

1520 BLANSHARD STREET

VICTORIA, BC

Issued for Development Tracker January 06, 2025

PROJECT TEAM

CLIENT	ARCHITECTURAL	STRUCTURAL	ELECTRICAL	LANDSCAPE				
Reliance	office of mcfarlane biggar	Read Jones	E2 Consulting	Нара	A.001	3D VIEWS	A.100	SITE PLAN - PROPOSED
Properties		Christoffersen Ltd.	Engineers	Collaborative	A.002	SYMBOLS + ABBREVIATIONS	A.101	PLAN - LEVEL 2
							A.102	PLAN - LEVELS 3-5
		#330-1515 Douglas St	530 Herald St	102-31 Bastion Square	A.010	CONTEXT PLAN	A.103	PLAN - LEVEL 6 AMENITY
Vancouver, BC V6B 1A7	•	Victoria, BC V8W 2G4	Victoria, BC V8W 1S6	Victoria, BC V8W 1J1	A.011	PROJECT INFORMATION	A.104	PLAN - LEVELS 7-35
604.683.2404	604.558.6344	250.386.7794	778.433.9391	604.909.4150	A.012	PUBLIC EXTERNAL VIEWS	A.105	PLAN - ROOF
Contact	Contact	Contact	Contact	Contact	A.013	CONTEXT STREETSCAPES		
Juan Pereira		Clint Plett	Jay Singh	Katharine Walker	A.014	CONTEXT STREETSCAPES	A.200	ELEVATION - NORTH (CORMORANT STREET)
juanp@relianceproperties.ca		cplett@rjc.ca	jay.singh@e2eng.ca	kwalker@hapacobo.com	A.015	CONTEXT ELEVATIONS - BLANSHARD AND THROUGH-BLOCK	A.201	ELEVATION - EAST (BLANSHARD STREET)
					A.016	CONTEXT ELEVATIONS - PANDORA AND CORMORANT	A.202	ELEVATION - SOUTH (PANDORA AVENUE)
					A.017	SHADOW ANALYSIS - EQUINOX	A.203	ELEVATION - WEST (THROUGH-BLOCK CONNECTION)
CIVIL	TRANSPORTATION	ARBORIST	SURVEYOR		A.018	SHADOW ANALYSIS - SUMMER SOLSTICE		
OIVIL	THE WAST STRIPTION	ANDONIOT	CONVETOR				A.300	SECTION - NORTH/SOUTH
WSP	WATT	D.Clark	Underhill		A.020	BUILDING CODE SUMMARY	A.301	SECTION - NORTH/SOUTH THROUGH BREEZEWAY AND TOWER
	Consulting Group	Arboriculture	Geomatics		A.021	AVERAGE GRADE	A.302	SECTION - EAST/WEST
3600 Uptown Boulevard Victoria, BC V8Z 0B9 250.389.8068	302-740 Hillside Ave Victoria, BC V8T 1Z4 250.208.3874	2741 The Rise Victoria, BC V8T 3T4 250.208.1568	491C 4th St Courtenay, BC V9N 1G9 250.813.2609		A.030	SITE PLAN - EXISTING		
200.309.0000	250.206.5674	250.206.1506	250.615.2009		A.096	PLAN - P4		
Contact	Contact	Contact	Contact		A.097	PLAN - P3		
Jeff Somerville	Tania Wegwitz	Darryl Clark	Mitch Laseur		A.098	PLAN - P2		
jeff.somerville@wsp.com	twegwitz@wattconsultinggroup.c	om clarkarbor@gmail.com	mlaseur@underhill.ca		A.099	PLAN - P1		

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using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.

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DRAWING LIST









VIEW FROM PANDORA AVENUE LOOKING NORTH



VIEW FROM BLANSHARD STREET LOOKING SOUTHWEST



VIEW FROM PANDORA AVENUE LOOKING NORTHEAST



VIEW FROM BLANSHARD STREET LOOKING SOUTH

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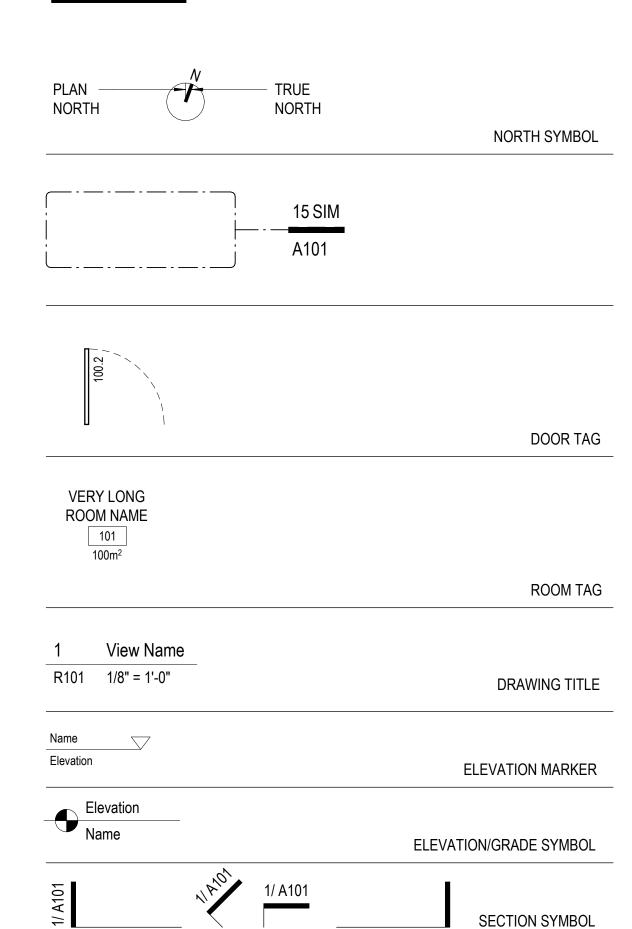


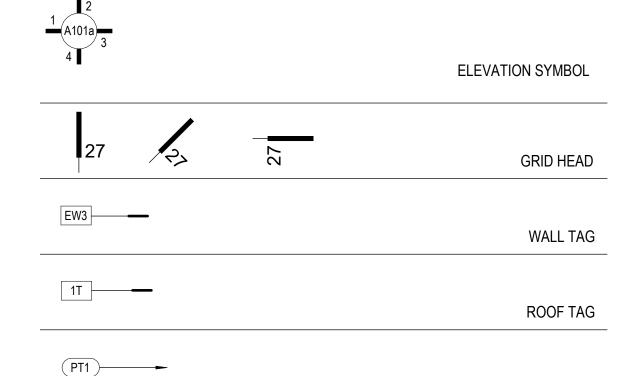


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SYMBOLS





⟨M.12⟩———	MILLWORK TAG
<u>\(1T\)</u>	WINDOW TAG
(1 T)	CW DOOR TAG
	REVISION TAG

RIGID INSULATION

RIGID INSULATION 02

SEMI RIGID INSULATION

GRAVEL DRAINAGE LAYER

COMPACTED GRANULAR FILL

ENGINEERED FILL

EARTH

SAND

DEMO

<u>HATCHES</u>	
NOT IN CONTRACT	
CONCRETE EXISTING	
CONCRETE NEW	
CONCRETE MASONRY	
STEEL	
ALUMINIUM	
GWB	
GWB TYPE X	
GLULAM	
COMPOSITE WOOD	
PLYWOOD	
MINERAL WOOL	
SPRAY INSULATION	
DIOID INICHI ATIONI	

BATT/LOOSE FILL INSULATION

L______

G/LGRIDLINE G1S GOOD ONE SIDE GA GAUGE GALV GALVANIZED GL GLASS or GLAZED GR GRADE GRND GROUND GB GYPSUM BOARD

> HCWD HOLLOW CORE WOOD DOOR HDWR HARDWARE HPDL HIGH PRESSURE DECORATIVE LAMINATE HORIZ HORIZONTAL HT HEIGHT

INSUL INSULATION

LT LIGHT

ABBREVIATIONS

&/+ AND @ AT

NUMBER

± PLUS/MINUS

BLDG BUILDING

AFF ABOVE FINISHED FLOOR AL/ALUM ALUMINIUM APPROXAPPROXIMATE(LY) ARCH ARCHITECTURAL BCBC BRITISH COLUMBIA BUILDING CODE

BO BOTTOM OF BOH BACK OF HOUSE N/ANOT APPLICABLE C/W COMPLETE WITH NOM NOMINAL

CB CATCH BASIN CIPCAST IN PLACE CJ CONTROL JOINT CL CENTRE LINE CO CLEAN OUT COMM COMMUNICATION CON CONCRETE CONT CONTINUOUS CPT CARPET CTR CENTRE

DBL DOUBLE DET DETAIL DF DRINKING FOUNTAIN DIADIAMETER DIM DIMENSION DN DOWN **DWG DRAWING** DR DOOR DRW DRAWER DWDISHWASHER

EA EACH EJ EXPANSION JOINT **EL ELEVATION** ELEC ELECTRIC(AL) EMER EMERGENCY **ELEVELEVATOR** ENCL ENCLOSURE EQ EQUAL **EQUIP EQUIPMENT** EXIST EXISTING EXP EXPOSED EXT EXTERIOR

FA FIRE ALARM FD FLOOR DRAIN FF FINISHED FLOOR FHC FIRE HOSE CABINET FINFINISH(ED) FLR FLOOR FND FOUNDATION FO FACE OF FP FALL PROTECTION FR FRIDGE FRR FIRE RESISTANCE RATING FT FOOT or FEET

G2S GOOD TWO SIDES

HB HOSE BIB

INTINTERIOR JC JANITOR CLOSET JT JOINT

LAM LAMINATE / LAMINATED LS LAMP STANDARD

MAT MATERIAL MAS MASONRY MAX MAXIMUM MECH MECHANICAL MET METAL MFR MANUFACTURER MIN MINIMUM MIR MIRROR MISCMISCELLANEOUS MTD MOUNTED MUL MULLION MW MICROWAVE

NBC NATIONAL BUILDING CODE NIC NOT IN CONTRACT NTS NOT TO SCALE

OC ON CENTRE OD OUTSIDE DIMENSION OH OVER HEAD OP OPERABLE PARTITION OPP OPPOSITE OV OVEN

PA PUBLIC ADDRESS SPEAKER PLY PLYWOOD PL PROPERTY LINE PT PAINT PTD PAINTED PTN PARTITION

RD ROOF DRAIN REQ'D REQUIRED **REV REVISION OR REVERSE** RM ROOM RO ROUGH OPENING RVL REVEAL RWL RAIN WATER LEADER

SC SIAMESE CONNECTION SCHED SCHEDULE SCWD SOLID CORE WOOD DOOR SECT SECTION SH SHELF SP SPRINKLER SPEC SPECIFICATION SQ SQUARE SQ FT SQUARE FEET SQ M SQUARE METRES SS STAINLESS STEEL SSG STRUCTURALSILICONE GLASS ST STAIR STD STANDARD STL STEEL STOR STORAGE

TBC TO BE CONFIRMED TBD TO BE DETERMINED TD TRENCH DRAIN T&G TONGUE AND GROOVE TL TILE TO TOP OF TOC TOP OF CURB/CONCRETE TOF TOP OF FINISH TOFF TOP OF FINISHED FLOOR TOS TOP OF STRUCTURE TOW TOP OF WALL

STRU STRUCTURAL

SUSP SUSPENDED

UNO UNLESS NOTED OTHERWISE U/SUNDERSIDE UH UTITLITY HOLE

TYP TYPICAL

VBBLVANCOUVER BUILDING BYLAW VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD

WCWATER CLOSET WDWOOD WRHS WAREHOUSE WHWAREHOUSE WVWOOD VENEER W/ WITH W/O WITHOUT

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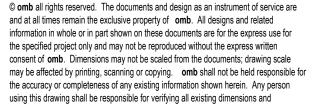
(A1)-----



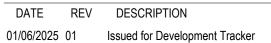


MATERIAL TAG

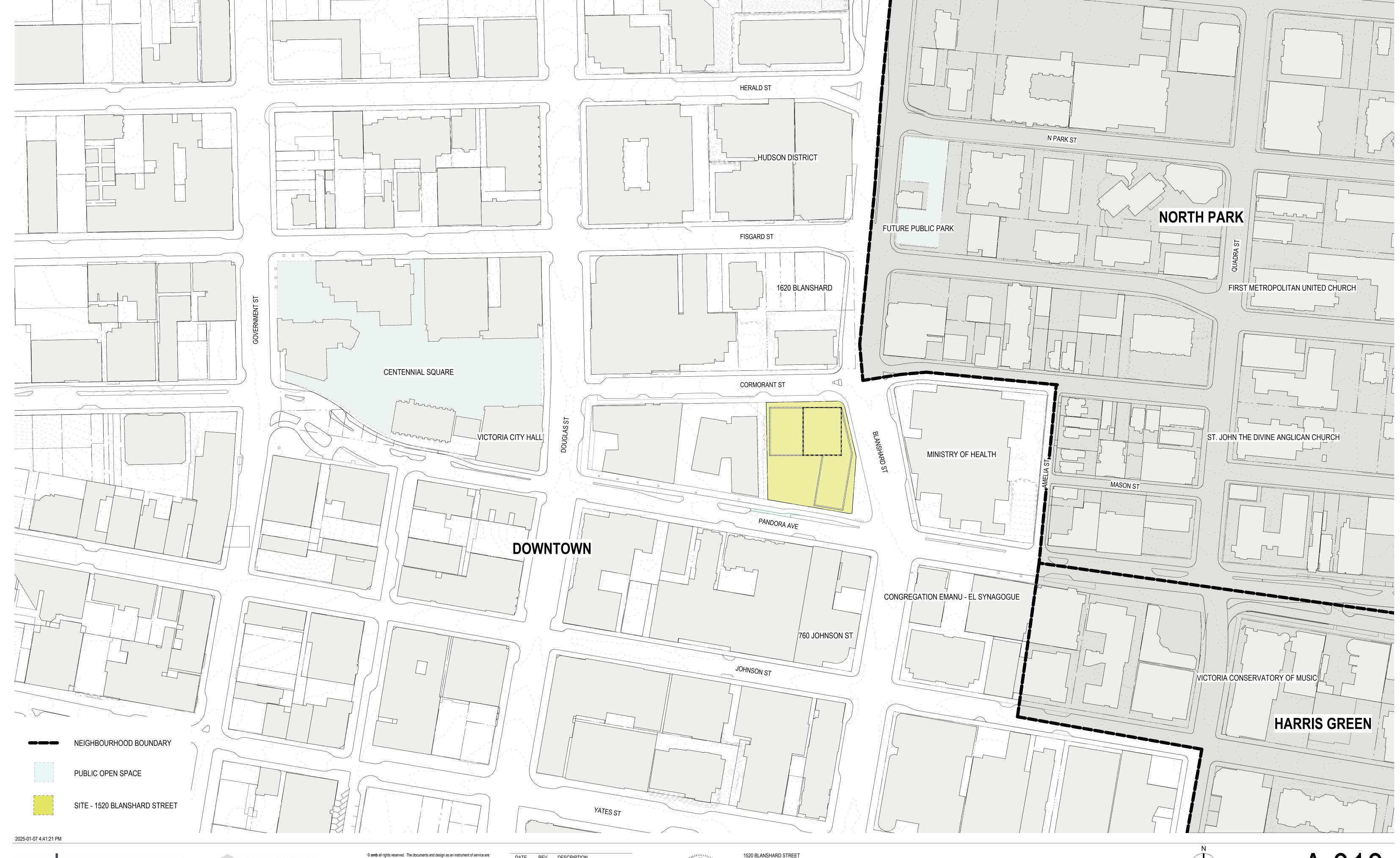
FIXTURES / EQUIPMENT TAG



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DATE REV DESCRIPTION 01/06/2025 01 Issued for Development Tracker



1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC



1520 Blanshard St - Rezoning Summary

ite Information					Notes
unicipal Address	1520 Blanshard St, Victoria, BC V8W	'3K1			
egal Description ID	Lot B of Lot 1257, Victoria City, Plan 023-033-886	VIP60943			
lanning Summary					Notes
Neighbourhood	Downtown				
Development Permit Area Jrban Place Designation (OCP)	DPA 2 (HC) - Core Business Core Business				
OCAP District	Core Business Central Business District				
OCAP Density Bonus Area	A-1				
Public Realm Character Area	New Town District				
urrent Zoning	CBD-1	Central Business District 1 - Site Spe	cific Regulations		Limits density to 0.8, sets open space at 60%, and requires an 18.0m setback at the west
roposed Zoning	CD-1	Comprehensive Development	ome regulations		Emilio delloty to 0.0, dete open opene at 00%, and requires an 10.0m establish at the most
ite Dimensions	3,483.6	37,497			Notes
ite Area (m²) / (ft²) ite Frontage (m) / (ft) - Extrapolated	74.5	244			Extrapolated line parallel to Blanshard St
Site Frontage (m) / (ft) - Segments	73.9	242			Addition of all segments along Blanshard St
ite Depth (m) / (ft)	55.6	182			Measured at deepest portion, approximately middle of Blanshard St frontage
treets & OCP Classification	OCP Classification	Right-of-way Width (m)		1.65:1 Ratio (m)	Notes
lanshard St (East)	Arterial Secondary Arterial	32.3 24.4		19.6 14.8	
Pandora Ave (South) Cormorant St (N) - Secondary Collector	Local Street	20.1		14.8 12.2	
ormorant of (N) - Secondary Collector	LJOUI GROOT	_U.1	50		
treets & DCAP Public Realm Type	Total Width (m)	Frontage / Pedestrian Zones	Furnishing Zone Basic / Enhance	d	Notes
Blanshard St - Primary Commercial	4.3 - 8.5	0.5 - 1.5 / 2.0 - 4.0	1.8 / 3.0		
Pandora Ave - Commercial	4.1 - 6.3	0.5 - 1.5 / 2.0 - 3.0	1.8 / 3.0		
Cormorant St - Local	3.6 - 4.5	up to 0.5 / 1.8 - 2.2	1.8 / 3.0		Fischer Redenium Fartariery
	CBD-1	Core Business	Proposed CD-1		Zone Zone Zone
Jses	Permitted /Required	Permitted/Required	Proposed		Notes
	Mixed Use	Mixed Use	Mixed Use		
	wiixed USe	wiixeu ose	wixed Use		
Fross Floor Area, FSR, Units	Permitted /Required	Permitted/Required	Proposed	Differential	Notes
otal Gross Floor Area (m²)	2,786.8	20,901.4	27,338.6	6,437.2	
Residential Floor Area (m²)	0.0	10,450.7	22,938.3	12,487.6	
Ion-Residential FSR (m²)	2,786.8	10,450.7	4,400.2	-6,050.4	
otal FSR	0.8	6.0	7.0	1.8	
Residential FSR	0.0	6.0 3.0	7.8	3.6	
Non-Residential FSR	0.8	3.0	1.3	-1.7	
Note: Please see detailed Floor Area + Unit Statis			Quest 6.79		
			_		
esidential Units	Permitted /Required	Permitted/Required	Proposed	Differential	Notes
otal Residential Units otal Family Units		n/a 96	321 99	3	
SAME NAME AND ADDRESS OF STREET			5.55	S	
6 of Family Units (2 & 3 Bedrooms)		30%	31%	₩)	
6 of 3 Bedroom Units		10%	11%	=:	
Building Height and Form	Permitted /Required	Permitted/Required	Proposed	Differential	Notes
leight (m)	43.0	72.0	118.4	46.4	To top of roof assembly
leight (iii)	Limit not defined	24	35	11	i o top or root accoming
				32.4	
Projections into Height (maximum)	.3 %	3.2	202	- 2	Described and address of an arrange of the state of the s
Parapets	1.0	1.0	6.8	5.8	Parapet extended to act as mechanical screen
Rooftop Structures	5.0	5.0	6.8	1.8	Parapet extended to act as mechanical screen
Podium (m)	Limit not defined	18.0	24.8	6.8	To match context building heights
odium (storeys)	Limit not defined	5	6	1	Level 6 is outdoor amenity with perimeter wall - no interior occupied space
loorplate Max Area - Podium (m²)	Limit not defined	900.0	2081.0	1,181.0	For residential and mixed use buildings less than 36m in height
			2,500,0400,042	508.7527 5557	
loorplate Max Width - Podium (m) loorplate Max Area - Tower (m ²)	Limit not defined	22.0	18.5 / 30.2	- 00.4	Podium is wider at live/work spaces; residential podium is compliant
	Limit not defined	650.0	740.4	90.4	Larger floorplate due to recessed balconies
loorplate Max Width - Tower (m)	Limit not defined	24.0	24.3	0.3	Width governed by masonry modules
etbacks (m)	Permitted /Required	Permitted/Required	Proposed	Differential	Notes
de Lot Line	1				
Up to 23.0m	0.0		2.7-4.6		
	10.0	10.0	3.4-3.8		
Greater than 23.0m - Residential	6.0		n/a		
	U.U		1		
Greater than 23.0m - Non-Residential	0.0				
Greater than 23.0m - Non-Residential ear Lot Line					
Greater than 23.0m - Non-Residential ear Lot Line Up to 23.0m - Residential	8.0		3.0-3.4		
Greater than 23.0m - Non-Residential tear Lot Line Up to 23.0m - Residential Greater than 23.0m - Residential	8.0 10.0	10.0	22.2-22.6		
Greater than 23.0m - Residential Greater than 23.0m - Non-Residential Rear Lot Line Up to 23.0m - Residential Greater than 23.0m - Residential Up to 5.0m - Non-Residential Greater than 5.0m - Non-Residential	8.0	10.0			

1520 Blanshard St - Off-Street Vehicle Parking

2025.01.06 Requirements from City of Victoria Zoning Bylaw 2018 Part 5 -Off-Street Parking Regulations (June 2022) and Schedule C Bylaw no. 80-159

	Units	Required	Propo	sed	Notes
	A	в с	D	Е	
		=A*B		=D-C	
		co.			
	n²)	Spaces / Unit or Area Required Spaces	Ses .		
	ea (r	Jnit o Spac	Spa	_	
	or A	ss / L	pesc	entia	
	Units or Area (m²)	Spaces / Unit or A Required Spaces	Proposed Spaces	Differential	
Residential - Resident Parking	_		_	·—·	
Units < 45 m2	35	0.65 23			Per Section 5.1 Table 1 Column B - Min. 0.65 spaces per dwelling unit less than 45 m2
Units >= 45 m2 and <= 70 m2	160	0.80 128			Per Section 5.1 Table 1 Column B - Min. 0.80 spaces per dwelling unit 45 m2 to 70 m2
Units > 70 m2	126	1.20 151			Per Section 5.1 Table 1 Column B - Min. 1.20 spaces per dwelling unit greater than 70 m2
Resident Total	321	302	245	-57	
Accessible Spaces	302	0.040 12	12	0	Per Section 7.1 Table 5 - Min. 1 Accessible space for every 25 parking spaces
Van Accessible Spaces	12	0.167 2	2	0	Per Section 7.1.2.c - Min. 1 Van Accessible space for every 6 Accessible spaces
Standard Spaces		288	231	-57	Resident Total less the sum of Accessible spaces and Van Accessible spaces
Residential - Visitor Parking					
Visitor Requirement	321	0.10 32	32	0	Per Section 5.1 Table 1 Column C - Min. of 0.10/unit
Accessible Spaces	32	0.040 1	1	0	Per Section 7.1 Table 5 - Min. 1 Accessible space for 26-50 required parking spaces
Van Accessible Spaces	1	0.167 1	1	0	Per Section 7.1 Table 5 - Min. 1 Van Accessible space for 26-50 required parking spaces
Standard Spaces		30	30	0	Visitor Total less the sum of Accessible spaces and Van Accessible spaces
Commercial Parking					
Restaurant (including patio space)	1,358	0.025 34	34	0	Per Schedule C 1.2 Table 1, 1 space per 40 m2
Accessible Spaces	34	1	1	0	Per Section 7.1 Table 5 - Min. 1 Accessible space for 26-50 required parking spaces
Van Accessible Spaces		1	1	0	Per Section 7.1 Table 5 - Min. 1 Van Accessible space for 26-50 required parking spaces
Standard Spaces		32	32	0	Total less the sum of Accessible spaces and Van Accessible spaces
Office	1,652	0.014 24	24	0	Per Schedule C 1.2 Table 1, 1 space per 70 m2
Accessible Spaces	24	0	0	0	Per Section 7.1 Table 5 - No Accessible spaces for 6-25 required parking spaces
Van Accessible Spaces		1	1	0	Per Section 7.1 Table 5 - Min. 1 Van Accessible space for 6-25 required parking spaces
Standard Spaces		23	23	0	Total less the sum of Accessible spaces and Van Accessible spaces
Commercial Total		58	58	0	
Parking Total					
Residential - Resident Parking		302	245	-57	
Residential - Visitor Parking		32	32	0	
Commercial Parking		58	58	0	
Total	-	392	335	-57	

1520 Blanshard St - Off-Street Bicycle Parking

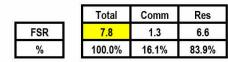
2024.12.20 Requirements from City of Victoria Zoning Bylaw 2018 Part 5 -Off-Street Parking Regulations (June 2022) and Schedule C Bylaw no. 80-159

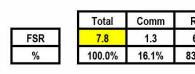
		Units		Require	d			Propo	sed		Notes
		А	В	С	D	E	F	G	н	1	
A				=A*B		=A*D OR D		=F-C		=H-E	
	Bicycle Parking Requirements	Units or Area	Long Term Spaces / Unit or Area	Required Long Term Spaces	Short Term Spaces / Unit or Area	Required Short Term Spaces	Proposed Long Term Spaces	Differential	Proposed Short Term Spaces	Differential	
	Residential Units < 45 m2	35	1.0	35			_				Per Section 5.1 Table 2 min. 1.0 spaces per dwelling unit less than 45 m2
	Residential Units > 45 m2	286	1.25	358							Per Section 5.1 Table 2 min. 1.25 spaces per dwelling unit greater than 45 m2
	All Residential Units	321	,,,,,,,,,,		0.1	32					Per Section 5.1 Table 2 min. 0.10 spaces per dwelling unit
	Subtotal		-	393		32	438	45	32	0	Per Section 5.1 Table 2 the greater of 6 spaces or 0.1 spaces per dwelling unit
	Class A Detailed Breakdown			394			438	44			
	Horizontal (Min. 50%)			197			286	89			Per Section 5.5.i at least 50% of spaces must be ground anchored
	Vertical and Stacked (Max. 50%) Vertical Stacked			197			152	-45			Per Section 5.5.i at least 50% of spaces must be ground anchored
	Commercial	I	l								
	Restaurant	1,358	0.0025	3	0.01	14	6	3	14	0	Per Section 5.1 Table 2.1 long term space per 400 m2 / 1 short term per 100 m2
	Office	1,652	0.007	11	0.0025	4	12	1	4	0	Per Section 5.1 Table 2.1 long term space per 150 m2 / 1 short term per 400 m2
	Total			407		50	456	49	50	0	

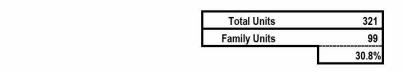
1520 Blanshard St - Preliminary Floor Area + Unit Statistics 2024.12.18 Based on the current coordination set - values to be confirmed as design progresses

Areas are in (m²) unless noted otherwise

I D	A	В	C		on Area (GC)			GCA			Zoning	Gross Floor A	rea (GEA)					Not Sales	able Reside	ntial Area			15	aseshla Com	nmercial Area		Efficiency		ncluded in Ne esidential Are				Unit Summar	v	
	А	В	С	Uncondition	oned Area De							01033110017	ilea (GI A)								,					,	Linciency	ixe	isidelitiai Arc	, a)			onit Gummar	y	
	A	В	С			eductions				Bylaw Exc	lusions						Non-S	Saleable Area	a Deductior	IS			Commerc	cial Area by	Use										
MULA				D	E	F	G	Н	'	J	K	L	M	N	0	P	Q	R	S	Т	U	V	W	X	Y	Z	AA	АВ	AC	AD	AE /	AF AG	АН	Al	AJ
			Вu				=SUM(C:F)	=B-G				=SUM(I:K)	=H-L	=Z+AD	=M-N					,	=SUM(P:T)	=H-U-Z		p		=SUM(W:Y)	=(V+Z)/H		E	=AB+AC					=SUM(AC:AG)
		GCA	Below Grade Parki	Balconies	Roof Terrace	Rooftop Structures	Total Unconditioned Area Deductions	Envelope GCA	Exterior Walls	Open to Below	Bicycle Storage	Total Bylaw Exclusions	Total Gross Floor Area	Commercial Gross Floor Area	Residential Gross Floor Area	Lobby + Horizontal Circulation	Vertical Circulation	Services	Interior Amenity	Open to Below	Total Non-Saleable Area Deductions	Net Saleable Area	Retail & Restauran	Office & Co-Workin	Service & Support Space	Total Leasable Commercial Area	Efficiency	Live Work & Support Space	Dedicated Work fro Home Space	Total Hybrid Space	STUDIO	1 BR	2 BR 3 BR	LIVE WORK	TOTAL
	P4	3,201.7	3,201.7	2	2	-	3,201.7	-	=	= %	12 %	==	38 7			-	7 =	-	72	120	:=		**	-		~	_	_	12		-	-	<u>.</u>	ž.	
	P3 P2	3,201.7 3,201.7	3,201.7 3,201.7	-	-	-	3,201.7 3,201.7	-	-:	-	-	-	-	.=	±.	:=	5 = 5 =		5 =	5 = 5 =	:=	>=: :=:		-	-	#: -0	-	-	(#)	·=:	-	-		-	
Р	P1	3,201.7	3,201.7	=	:	÷	3,201.7	# # # # # # # # # # # # # # # # # # #		₩:		(#.)	# 1	:=			150	(5)	æ	(=)	:=	a⊞: tarana	1 <u>=</u> 1	# # # # # # # # # # # # # # # # # # #	-	1 3 1		=	(#)	(=)	5			5	t#
	Level 01 Mezzanine	1,448.9 266.0	-:	-	138.9	-	138.9	1,448.9 127.0	93.8 8.8	=:		93.8 8.8	1,355.2 118.3	962.8 118.4 -	392.4 0.1	258.9	137.5	.=	.=.	(#)	396.4	- 4.0	942.5 127.1	114.2	(7)	1,056.6 127.1	72.6% 100.0%	-	(=)	-		-		-	
	Level 02	1,845.7		28.5	-		28.5	1,817.2	126.7	63.0	#E	189.6	1,627.5		216.4	:	144.5	8	18	63.0	207.5	71.9		1,537.8	*	1,537.8	88.6%		*	8	= = = = = = = = = = = = = = = = = = =	-	E 8	-	
	Level 03	2,081.0	a :		2		147.4	1,933.6	140.4	-	(22)	140.4	1,793.2		,157.2	164.1	105.7		159.0	141	439.4	1,494.2	12 1	· · · · · · · · · · · · · · · · · · ·	2	21	77.3%	636.0	(발)	636.0	2	5	2 2	9	20
	Level 04 Level 05	2,081.0 2,081.0	21		-	-	147.4 147.4	1,933.6 1,933.6	140.4 140.4	-	<u> </u>	140.4 140.4	1,793.2 1,793.2		,157.2 ,157.2	164.1 164.1	105.7 105.7		159.0 159.0	12	439.4 439.4	1,494.2 1,494.2	=	=	-	#1	77.3% 77.3%	636.0 636.0	141	636.0 636.0	2	5	2 2	9	20 20
L	Level 06	2,081.0	(=)	-	1,467.2	-	1,467.2	613.8	31.6	E.	m:	31.6	582.2	:=	582.2	47.1	74.9		458.0	(IB)	587.1	26.7		-	=	(#)	4.4%	-	(=)	-	-	-		-	-
	Level 07	740.4	5)	50.5	#	•	50.5	689.9	59.7	*		59.7	630.2		630.2	54.3 54.3	74.9	7.1	. 	1. :	136.2	553.7		-	(#)	·=:	80.3%	-	(#)	:#:	1	5	2 1	+	9
	Level 08 Level 09	740.4 740.4	=: =:	50.5 50.5		-	50.5 50.5	689.9 689.9	59.7 59.7			59.7 59.7	630.2 630.2		630.2 630.2	54.3	74.9	7.1	-		136.2 136.2	553.7 553.7		-	17	-	80.3% 80.3%	-	1 - 5	-	1	5	2 1	=	9
L	Level 10	740.4	(3)	50.5	-	Ē	50.5	689.9	59.7	S	H E	59.7	630.2	· ·	630.2	54.3	74.9	7.1	19	8	136.2	553.7	8	Ē	2	=	80.3%	Ē	81	-	1	5	2 1	3	9
	Level 11 Level 12	740.4 740.4	Tit.	50.5 50.5	20	2	50.5 50.5	689.9	59.7 59.7	2 00	(<u>12</u>)	59.7 59.7	630.2 630.2		630.2 630.2	54.3 54.3	74.9	7.1	# =	141	136.2 136.2	553.7 553.7	-	=	(20)	2 2	80.3% 80.3%	-	7 2 0	21	1	5	2 1	5	9
	Level 12 Level 13	740.4	*	50.5	-	-	50.5	689.9 689.9	59.7	-	-	59.7	630.2		630.2	54.3	74.9	7.1	-	-	136.2	553.7		-	-	=	80.3%	=		90	1	5	2 1	-	9
L	Level 14	740.4	-	50.5	-		50.5	689.9	59.7	H .	E S	59.7	630.2	:-	630.2	54.3	74.9	7.1	(4)	(=)	136.2	553.7		-	(=)	(=)	80.3%	=	(8)		1	5	2 1	-	9
	Level 15 Level 16	740.4 740.4	33	50.5 50.5	.=:	₩.	50.5 50.5	689.9 689.9	59.7 59.7	•	-	59.7 59.7	630.2 630.2		630.2 630.2	54.3 54.3	74.9	7.1	-	(#6	136.2 136.2	553.7 553.7		•	-	8)	80.3% 80.3%	#	*	30	1	5	2 1	=	9
	Level 17	740.4	-	50.5	-		50.5	689.9	59.7	-	=	59.7	630.2		630.2	54.3	74.9	7.1	(7)	5	136.2	553.7			77.	-: -:	80.3%		·=·	5.	1	5	2 1	7	9
Le	Level 18	740.4	氨	50.5	8	E	50.5	689.9	59.7	Ę	(59.7	630.2	6 - 8	630.2	54.3	74.9	7.1	*	*	136.2	553.7	8		(-	(4)	80.3%	E	(E)	(*)	1	5	2 1	8	9
	Level 19 Level 20	740.4 740.4	2.7	50.5 50.5	2:	≅	50.5 50.5	689.9	59.7 59.7	2	2	59.7 59.7	630.2 630.2		630.2 630.2	54.3 54.3	74.9 74.9	7.1	(2)	120 mas	136.2 136.2	553.7	<u>12</u> 1	<u> </u>		2 €1	80.3% 80.3%	<u> </u>	<u>(2)</u>	2	1	5	2 1	<u> </u>	9
	Level 20 Level 21	740.4	-	50.5	-	-	50.5	689.9 689.9	59.7	-	-	59.7	630.2		630.2	54.3	74.9	7.1	-		136.2	553.7 553.7	*	-	-	21 27	80.3%	-	-	*	1	5	2 1	-	9
L	Level 22	740.4	190	50.5	(*)		50.5	689.9	59.7	-	•	59.7	630.2	()=	630.2	54.3	74.9	7.1	()	100	136.2	553.7		=		(-)	80.3%	=		(9)	1	5	2 1	-	9
597	Level 23	740.4	-	50.5	·=:	-	50.5	689.9	59.7	-	-	59.7	630.2		630.2	54.3	74.9	7.1	1=1		136.2	553.7		-		=):	80.3%	-		-	1	5	2 1	-	9
	Level 24 Level 25	740.4 740.4		F0 F	-		120 6 7 26	689.9 689.9	59.7 59.7	-	=	59.7 59.7	630.2 630.2		630.2 630.2	54.3 54.3	74.9 74.9	7.1 7.1	1 2		136.2 136.2	553.7 553.7		-	-	. 	80.3% 80.3%	-			1	5	2 1	-	9
Le	Level 26	740.4	E	50.5	8		50.5	689.9	59.7		Ē	59.7	630.2	0 4	630.2	54.3	74.9	7.1	*		136.2	553.7		E		(*)	80.3%	=		(-)	1	5	2 1	3	9
	Level 27	740.4	VEV		21			689.9	59.7	띹	<u>=</u>	59.7	630.2		630.2	54.3	74.9	7.1	(4)	192	11-0.00	553.7		2	120	4:	80.3%	9		살이	1	5	2 1	5	9
	Level 28 Level 29	740.4 740.4	-	50.5 50.5	-	-	50.5 50.5	689.9 689.9	59.7 59.7	-	=	59.7 59.7	630.2 630.2	76	630.2 630.2	54.3 54.3	74.9 74.9	7.1 7.1	-		136.2 136.2	553.7 553.7	=	-	-	#1 E2	80.3% 80.3%	_	-	-	1	5	2 1	=	9
L	Level 30	740.4		50.5	-	-		689.9	59.7			59.7	630.2	:=	630.2	54.3	74.9	7.1		19-1	136.2	553.7				3 0	80.3%				1	5	2 1	-	9
Sec. and	Level 31	740.4	+ ;	50.5	:=:		0.000	689.9	59.7	=	-	59.7	630.2	(E	630.2	54.3	74.9				136.2	553.7		-	7 - 2	₩)	80.3%	-	5 = 6	=:	1	5	2 1	-	9
22	Level 32 Level 33	740.4 740.4		F0 F	-	-	50.5 50.5	689.9 689.9	59.7 59.7	-	7	59.7 59.7	630.2 630.2	:# (#.	630.2	54.3 54.3	74.9 74.9	7.1 7.1	8 = 8	i n .	136.2 136.2	553.7 553.7	#: 55		1 0		80.3% 80.3%	-	·=·		1	5	2 1	=	9
	Level 33 Level 34	740.4		50.5	8	=	50.5	689.9	59.7	# {	9	59.7	630.2		630.2	54.3	74.9	7.1	*	-	136.2	553.7	8		#. E	(E)	80.3%				1	5	2 1	3	9
L	Level 35	740.4	257	F0 F	22	2	50.5	689.9	59.7	<u>u.</u>	=	59.7	630.2		630.2	54.3	74.9	7.1	140	(2)	136.2	553.7	Mary .	<u>e</u>	-	¥1	80.3%	2	121	¥1	1	5	2 1	2	9
	Roof Level	740.4	2:	:-	-	740.4	740.4	-		2	-	_	*		-	:20	*	7.27	*	120	72°	-	-	5.	~	21	Z Z	2	22	21	×	~	2 2	-	\ \
7340	Total (m²)	46,903.4	12,806.9	1,934.5	1,606.1	740.4	17,087.9	29,815.5	2,413.4	63.0		2,476.4	27,338.6	4,400.2 22	2,938.3	2,371.6 2	2,856.9	245.0	935.1	63.0	6,459.2	20,634.4	1,069.6	1,651.9	 n	2,721.6	78.3%	1,907.9	150	1,907.9	35	160	i4 35	27	321
	Total (ft²)	504,864	, , , , , , , , , , , , , , , , , , , ,	20,822	17,288	7.970	183,933	320,931	25,977	678	0	26,655		47,364 24		25,527					69,526	222,107	11,513		0	29,295		20,537	0	20,537	10.9% 49	8% 19	% 10.9%		100%







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Projections into Setbacks (m)

Residential to Commercial

Building Performance
Total Energy Use Intensity (TEUI)

Thermal Energy Demand Intensity (TEDI)

Note: Please see detailed Off-Street Vehicle Parking table for more information.

Note: Please see detailed Off-Street Bicycle Parking table for more information.

Note: Please see detailed Off-Street Loading and Passenger Loading table for more information.

Note: Please see detailed Off-Street Loading and Passenger Loading table for more information.

Exterior wall treatments, insulation

2.0 0.13

> 20.0 16.0

Limit (kWh/m2a)

Permitted/Required 2 Class A & 2 Class B

1 Class A & 2 Class B

Not defined

Not defined

Permitted /Required

Permitted /Required

Permitted /Required

Balconies

Tower Separation (m) Residential to Residential

Tower Step-Back (m)

Emissions Level (GHGI)

Off-Street Vehicle Parking
Resident

Off-Street Bicycle Parking
Residential - Long-Term

Residential - Short-Term Commercial - Long-Term Commercial - Short-Term

Non-Residential

Visitor Commercial





 Proposed
 Differential
 Notes

 2 Class A & 2 Class B
 - Shared v

0 Class A & 1 Class B

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Tower step-back from street wall and base building

0 Emissions Level 4 - Full electrification required

Shared via Loading Management Plan

- Shared via Loading Management Plan

0 Step Code 2

DATE REV DESCRIPTION 01/06/2025 01 Issued for Development Tracker



1520 BLANSHARD STREET



VIEW 1: LAUREL POINT TO DOWNTOWN CORE AREA

Situated at the key intersection of Blanshard and Pandora, the proposal sits at the heart of the Central Business District and is surrounded by a cluster of other tall buildings. When viewed from Laurel Point, it contributes to a tiered urban backdrop to the irregular rooflines of the Historic Commercial District.

The massing is oriented to align with key vistas and provides a strong relationship with the facades of the Historic Commercial District. Recessed balconies emphasize the simple massing and help contextualize the residential tower with its commercial neighbours. A restrained, singular material palette of warm masonry extends to the roofline, providing a tangible connection to the rich materiality and texture of the historic building stock while emphasizing contemporary construction techniques and capabilities. Each façade is responsive to its orientation, providing subtle variation and architectural interest and further emphasizing the connection to craft that is so evident in Victoria's historic architecture.

The proposal provides an opportunity to mark the apex of the Downtown Core Area Plan's urban amphitheater with a high-quality landmark building.







VISTA TERMINATION: PANDORA AVE AND VANCOUVER ST



VISTA TERMINATION: BLANSHARD ST AND VIEW ST



VISTA TERMINATION: PANDORA AVE AND WHARF ST

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Ministry of Health



Car 791 Pandora Avenue Parking 4 storeys

Commercial

Commercial

Pandora Avenue

1520 Blanshard Street

4 storeys Government Office PROJECT SITE

Cormorant Street

Congregation Government Office

1321 Blanshard Street 8 storeys Mixed-use



Blanshard Street 791 Pandora Avenue

785 Pandora Avenue 1 storey Commercial

775 Pandora Avenue 3 storeys

Commercial

755 Pandora Avenue 4 storeys Mixed-use

749 Pandora Avenue 4 storeys Office



Douglas Street

723 Pandora Avenue 6 storeys Commercial

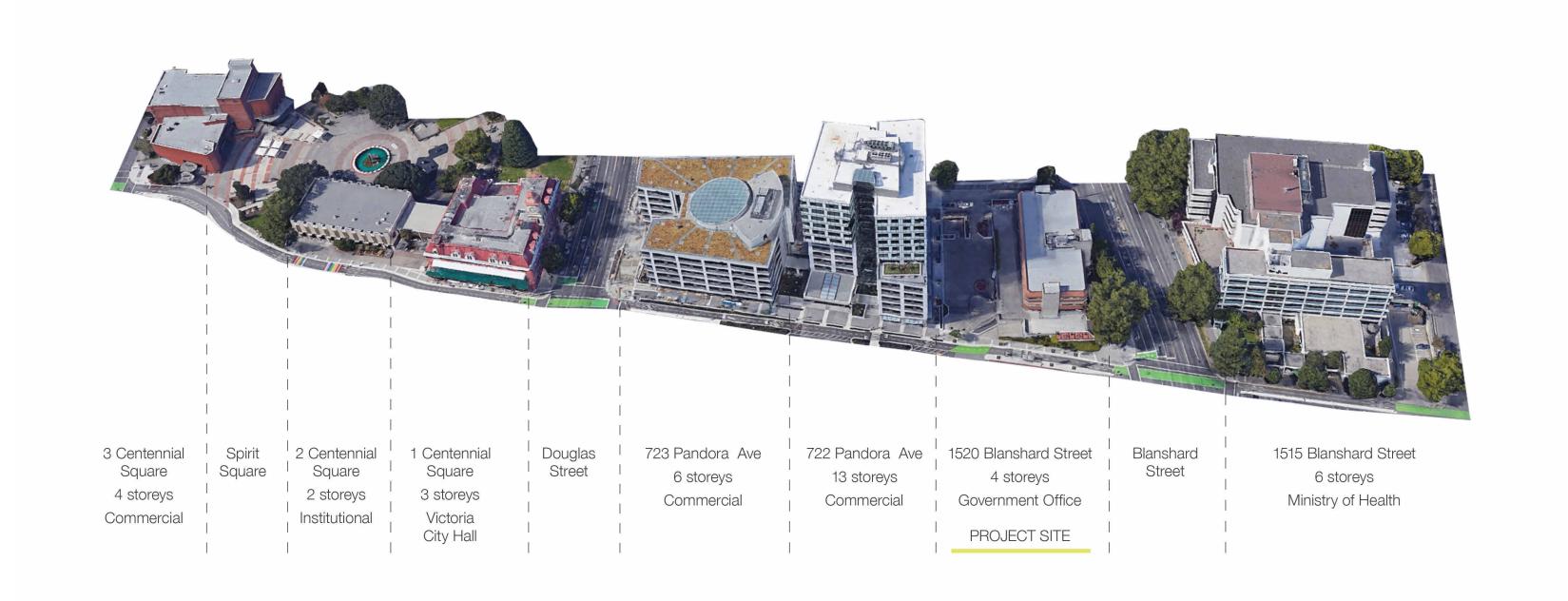
722 Pandora Avenue 13 storeys Commercial

1520 Blanshard Street 4 storeys Government Office

PROJECT SITE

Blanshard Street

834 Blanshard Street Car 791 Pandora Pandora 1520 Blanshard Street Cormorant 1321 Blanshard 1620 Blanshard Street Avenue Avenue Street 14 storeys 4 storeys 15 storeys 4 storeys 8 storeys Mixed-Use Government Office Approved Mixed-use Mixed-Use Tall Building PROJECT SITE



CONTEXT STREETSCAPES - BLANSHARD

A.013

CONTEXT STREETSCAPES - PANDORA

A.013

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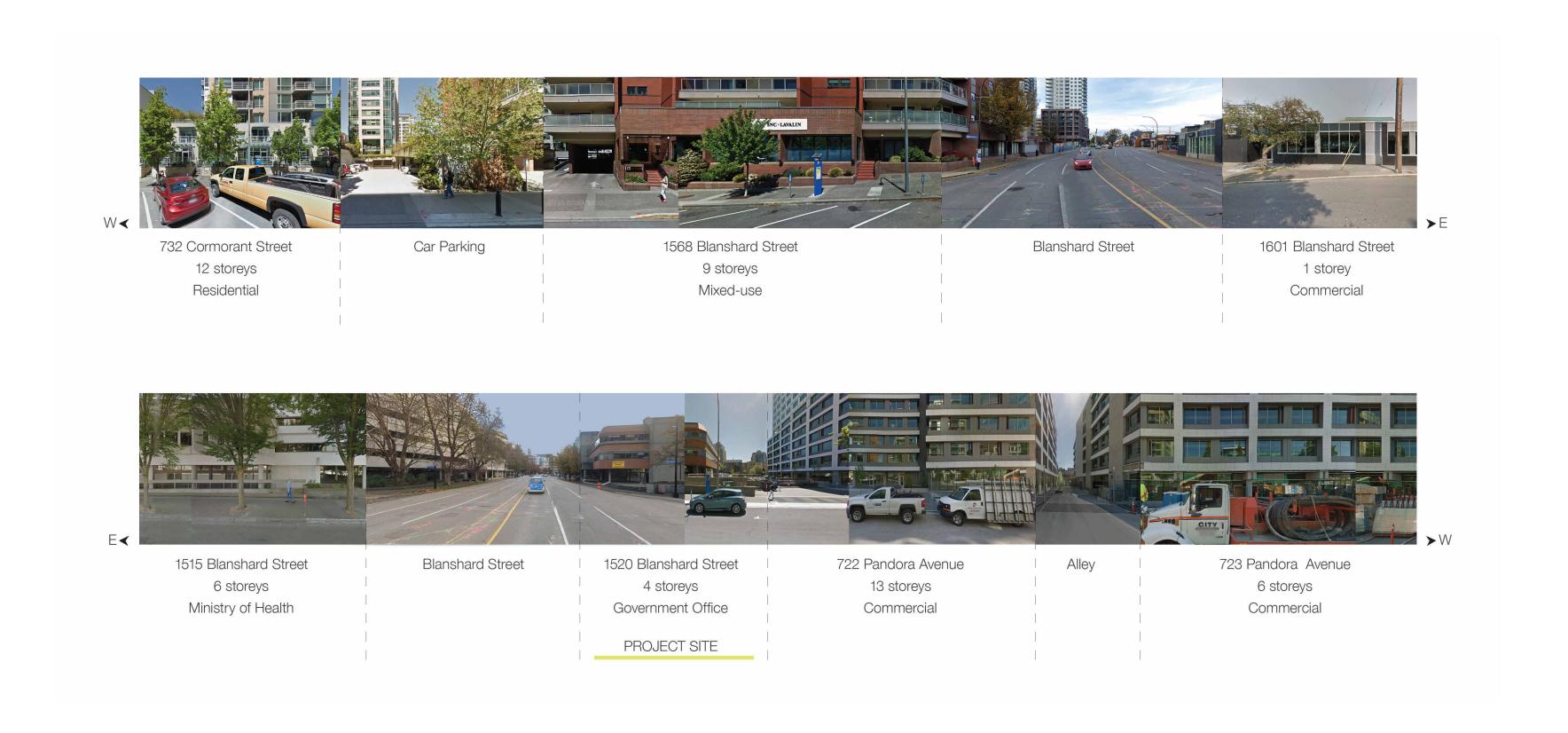
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CONTEXT STREETSCAPES - CORMORANT

A.014

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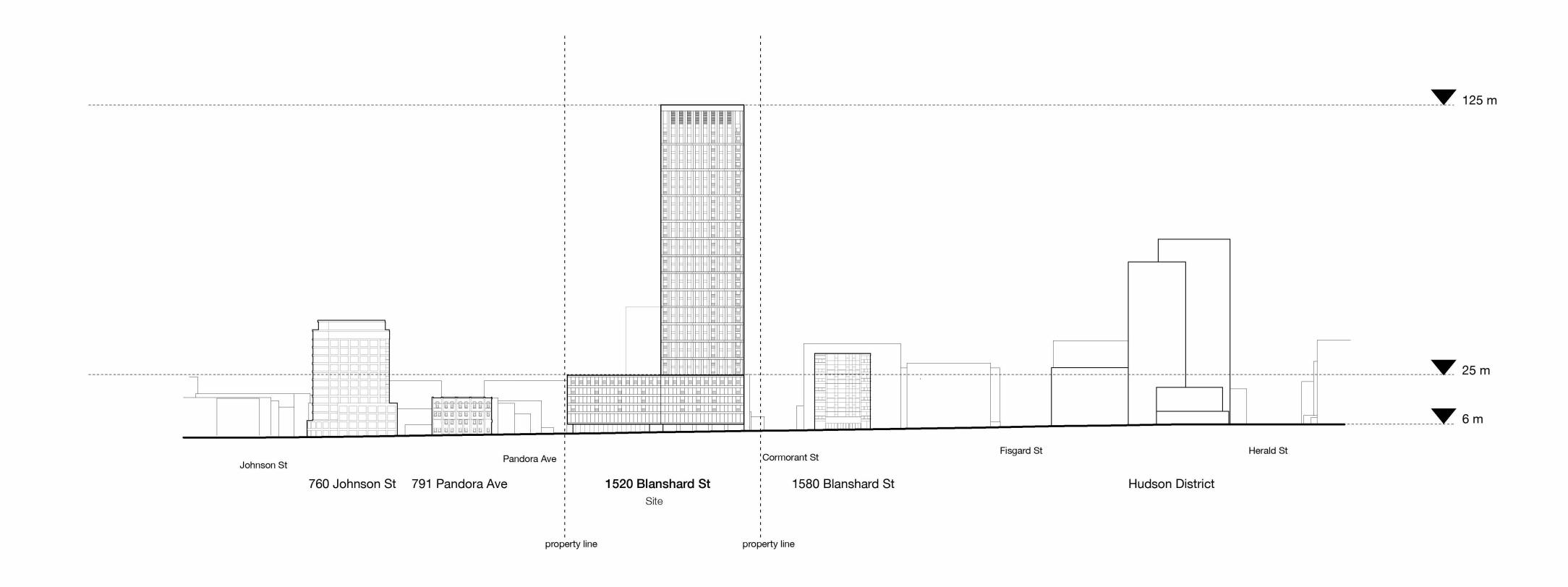


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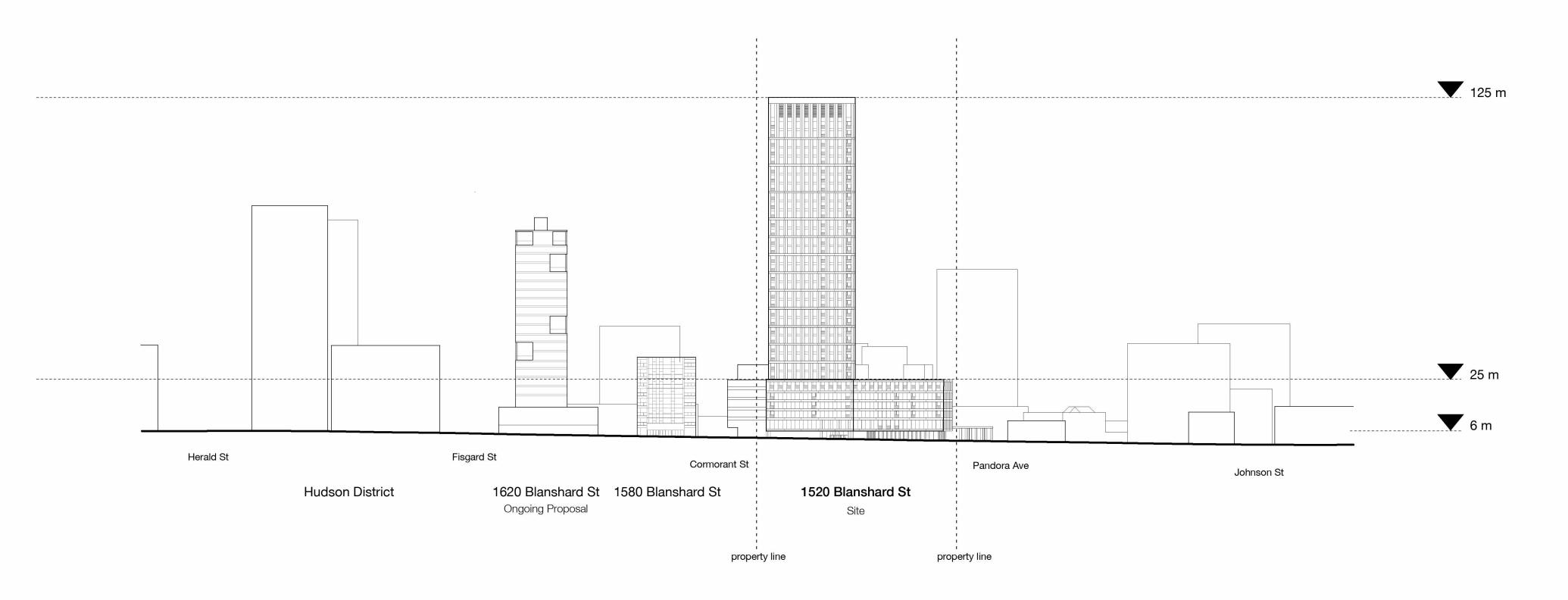
conditions on site. This drawing to be read in conjunction with the Contract Documents.





1 CONTEXT ELEVATIONS - BLANSHARD

A.015 1 : 1000



2 CONTEXT ELEVATIONS - THROUGH-BLOCK

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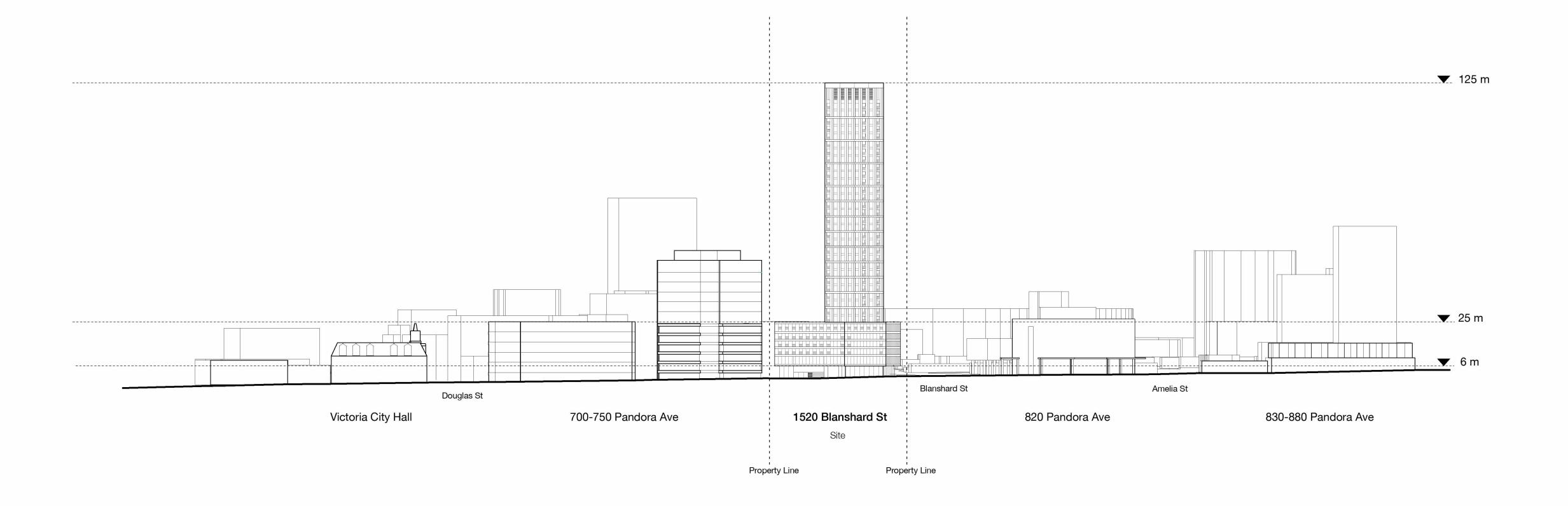
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A.015 1 : 1000



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2 CONTEXT ELEVATIONS - PANDORA A.016 1:1000

Armsla SI

820 Pandora Ave

1520 Blanshard St
Sile

Property line

| V | 125 m | V | 25 m | V | 6 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m | 0 m |

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CONTEXT ELEVATIONS - CORMORANT

A.016 1 : 1000

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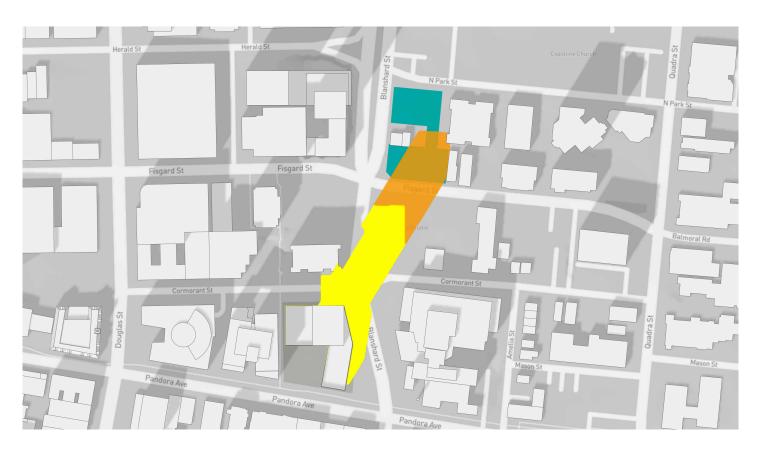






EQUINOX - 12:00 EQUINOX - 10:00 EQUINOX - 11:00 EQUINOX - 13:00







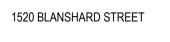


EQUINOX - 15:00 EQUINOX - 16:00 EQUINOX - 14:00

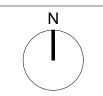
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1520 BLANSHARD STREET, VICTORIA, BC











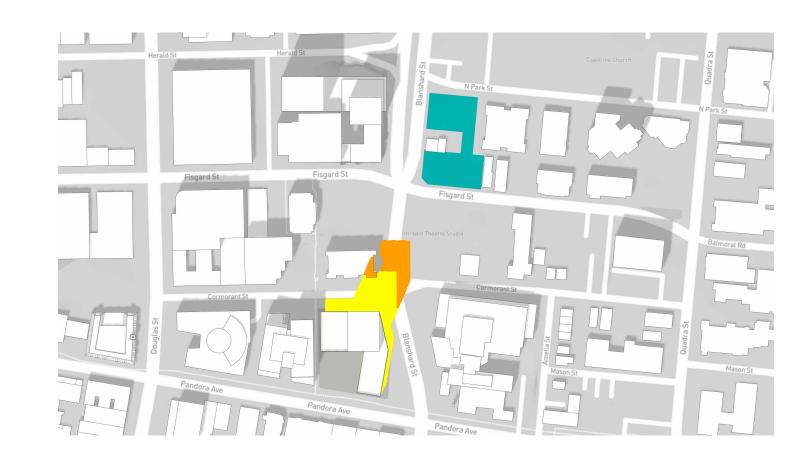


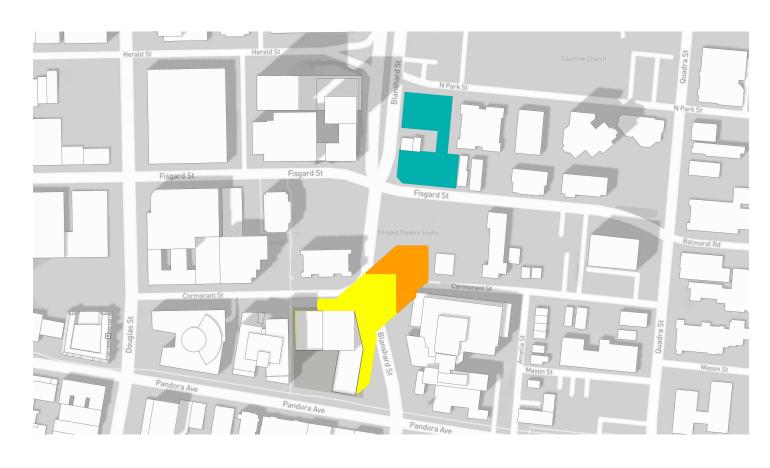
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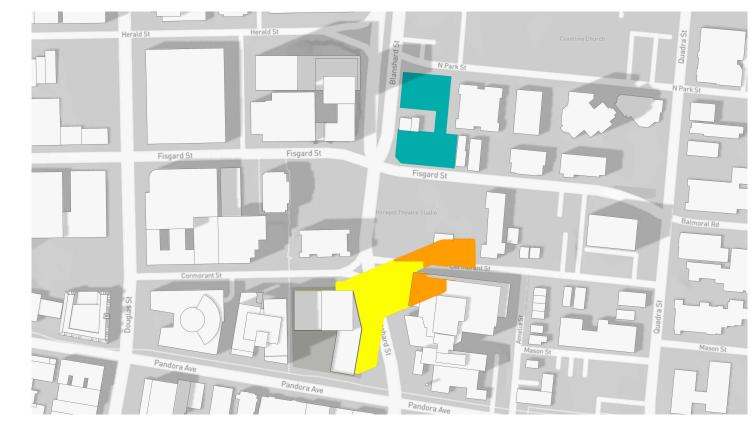
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SOLSTICE - 12:00

SOLSTICE - 13:00









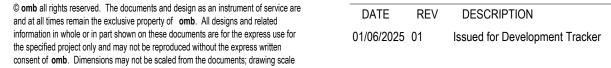
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BUILDING CODE ANALYSIS

PROJECT INFORMATION		BCBC Reference	Notes
Project Type	New Construction		
Governing Building Code	BC Building Code 2024		
Major Occupancies	Group A2, C, D, E	3.1.2.1	
Building Area	2081 m2	Div A-1.4.1.2	Outside face of exterior walls
Grade	20.3m	Div A-1.4.1.2	BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Pandora Avenue)
Building Height	35 storeys	Div A-1.4.1.2	
High Building	Yes	3.2.6.1	
BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION		BCBC Reference	Notes
	Overvier AO/O/D Ameritalists Ameri		I
Classification	Group A2/C/D, Any Height, Any Area, Sprinklered	3.2.2.23, 3.2.2.47, 3.2.2.56	
Maximum Building Area	Unlimited	3.2.2.23, 3.2.2.47, 3.2.2.56	
Number of Streets Facing	3	3.2.2.10	
Construction Types Permitted	Noncombustible	3.2.2.23, 3.2.2.47,	
		3.2.2.56	
Interconnected Floor Space	Yes	3.2.8	
EXITS FROM FLOOR AREAS		BCBC Reference	Notes
Number of Exits Required	2	3.4.2.1	
Separation of Exits (Min.)	One half of diagonal floor area, but need not be more than 9m	3.4.2.3	
Maximum Travel Distance Allowed	45 m	3.4.2.5	Measured from suite egress door into public corridor (3.4.2.4)
FIRE RESISTANCE RATINGS	FRR	BCBC Reference	Notes
	I I	3.2.2.23, 3.2.2.47,	
Floor Assemblies	2 h	3.2.2.56, 3.2.2.66	
Unaccupied Poofs	N/A	3.2.2.23, 3.2.2.47,	
Unoccupied Roofs		3.2.2.56, 3.2.2.66	
Occupied Roofs	2 h	3.2.2.13	
Mezzanines	1 h	3.2.2.23, 3.2.2.47,	
Exits (stairs & corridors)	2 h	3.2.2.56	
Exits (stairs & corridors)	211	3.4.4.1	2 h FRR required between Exit Lobby and Exit Stairs and any room not permitted to
Exit Lobby	0 or 2 h	3.4.4.2	open directly into an exit
Between Suites	1 h	3.3.1.1, 3.3.4.2	
Between Suites and Public Corridors			Not required for Group D with public corridor
	1 h	3.3.4.2, 3.2.6.5	Not required for Group D with public corridor Elevator access directly to corridor
Between Major Occupancies (A2-D)	1 h	3.1.3.1	
Between Major Occupancies (A2-C)	1 h 1 h	3.1.3.1 3.1.3.1	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D)	1 h 1 h 1 h	3.1.3.1 3.1.3.1 3.1.3.1	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D)	1 h 1 h 1 h 0 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C)	1 h 1 h 1 h 0 h 2 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2)	1 h 1 h 1 h 0 h 2 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways	1 h 1 h 1 h 0 h 2 h 2 h 2 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h 1 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h 1 h 1 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h 1 h 1 h 1 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8	
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered)	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1	Elevator access directly to corridor
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered)	1h 1h 1h 0h 2h 2h 2h 2h 1h 1h 1h 1h 1h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13	Elevator access directly to corridor Unsprinklered high voltage electrical room with dry filled transformer
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h 1 h 1 h 1 h 1 h 2 h 1 h 1 h 2 h 1 or 2 h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3	Elevator access directly to corridor
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space Waste Storage Room	1h 1h 1h 0h 2h 2h 2h 2h 1h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3 3.6.2.5	Unsprinklered high voltage electrical room with dry filled transformer FRR must match the vertical fire separation beneath the horizontal shaft
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space Waste Storage Room Storage Rooms	1h 1h 1h 0h 2h 2h 2h 2h 1h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3 3.6.2.5 3.3.4.3	Elevator access directly to corridor Unsprinklered high voltage electrical room with dry filled transformer
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space Waste Storage Room Storage Rooms	1h 1h 1h 0h 2h 2h 2h 2h 1h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3 3.6.2.5	Unsprinklered high voltage electrical room with dry filled transformer FRR must match the vertical fire separation beneath the horizontal shaft
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space Waste Storage Room Storage Rooms Sprinklered Janitor's Room	1h 1h 1h 0h 2h 2h 2h 2h 1h 1h 1h 1h 1h 1h 1h 1h 1h 0h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3 3.6.2.5 3.3.4.3 3.3.1.22	Unsprinklered high voltage electrical room with dry filled transformer FRR must match the vertical fire separation beneath the horizontal shaft
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space Waste Storage Room Storage Rooms Sprinklered Janitor's Room Vertical Spaces	1h 1h 1h 0h 2h 2h 2h 2h 1h 1h 1h 1h 1h 1h 1h 1h 1h 0h	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3 3.6.2.5 3.3.4.3 3.3.1.22 3.6.3.1	Unsprinklered high voltage electrical room with dry filled transformer FRR must match the vertical fire separation beneath the horizontal shaft 1.5 h required for storage rooms in the parking garage per 3.3.5.6 Notes
Between Major Occupancies (A2-C) Between Major Occupancies (C-D) Between Major Occupancies (E-D) Between Major Occupancies (E-C) Between Major Occupancies (E-A2) Elevator Hoistways Emergency Conductor Shafts Service Spaces Containing Emergency Equipment Rooms Containing Fire Alarm Equipment Generator Room and Fuel Tank Electrical Equipment Room (sprinklered) Electrical Equipment Room (unsprinklered) Horizontal Service Space Waste Storage Room Storage Rooms Sprinklered Janitor's Room Vertical Spaces CLOSURES & DOORS	1 h 1 h 1 h 0 h 2 h 2 h 2 h 2 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 2 h 1 or 2 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1 h 1	3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.1.3.1 3.5.3.1 3.2.7.10 3.2.7.10 3.2.7.10 3.6.2.8 3.6.2.1 NFPA 13 3.1.8.3 3.6.2.5 3.3.4.3 3.3.1.22 3.6.3.1 BCBC Reference	Unsprinklered high voltage electrical room with dry filled transformer FRR must match the vertical fire separation beneath the horizontal shaft 1.5 h required for storage rooms in the parking garage per 3.3.5.6

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DATE REV DESCRIPTION 01/06/2025 01 Issued for Development Tracker





1520 BLANSHARD STREET

1520 BLANSHARD STREET, VICTORIA, BC

INTERIOR DESIGN - FINISHES



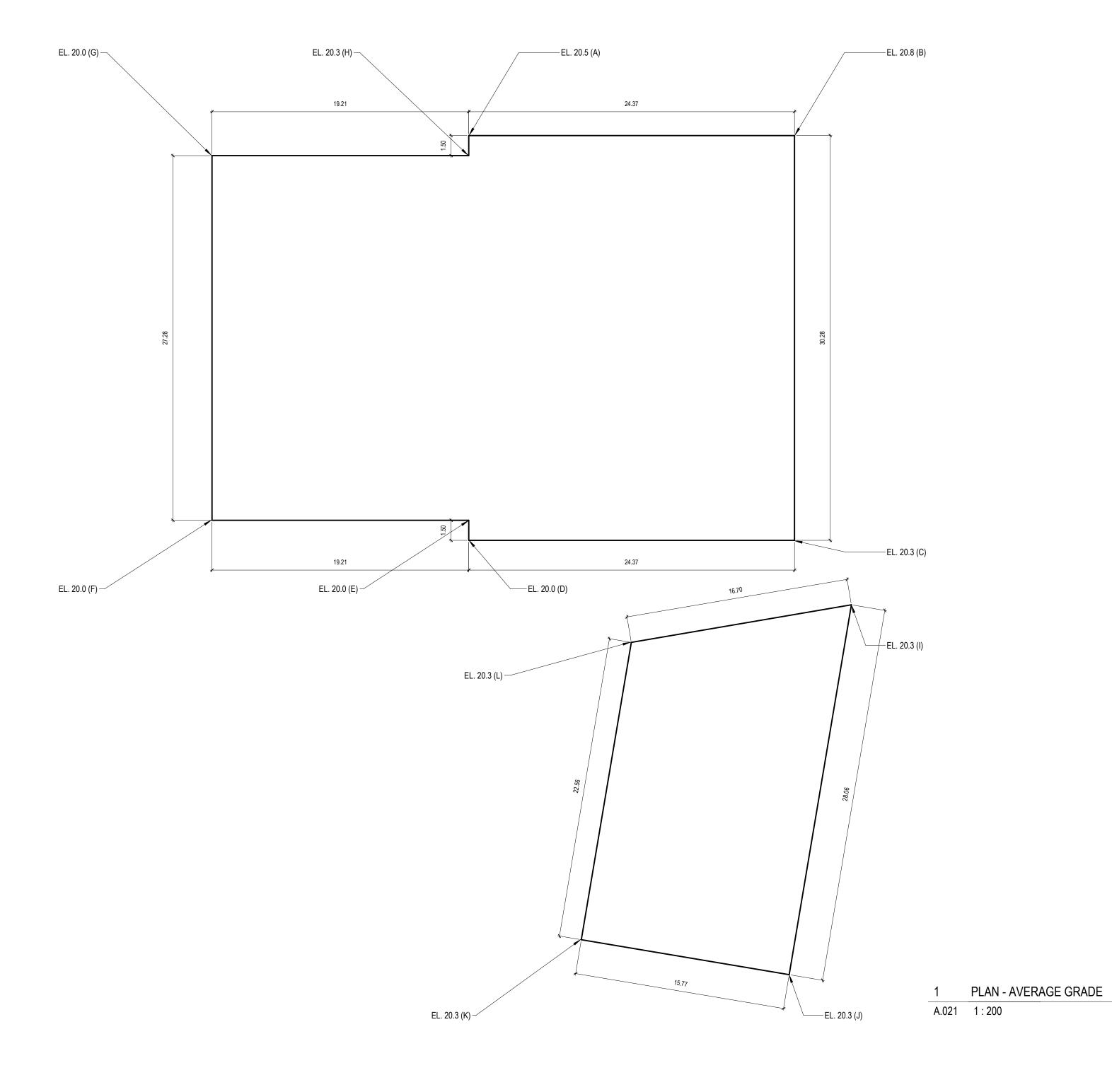
HIGH BUILDING REQUIREMENTS		BCBC Reference	Notes
Interior Finishes up to 25mm	150	N/A	3.1.5.12.(2),(3)
Interior Finishes up to 1mm	N/A	N/A	3.1.5.12.(1)
Elevator Car Floors	300	450	3.1.13.7 and 3.1.13.11
Elevator Car Walls and Ceilings	75	450	3.1.13.7 and 3.1.13.11
Public Corridors	150	N/A	3.1.13.6.(3)
	Per 3.1.13.8.(1)(b) FSR must be ach	ieved on any exposed surfa	ce or any surface that would be exposed by cutting through the material
Ceilings up to 10%	150	N/A	3.1.13.2.(4)
Walls up to 25%	150	N/A	3.1.13.2.(4)
Exit Lobbies	25	N/A	3.1.13.2
	Per 3.1.13.8.(1)(b) FSR must be ach	ieved on any exposed surfa	ce or any surface that would be exposed by cutting through the material
Ceilings up to 10%	150	N/A	3.1.13.2.(4)
Walls up to 10%	150	N/A	3.1.13.2.(4)
Exits & Exit Stairs	25	N/A	3.1.13.2

SDC

BCBC Reference

FSR

HIGH BUILDING REQUIREMENTS	BCBC Reference	Notes
Limits to Smoke Movement	3.2.6.2	Separation of stairs above and below the lowest exit level
		Stair venting for above grade exit stairs at 0.05m2 per door and at least 1.8m2
		Pressurization of below grade exit stairs with top venting
		Pressurization ducts for stairs below grade rated 2h
		Elevators require 2h fire rated vestibules at below grade levels
		Firestopping at vertical service spaces immediately below the lowest exit level
Emergency Operation of Elevator	3.2.6.4	Automatic and manual emergency recall
		Elevator car emergency switches and status indicators
		Smoke detectors at elevator lobbies, hoistways, elevator control rooms
Elevator for Firefighter Use	3.2.6.5	At least one elevator deesigned for use by firefighters - 2.2m2 and 900kg capacity
		All elevators capable of operating on emergency power. One elevator at a time is
		acceptable if all elevators can recall within 5min per 3.2.7.9.(3). If not, firefighting
		elevator plus one other elevator must be on emergency power
		2h fire rated shaft with 90min fire rated closures
		2h fire rating for emergency electrical conductors (to provide 1 hour operation under
		fire conditions)
Venting to Aid Firefighting	3.2.6.6	Operable windows or balcony doors or provision of smoke exhaust at 6 ACH
Central Alarm and Control Facility	3.2.6.7	CACF to be located at the Cormorant lobby where the fire department response point
,		will be
Voice Communication System	3.2.6.8	Voice communication system with firefighter's telephones or ECCOM system per
		3.2.4.22.(5) and 3.2.5.20.(1)
Emergency Lighting and Power	3.2.7.4	2 hour duration under full load (emergency power for fire alarm system)
Fire Alarm Emergency Power	3.2.7.8	2 hour duration under full load with 24 hour supervisory power (emergency power for
		fire alarm system)
Emergency Power for Building Services	3.2.7.9	2 hour operation provided by generator for all emergency bulding systems
Protection of Electrical Conduit	3.2.7.10	2h fire rating for electrical and emergency system conductors (to provide 1 hour
		operation under fire conditions)



AVERAGE GRADE CALCULATIONS

GRADE P	OINTS	DISTANCE BET	WEEN POINTS	AVERAGE GRADI	CALCULATION				
Point	Elev (m)	Point Pair	(m)	Point Pair	Point 1	Point 2	Average	Distance	Total
A	20.50	A & B	24.37	A&B	20.50	20.80	20.65	24.37	503.20
В	20.80	B&C	30.28	B&C	20.80	20.30	20.55	30.28	622.34
С	20.30	C&D	24.37	C&D	20.30	20.00	20.15	24.37	491.02
D	20.00	D&E	1.50	D&E	20.00	20.00	20.00	1.50	30.00
E	20.00	E&F	19.21	E&F	20.00	20.00	20.00	19.21	384.12
F	20.00	F & G	27.28	F&G	20.00	20.00	20.00	27.28	545.68
G	20.00	G&H	19.21	G&H	20.00	20.30	20.15	19.21	387.00
Н	20.30	H & A	1.50	H & A	20.30	20.50	20.40	1.50	30.60
l	20.30	I & J	28.06	I&J	20.30	20.30	20.30	28.06	569.66
J	20.30	J&K	15.77	J & K	20.30	20.30	20.30	15.77	320.11
K	20.30	K&L	22.56	K&L	20.30	20.30	20.30	22.56	457.95
L	20.30	L&I	1.37	L&I	20.30	20.30	20.30	1.37	27.81
Total		Perimeter	215.48	Total				215.48	4,369.48

AVERAGE GRADE 20.28

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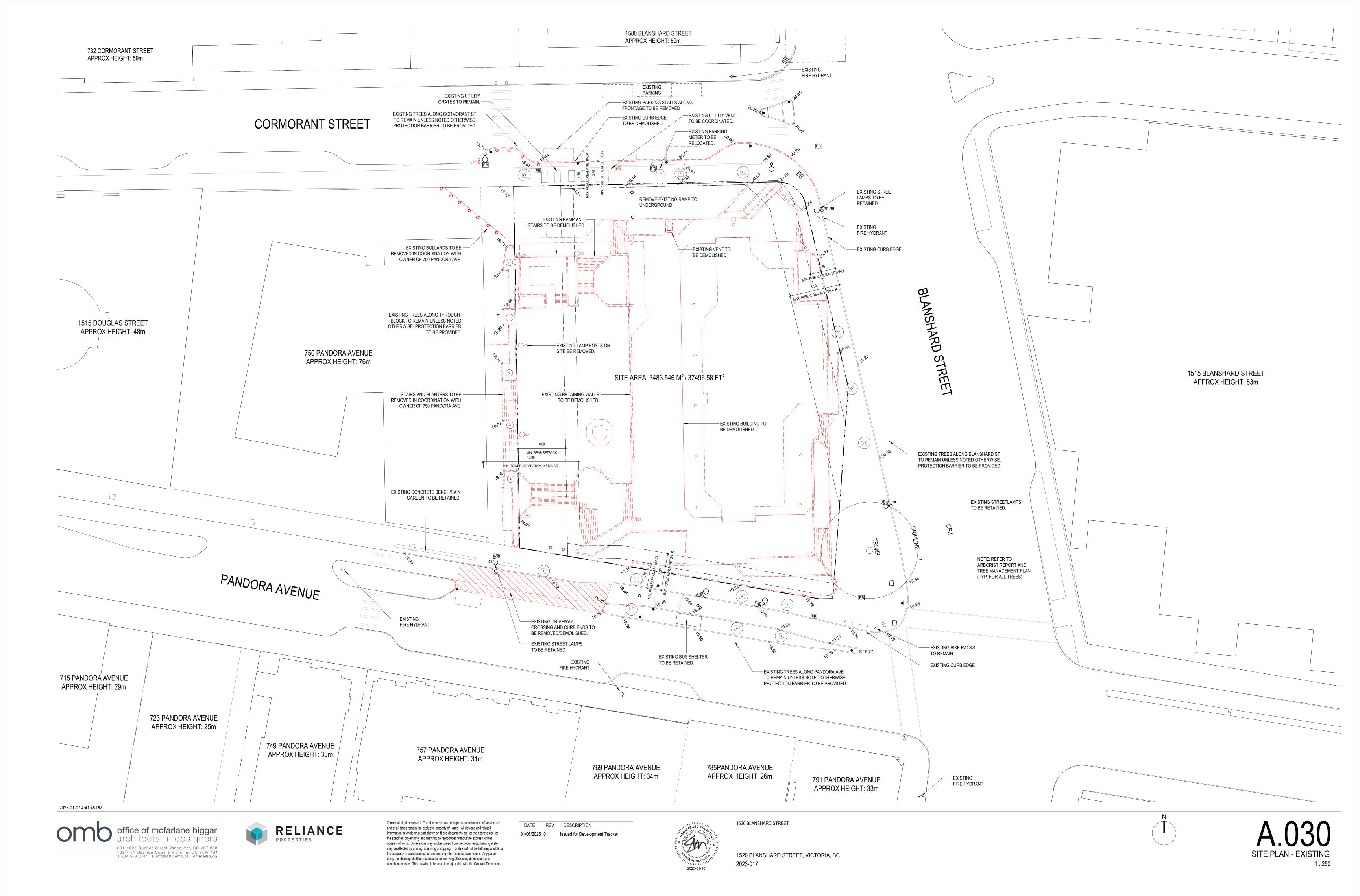
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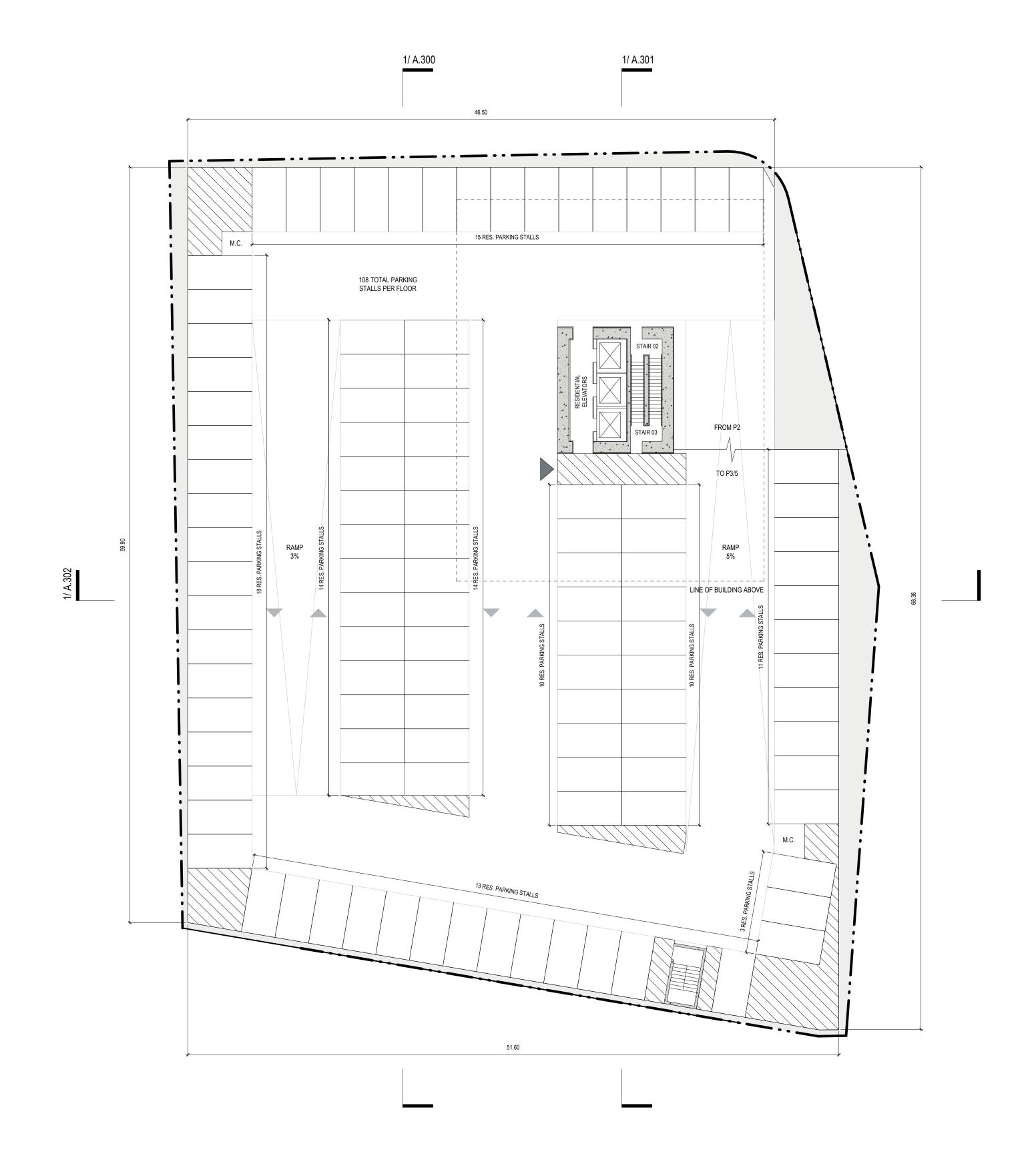








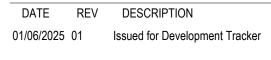




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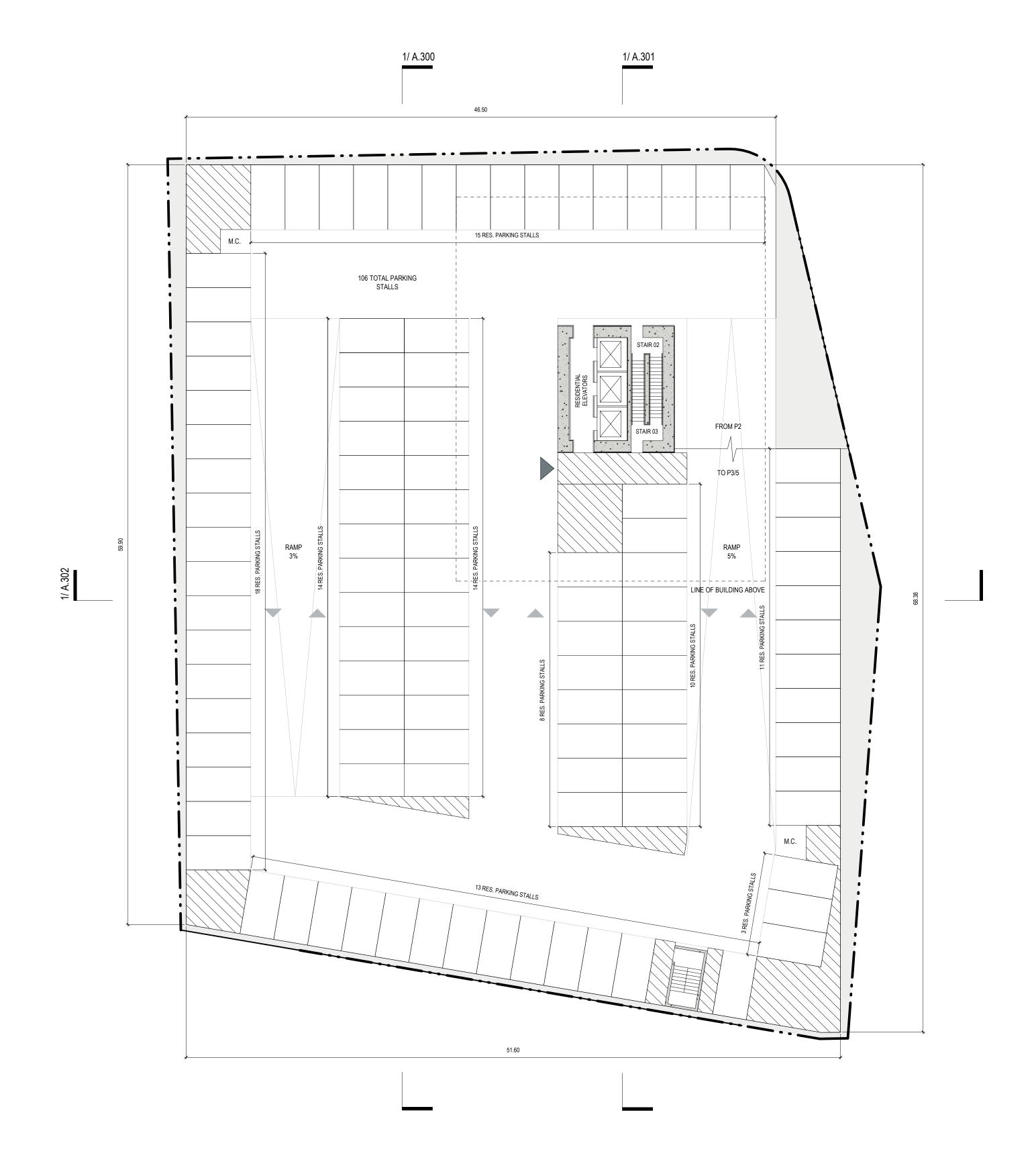
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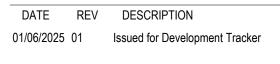




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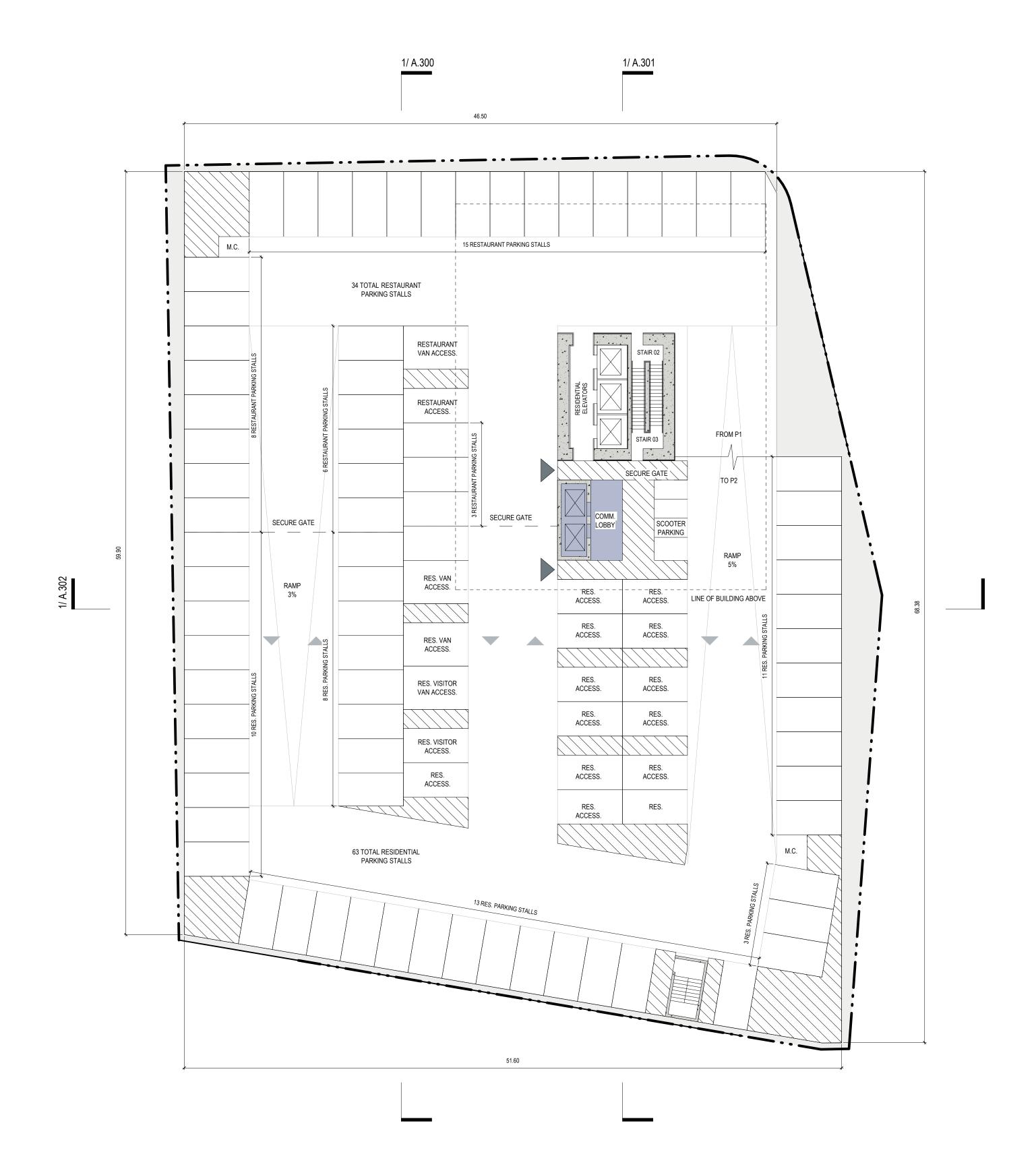
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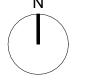
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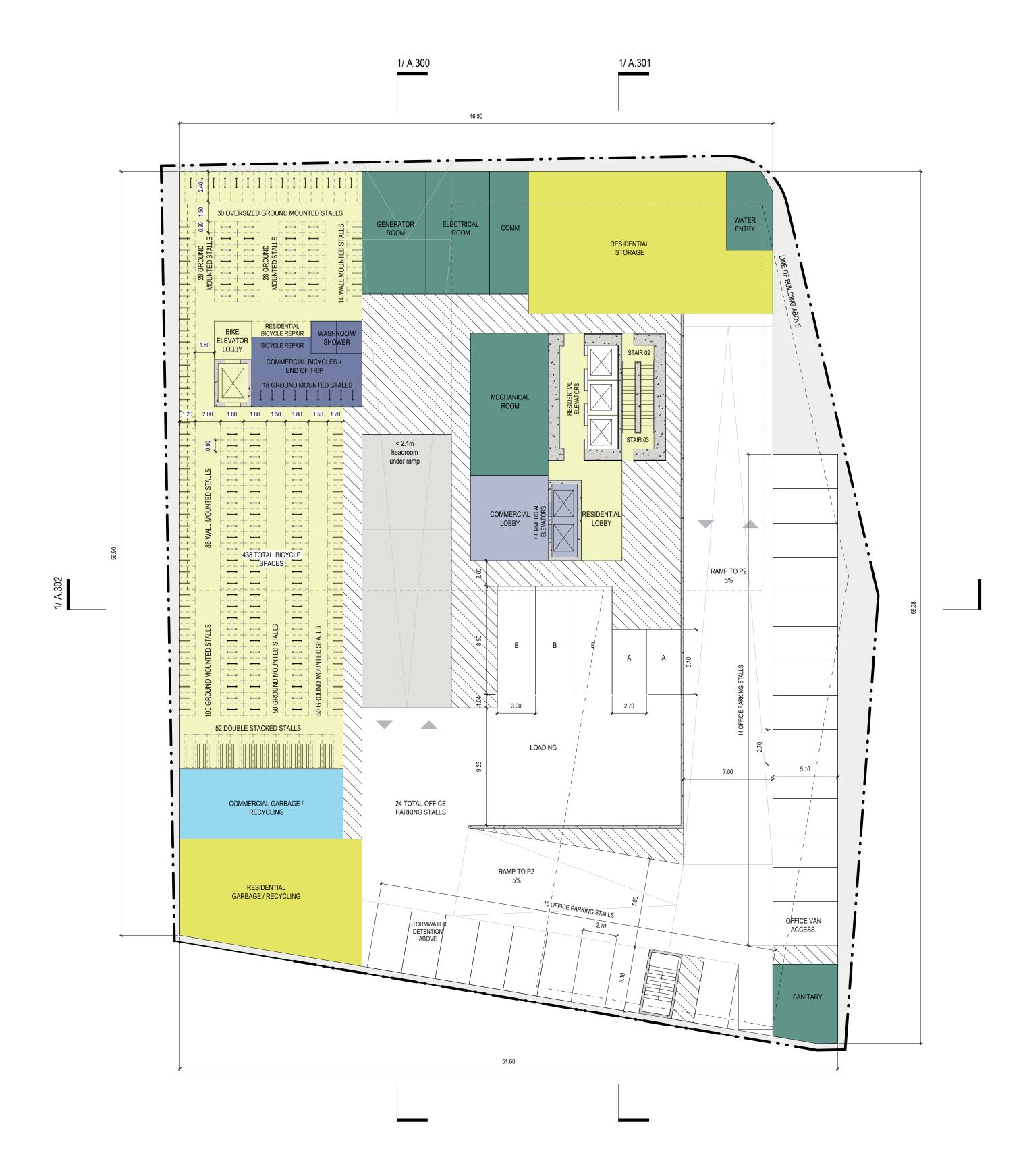






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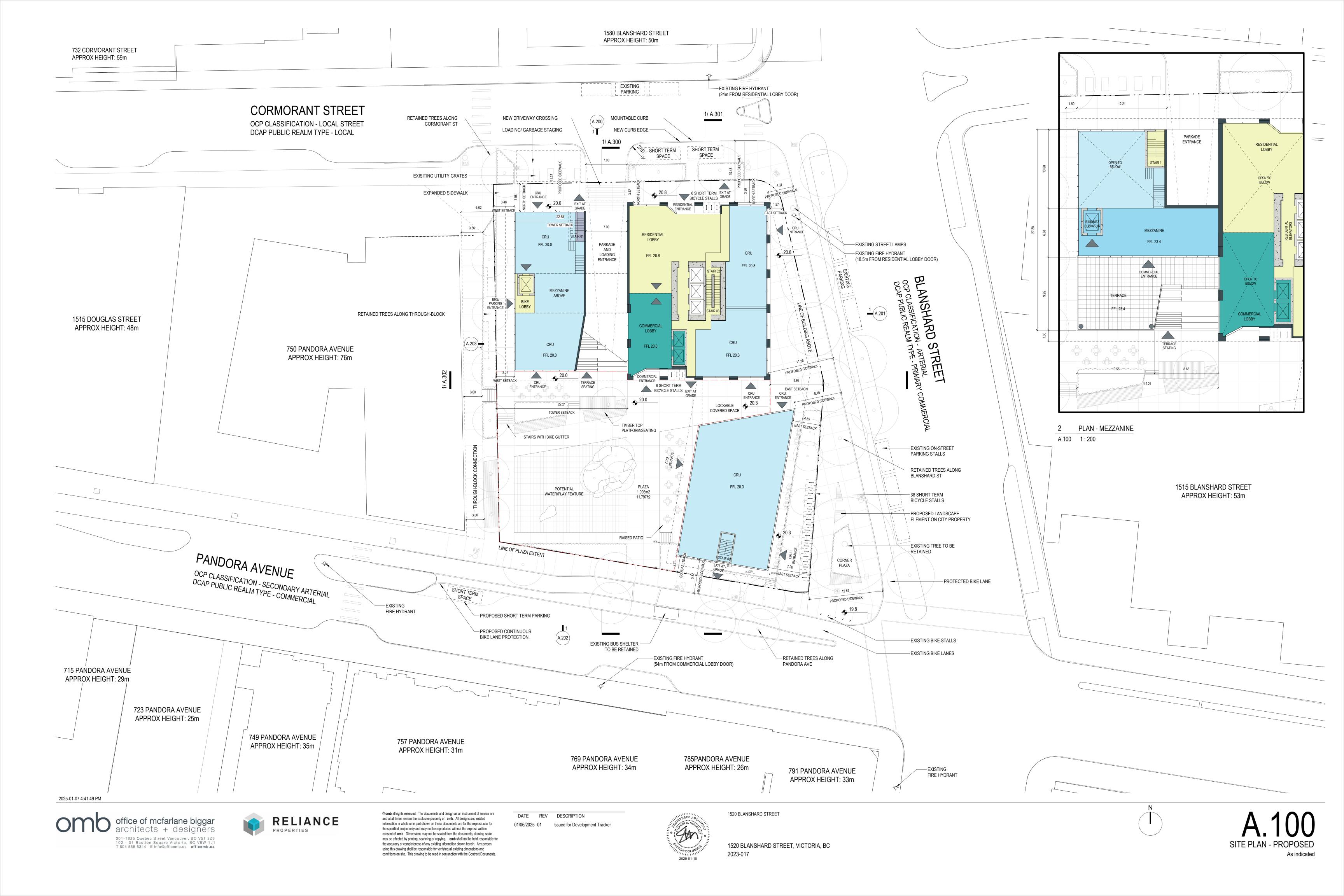


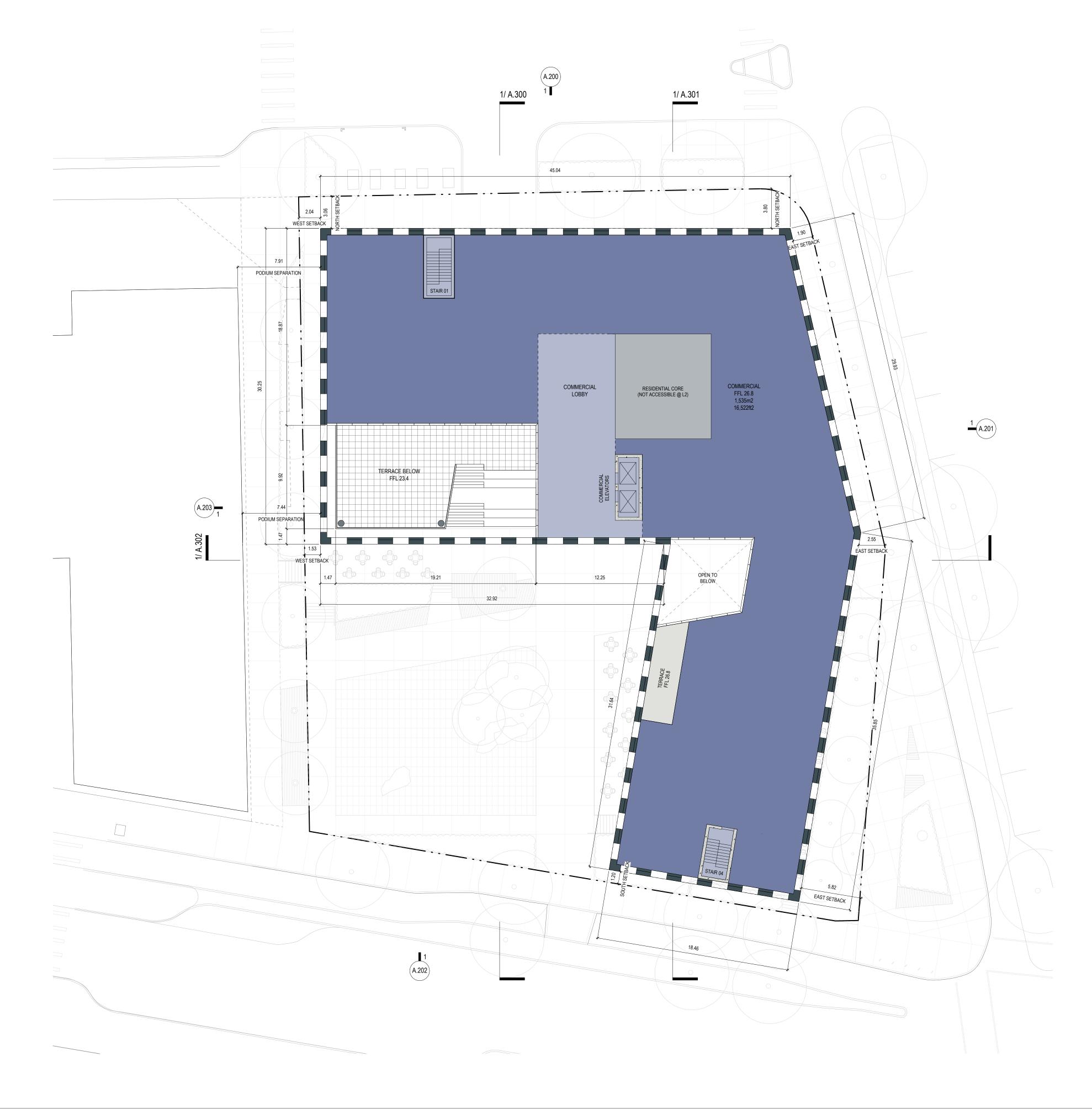
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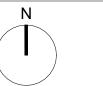




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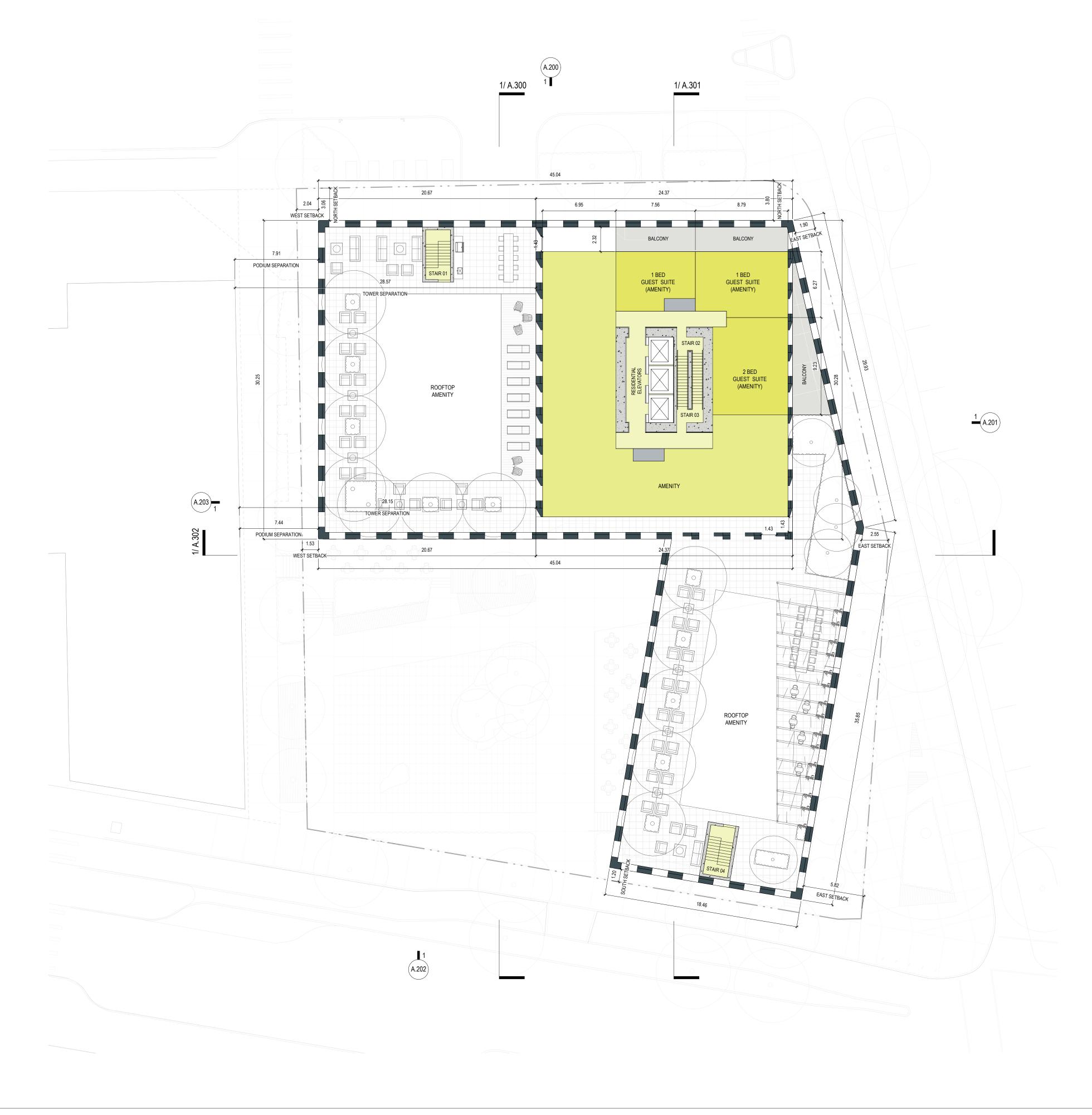


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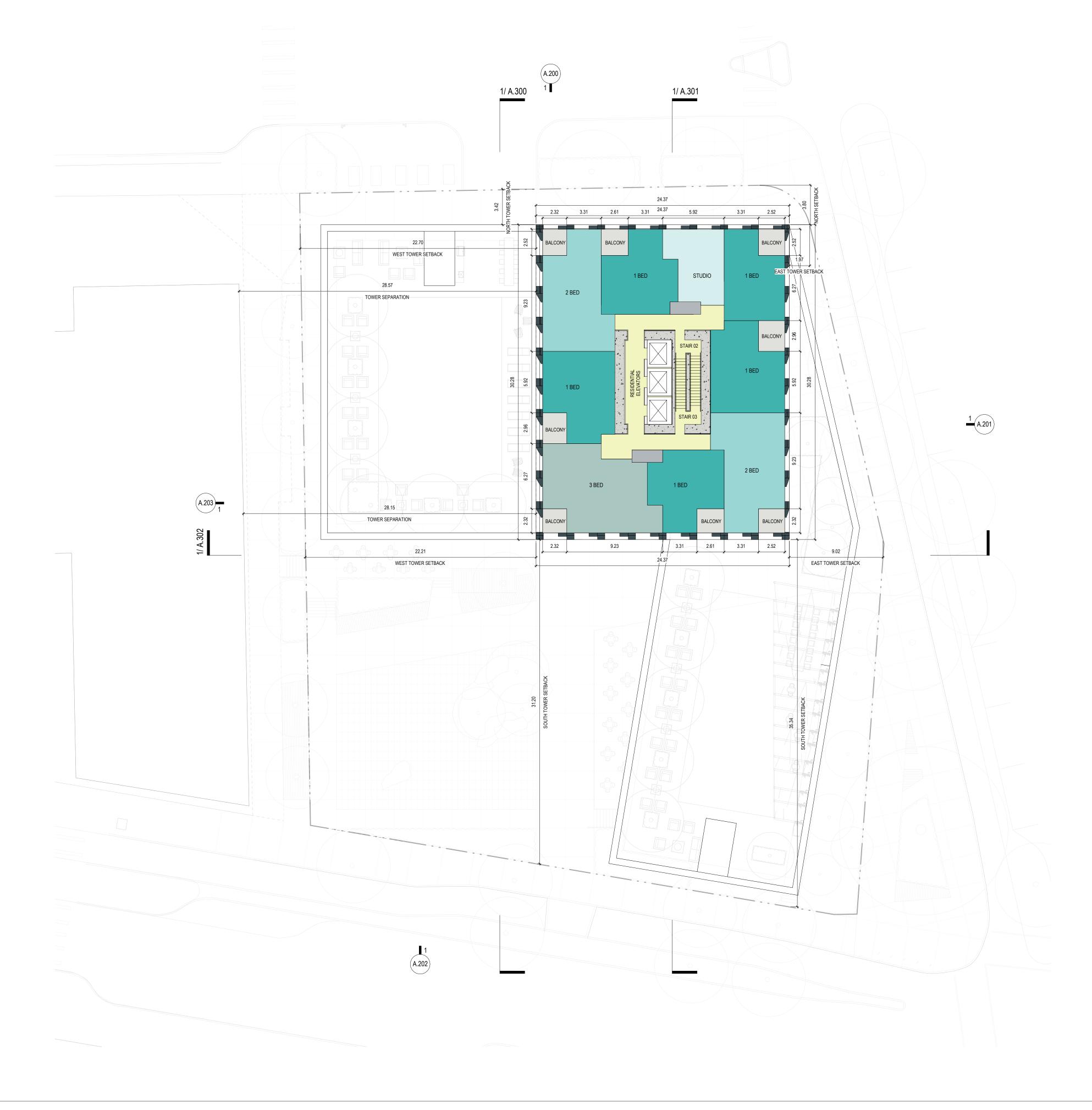
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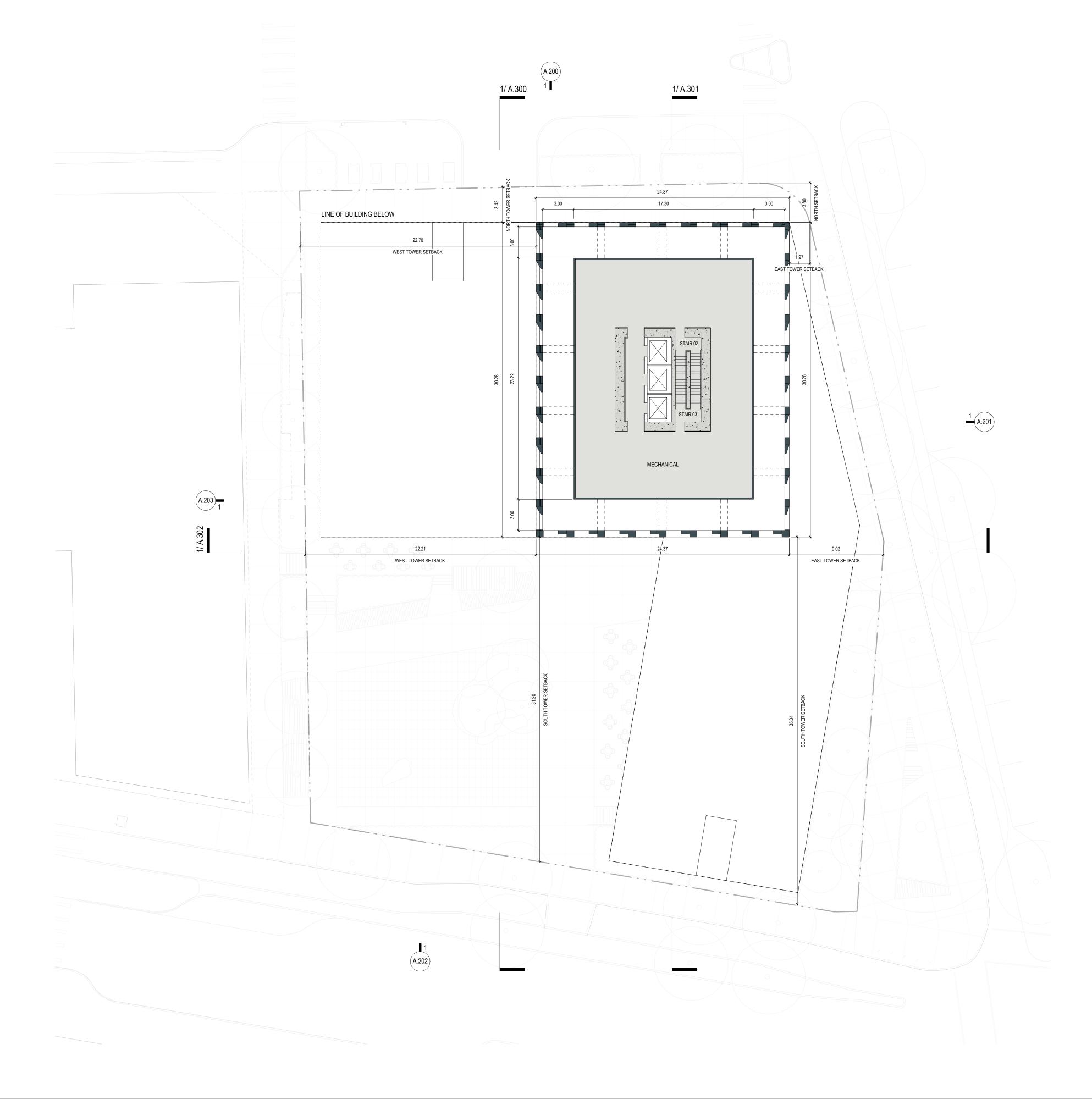
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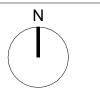
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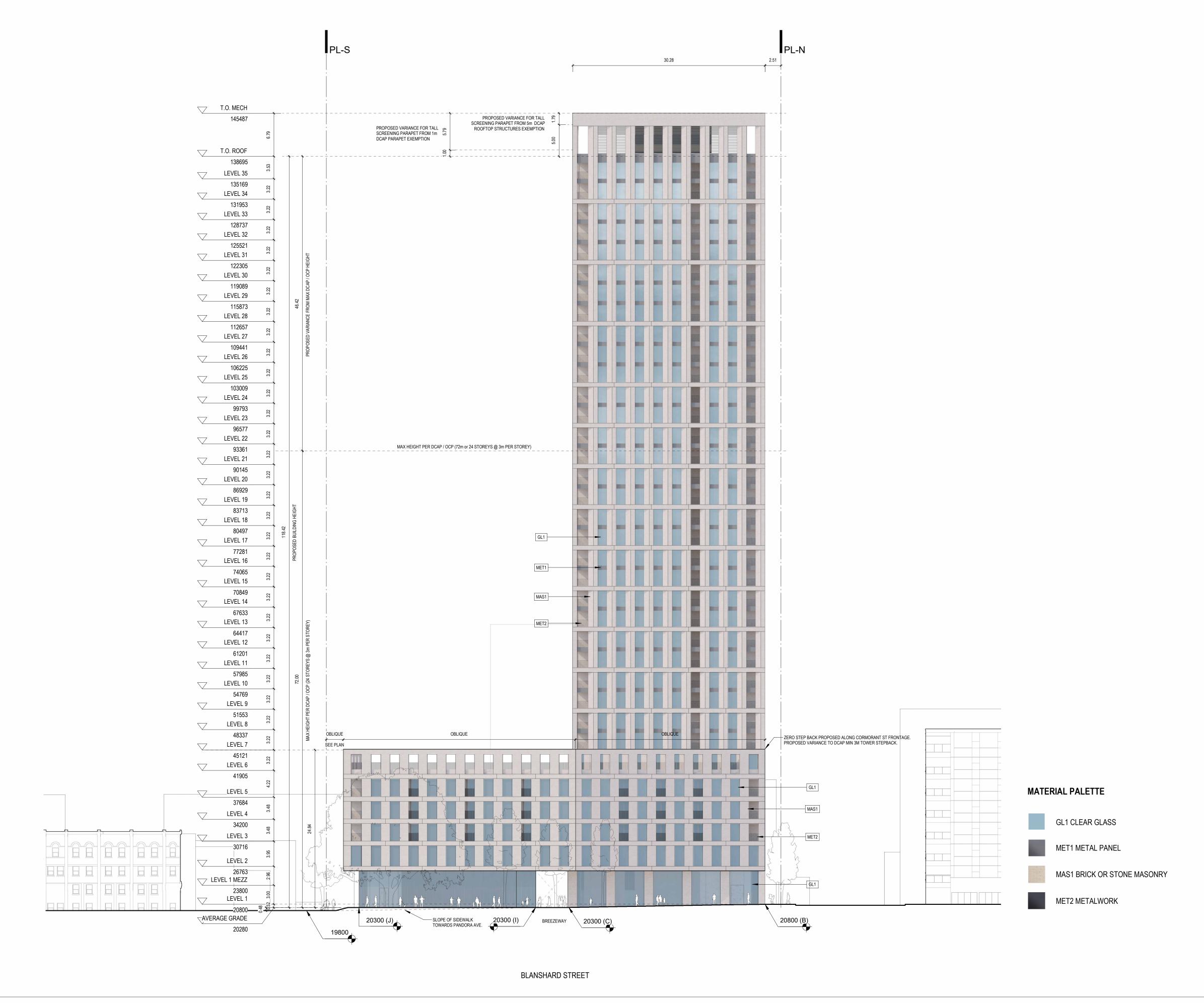


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DATE REV DESCRIPTION
01/06/2025 01 Issued for Development Tracker



1520 BLANSHARD STREET



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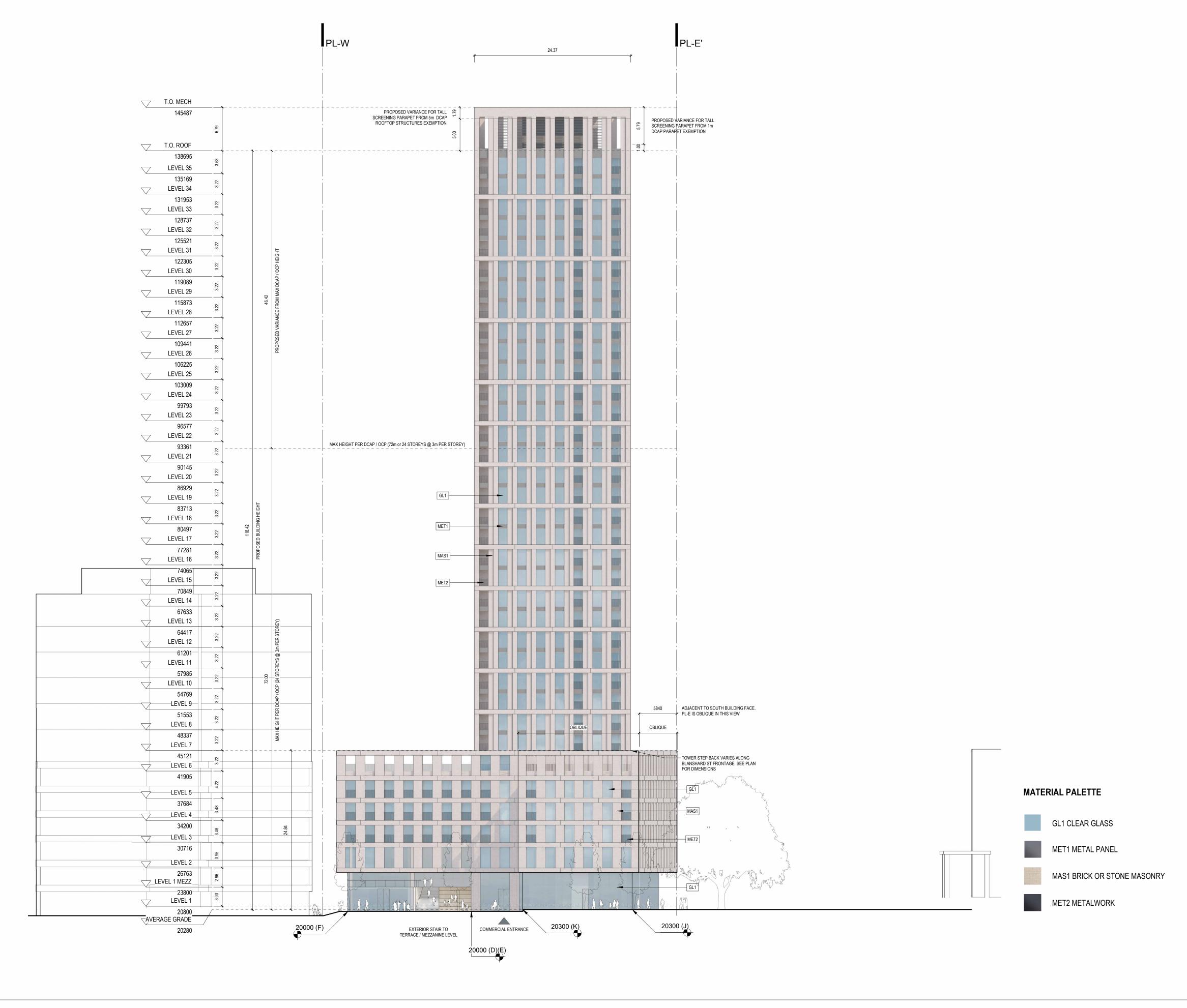




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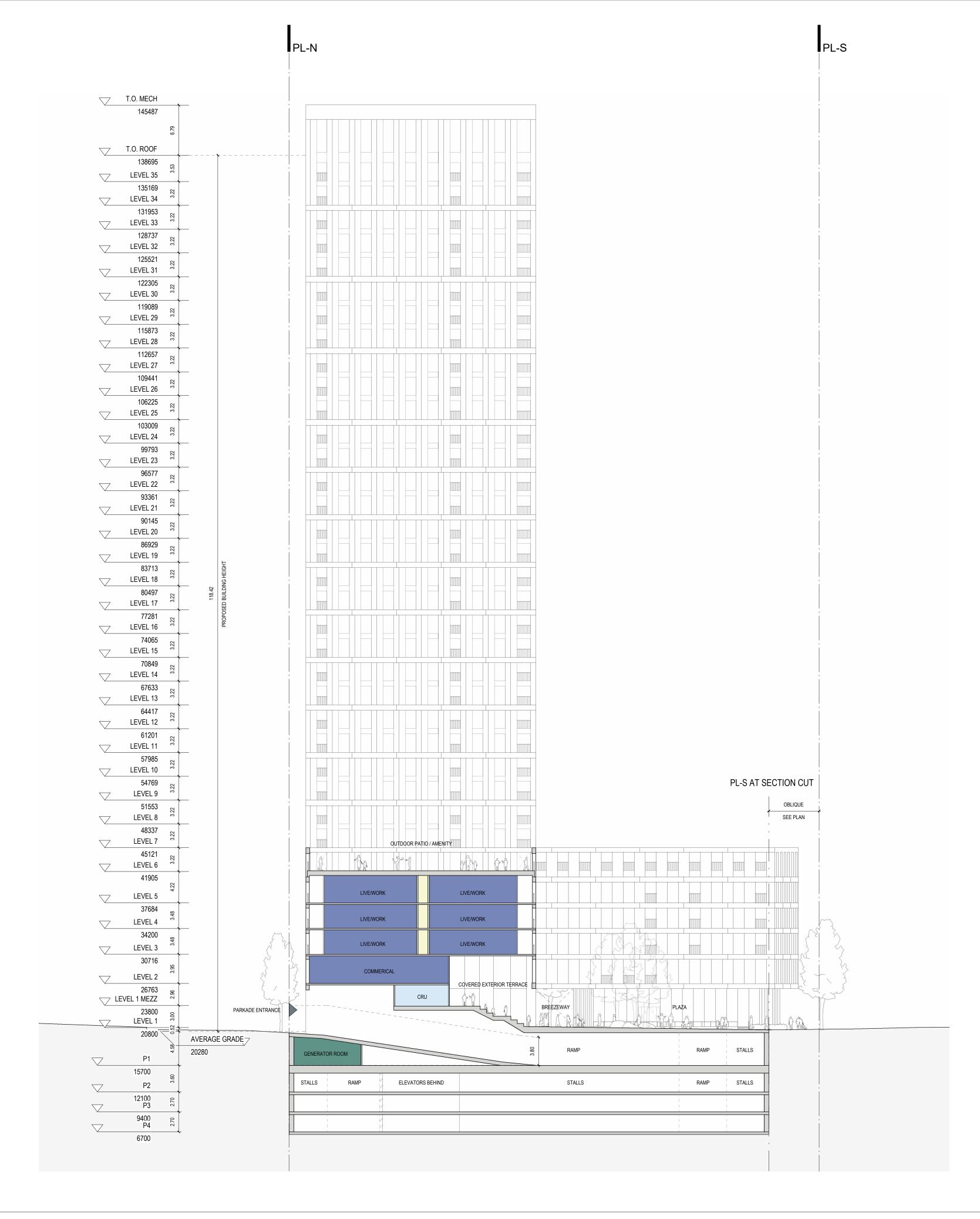


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using this drawing shall be responsible for verifying all existing dimensions and





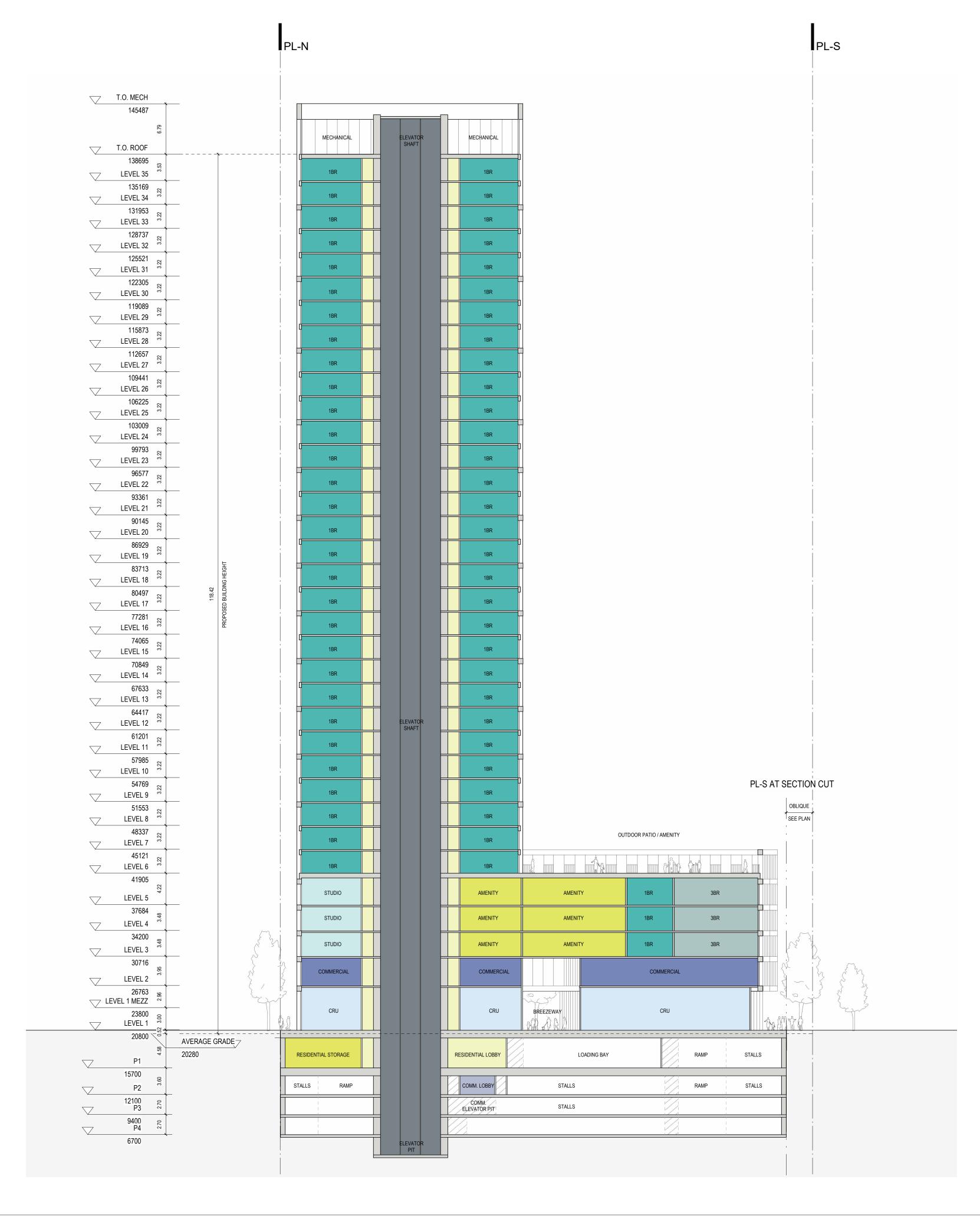
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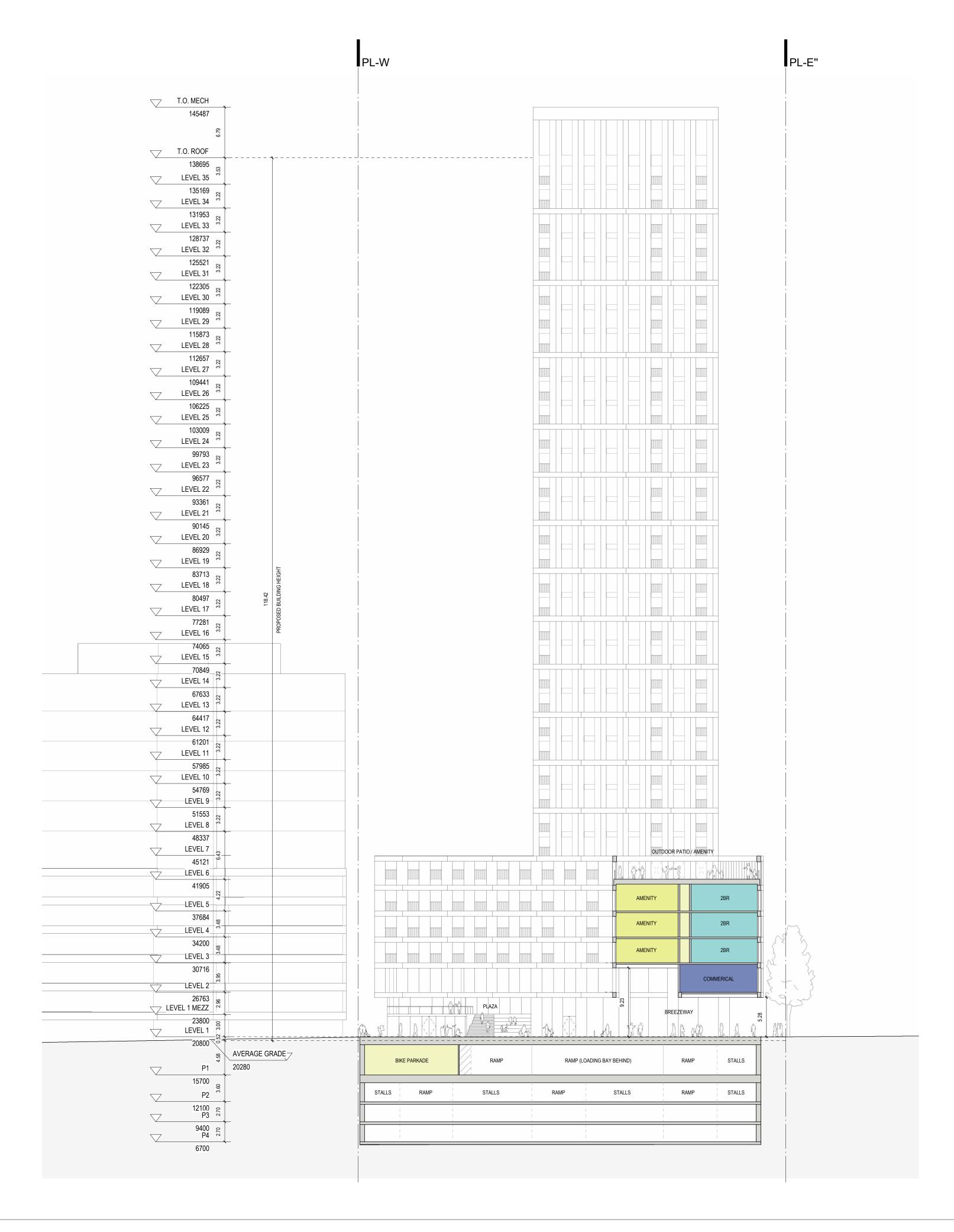


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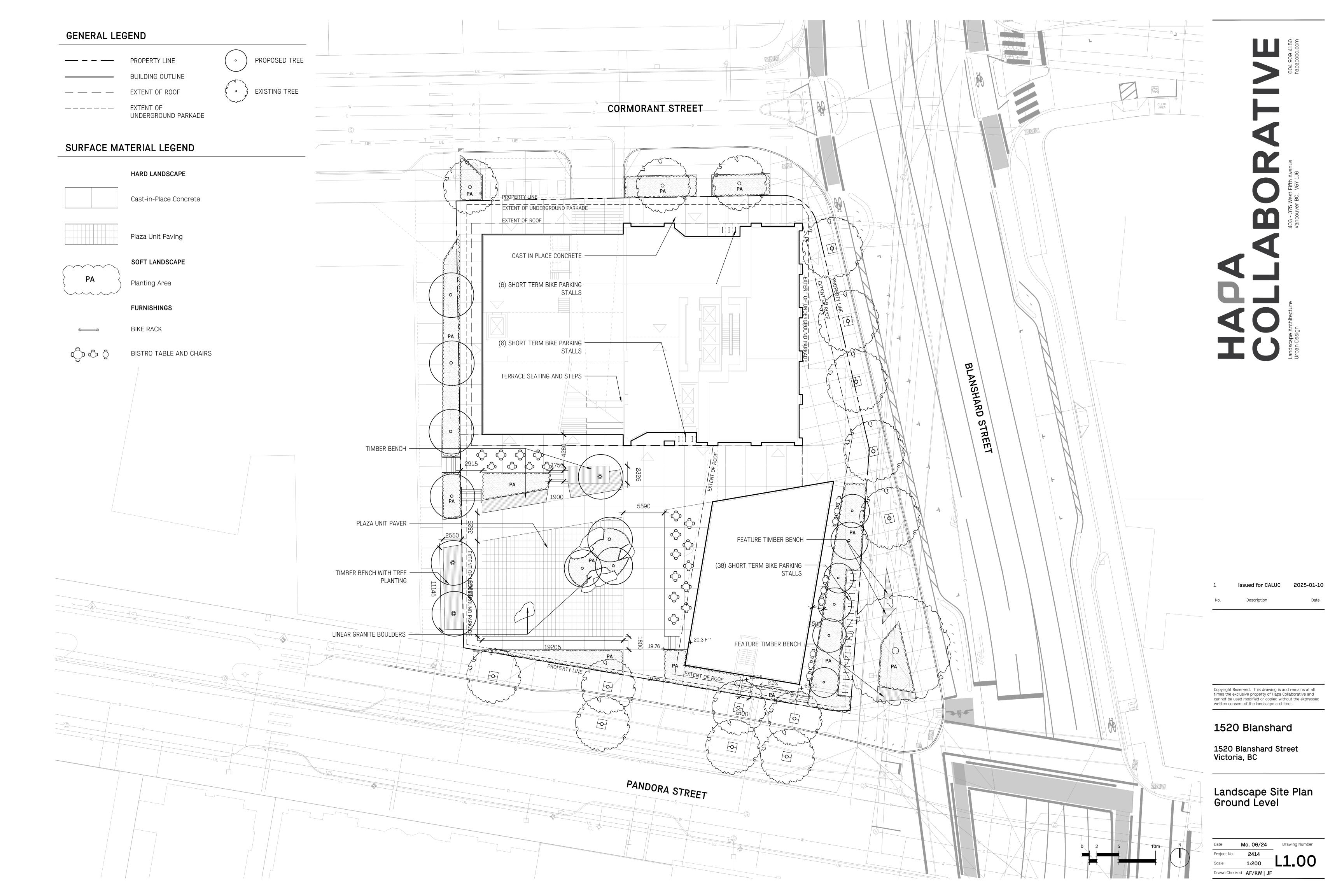


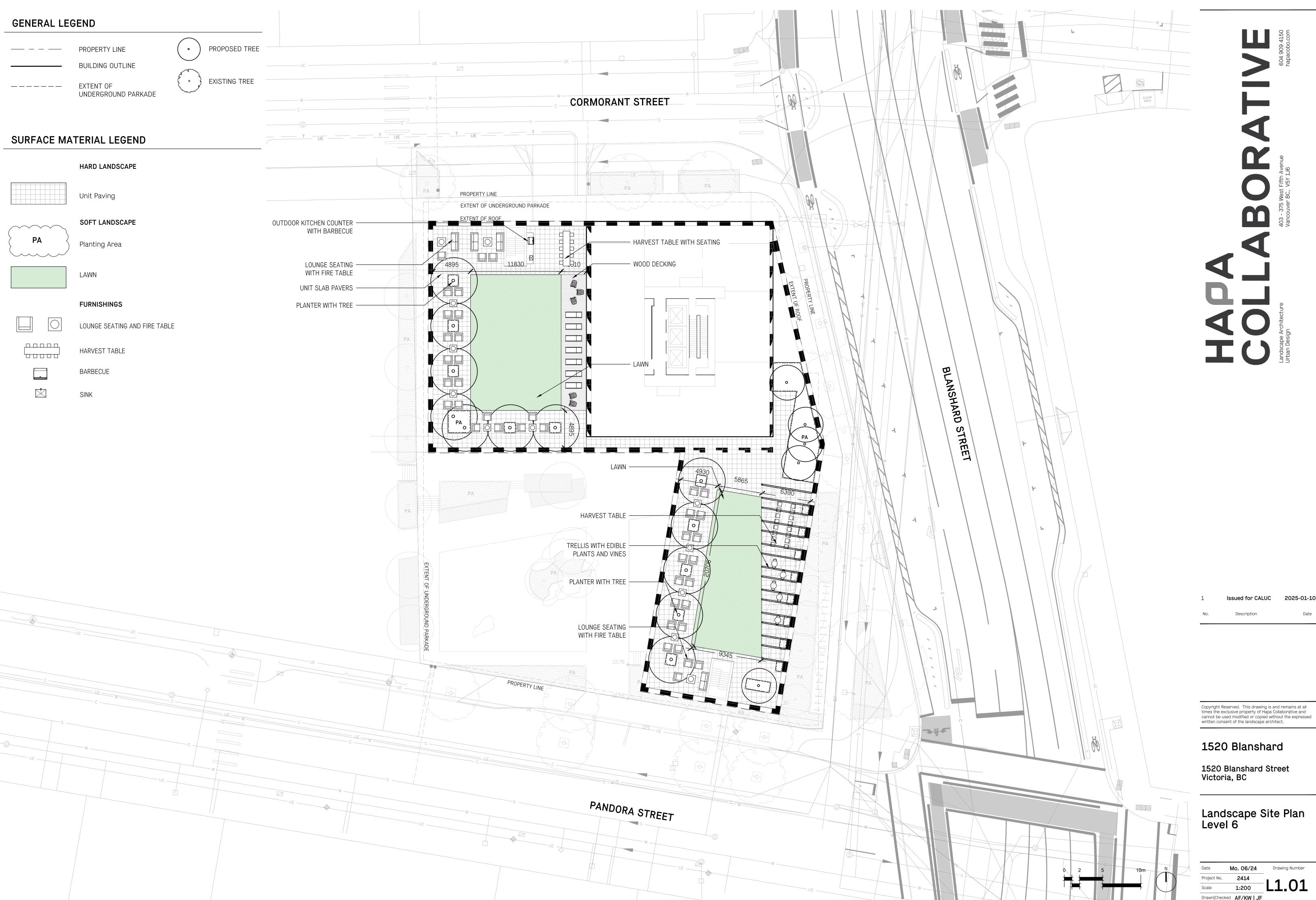
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1520 Blanshard

1520 Blanshard Street Victoria, BC

Landscape Site Plan Level 6

Mo. 06/24 Drawing Number 1:200 Drawn|Checked AF/KW | JF