

## ENGINEERING NOTES:

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MMCD) PLATINUM EDITION, AND THESE DRAWINGS.
- ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
- PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
- ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- CONTACT BC-1 (1-800-474-6886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
- EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
- ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
- CITY CREWS TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE, AT THE DEVELOPER'S EXPENSE.
- WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CREW AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVICING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDRO/TEL/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
- UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TEL DRAWINGS AND SPECIFICATIONS.
- OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
- STREETS SHALL BE SWEEPED CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
- DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MMCD AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
- PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND ARTERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3:00 PM.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
- ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
- COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
- FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
- CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.

ADDRESS 780 BLANSHARD STREET  
LOT: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88  
AND OF LOT 1827  
BLOCK:  
PLAN: 35B  
ZONING: CBD-1  
LAND USE: COMMERCIAL/RESIDENTIAL

EXISTING CONCRETE SIDEWALK  
TO BE REMOVED. SEE  
LANDSCAPE DRAWINGS FOR  
PROPOSED PARK DETAILS.

EXISTING RETAINING WALLS TO  
BE REMOVED. SEE LANDSCAPE  
DRAWINGS.

EXISTING ELECTRICAL VAULTS  
TO REMAIN UNDISTURBED.

EXISTING TREES TO BE REMOVED  
(SEE LANDSCAPE FOR TREE  
REPLACEMENT PLAN)

REMOVE EXISTING AND  
INSTALL NEW CATCHBASIN AT  
PROPOSED CURB ALIGNMENT  
C/W NEW LEAD.

PROPOSED STORM DRAIN  
FOR ON-SITE DRAINAGE  
WITHIN PLAZA AREA

SMH006312  
RIM EL: 14.045m  
E INV: 13.200m

DMH002516  
RIM EL: 13.811m  
E INV: 12.611m

REMOVE EXISTING AND  
INSTALL NEW CATCHBASIN AT  
PROPOSED CURB ALIGNMENT.  
CONNECT TO EXISTING LEAD.  
(TYP.)

PROPOSED HYDRO SERVICE LOCATION.  
REFER TO ELECTRICAL FOR DETAILS.

PROPOSED TEL/COMMS  
SERVICE LOCATION

PROPOSED STORM DRAIN  
CONNECTION AND  
INSPECTION CHAMBER

PROPOSED SANITARY  
SEWER CONNECTION AND  
INSPECTION CHAMBER

EXISTING SANITARY TO BE  
ABANDONED/CAPPED AT  
PROPERTY LINE.

PROPOSED WATER/STORM/SANITARY  
SERVICING LOCATION

PROPOSED FIRE HYDRANT

PROPOSED DOMESTIC AND  
FIRE WATER SERVICE  
c/w METER VAULT TO SD W2H

DMH002515  
RIM EL: 13.932m  
W INV: 11.642m  
E INV: 11.602m

SMH002967  
RIM EL: 14.383m  
W INV: 11.943m  
E INV: 11.913m

PROPOSED HYDRO AND TEL/SHAW  
SERVICING LOCATION

NEW TREES (TYP.)  
SEE LANDSCAPE FOR DETAILS.  
IRRIGATION TO BE SUPPLIED  
TO CITY STANDARDS.

EXISTING RETAINING WALL TO  
REMAIN.

REMOVE EXISTING AND INSTALL  
NEW DOUBLE CATCHBASIN AT  
PROPOSED CURB ALIGNMENT.  
CONNECT TO EXISTING LEAD.

REMOVE EXISTING AND  
INSTALL NEW CATCHBASIN AT  
PROPOSED CURB ALIGNMENT.  
CONNECT TO EXISTING LEAD.

UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY DRAIN
PROPOSED DEPTH (m)	-x.xx	-x.xx
PROPOSED INVERT ELEVATION (m)	xx.xx	xx.xx
MAXIMUM DEPTH REQUESTED (m)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

NOTE: ALL SERVICE CONNECTION  
SIZES HAVE BEEN ASSUMED AND WILL  
BE CONFIRMED WITH MECHANICAL  
ENGINEER DURING DETAILED DESIGN.

SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST(\$) <sup>1</sup>
WATER	150mm	City of Victoria	City of Victoria	At Cost
	100mm	City of Victoria	City of Victoria	At Cost
SANITARY	150mm	City of Victoria	City of Victoria	At Cost
STORM DRAIN	150mm	City of Victoria	City of Victoria	At Cost
GAS	<sup>2</sup> Unconfirmed	Fortis	Utility Contractor	Based on Size
HYDRO	<sup>2</sup> Unconfirmed	BC Hydro	Utility Contractor	Based on Size
COMMUNICATIONS	<sup>2</sup> Unconfirmed	Telus/Shaw	Utility Contractor	Based on Size

<sup>1</sup> City of Victoria Schedule of fees for Service Connections Provided in Appendix A

<sup>2</sup> Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	NAME	SIGNATURE	
UTILITY	BC HYDRO		
	TELUS		
	FORTIS BC		
	SHAW		
MUNICIPAL	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		

## LEGEND

SURFACE DETAIL		SEWER LATERAL		TEL MANHOLE		SIGNAL PULL BOX - SIDEWALK		HYDRO/TEL POLE TO BE REMOVED		SANITARY	
⊕	STORM DRAIN MANHOLE	⊕	WATER VALVE ON MAIN	⊕	TEL POLE	⊕	LIGHT/SIGNAL PULL BOX - STREET	⊕	GAS METER	—	STORM
⊕	STORM DRAIN VENT	⊕	WATER SERVICE VALVE	⊕	TEL POLE WITH DIP	⊕	LIGHT POLE (STEEL)	⊕	GAS VALVE	—	WATER
⊕	CATCH BASIN	⊕	WATER METER	⊕	TEL POLE WITH LIGHT	⊕	LIGHT POLE (STEEL)	⊕	GAS SNIFFER	—	HYDRO
⊕	DRAIN CLEANOUT	⊕	BOULEVARD SERVICE	⊕	TEL SERVICE BOXES	⊕	LIGHT/SIGNAL POLE (STEEL)	⊕	TEST HOLE	—	LIGHTING
⊕	DRAIN LATERAL	⊕	FIRE HYDRANT	⊕	TEL VAULT	⊕	CLUSTER LAMP - TYPE A	⊕	FENCE LINE	—	GAS
⊕	SANITARY SEWER MANHOLE	⊕	REDUCER	⊕	POLE ANCHOR	⊕	CLUSTER LAMP - TYPE B	⊕	RETAINING WALL	—	TEL/CABLE
⊕	SANITARY SEWER VENT	⊕	LIGHT MANHOLE	⊕	HYDRO/TEL POLE TO BE RELOCATED	⊕	STREET SIGN	⊕	TREE		
⊕	SEWER CLEANOUT	⊕	LIGHT PULL BOX - SIDEWALK	⊕		⊕	PARKING METER	⊕	ROCK OUTCROP		
⊕		⊕		⊕		⊕		⊕			

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ISS/REV	0	2022/05/20	ISSUED FOR RE-ZONING	BH	SG	BH	JCS
ISS/REV	YYYY-MM-DD		DESCRIPTION	DES	DRN	CHK	PM

SEAL:

Engineers and Geoscientists BC  
Permit to Practice #1000200

RELiance PROPERTIES

CLIENT:

CLIENT REF. NO:

wsp

301-3600 Uptown Blvd  
Victoria BC Canada  
V8Z 0B9  
T: 1-250-384-5510  
F: 1-250-386-2844  
wsp.com

PROJECT:  
780 BLANSHARD STREET  
VICTORIA, BC

PROJECT NO:  
221-03333-00  
SCALE:  
1:200  
DISCIPLINE:

CIVIL

TITLE:  
CONCEPTUAL CIVIL PLAN

DRAWING NO:

C01

SHEET NO:

1 OF 2

ISSUE:  
FOR RE-ZONING  
2022/05/20

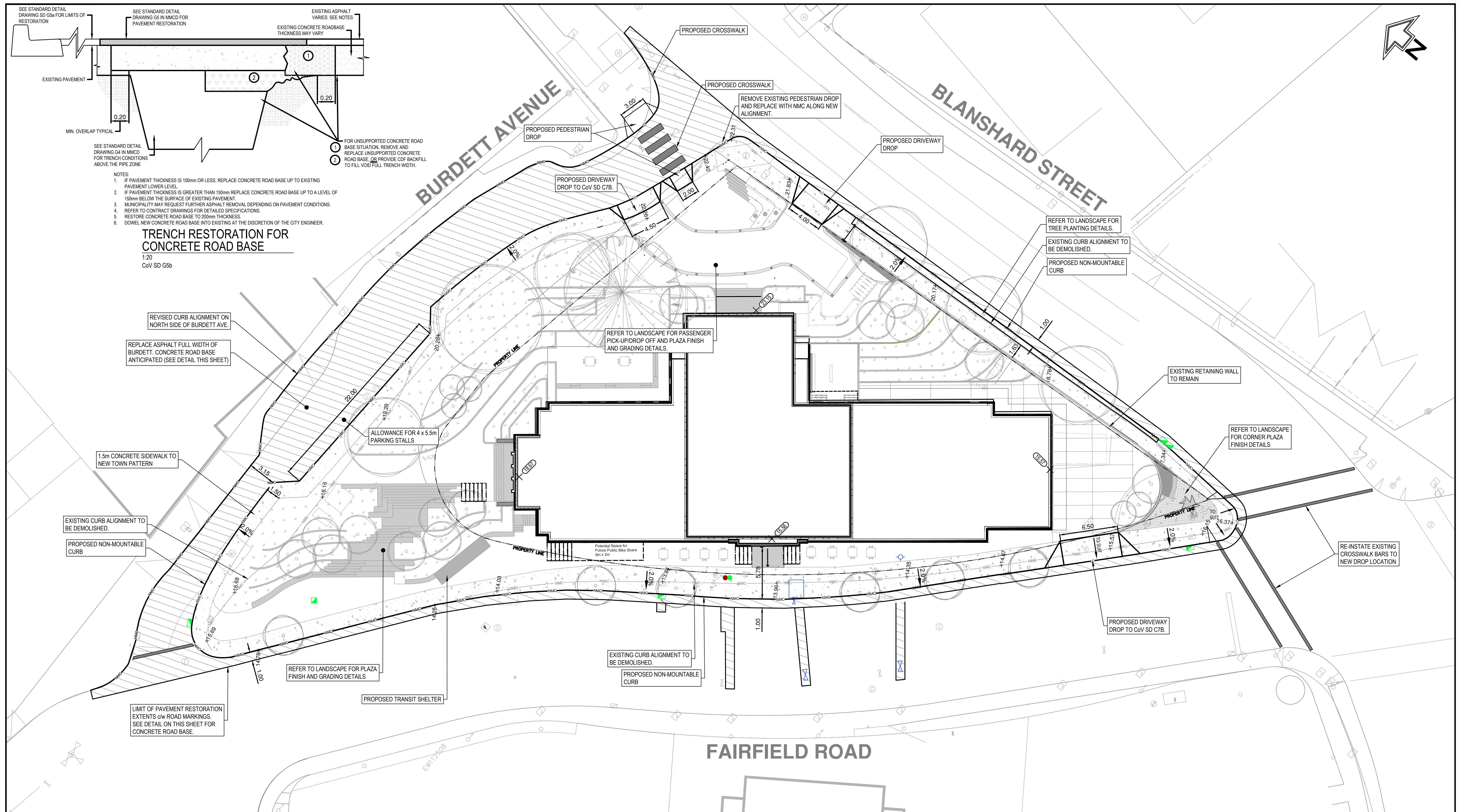
ISS/REV:

0

1:200







**LEGEND**

SURFACE DETAIL		Y	SEWER LATERAL	①	TEL MANHOLE	⊖	SIGNAL PULL BOX - SIDEWALK	✕	HYDRO/TEL POLE TO BE REMOVED
②	STORM DRAIN MANHOLE	(H)	HYDRO MANHOLE	☐	WATER VALVE ON MAIN	⚡	TEL POLE	⊖	LIGHT/SIGNAL PULL BOX - STREET
⊖	STORM DRAIN VENT	⚡	HYDRO POLE	⚡	WATER SERVICE VALVE	⊖	LIGHT POLE (STEEL)	☐	GAS METER
☐	CATCH BASIN	⚡	HYDRO POLE WITH DIP	⊖	WATER METER	⊖	SIGNAL POLE (STEEL)	⚡	GAS VALVE
⊖	DRAIN CLEANOUT	⚡	JOINT POLE	☐	BOULEVARD SERVICE	⊖	LIGHT/SIGNAL POLE (STEEL)	⚡	GAS SNIFFER
△	DRAIN LATERAL	⚡	HYDRO POLE WITH LIGHT	⊖	FIRE HYDRANT	⊖	CLUSTER LAMP - TYPE A	+	TEST HOLE
⊖	SANITARY SEWER MANHOLE	(H) R	HYDRO SERVICE BOXES	⊖	REDUCER	⊖	CLUSTER LAMP - TYPE B	+	FENCE LINE
⊖	SANITARY SEWER VENT	(H)	HYDRO VAULT	⊖	LIGHT MANHOLE	→	POLE ANCHOR	+	RETAINING WALL
⊖	SEWER CLEANOUT	(H)		⊖	LIGHT PULL BOX - SIDEWALK	→	HYDRO/TEL POLE TO BE RELOCATED	+	TREE
								+	ROCK OUTCROP

EX. SPOT ELEV  
PRO. SPOT ELEV

CLIENT:

RELIANCE PROPERTIES

CLIENT REF. NO:

## RELIANCE PROPERTIES



301-3600 Uptown Blvd  
Victoria BC, Canada  
V8Z 0B9  
T+ 1 250-384-5510  
F+ 1 250-386-2844  
wsp.com

PROJECT:

780 BLANSHARD STREET

VICTORIA, BC

PROJECT NO:	221-03333-00
SCALE:	1:200
DISCIPLINE:	

CIVIL

TITLE: **CONCEPTUAL SURFACE WORKS  
& SITE GRADING**

DRAWING NO: **C02**

SHEET NO: **2** OF **2**

**FOR RE-ZONING**  
2022/05/20

0

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