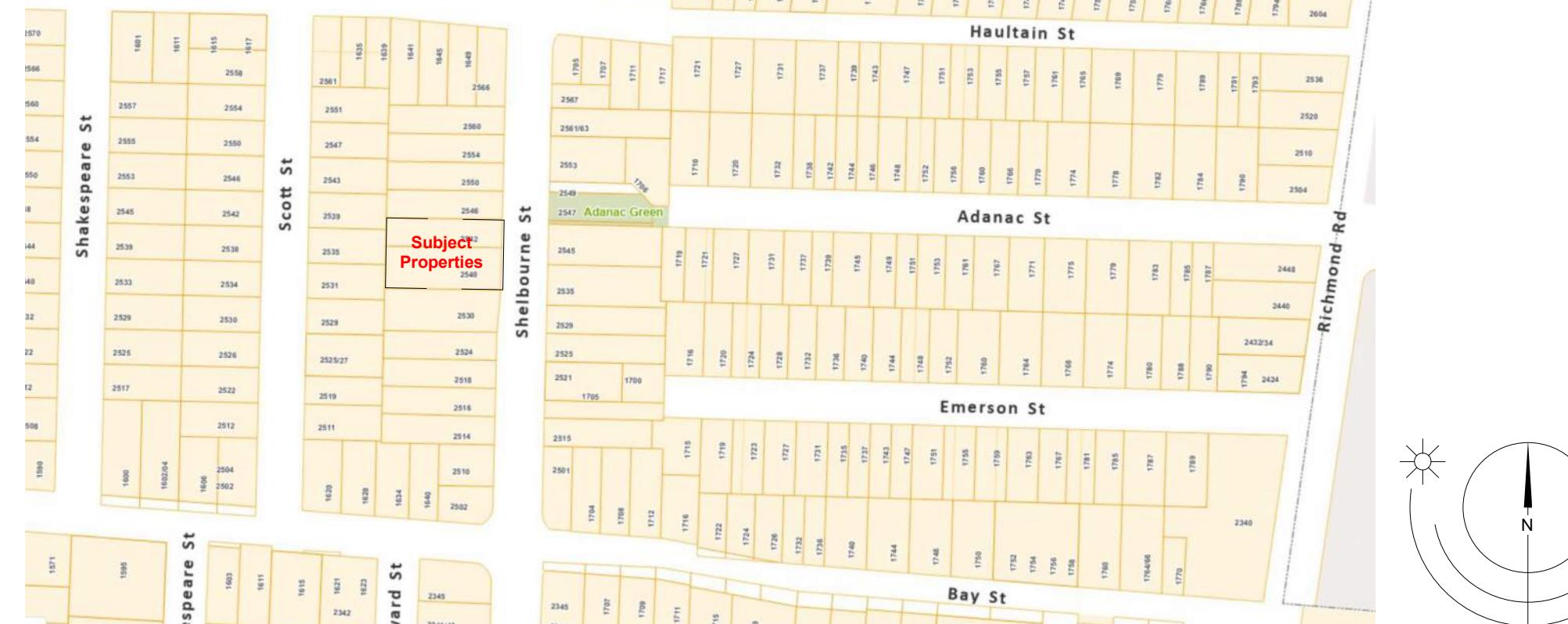
LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	S/VF	Sheet Vinyl Flooring
Cone	Cone	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
C/L	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OW	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	PF	Open Web Window	TLCGL	Tempered Laminated Glass
C/W	Complete With	PLAM	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLS	Plaster	TOD	Top of Drain
EL	Elevation	PSF	Pressed Steel Frame	TOI	Top of Insulation
EPIC	Epoxy Polymer Coating	PTD	Paper Towel Dispenser	TOS	Top of Paper
EXP AGG	Expanded Aggregate	PTD/W	Paper Towel Dispenser / Waste	TOW	Top of Stab
EXT	Exterior	PTW	Paper Towel Waste	TP	Top of Wall
FD	Floor Drain	RA	Radius	TPU	Toilet Paper
FEC	Fire Extinguisher Cabinet	RB	Rubber Base	UNF	Unfinished (for GWB means taped and filled by not sanded to surface and then painted where applicable)
FFE	Fluorescent Floor Elevation	RES	Resilient Flooring	UNO	Unless Noted Otherwise
FG	Finished Grade	RD	Rod Drain	U/S	Underside of...
GB	Grab Bar	RD-P	Rod Drain - Planter	VCT	Vinyl Composition Tile
GBL	Glass Block	RWL	Rain Water Leader	VIS	Vinyl Glass
GL	Glass	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Impact Sheet
GWG	Georgian Wire Glass	SCW	Solid Core Wood	VVC	Vinyl Tile
GWB	Gypsum Wallboard	SD	Soap Dispenser	WC	Vinyl Wall Covering
HCW	Hollow Core Wood	SL	Seal	WD	Water Closet
H/C	Hollow Core	SP	Sandperl Glass	WPM	Waterproof Membrane
HM	Hollow Metal	SPC	Solid Particleboard Core	WRC	Water Repellant Coating

REVISIONS

Bubbled areas indicate revisions compared to the previously submitted plans.



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23/07/27 ISSUED FOR DP AMENDMENTS
23/04/20 ISSUED FOR DP AMENDMENTS
22/10/04 ISSUED FOR DP AMENDMENTS
22/10/24 ISSUED FOR ADP
22/07/18 ISSUED FOR REZONING

Plot Date 23/09/01 Drawing File
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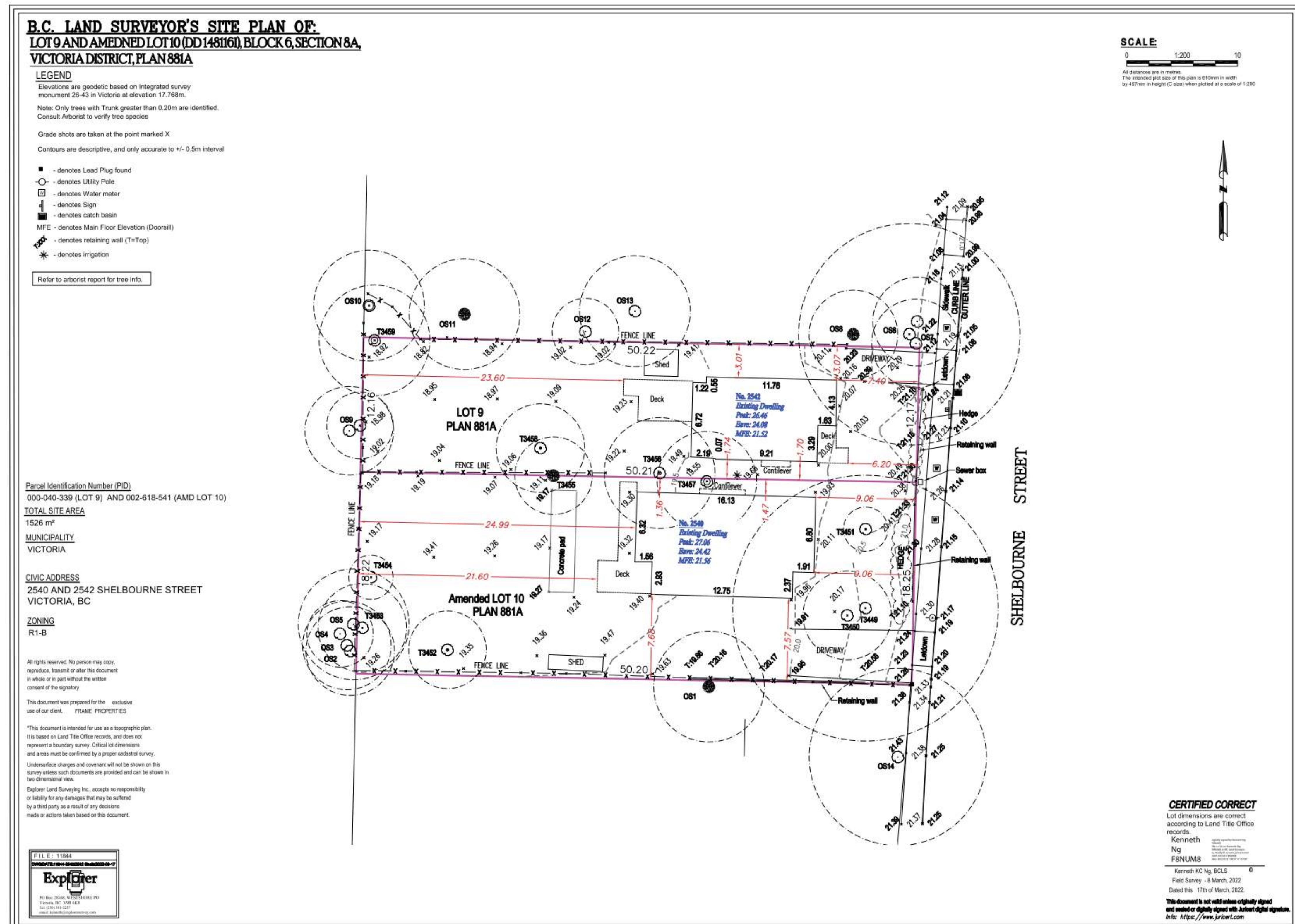
NOTE: All dimensions are shown in millimeters.

FERNWOOD TOWNHOMES
2540 & 2542 Shelbourne Street, Victoria, BC
Project Data



dhKa A000

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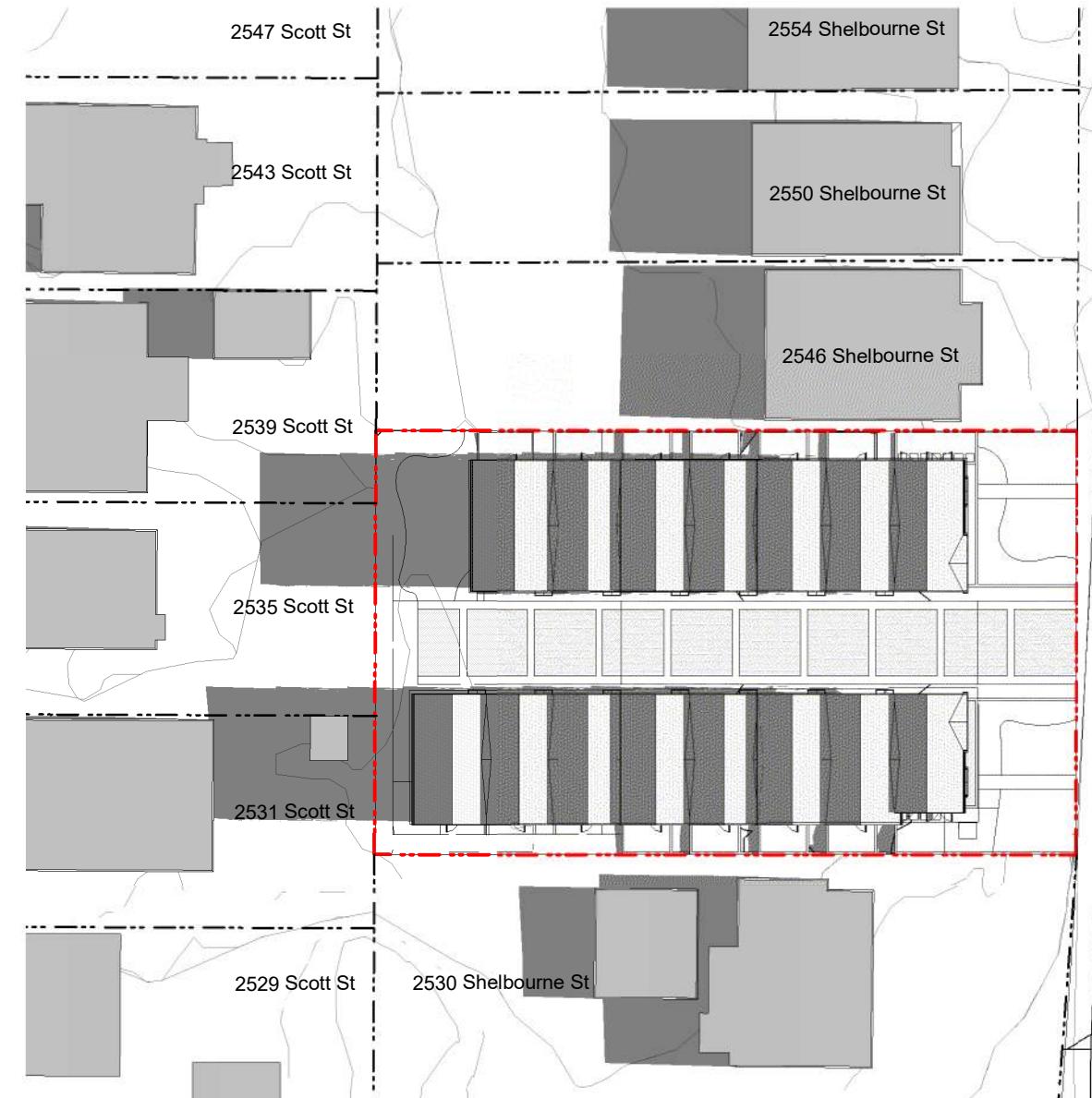


**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Survey



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1 Shadow Study - Summer Solstice (Jun 21) 8AM
A002



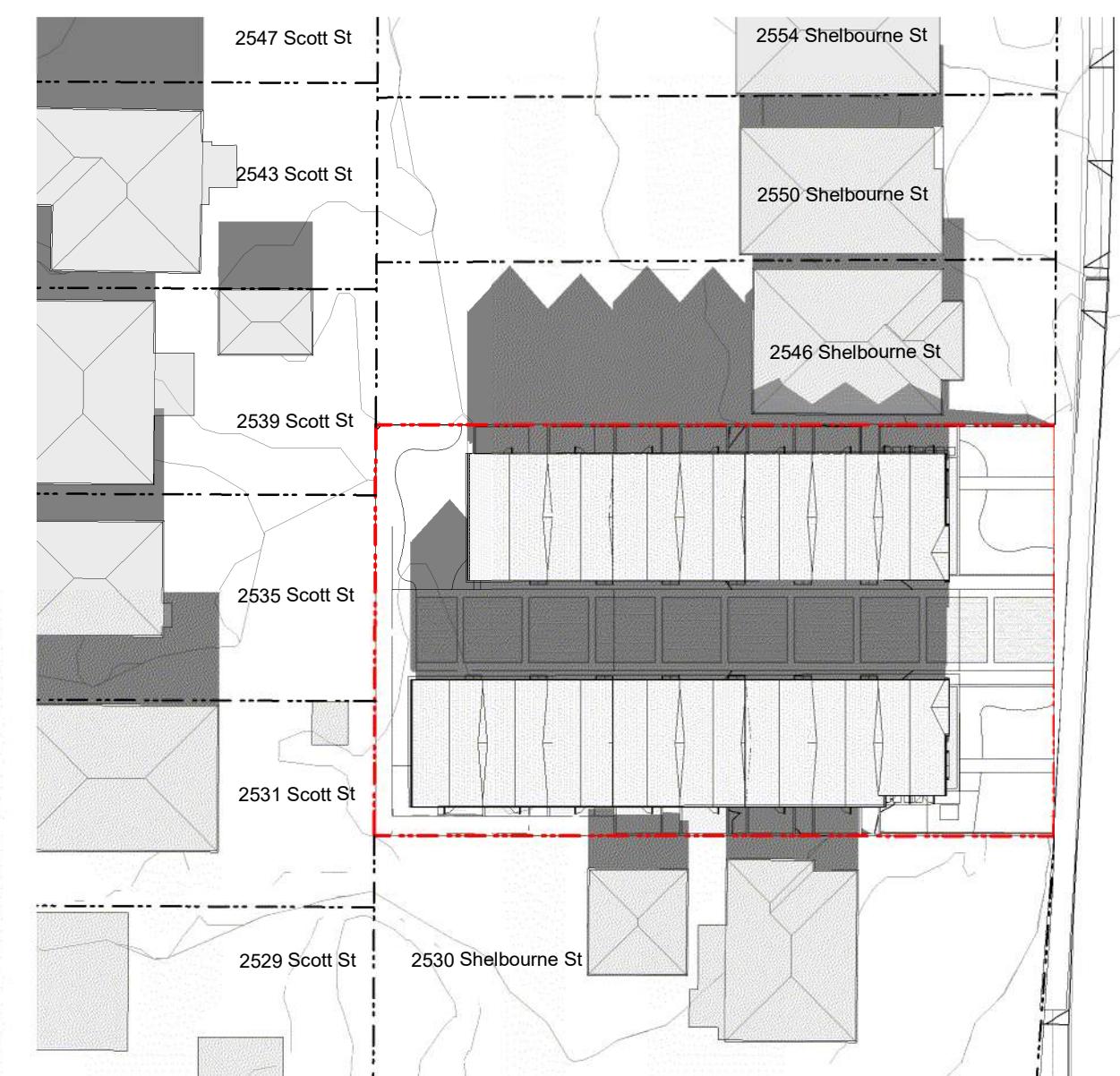
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A002



7 Shadow Study - Fall Equinox (Sep 21) 8AM
A002



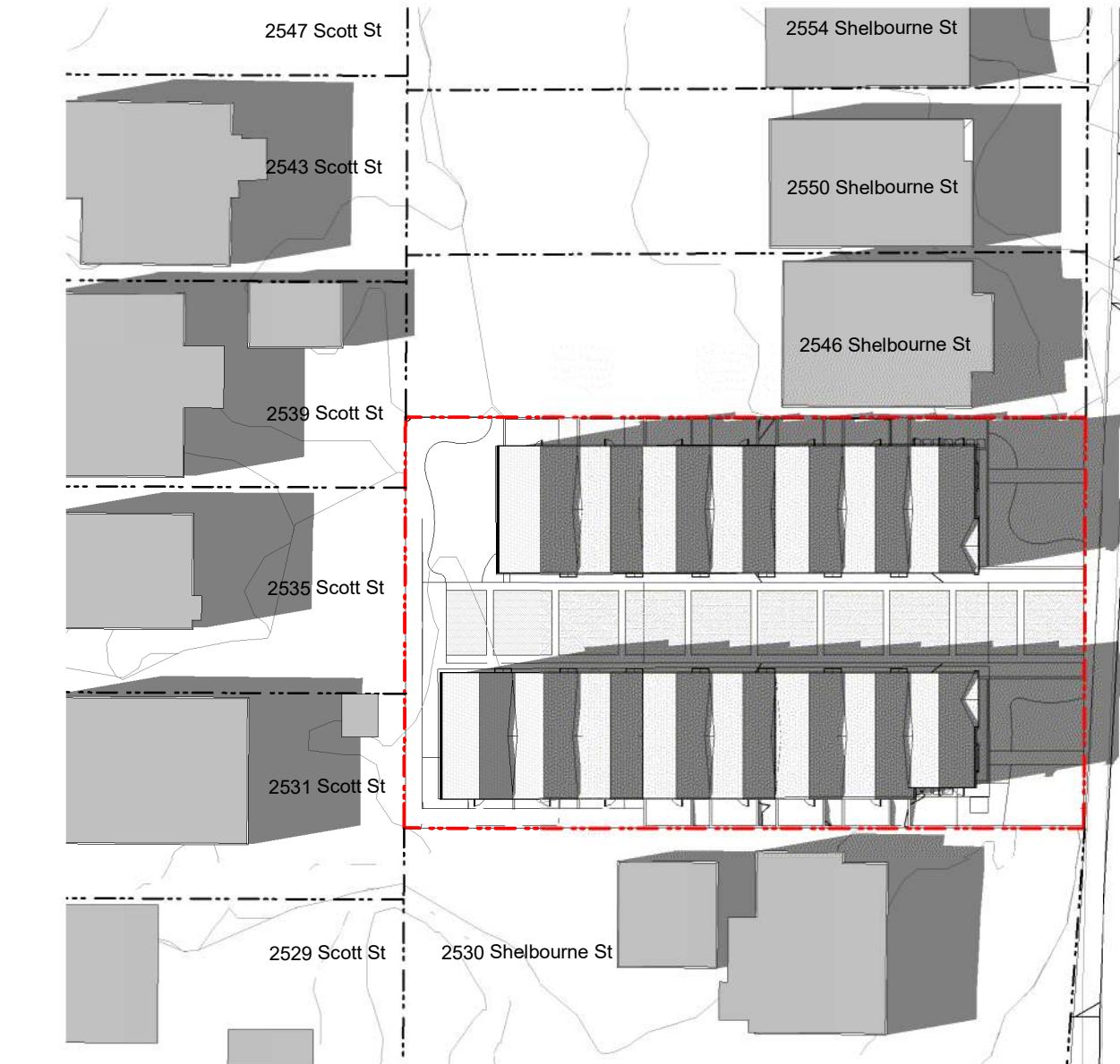
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A002



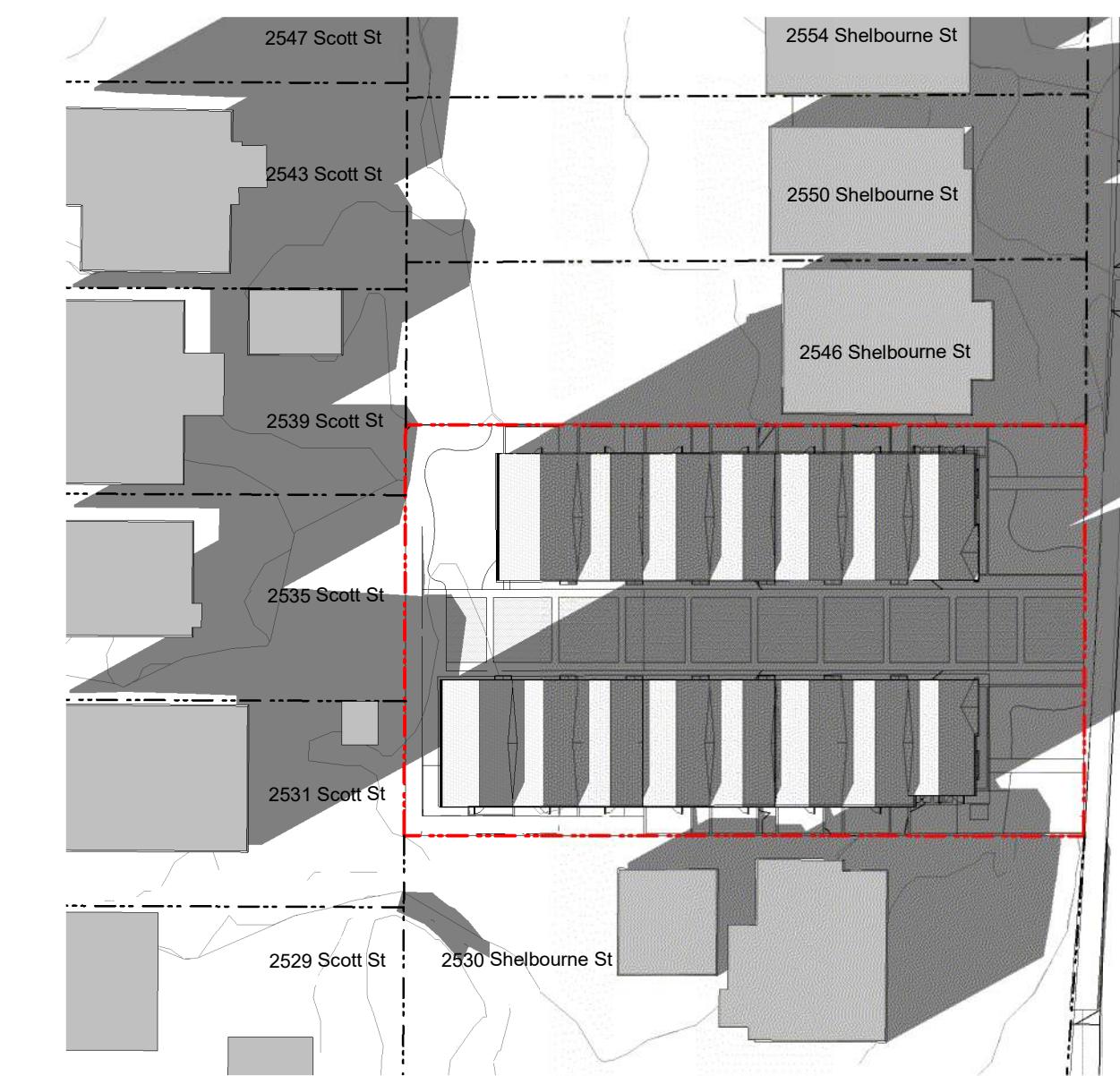
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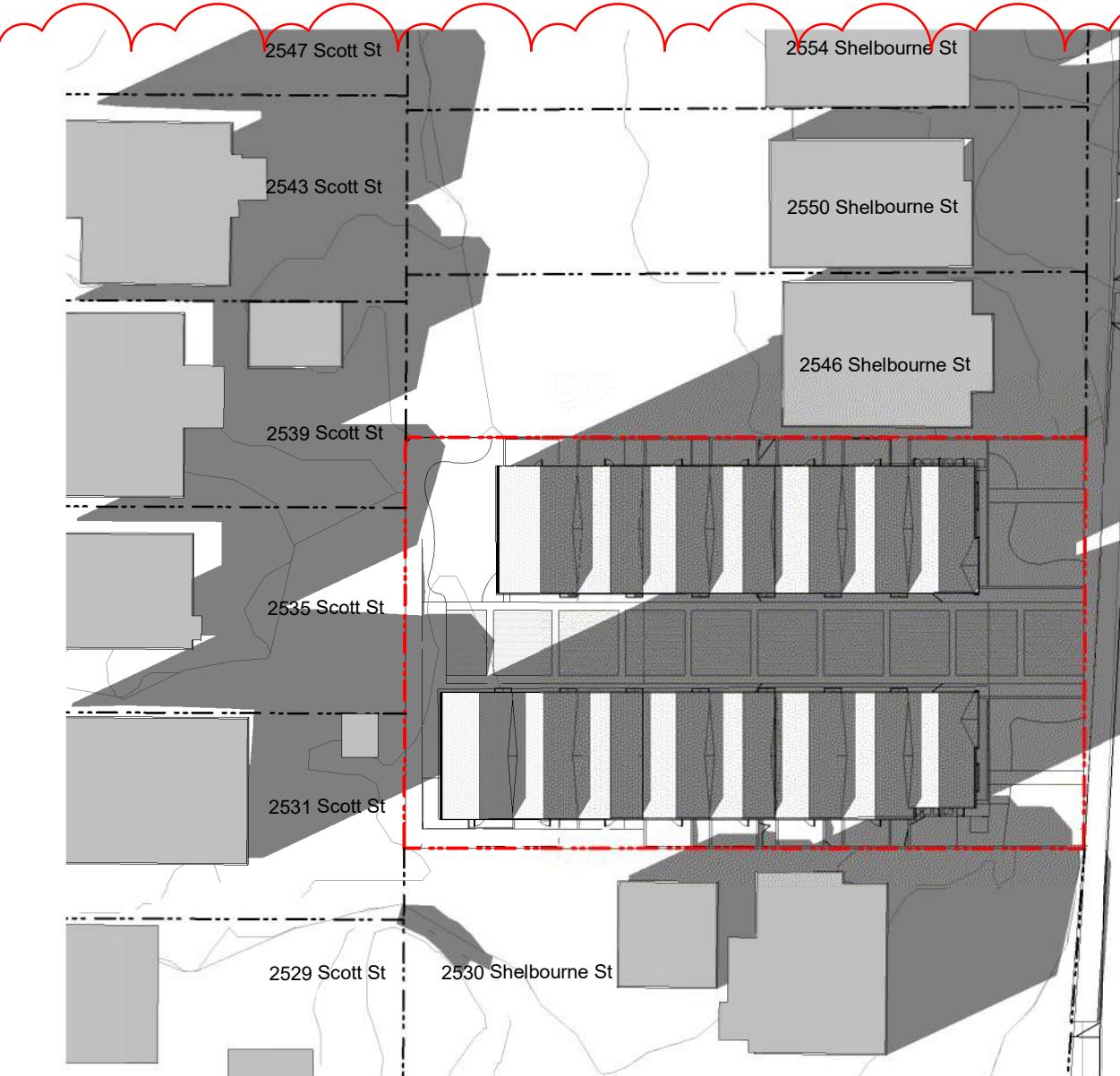
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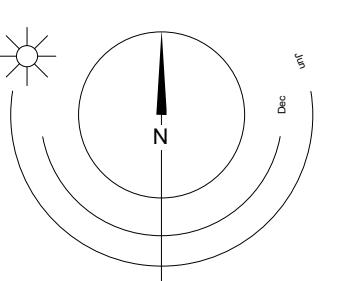
3 Shadow Study - Summer Solstice (Jun 21) 4PM
A002



6 Shadow Study - Spring Equinox (Mar 21) 4PM
A002



9 Shadow Study - Fall Equinox (Sep 21) 4PM
A002



23/10/30
23/04/20
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22/10/24
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TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Shadow Study

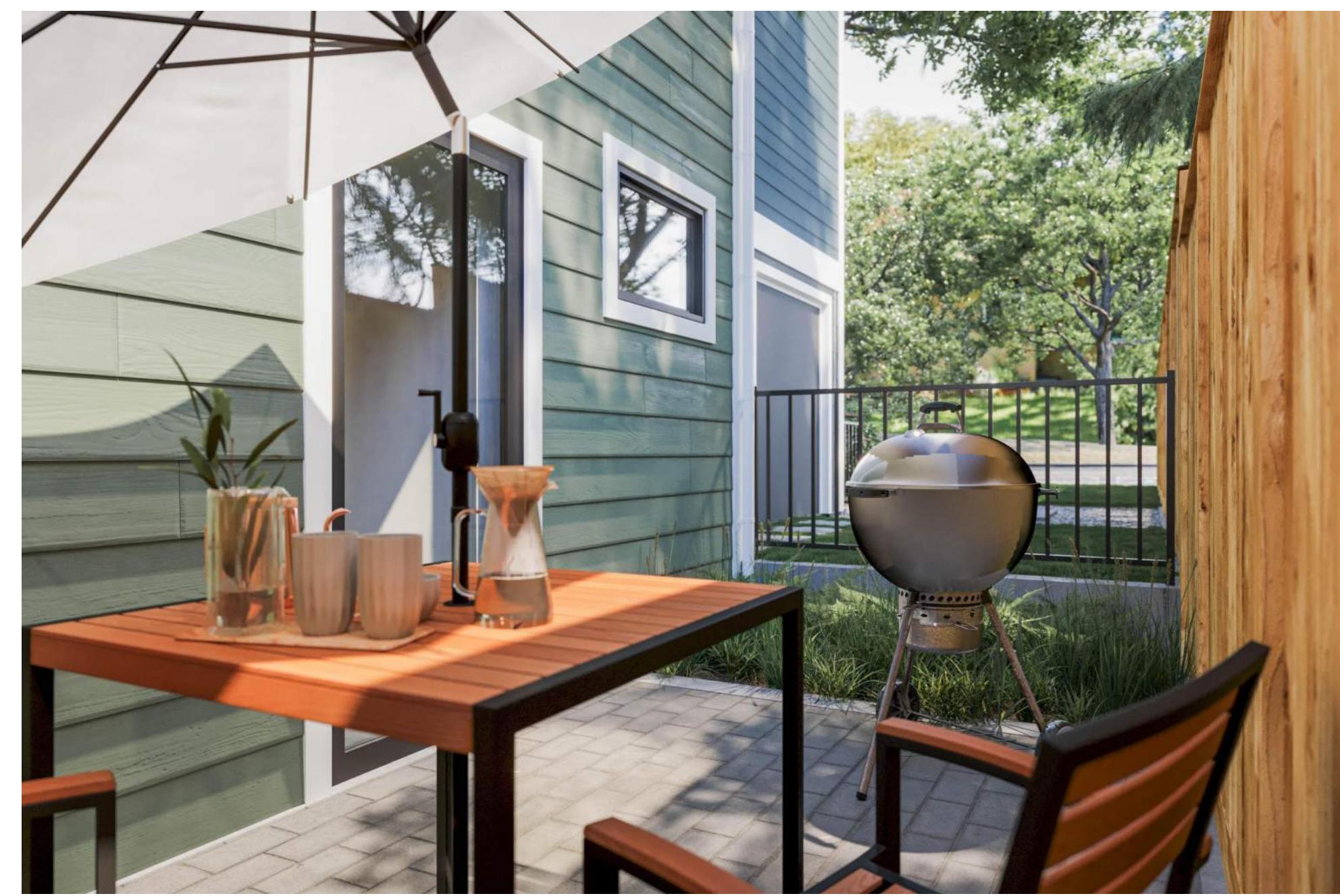


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1. Project Rendering - North Looking View @ Shelbourne Street



2. Project Rendering - Typical Side Yard Patio



3. Project Rendering - South Looking View @ Shelbourne Street

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**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Perspective Views

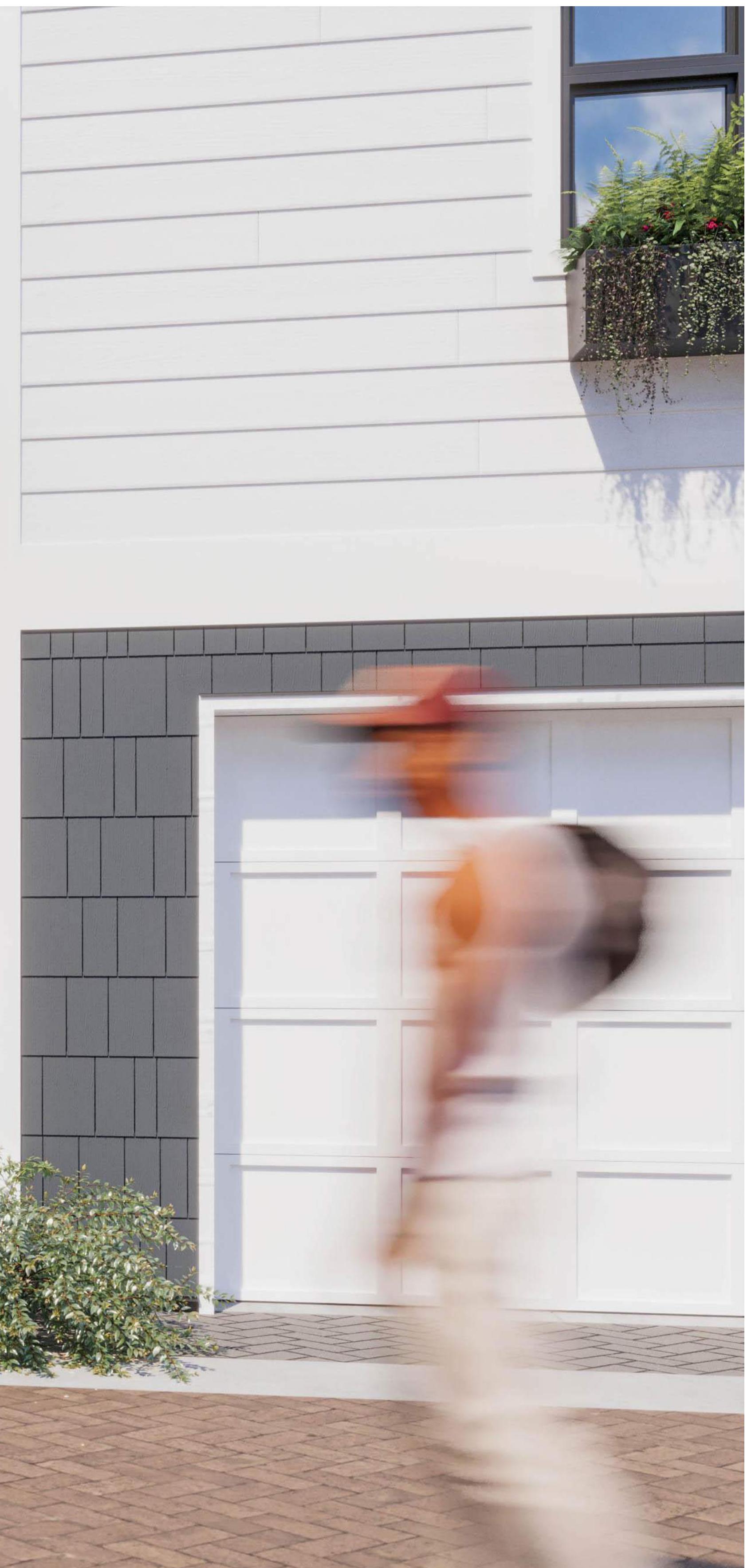


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1. Project Rendering - North Looking View @ Amenity and Play Area



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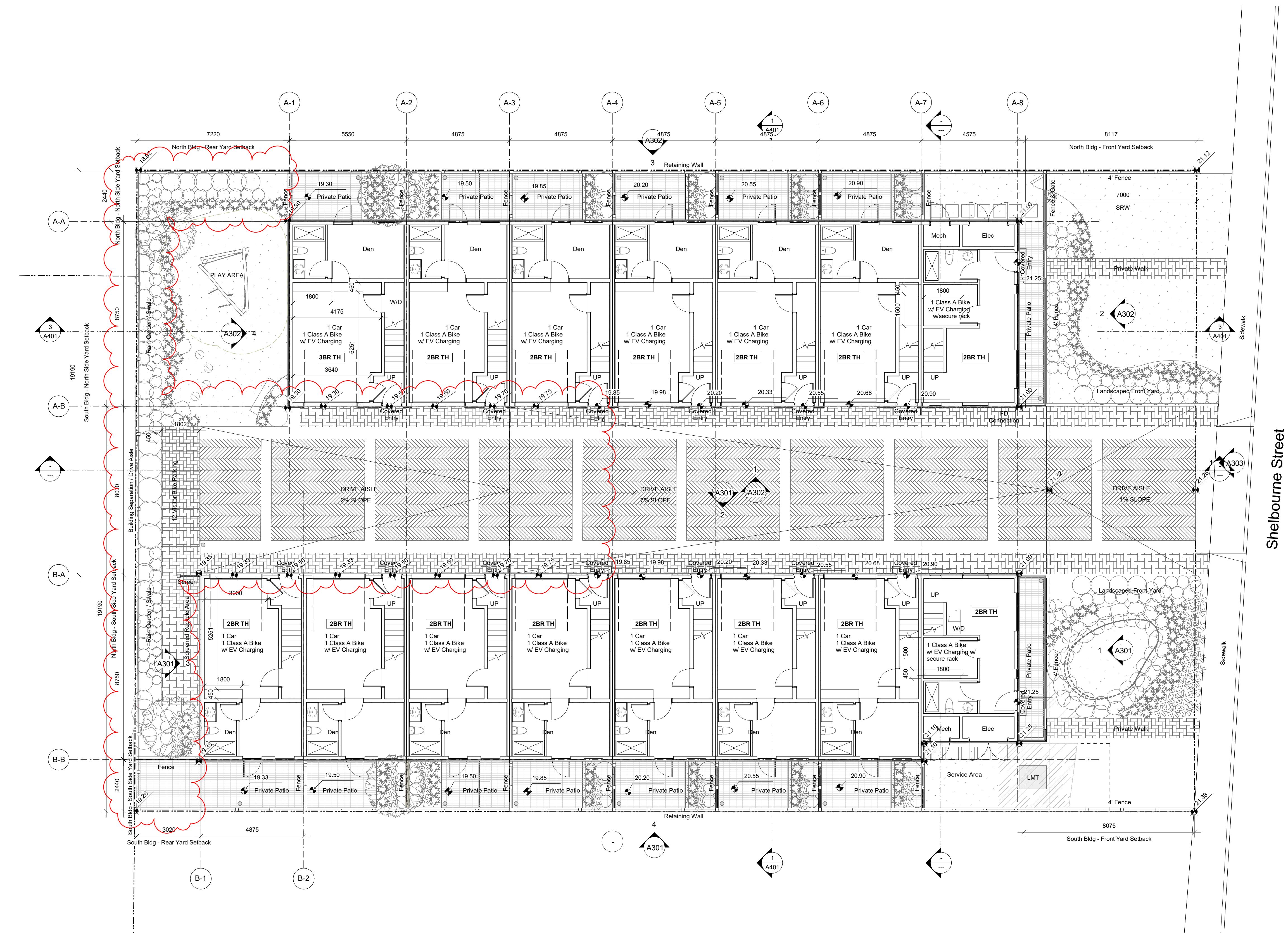
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Street, Victoria, BC
Perspective Views



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A004

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1 Level 1 - Overall Plan
A201
SCALE: 1 : 100

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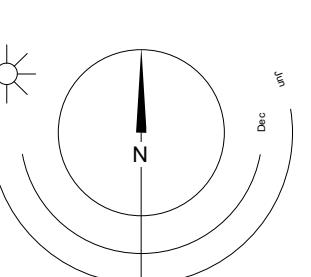
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2540 & 2542 Shelbourne
Street, Victoria, BC

L1 Plan

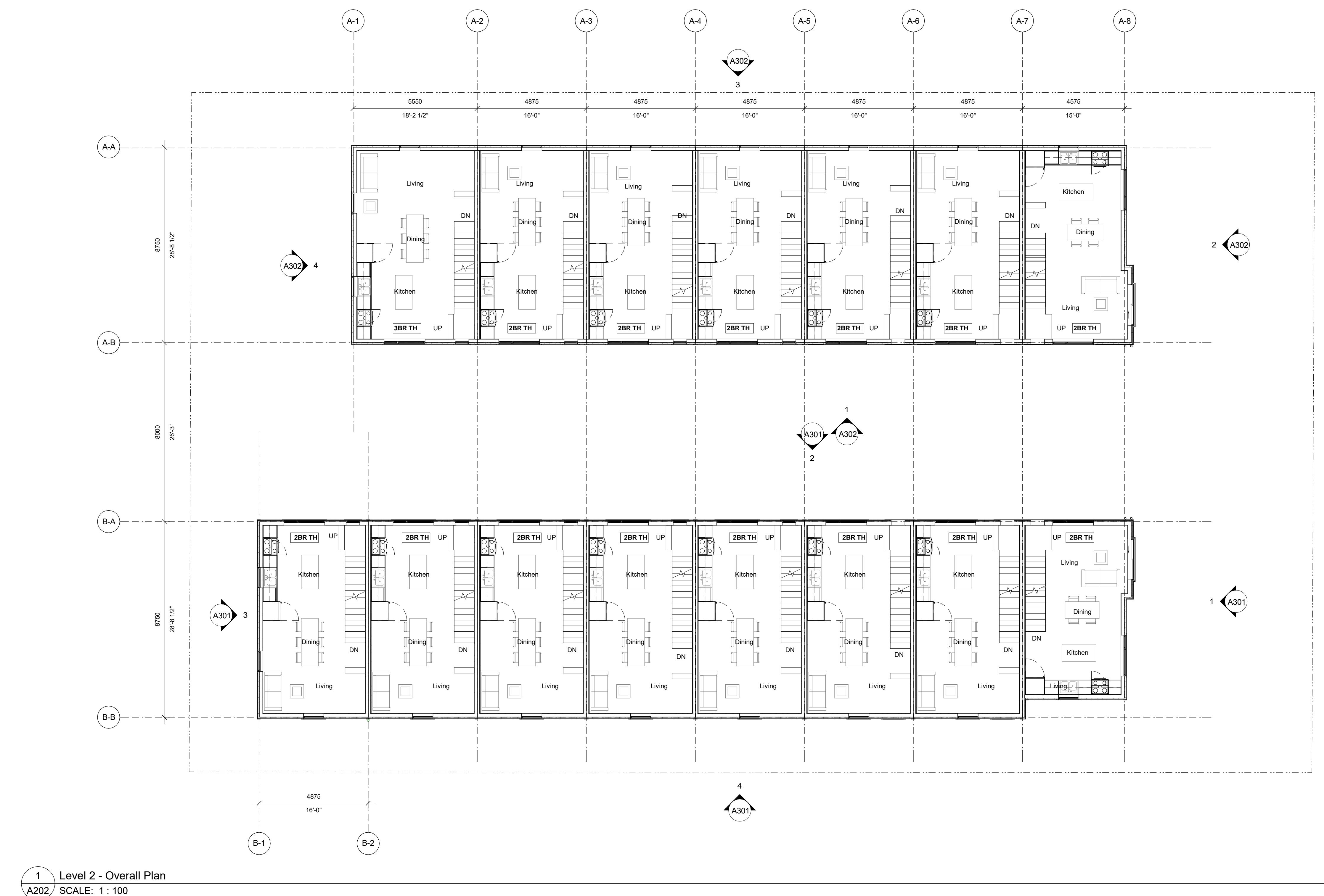
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A201



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1:100



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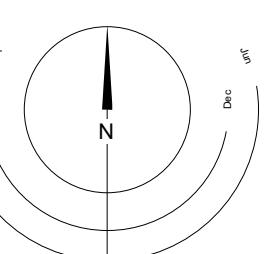


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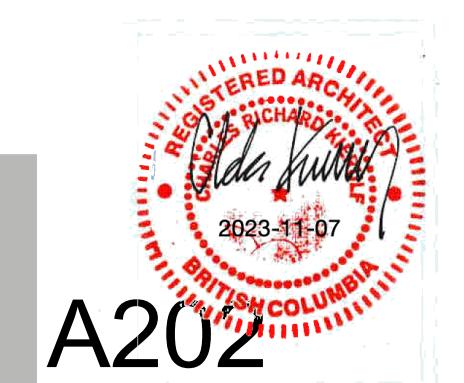
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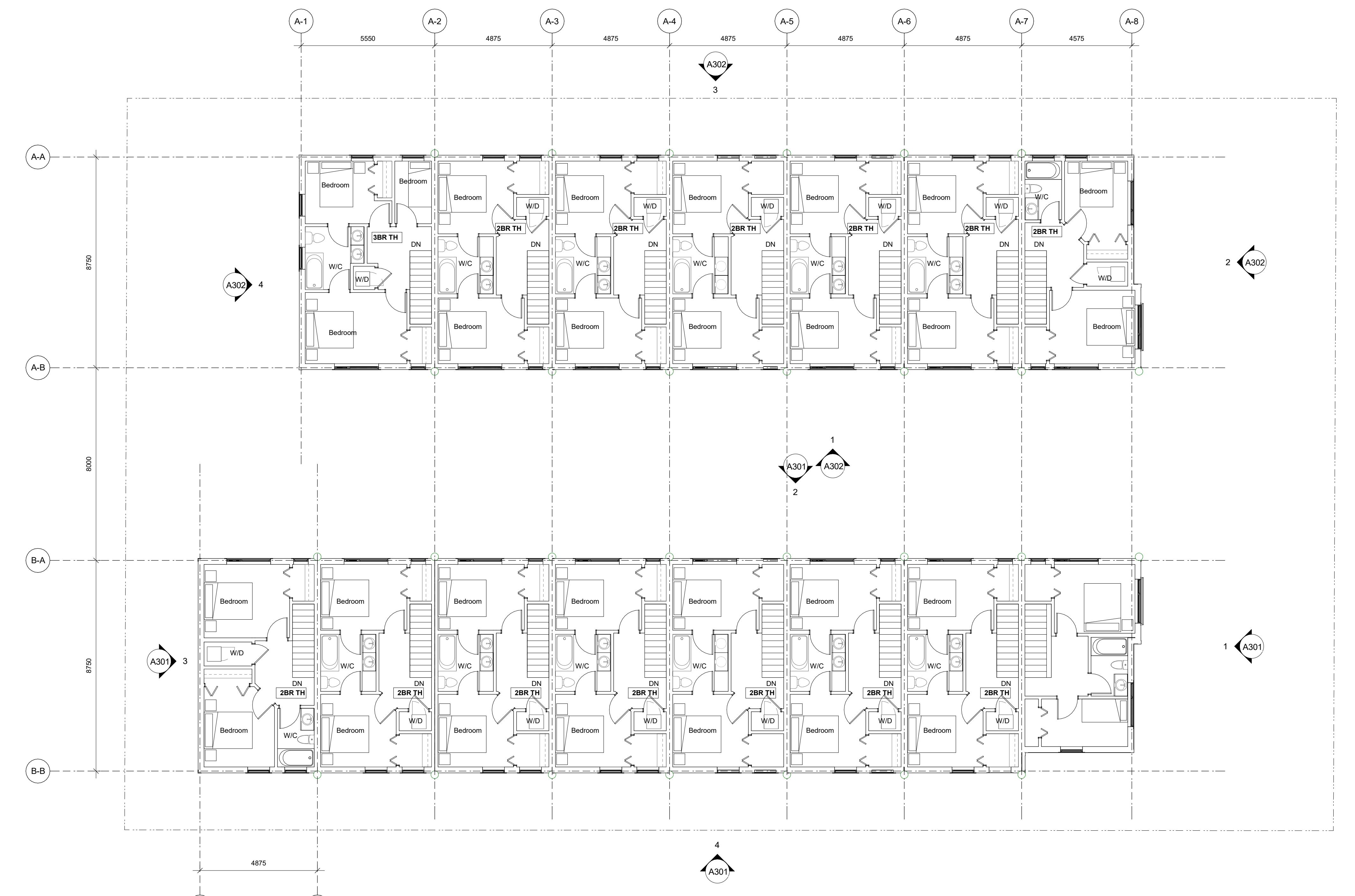
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L2 Plan



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A202
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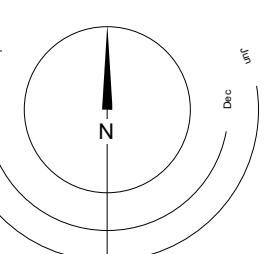


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2540 & 2542 Shelbourne
Street, Victoria, BC
L3 Plan

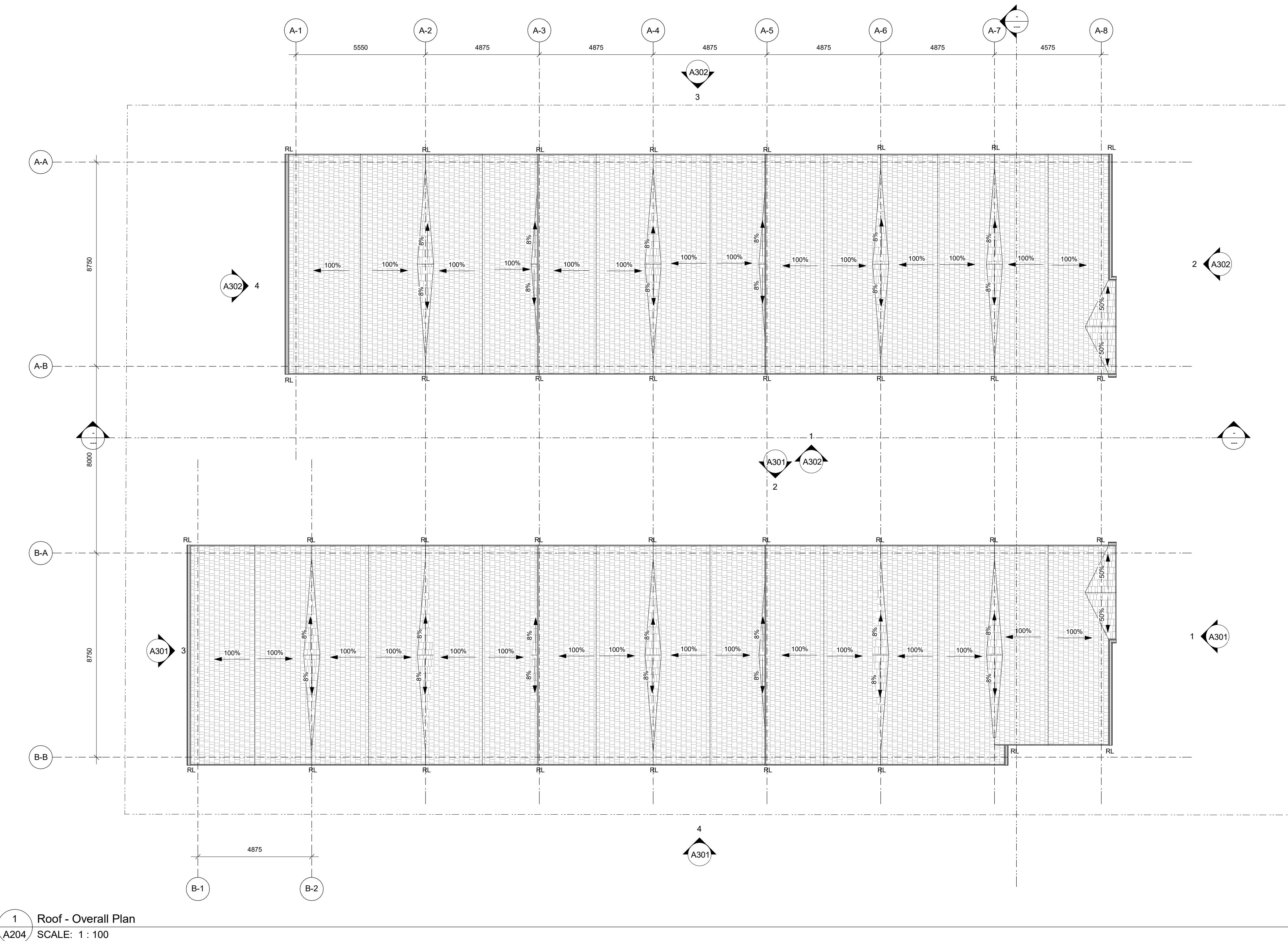


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A203

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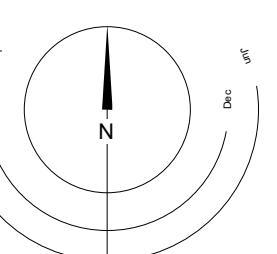


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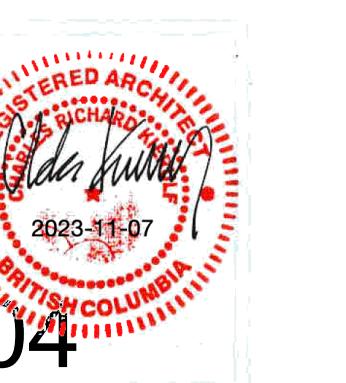
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**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Roof Plan



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A204



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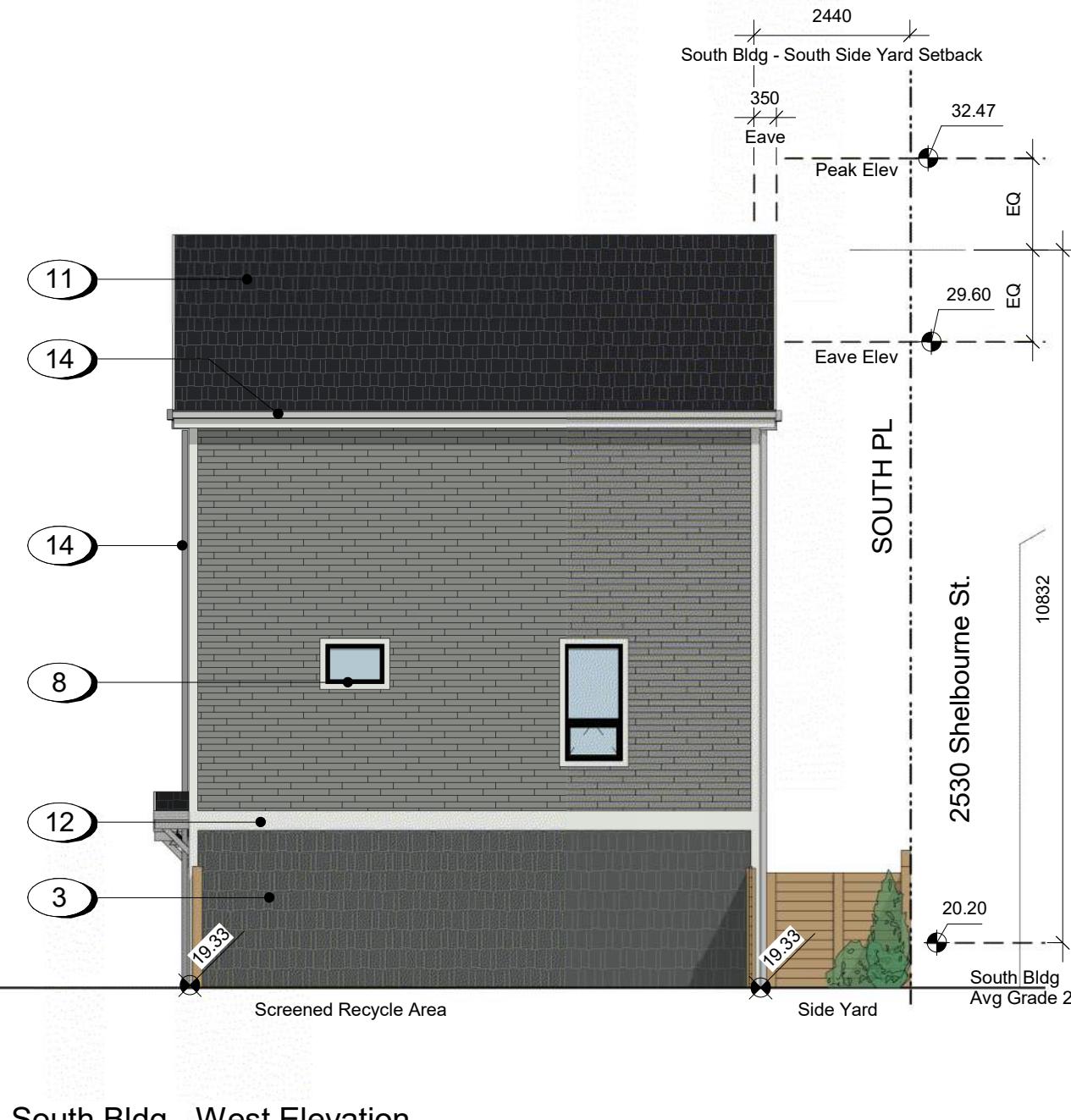
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- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Fibreglass OH Door - White
- 7 Fibre Cement Lap Siding - Sage
- 8 Low E Vinyl Window - Black Trim
- 9 Pre-finished Fibreglass Door - Colour Varies
- 10 Exterior Fibreglass Door Panel Painted Black
- 11 Asphalt Shingles - Black
- 12 Prefinished Fibre Cement Trim - White
- 13 Pre-finished Aluminum - Black
- 14 Rain Weater Leader / Conductor Head - Galvanized
- 15 Fibre Cement Lap Siding - Evening Blue
- 16 Frosted glass Entry Light



1 West Building - East Elevation Copy 1
A301 SCALE: 1 : 100



2
A301 South Building - North Elevation
SCALE: 1 : 100



3 South Bldg - West Elevation
A301 SCALE: 1 : 100



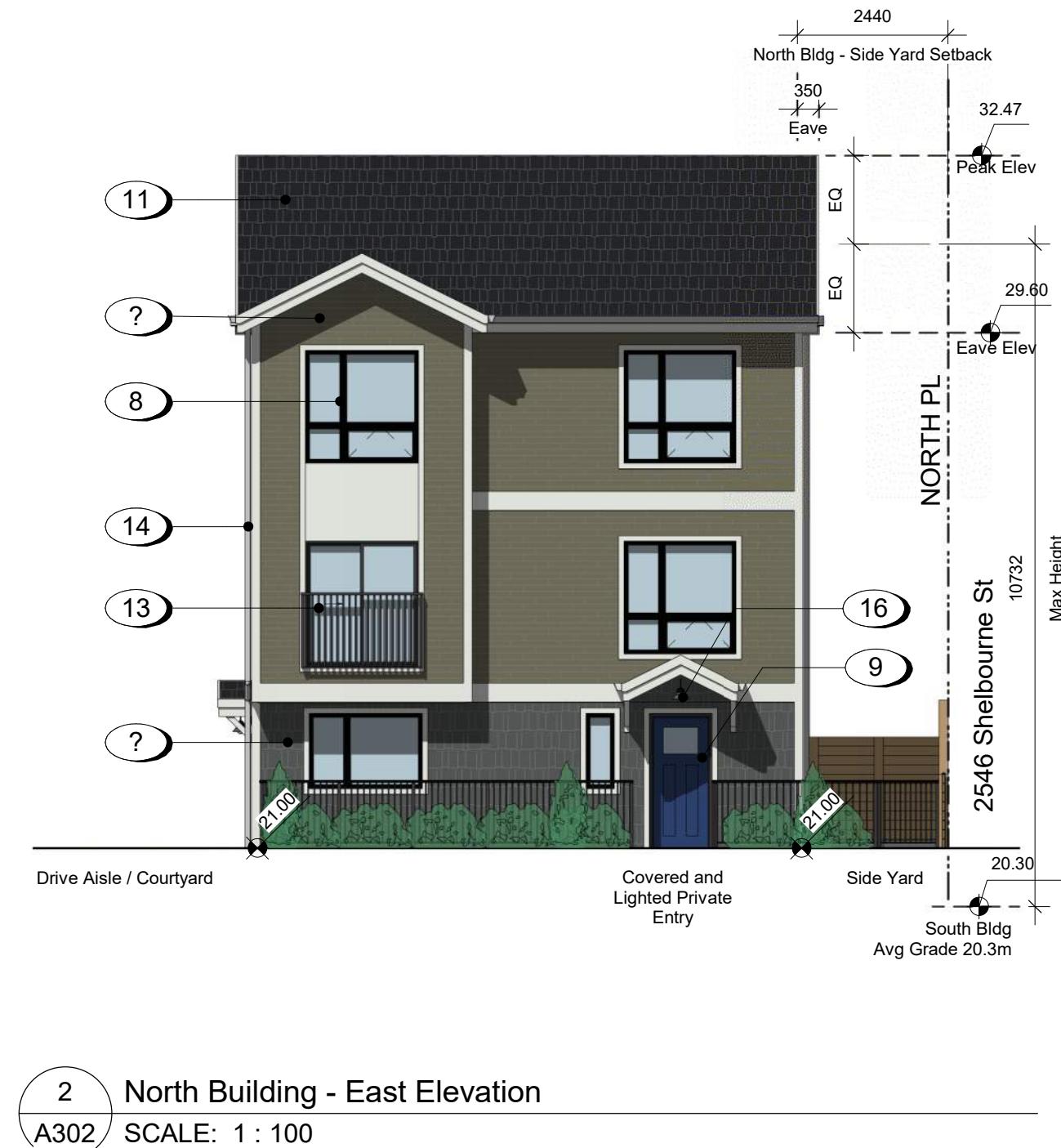
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A301 South Building - South Elevation
SCALE: 1 : 100

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DM/MVR Checked By AD
1 : 100 Project Number

WOOD
HOMES
2542 Shelbourne
Victoria, BC
Building
tions

An architectural drawing of a single-story house with a gabled roof, a central entrance, and a side extension. A red stamp in the upper right corner reads 'SYNCHRO' in a stylized font. The drawing includes a north arrow, dimensions, and a legend.



- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Fiberglass OH Door - White
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- 13 Pre-finished Aluminum - Black
- 14 Rain Water Leader / Conductor Head - Galvanized
- 15 Fibre Cement Lap Siding - Evening Blue
- 16 Frosted glass Entry Light



**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
North Building
Elevations



A302
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2524 Shelbourne St

2530 Shelbourne St

Side Yard

Private Entry

Drive Aisle / Courtyard / Landscape
Planting and Fence Beyond

Private Entry Side Yard

2546 Shelbourne St

2550 Shelbourne St

1
A303 East Elevation on Shelbourne Street
SCALE: 1 : 125

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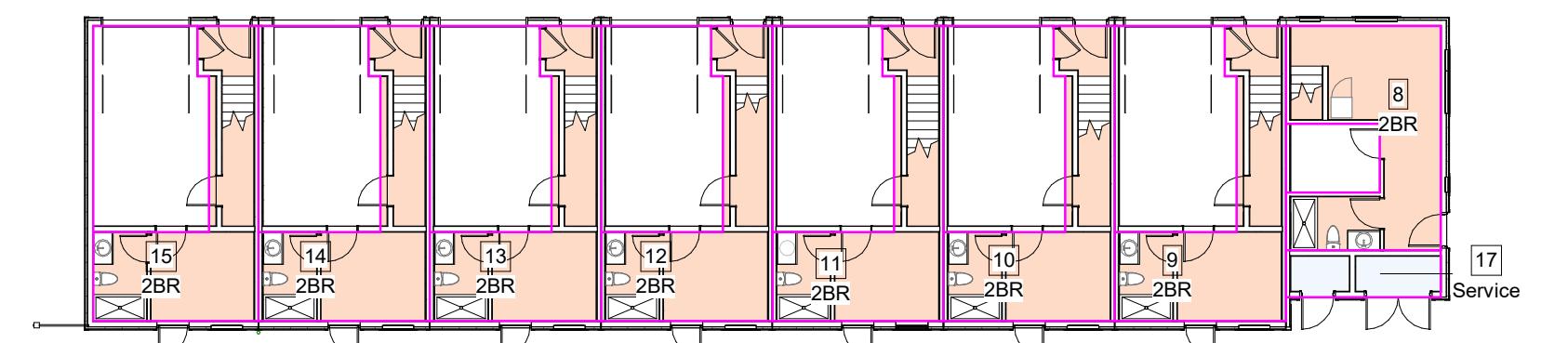
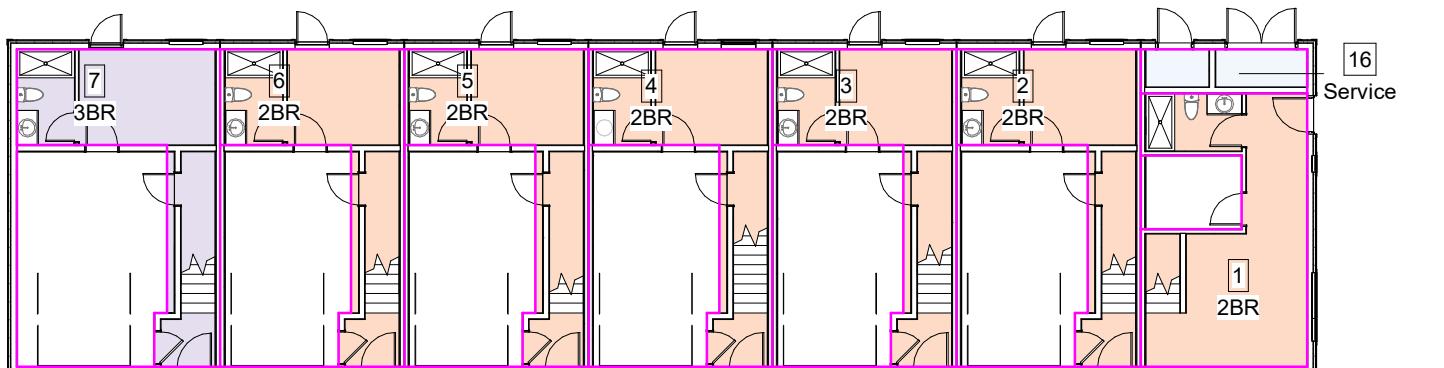
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**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Street Elevation



dhKa
A303

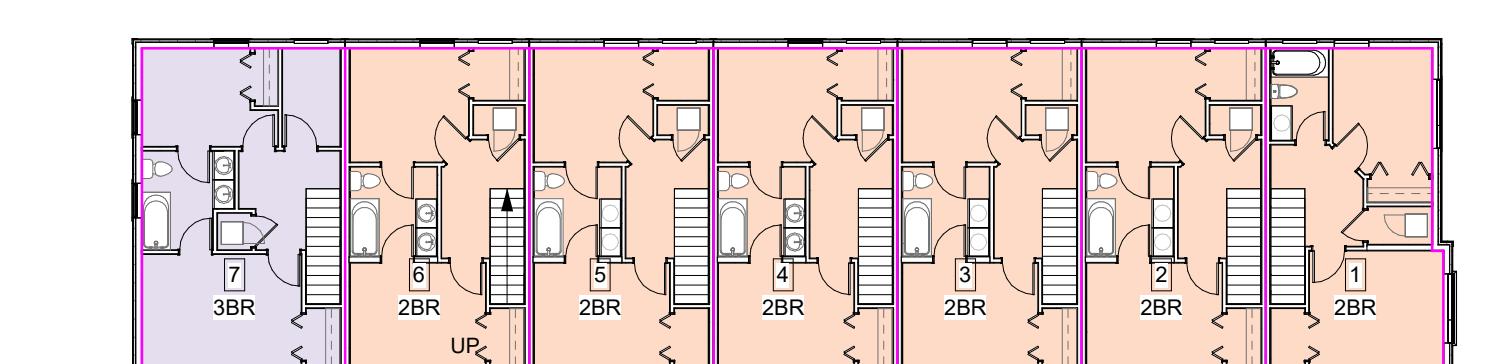
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1 Level 1 Unit FARs
A900 SCALE: 1 : 200



2 Level 2 Unit FARs
A900 SCALE: 1 : 200



3 Level 3 Unit FARs
A900 SCALE: 1 : 200

Level Areas (FAR) - North Building	
Area	
Level 1	159.89 m ²
Level 2	288.29 m ²
Level 3	288.29 m ²
	736.46 m ²

Level Areas (FAR) - South Building	
Area	
Level 1	176.29 m ²
Level 2	319.88 m ²
Level 3	319.88 m ²
	816.04 m ²

Unit Areas (FAR) - North Building	
Level	Area
Service (North Building)	5.16 m ²
Level 1	5.16 m ²
Unit 1 (North Building)	26.66 m ²
Level 2	37.94 m ²
Level 3	37.94 m ²
	102.53 m ²
Unit 2 (North Building)	21.16 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.26 m ²
Unit 3 (North Building)	21.13 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.23 m ²
Unit 4 (North Building)	21.05 m ²
Level 1	40.88 m ²
Level 2	40.88 m ²
Level 3	40.88 m ²
	102.81 m ²
Unit 5 (North Building)	21.19 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.29 m ²
Unit 6 (North Building)	21.16 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.26 m ²
Unit 7 (North Building)	22.40 m ²
Level 1	45.26 m ²
Level 2	45.26 m ²
Level 3	112.93 m ²
	736.46 m ²

Unit Areas (FAR) - South Building	
Level	Area
Service (South Building)	5.90 m ²
Level 1	5.90 m ²
Unit 8 (South Building)	22.92 m ²
Level 1	34.20 m ²
Level 2	34.20 m ²
Level 3	91.31 m ²
Unit 9 (South Building)	21.16 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.26 m ²
Unit 10 (South Building)	21.13 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.23 m ²
Unit 11 (South Building)	21.05 m ²
Level 1	40.88 m ²
Level 2	40.88 m ²
Level 3	40.88 m ²
	102.81 m ²
Unit 12 (South Building)	21.19 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.29 m ²
Unit 13 (South Building)	21.16 m ²
Level 1	41.05 m ²
Level 2	41.05 m ²
Level 3	41.05 m ²
	103.26 m ²
Unit 14 (South Building)	21.11 m ²
Level 1	41.01 m ²
Level 2	41.01 m ²
Level 3	41.01 m ²
	103.13 m ²
Unit 15 (South Building)	20.69 m ²
Level 1	39.59 m ²
Level 2	39.59 m ²
Level 3	99.86 m ²
	816.04 m ²

23/09/01 ISSUED FOR DP AMENDMENTS
23/07/27 ISSUED FOR DP AMENDMENTS
23/04/20 ISSUED FOR DP AMENDMENTS
22/10/04 ISSUED FOR DP AMENDMENTS

Plot Date 23/09/01 Drawing File
Drawn By Author Checked By Checker
Scale 1 : 200 Project Number

NOTE: All dimensions are shown in millimeters.

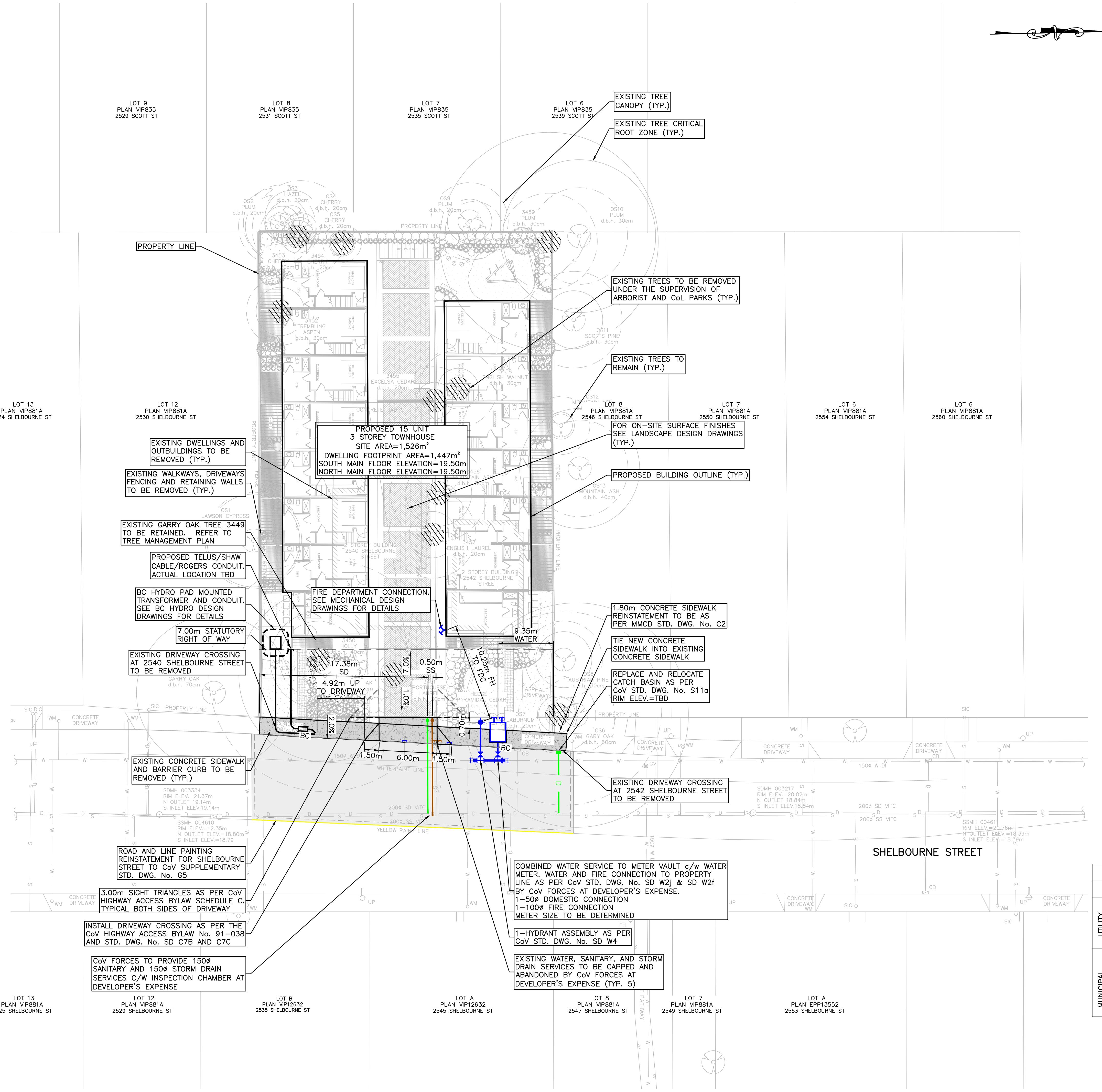
AREA CALCULATIONS	
SITE AREA:	1,526 m ² (16,426 s.f.)
TOTAL PROPOSED:	1,552.5 m ² (16,711 s.f.)
FLOOR SPACE RATIO:	1.02 : 1 FSR
SITE COVERAGE	640 m ² = 42%
OPEN SITE SPACE	504 m ² = 33%

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
Area Plans



dHKa
A900

dHKArchitects
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Nanaimo
102-5190 Dublin Way
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F 250-585-5837
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ISSUES		
NO.	DATE	ISSUED FOR
1	2022.11.04	REVIEW
2	2023.02.01	DEVELOPMENT PERMIT
3	2023.04.26	DEVELOPMENT PERMIT-2
4	2023.07.28	DEVELOPMENT PERMIT-3
5	2023.09.05	DEVELOPMENT PERMIT-4

CLIENT

SHELBOURNE STREET TOWNHOUSE 2540 & 2542 SHELBORNE STREET FRAME PROPERTIES

CITY OF VICTORIA

**HEROLD
ENGINEERING**
Unit 600-1112 Fort St, Victoria, BC V8V 3K8
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

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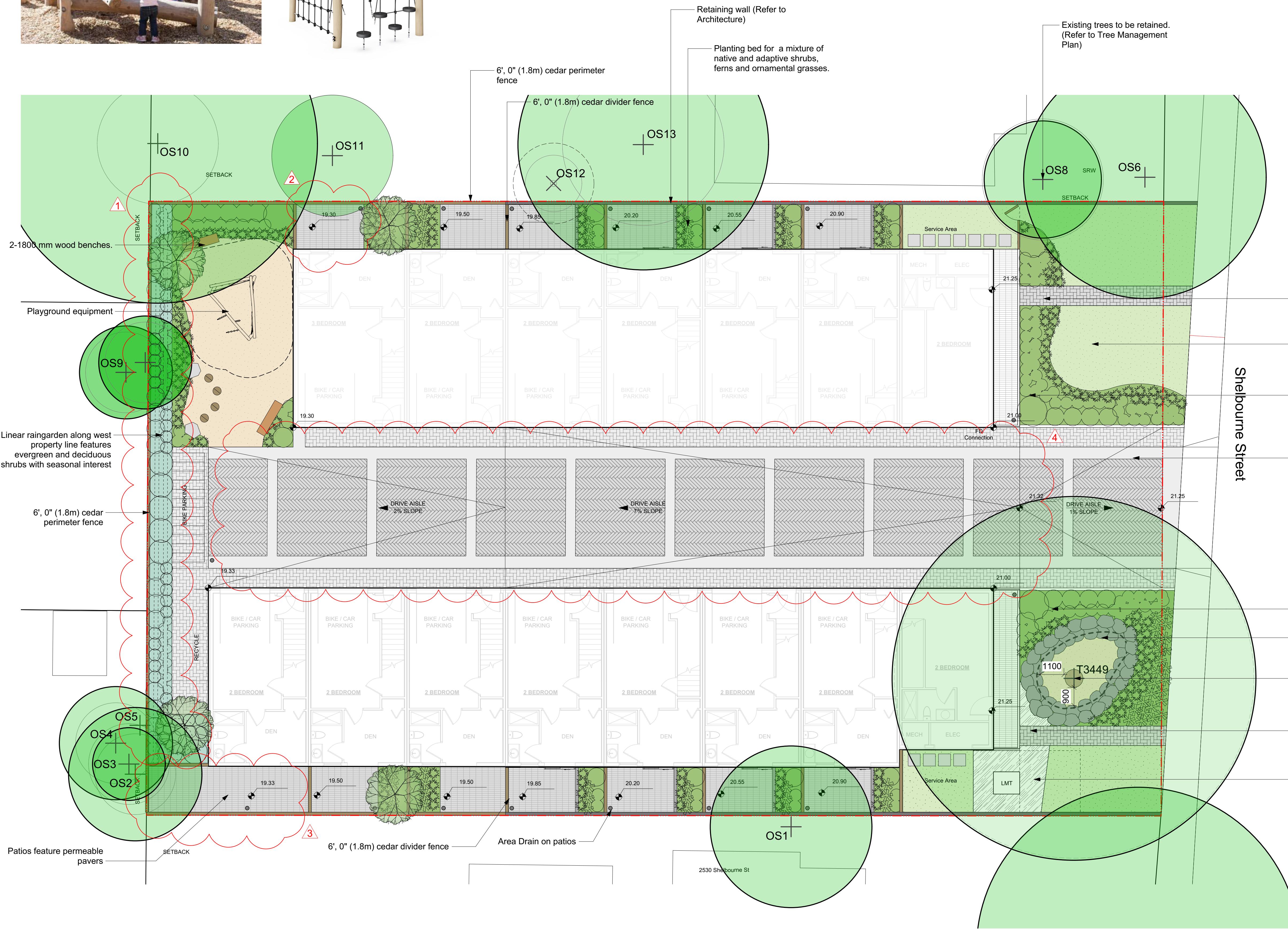
UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
EXISTING DEPTH (m)		
PROPOSED DEPTH (m)		
PROPOSED INVERT ELEVATION (m)		
MAXIMUM DEPTH REQUESTED	YES	NO

WORKS AND SERVICES CHECKLIST			
PLAN CHECKER		AUTHORIZED REPRESENTATIVE	
UTILITY	HYDRO ELECTRICAL COMPANY	NAME	NAME
	TELEPHONE COMPANY		
	GAS COMPANY		
	CABLE COMPANY		
	UNDERGROUND SERVICES		
	TRAFFIC		
MUNICIPAL	HIGHWAYS		

DESIGNED	ENGINEER'S SEAL
TL	
DESIGN REVIEW	
AH	
DRAFTED	
SAC	
DRAFTING REVIEW	
PROJECT No.	CLIENT DRAWING No.
6020-001	
SCALE	PERMIT No.
H: AS NOTED	REZ00808/DPV0216
V: AS NOTED	
HEL DRAWING No.	
C200	
1 OF 1	REVISION
	5

Nature-themed play

KOMPAN -Robinia Natural Playground
climbing structure NRO852



Recommended Nursery Stock

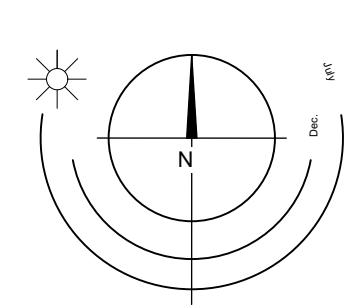
Trees			
Total: 4	Botanical Name <i>Acer circinatum</i>	Common Name Vine Maple	Size 2M Ht.
Large Shrubs			
Total: 43	Botanical Name <i>Cornus stolonifera 'Flaviramea'</i> <i>Mahonia aquifolium</i> <i>Philadelphus 'Belle Etoile'</i>	Common Name Yellowtwig Dogwood Tall Oregon Grape Belle Etoile Mock Orange	Size #5 pot #7 pot #7 pot
Small Shrubs			
Total: 187	Botanical Name <i>Cornus stolonifera 'Kelseyi'</i> <i>Gaultheria shallon</i> <i>Nandina domestica 'Fire Power'</i> <i>Spiraea douglasii</i>	Common Name Kelsey Dogwood Salal Fire Power Heavenly Bamboo Hardhack	Size #1 pot # 1 pot #1 pot #1 pot
Perennials, Annuals and Ferns			
Total: 218	Botanical Name <i>Blechnum spicant</i> <i>Helictotrichon sempervirens</i>	Common Name Deer Fern Blue Oat Grass	Size #1 pot # 1 pot

REVISION LEGEND

-  1 Planting bed along west PL replaced with rain garden. Planting revised.
-  2 Unit patio grading revised. Planting revised at fenceline of unit patio.
-  3 Unit patio grading revised and patio expanded. Planting revised and planting bed relocated.
-  4 Drive aisle grading revised

LEGEND

-  Lawn (Typ.)
-  Planting Bed
-  Permeable Pavers on Patios
-  Decorative Concrete Pavers
-  Concrete Pavers on Driveway
(Herringbone Pattern)
-  Safety Surfacing (Wood Chips)
-  River Rock



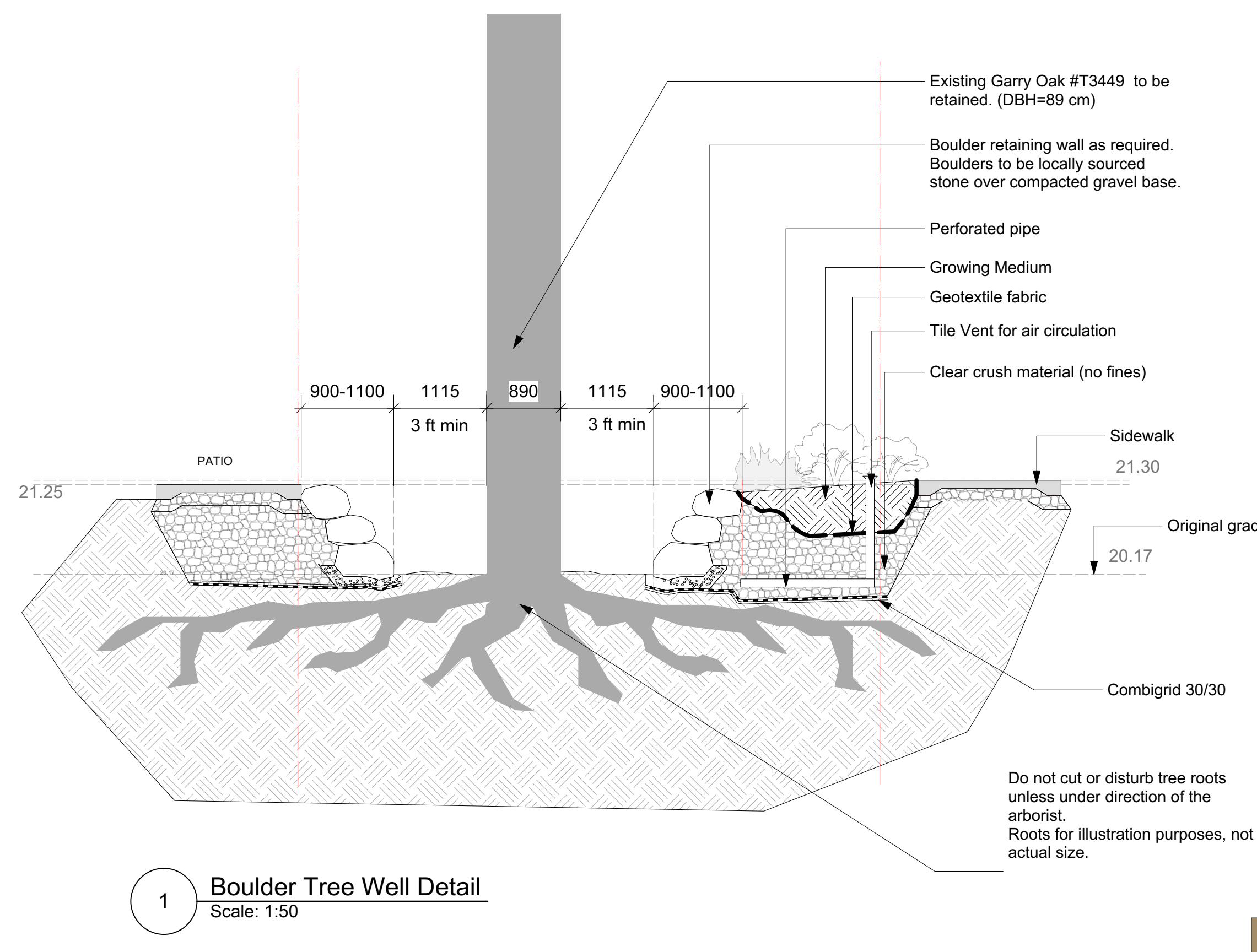
SCALE 1:100

Nov 8, 2023
Sept 05, 2023
July 28, 2023

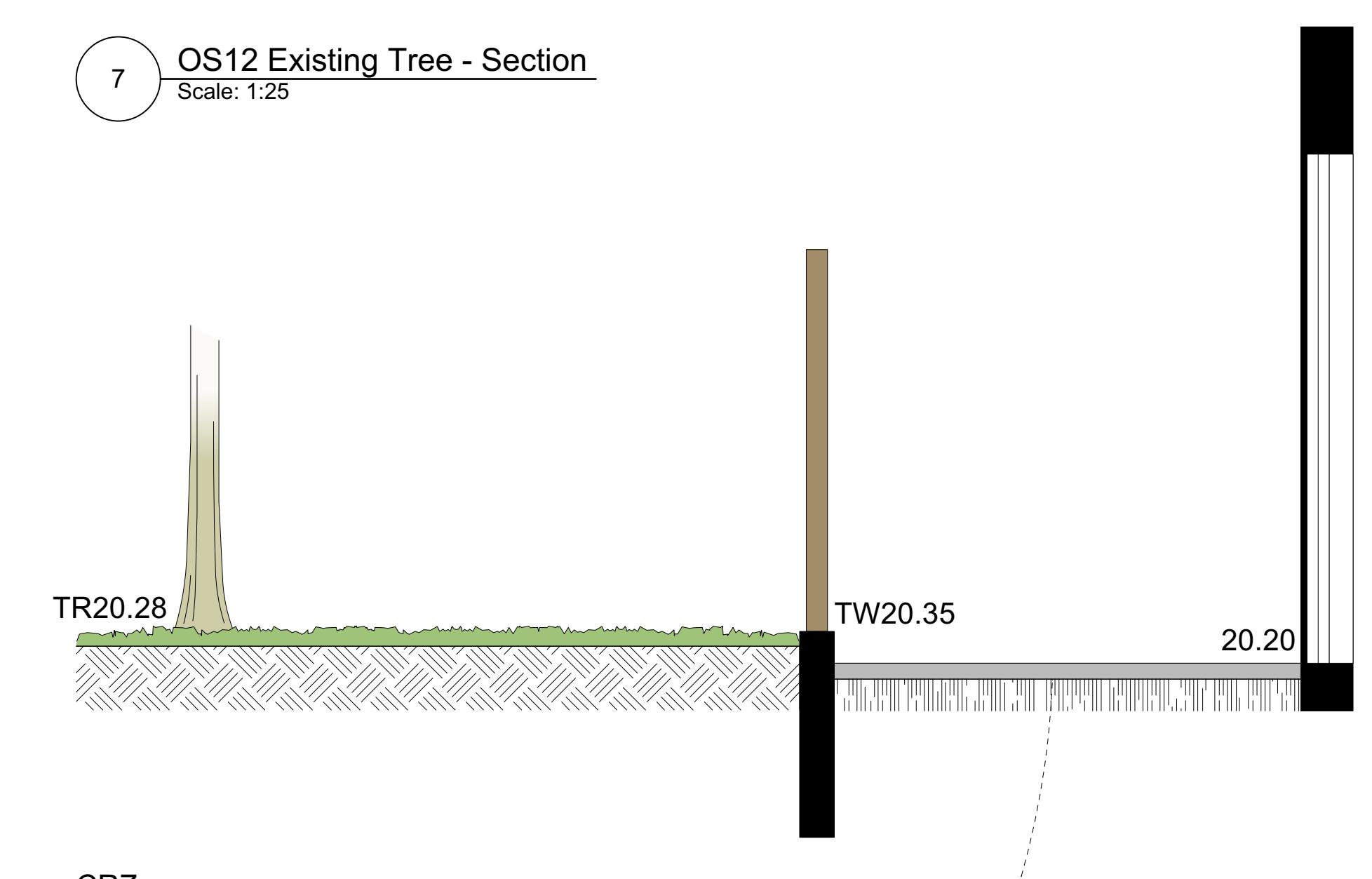
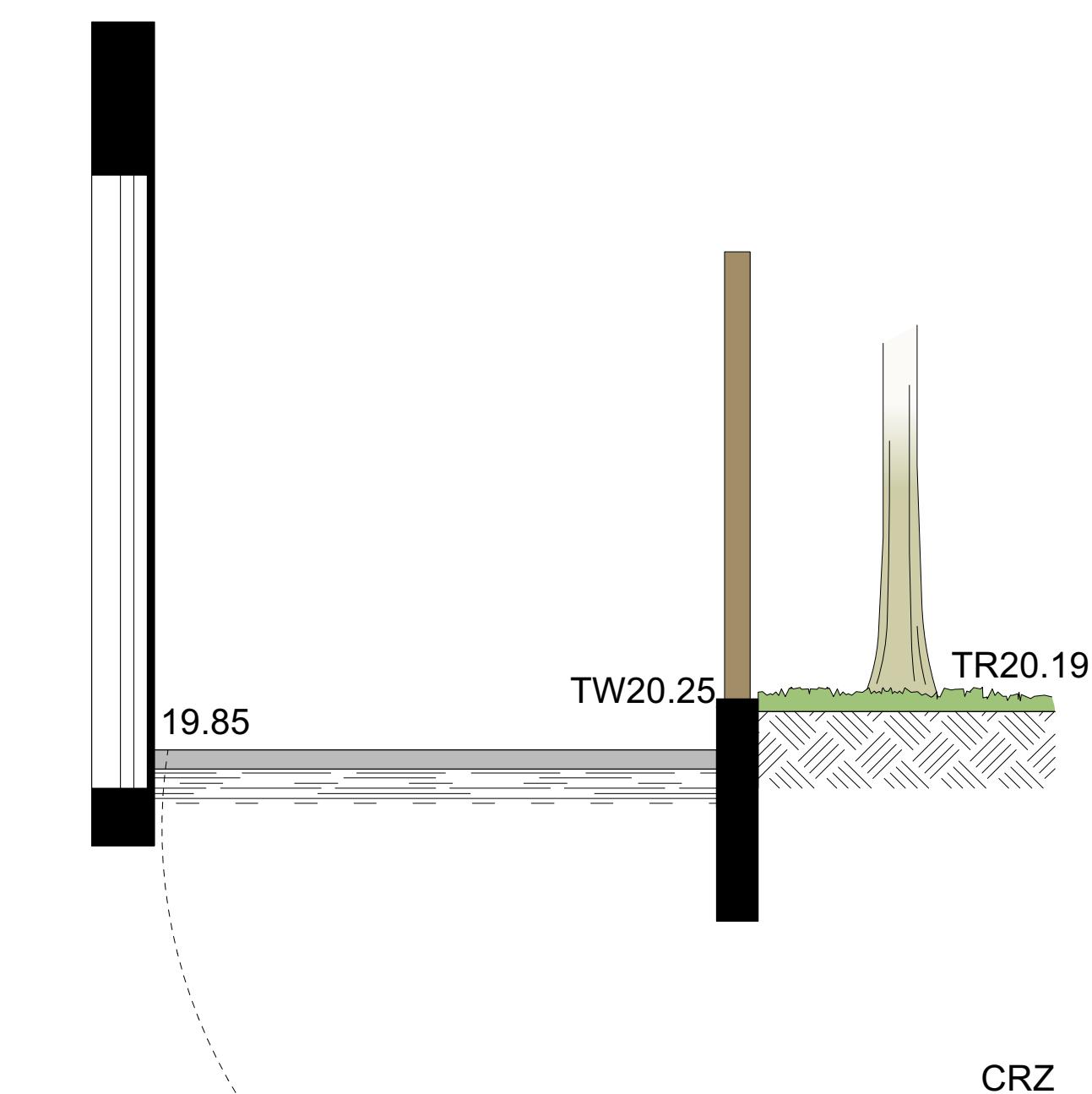
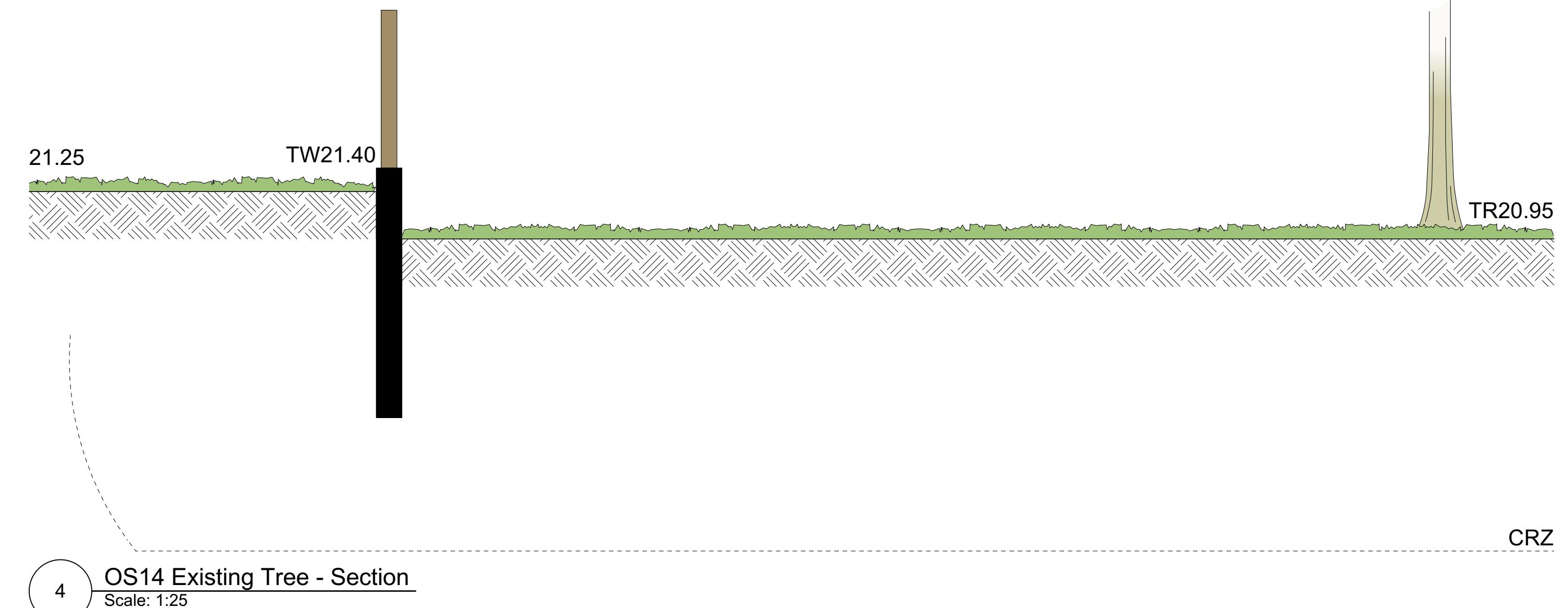
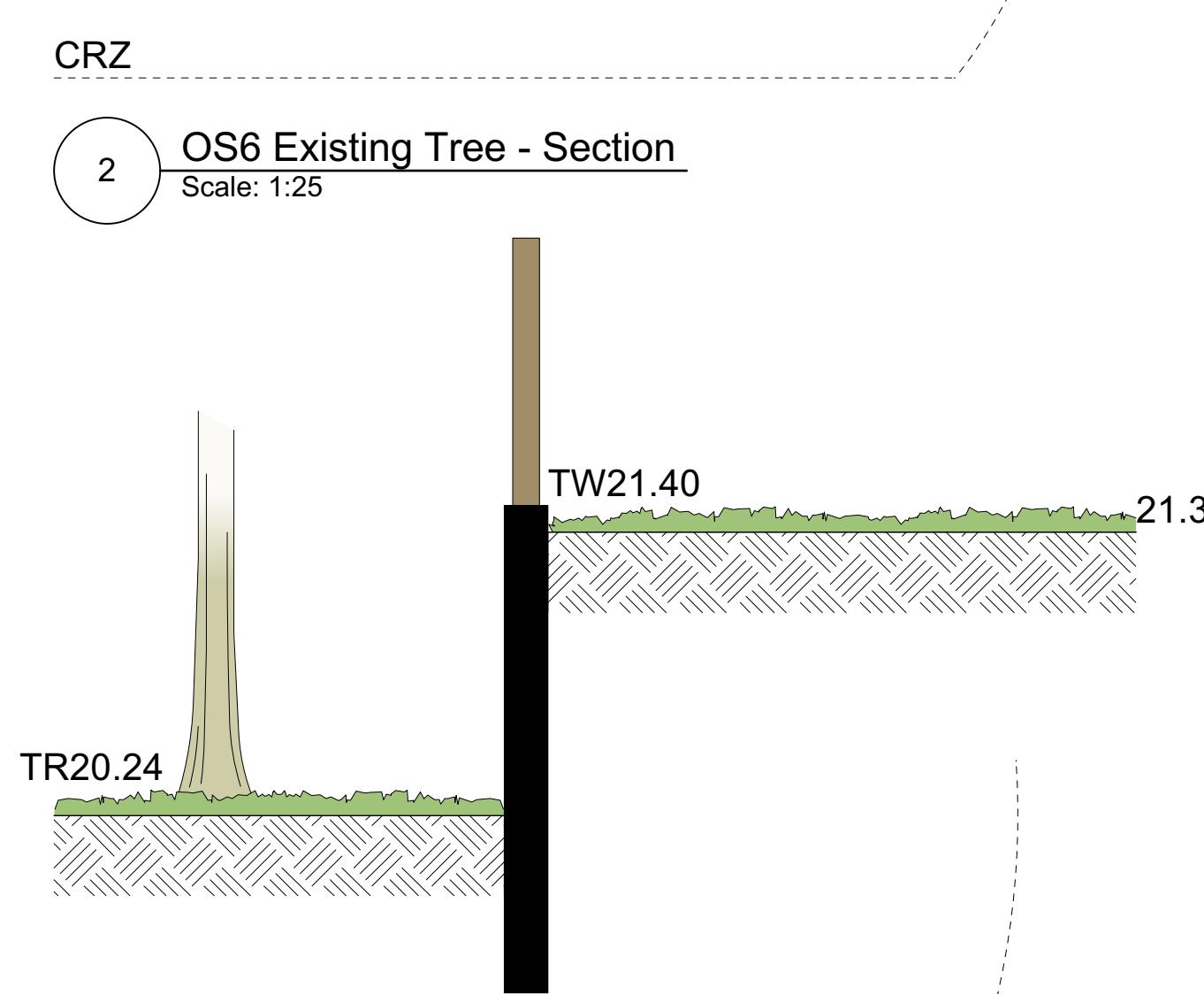
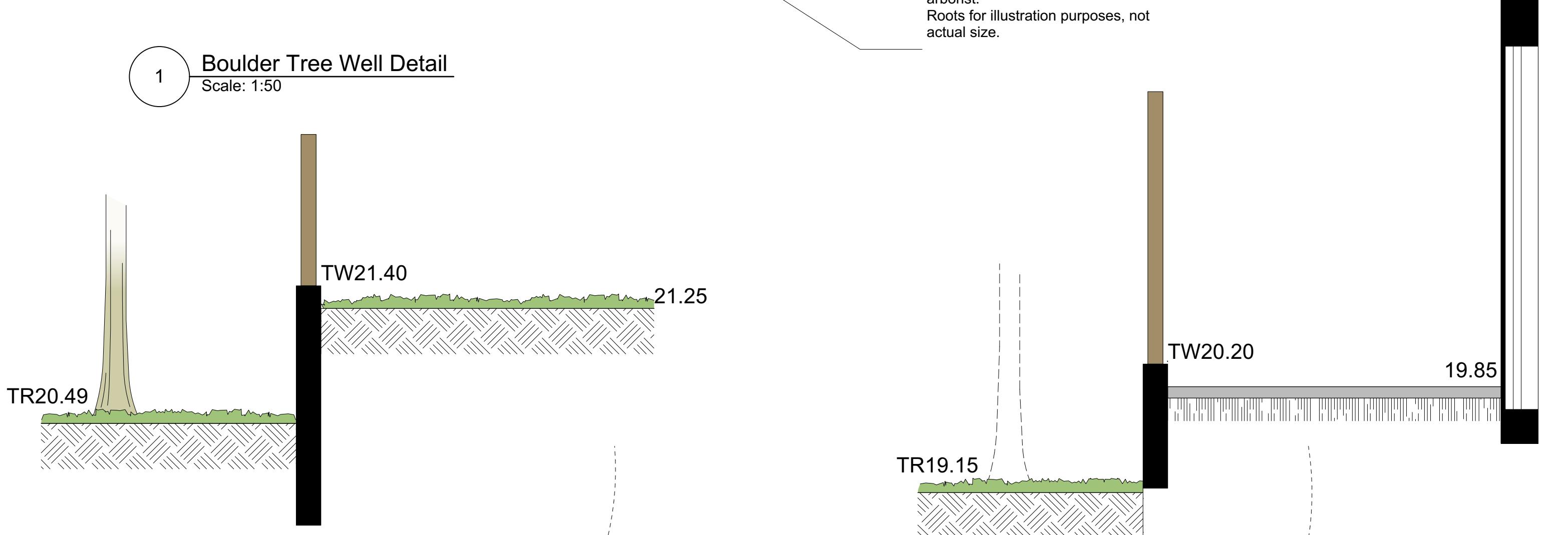
Landscape Concept | 2540 Shelbourne



LANDSCAPE ARCHITECTS

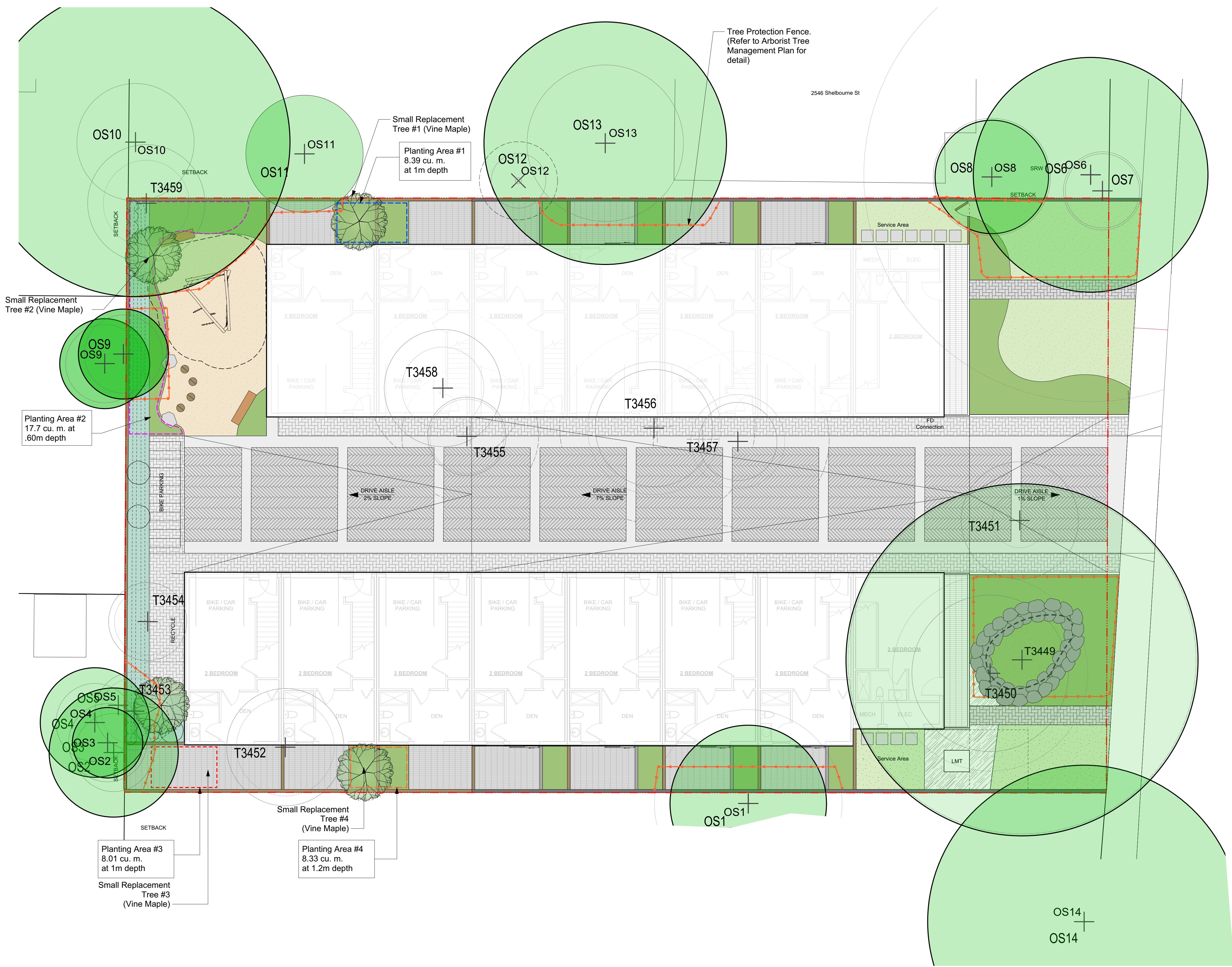


1 Boulder Tree Well Detail



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Landscape Details | 2540 Shelbourne



Tree Replacement Plan | 2540 Shelbourne



LADR LANDSCAPE ARCHITECTS

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

Nov 8, 2023
Sept 05, 2023
July 28, 2023