



PROJECT LOCATION PLAN (NTS)



PROJECT SITE (NTS)

CONTACTS

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LIST OF DRAWINGS

- ARCHITECTURAL**
- A-000 COVER
 - A-010 PERSPECTIVES
 - A-011 CONTEXT ELEVATIONS & PERSPECTIVES
 - A-012 SHADOW STUDIES
 - A-050 SITE PLAN & PROJECT DATA
 - A-051 ZONING CALCULATIONS
 - A-052 CODE REVIEW
 - A-053 SPATIAL SEPARATION
 - A-101 LEVEL 1 PROPOSED PLAN
 - A-102 LEVEL 2 PROPOSED PLAN
 - A-103 LEVEL 3 PROPOSED PLAN
 - A-104 LEVEL 4 PROPOSED PLAN
 - A-200 EXTERIOR ELEVATIONS
 - A-201 EXTERIOR ELEVATIONS
 - A-301 BUILDING SECTIONS

- CIVIL**
- C-1 CONCEPTUAL SITE SERVICING PLAN

- LANDSCAPE**
- L-0 TREE REMOVAL & PROTECTION PLAN
 - L-1 TREE PLAN
 - L-3 GROUND FLOOR PLANTING PLAN
 - L-4 UPPER FLOOR PLANTING PLANS

ARYZE
1733-1737 Fairfield Rd
APRIL 29, 2022

Project #	Date	Revision
2123	APRIL 29, 2022	
Sheet #		2

A-000



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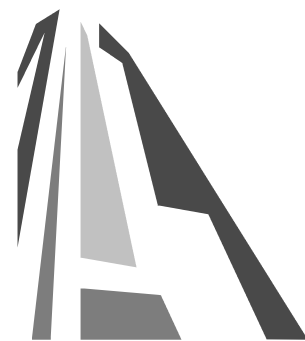


1 BEECHWOOD ELEVATION PERSPECTIVE
SCALE = 1 : 100



2 FAIRFIELD NORTH PERSPECTIVE
SCALE = 1 : 100

2	DPR/2 Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



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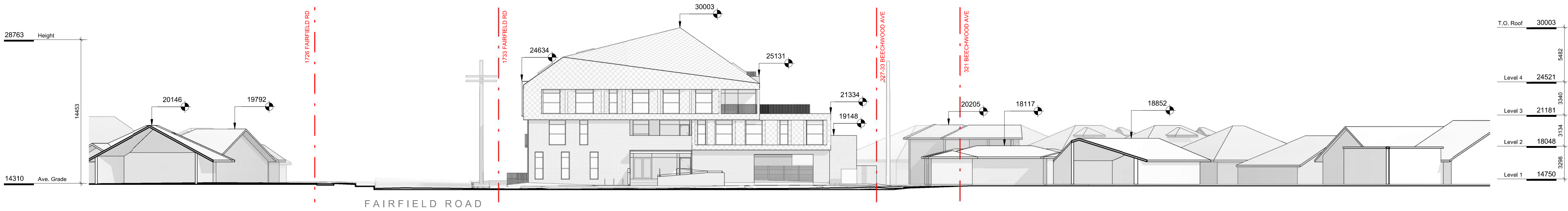
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	ARYZE	
Sheet Name	PERSPECTIVES	
Date	APRIL 29, 2022	
Scale	1 : 100	Project #
		2123
	Revision	2
	April 29, 2022	Sheet #
		A-010





1 CONTEXT PERSPECTIVE FAIRFIELD ROAD
SCALE = 1 : 100

2 CONTEXT PERSPECTIVE BEECHWOOD AVE
SCALE = 1 : 100



3 CONTEXT ELEVATION - BEECHWOOD AVENUE
SCALE = 1 : 200



4 CONTEXT ELEVATION - FAIRFIELD ROAD
SCALE = 1 : 200

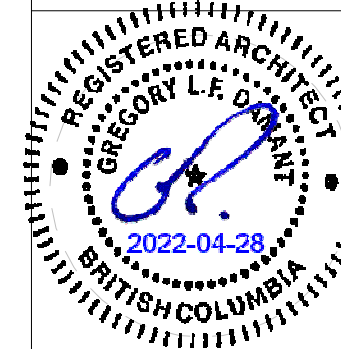
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NO.	DESCRIPTION	DATE



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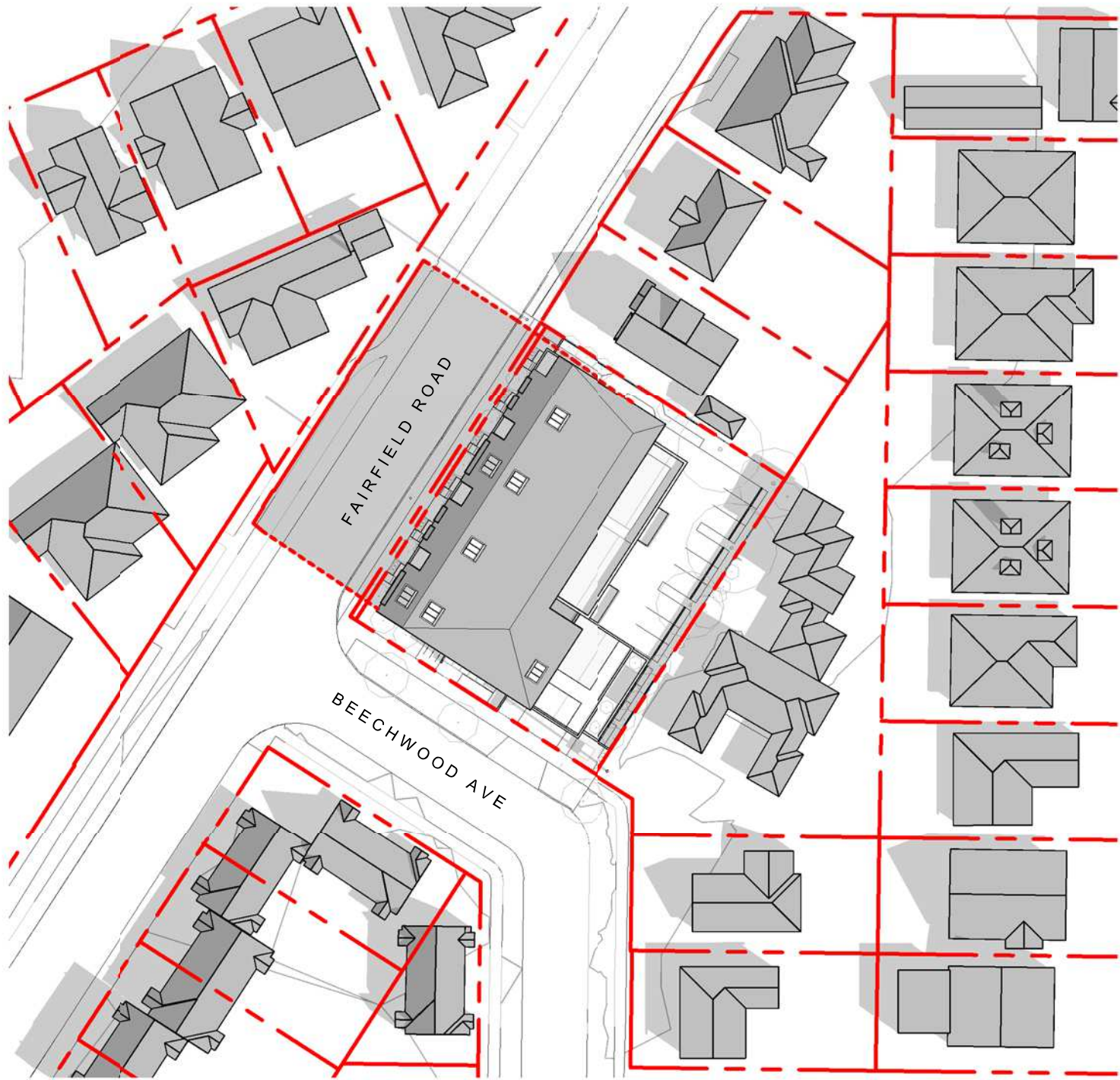
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Project	1733-1737 Fairfield Rd	ARYZE
Sheet Name	CONTEXT ELEVATIONS & PERSPECTIVES	
Date	APRIL 29, 2022	
Scale	As indicated	Project # 2123
Revision	April 29, 2022	2
Sheet #	A-011	





SUMMER SOLSTICE 9AM



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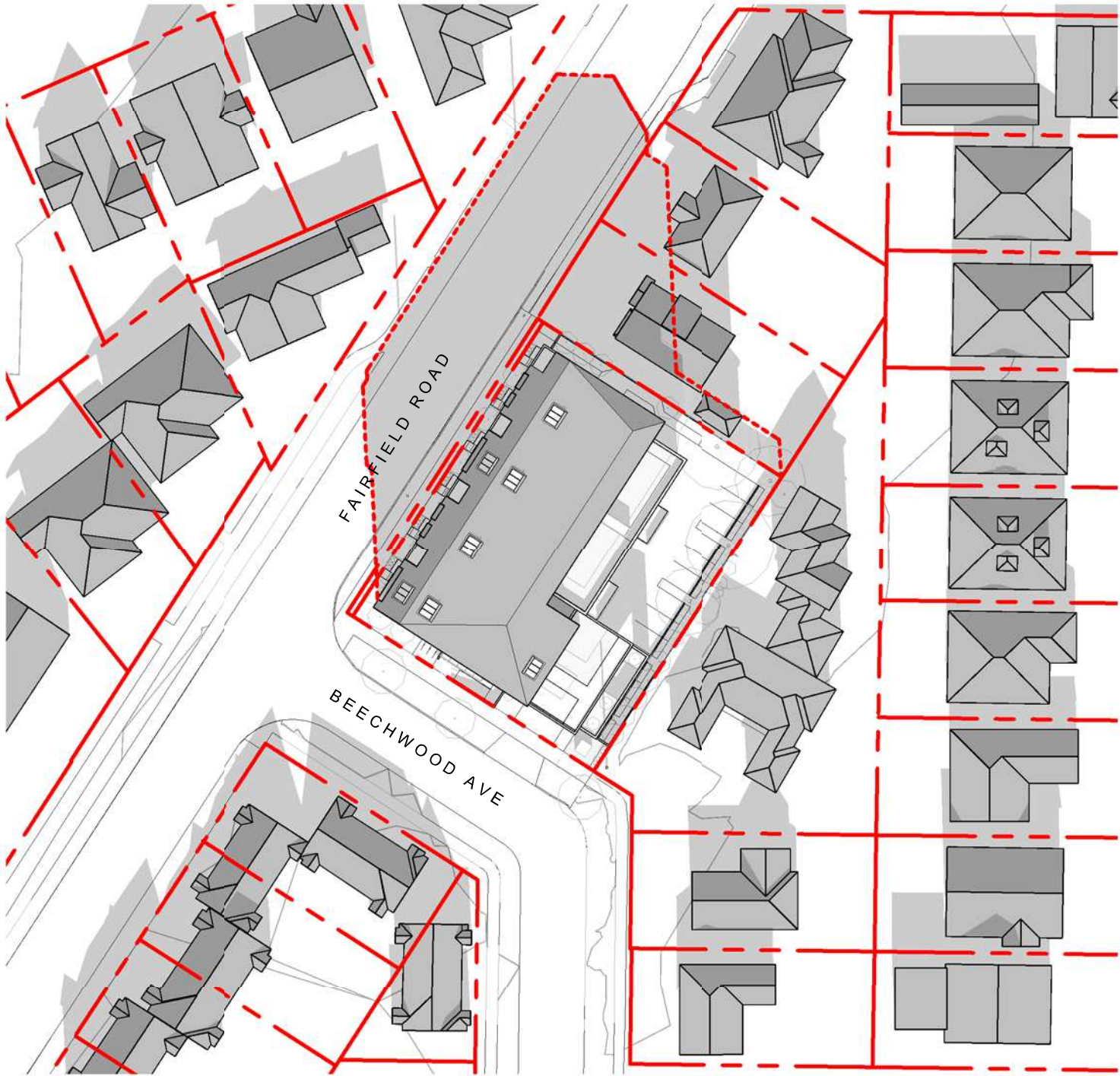
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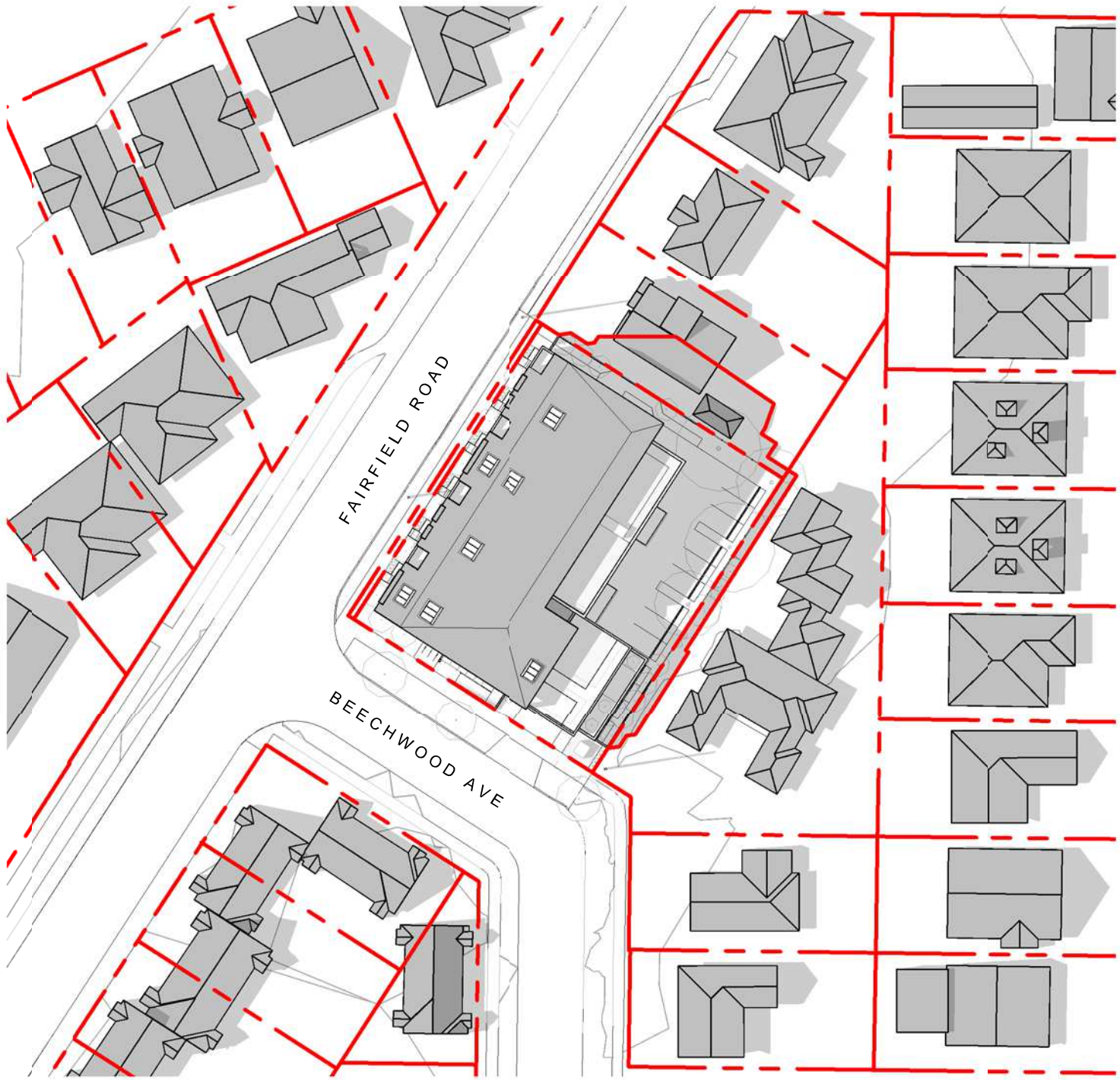
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EQUINOX 12:00 PM



WINTER SOLSTICE 12:00 PM



SUMMER SOLSTICE 4:00 PM

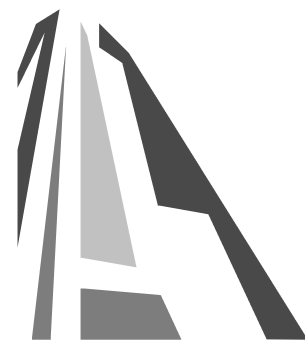


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NO.	DESCRIPTION	DATE

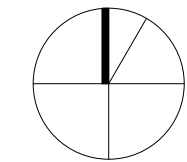


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Project
1733-1737 Fairfield Rd

ARYZE



Sheet Name
SHADOW STUDIES

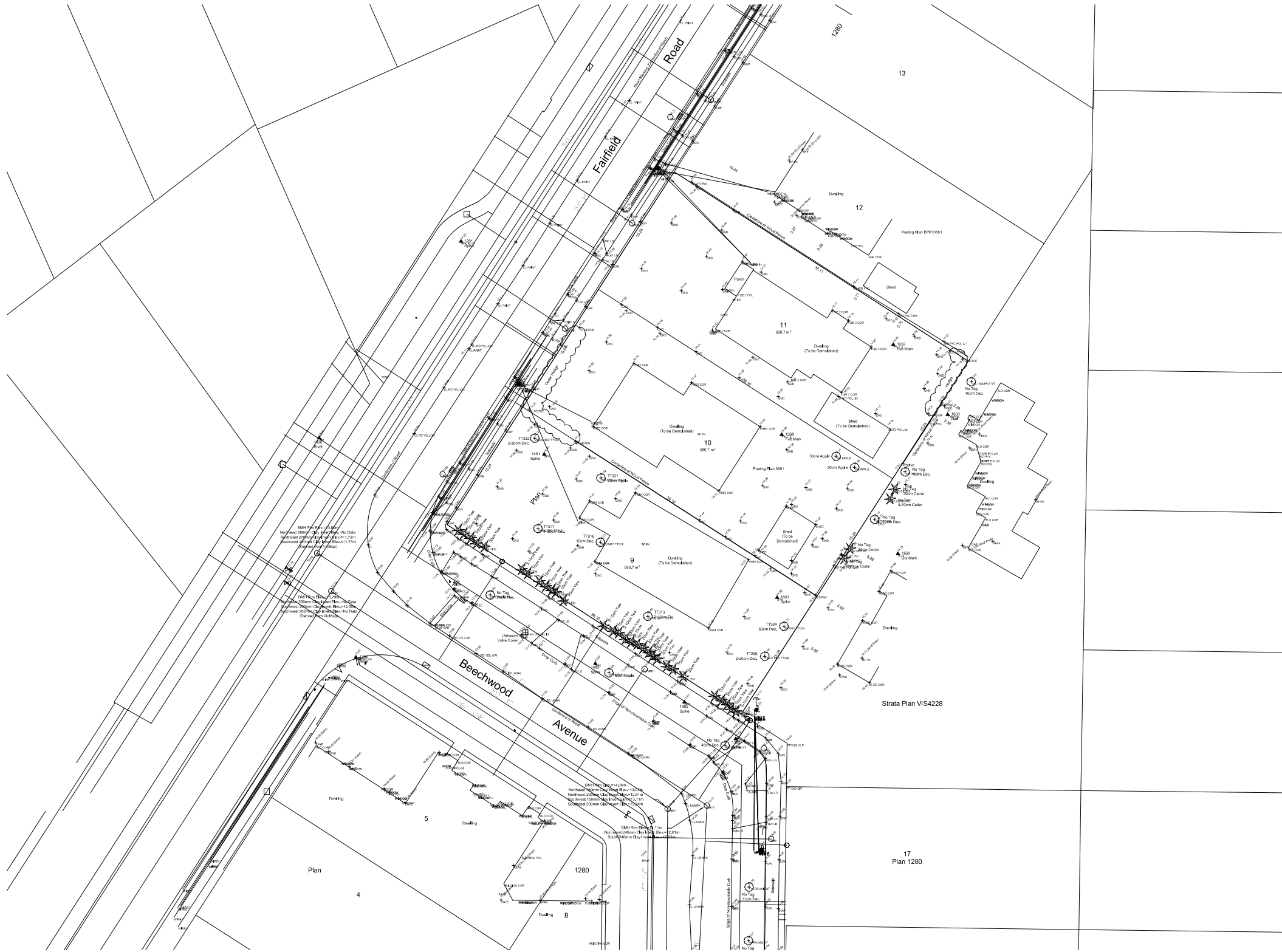
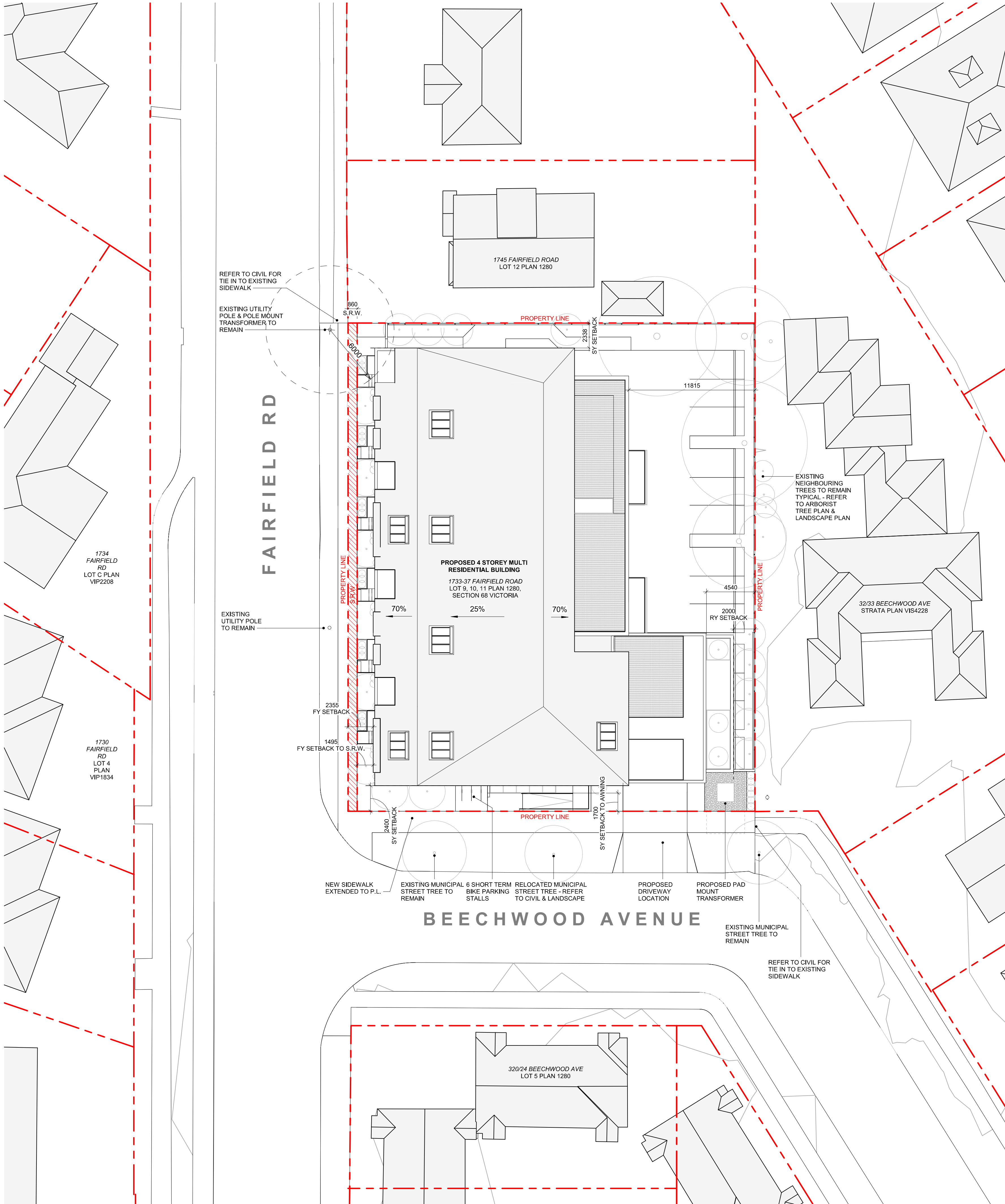
Date
APRIL 29, 2022

Scale 1 : 750	Project # 2123
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Revision April 29, 2022	2
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Sheet # A-012





1 EXISTING SURVEY
SCALE = 1 : 500

DATA

MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	1733-37 FAIRFIELD ROAD, VICTORIA BC
LEGAL DESCRIPTION	LOT 9, 10, 11, PLAN 1280, SECTION 68 VICTORIA
PROJECT DESCRIPTION	4 STOREY MULTI UNIT RESIDENTIAL BUILDING

PROJECT INFORMATION

ZONE (EXISTING)	R1-G	
PROPOSED ZONE	UNKNOWN	
SITE AREA (m ²)	1,741.93m ²	
TOTAL FLOOR AREA (m ²)	2931.43m ²	
COMMERCIAL FLOOR AREA (m ²)	0	
FLOOR SPACE RATIO	1.68:1	
SITE COVERAGE (%)	65%	
OPEN SITE SPACE (%)	23%	
HEIGHT (m)	14.45m	
NUMBER OF STOREYS	4	
	REQUIRED	PROVIDED
PARKING STALLS (#) ON SITE	28	21
PARKING STALLS - VISITOR (#) ON SITE	2	1
BICYCLE PARKING (#) SHORT TERM	6	6
BICYCLE PARKING (#) LONG TERM	24	32

BUILDING SETBACKS (m)

FRONT YARD	2.36m
REAR YARD (TO BALCONY)	2.00m
REAR YARD (TO BUILDING FACE)	4.54m
INTERNAL SIDE YARD	2.34m
SIDE YARD (TO AWNING)	1.70m
SIDE YARD (TO BUILDING FACE)	2.40m
COMBINED SIDE YARDS	4.74m

RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS	19
UNIT TYPE	3BD+DEN(1), 3BD(1), 2BD(11), 2BD+DEN(1), 1 BD(1), 1BD +DEN(4)
GROUND-ORIENTATED UNITS	6
MINIMUM UNIT FLOOR AREA (m ²)	74m ²
TOTAL RESIDENTIAL FLOOR AREA (m ²)	2430m ²

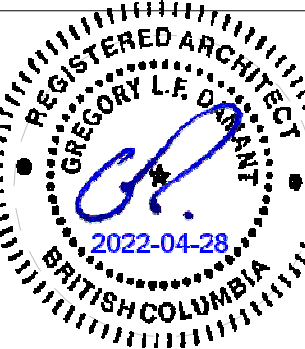
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NO.	DESCRIPTION	DATE

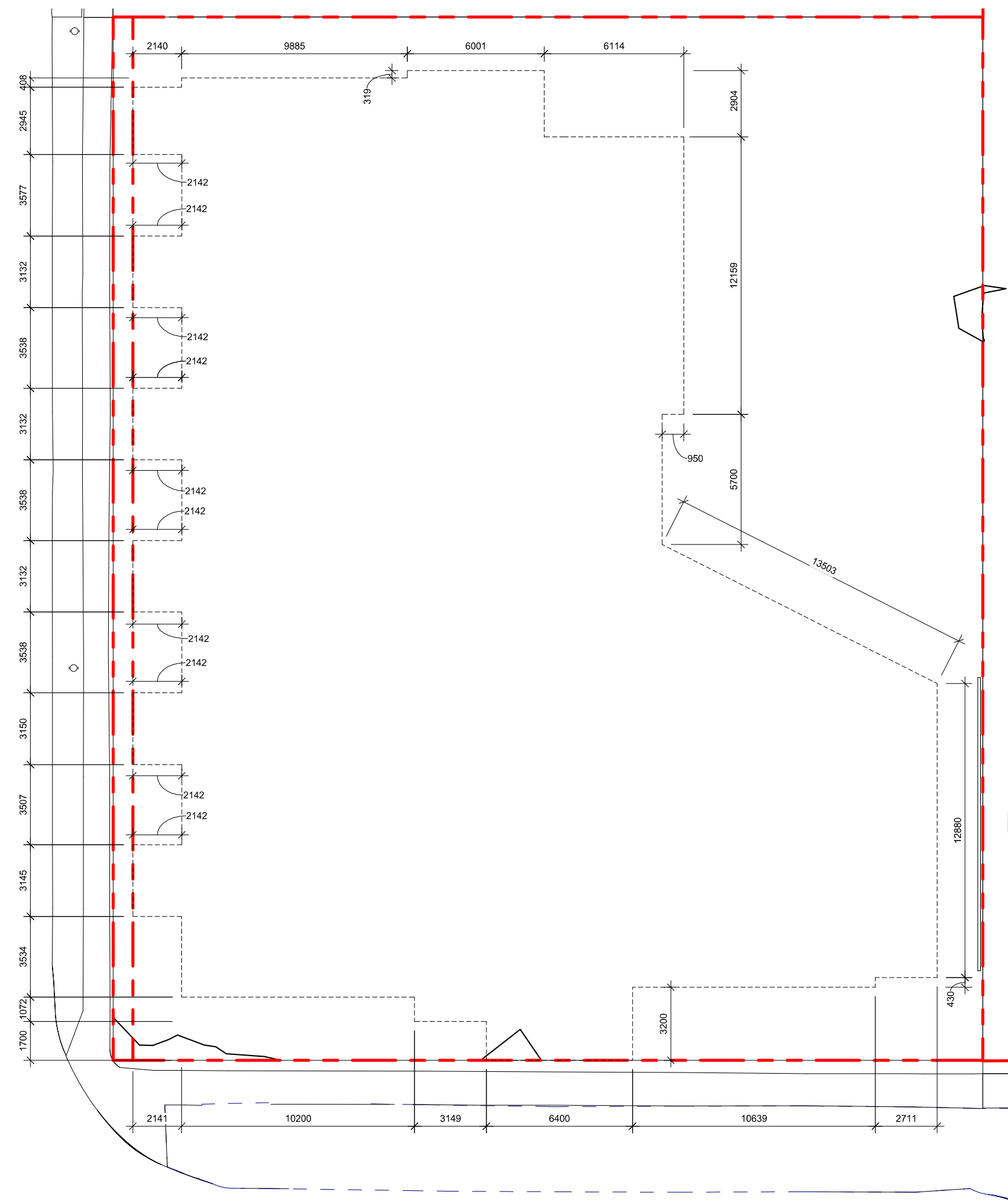


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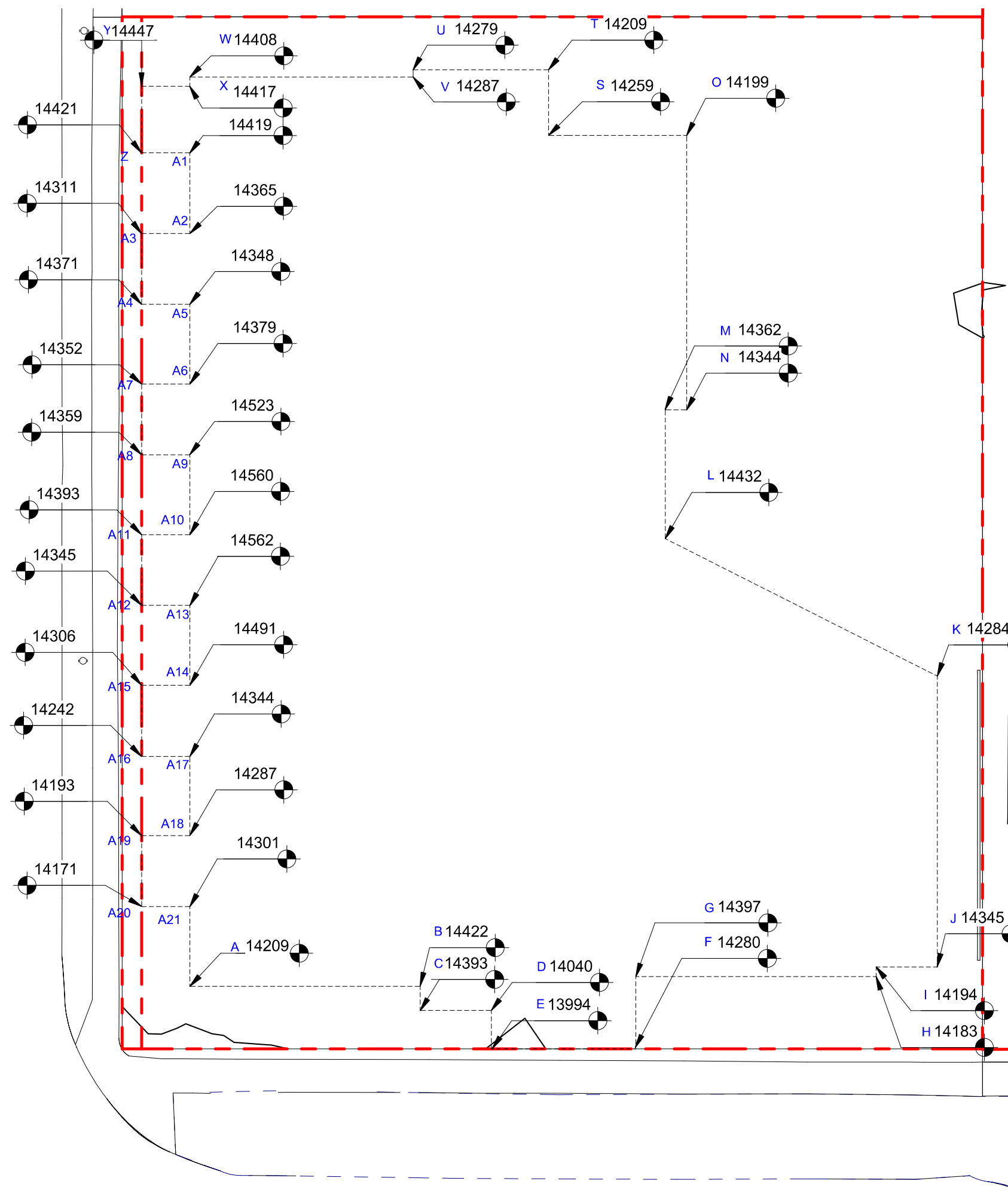
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Project	
1733-1737 Fairfield Rd	
ARYZE	
Sheet Name	
SITE PLAN & PROJECT DATA	
Date	
APRIL 29, 2022	
Scale	Project #
As indicated	2123
Revision	2
April 29, 2022	
Sheet #	A-050

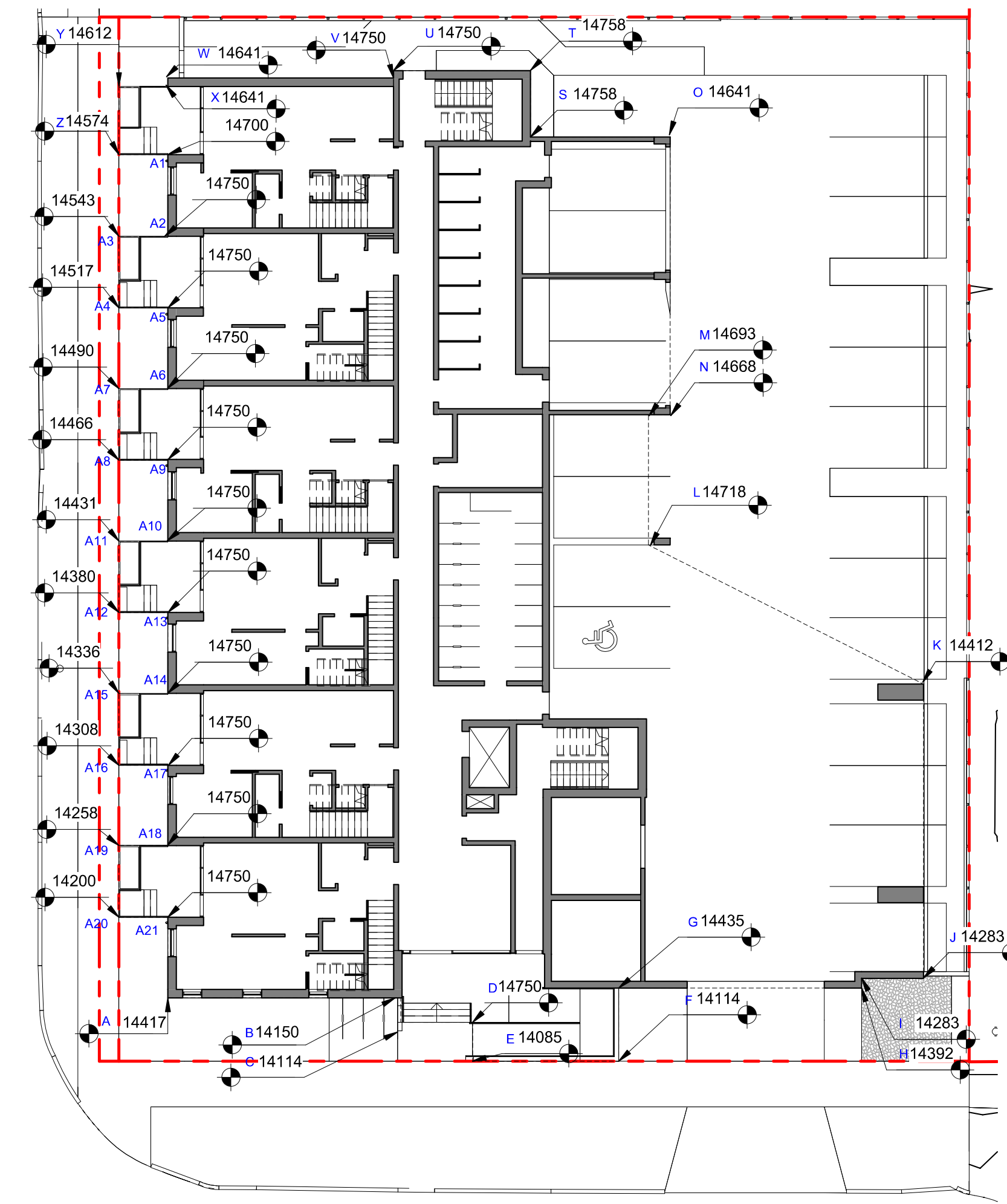




1 DISTANCE BTWN POINTS KEY PLAN
SCALE = 1 : 200



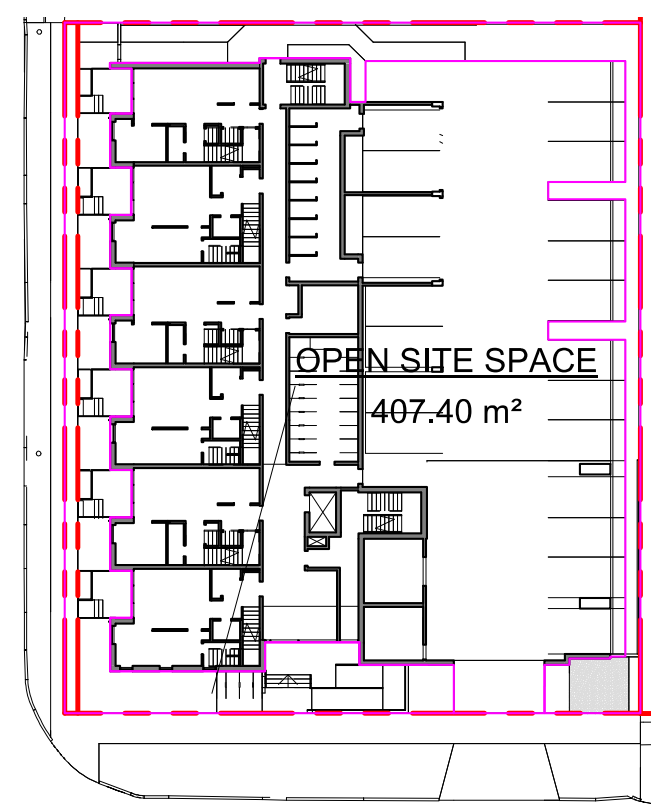
2 NATURAL GRADE KEY PLAN
SCALE = 1 : 200



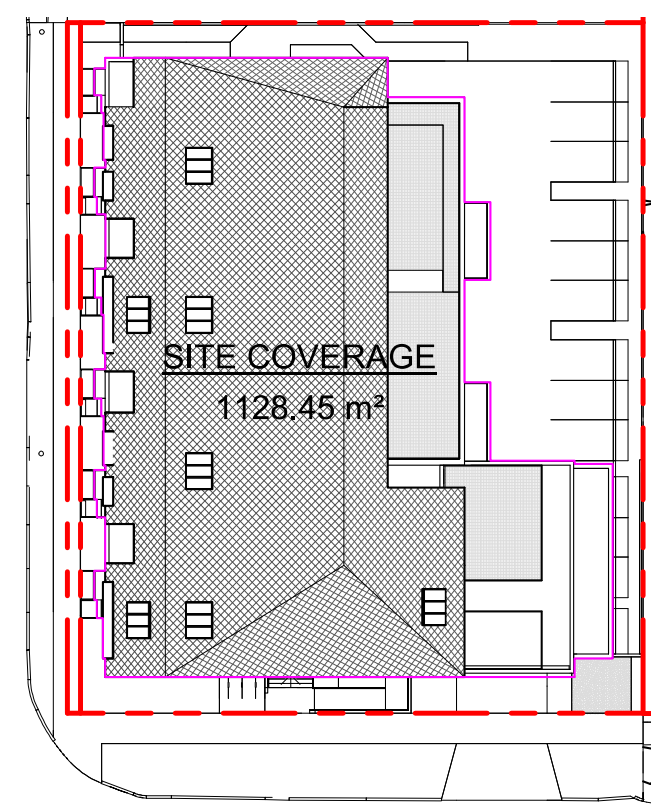
3 PROPOSED GRADE KEY PLAN
SCALE = 1 : 200

POINT NAME	NATURAL	PROPOSED	DISTANCE BETWEEN POINTS		AVE. OF POINTS
A	14.209	14.42	Point A & B	10.207	144.73
B	14.422	14.15	Point B & C	1.072	15.15
C	14.393	14.11	Point C & D	3.143	44.24
D	14.04	14.75	Point D & E	1.7	23.83
E	13.995	14.09	Point E & F	6.4	89.95
F	14.238	14.11	Point F & G	3.2	45.62
G	14.397	14.44	Point G & H	10.809	154.46
H	14.183	14.39	Point H & I	0.403	5.72
I	14.194	14.28	Point I & J	2.541	36.18
J	14.345	14.28	Point J & K	12.88	184.17
K	14.315	14.41	Point K & L	13.503	194.09
L	14.432	14.72	Point L & M	5.7	82.06
M	14.362	14.69	Point M & N	0.905	12.99
N	14.344	14.67	Point N & O	12.159	173.53
O	14.199	14.64	Point O & S	6.114	87.00
S	14.259	14.76	Point S & T	2.904	41.34
T	14.209	14.76	Point T & U	5.629	80.18
U	14.279	14.75	Point U & V	0.319	4.56
V	14.287	14.75	Point V & W	9.885	141.83
W	14.408	14.64	Point W & X	0.4	5.77
X	14.417	14.64	Point X & Y	2.14	30.88
Y	14.447	14.61	Point Y & Z	2.96	42.72
Z	14.421	14.57	Point Z & A1	2.14	30.86
A1	14.419	14.70	Point A1 & A2	3.554	51.15
A2	14.365	14.75	Point A2 & A3	2.14	30.68
A3	14.311	14.54	Point A3 & A4	3.14	45.03
A4	14.371	14.52	Point A4 & A5	2.14	30.73
A5	14.348	14.75	Point A5 & A6	3.545	51.00
A6	14.425	14.75	Point A6 & A7	2.14	30.79
A7	14.352	14.49	Point A7 & A8	3.13	44.93
A8	14.359	14.47	Point A8 & A9	2.14	30.90
A9	14.523	14.75	Point A9 & A10	3.54	51.48
A10	14.56	14.75	Point A10 & A11	2.14	30.98
A11	14.393	14.43	Point A11 & A12	3.125	44.90
A12	14.345	14.44	Point A12 & A13	2.142	30.96
A13	14.562	14.75	Point A13 & A14	3.545	51.50
A14	14.491	14.75	Point A14 & A15	2.142	30.84
A15	14.306	14.34	Point A15 & A16	3.15	44.96
A16	14.242	14.31	Point A16 & A17	2.14	30.59
A17	14.344	14.75	Point A17 & A18	3.507	50.20
A18	14.287	14.75	Point A18 & A19	3	42.72
A19	14.193	14.26	Point A19 & A20	3.145	44.60
A20	14.171	14.20	Point A20 & A21	3.00	42.72
A21	14.301	14.75	Point A21 & A	3.534	50.74

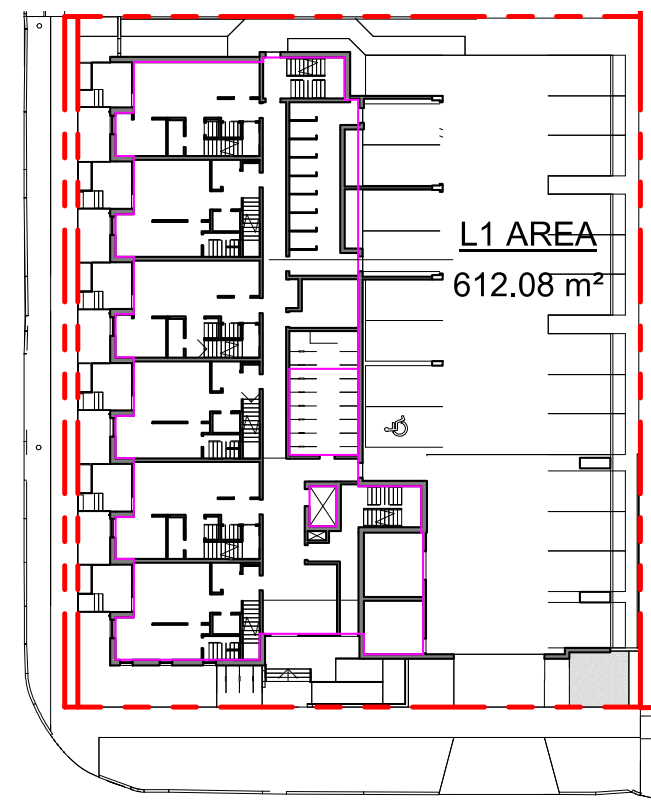
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Average Grade	14.31	



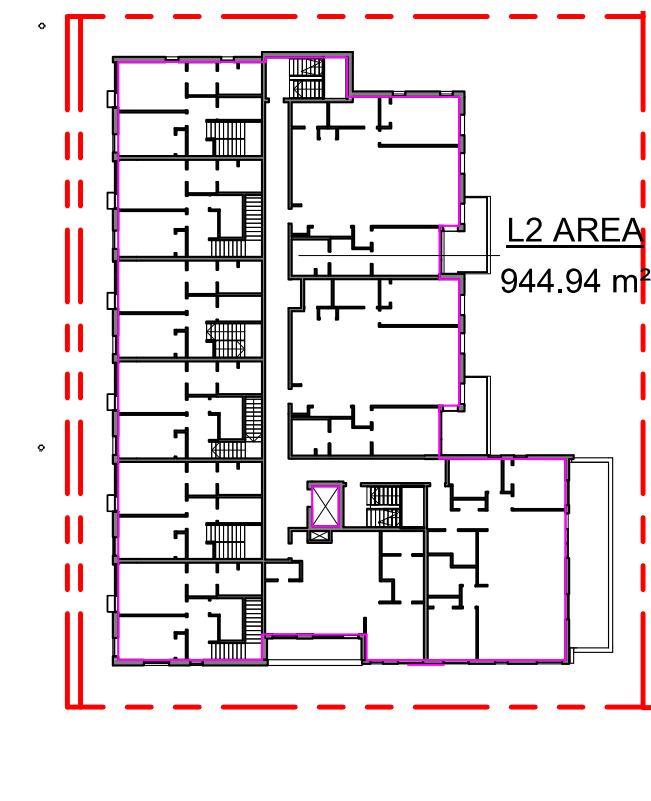
4 OPEN SITE SPACE
SCALE = 1 : 500



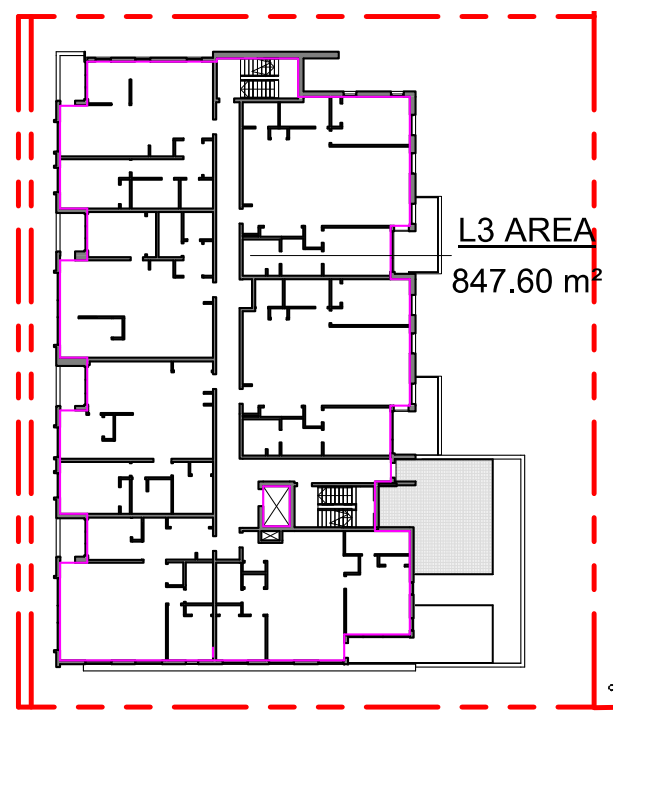
5 SITE COVERAGE
SCALE = 1 : 500



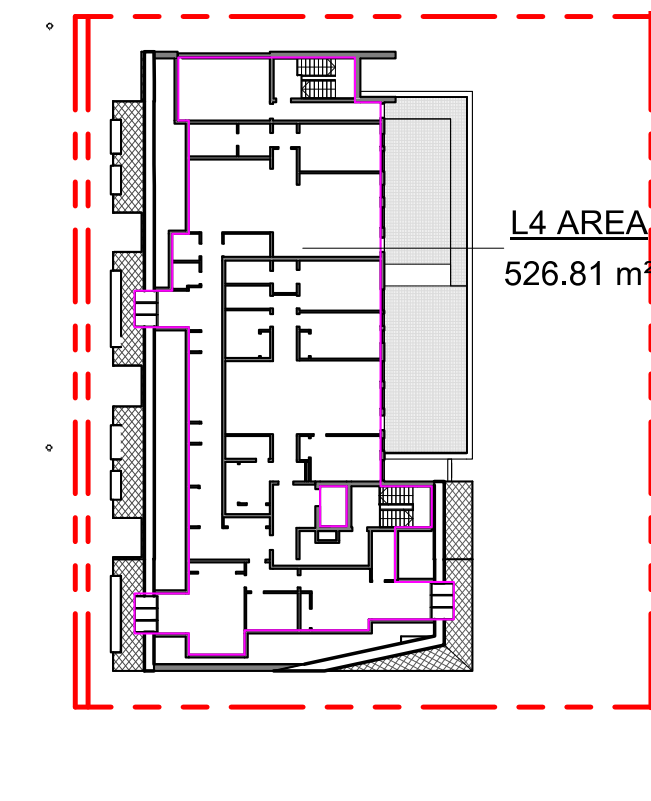
6 L1 FLOOR AREA
SCALE = 1 : 500



7 L2 FLOOR AREA
SCALE = 1 : 500



8 L3 FLOOR AREA
SCALE = 1 : 500



9 L4 FLOOR AREA
SCALE = 1 : 500

SUPPORTING CALCULATIONS

ZONING REGULATION BYLAW FLOOR AREAS

Level 1	612.08 m ²
Level 2	944.94 m ²
Level 3	847.60 m ²
Level 4	526.81 m ²
Grand total: 4	2931.43 m ²

FLOOR SPACE RATIO	
2931.43m ² / 1741.93m ²	= 1.68
FSR	- 1.68 : 1

SITE COVERAGE	
1128.45m ² / 1741.93m ²	= 0.65 (65%)

OPEN SITE SPACE	
407.4m ² / 1741.93m ²	= 0.23 (23%)

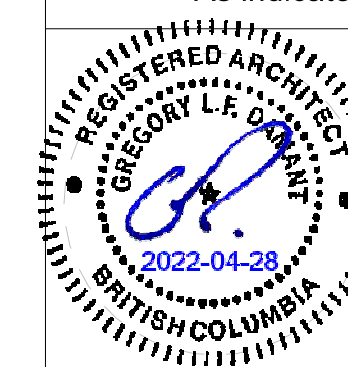
2	DP/RZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE

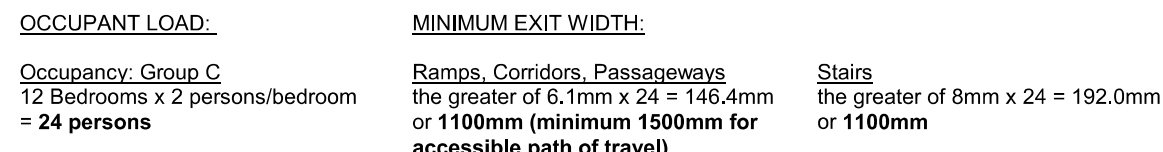


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Project	
1733-1737 Fairfield Rd	
ARYZE	
Sheet Name	
ZONING CALCULATIONS	
Date	APRIL 29, 2022
Scale	As indicated
Project #	2123
Revision	April 29, 2022
Sheet #	2
A-051	



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<u>OCCUPANT LOAD:</u>	<u>MINIMUM EXIT WIDTH:</u>
<u>Occupancy:</u> Group C 14 Bedrooms x 2 persons/bedroom = 28 persons	<u>Ramps, Corridors, Passageways</u> the greater of 6.1m x 28 = 170.8mm or 1100mm (minimum 1500mm for <u>Stairs</u> the greater of 8mm x 28 = 224.0mm or 1100mm

OCCUPANT LOAD:	MINIMUM EXIT WIDTH:	
Occupancy: Group C 7 Bedrooms x 2 persons/bedroom = 14 persons	Ramps, Corridors, Passageways the greater of 6,1mm x 14 = 85,4mm or 1100mm (minimum 1500mm for accessible path of travel)	Stairs the greater of 8mm x 14 = 112,0mm or 1100mm

10117

2338

12258

11.50m Max. Corridor Floor Dimensions

BDRM

3 BED OCC. LOAD 6 PERSONS

72.43m

BDRM

BDRM

3 BED OCC. LOAD 6 PERSONS

59.03m

BDRM

BATH

BDRM

COMPARTMENT 1 11815

COMPARTMENT 2 4585

BEECHWOOD AVENUE

ESTIMATED CENTRE LINE

ESTIMATED CENTRE LINE

FAIRFIELD ROAD

<u>OCCUPANT LOAD:</u>	<u>MINIMUM EXIT WIDTH:</u>
<u>Occupancy: Group C</u> 6 Bedrooms x 2 persons/bedroom = 12 persons	<u>Ramps, Corridors, Passageways</u> the greater of 6,1mm x 12 = 73,2mm or 1100mm (minimum 1500mm for
	<u>Stairs</u> the greater of 8mm x 12 = 96mm or 1100mm

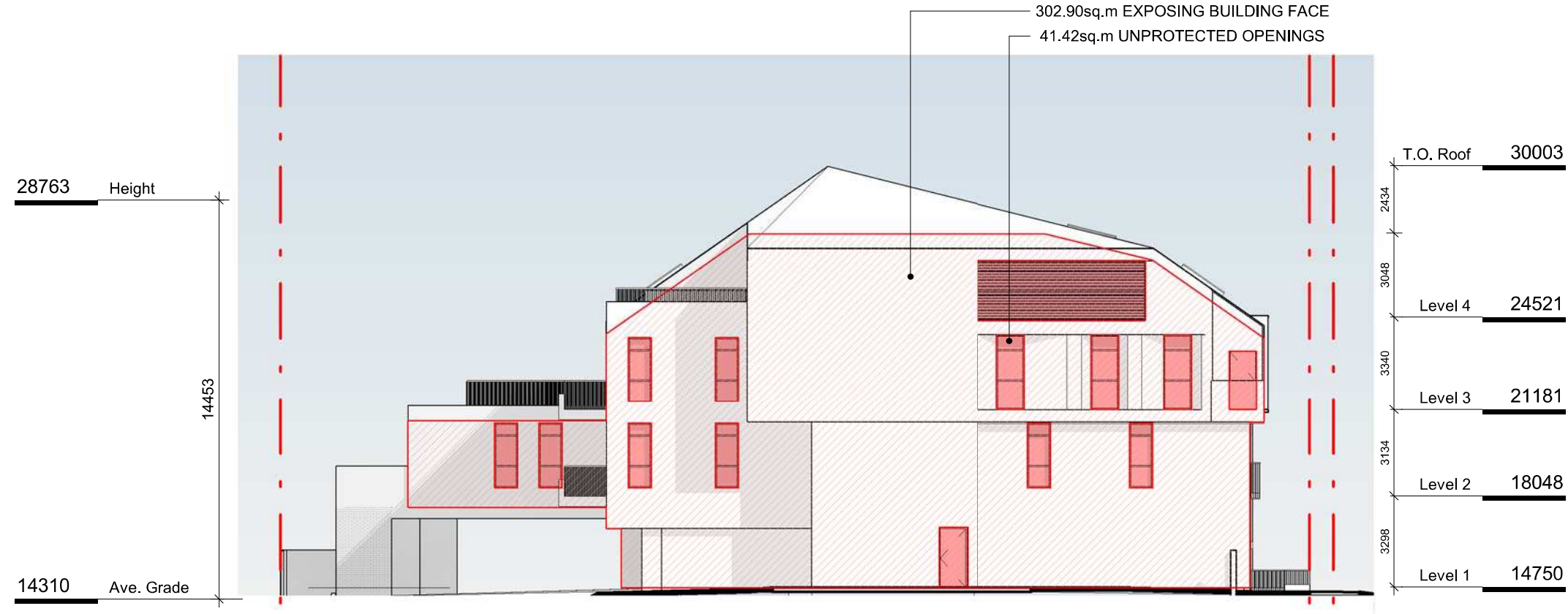
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NW ELEVATION

TABLE 3.2.3.1.-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	10.12m (>9m)	100	520.98	222.94	43
TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	10.12m (>9m)	100	45 minutes	Any	Any

1 NW ELEVATION - LD KEY
SCALE = 1 : 200



NE ELEVATION

TABLE 3.2.3.1.-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	2.34m (>2m)	16	302.90	41.42	13.7
TABLE 3.2.3.7	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	GROUP C	10 - 25	1 hr	Any	Noncombustible

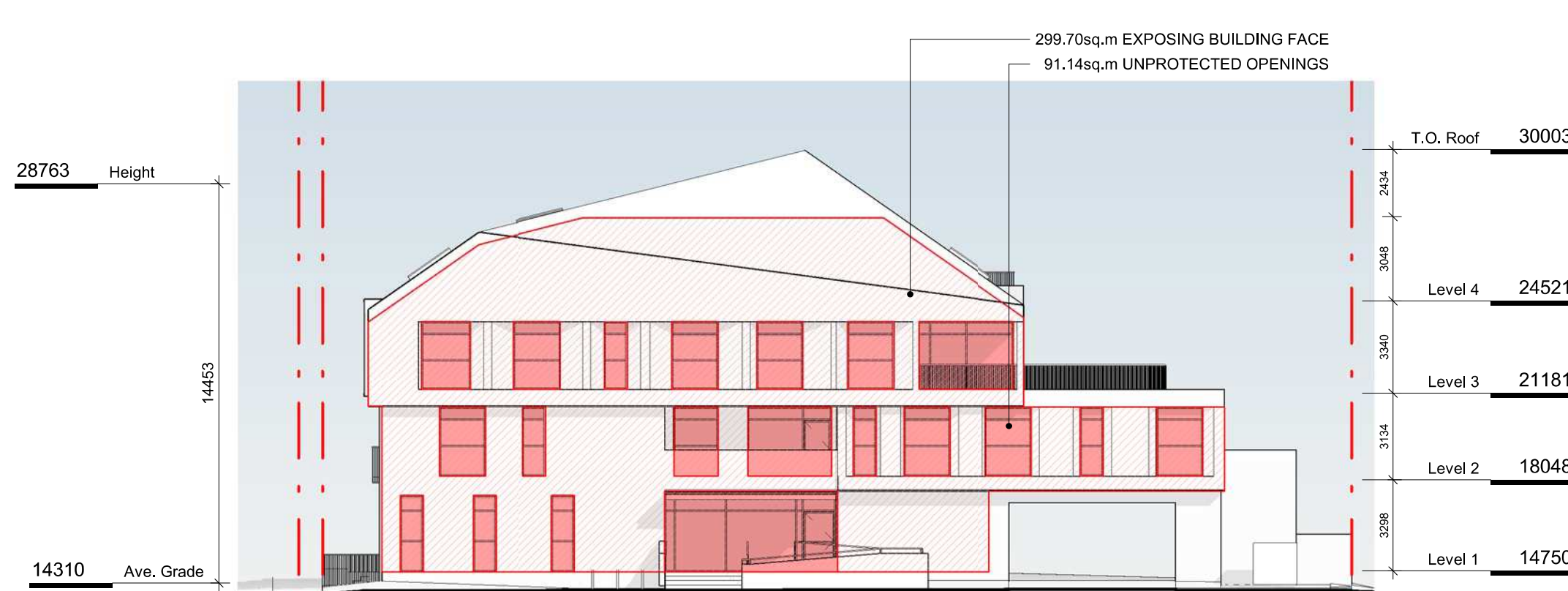
2 NE ELEVATION - LD KEY
SCALE = 1 : 200



SE ELEVATION

TABLE 3.2.3.1.-D COMPARTMENT 1	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	11.82m (>9m)	100	477.29	151.63	31.8
TABLE 3.2.3.7 COMPARTMENT 1	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	GROUP C	50 - 100	45 minutes	Any	Any
TABLE 3.2.3.1.-D COMPARTMENT 2	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	4.59m (>4m)	56	44.32	11.74	26.5
TABLE 3.2.3.7 COMPARTMENT 2	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	GROUP C	50 - 100	45 minutes	Any	Any

4 SE ELEVATION - LD KEY
SCALE = 1 : 200



SW ELEVATION

TABLE 3.2.3.1.-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	12.29m (>9m)	100	299.70	91.14	30.4
TABLE 3.2.3.7	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	GROUP C	100	45 minutes	Any	Any

3 SW ELEVATION - LD KEY
SCALE = 1 : 200

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Project	1733-1737 Fairfield Rd
	ARYZE

Sheet Name
SPATIAL SEPARATION

Date
APRIL 29, 2022

Scale 1 : 200	Project # 2123
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Revision April 29, 2022	2
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Sheet # A-053

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2	DP/IRZ Submission	April 29, 2022
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Project
1733-1737 Fairfield Rd
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Sheet Name
LEVEL 1 PROPOSED PLAN

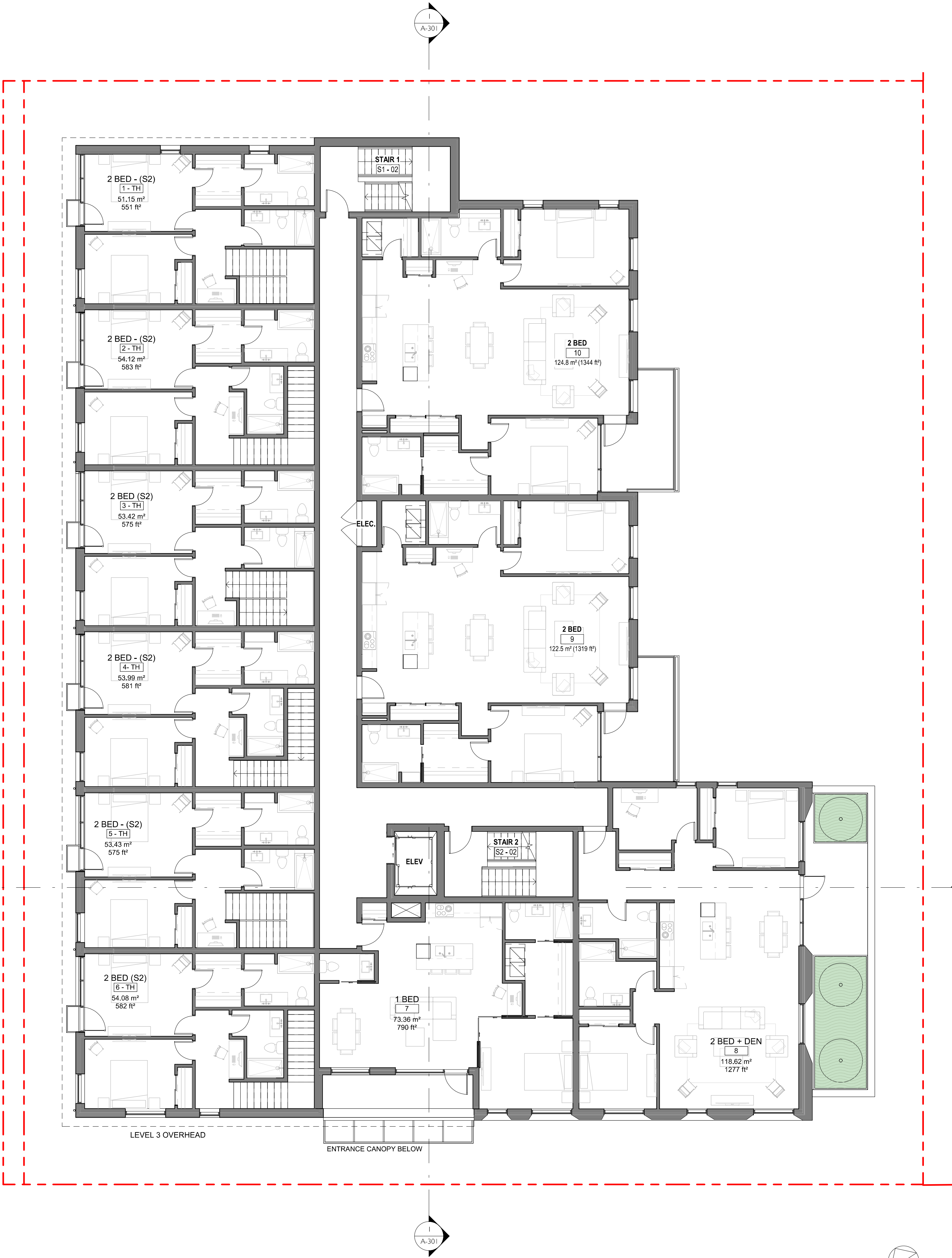
Date
APRIL 29, 2022

Scale
1 : 100
Project #
2123

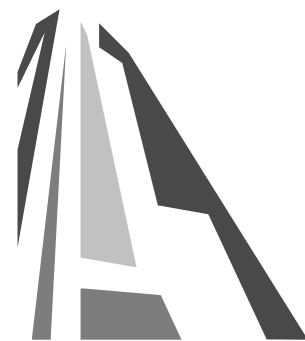
Revision
April 29, 2022
2

Sheet #
A-101





2	DPRIZ Submission	April 29, 2022
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Sheet Name
LEVEL 2 PROPOSED PLAN

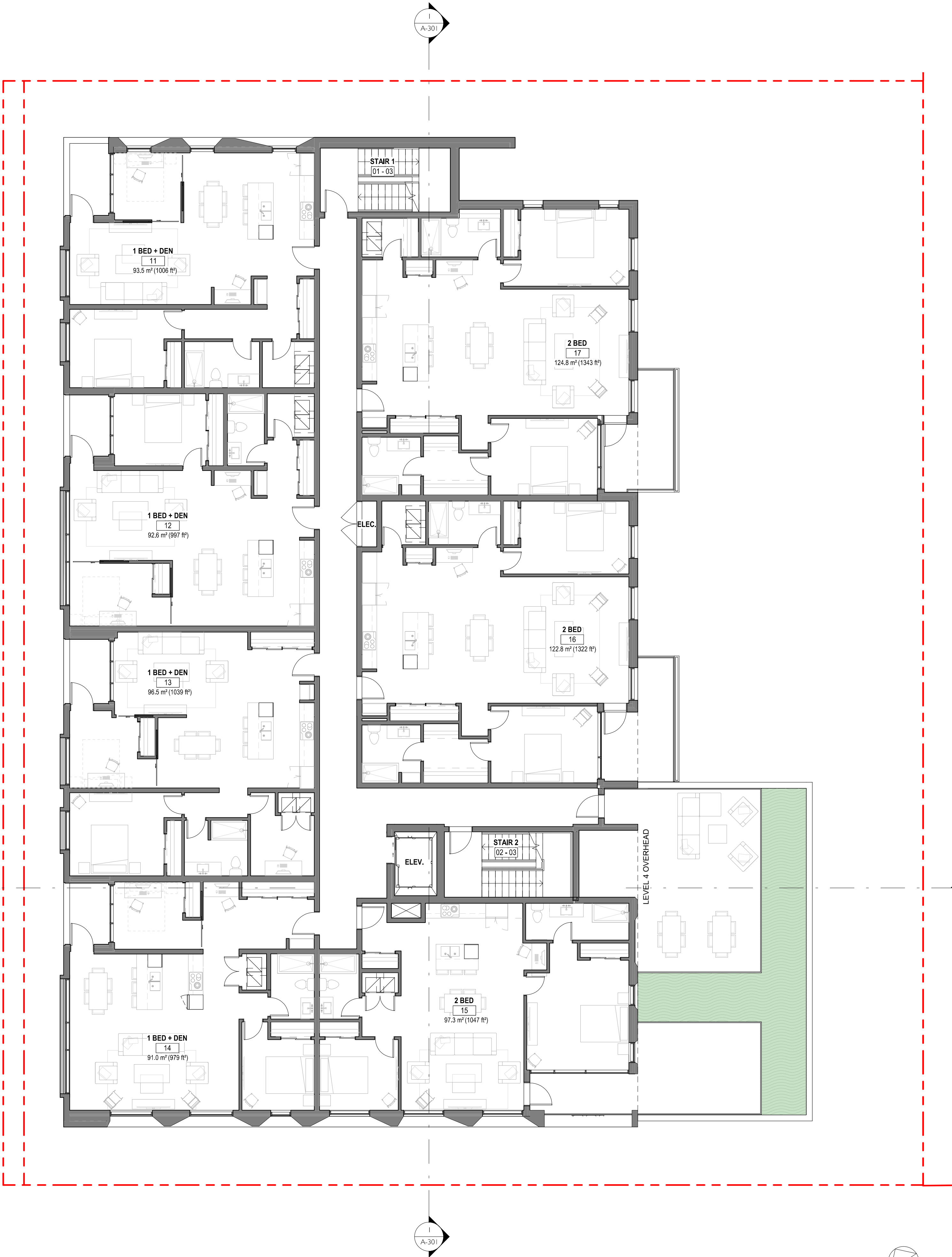
Date
APRIL 29, 2022

Scale
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Project #
2123

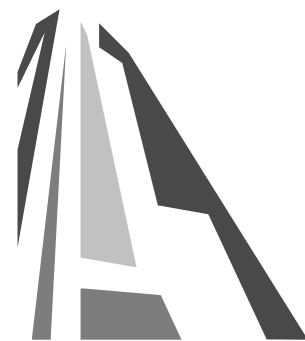
Revision
April 29, 2022
2

Sheet #
A-102





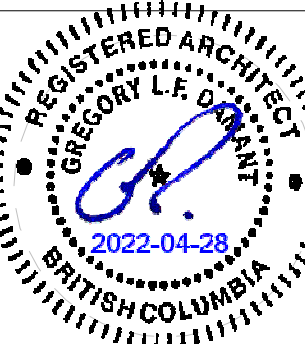
2	DPIRZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE

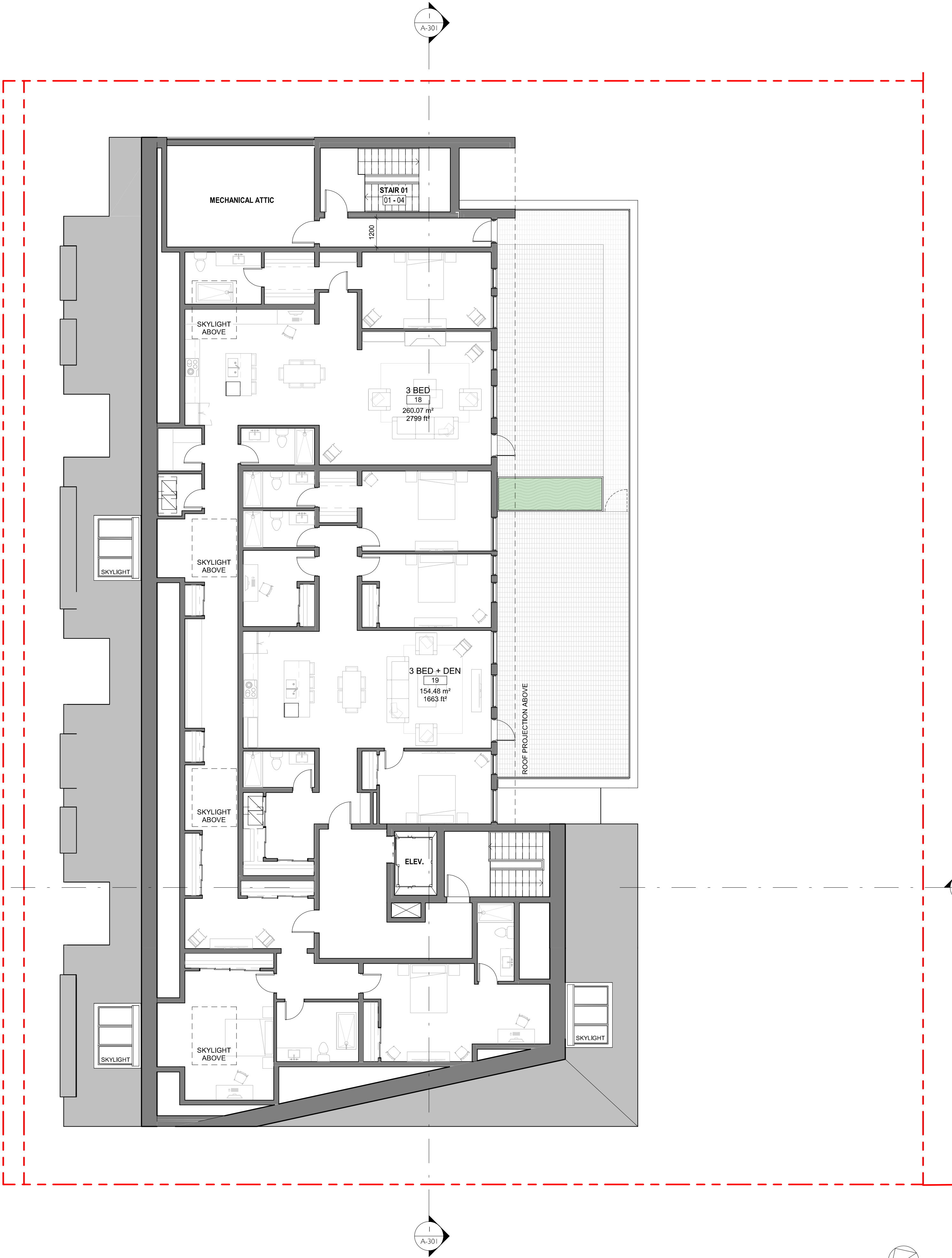


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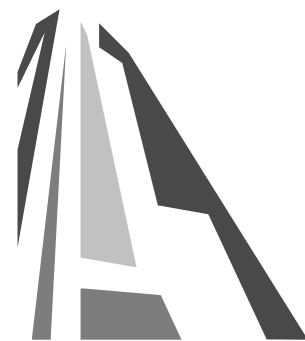
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Project	1733-1737 Fairfield Rd	
	ARYZE	
Sheet Name	LEVEL 3 PROPOSED PLAN	
Date	APRIL 29, 2022	
Scale	1 : 100	Project #
		2123
	Revision	2
	April 29, 2022	
	Sheet #	A-103





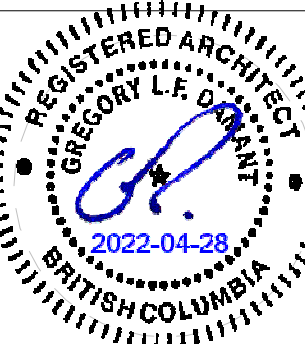
2	DPRIZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



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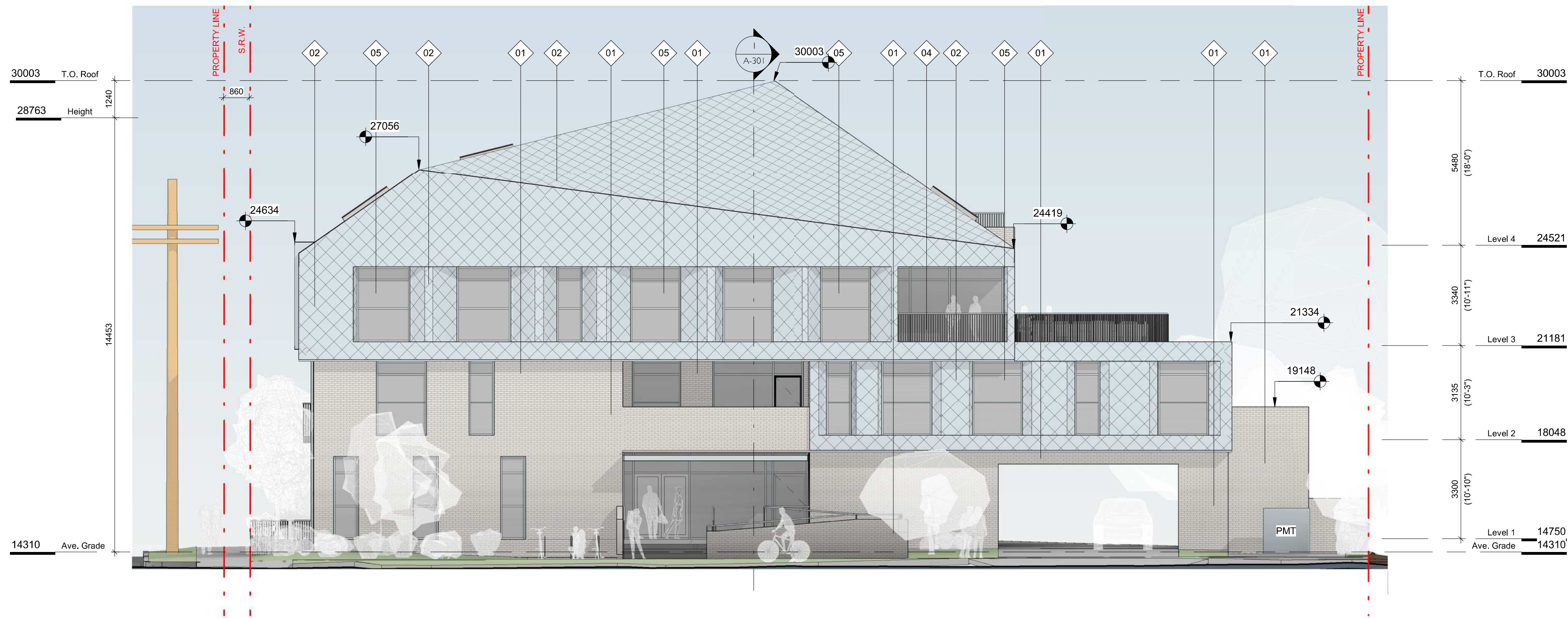
Project	1733-1737 Fairfield Rd	
	ARYZE	
Sheet Name	LEVEL 4 PROPOSED PLAN	
Date	APRIL 29, 2022	
Scale	1 : 100	Project #
		2123
		Revision
		April 29, 2022
		2
		Sheet #
		A-104



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1 NW ELEVATION
SCALE = 1 : 100

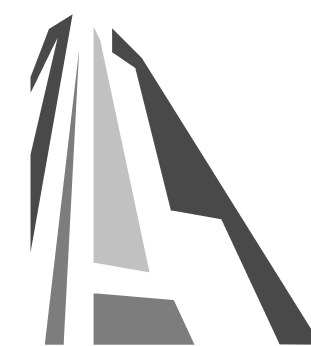


2 SW ELEVATION
SCALE = 1 : 100

FINISH SCHEDULE

01. BRICK
LIGHT FINISH
02. PREFINISHED METAL
FISHSCALE SHINGLE
ZINC FINISH
03. PREFINISHED METAL
ZINC FINISH
04. METAL PICKET GUARD
ZINC FINISH
05. GLAZING
TRANSPARENT
06. T&G WOOD
CLEAR FINISH
07. HORIZONTAL WOOD FENCE
CLEAR FINISH

2	DPIRZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



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Project
1733-1737 Fairfield Rd
ARYZE

Sheet Name
EXTERIOR ELEVATIONS

Date
APRIL 29, 2022

Scale
As indicated

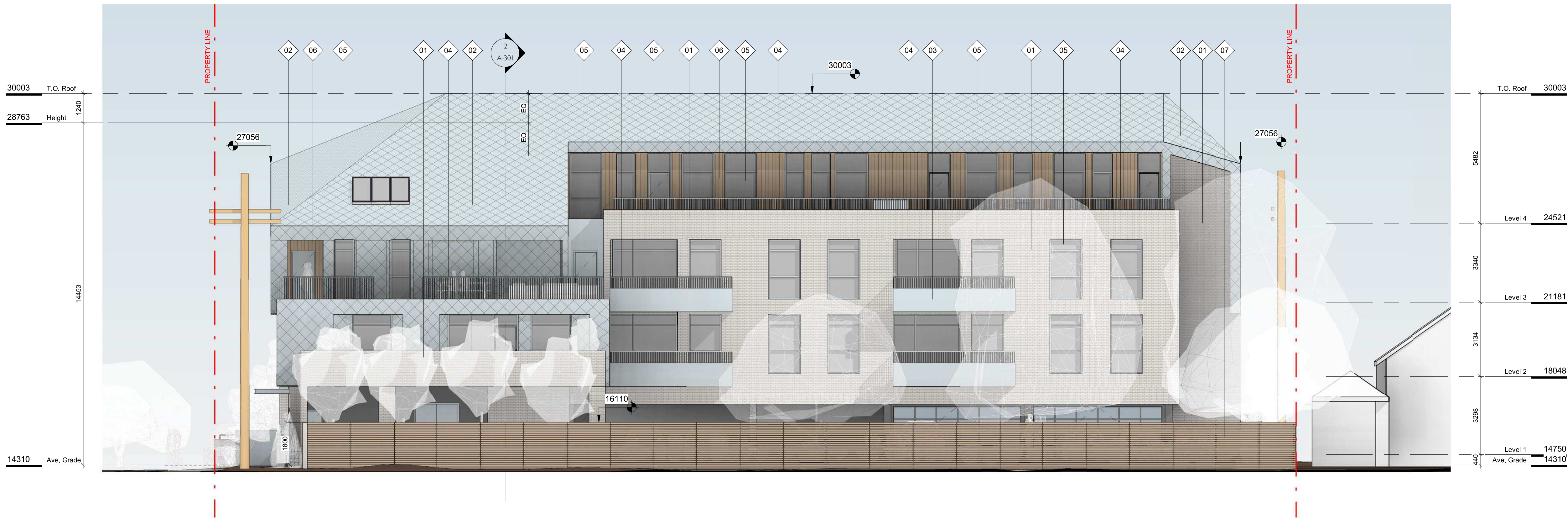
Project #
2123

Revision
April 29, 2022

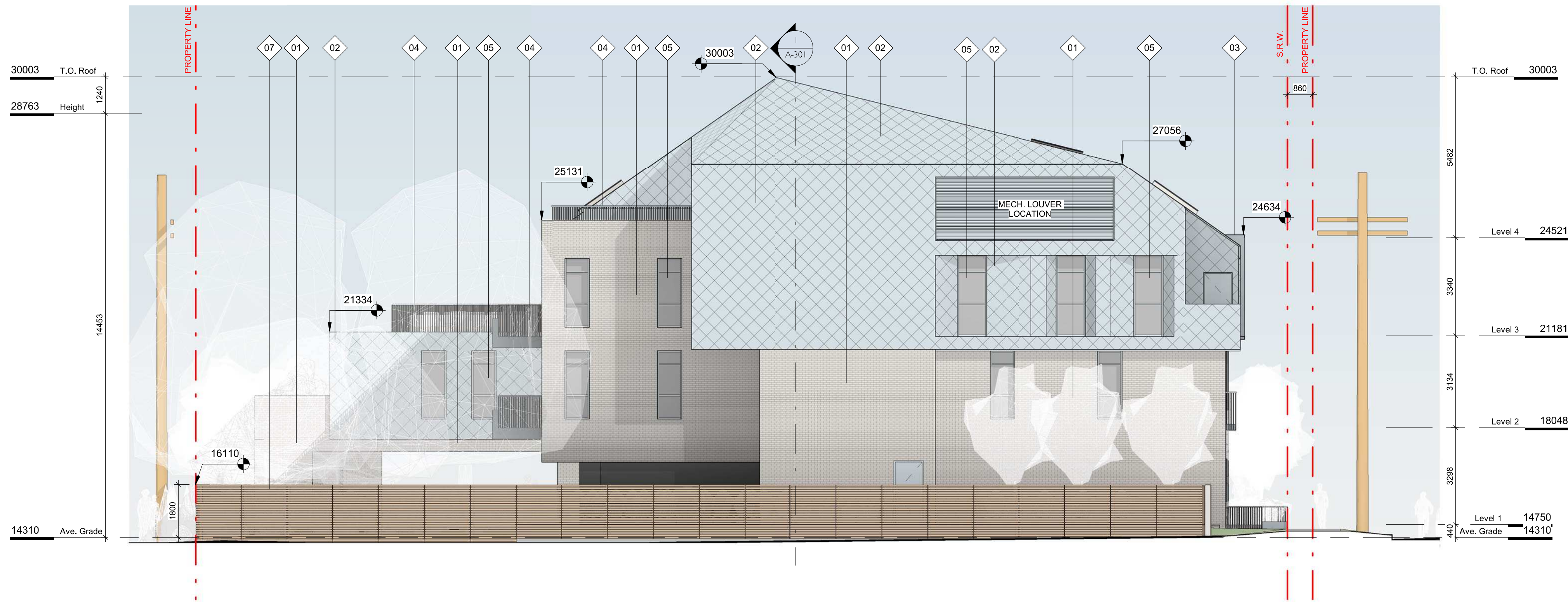
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Sheet #
A-200

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1 SE ELEVATION
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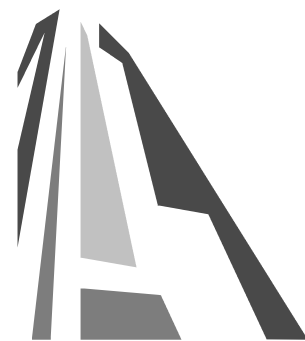


2 NE ELEVATION
SCALE = 1 : 100

FINISH SCHEDULE

01. BRICK
LIGHT FINISH
02. PREFINISHED METAL
FISHSCALE SHINGLE
ZINC FINISH
03. PREFINISHED METAL
ZINC FINISH
04. METAL PICKET GUARD
ZINC FINISH
05. GLAZING
TRANSPARENT
06. T&G WOOD
CLEAR FINISH
07. HORIZONTAL WOOD FENCE
CLEAR FINISH

2	DPRIZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



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Project
1733-1737 Fairfield Rd
ARYZE

Sheet Name
EXTERIOR ELEVATIONS

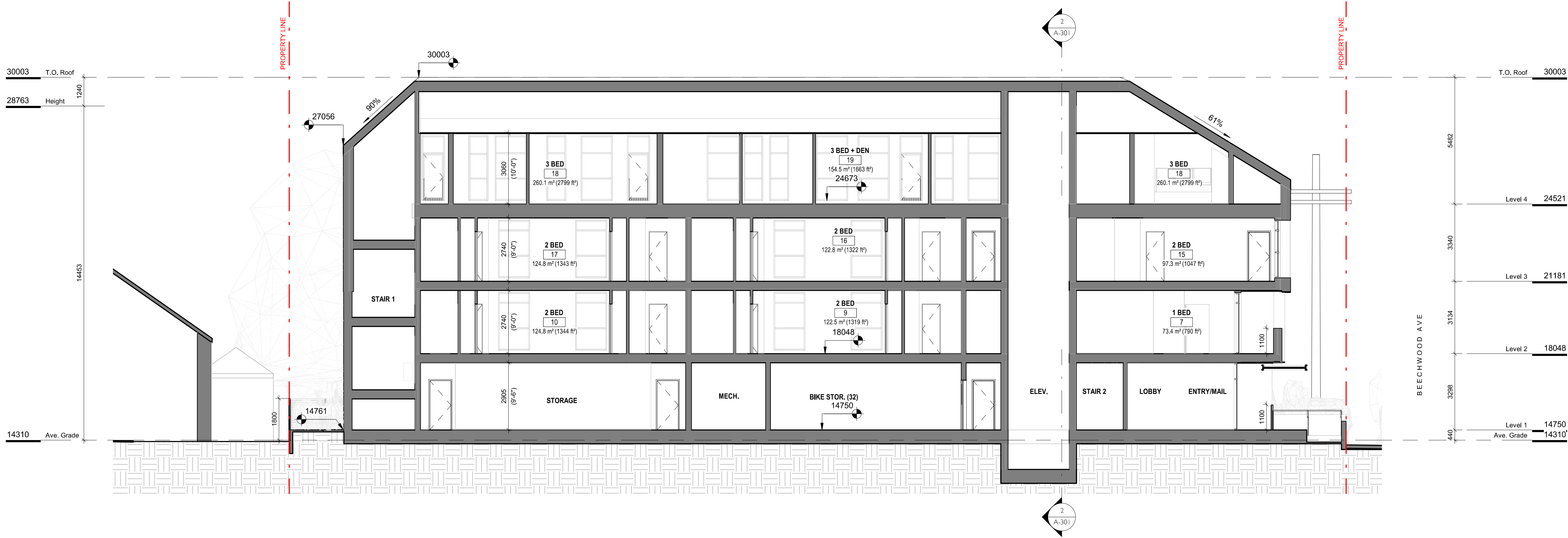
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Scale
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Project #
2123

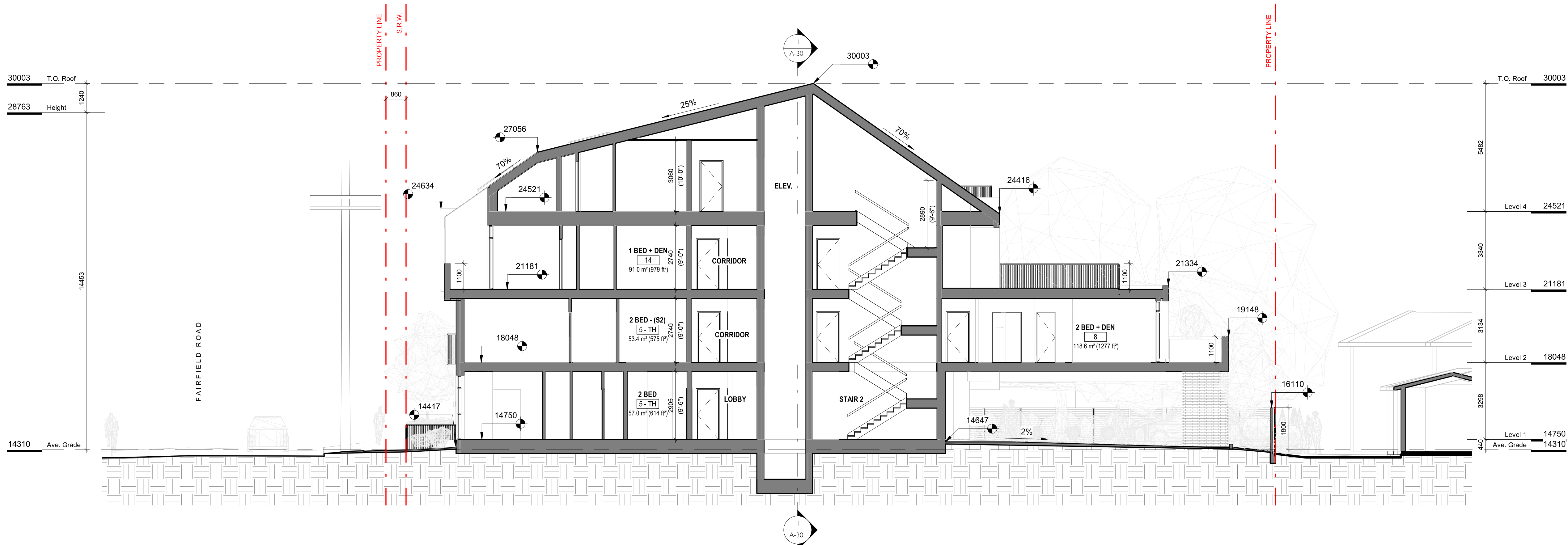
Revision
April 29, 2022
2

Sheet #
A-201

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1 BUILDING SECTION 1
SCALE = 1 : 100



2 BUILDING SECTION 2
SCALE = 1 : 100

2	DP/IRZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



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Project
1733-1737 Fairfield Rd
ARYZE

Sheet Name
BUILDING SECTIONS

Date
APRIL 29, 2022

Scale
1 : 100

Project #
2123

Revision
April 29, 2022
2

Sheet #
A-301

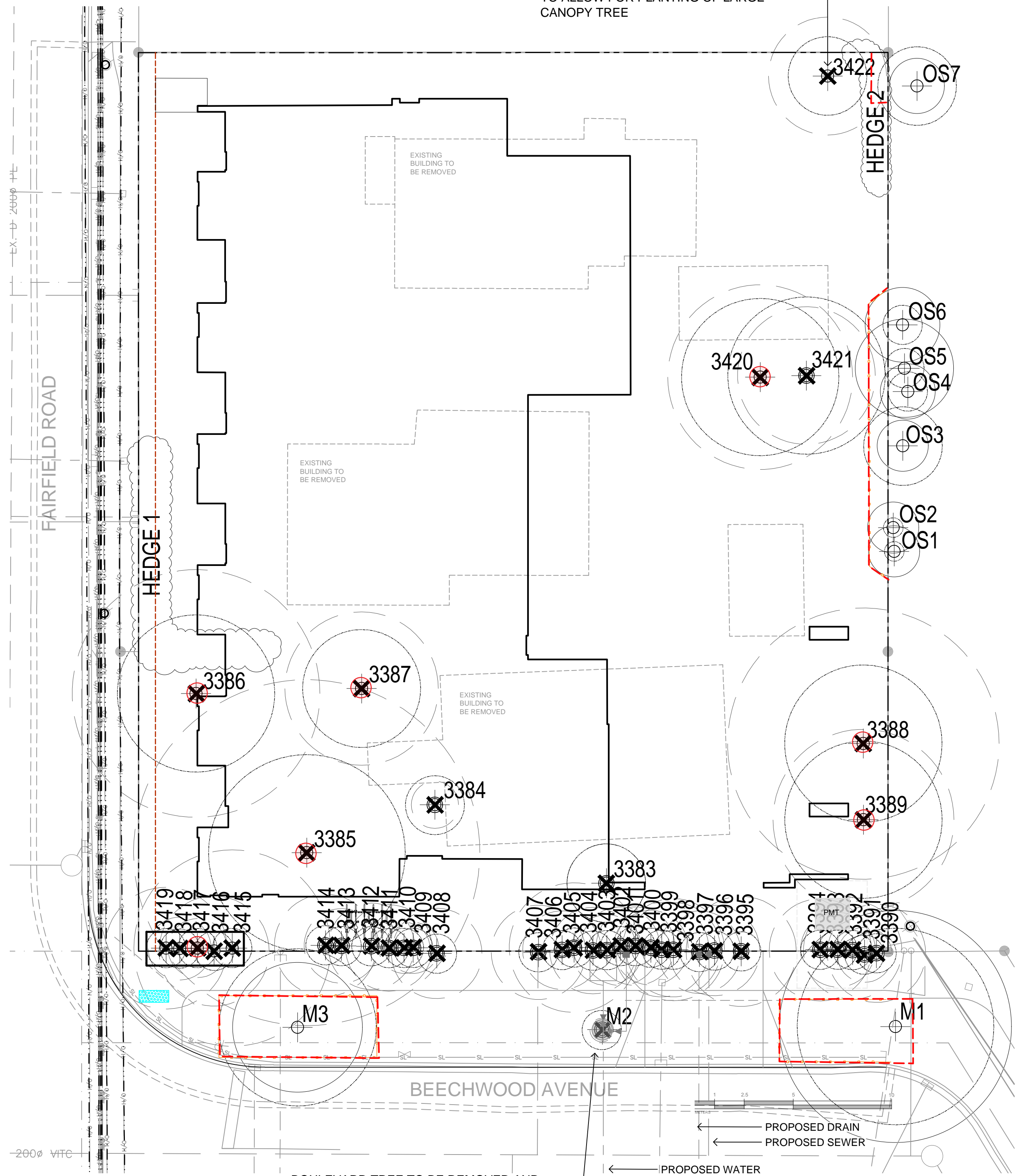
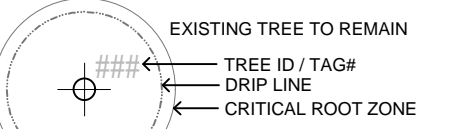
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Table 1. Tree Inventory

Previous tag #	Tag or ID #	Surveyed ? (Yes / No)	Location (On, Off, Street, City)	Bylaw protected ? (Yes / No / City)	Name		dbh (cm)	Ht (m)	Critical root zone radius (m)	Drip line radius (m)	Condition		Retention Suitability (on-site trees)	Relative tolerance	General field observations/remarks	Tree retention comments	Retention status
					Common	Botanical					Health	Structural					
	M1	Yes	City	City	Purple leaf cherry plum	<i>Prunus cerasifera</i>	47	10	5.9	5	Good	Fair/good		Moderate	Multiple stems form at 3m above grade - included bark at main stem union with active response growth. Historic pruning wounds with associated surface decay.	Project arborist to supervise all excavation required within the critical root zone. Will be heavily impacted by the installation of the proposed water line.	Retain
	M2	Yes	City	City	Pacific sunset maple	<i>Acer truncatum 'Pacific sunset'</i>	5	6	0.6	1	Good	Good		Moderate	Recently planted - still staked, included bark at stem unions. Multiple stems form at 4m above grade - no major weaknesses visible at stem unions. Historic pruning wounds with associated surface decay.	Project arborist to supervise all excavation required within the critical root zone.	Remove*
	M3	Yes	City	City	Purple leaf cherry plum	<i>Prunus cerasifera</i>	26	6	3.3	4	Good	Fair/good		Moderate	Codominant stems form at 3m above grade - included bark - not active. Historic pruning wounds with associated decay.	Located within the footprint of the proposed building.	Retain
313	3383	Yes	On	No	Fig	<i>Ficus sp.</i>	11, 8, 6	5	2	2	Good	Fair	Unsuitable	Good	Growing within close proximity to existing building. Multiple stems form at 1m above grade - narrow angles of attachment, stems topped and decayed with sloughing bark.	Located within the footprint of the proposed building.	Remove
316	3384	Yes	On	No	Japanese maple	<i>Acer palmatum</i>	3, 3, 6, 5	1.2	1.5		Good	Fair	Unsuitable	Moderate	Multiple stems form at 1m above grade - narrow angles of attachment, stems topped and decayed with sloughing bark. Topped historically at 7m above grade for overhead utilities clearance, stem decay with sloughing bark.	Located within the footprint of the proposed building.	Remove
317	3385	Yes	On	Yes	Pacific dogwood	<i>Cornut nuttallii</i>	28, 23, 34, 32	8	8.8	4	Fair	Fair/poor	Unsuitable	Moderate	Located within the footprint of the proposed building.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
322	3386	Yes	On	Yes	Golden chain tree	<i>Laburnum sp.</i>	21, 28	7	6.3	4	Fair	Poor	Unsuitable	Poor	Topped historically at 5m above grade - multiple regrowth leaders form at topping locations.	Located within the footprint of the proposed building.	Remove
321	3387	Yes	On	Yes	Apple	<i>Malus sp.</i>	14, 23	10	3.9	3	Fair	Poor	Unsuitable	Moderate	Flowering cherry, multiple stems form at 2m above grade - narrow angles of attachment, main stem topped historically at 4m above grade - large topping wound.	Will be heavily impacted by excavation required to construct the foundation of the proposed building. Also located within the footprint of the proposed parking stall.	Remove
334	3388	Yes	On	Yes	Cherry	<i>Prunus sp.</i>	55	5	6.9	4	Fair	Fair/poor	Unsuitable	Moderate	Flowering cherry, codominant stems form at base - crossing at 5m above grade, large heading cuts.	Will be heavily impacted by excavation required to construct the foundation of the proposed building. Will also be impacted by excavation for the proposed parking stall.	Remove
298	3389	Yes	On	Yes	Cherry	<i>Prunus sp.</i>	19, 25	5	4.6	4	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3390	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 8, 8, 5	5	2.5	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3391	Yes	On	No		English yew	<i>Taxus baccata</i>	5, 5, 5, 5	5	1.4	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3392	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 8, 9	5	2.5	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3393	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 8, 4, 3	5	1.9	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3394	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 9, 9, 4	5	2.6	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3395	Yes	On	No		English yew	<i>Taxus baccata</i>	11, 16	5	2.8	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3396	Yes	On	No		English yew	<i>Taxus baccata</i>	18	5	2.3	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3397	Yes	On	No		English yew	<i>Taxus baccata</i>	12, 8	5	2.1	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3398	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 10, 8, 8	5	2.6	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3399	Yes	On	No		English yew	<i>Taxus baccata</i>	14, 8	5	2.4	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3400	Yes	On	No		English yew	<i>Taxus baccata</i>	12, 5	5	1.9	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3401	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 8, 5, 5	5	2	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3402	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 8, 5, 4	5	2	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3403	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 6, 5, 4	5	1.8	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3404	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 8, 5, 4	5	2.2	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3405	Yes	On	No		English yew	<i>Taxus baccata</i>	14, 10, 10	5	3.3	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3406	Yes	On	No		English yew	<i>Taxus baccata</i>	16	5	2	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3407	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 10, 5, 5, 5	5	2.4	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3408	Yes	On	No		English yew	<i>Taxus baccata</i>	12, 5, 5, 5	5	2.3	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3409	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 4	6	1.3	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3410	Yes	On	No		English yew	<i>Taxus baccata</i>	5, 5, 4, 4, 4	5	1.3	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3411	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 8, 6, 5, 5	5	2.2	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3412	Yes	On	No		English yew	<i>Taxus baccata</i>	8, 8, 8, 5	5	2.2	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3413	Yes	On	No		English yew	<i>Taxus baccata</i>	12, 5	5	1.9	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3414	Yes	On	No		English yew	<i>Taxus baccata</i>	10, 12, 5, 5, 5	5	2.6	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3415	Yes	On	Yes*		English yew	<i>Taxus baccata</i>	11, 33	5	5	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart. *1 Bylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3416	Yes	On	Yes*		English yew	<i>Taxus baccata</i>	22	5	2.8	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart. *1 Bylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3417	Yes	On	Yes*		English yew	<i>Taxus baccata</i>	5, 5, 6, 6, 6	5	1.5	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart. *1 Bylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3418	Yes	On	Yes*		English yew	<i>Taxus baccata</i>	13	5	1.6	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart. *1 Bylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
3419	Yes	On	Yes*		English yew	<i>Taxus baccata</i>	12, 13, 8, 5, 4	5	3.1	1	Fair	Fair/poor	Unsuitable	Moderate	Growing within a hedge row of 5 year trees spaced less than 1m apart. *1 Bylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
Hedge 1	Yes	Off	No		Emerald cedar	<i>Thuja occidentalis 'mararg'</i>	5-10cm	5	0.5	0.5	Fair	Fair	Unsuitable	Moderate	Hedge row consisting of approximately 20 individual stems - no bylaw stems.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove
314	3420	Yes	On	Yes	Apple	<i>Malus sp.</i>	21, 22"	5	4.7	4	Fair	Fair/poor	Unsuitable	Moderate	Codominant stems form at 3m above grade - no major weaknesses visible at stem union, ivy covered trunk.	Located within the footprint of the proposed parking stall.	Remove
315	3421	Yes	On	No	Apple	<i>Malus sp.</i>	28"	5	3.5	4	Fair	Fair/poor	Unsuitable	Moderate	Topped historically at 5m above grade - multiple regrowth leaders form at topping locations.	Located within the footprint of the proposed parking stall. *Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz.	Remove
OS1	Yes	Off	No		Emerald cedar	<i>Thuja occidentalis 'mararg'</i>	10-	4	1.3	0.5	Fair	Fair		Moderate	Juvenile hedge tree growing within narrow planting strip.	Project arborist to supervise all excavation required within the crz.	Retain*

WINDMILL PALM REQUESTED TO BE TRANSPLANTED / REMOVED BY LANDSCAPE TO ALLOW FOR PLANTING OF LARGE CANOPY TREE

TREE STATUS LEGEND



BOULEVARD TREE TO BE REMOVED AND RELOCATED FOR INSTALLATION OF PROPOSED WATER CONNECTION (SEE CIVIL)

Previous tag #	Tag or ID #	Surveyed ? (Yes / No)	Location (On, Off, Shared, City)	Bylaw protected ? (Yes / No / City)	Name		Critical root zone radius (m)	dbh (cm)	Ht (m)	Drip line radius (m)	Condition		Retention Suitability (on-site trees)	Relative tolerance	General field observations/remarks	Tree retention comments	Retention status
					Common	Botanical					Health	Structural					
	OS2	Yes	Off	No	Emerald cedar	<i>Thuja occidentalis 'marang'</i>	10-	4	1.3	0.5	Fair	Fair		Moderate	Juvenile hedge tree growing within narrow planting strip.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain*
	OS3	Yes	Off	No	Honey locust	<i>Gleditsia plicata</i>	10-	8	1.3	2	Good	Good		Moderate	Juvenile hedge tree growing within narrow planting strip.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain
	OS4	Yes	Off	No	Emerald cedar	<i>Thuja occidentalis 'marang'</i>	5, 5, 5, 5-	5	1.4	1	Good	Fair		Moderate	Multiple stems hedge tree growing within narrow planting strip.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain
	OS5	Yes	Off	No	Emerald cedar	<i>Thuja occidentalis 'marang'</i>	8, 8, 10, 4-	5	2.5	1	Good	Fair		Moderate	Multiple stems hedge tree growing within narrow planting strip.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain*
	OS6	Yes	Off	No	Cherry	<i>Prunus sp.</i>	8, 6, 6-	5	1.9	1	Good	Fair		Moderate	Flowering cherry, growing within narrow planting strip.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain*
	Hedge 2	Yes	On	No	Emerald cedar	<i>Thuja occidentalis 'marang'</i>	5-10cm	5	0.5	0.5	Good	Fair		Moderate	Hedge row consisting of 14 individual stems. No bylaw stems.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Remove
	OS7	Yes	Off	No	Japanese maple	<i>Acer palmatum</i>	5, 5, 5, 4, 4	5	1.4	2	Good	Fair		Moderate	Multiple stems form at 5m above grade.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain
	3422	No	On	No	Windmill palm	<i>Trachycarpus fortunei</i>	29	4	3.0	2	Good	Fair	Unsuitable	Good	Crown raised approx. 50%.	"Parking stall proposed within the crz. Project arborist to supervise all excavation required within the crz. Possible for retention or transplanted elsewhere. Project arborist to supervise all excavation required within the crz."	Retain*

CRZ calculated above and drawn as follows on Tree Management Plan (T1): CRZ = 0.5 dbh, drawn from the center of the stem)

NOTE: SEE ORIGINAL TREE INVENTORY AND TABLES IN REPORT PREPARED BY TALBOT & MACKENZIE



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

OWNER/CLIENT:
ARYZE DEVELOPMENTS

PROJECT ADDRESS:
1733 FAIRFIELD,
VICTORIA, BC

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KARIANNE HOWARTH

2	ISSUED FOR RZ/DP	22/05/02
1	ISSUED FOR DEVELOPMENT TRACKER	22/03/04
NO.	ISSUE	YYMMDD

SEAL

NORTH ARROW

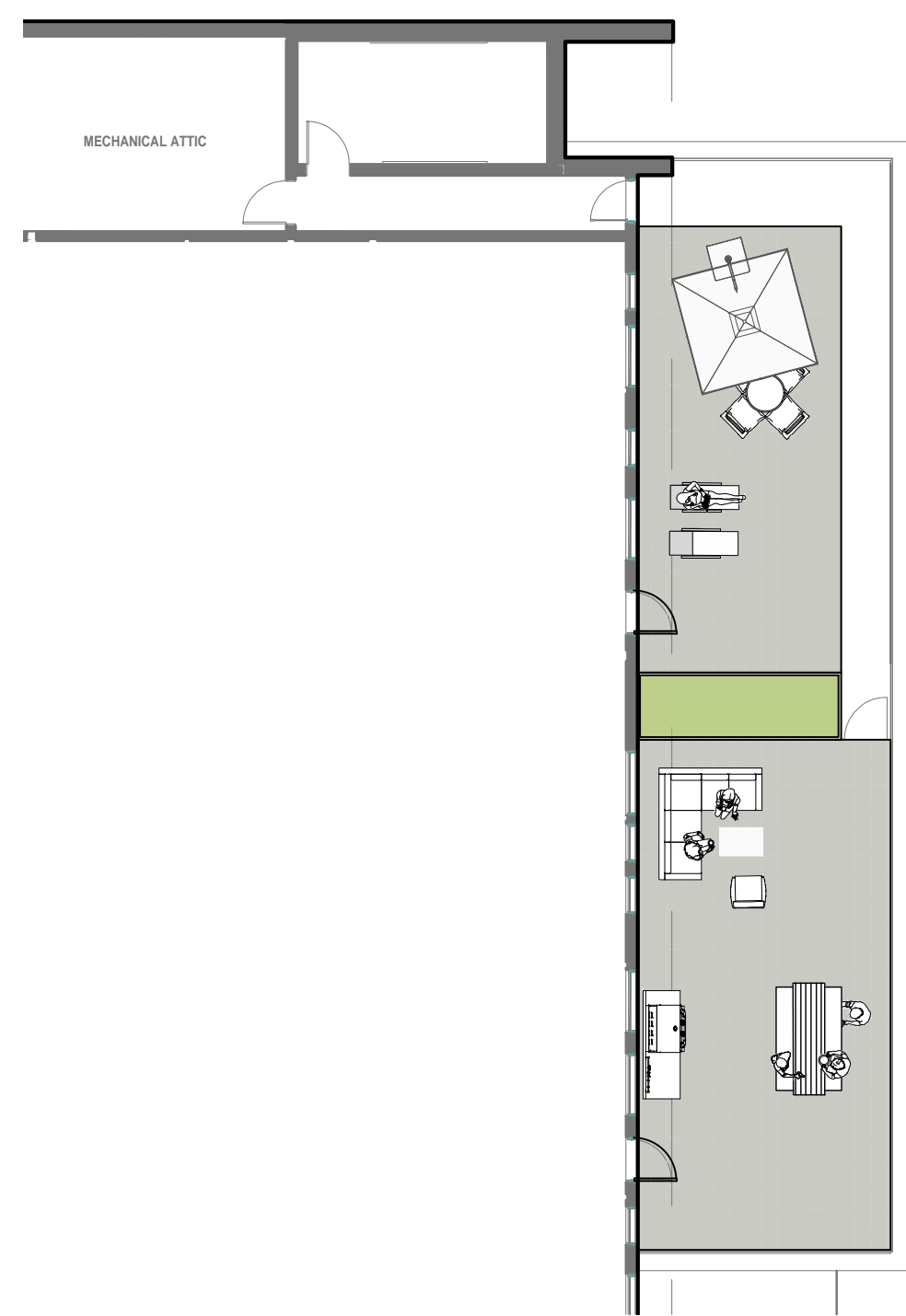


DRAWING TITLE:
TREE REMOVAL &
PROTECTION PLAN

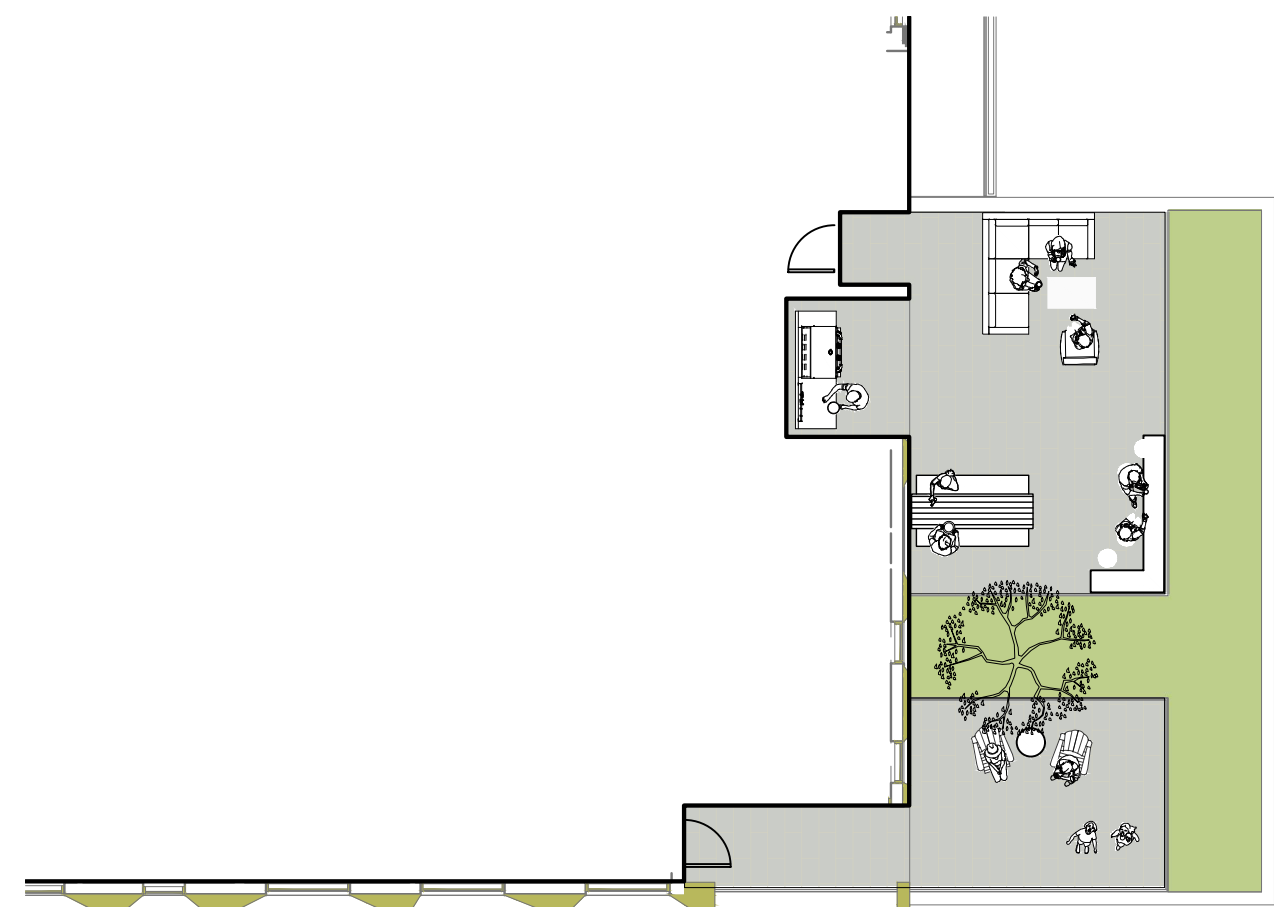
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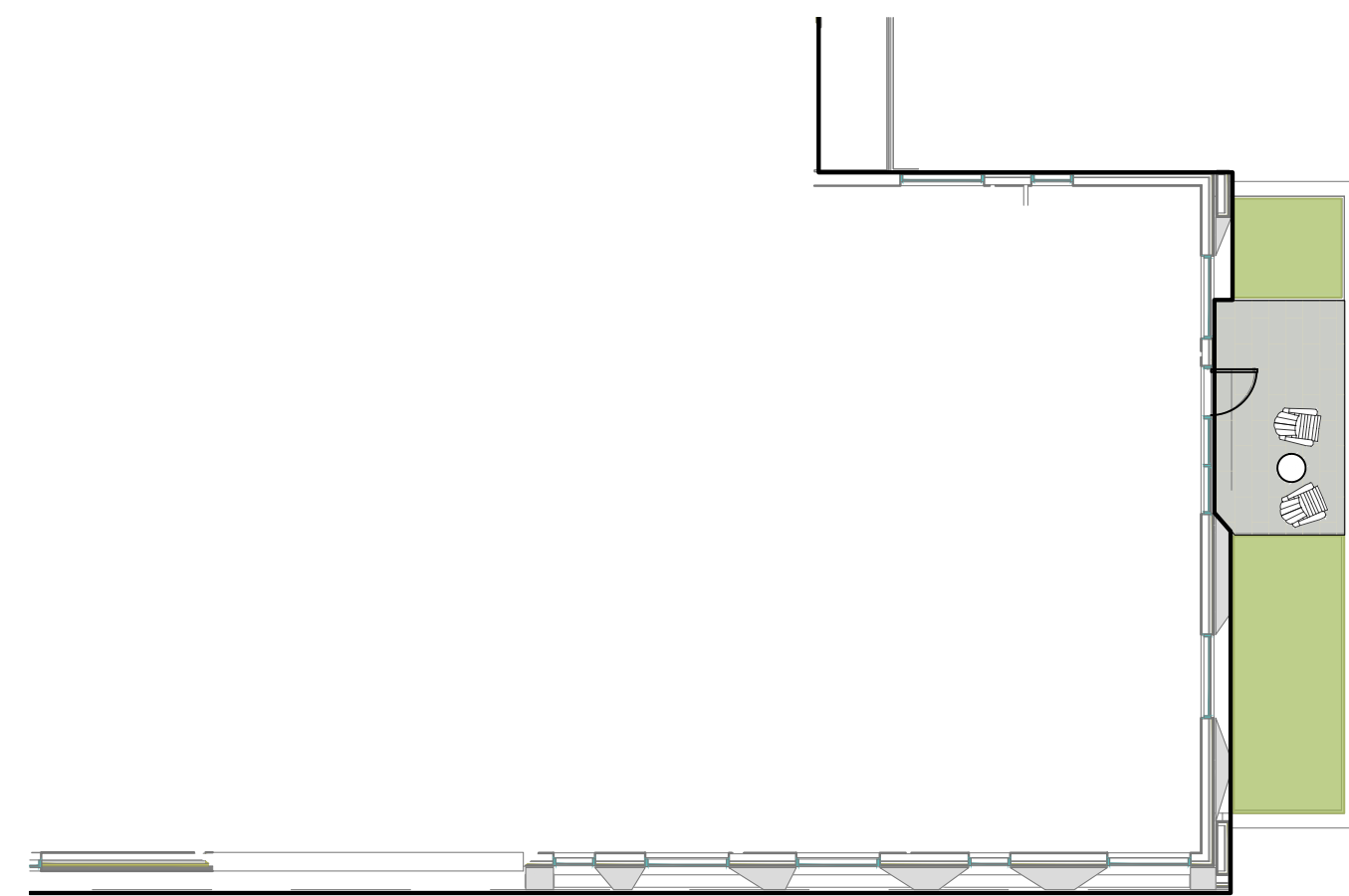
L0



1 LEVEL 4 PATIOS & PLANTER
L1 1:150



2 LEVEL 3 PATIOS & PLANTER
L1 1:150



3 LEVEL 2 PATIO & PLANTERS
L1 1:150

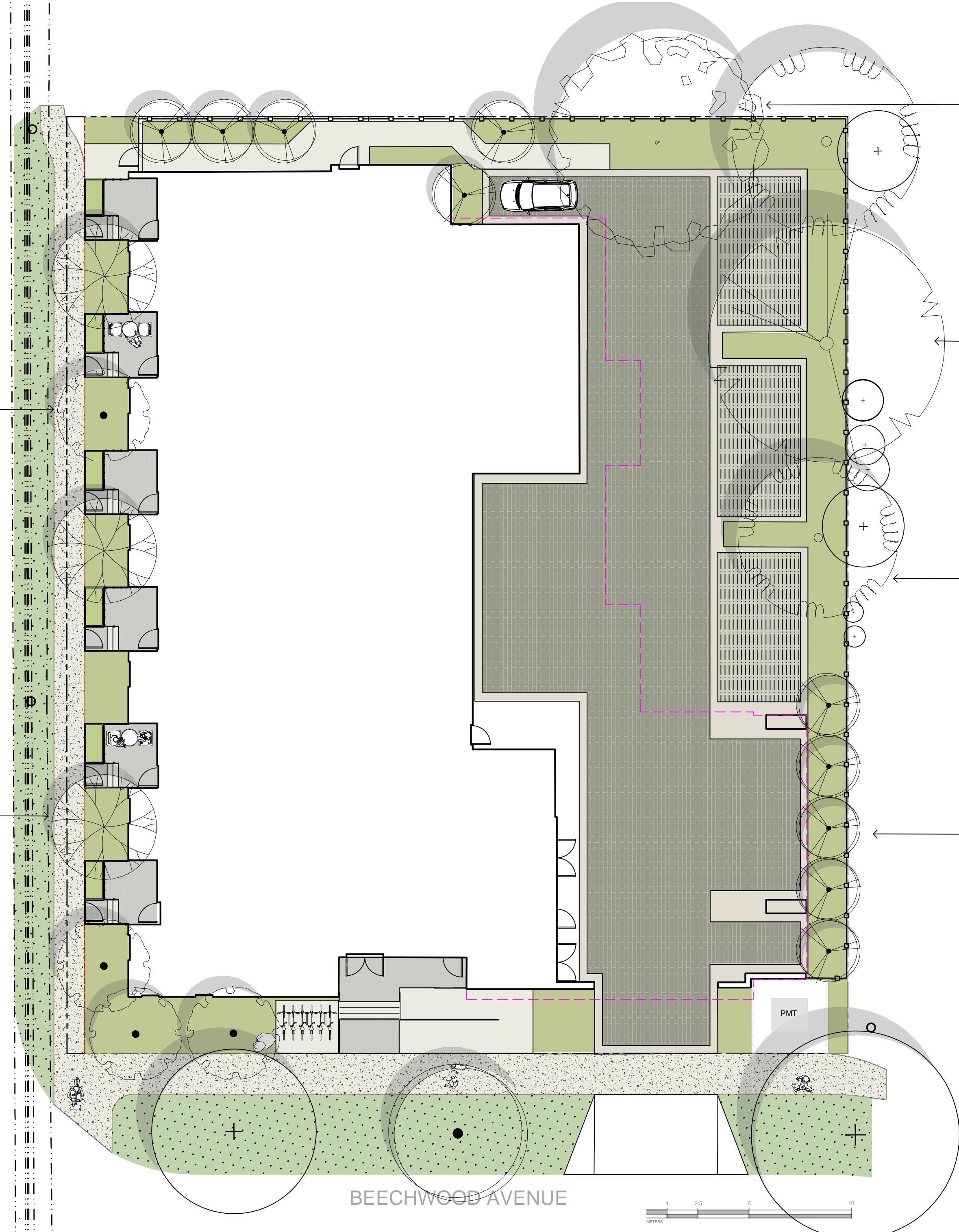


PAPERBARK MAPLE



JAPANESE SNOWBELL

FAIRFIELD ROAD



4 GROUND FLOOR LANDSCAPE SITE PLAN
L1 1:150



PIN OAK



TULIP TREE



WHITE ASH



COLUMNAR TREMBLING ASPEN

- LEGEND**
- PROPERTY LINE
 - ON-SITE LANDSCAPE AREA
 - 450 - 600 mm DEPTH 1L GROWING MEDIUM (BCL)
 - 50 mm DEPTH MULCH
 - RAISED PLANTER
 - 450 mm DEPTH PLANTER GROWING MEDIUM
 - 50 mm DEPTH MULCH
 - PERMEABLE PAVERS (GRASSED)
 - NEWSTONE DORADO DRAIN PAVERS
 - COLOUR: CHARCOAL
 - PERMEABLE PAVERS
 - COLOUR: MULTI GREY
 - ENHANCED PAVING
 - CONCRETE PAVERS
 - COLOUR: MULTI GREY
 - PAVERS ON PEDESTALS
 - CERAMIC PAVERS ON PEDESTALS
 - COLOUR: CHARCOAL
 - CONCRETE WALKWAY
 - SOD MUNICIPAL BOULEVARD AREA
 - 150 mm DEPTH LOW TRAFFIC LAWN GROWING MEDIUM (MMCD)
 - SOD
 - MUNICIPAL SIDEWALK
 - CIP CONCRETE WITH BROOM FINISH TO CITY OF VICTORIA MUNICIPAL STANDARDS
 - BIKE RACK
 - 3 X
 - SURFACE MOUNT ON EMBEDDED CONCRETE POST
 - LANDSCAPE BOULDER
 - VANCOUVER ISLAND GRANITE OR BASALT
 - FENCE
 - 6 HT SOLID CEDAR WOOD FENCE
 - STAIN: HEMLOCK GREY
 - GATE
 - 6 HT SOLID CEDAR WOOD GATE
 - SELF LOCKING
 - STAIN: HEMLOCK GREY
 - EXISTING BOULEVARD TREE TO BE RETAINED
 - PROPOSED TREES



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VICTORIA, BC**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **KARIANNE HOWARTH**

2	ISSUED FOR RZ/DP	220502
1	ISSUED FOR DEVELOPMENT TRACKER	220304
NO.	ISSUE	YYMMDD

SEAL

NORTH ARROW

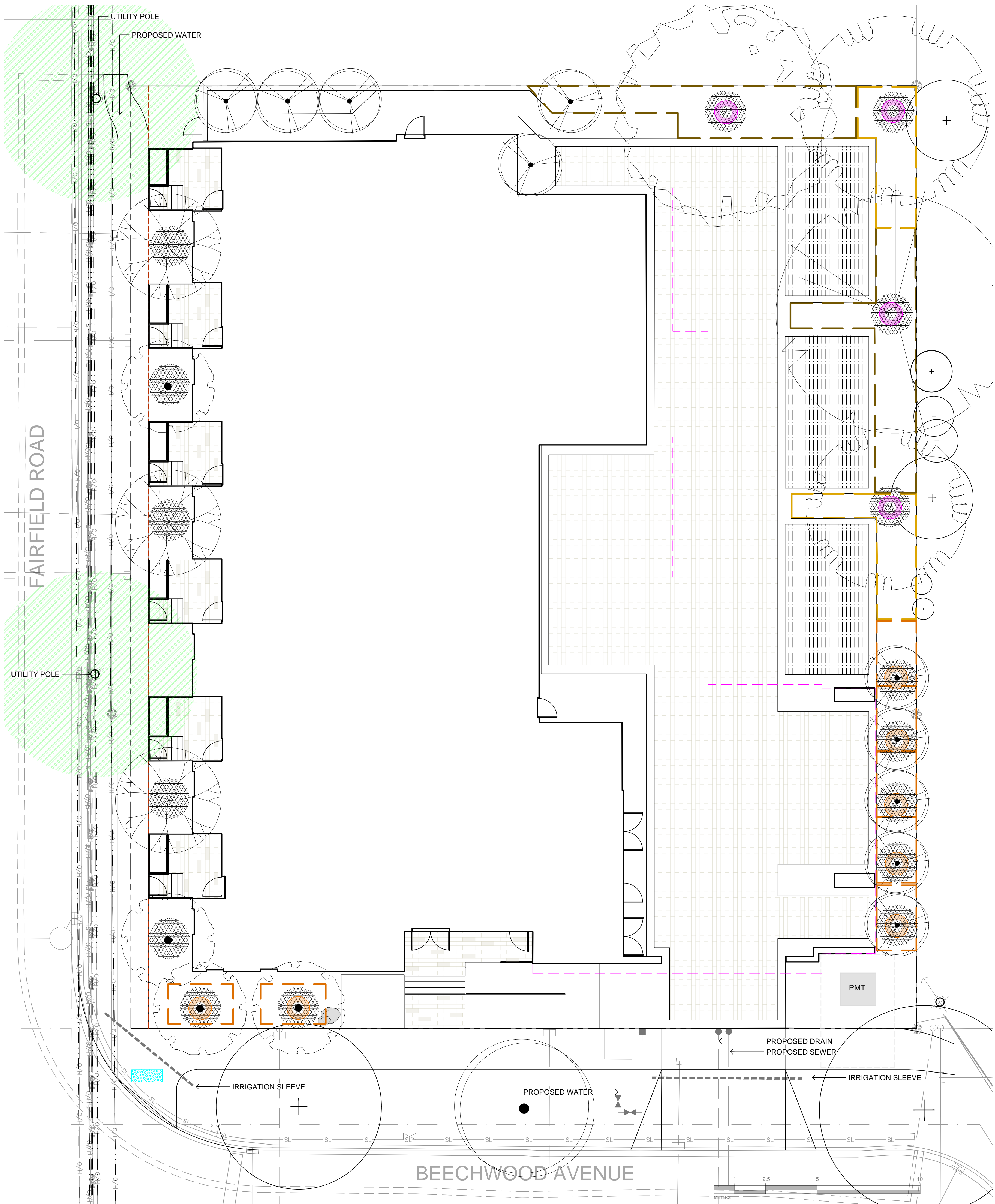


DRAWING TITLE:
LANDSCAPE SITE PLAN

DWG NO:

SCALE: **AS NOTED**

L1



LEGEND

OVERHEAD POWER LINE

1:1 DESIGNATED REPLACEMENT TREE

2:1 DESIGNATED REPLACEMENT TREE

TREE PLANTING RESTRICTIONS

5.0 m OFFSET FROM HYDRO OR LIGHT POLE

1.0 m OFFSET AREA

SOIL VOLUME ANALYSIS

SMALL TREE: 6.0

MEDIUM TREE: 15.0

LARGE TREE: 30.0

NOTE: REQUIRED SOIL VOLUMES ARE DETERMINED BASED ON A SHARED & IRRIGATED SOIL CONDITION, AND 1.0 M DEPTH.

TREE SCHEDULE										
Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Size	Native	Remarks	Height at Maturity (m)	Spread at Maturity (m)
4		Acer griseum	Paperbark Maple	B&B	6 cm	>2 m		full/part sun	6-9	5-7
2		Fraxinus americana 'Autumn Applause'	Autumn Applause white ash	B&B	6 cm	>2 m		Medium	12-15	7-9
1		Liriodendron tulipifera	Tulip tree	B&B	6 cm	>2 m		full sun	18-24	9-12
10		Populus tremuloides 'Erecta'	Swedish Columnar Aspen	B&B	6 cm	>2 m		full sun	9-12	1.8-2.5
3		Styrax japonicus	Japanese snowbell	B&B	6 cm	>2 m		full sun - part shade	7.0	7.0
1		Quercus palustris	Pin Oak	B&B	6 cm	>2 m		full sun	10	10
1		BOULEVARD TREE TO BE DETERMINED BY PARKS AT BP		B&B	4cm					
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.										

TREE IMPACT SUMMARY TABLE						
TREE STATUS	TOTAL	To be RETAINED	To be REMOVED	REPLACEMENTS REQUIRED	MINIMUM REQUIRED FOR LOT SIZE	PROPOSED
ON-SITE TREES BYLAW PROTECTED	7	0	7	7	9	7.5
MUNICIPAL TREES	3	2	1	1		1
NEIGHBORING TREES, BYLAW PROTECTED	0	0	0	0		0

REPLACEMENT TREES TO BE PLANTED ON SITE	7.5
REPLACEMENT TREE SHORTFALL	1.5
TOTAL PROPOSED TREES ON SITE (REPLACEMENT(ACTUAL) + OTHER)	21

ACTUAL NUMBER : 11
4 x LARGE TREE (1:1)
7 x SMALL TREE (2:1)

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SEAL

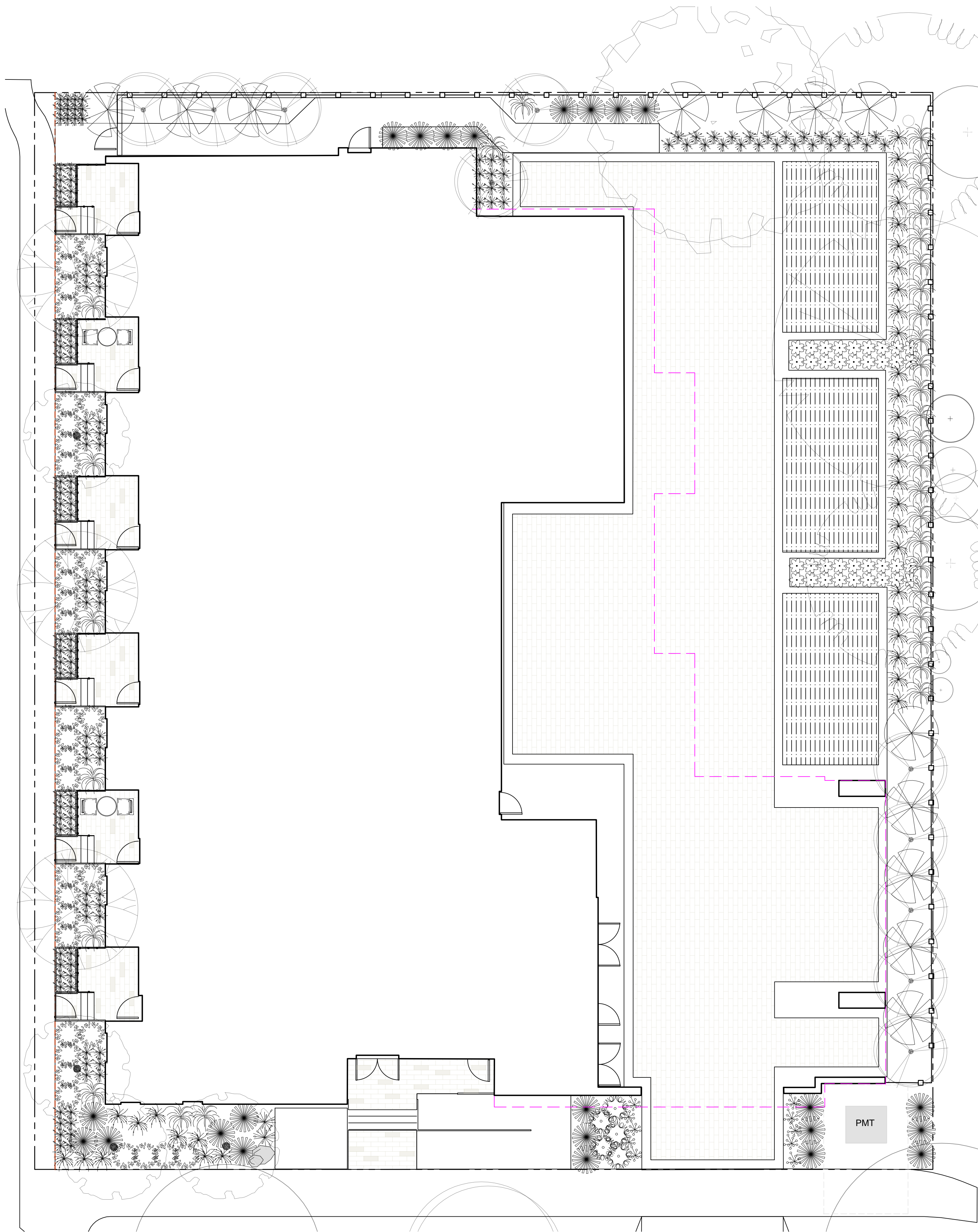
NORTH ARROW

DRAWING TITLE:
TREE PLANTING PLAN

DWG NO:

SCALE: 1:100

L2



PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
1		Amelanchier canadensis	serviceberry	#5	y	y
1		Armeria maritima 'Alba'	White-flowered Thrift	tray		y
2		Arctostaphylos Uva-Ursi 'Massachusetts'	Kinnikinnick	tray	y	y
130		Carex testacea 'Prairie Fire'	New Zealand hair sedge	#1		
23		Cephalotaxus harringtonia 'Prostrata'	Spreading Japanese plum yew	#2		
4		Cerasium tomentosum	snow in summer	tray		y
12		Choisya ternata	Mexican mock orange	#3		y
29		Festuca glauca 'Elijah Blue'	Elijah Blue fescue	#1		
5		Hebe rakaiensis	Shrubby veronica	#1		y
35		Ilex crenata 'Compacta'	Compact Japanese Holly	#2		
35		Miscanthus sinensis 'Huron Light'	Huron Light maiden grass	#2		
33		Miscanthus sinensis 'Morning Light'	Chinese silver grass Morning Light	#2		
5		Pinus mugo 'Gnom'	Dwarf mountain pine	#2		
10		Pinus strobus 'Horsford Dwarf'	Horsford Dwarf Eastern white pine	#2		
6		Rhododendron x 'Cunningham's White'	Cunningham's white rhododendron	#4		y
10		Verbena bonariensis 'Lollipop'	Dwarf purpletop	#1		Y
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.						



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SEAL

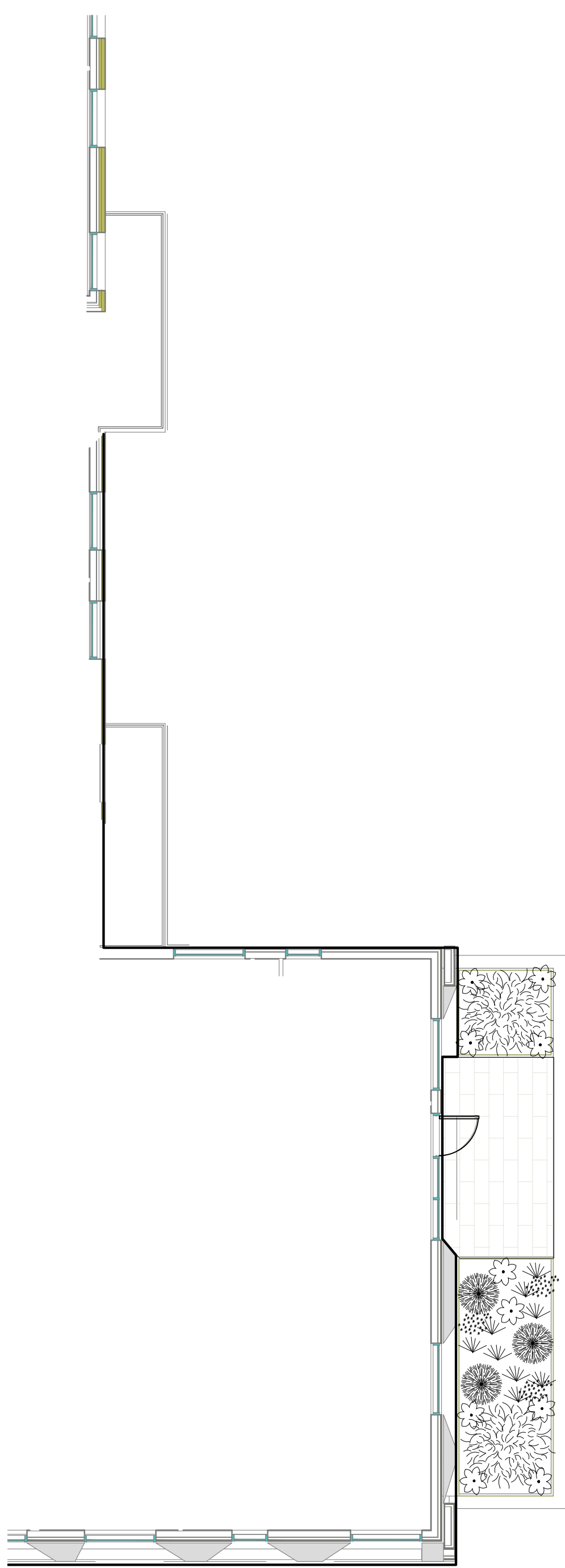


DRAWING TITLE:
GROUND FLOOR
PLANTING PLAN

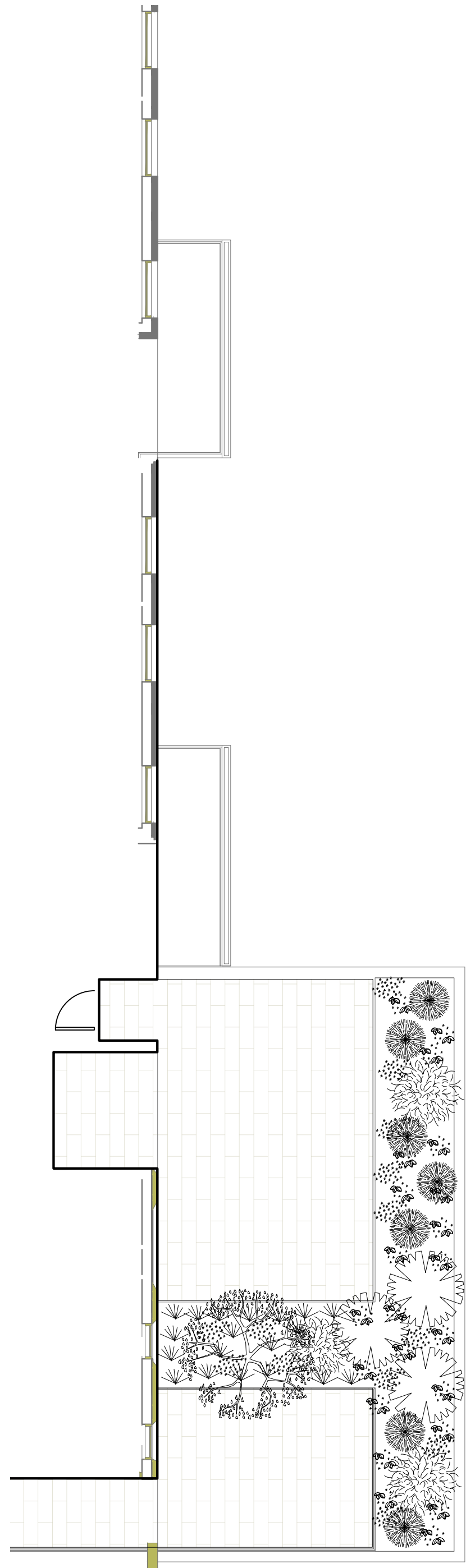
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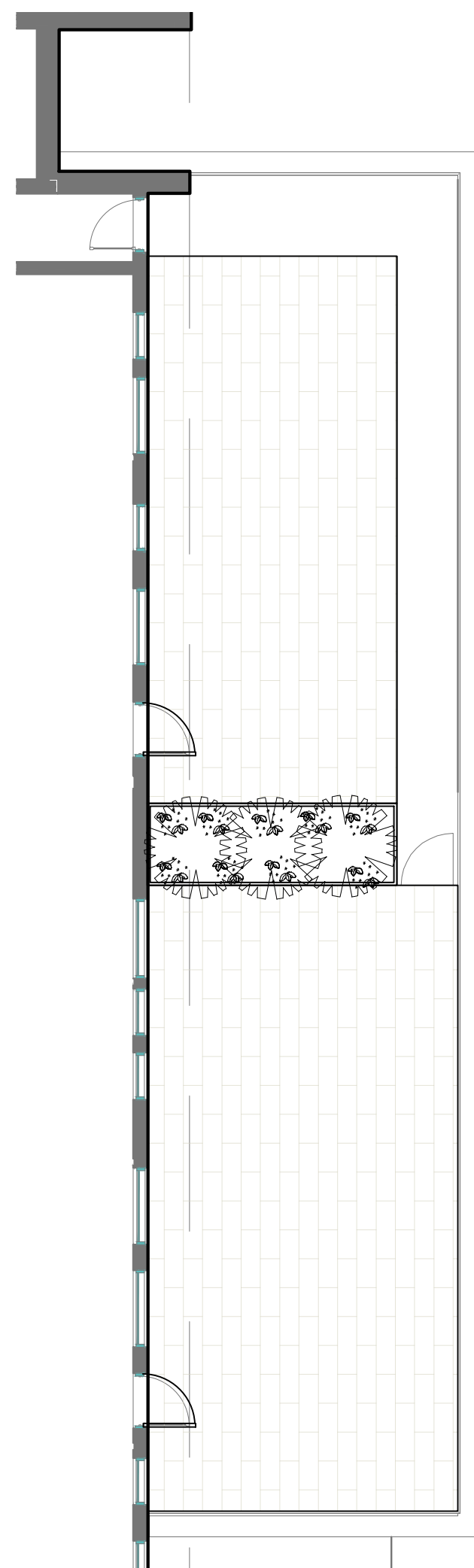
L3



1
L4
LEVEL 2 PLANTERS
1:100



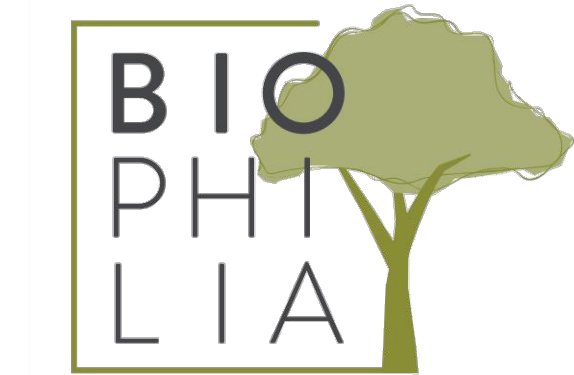
2
L4
LEVEL 3 PLANTERS
1:100



3
L4
LEVEL 4 PLANTERS
1:100



PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
1		Amelanchier canadensis	serviceberry	#5	y	y
1		Armeria maritima 'Alba'	White-flowered Thrift	tray		y
2		Arctostaphylos Uva-Ursi 'Massachusetts'	Kinnikinnick	tray	y	y
130		Carex testacea 'Prairie Fire'	New Zealand hair sedge	#1		
23		Cephalotaxus harringtonia 'Prostrata'	Spreading Japanese plum yew	#2		
4		Cerastium tomentosum	snow in summer	tray		y
12		Choisya ternata	Mexican mock orange	#3		y
29		Festuca glauca 'Elijah Blue'	Elijah Blue fescue	#1		
5		Hebe rakalensis	Shrubby veronica	#1		y
35		Ilex crenata 'Compacta'	Compact Japanese Holly	#2		
35		Miscanthus sinensis 'Huron Light'	Huron Light maiden grass	#2		
33		Miscanthus sinensis 'Morning Light'	Chinese silver grass Morning Light	#2		
5		Pinus mugo 'Gnom'	Dwarf mountain pine	#2		
10		Pinus strobus 'Horsford Dwarf'	Horsford Dwarf Eastern white pine	#2		
6		Rhododendron x 'Cunningham's White'	Cunningham's white rhododendron	#4		y
10		Verbena bonariensis 'Lollipop'	Dwarf purpletop	#1		y
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.						



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SEAL

NORTH ARROW



DRAWING TITLE:
UPPER LEVEL
PLANTING PLANS

DWG NO:

SCALE: AS NOTED

L4

