



1520 BLANSHARD STREET

VICTORIA, BC
Issued for Development Tracker
January 06, 2025

PROJECT TEAM

CLIENT	ARCHITECTURAL	STRUCTURAL	ELECTRICAL	LANDSCAPE
Reliance Properties	office of mcfarlane biggar architects + designers	Read Jones Christoffersen Ltd.	E2 Consulting Engineers	Hapa Collaborative
305-111 Water St Vancouver, BC V6B 1A7 604.683.2404	301 - 1825 Quebec St Vancouver, BC V5T 2Z3 604.558.6344	#330-1515 Douglas St Victoria, BC V8W 2G4 250.386.7794	530 Herald St Victoria, BC V8W 1S6 778.433.9391	102-31 Bastion Square Victoria, BC V8W 1J1 604.909.4150
Contact Juan Pereira juanp@relianceproperties.ca	Contact Steve McFarlane smcfarlane@officemb.ca	Contact Clint Plett cplett@rjc.ca	Contact Jay Singh jay.singh@e2eng.ca	Contact Katharine Walker kwalker@hapacobo.com
CIVIL	TRANSPORTATION	ARBORIST	SURVEYOR	
WSP	WATT Consulting Group	D.Clark Arboriculture	Underhill Geomatics	
3600 Uptown Boulevard Victoria, BC V8Z 0B9 250.389.8068	302-740 Hillside Ave Victoria, BC V8T 1Z4 250.208.3874	2741 The Rise Victoria, BC V8T 3T4 250.208.1568	491C 4th St Courtenay, BC V9N 1G9 250.813.2609	
Contact Jeff Somerville jeff.somerville@wsp.com	Contact Tania Wegwitz twegwitz@wattconsultinggroup.com	Contact Darryl Clark clarkarbor@gmail.com	Contact Mitch Laseur mlaseur@underhill.ca	

DRAWING LIST

A.001	3D VIEWS	A.100	SITE PLAN - PROPOSED
A.002	SYMBOLS + ABBREVIATIONS	A.101	PLAN - LEVEL 2
		A.102	PLAN - LEVELS 3-5
A.010	CONTEXT PLAN	A.103	PLAN - LEVEL 6 AMENITY
A.011	PROJECT INFORMATION	A.104	PLAN - LEVELS 7-35
A.012	PUBLIC EXTERNAL VIEWS	A.105	PLAN - ROOF
A.013	CONTEXT STREETSCAPES		
A.014	CONTEXT STREETSCAPES	A.200	ELEVATION - NORTH (CORMORANT STREET)
A.015	CONTEXT ELEVATIONS - BLANSHARD AND THROUGH-BLOCK	A.201	ELEVATION - EAST (BLANSHARD STREET)
A.016	CONTEXT ELEVATIONS - PANDORA AND CORMORANT	A.202	ELEVATION - SOUTH (PANDORA AVENUE)
A.017	SHADOW ANALYSIS - EQUINOX	A.203	ELEVATION - WEST (THROUGH-BLOCK CONNECTION)
A.018	SHADOW ANALYSIS - SUMMER SOLSTICE		
		A.300	SECTION - NORTH/SOUTH
A.020	BUILDING CODE SUMMARY	A.301	SECTION - NORTH/SOUTH THROUGH BREEZEWAY AND TOWER
A.021	AVERAGE GRADE	A.302	SECTION - EAST/WEST
A.030	SITE PLAN - EXISTING		
A.096	PLAN - P4		
A.097	PLAN - P3		
A.098	PLAN - P2		
A.099	PLAN - P1		

2025-01-07 4:41:18 PM



VIEW FROM PANDORA AVENUE LOOKING NORTH



VIEW FROM PANDORA AVENUE LOOKING NORTHEAST








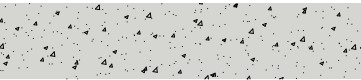




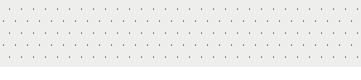

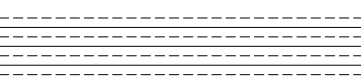


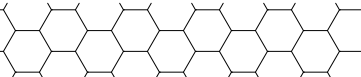
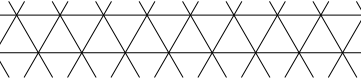




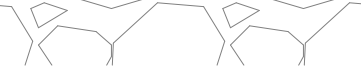
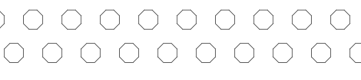
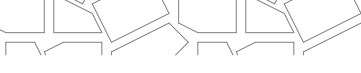


VIEW FROM BLANSHARD STREET LOOKING SOUTHWEST



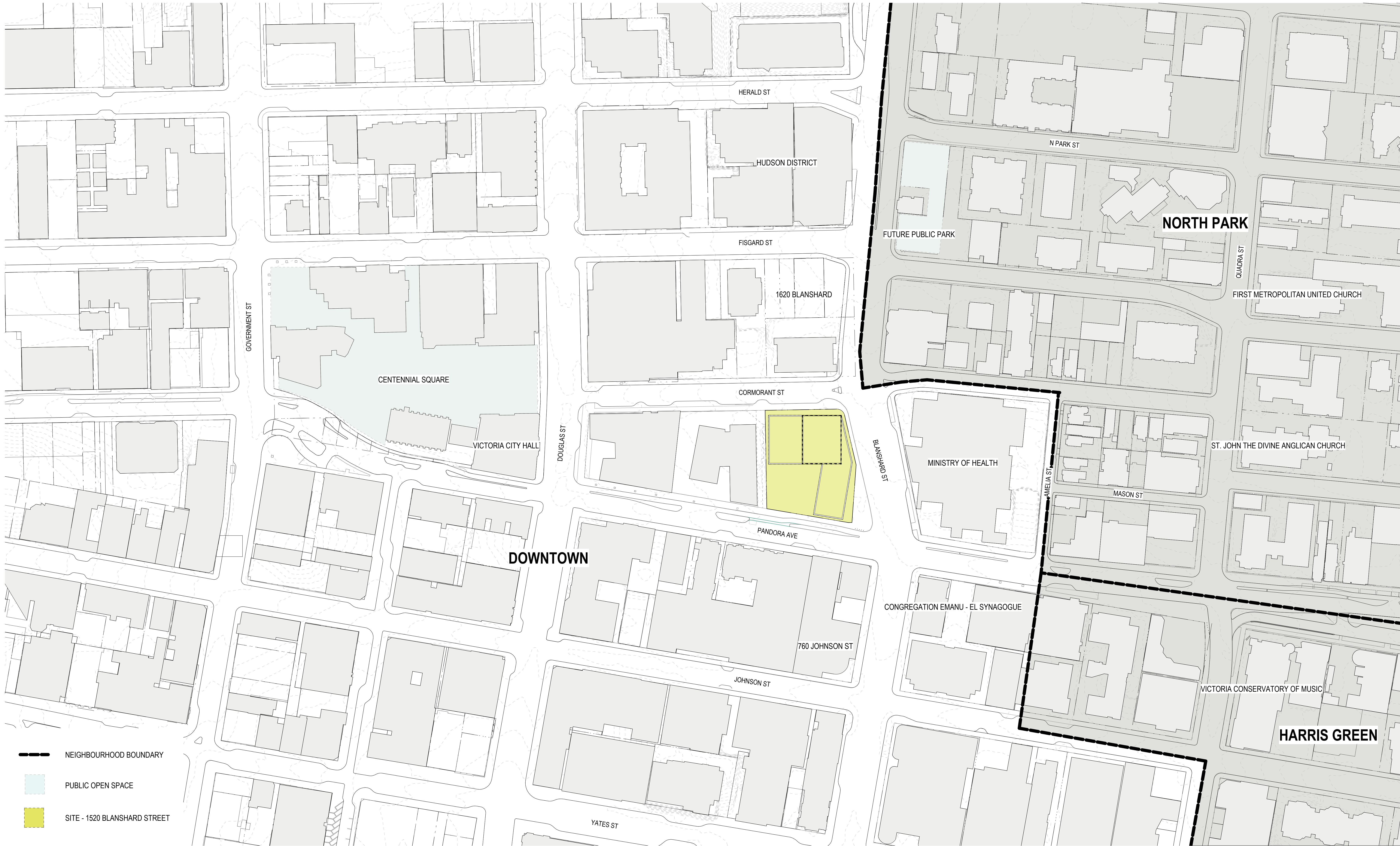
VIEW FROM BLANSHARD STREET LOOKING SOUTH

2025-01-07 4:41:19 PM

<div>PLAN NORTH</div> <div></div> <div>TRUE NORTH</div>	NORTH SYMBOL
<div><div><div></div></div><div>15 SIM</div><div>A101</div></div>	ROOM TAG
<div><div><div>1002</div></div></div>	DOOR TAG
<div>VERY LONG ROOM NAME</div> <div><div>101</div><div>100m²</div></div>	ROOM TAG
<div>1 View Name</div> <div>R101 1/8" = 1'-0"</div>	DRAWING TITLE
<div>Name </div> <div>Elevation</div>	ELEVATION MARKER
<div> Elevation Name</div>	ELEVATION/GRADE SYMBOL
<div><div><div>1/A101</div></div><div><div>1/A101</div></div><div><div>1/A101</div></div><div><div></div></div></div>	SECTION SYMBOL
<div><div><div>1</div><div>2</div><div>A101</div><div>3</div><div>4</div></div></div>	ELEVATION SYMBOL
<div><div><div>27</div></div><div><div>27</div></div><div><div>27</div></div></div>	GRID HEAD
<div><div>EW3</div></div>	WALL TAG
<div><div>1T</div></div>	ROOF TAG
<div><div>PT1</div></div>	MATERIAL TAG
<div><div>A1</div></div>	FIXTURES / EQUIPMENT TAG
<div><div>M.12</div></div>	MILLWORK TAG
<div><div>1T</div></div>	WINDOW TAG
<div><div>1T</div></div>	CW DOOR TAG
<div><div><div>01</div></div><div>Description</div></div>	REVISION TAG

NOT IN CONTRACT	
CONCRETE EXISTING	
CONCRETE NEW	
CONCRETE MASONRY	
STEEL	
ALUMINIUM	
GWB	
GWB TYPE X	
GLULAM	
COMPOSITE WOOD	
PLYWOOD	
MINERAL WOOL	
SPRAY INSULATION	
RIGID INSULATION	
RIGID INSULATION 02	
SEMI RIGID INSULATION	
BATT/LOOSE FILL INSULATION	
EARTH	
GRAVEL DRAINAGE LAYER	
ENGINEERED FILL	
COMPACTED GRANULAR FILL	
SAND	
DEMO	

/ + AND	MAT MATERIAL
@ AT	MAS MASONRY
# NUMBER	MAX MAXIMUM
± PLUS/MINUS	MECH MECHANICAL
	MET METAL
AFF ABOVE FINISHED FLOOR	MFR MANUFACTURER
AL/ALUM ALUMINIUM	MIN MINIMUM
APPROX APPROXIMATE(LY)	MIR MIRROR
ARCH ARCHITECTURAL	MISC MISCELLANEOUS
	MTD MOUNTED
BCBC BRITISH COLUMBIA BUILDING CODE	MUL MULLION
BLDG BUILDING	MW MICROWAVE
BO BOTTOM OF	
BOH BACK OF HOUSE	N/NOT APPLICABLE
	NBC NATIONAL BUILDING CODE
C/W COMPLETE WITH	NIC NOT IN CONTRACT
CB CATCH BASIN	NOM NOMINAL
CIPCAST IN PLACE	NTS NOT TO SCALE
CJ CONTROL JOINT	
CL CENTRE LINE	OC ON CENTRE
CO CLEAN OUT	OD OUTSIDE DIMENSION
COMM COMMUNICATION	OH OVER HEAD
CON CONCRETE	OP OPERABLE PARTITION
CONT CONTINUOUS	OPP OPPOSITE
CPT CARPET	OY OVEN
CTR CENTRE	
	PA PUBLIC ADDRESS SPEAKER
DBL DOUBLE	PLY PLYWOOD
DET DETAIL	PL PROPERTY LINE
DF DRINKING FOUNTAIN	PT PAINT
DIADIAMETER	PTD PAINTED
DIM DIMENSION	PTN PARTITION
DN DOWN	
DWGDRAWING	RD ROOF DRAIN
DR DOOR	REQD REQUIRED
DRWDRAWER	REV REVISION OR REVERSE
DWDISHWASHER	RM ROOM
	RO ROUGH OPENING
EA EACH	RVL REVEAL
EJ EXPLANATION JOINT	RWL RAIN WATER LEADER
EL ELEVATION	
ELEC ELECTRIC(AL)	SC SIAMESE CONNECTION
EMER EMERGENCY	SCHED SCHEDULE
ELEV ELEVATOR	SCWD SOLID CORE WOOD DOOR
ENCL ENCLOSURE	SECT SECTION
EQ EQUAL	SH SHELF
EQUIP EQUIPMENT	SP SPRINKLER
EXIST EXISTING	SPEC SPECIFICATION
EXP EXPOSED	SQ SQUARE
EXT EXTERIOR	SQ FT SQUARE FEET
	SQ M SQUARE METRES
FA FIRE ALARM	SS STAINLESS STEEL
FD FLOOR DRAIN	SSG STRUCTURAL SILICONE GLASS
FF FINISHED FLOOR	ST STAIR
FHC FIRE HOSE CABINET	STD STANDARD
FIN FINISHED	STL STEEL
FLR FLOOR	STOR STORAGE
FND FOUNDATION	STRU STRUCTURAL
FO FACE OF	SUSP SUSPENDED
FP FALL PROTECTION	
FR FRIDGE	TBC TO BE CONFIRMED
FRR FIRE RESISTANCE RATING	TBD TO BE DETERMINED
FT FOOT OR FEET	TD TRENCH DRAIN
	T&G TONGUE AND GROOVE
G/L GRIDLINE	TL TILE
G1S GOOD ONE SIDE	TO TOP OF
G2S GOOD TWO SIDES	TOC TOP OF CURB/CONCRETE
GA GAUGE	TOF TOP OF FINISH
GALV GALVANIZED	TOFF TOP OF FINISHED FLOOR
GL GLASS or GLAZED	TOS TOP OF STRUCTURE
GR GRADE	TOW TOP OF WALL
GRND GROUND	TYP TYPICAL
GB GYPSUM BOARD	
	UNO UNLESS NOTED OTHERWISE
HB HOSE BIB	U/UNDERSIDE
HCWD HOLLOW CORE WOOD DOOR	UH UTILITY HOLE
HDWR HARDWARE	
HPDL HIGH PRESSURE DECORATIVE LAMINATE	VBBL VANCOUVER BUILDING BYLAW
HORIZ HORIZONTAL	VERT VERTICAL
HT HEIGHT	VEST VESTIBULE
	VIF VERIFY IN FIELD
INSUL INSULATION	
INT INTERIOR	WC WATER CLOSET
	WD WOOD
JC JANITOR CLOSET	WRHS WAREHOUSE
JT JOINT	WH WAREHOUSE
	WV WOOD VENEER
LAM LAMINATE / LAMINATED	W/ WITH
LS LAMP STANDARD	W/O WITHOUT
LT LIGHT	



- NEIGHBOURHOOD BOUNDARY
- PUBLIC OPEN SPACE
- SITE - 1520 BLANSHARD STREET

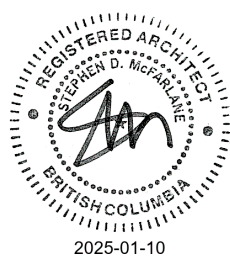
2025-01-07 4:41:21 PM

omb office of mcfarlane biggar
architects + designers
301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officeomb.ca officeomb.ca

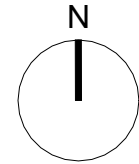
RELIANCE
PROPERTIES

© omb all rights reserved. The documents and design as an instrument of service are and all lines remain the exclusive property of omb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents. Drawing scale may be affected by printing, scanning or copying. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.

DATE	REV	DESCRIPTION
01/06/2025	01	Issued for Development Tracker



1520 BLANSHARD STREET
1520 BLANSHARD STREET, VICTORIA, BC
2023-017



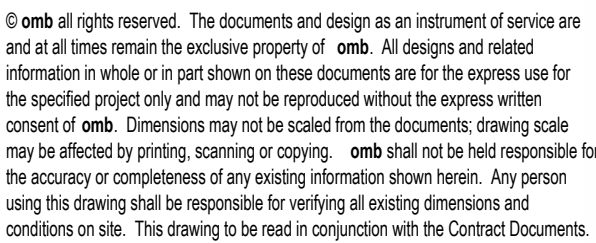
A.010
CONTEXT PLAN
1 : 1000

2025.01.08

Note: Please see detailed Off-Street Loading and Passenger Loading table for more information

omb office of mcfarlane biggar
architects + designers

301-1825 Quebec Street Vancouver, BC V6T 2Z8
102 - 51 Easton Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officemb.ca officemb.ca



2025.01.06 Requirements from City of Victoria Zoning Bylaw 2018 Part 5 -Off-Street Parking Regulations (June 2022) and Schedule C Bylaw no. 60-159

1520 Blanshard St - Preliminary Floor Area + Unit Statistics

2024.12.18

1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC
2023-017

2024.12.20 Requirements from City of Victoria Zoning Bylaw 2018 Part 5 -Off-Street Parking Regulations (June 2022) and Schedule C Bylaw no. 80-159

Total Units	321
Family Units	99
	30.8%

2025-01-07 4:41:24 PM





Hudson Place
One

Hudson Place
Two

1620 Blanshard St.
(Proposed)

1520 Blanshard St.
(Site)

Harris Green Village
(Approved)

Montrose Wintergarden
Hotel (Approved)

780 Blanshard St.
(Proposed)

Telus Ocean
(Approved)

Inner Harbour view from Laurel Point (Photo Collage aligned in GoogleEarth)

VIEW 1: LAUREL POINT TO DOWNTOWN CORE AREA

Situated at the key intersection of Blanshard and Pandora, the proposal sits at the heart of the Central Business District and is surrounded by a cluster of other tall buildings. When viewed from Laurel Point, it contributes to a tiered urban backdrop to the irregular rooflines of the Historic Commercial District.

The massing is oriented to align with key vistas and provides a strong relationship with the facades of the Historic Commercial District. Recessed balconies emphasize the simple massing and help contextualize the residential tower with its commercial neighbours. A restrained, singular material palette of warm masonry extends to the roofline, providing a tangible connection to the rich materiality and texture of the historic building stock while emphasizing contemporary construction techniques and capabilities. Each façade is responsive to its orientation, providing subtle variation and architectural interest and further emphasizing the connection to craft that is so evident in Victoria's historic architecture.

The proposal provides an opportunity to mark the apex of the Downtown Core Area Plan's urban amphitheater with a high-quality landmark building.



VISTA TERMINATION: BLANSHARD ST AND DISCOVERY AVE



VISTA TERMINATION: PANDORA AVE AND VANCOUVER ST

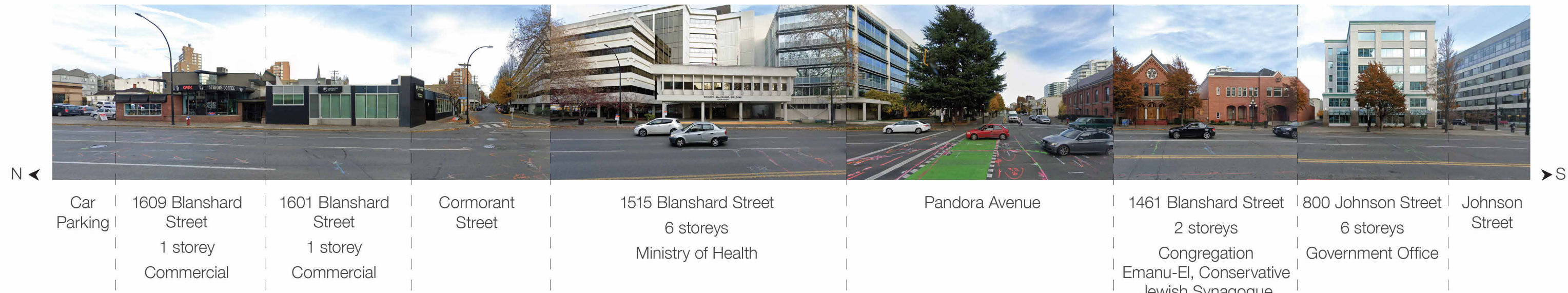


VISTA TERMINATION: BLANSHARD ST AND VIEW ST

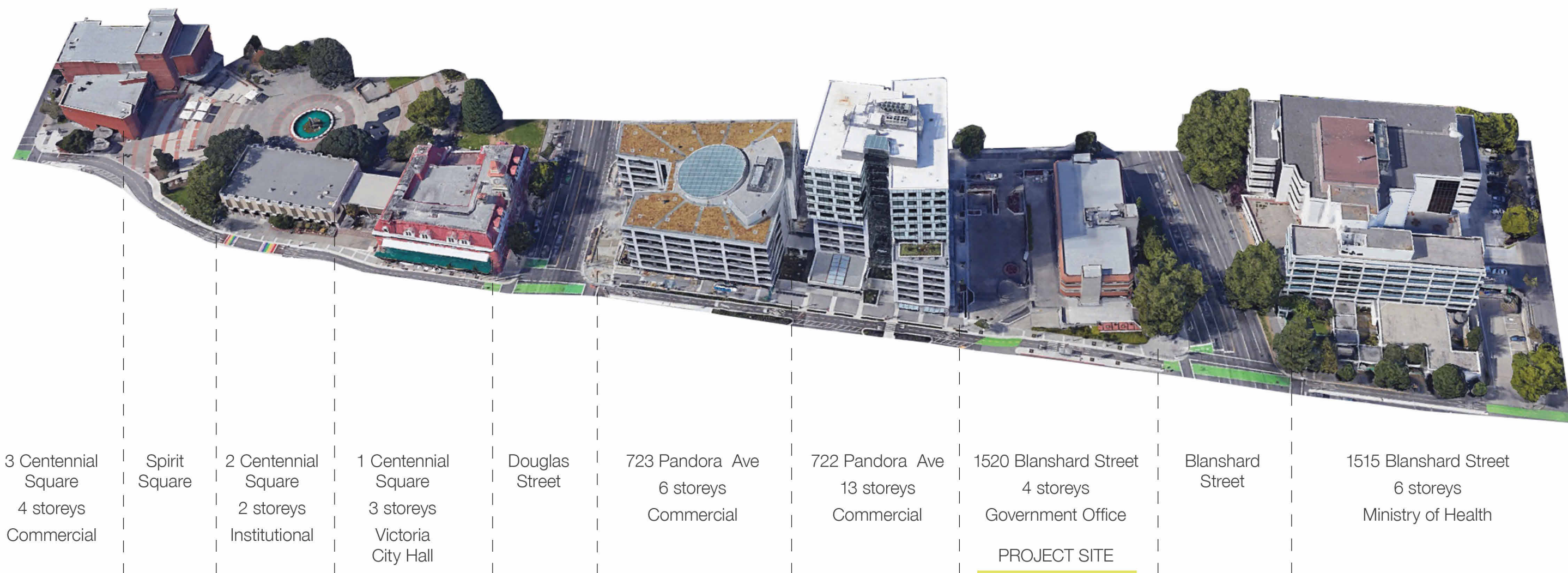
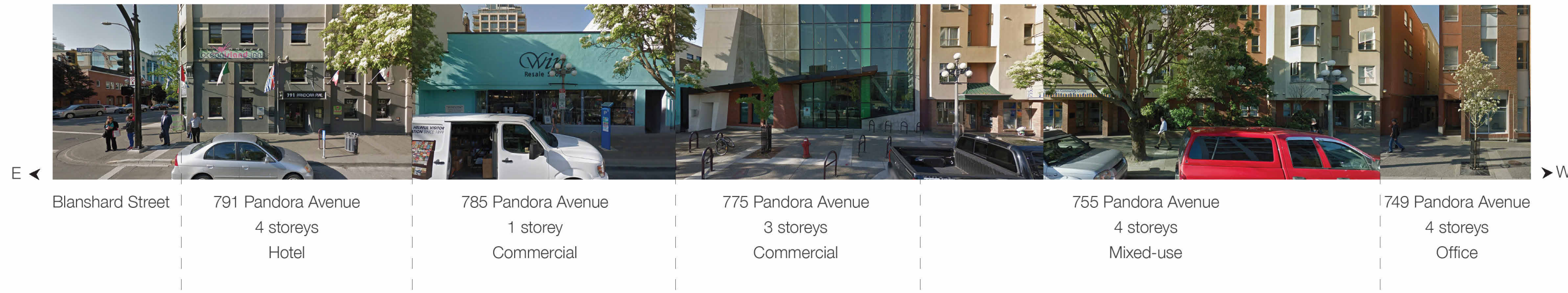


VISTA TERMINATION: PANDORA AVE AND WHARF ST

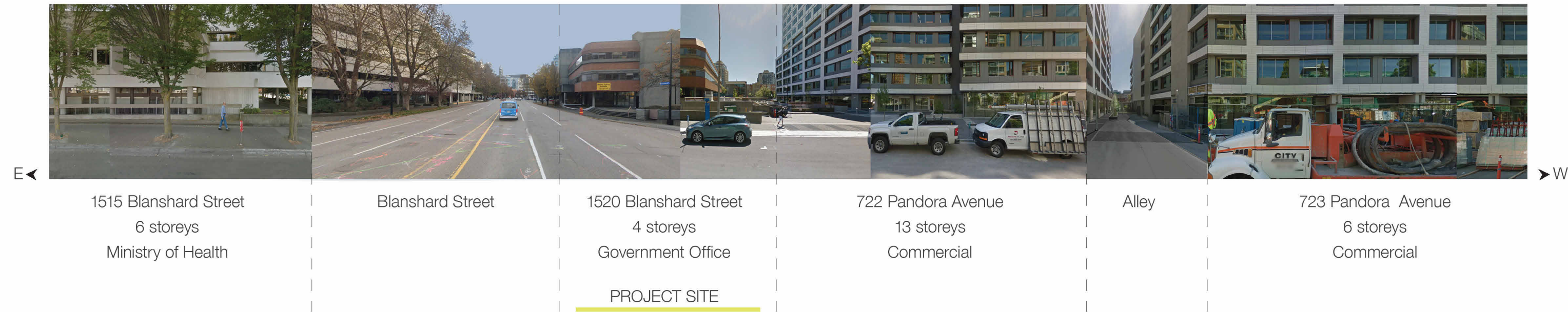
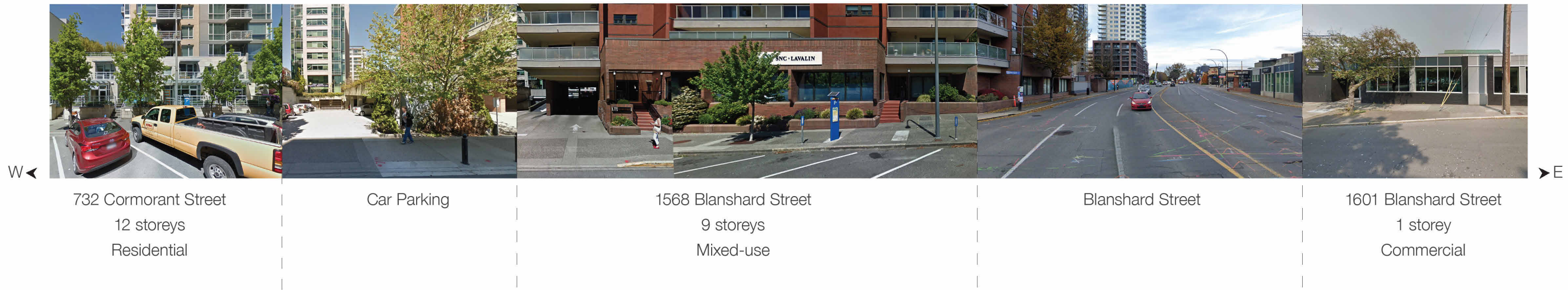
2025-01-07 4:41:25 PM



1 CONTEXT STREETSCAPES - BLANSHARD
A.013



2 CONTEXT STREETSCAPES - PANDORA
A.013



1 CONTEXT STREETSCAPES - CORMORANT
A.014

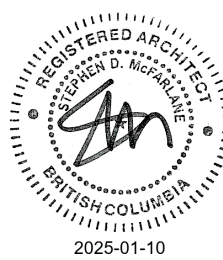
2025-01-07 4:41:28 PM

omb office of mcfarlane biggar
architects + designers
301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officemb.ca officemb.ca

RELIANCE
PROPERTIES

© omb all rights reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of omb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents. Drawing scale may be affected by printing, scanning or copying. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.

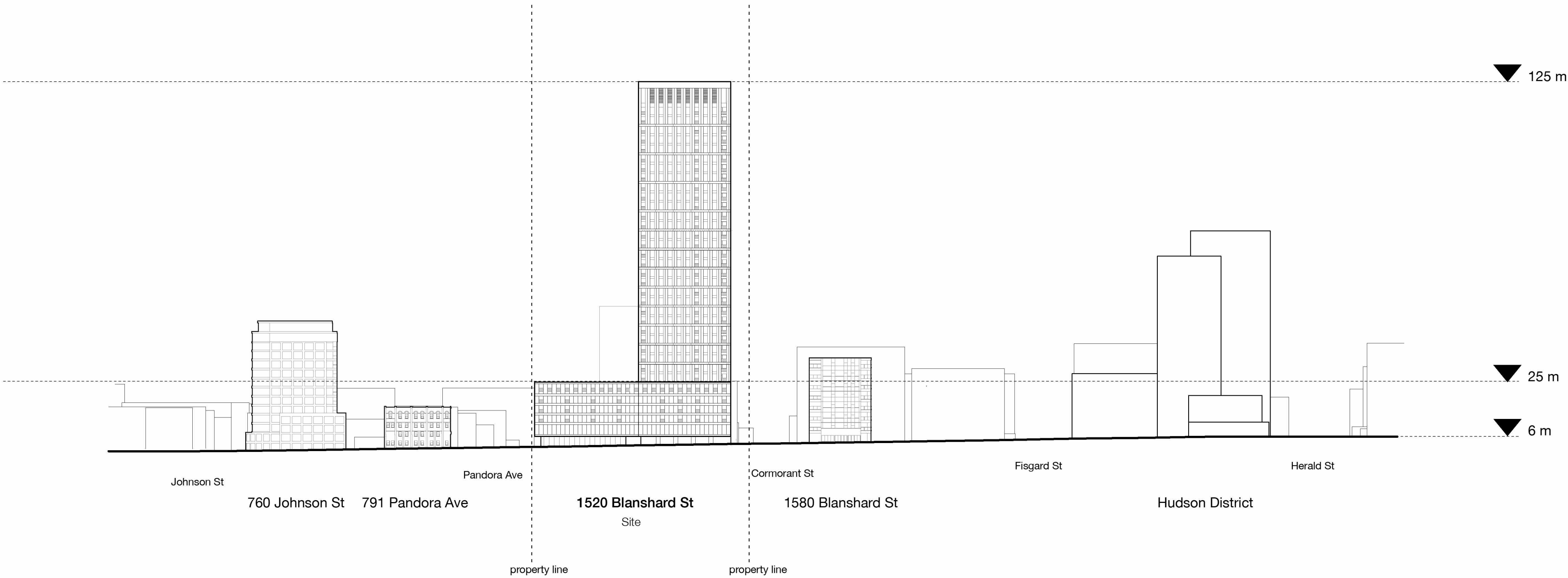
DATE	REV	DESCRIPTION
01/06/2025	01	Issued for Development Tracker



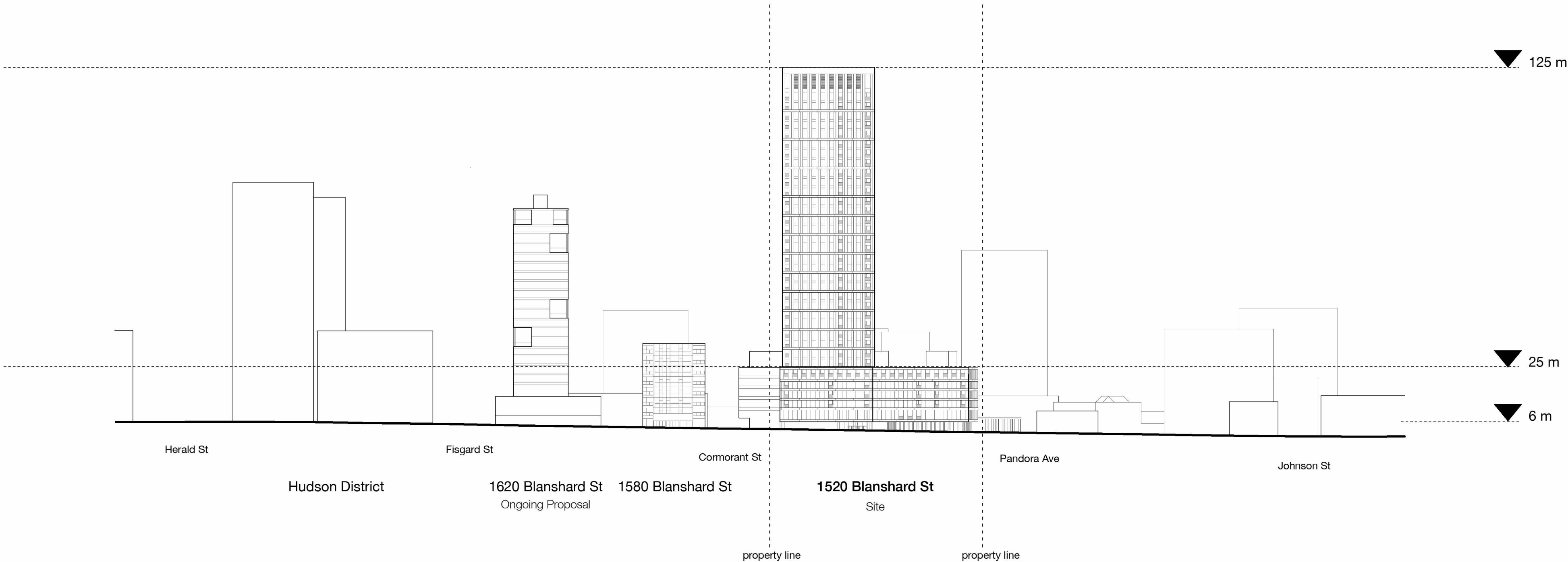
1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC
2023-017

A.014
CONTEXT STREETSCAPES

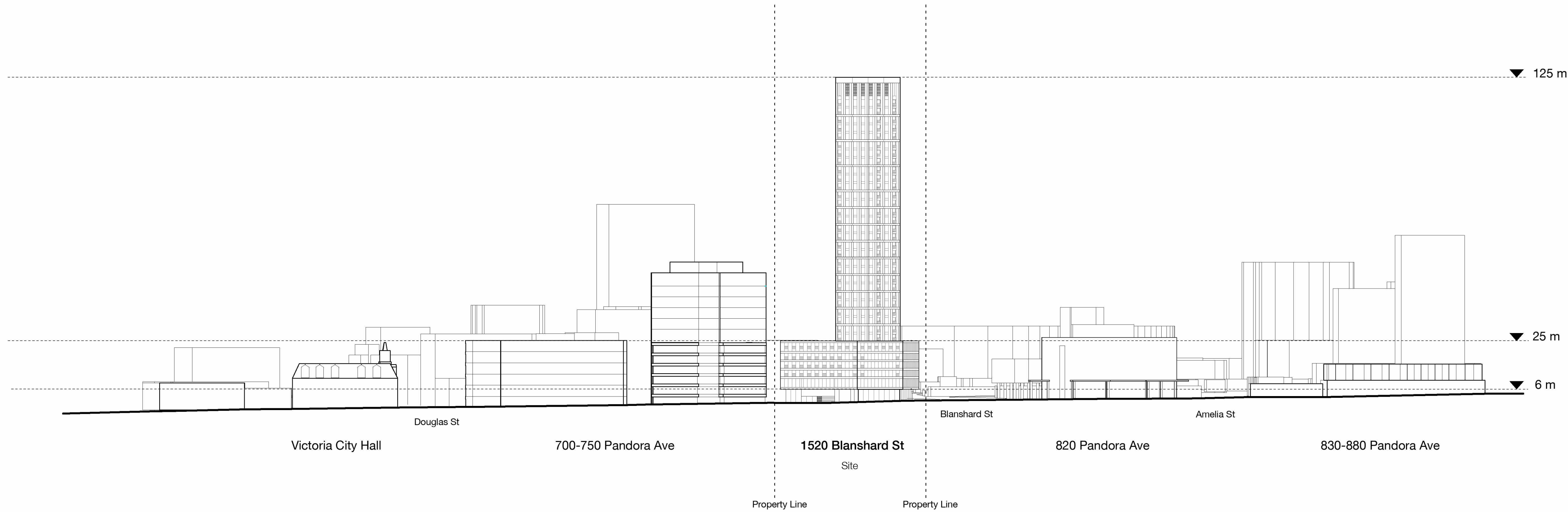


1 CONTEXT ELEVATIONS - BLANSHARD
A.015 1:1000

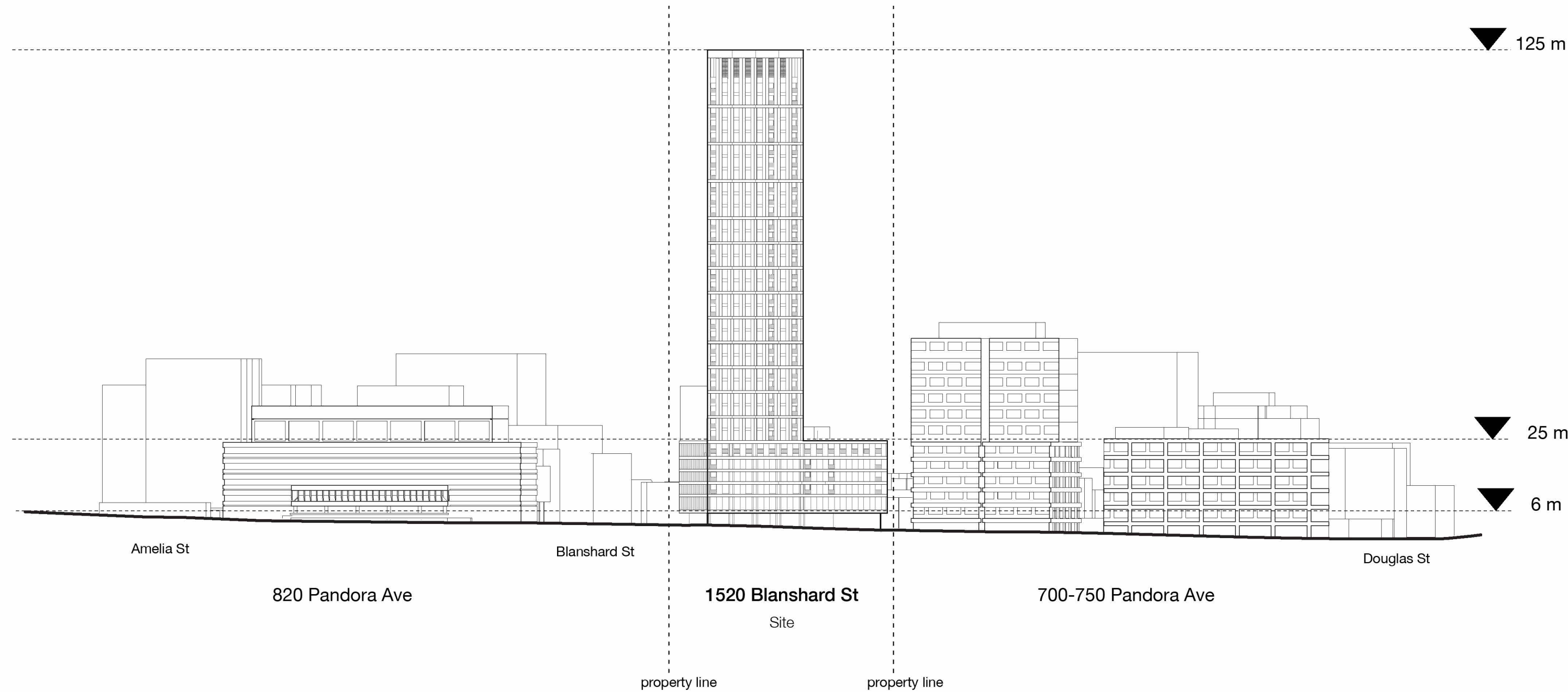


2 CONTEXT ELEVATIONS - THROUGH-BLOCK
A.015 1:1000

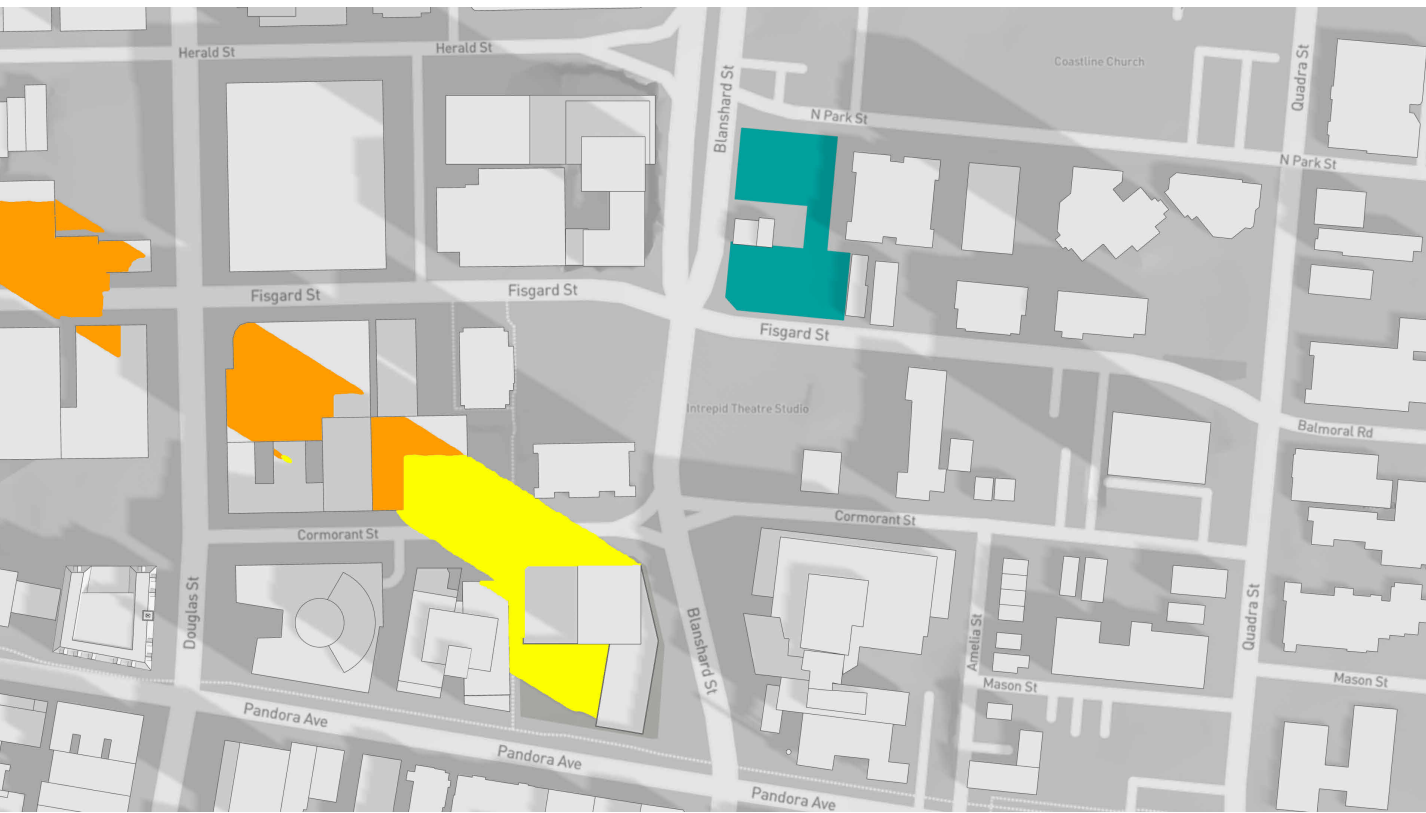
2025-01-07 4:41:31 PM



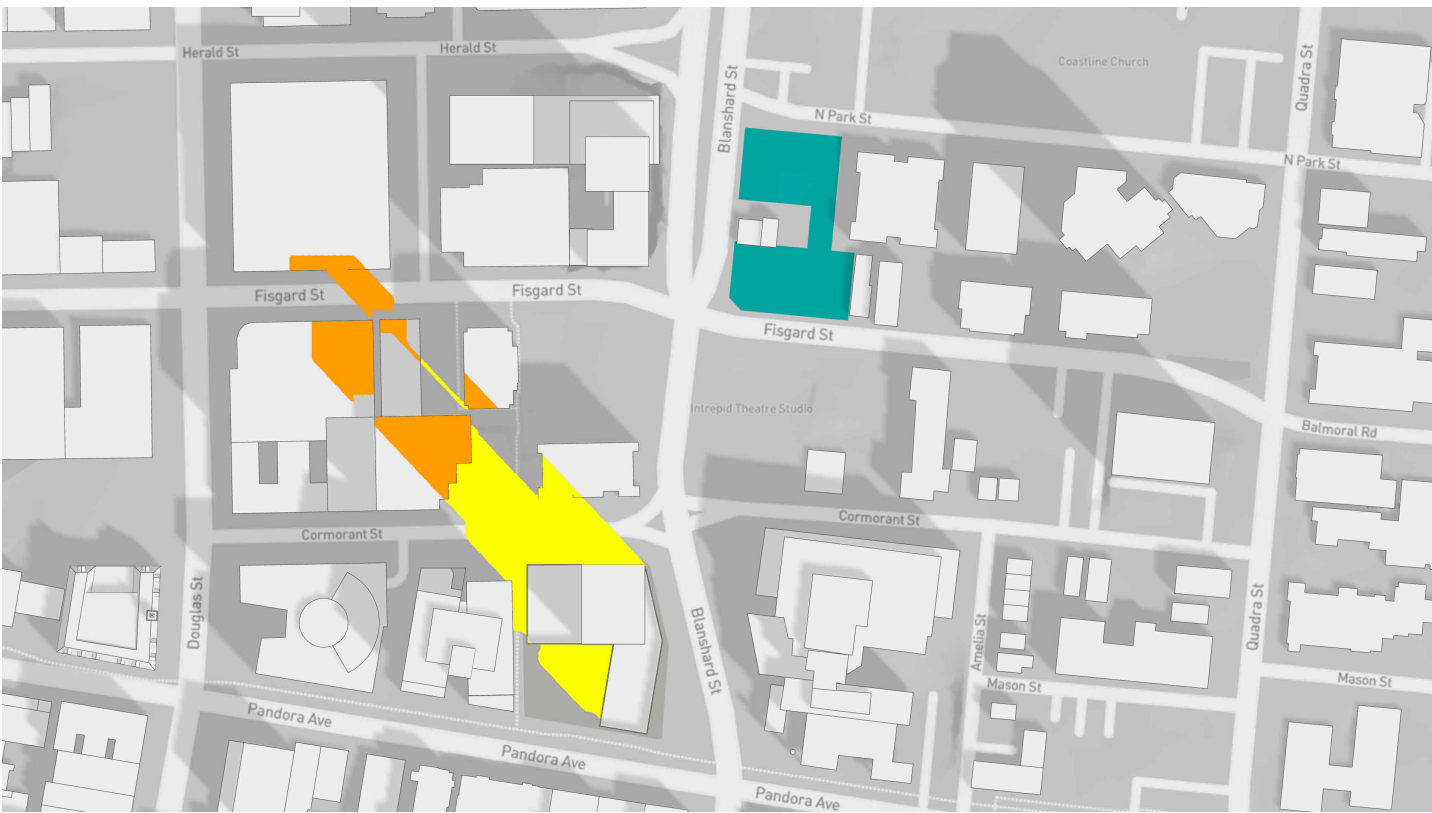
2 CONTEXT ELEVATIONS - PANDORA
A.016 1 : 1000



1 CONTEXT ELEVATIONS - CORMORANT
A.016 1 : 1000



EQUINOX - 10:00



EQUINOX - 11:00



EQUINOX - 12:00



EQUINOX - 13:00



EQUINOX - 14:00



EQUINOX - 15:00

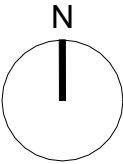


EQUINOX - 16:00

LEGEND

- FUTURE PUBLIC OPEN SPACE
- DCAP COMPLIANT SHADOW IMPACTS
- NET INCREMENTAL SHADOW IMPACTS

DATE	REV	DESCRIPTION
01/06/2025	01	Issued for Development Tracker





SOLSTICE - 10:00



SOLSTICE - 11:00



SOLSTICE - 12:00



SOLSTICE - 13:00



SOLSTICE - 14:00

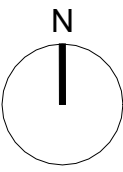


SOLSTICE - 15:00



SOLSTICE - 16:00

- LEGEND
- FUTURE PUBLIC OPEN SPACE
 - DCAP COMPLIANT SHADOW IMPACTS
 - NET INCREMENTAL SHADOW IMPACTS



BUILDING CODE ANALYSIS

PROJECT INFORMATION		BCBC Reference	Notes
Project Type	New Construction		
Governing Building Code	BC Building Code 2024		
Major Occupancies	Group A2, C, D, E	3.1.2.1	
Building Area	2081 m2	Div A-1.4.1.2	Outside face of exterior walls
Grade	20.3m	Div A-1.4.1.2	BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Pandora Avenue)
Building Height	35 storeys	Div A-1.4.1.2	
High Building	Yes	3.2.6.1	

BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION		BCBC Reference	Notes
Classification	Group A2/C/D, Any Height, Any Area, Sprinklered	3.2.2.23, 3.2.2.47, 3.2.2.56	
Maximum Building Area	Unlimited	3.2.2.23, 3.2.2.47, 3.2.2.56	
Number of Streets Facing	3	3.2.2.10	
Construction Types Permitted	Noncombustible	3.2.2.23, 3.2.2.47, 3.2.2.56	
Interconnected Floor Space	Yes	3.2.8	

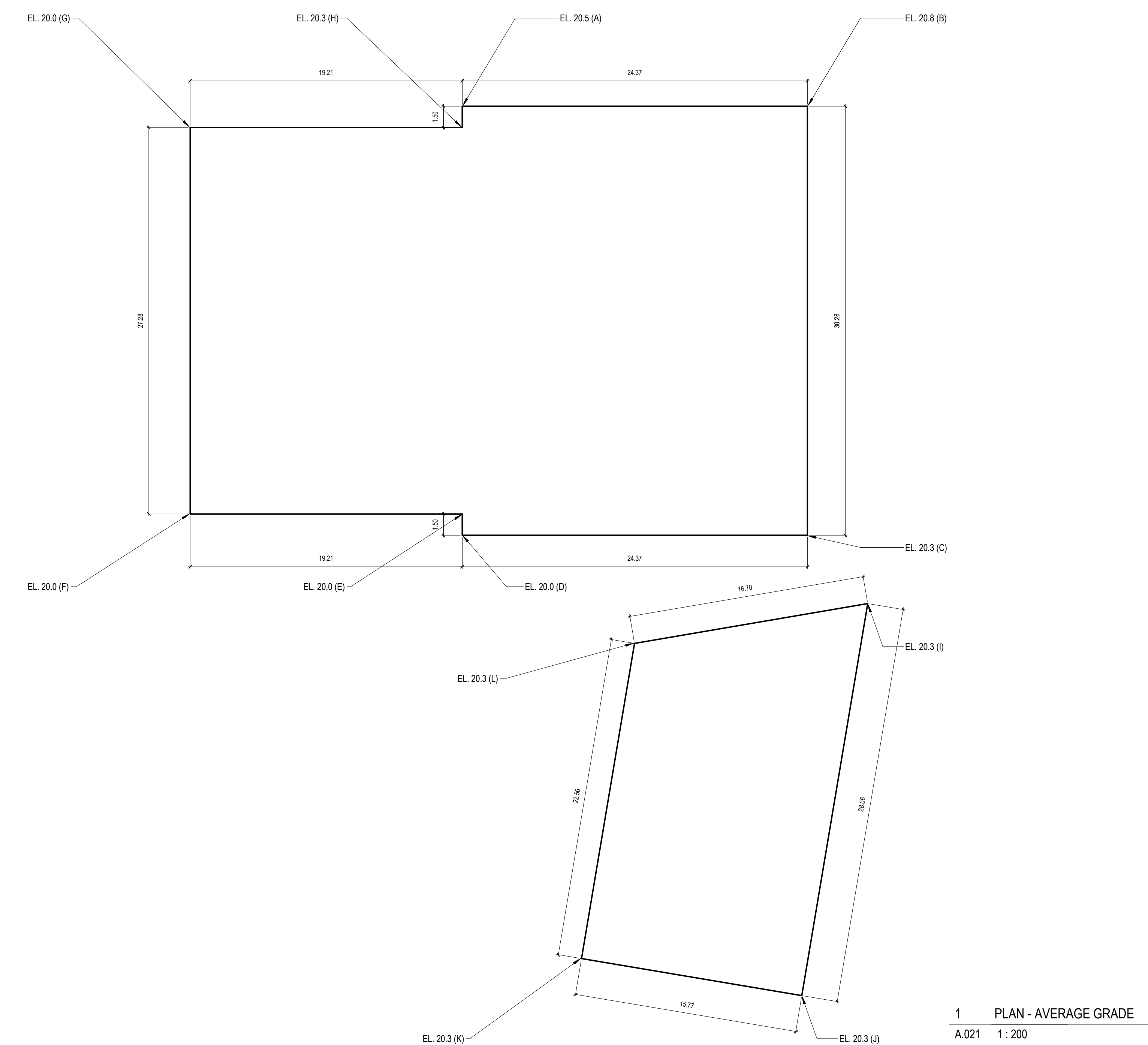
EXITS FROM FLOOR AREAS		BCBC Reference	Notes
Number of Exits Required	2	3.4.2.1	
Separation of Exits (Min.)	One half of diagonal floor area, but need not be more than 9m	3.4.2.3	
Maximum Travel Distance Allowed	45 m	3.4.2.5	Measured from suite egress door into public corridor (3.4.2.4)

FIRE RESISTANCE RATINGS	FRR	BCBC Reference	Notes
Floor Assemblies	2 h	3.2.2.23, 3.2.2.47, 3.2.2.56, 3.2.2.66	
Unoccupied Roofs	N/A	3.2.2.23, 3.2.2.47, 3.2.2.56, 3.2.2.66	
Occupied Roofs	2 h	3.2.2.13	
Mezzanines	1 h	3.2.2.23, 3.2.2.47, 3.2.2.56	
Exits (stairs & corridors)	2 h	3.4.4.1	
Exit Lobby	0 or 2 h	3.4.4.2	2 h FRR required between Exit Lobby and Exit Stairs and any room not permitted to open directly into an exit
Between Suites	1 h	3.3.1.1, 3.3.4.2	Not required for Group D with public corridor
Between Suites and Public Corridors	1 h	3.3.4.2, 3.2.6.5	Elevator access directly to corridor
Between Major Occupancies (A2-D)	1 h	3.1.3.1	
Between Major Occupancies (A2-C)	1 h	3.1.3.1	
Between Major Occupancies (C-D)	1 h	3.1.3.1	
Between Major Occupancies (E-D)	0 h	3.1.3.1	
Between Major Occupancies (E-C)	2 h	3.1.3.1	
Between Major Occupancies (E-A2)	2 h	3.1.3.1	
Elevator Hoistways	2 h	3.5.3.1	
Emergency Conductor Shafts	2 h	3.2.7.10	
Service Spaces Containing Emergency Equipment	1 h	3.2.7.10	
Rooms Containing Fire Alarm Equipment	1 h	3.2.7.10	
Generator Room and Fuel Tank	2 h	3.6.2.8	
Electrical Equipment Room (sprinklered)	1 h	3.6.2.1	
Electrical Equipment Room (unsprinklered)	2 h	NFPA 13	Unsprinklered high voltage electrical room with dry filled transformer
Horizontal Service Space	1 or 2 h	3.1.8.3	FRR must match the vertical fire separation beneath the horizontal shaft
Waste Storage Room	1 h	3.6.2.5	
Storage Rooms	1 h	3.3.4.3	1.5 h required for storage rooms in the parking garage per 3.3.5.6
Sprinklered Janitor's Room	0 h	3.3.1.22	
Vertical Spaces	1 h	3.6.3.1	

CLOSURES & DOORS		BCBC Reference	Notes
Penetration of 1h Separation	45 min	3.1.8.4	Refer to 3.1.8.17 for Temperature Rise criteria
Penetration of 1.5h Separation	1 h	3.1.8.4	Refer to 3.1.8.17 for Temperature Rise criteria
Penetration of 2h Separation	90 min	3.1.8.4	Refer to 3.1.8.17 for Temperature Rise criteria

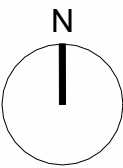
INTERIOR DESIGN - FINISHES	FSR	SDC	BCBC Reference
Exits & Exit Stairs	25	N/A	3.1.13.2
Walls up to 10%	150	N/A	3.1.13.2.(4)
Ceilings up to 10%	150	N/A	3.1.13.2.(4)
Per 3.1.13.8.(1)(b) FSR must be achieved on any exposed surface or any surface that would be exposed by cutting through the material			
Exit Lobbies	25	N/A	3.1.13.2
Walls up to 25%	150	N/A	3.1.13.2.(4)
Ceilings up to 10%	150	N/A	3.1.13.2.(4)
Per 3.1.13.8.(1)(b) FSR must be achieved on any exposed surface or any surface that would be exposed by cutting through the material			
Public Corridors	150	N/A	3.1.13.6.(3)
Elevator Car Walls and Ceilings	75	450	3.1.13.7 and 3.1.13.11
Elevator Car Floors	300	450	3.1.13.7 and 3.1.13.11
Interior Finishes up to 1mm	N/A	N/A	3.1.5.12.(1)
Interior Finishes up to 25mm	150	N/A	3.1.5.12.(2),(3)

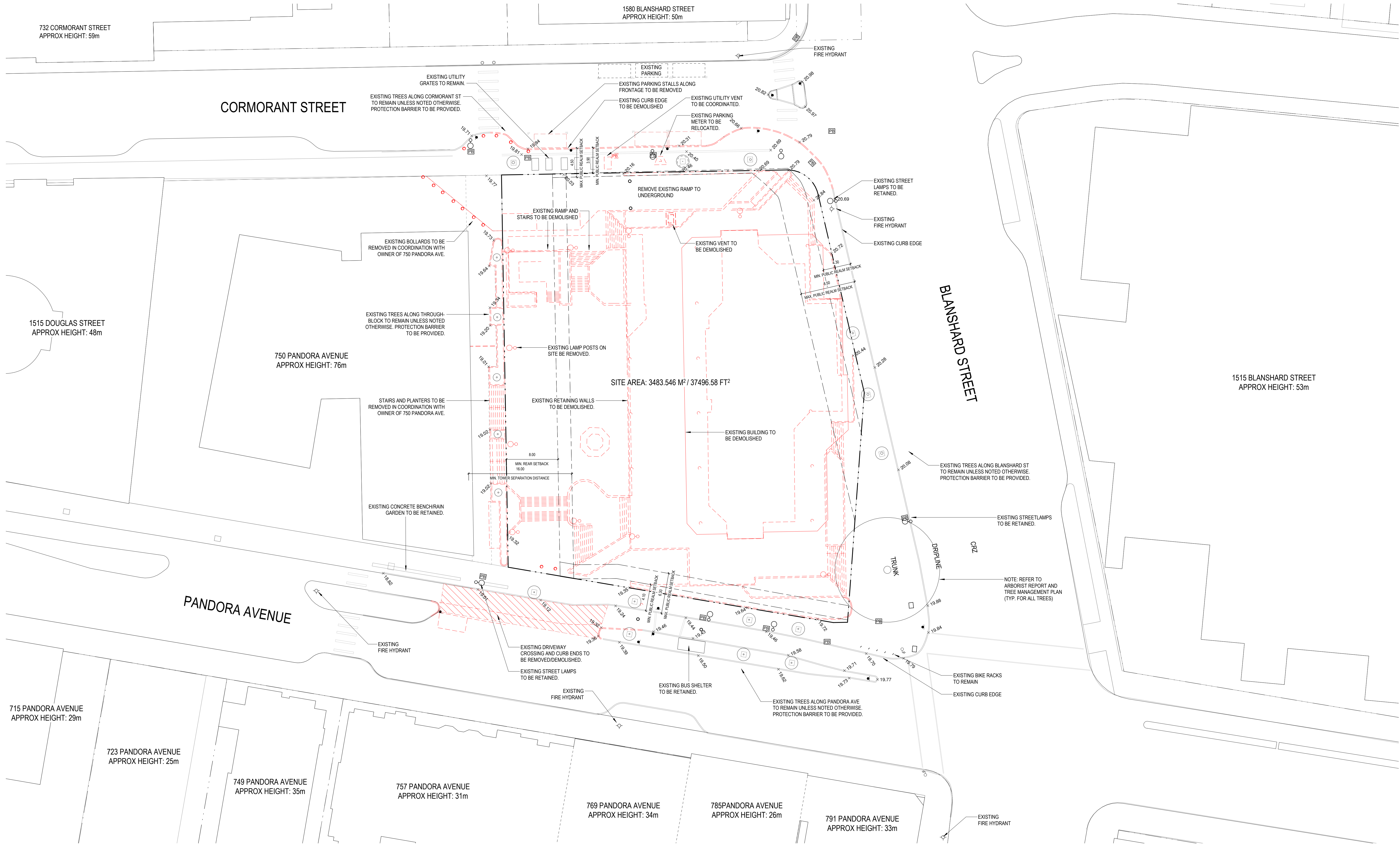
HIGH BUILDING REQUIREMENTS		BCBC Reference	Notes
Limits to Smoke Movement		3.2.6.2	Separation of stairs above and below the lowest exit level Stair venting for above grade exit stairs at 0.05m2 per door and at least 1.8m2 Pressurization of below grade exit stairs with top venting Pressurization ducts for stairs below grade rated 2h Elevators require 2h fire rated vestibules at below grade levels Firestopping at vertical service spaces immediately below the lowest exit level
Emergency Operation of Elevator		3.2.6.4	Automatic and manual emergency recall Elevator car emergency switches and status indicators Smoke detectors at elevator lobbies, hoistways, elevator control rooms
Elevator for Firefighter Use		3.2.6.5	At least one elevator deesigned for use by firefighters - 2.2m2 and 900kg capacity All elevators capable of operating on emergency power. One elevator at a time is acceptable if all elevators can recall within 5min per 3.2.7.9.(3). If not, firefighting elevator plus one other elevator must be on emergency power 2h fire rated shaft with 90min fire rated closures 2h fire rating for emergency electrical conductors (to provide 1 hour operation under fire conditions)
Venting to Aid Firefighting		3.2.6.6	Operable windows or balcony doors or provision of smoke exhaust at 6 ACH
Central Alarm and Control Facility		3.2.6.7	CACF to be located at the Cormorant lobby where the fire department response point will be
Voice Communication System		3.2.6.8	Voice communication system with firefighter's telephones or ECCOM system per 3.2.4.22.(5) and 3.2.5.20.(1)
Emergency Lighting and Power		3.2.7.4	2 hour duration under full load (emergency power for fire alarm system)
Fire Alarm Emergency Power		3.2.7.8	2 hour duration under full load with 24 hour supervisory power (emergency power for fire alarm system)
Emergency Power for Building Services		3.2.7.9	2 hour operation provided by generator for all emergency building systems
Protection of Electrical Conduit		3.2.7.10	2h fire rating for electrical and emergency system conductors (to provide 1 hour operation under fire conditions)



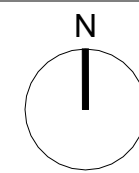
AVERAGE GRADE CALCULATIONS

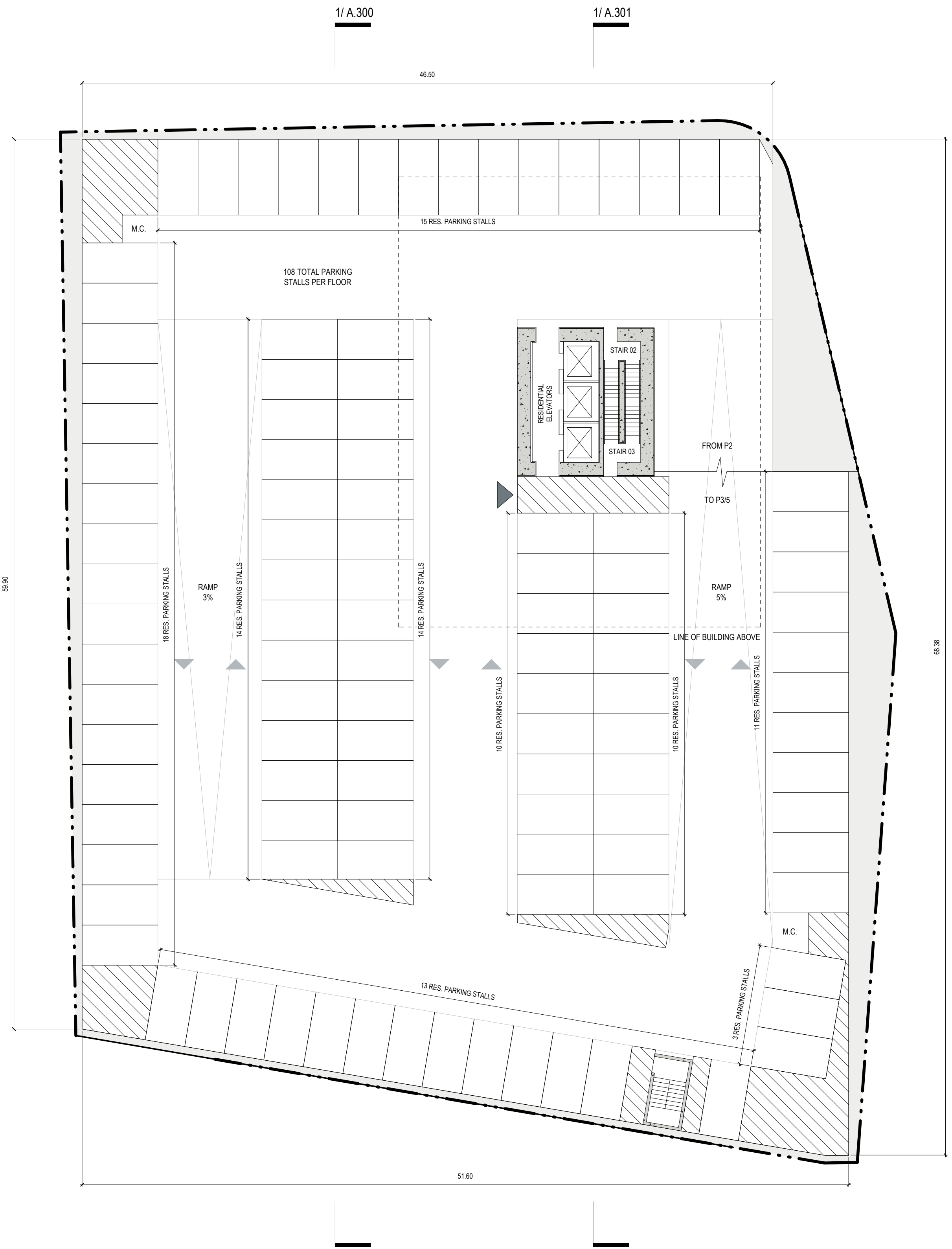
GRADE POINTS		DISTANCE BETWEEN POINTS		AVERAGE GRADE CALCULATION					
Point	Elev (m)	Point Pair	(m)	Point Pair	Point 1	Point 2	Average	Distance	Total
A	20.50	A & B	24.37	A & B	20.50	20.80	20.65	24.37	503.20
B	20.80	B & C	30.28	B & C	20.80	20.30	20.55	30.28	622.34
C	20.30	C & D	24.37	C & D	20.30	20.00	20.15	24.37	491.02
D	20.00	D & E	1.50	D & E	20.00	20.00	20.00	1.50	30.00
E	20.00	E & F	19.21	E & F	20.00	20.00	20.00	19.21	384.12
F	20.00	F & G	27.28	F & G	20.00	20.00	20.00	27.28	545.68
G	20.00	G & H	19.21	G & H	20.00	20.30	20.15	19.21	387.00
H	20.30	H & A	1.50	H & A	20.30	20.50	20.40	1.50	30.60
I	20.30	I & J	28.06	I & J	20.30	20.30	20.30	28.06	569.86
J	20.30	J & K	15.77	J & K	20.30	20.30	20.30	15.77	320.11
K	20.30	K & L	22.56	K & L	20.30	20.30	20.30	22.56	457.95
L	20.30	L & I	1.37	L & I	20.30	20.30	20.30	1.37	27.81
Total		Perimeter	215.48	Total				215.48	4,369.48
AVERAGE GRADE									20.28



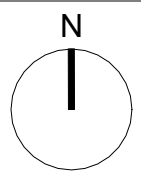


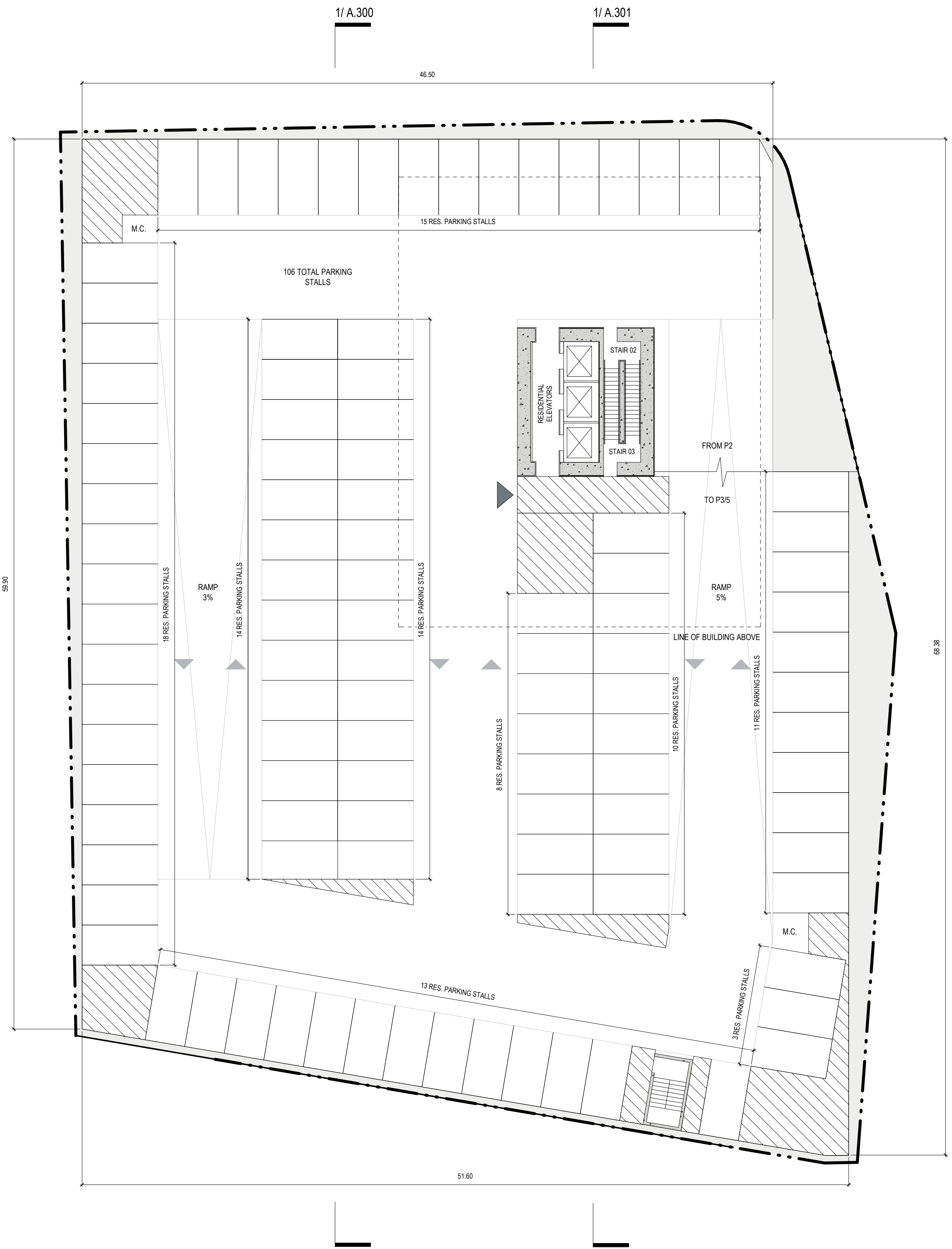
2025-01-07 4:41:45 PM



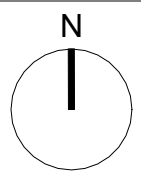


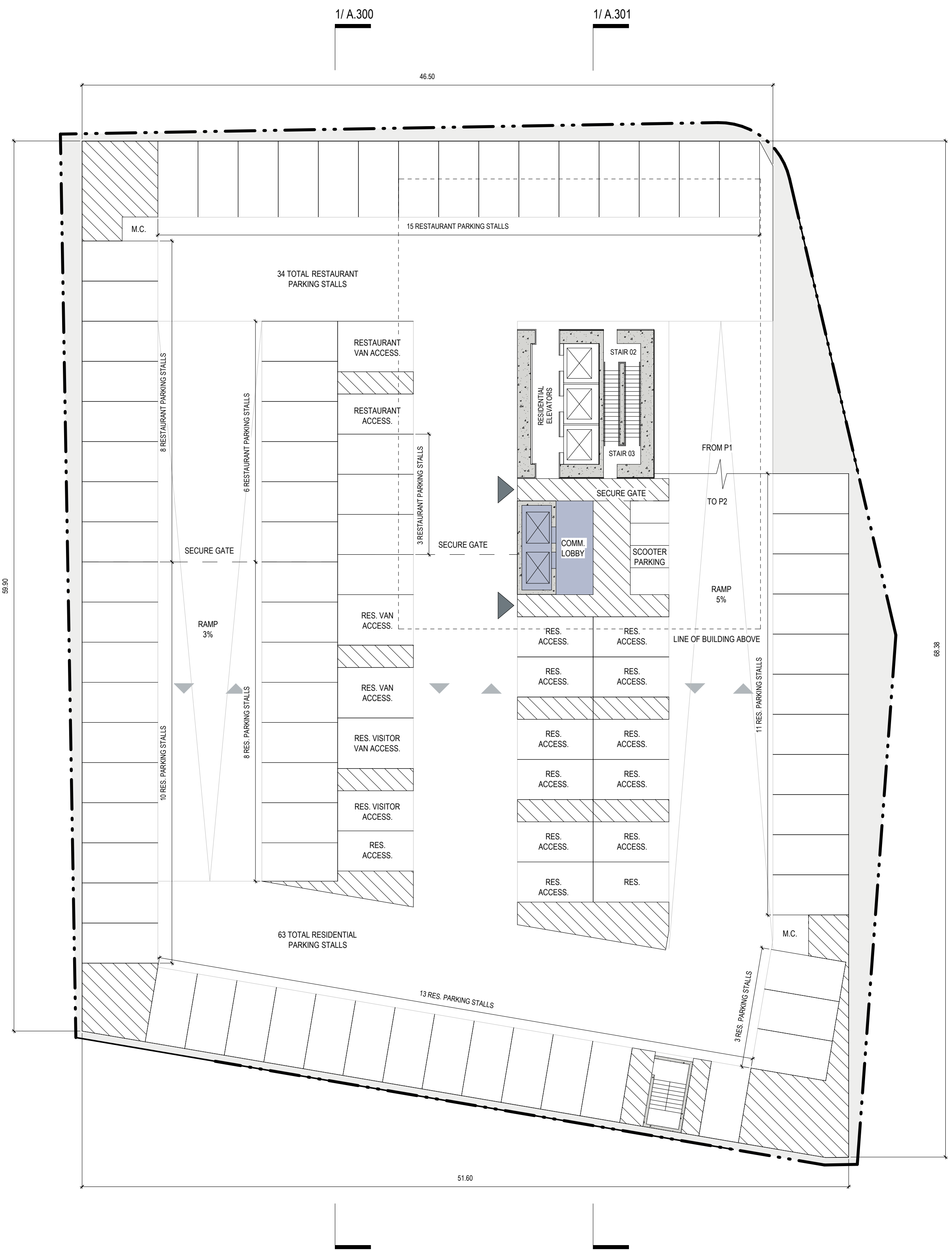
2025-01-07 4:41:46 PM



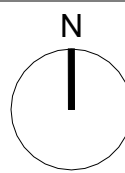


2025-01-07 4:41:46 PM

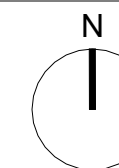


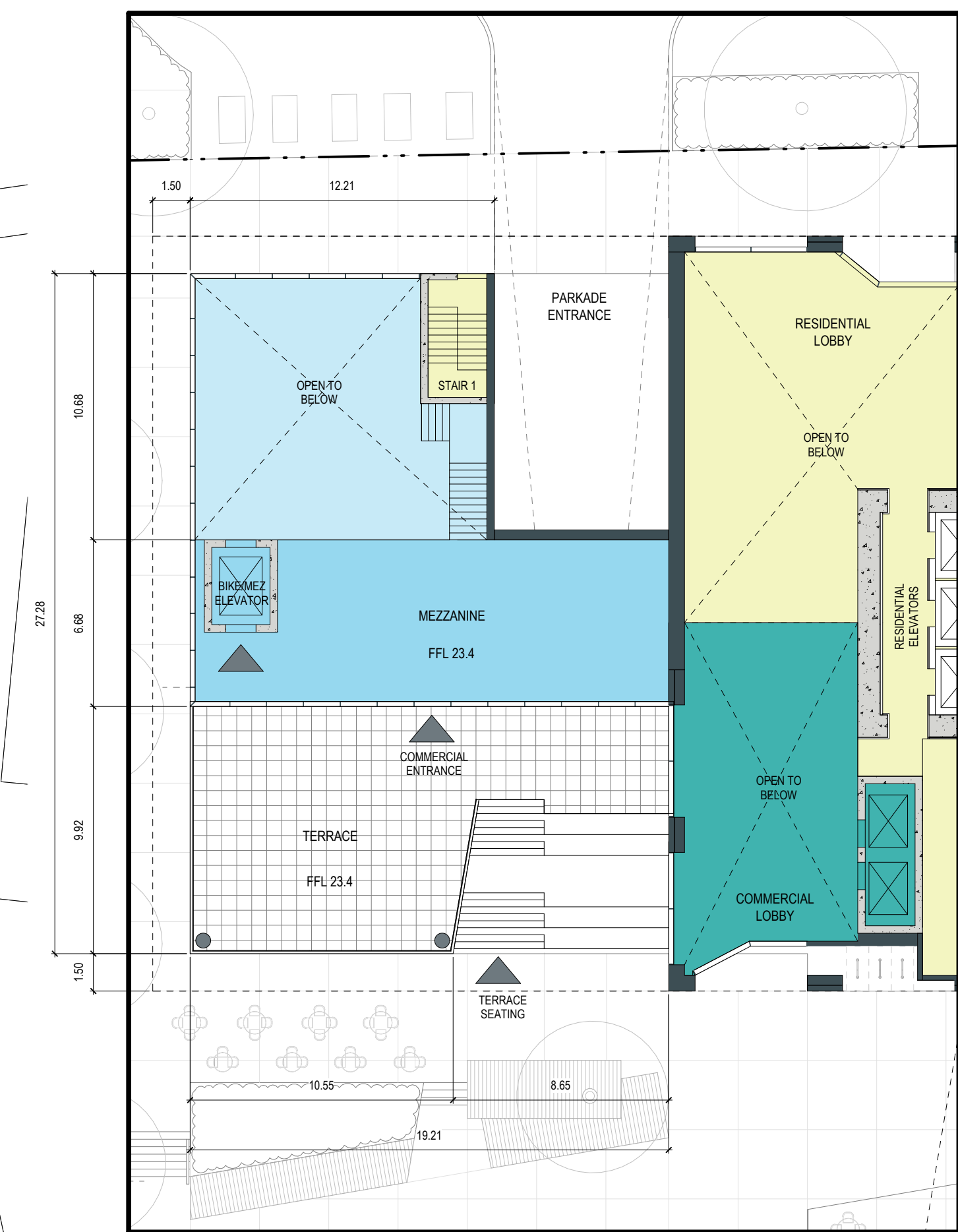


2025-01-07 4:41:47 PM

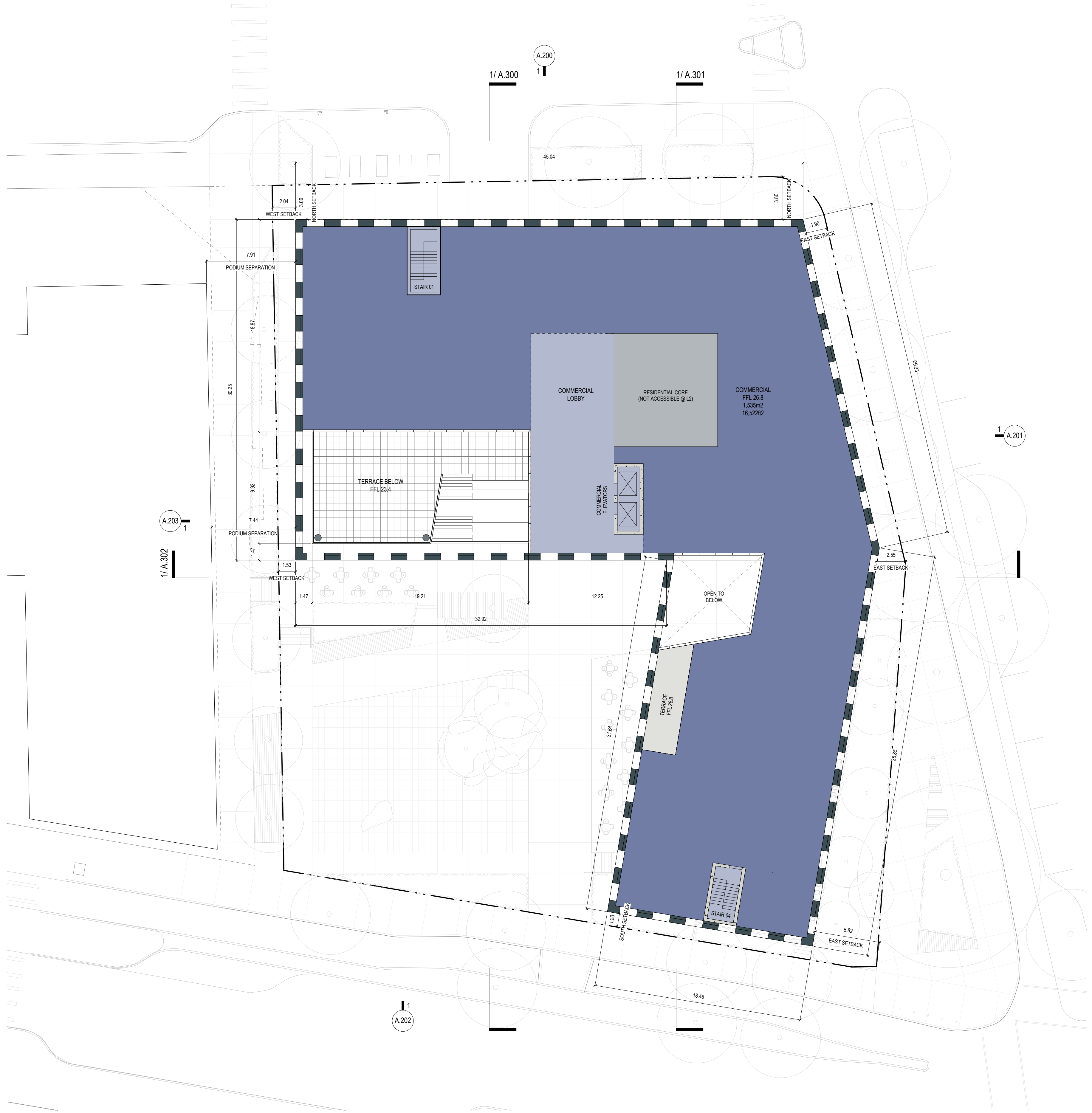


1520 BLANSHARD STREET, VICTORIA, BC
2023-017

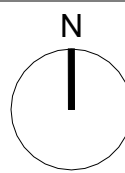


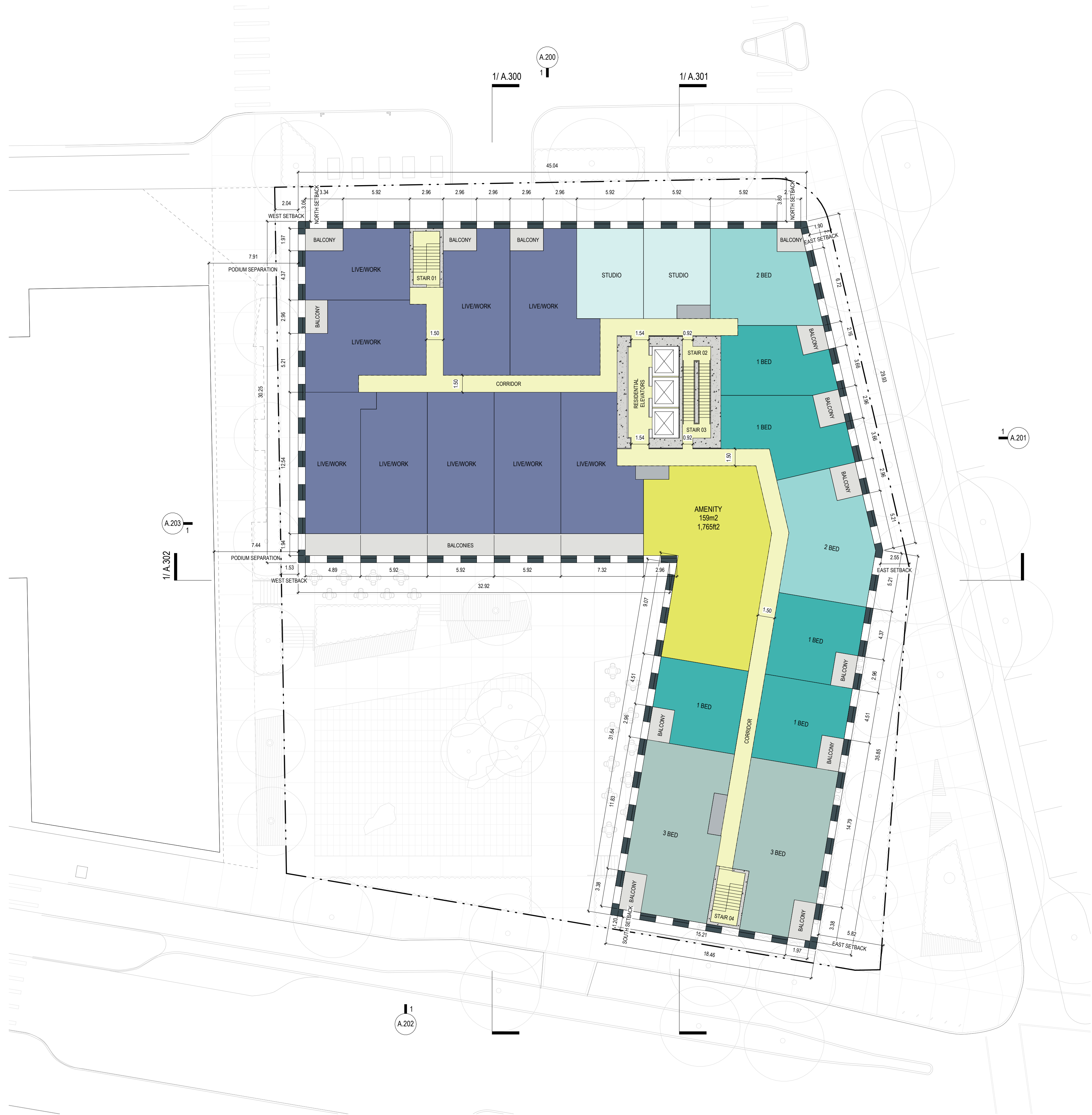
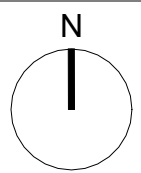


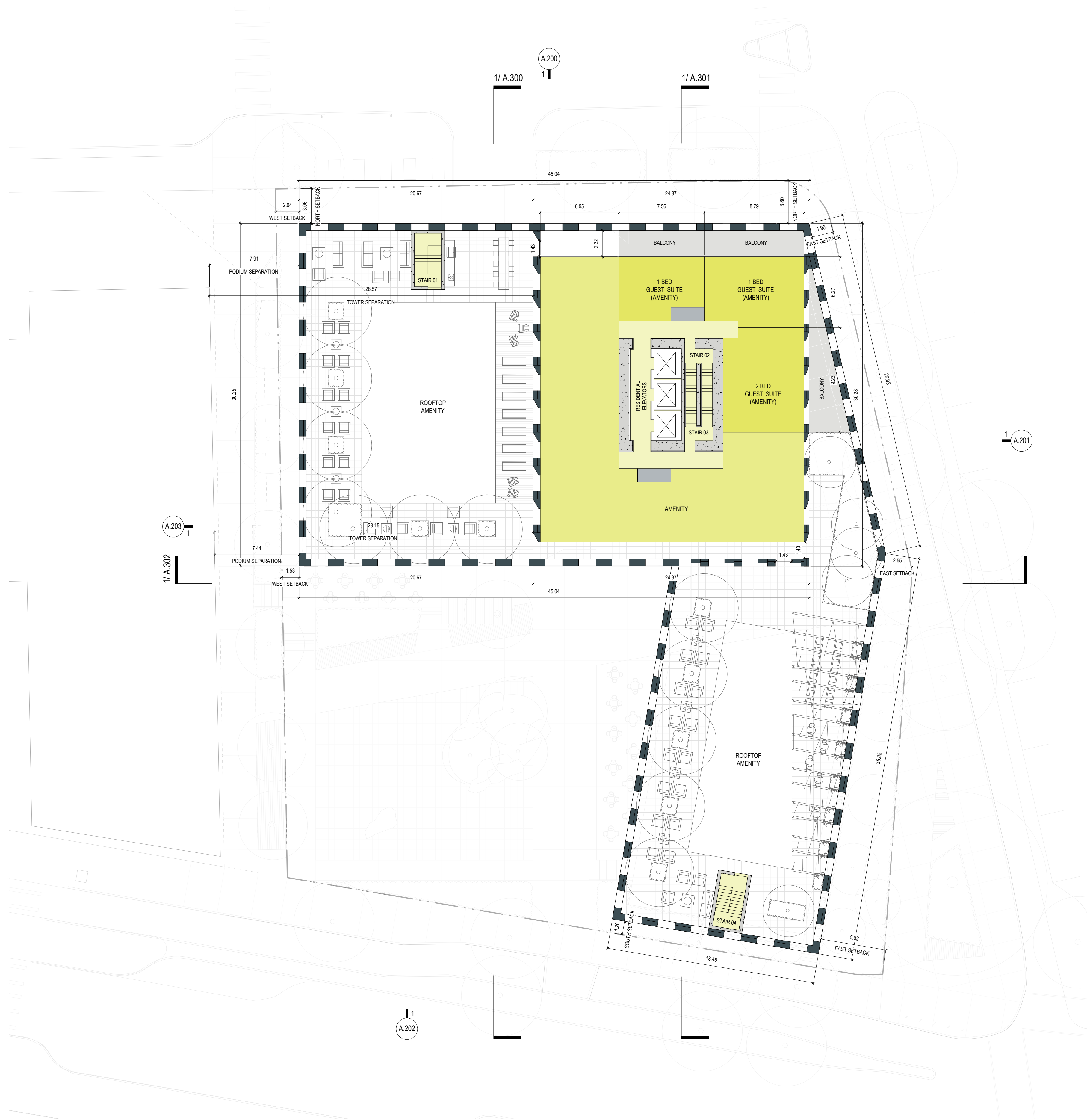
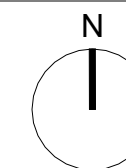
1515 BLANSHARD STREET
APPROX HEIGHT: 53m

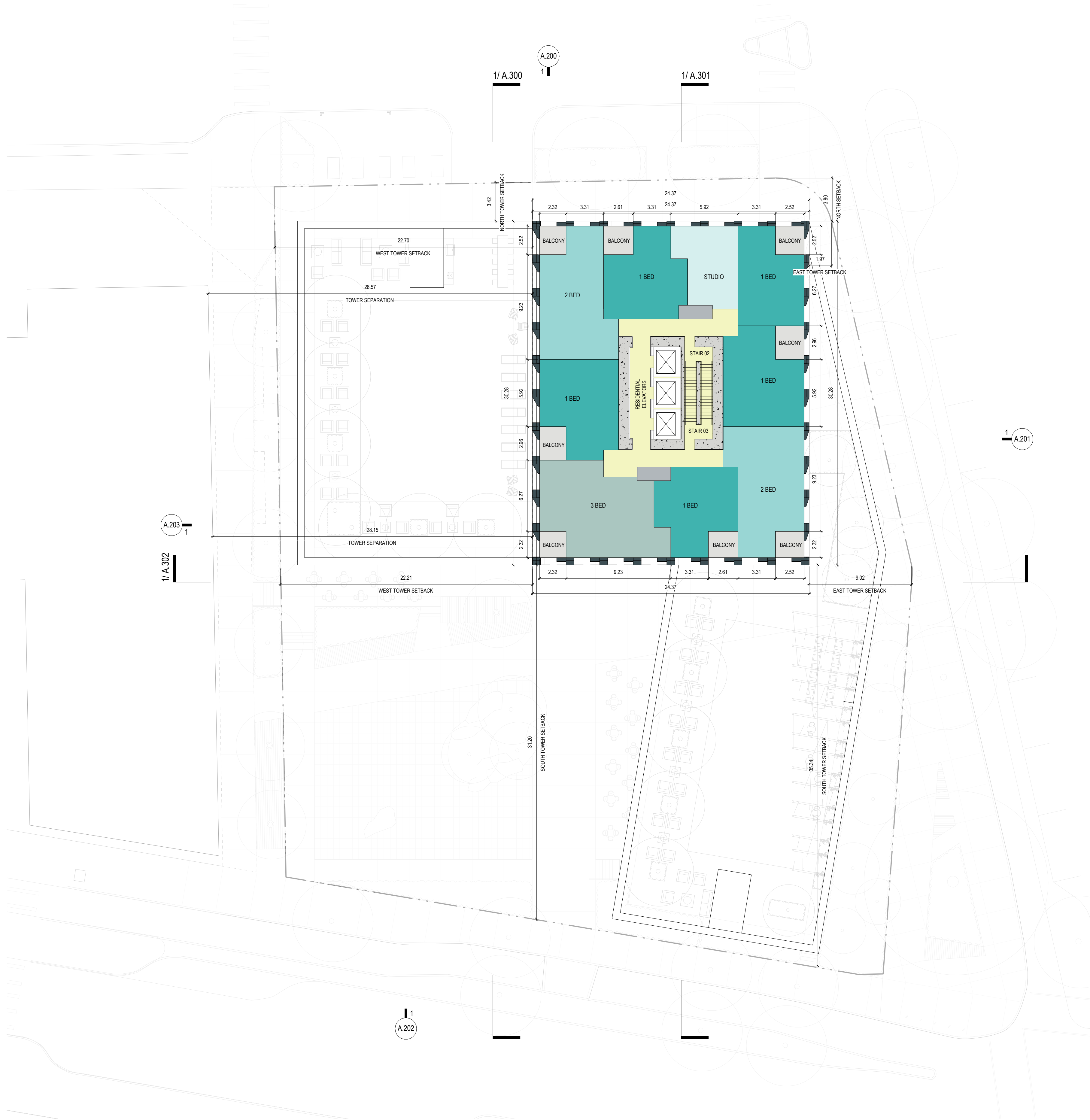
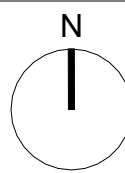


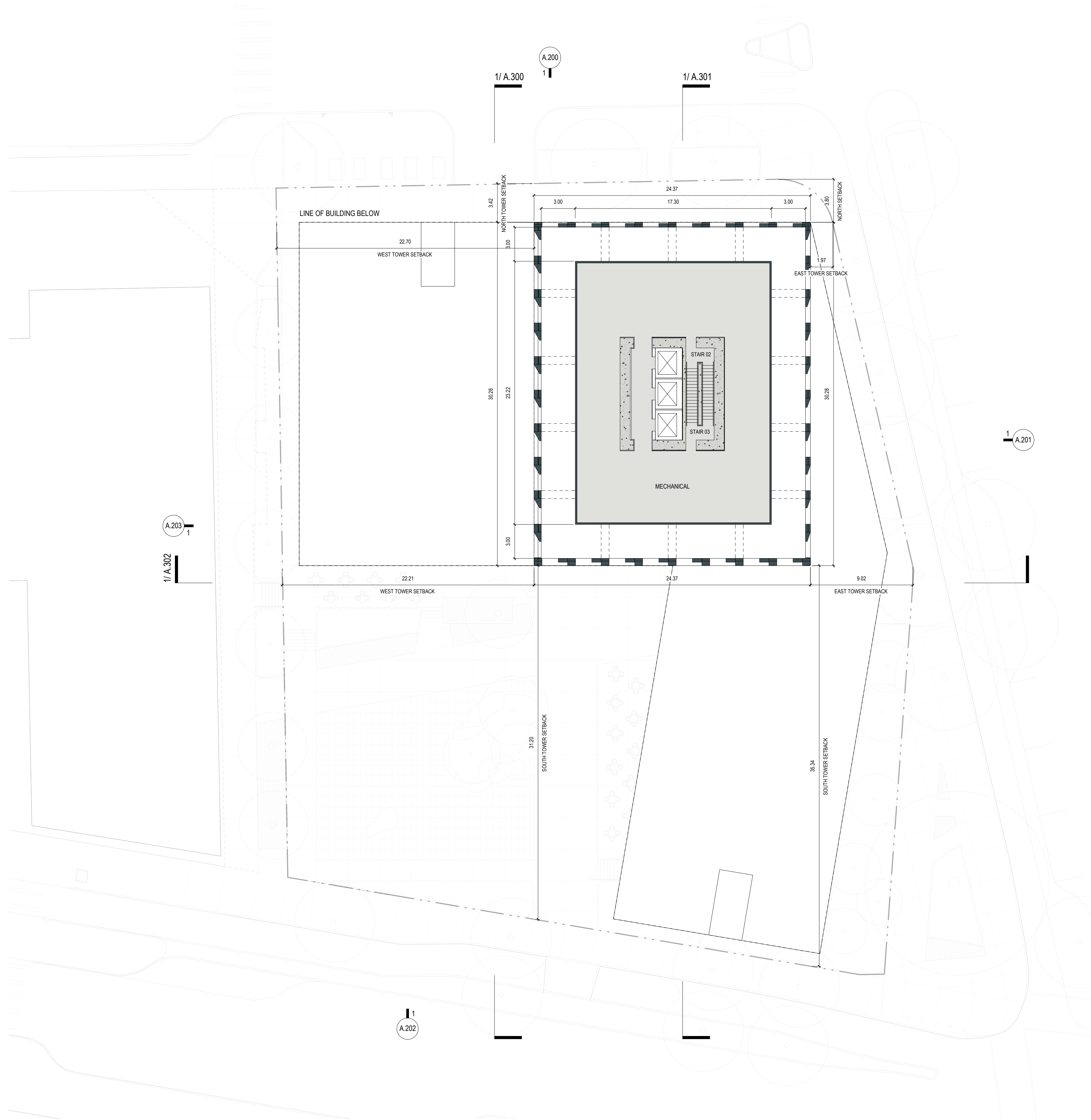
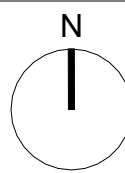
2025-01-07 4:41:50 PM

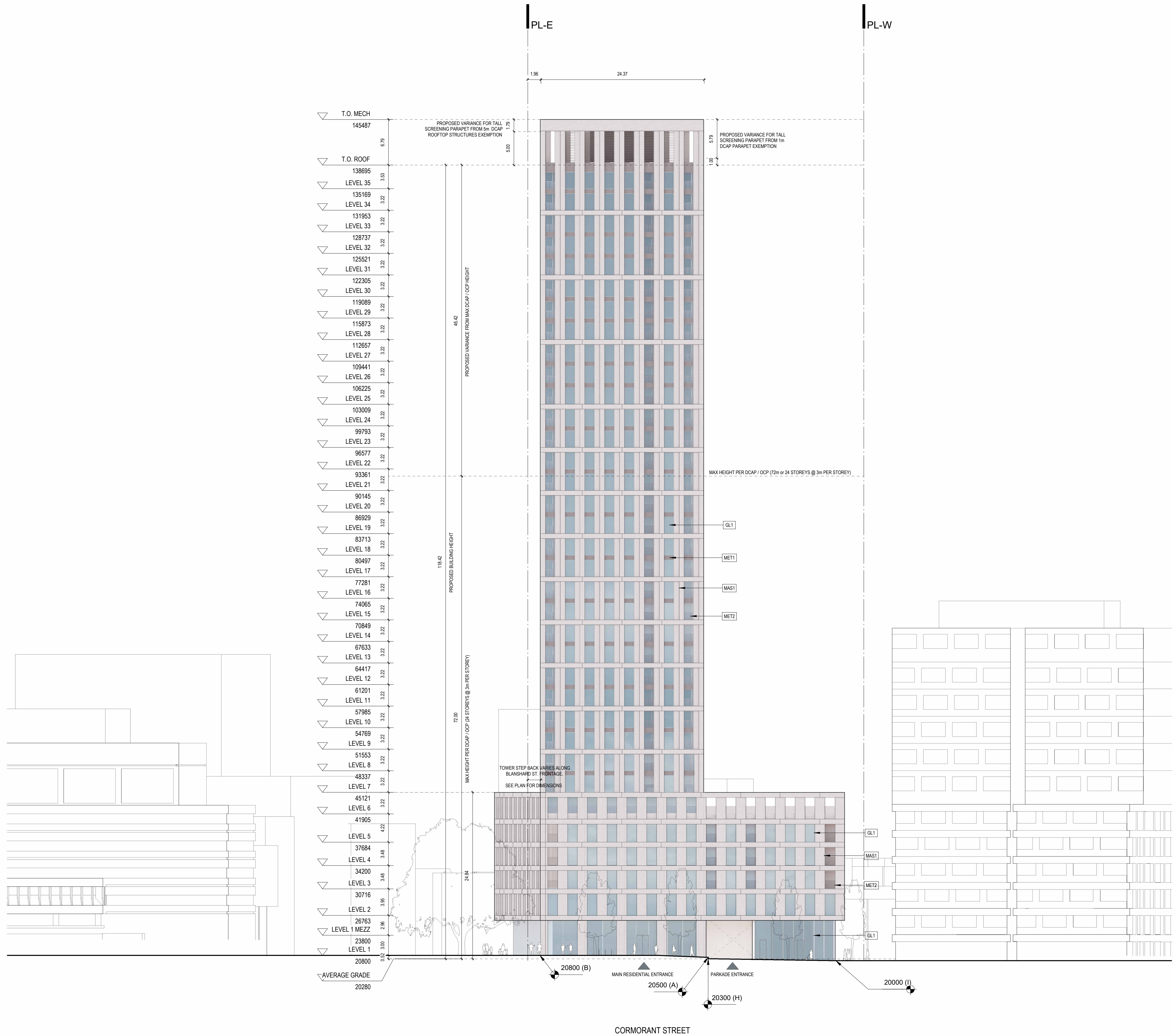












- MATERIAL PALETTE
- GL1 CLEAR GLASS
 - MET1 METAL PANEL
 - MAS1 BRICK OR STONE MASONRY
 - MET2 METALWORK

2025-01-07 4:41:56 PM

omb office of mcfarlane biggar
architects + designers
301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officemb.ca officemb.ca



© omb all rights reserved. The documents and design as an instrument of service are and all times remain the exclusive property of omb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents. Drawing scale may be affected by printing, scanning or copying. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.

DATE	REV	DESCRIPTION
01/06/2025	01	Issued for Development Tracker

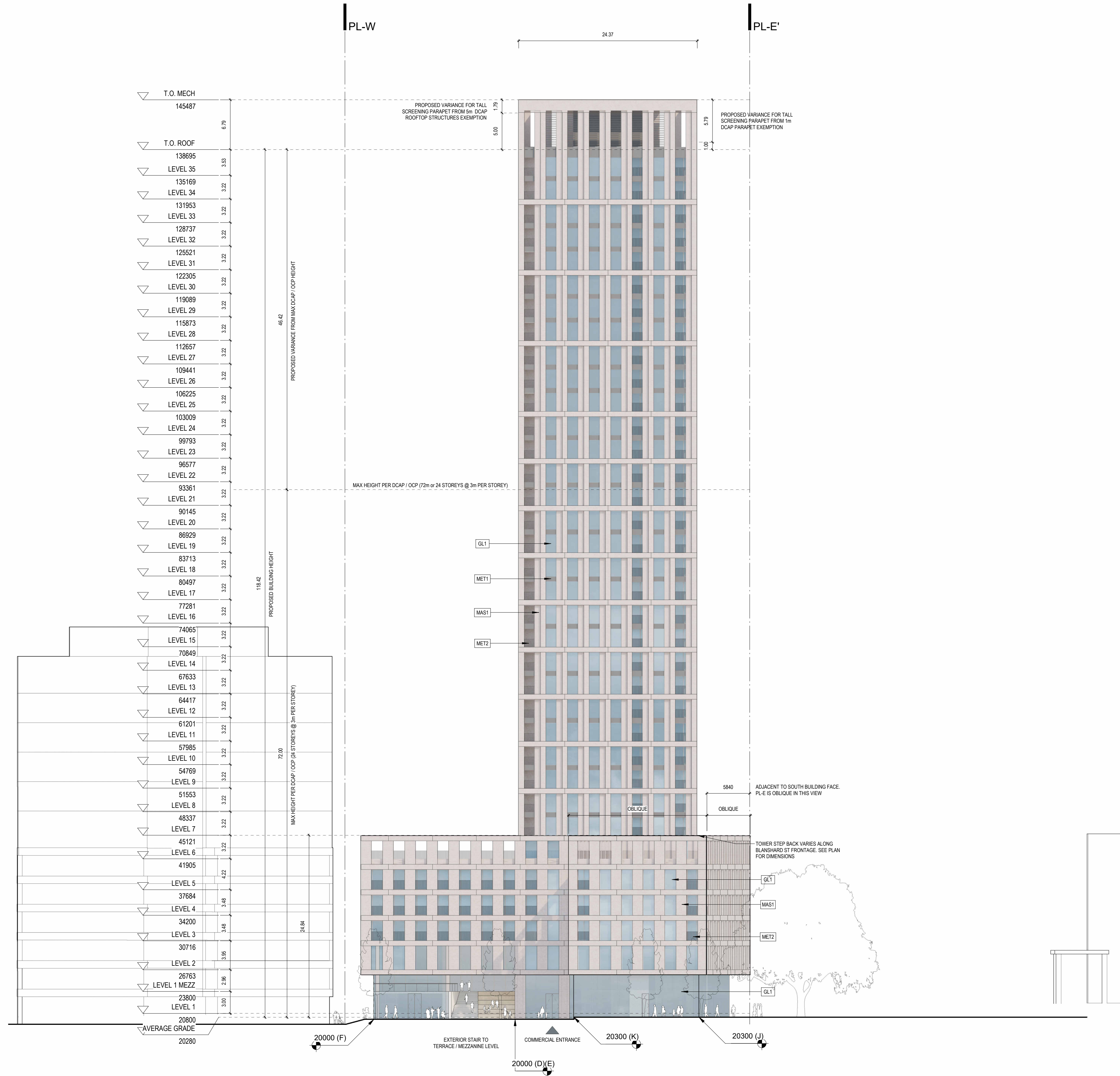


1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC
2023-017

A.200
ELEVATION - NORTH (CORMORANT STREET)
1:300





MATERIAL PALETTE

- GL1 CLEAR GLASS
- MET1 METAL PANEL
- MAS1 BRICK OR STONE MASONRY
- MET2 METALWORK

2025-01-07 4:42:05 PM

omb office of mcfarlane biggar
architects + designers
301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officemb.ca officemb.ca



© omb all rights reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of omb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents, drawing scale may be affected by printing, scanning or copying. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.

DATE	REV	DESCRIPTION
01/06/2025	01	Issued for Development Tracker



1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC
2023-017

A.202
ELEVATION - SOUTH (PANDORA AVENUE)
1:300



MATERIAL PALETTE

- GL1 CLEAR GLASS
- MET1 METAL PANEL
- MAS1 BRICK OR STONE MASONRY
- MET2 METALWORK

2025-01-07 4:42:09 PM

omb office of mcfarlane biggar
architects + designers
301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officemb.ca officemb.ca



© omb all rights reserved. The documents and design as an instrument of service are and as all times remain the exclusive property of omb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents, drawing scale may be affected by printing, scanning or copying. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.

DATE	REV	DESCRIPTION
01/06/2025	01	Issued for Development Tracker



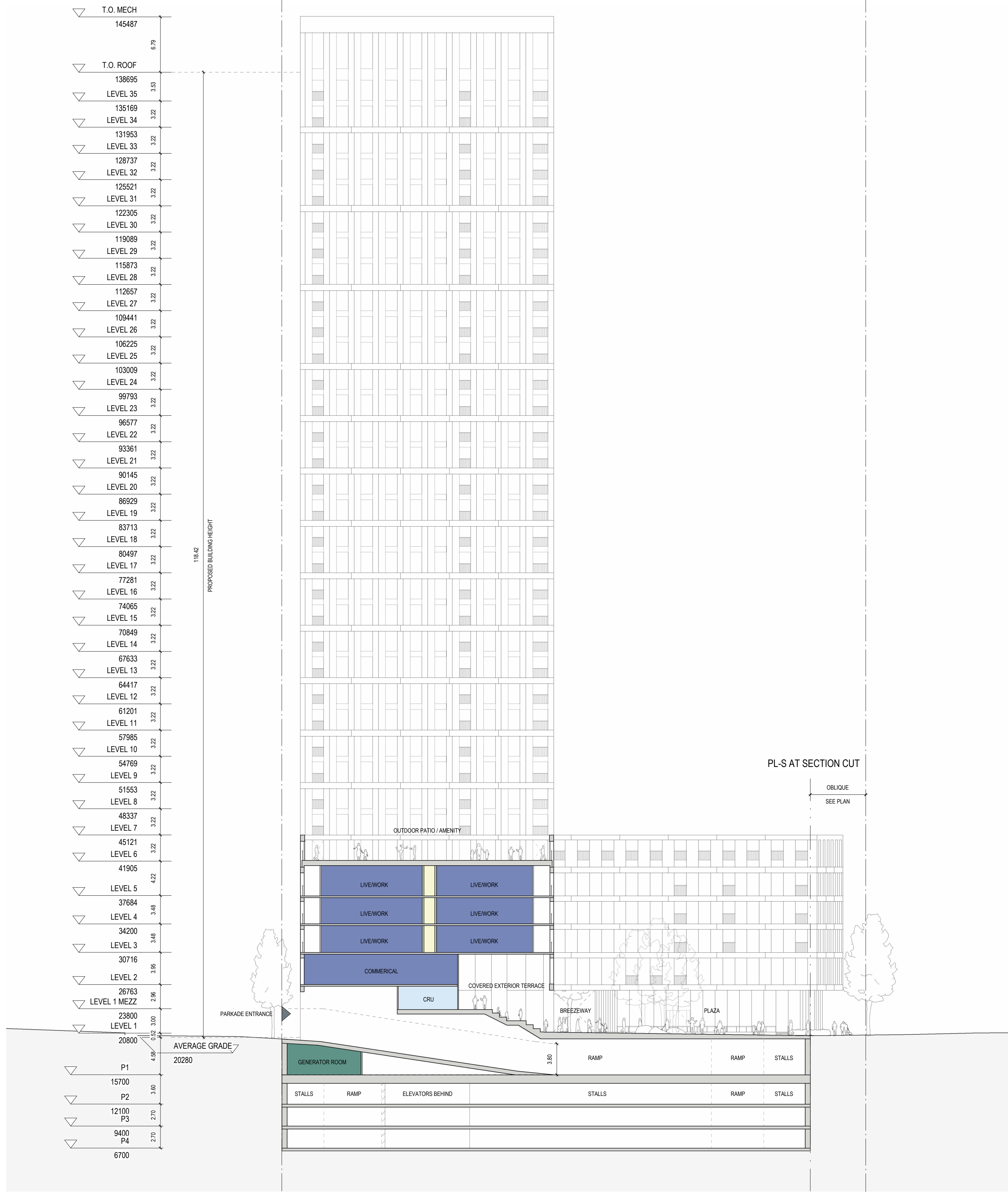
1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC
2023-017

A.203
ELEVATION - WEST (THROUGH-BLOCK CONNECTION)
1:300

PL-N

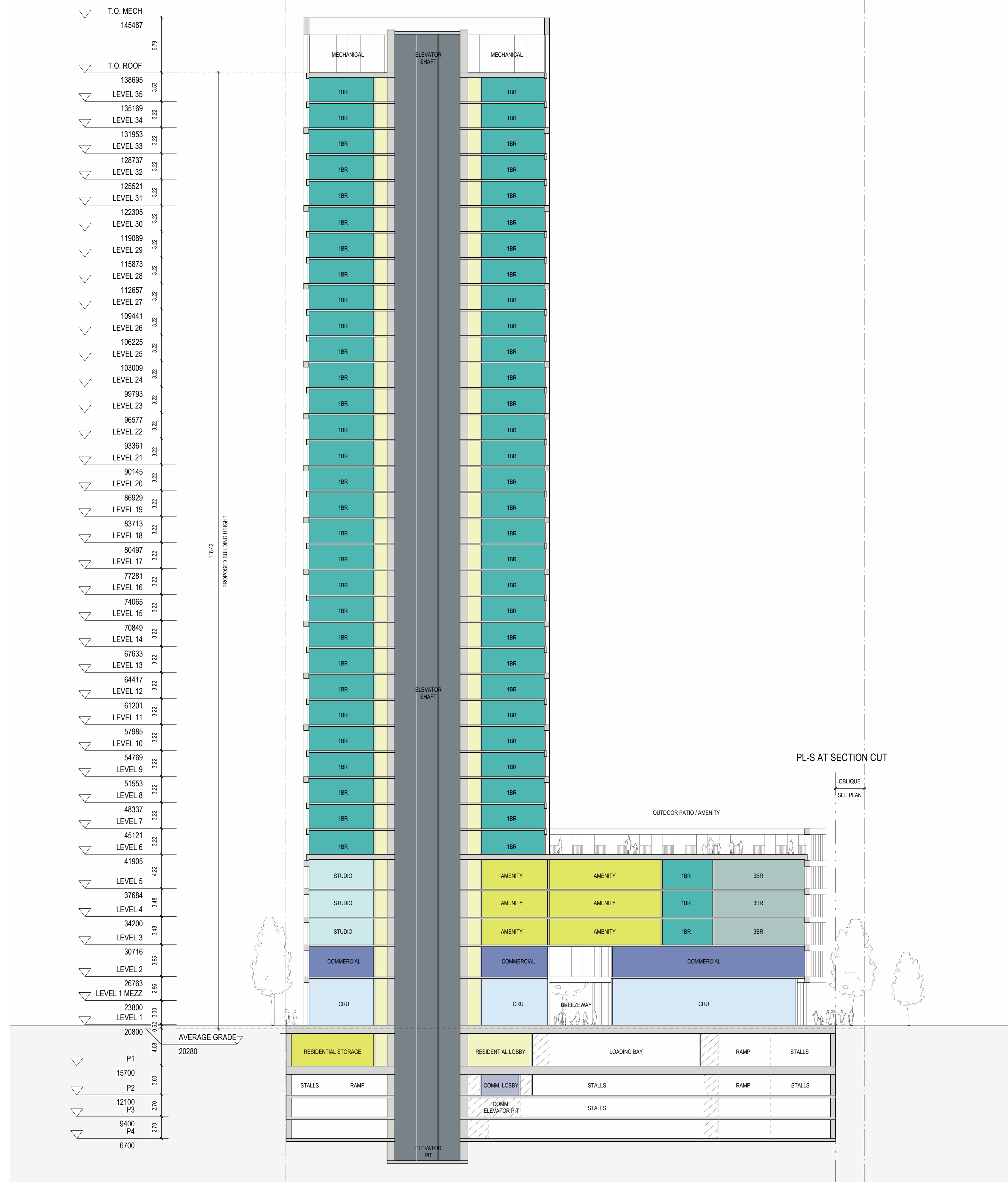
PL-S



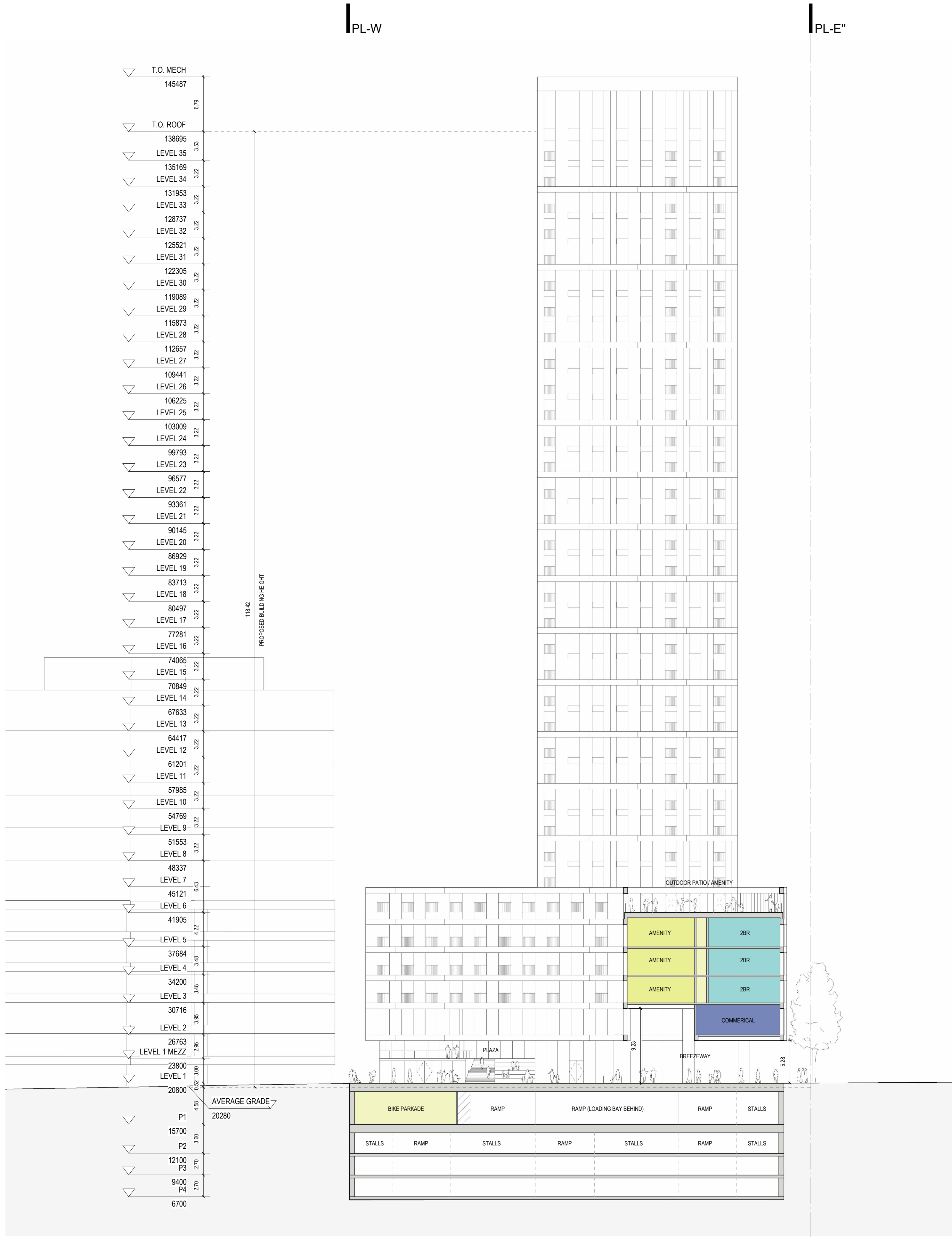
2025-01-07 4:42:12 PM

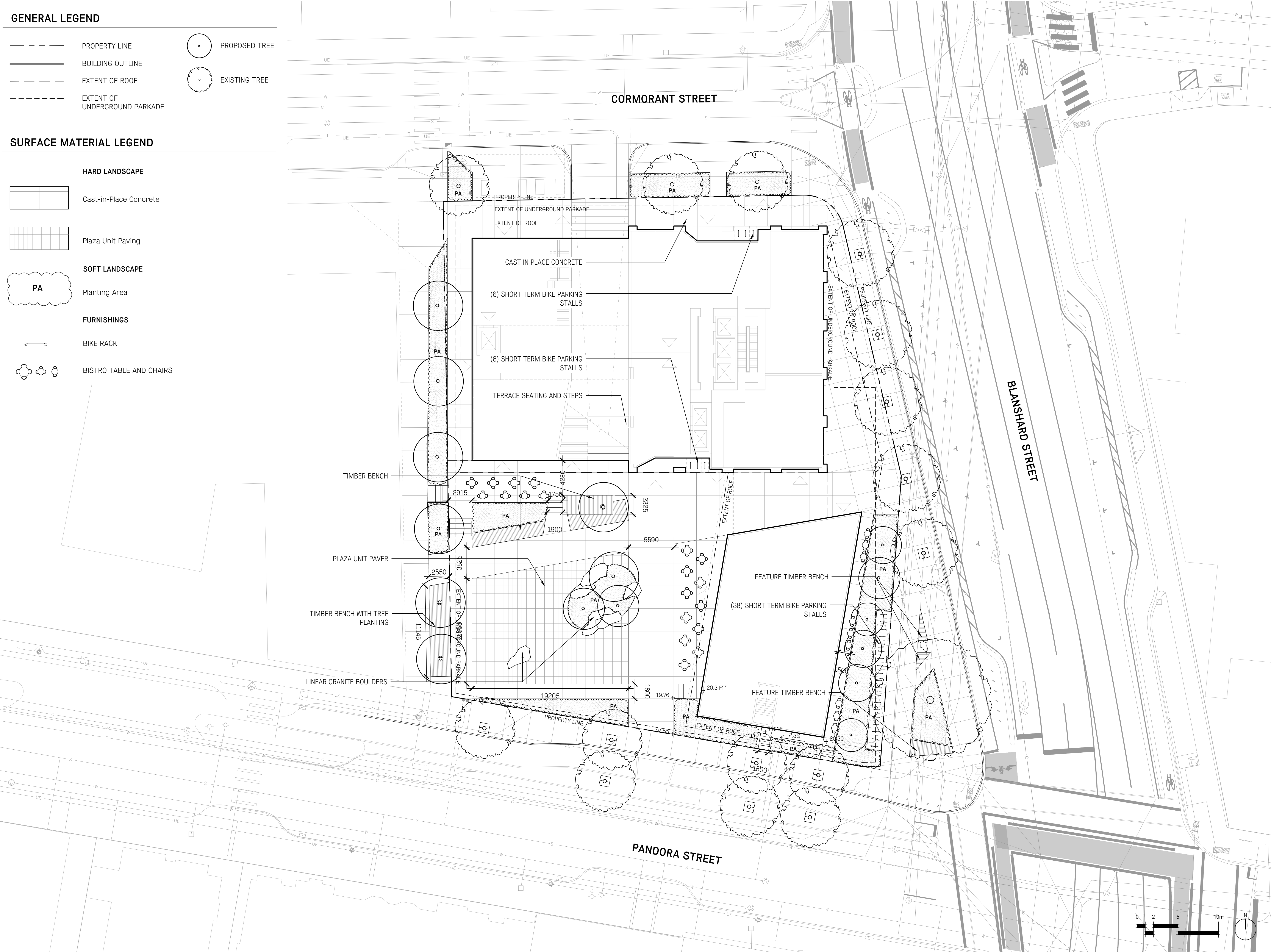
PL-N

PL-S



2025-01-07 4:42:15 PM





1	Issued for CALUC	2025-01-10
No.	Description	Date

Copyright Reserved. This drawing is and remains at all times the exclusive property of Hapa Collaborative and cannot be used modified or copied without the expressed written consent of the landscape architect.

1520 Blanshard

1520 Blanshard Street
Victoria, BC

Landscape Site Plan
Ground Level

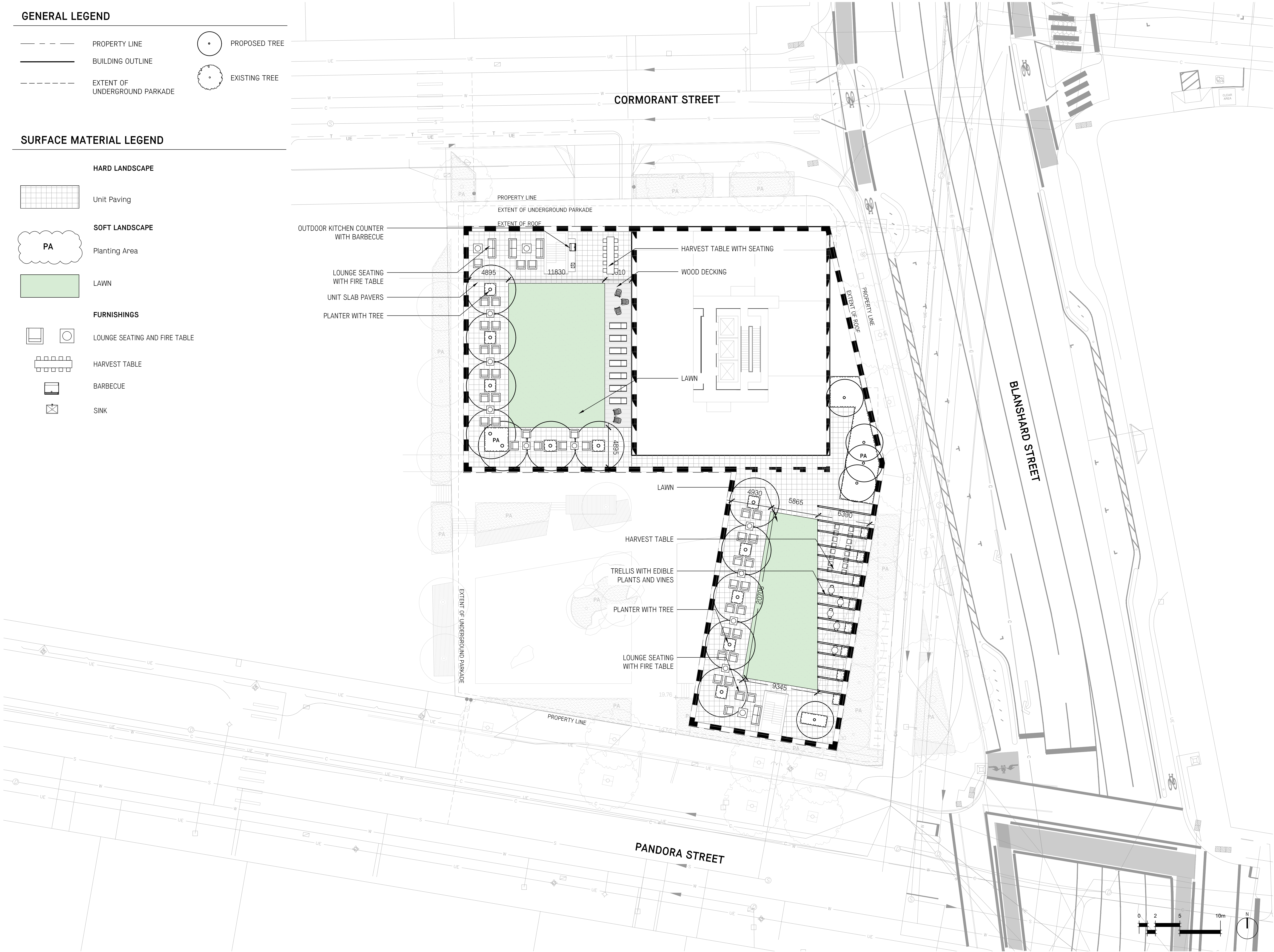
Date	Mo. 06/24	Drawing Number
Project No.	2414	L1.00
Scale	1:200	
Drawn/Checked	AF/KW JF	

GENERAL LEGEND

- PROPERTY LINE
- BUILDING OUTLINE
- EXTENT OF UNDERGROUND PARKADE
- PROPOSED TREE
- EXISTING TREE

SURFACE MATERIAL LEGEND

- HARD LANDSCAPE
- Unit Paving
- SOFT LANDSCAPE
- Planting Area
- LAWN
- FURNISHINGS
- LOUNGE SEATING AND FIRE TABLE
- HARVEST TABLE
- BARBECUE
- SINK



1	Issued for CALUC	2025-01-10
No.	Description	Date

Copyright Reserved. This drawing is and remains at all times the exclusive property of Hapa Collaborative and cannot be used modified or copied without the expressed written consent of the landscape architect.

1520 Blanshard

1520 Blanshard Street
Victoria, BC

Landscape Site Plan
Level 6

Date	Mo. 06/24	Drawing Number
Project No.	2414	L1.01
Scale	1:200	
Drawn/Checked	AF/KW JF	

HAPA
COLLABORATIVE

Landscape Architecture
Urban Design

403 - 375 West Fifth Avenue
Vancouver BC, V5Y 1J6

604 909 4150
hapacobo.com