



PROJECT DESCRIPTION

CIVIC ADDRESS:
1921, 1929, 1933 and 1935 ASHGROVE ST, 1900 RICHMOND RD

LEGAL DESCRIPTION:
 • PARCEL A (DD 82534) OF LOTS 39 AND 40 SECTION 76 VICTORIA DISTRICT PLAN 257
 • STRATA LOTS A AND B SECTION 76 VICTORIA DISTRICT STRATA PLAN VIS5007
 • PARCEL A (DD 411251) LOT 38 SECTION 76 VICTORIA DISTRICT PLAN 257
 • LOT 36 SECTION 76 VICTORIA DISTRICT PLAN 257

REGISTERED OWNER

Amica Oak Bay Inc.
3200-20 Queen Street
Toronto, ON
M5H 3R3
tel: 604-761-5939
email: drmilliken@millikendevelopments.com

ARCHITECT
de Hoog & Kierulf architects
977 Fort Street
Victoria, BC
V8V 3K3
Mr. Charles Kierulf Architect AIBC MRAIC
tel: 250-658-3367
fax: 250-658-3397
email: crk@dhk.ca

CIVIL ENGINEER
McElhanney
Suite 500, 3960 Quadra Street
Victoria BC
V8X 4A3
Mr. Colin Davis
tel: 250-370-9221
email: cdavis@mcelhanney.com

LANDSCAPE ARCHITECT
LADR
3-864 Queens Avenue
Victoria, B.C.
V8T 1M5
Mr. Chris Windjack
tel: 250-598-0105
email: cwindjack@ladr.ca

SITE INFORMATION BASED ON DRAWINGS PREPARED BY

Polaris Land Surveying
1834C Oak Bay Ave #138
Victoria, BC
V8R 0A4
File: 1332-06
Ms. Michelle Blake
tel: 250-412-3513

LIST OF DRAWINGS

Architectural
 A0.0 Cover Sheet
 A1.0 Project Data
 A1.1 ZONING DATA
 A2.0 Parkade Plan
 A2.1 Main Floor Plan
 A2.2 L2 to L4 Plan
 A2.3 L5 Plan
 A2.4 L6 PLAN
 A2.5 Roof Plan
 A3.0 Elevations
 A3.1 Street Context Elevations
 A3.2 Street Context Elevation (Birch)
 A3.3 Elevation Overlay PH1 on PH2
 A4.0 Building Sections
 A5.0 Model Views
 A5.1 Model Views
 A5.2 Model Views
 A5.3 Model Views
 A6.0 Shadow Study - Summer Solstice, Autumnal Equinox, Winter Solstice
 A7.0 Colour & Materials

Civil
22036-DP Conceptual Site Servicing Plan

Landscape
 L1 Landscape Concept Plan
 L2 Tree Management Plan

BUILDING CODE SUMMARY

REFERENCED DOCUMENT :
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

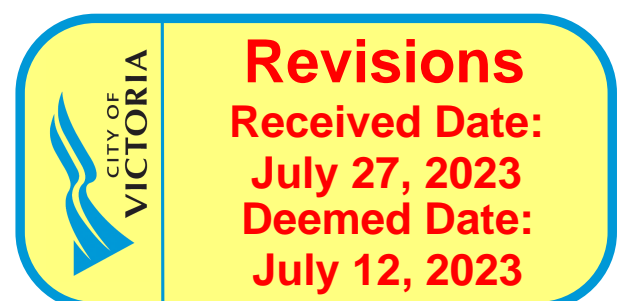
MAJOR OCCUPANCY CLASSIFICATION:
 • RESIDENTIAL - GROUP C
 • PARKADE - GROUP F3
 • EXISTING PH1 - GROUP B3

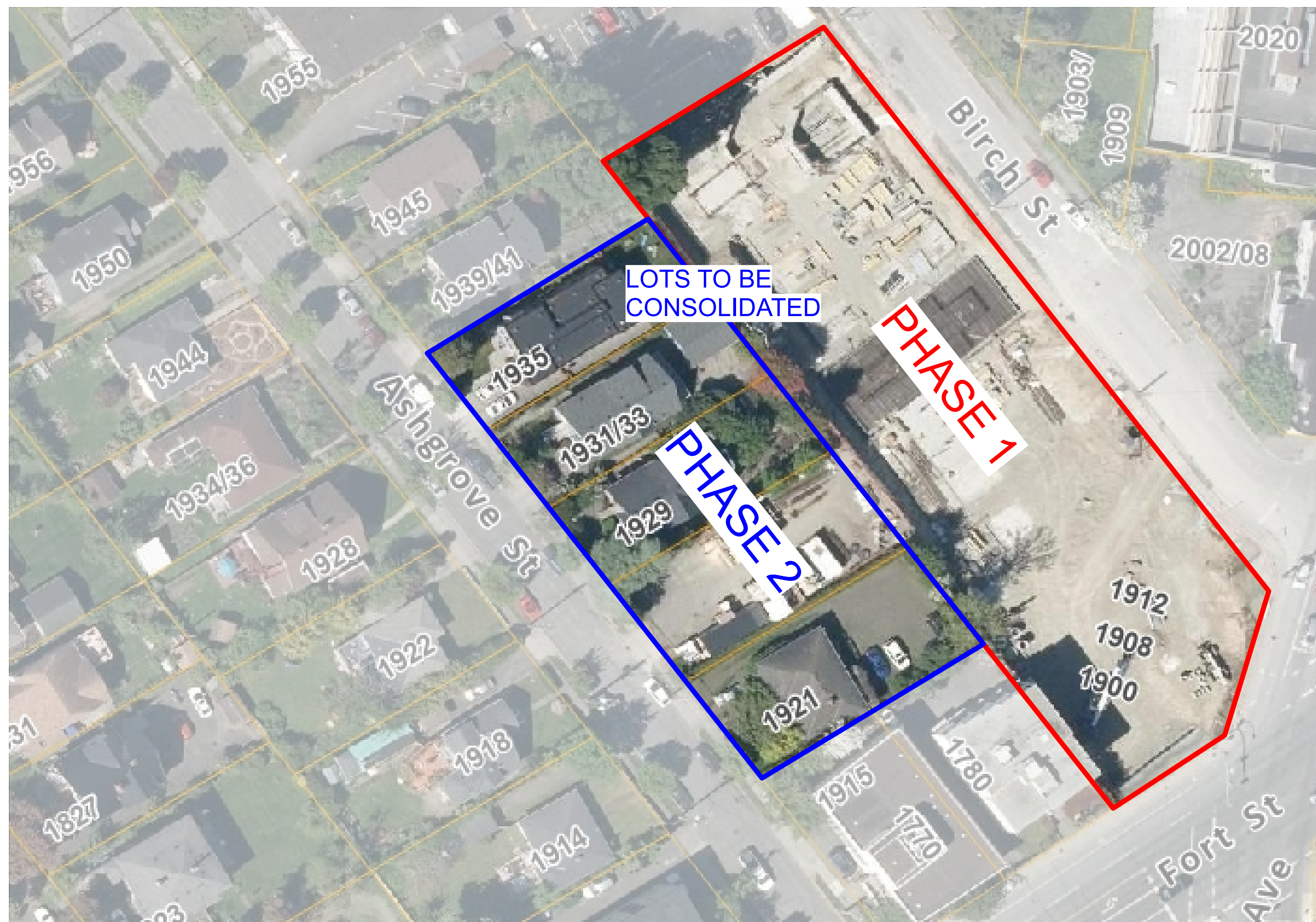
MAJOR OCCUPANCY FIRE SEPARATIONS:
 • C - B3 <-> F3 - 1 hr.

BUILDING AREA:
 • 1 135 m2 (PH2)

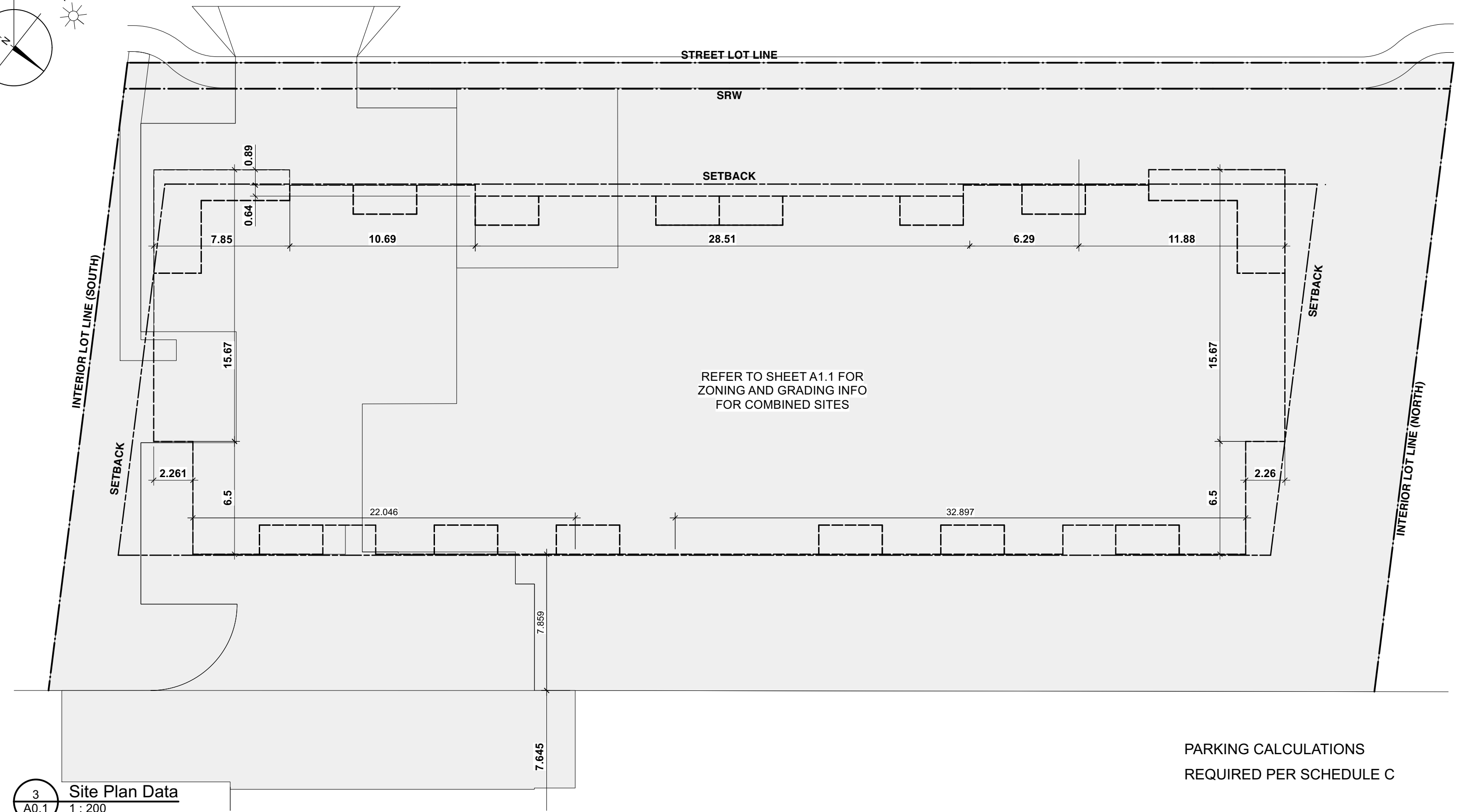
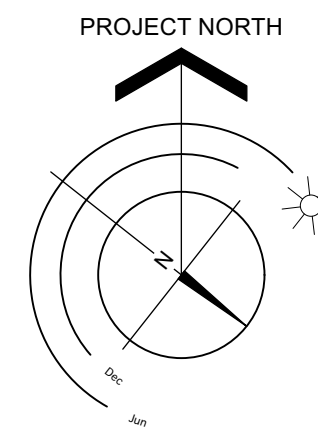
BUILDING HEIGHT:
 • 6 STOREYS

NUMBER OF STREETS FACING:
 • 1





1 Location Plan
 A0.1 1:500



3 Site Plan Data
 A0.1 1:200

PARKING CALCULATIONS
 REQUIRED PER SCHEDULE C

CLASS : ASSISTED LIVING FACILITY

| PROJECT INFORMATION TABLE | PHASE 2 | PHASE 1 EXISTING | COMBINED SITES |
|---------------------------------------|------------------|------------------|---------------------|
| ZONE (EXISTING) | R3-2, R1-B, C1-R | C1-R | |
| PROPOSED ZONE | | | NEW ZONE |
| SITE AREA (M2) | 2,769 m2 | 4,065 m2 | 6834.0 m2 |
| TOTAL FLOOR AREA INCL COMMERCIAL (M2) | 6,585 m2 | 10,771 m2 | 17,356 m2 |
| COMMERCIAL FLOOR AREA (M2) | | 170 m2 | 170 m2 |
| FLOOR SPACE RATIO | 2.38 | 2.65 | 2.54 |
| SITE COVERAGE (%) | 48.6 % | 54.4 % | 53.3 % |
| OPEN SITE SPACE (%) | 40.9 % | 37.1 % | 36.2 % |
| HEIGHT OF BUILDING (M) | 26.58 m | 20.6 m | 26.58 m |
| NUMBER OF STOREYS | 6 | 5 | 6 |
| PARKING STALLS (NUMBER) ON SITE | 55 | 47 | 101 (15 ACCESSIBLE) |
| BICYCLE PARKING NUMBER | CLASS 1 5 | 8 | 13 |
| | CLASS 2 6 | 2 | 8 |

PHASE 2 - 88 SUITES
 PHASE 1 - 125 SUITES
 TOTAL - 213 SUITES

VEHICLES - 213 X 0.35 = 74.55
 VISITORS - 213 X 0.1 = 21.30
 RETAIL PH1 PER 50m2 = 3.40
 TOTAL = 99.25
 NEAREST WHOLE = 99 STALLS

BICYCLES
 LONG-TERM :
 213 @ 1 PER 20 = 10.65
 = 11

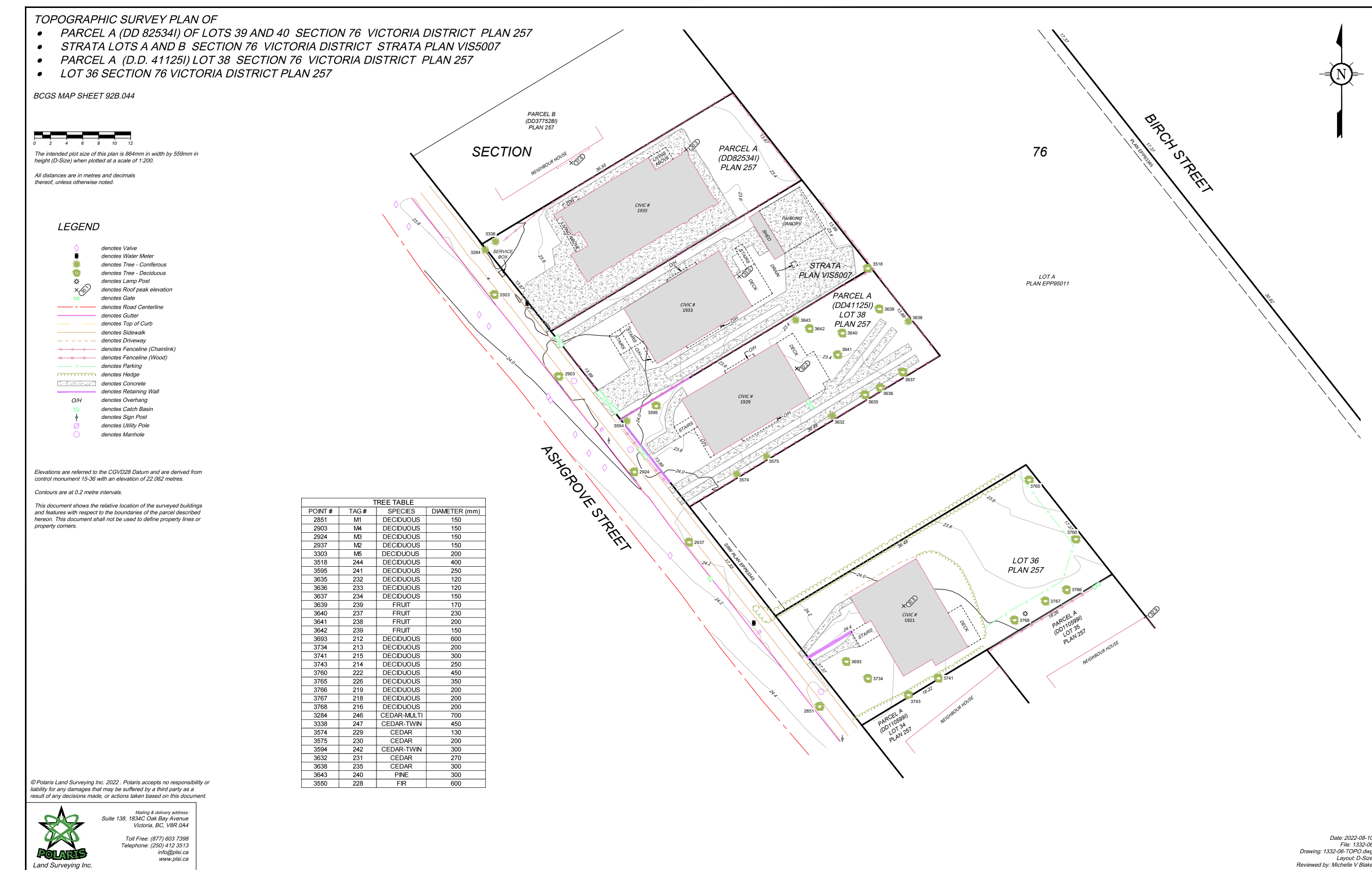
SHORT-TERM
 213 @ 1 PER 50 = 4.26
 = 4

| BUILDING SETBACKS (M) | |
|-----------------------|----------------------|
| STREET LOT LINE | 7.05 m Project WEST |
| INTERIOR LOT LINE | 5.63 m Project NORTH |
| INTERIOR LOT LINE | 4.27 m Project SOUTH |

| RESIDENTIAL USE DETAILS | |
|-----------------------------------|-----------------------------------------------|
| TOTAL NUMBER OF UNITS | 88 |
| UNIT TYPE, E.G., 1 BEDROOM | Studio, 1-Bedroom, 1-Bedroom + Den, 2-Bedroom |
| GROUND-ORIENTATED UNITS | 8 |
| MINIMUM UNIT FLOOR AREA (M2) | 43.4 m2 |
| TOTAL RESIDENTIAL FLOOR AREA (M2) | 5,165.9 m2 |

EV CHARGING:
 1 PER VEHICLE SPACE = 43 STALLS
 (PHASE 2 NEW CONSTRUCTION ONLY)

ACCESSIBLE PARKING :
 75 VEHICLES @ 15% = 11.25 = 11 R
 (9 REG + 2 VAN)
 21 VEHICLES @ 15% = 3.15 = 3 V
 (2 VISITOR AND 1 VISITOR VAN)
 TOTAL VEHICLE UA REQ'D = 11
 (9 REG + 2 VISITOR)
 TOTAL VAN UA REQ'D = 3
 (2 REG + 1 VISITOR)
 TOTAL REQUIRED = 14
 TOTAL PROVIDED = 15

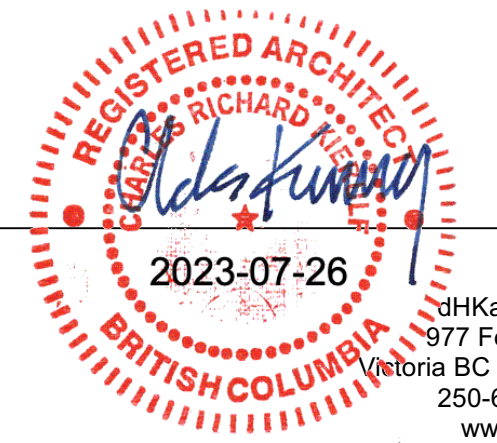


2 Survey Plan
 A0.1 1:500

BUILDING AREA SUMMARY
 REFER TO A1.1 PLAN

AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
 Project Data

RE-ISSUED FOR REZONING & DP : 26 JULY 2023



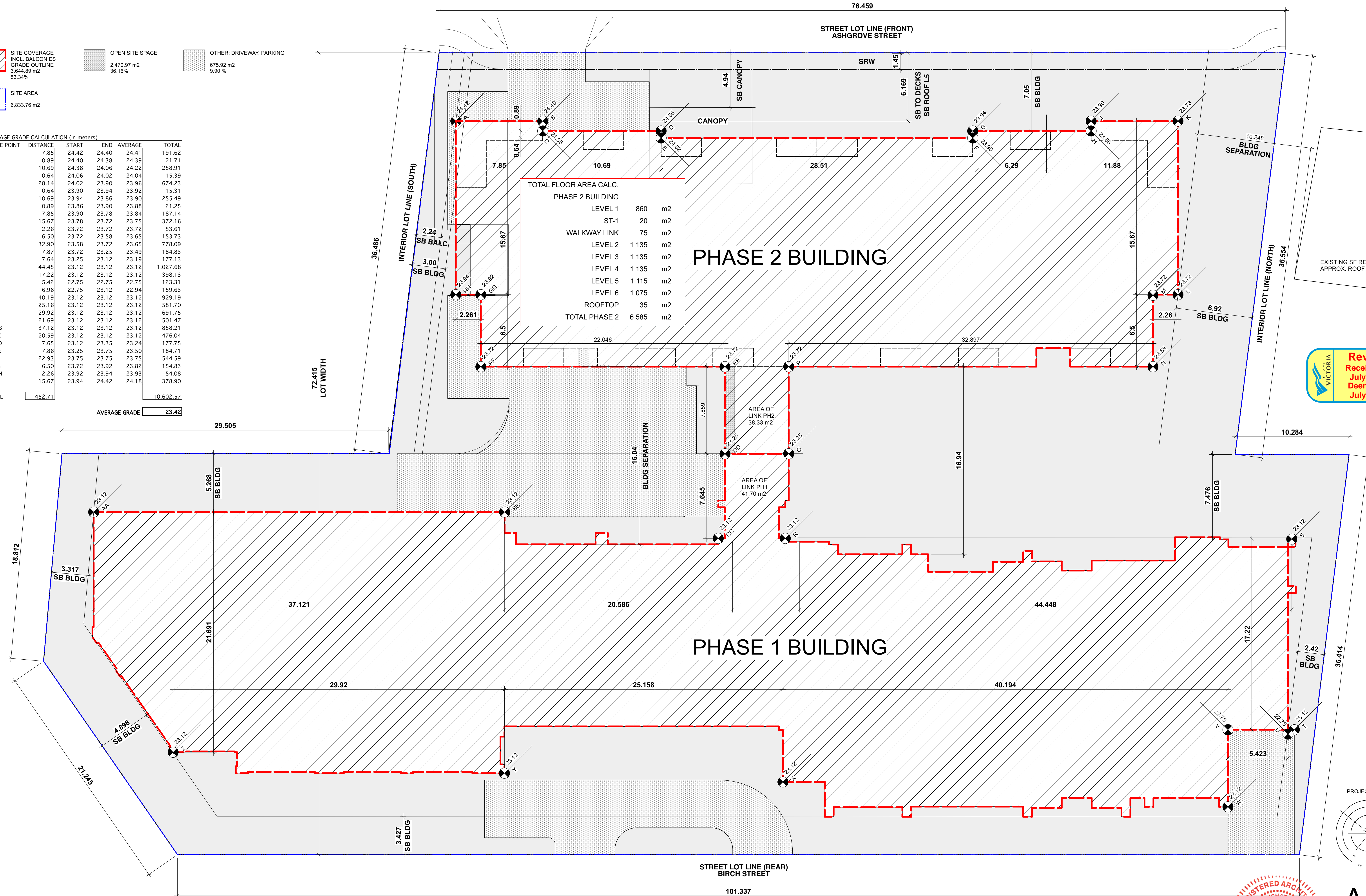
A1.0

| | |
|--|----------------------------------------------------------------------------------------|
| | SITE COVERAGE INCL. BALCONIES GRADE OUTLINE 3,644.89 m ² 53.34% |
| | OPEN SITE SPACE 2,470.97 m ² 36.16% |
| | OTHER: DRIVEWAY, PARKING 675.92 m ² 9.90% |
| | SITE AREA 6,833.76 m ² |

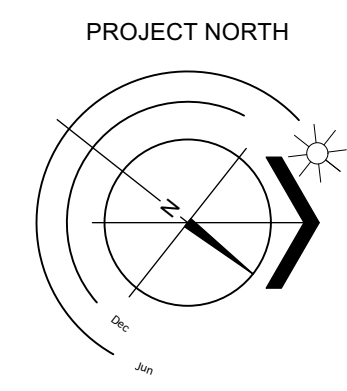
| AVERAGE GRADE CALCULATION (in meters) | | | | | |
|---------------------------------------|----------|-------|-------|---------|-----------|
| GRADE POINT | DISTANCE | START | END | AVERAGE | TOTAL |
| A-B | 7.85 | 24.42 | 24.40 | 24.41 | 191.62 |
| B-C | 0.89 | 24.40 | 24.38 | 24.39 | 21.71 |
| C-D | 10.69 | 24.38 | 24.06 | 24.22 | 258.91 |
| D-E | 0.64 | 24.06 | 24.02 | 24.04 | 15.39 |
| E-F | 28.14 | 24.02 | 23.90 | 23.96 | 674.23 |
| F-G | 0.64 | 23.90 | 23.94 | 23.92 | 15.31 |
| G-H | 10.69 | 23.94 | 23.86 | 23.90 | 255.49 |
| H-J | 0.89 | 23.86 | 23.90 | 23.88 | 21.25 |
| J-K | 7.85 | 23.90 | 23.78 | 23.84 | 187.14 |
| K-L | 15.67 | 23.78 | 23.72 | 23.75 | 372.16 |
| L-M | 2.26 | 23.72 | 23.72 | 23.72 | 53.61 |
| M-N | 6.50 | 23.72 | 23.58 | 23.65 | 153.73 |
| N-P | 32.90 | 23.58 | 23.72 | 23.65 | 778.09 |
| P-Q | 7.87 | 23.72 | 23.25 | 23.49 | 184.83 |
| Q-R | 7.64 | 23.25 | 23.12 | 23.19 | 177.13 |
| R-S | 44.45 | 23.12 | 23.12 | 23.12 | 1,027.68 |
| S-T | 17.22 | 23.12 | 23.12 | 23.12 | 398.13 |
| U-V | 5.42 | 22.75 | 22.75 | 22.75 | 123.31 |
| V-W | 6.96 | 22.75 | 23.12 | 22.94 | 159.63 |
| W-X | 40.19 | 23.12 | 23.12 | 23.12 | 929.19 |
| X-Y | 25.16 | 23.12 | 23.12 | 23.12 | 581.70 |
| Y-Z | 29.92 | 23.12 | 23.12 | 23.12 | 691.75 |
| Z-AA | 21.69 | 23.12 | 23.12 | 23.12 | 501.47 |
| AA-BB | 37.12 | 23.12 | 23.12 | 23.12 | 858.21 |
| BB-CC | 20.59 | 23.12 | 23.12 | 23.12 | 476.04 |
| CC-DD | 7.65 | 23.12 | 23.35 | 23.24 | 177.75 |
| DD-EE | 7.86 | 23.25 | 23.75 | 23.50 | 184.71 |
| EE-FF | 22.93 | 23.75 | 23.75 | 23.75 | 544.59 |
| FF-GG | 6.50 | 23.72 | 23.92 | 23.82 | 154.83 |
| GG-HH | 2.26 | 23.92 | 23.94 | 23.93 | 54.08 |
| HH-A | 15.67 | 23.94 | 24.42 | 24.18 | 378.90 |
| TOTAL | 452.71 | | | | 10,602.57 |

AVERAGE GRADE 23.42

| TOTAL FLOOR AREA CALC. | | |
|------------------------|-------|----------------|
| PHASE 2 BUILDING | | |
| LEVEL 1 | 860 | m ² |
| ST-1 | 20 | m ² |
| WALKWAY LINK | 75 | m ² |
| LEVEL 2 | 1 135 | m ² |
| LEVEL 3 | 1 135 | m ² |
| LEVEL 4 | 1 135 | m ² |
| LEVEL 5 | 1 115 | m ² |
| LEVEL 6 | 1 075 | m ² |
| ROOFTOP | 35 | m ² |
| TOTAL PHASE 2 | 6 585 | m ² |



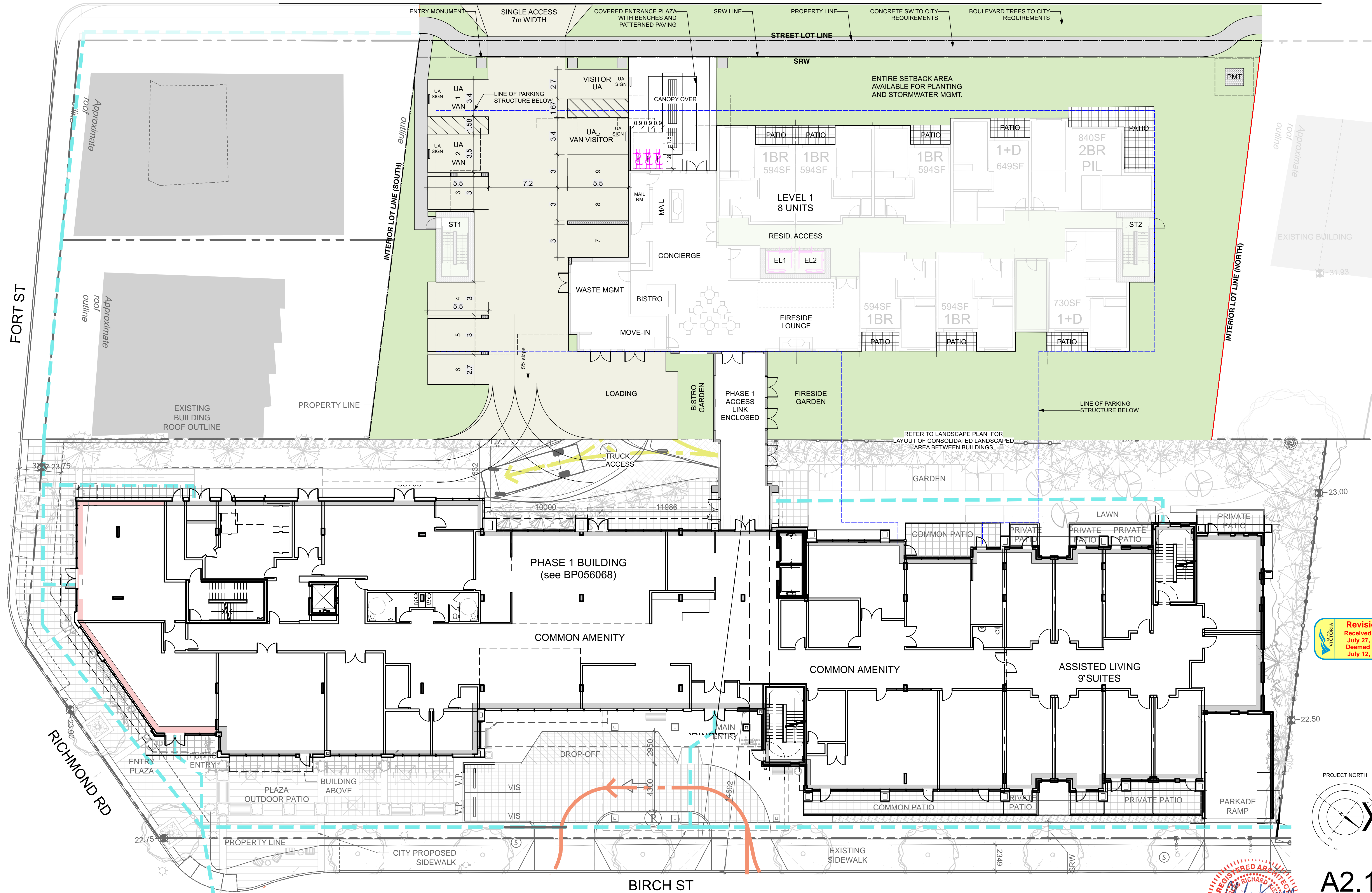
Revisions
 Received Date: July 27, 2023
 Deemed Date: July 12, 2023



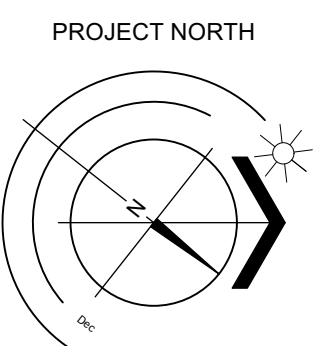
A1.1

ASHGROVE ST

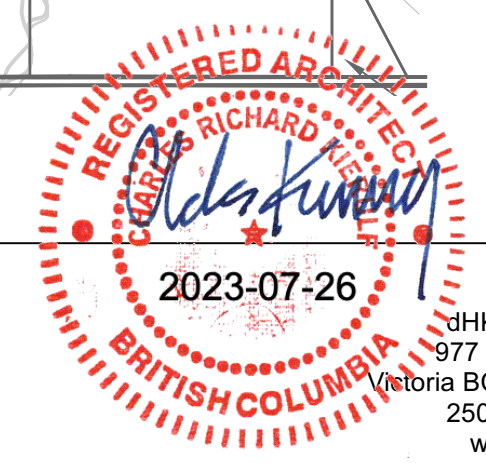
FORT ST

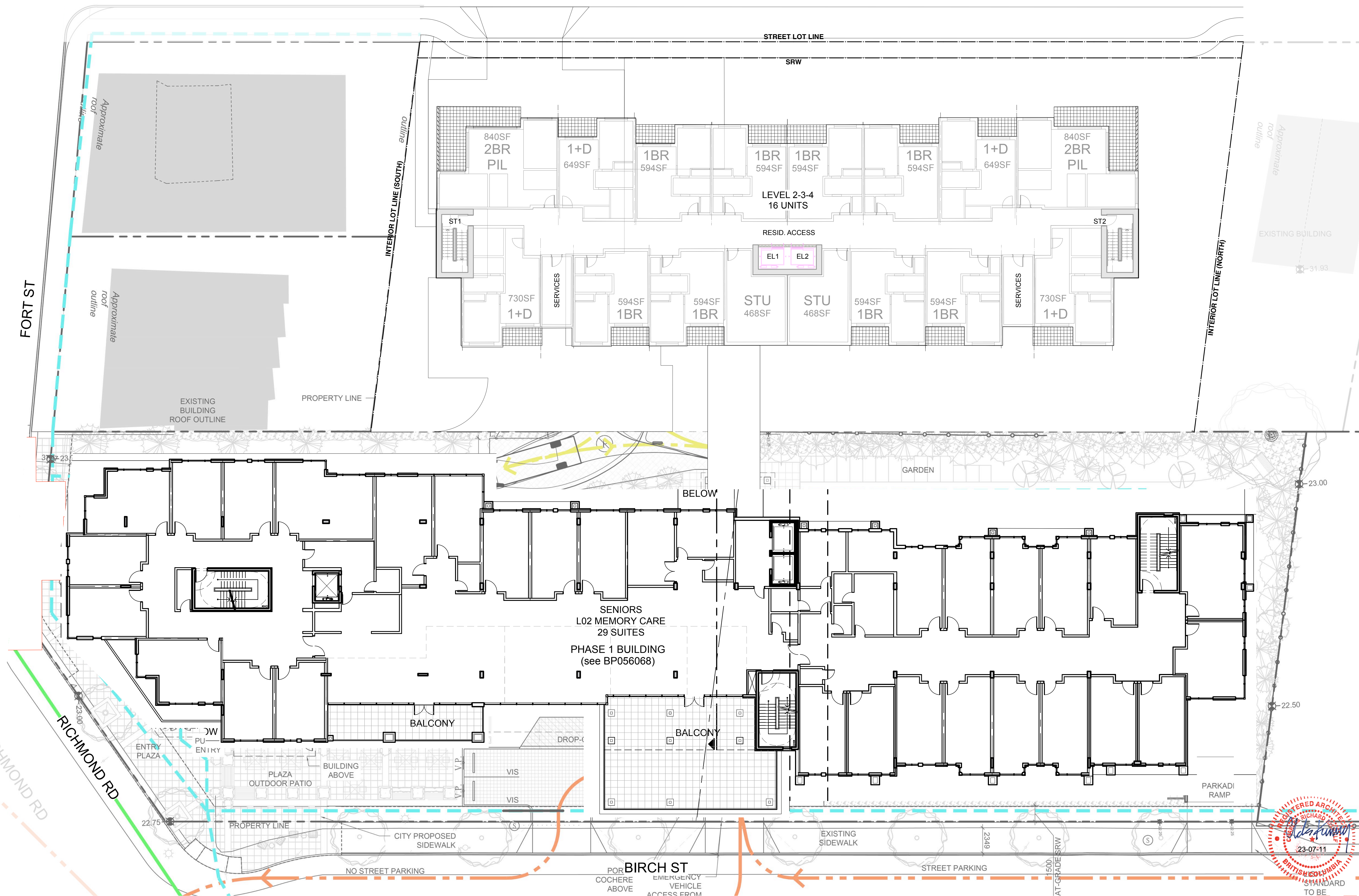


Revisions
 Received Date: July 27, 2023
 Deemed Date: July 12, 2023



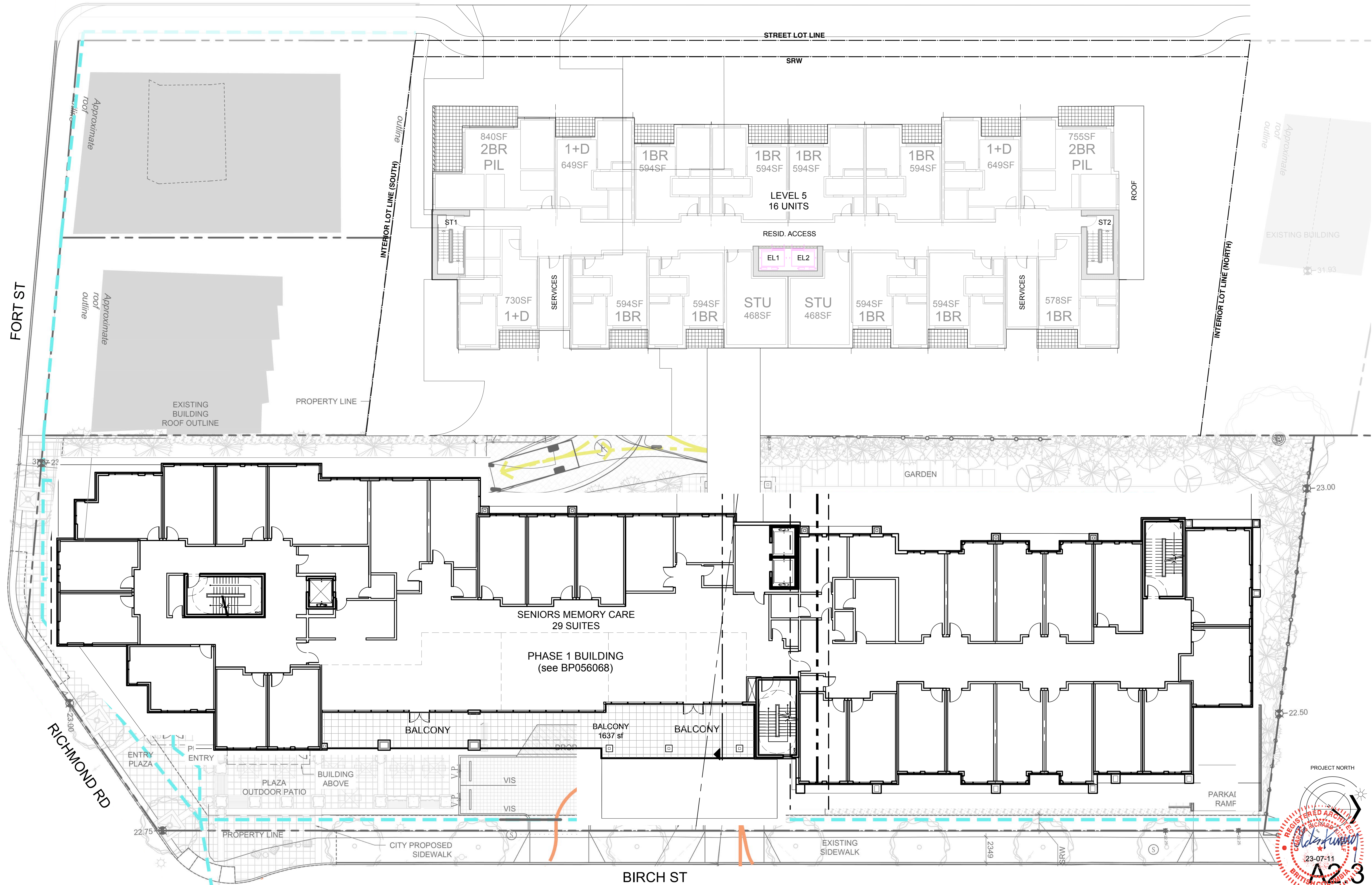
A2.1





AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
L2 to L4 Plan

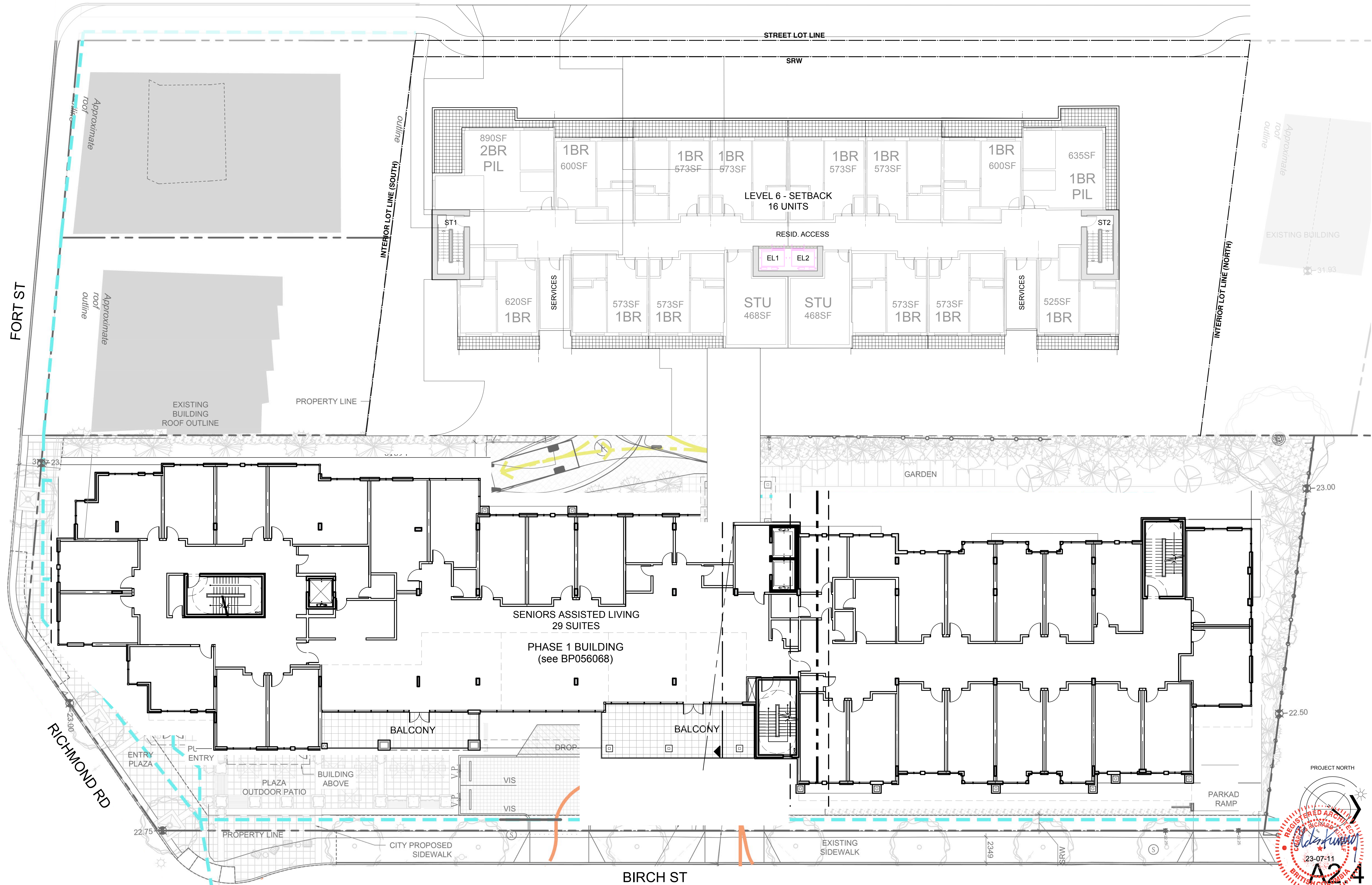
RE-ISSUED FOR REZONING & DP : 11 JULY 2023



AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
L5 Plan

RE-ISSUED FOR REZONING & DP : 11 JULY 2023





AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
L6 Plan

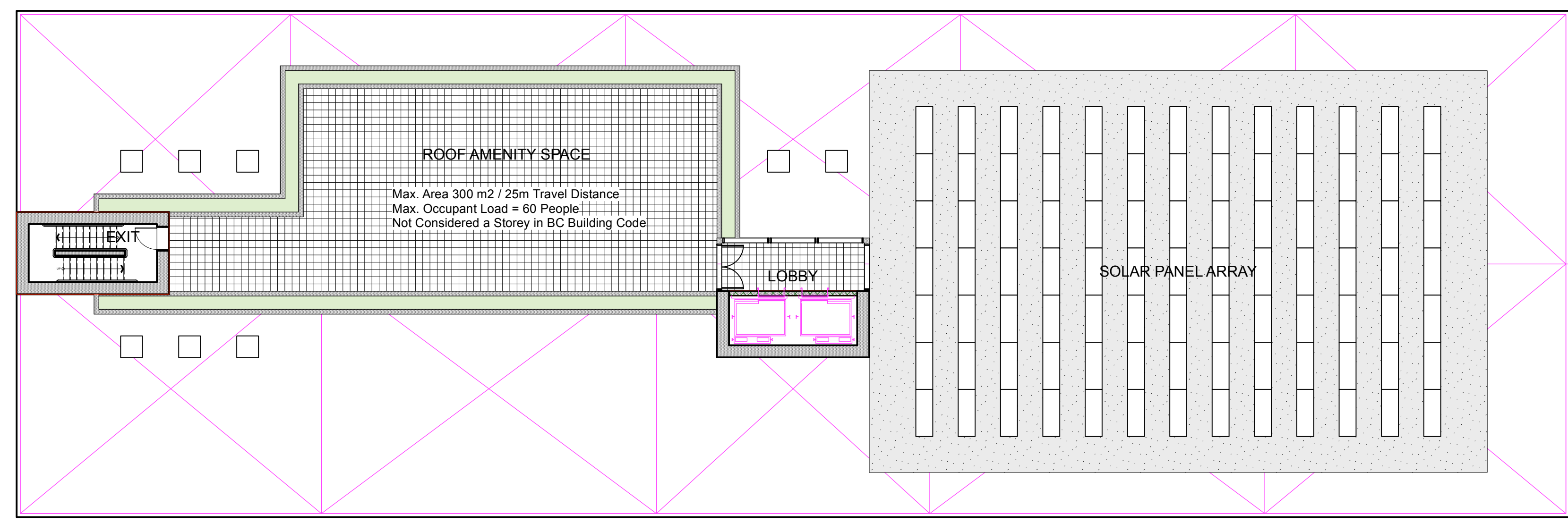
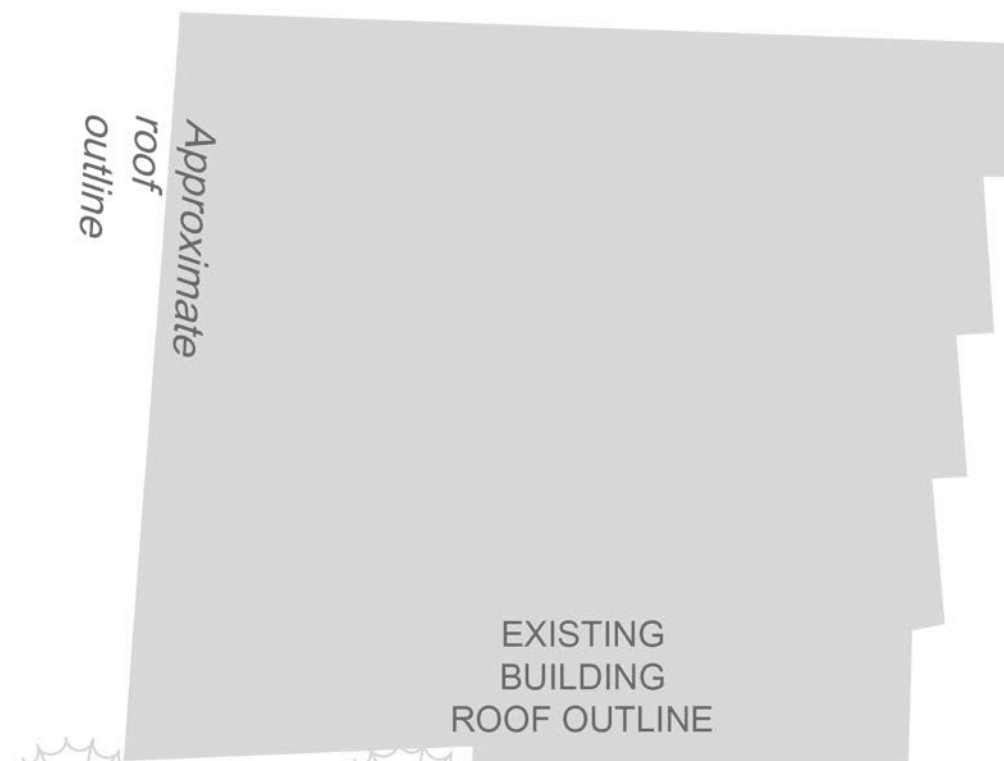
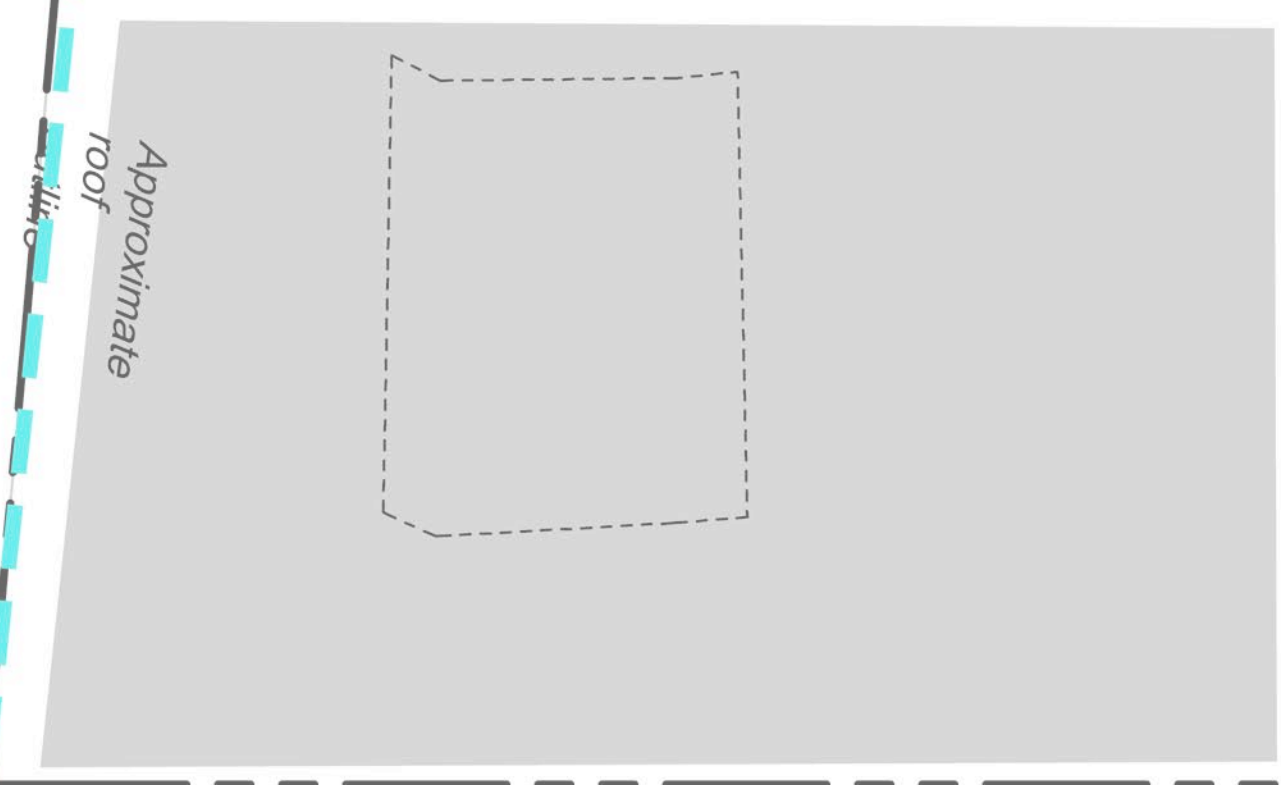
RE-ISSUED FOR REZONING & DP : 11 JULY 2023

STREET LOT LINE

SRW

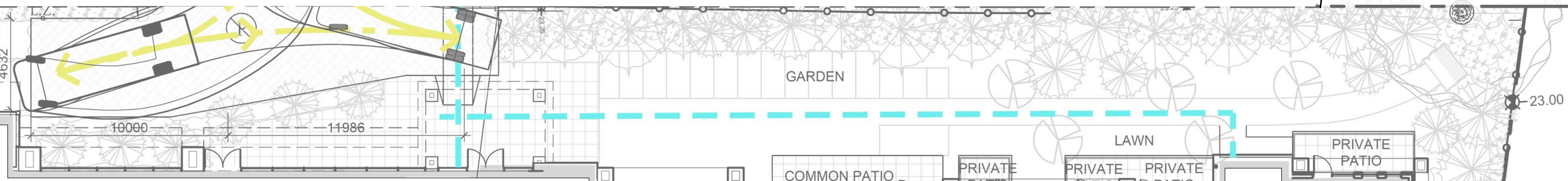
INTERIOR LOT LINE (SOUTH)

INTERIOR LOT LINE (NORTH)

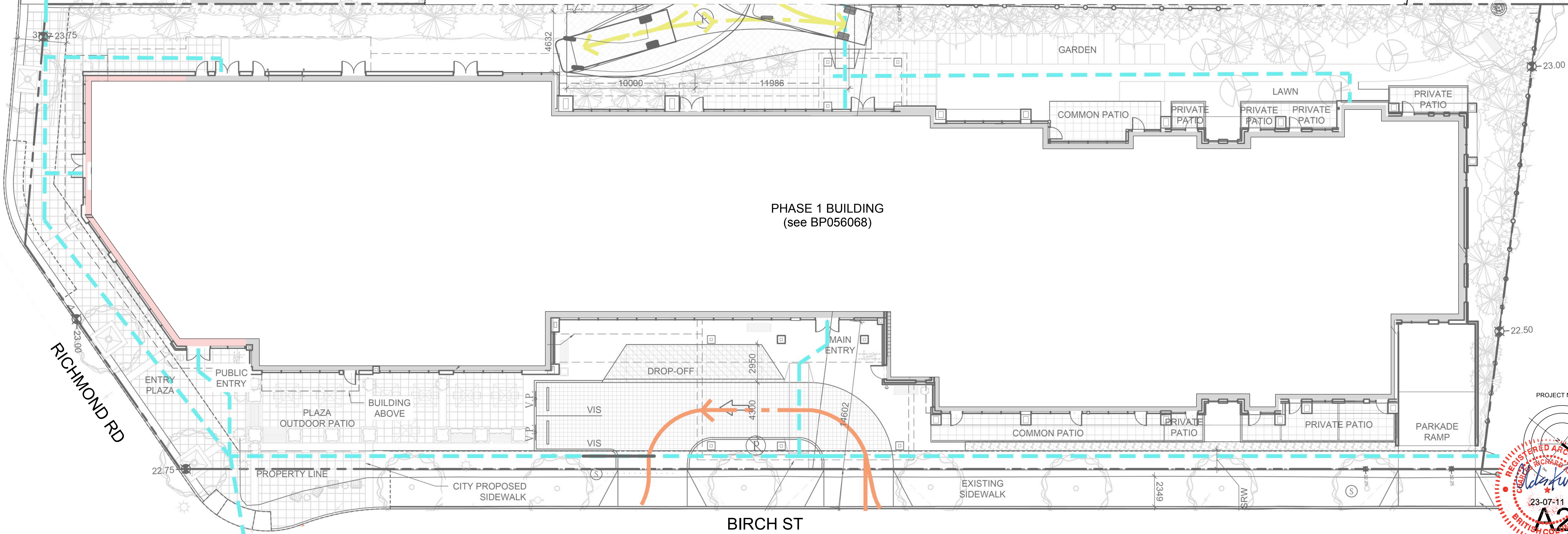


PROPERTY LINE

EXISTING BUILDING ROOF OUTLINE



PHASE 1 BUILDING (see BP056068)



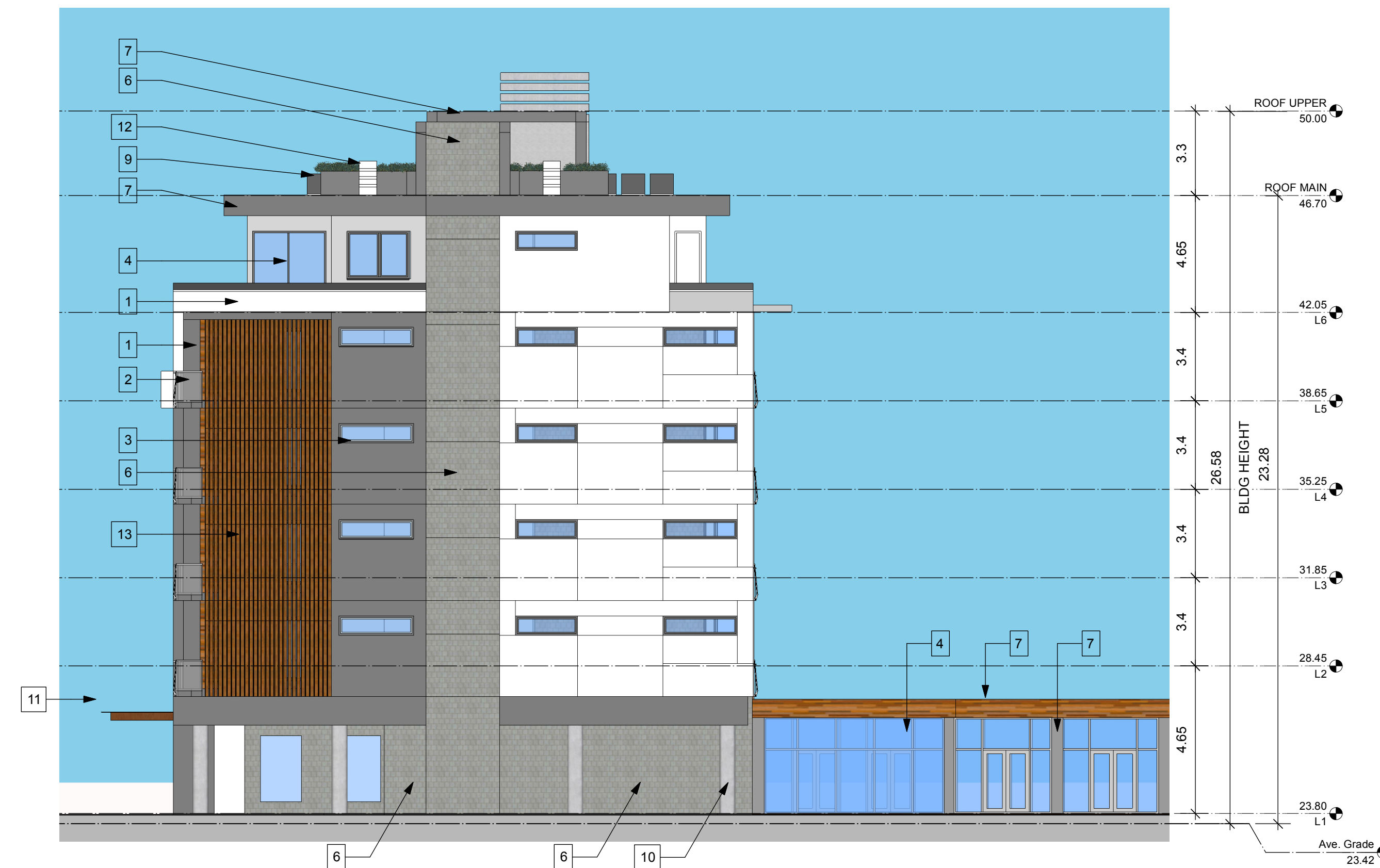
PROJECT NORTH





WEST ELEVATION

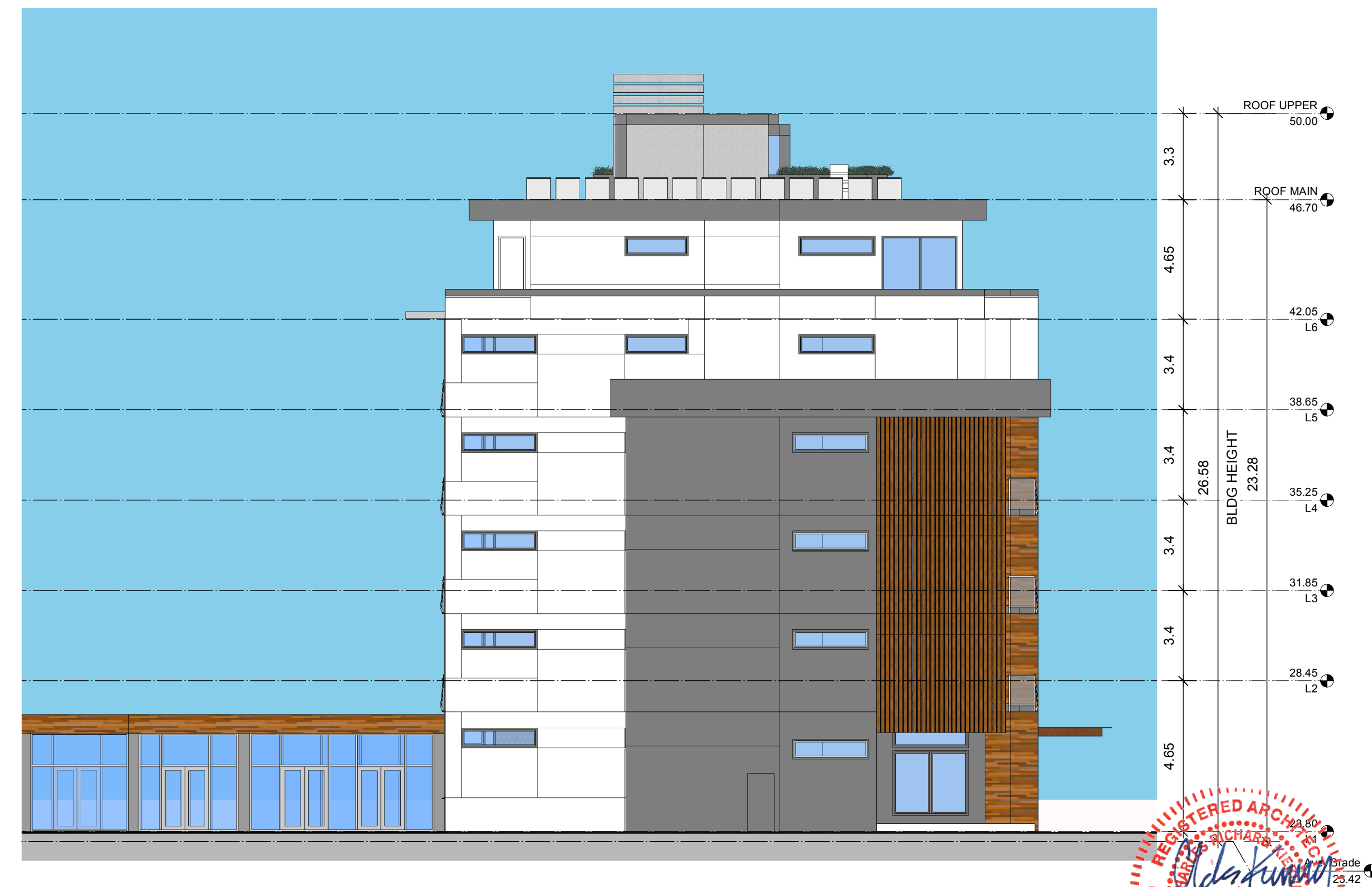
- MATERIALS KEY :
1. Cementitious Panel Siding - various colours - with colour-matched trims.
 2. Aluminum and Glass guard.
 3. High-Performance Vinyl windows with coloured frames.
 4. High-Performance aluminum and glass window-wall system.
 5. Metal siding with printed wood grain pattern.
 6. Smooth face masonry cladding.
 7. Prefinished metal cladding.
 8. Rooftop solar PV array.
 9. Rooftop amenity area with planters.
 10. Concrete column.
 11. Steel and glass canopy.
 12. Rooftop beekeeping hives.
 13. Louvre Screen Wall



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION





1760 Fort

1914

1918

1922

1928

1934-1936

1944

STREET CONTEXT ELEVATION - ASHGROVE STREET LOOKING WEST



STREET CONTEXT ELEVATION - ASHGROVE STREET LOOKING EAST





Street Context Elevation - Birch Street - Phase 2 in background
(Phase 1 and context masked 60%)

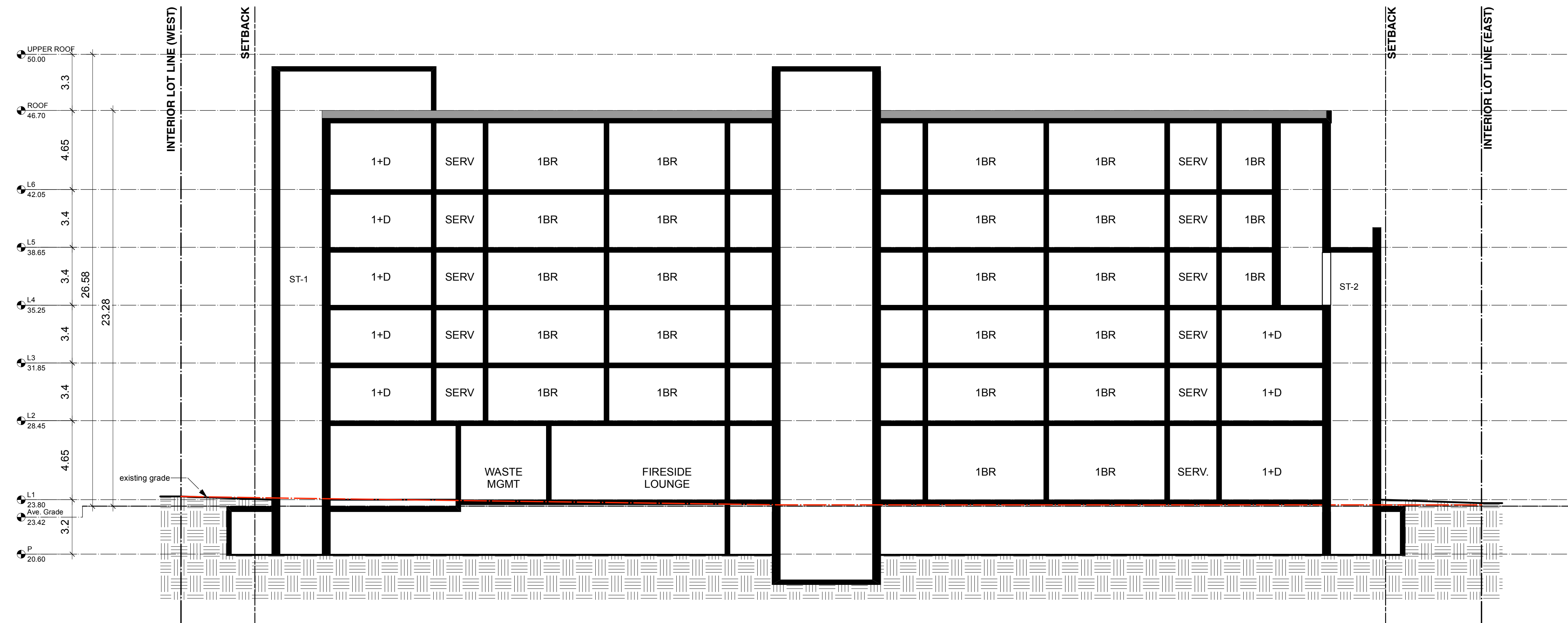




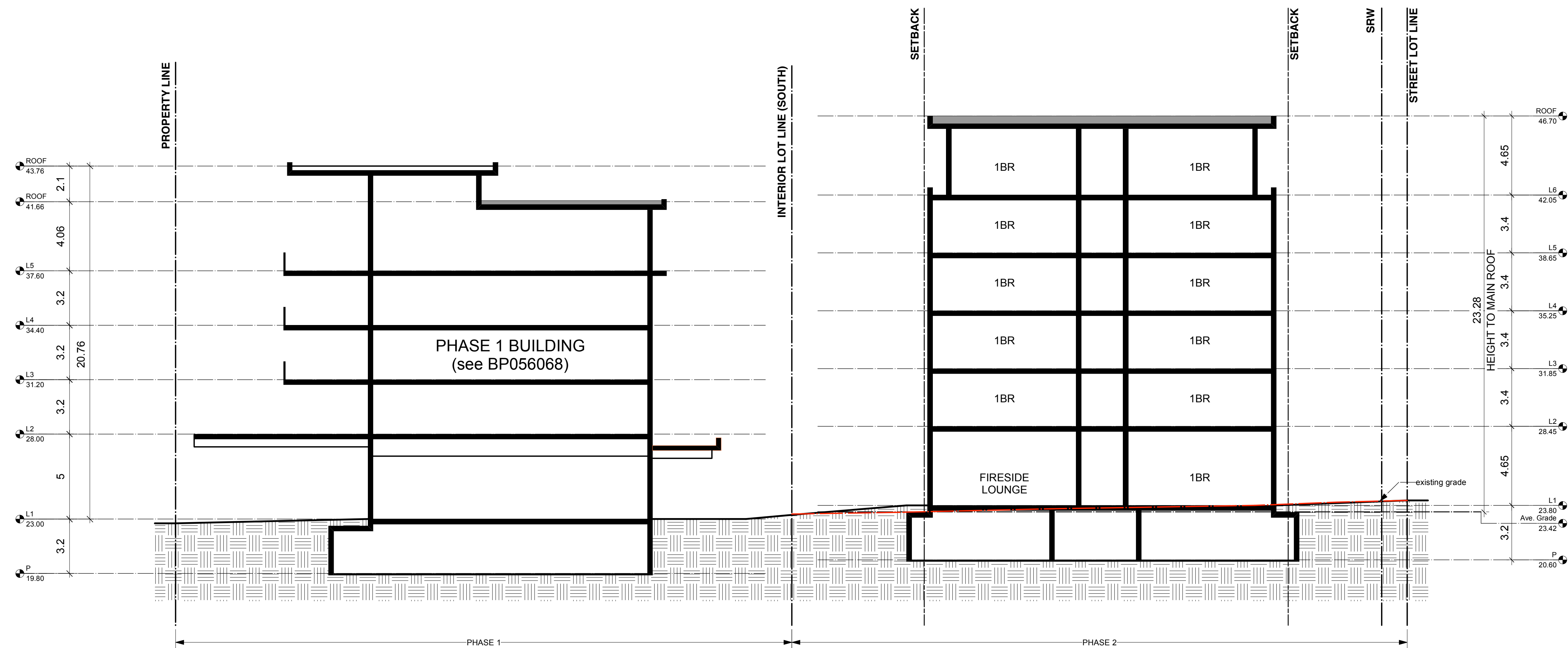
EAST ELEVATION WITH PHASE 1 WINDOW OPENINGS OVERLAID

AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
Elevation OVERLAY PH1 WINDOWS on PH2

RE-ISSUED FOR REZONING & DP : 11 JULY 2023



SECTION WEST - EAST



SECTION SOUTH - NORTH

AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
Building Sections

RE-ISSUED FOR REZONING & DP : 11 JULY 2023





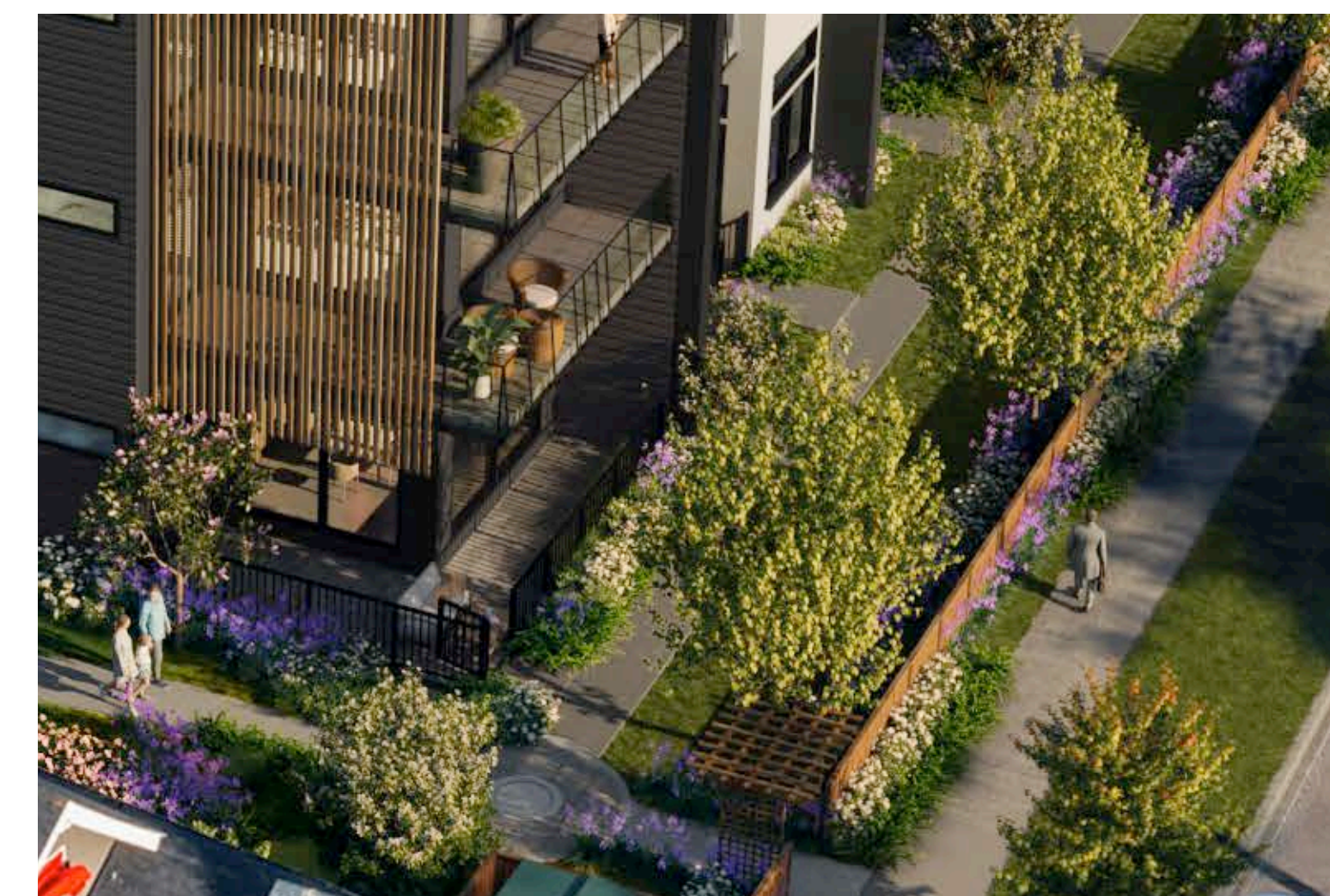
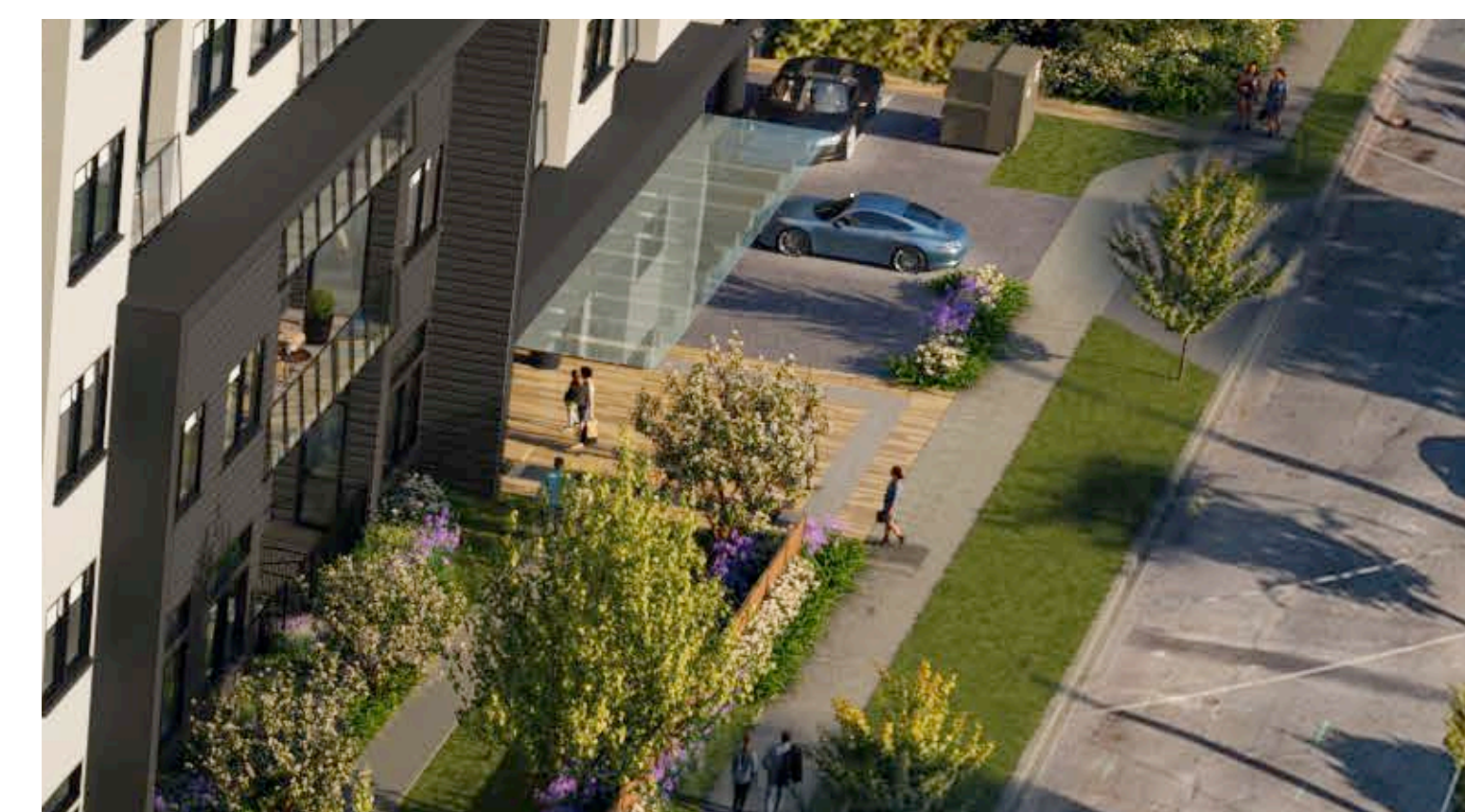
Aerial View - Looking West from Richmond Road
Phase 1 in Foreground



Aerial View - Looking South West from Richmond Road
Phase 1 in Foreground



Aerial View - Looking South East from Ashgrove Street
Phase 1 in Background





Street View - Looking North from Richmond Street

Phase 1 on the right ; Commercial Buildings in the foreground on Fort Street





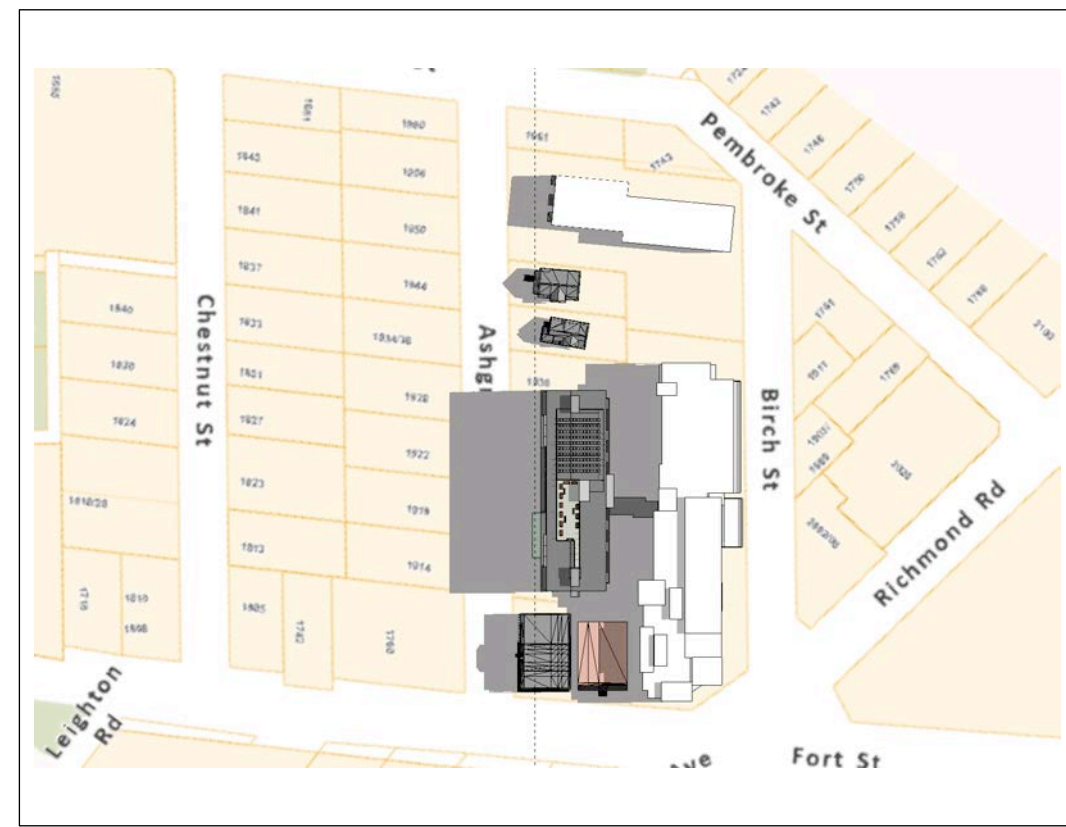
Street View - Looking South along Ashgrove Street



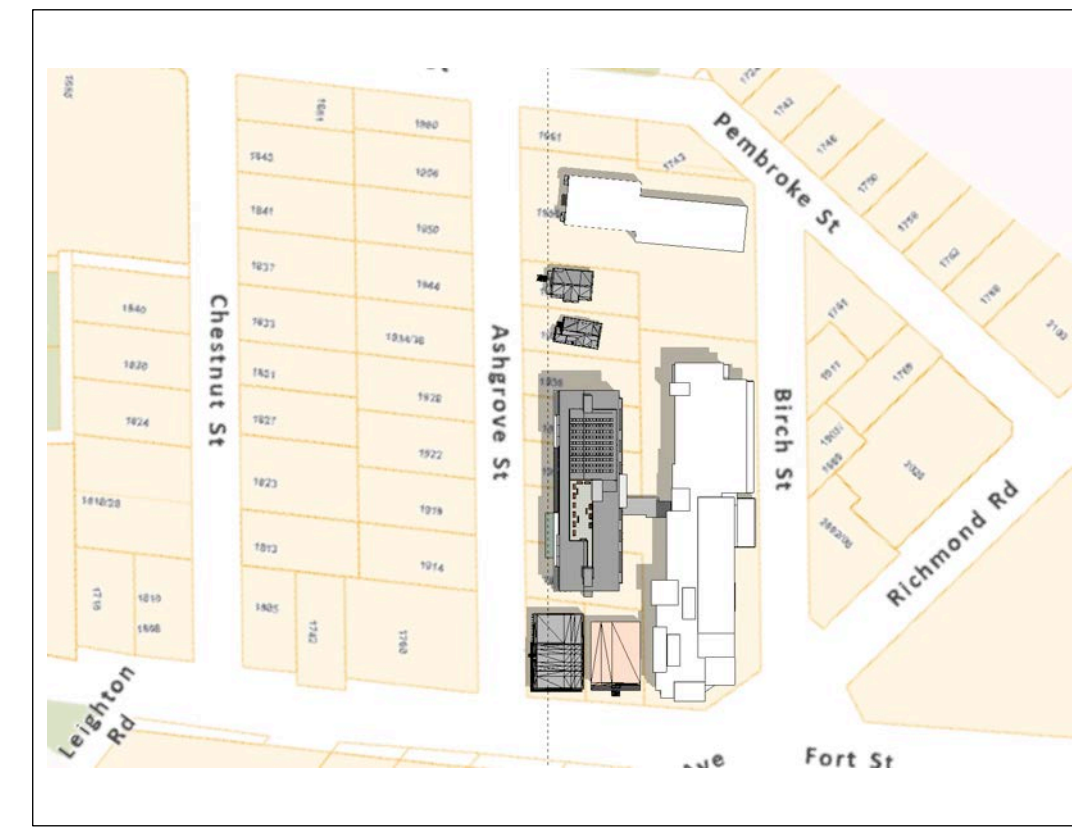


Aerial View - Looking East over Fort Street with RJH Buildings in Background

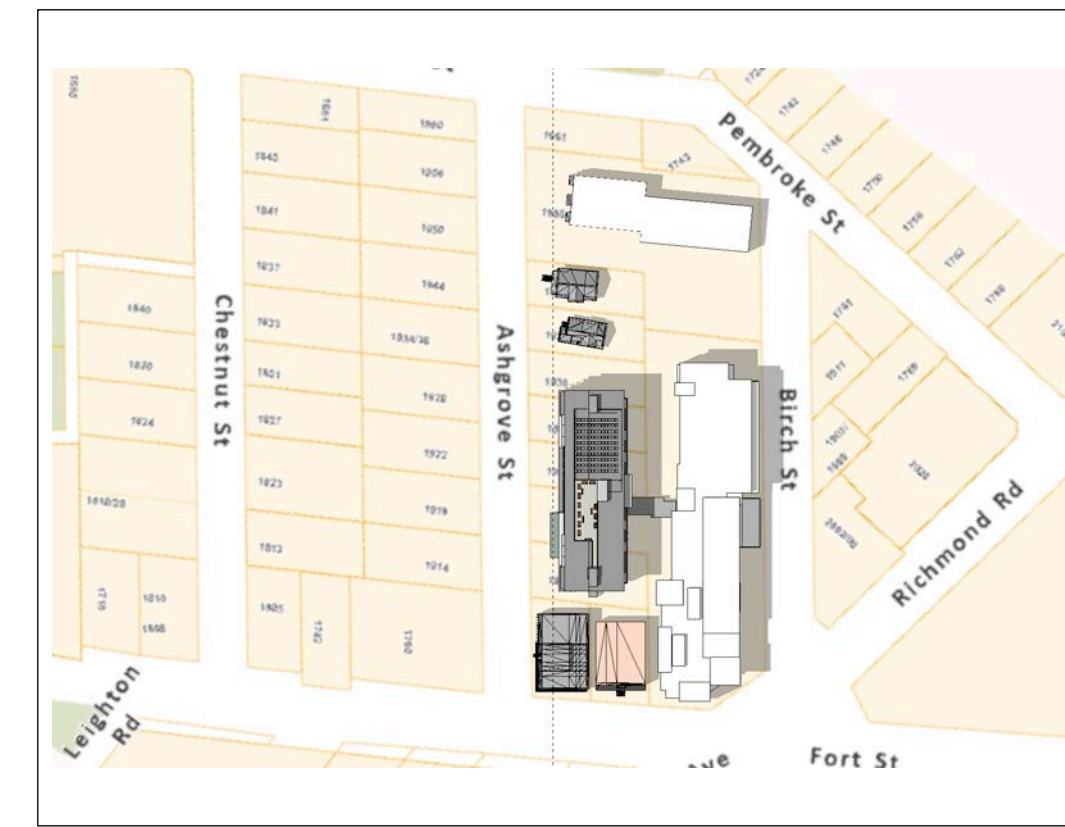




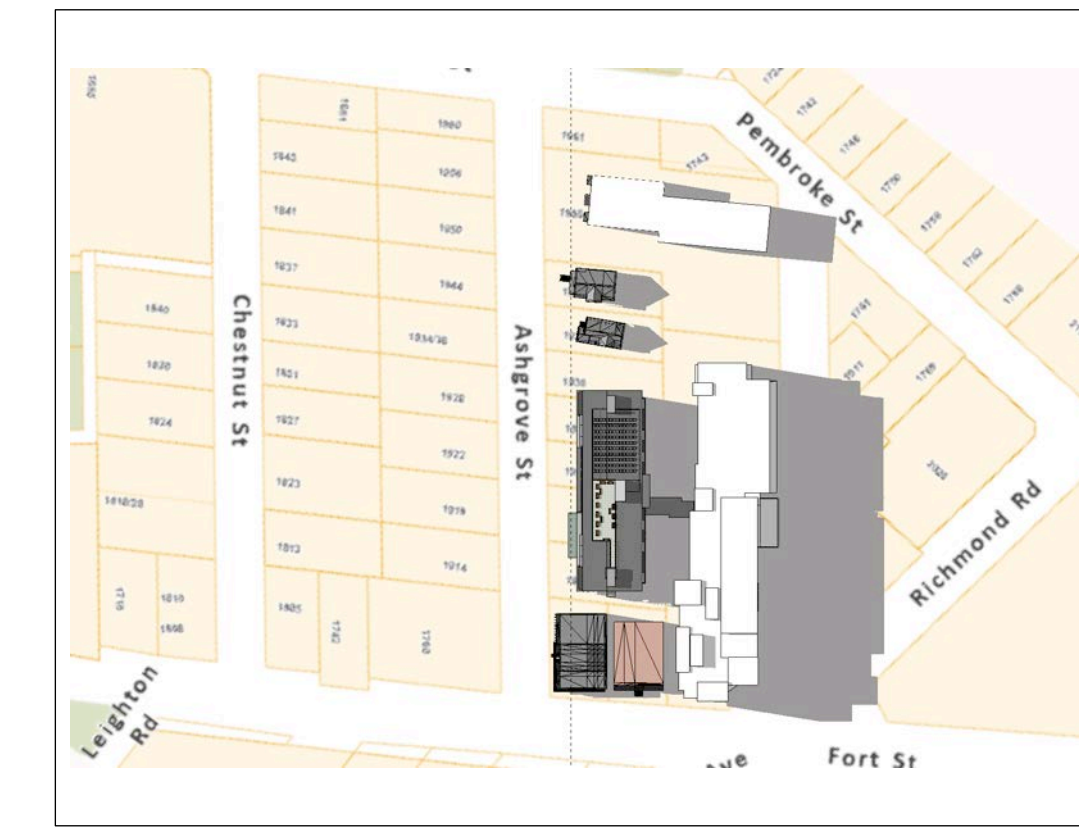
JUNE 21 - 08:00



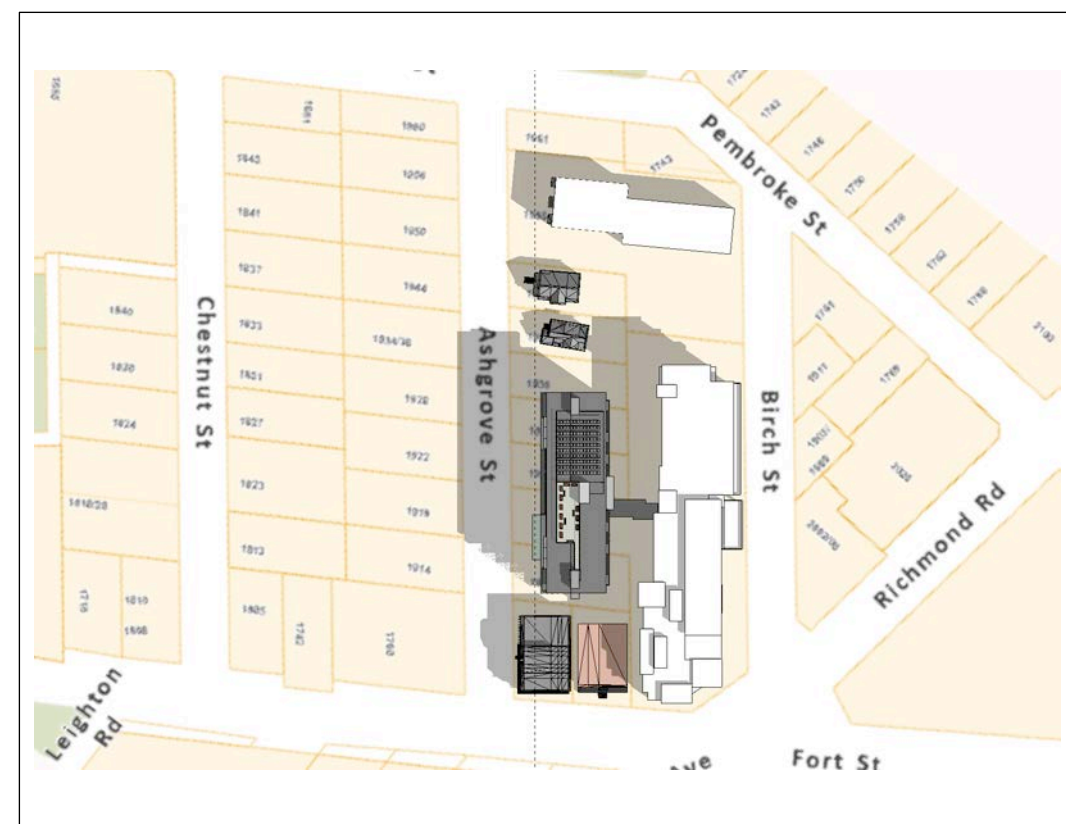
JUNE 21 - 11:00



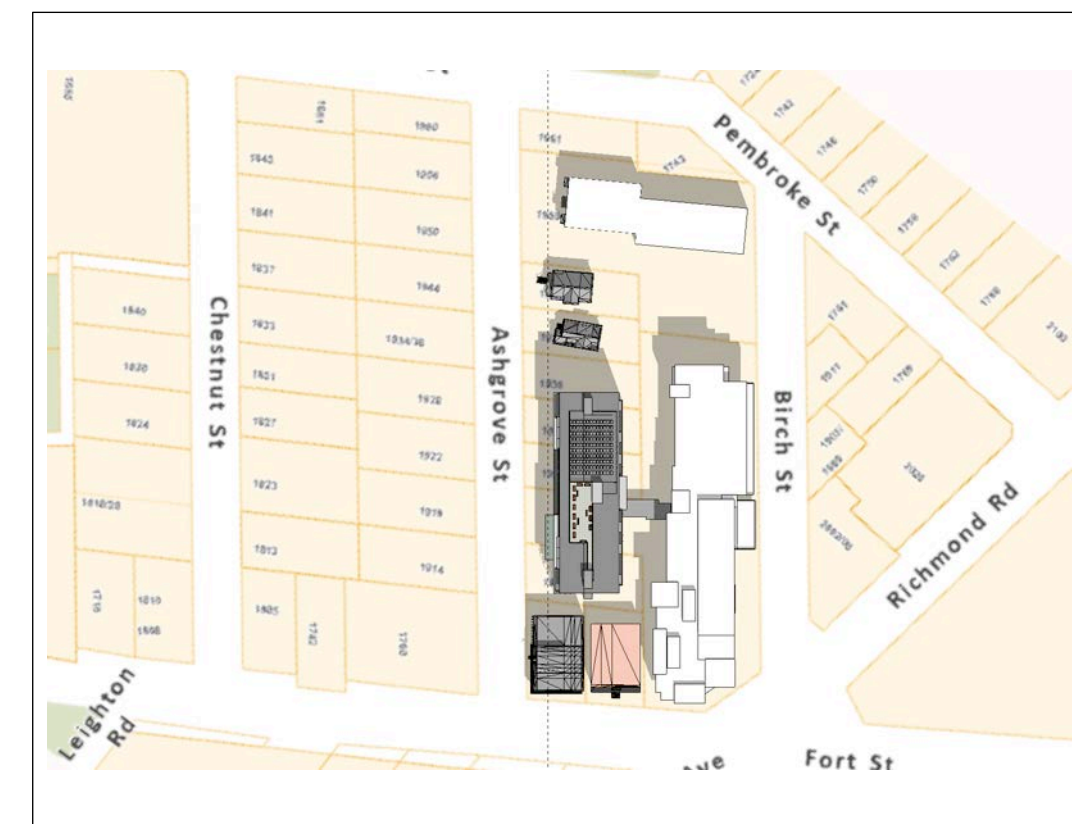
JUNE 21 - 14:00



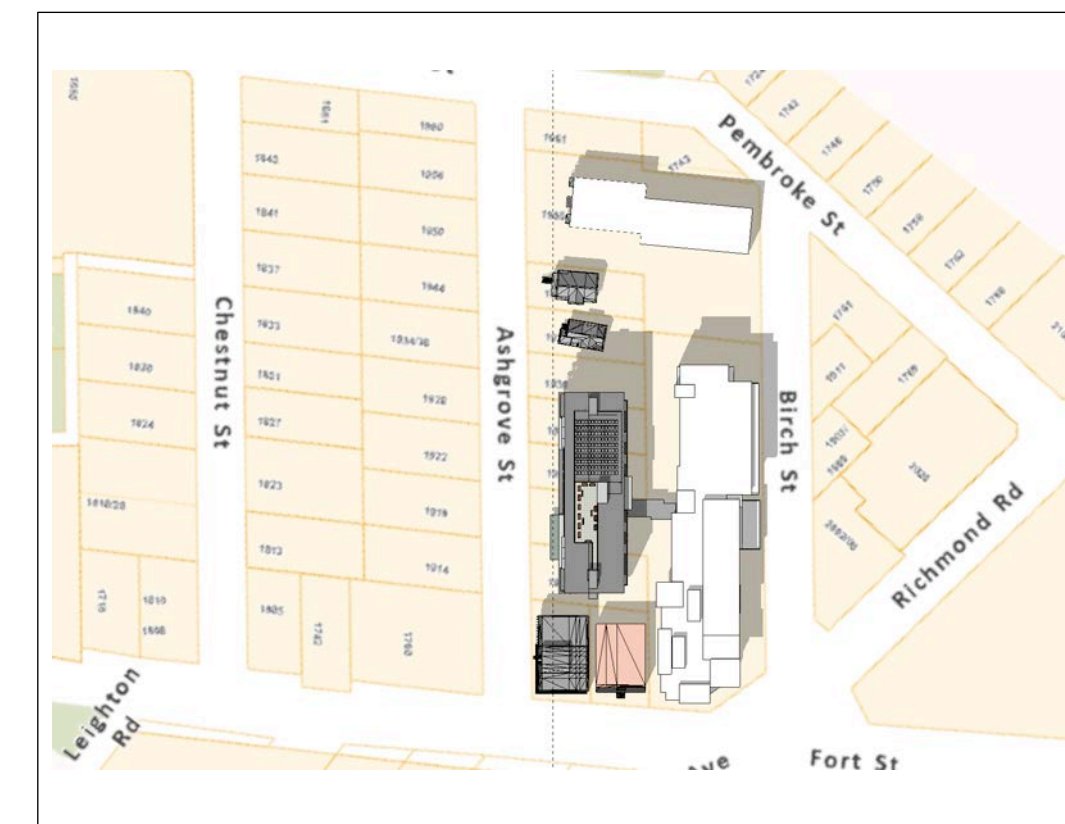
JUNE 21 - 17:00



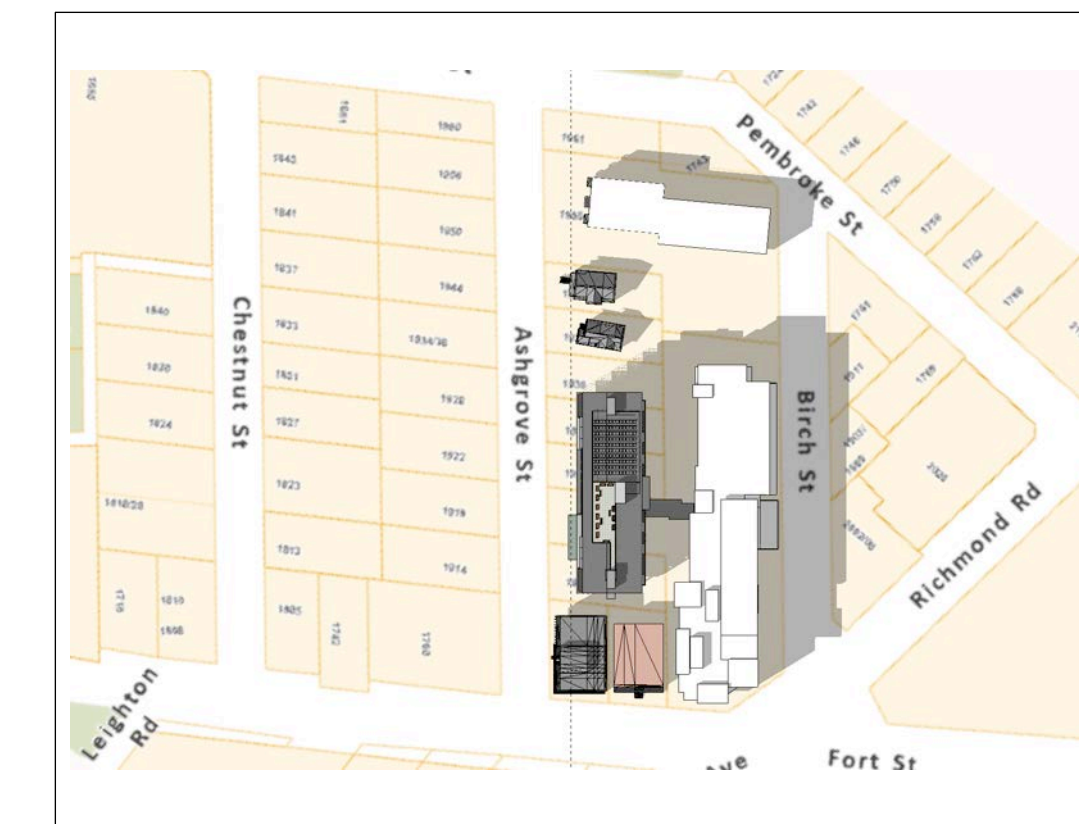
SEPTEMBER 23 - 09:00



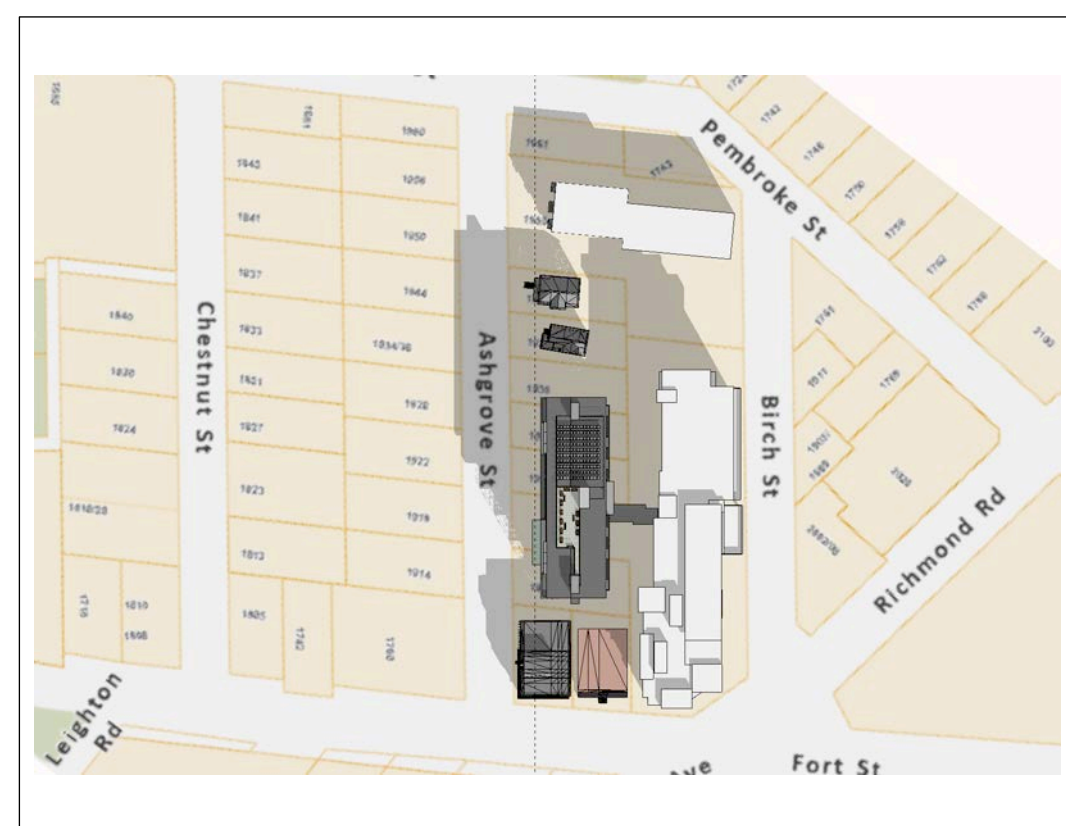
SEPTEMBER 23 - 11:00



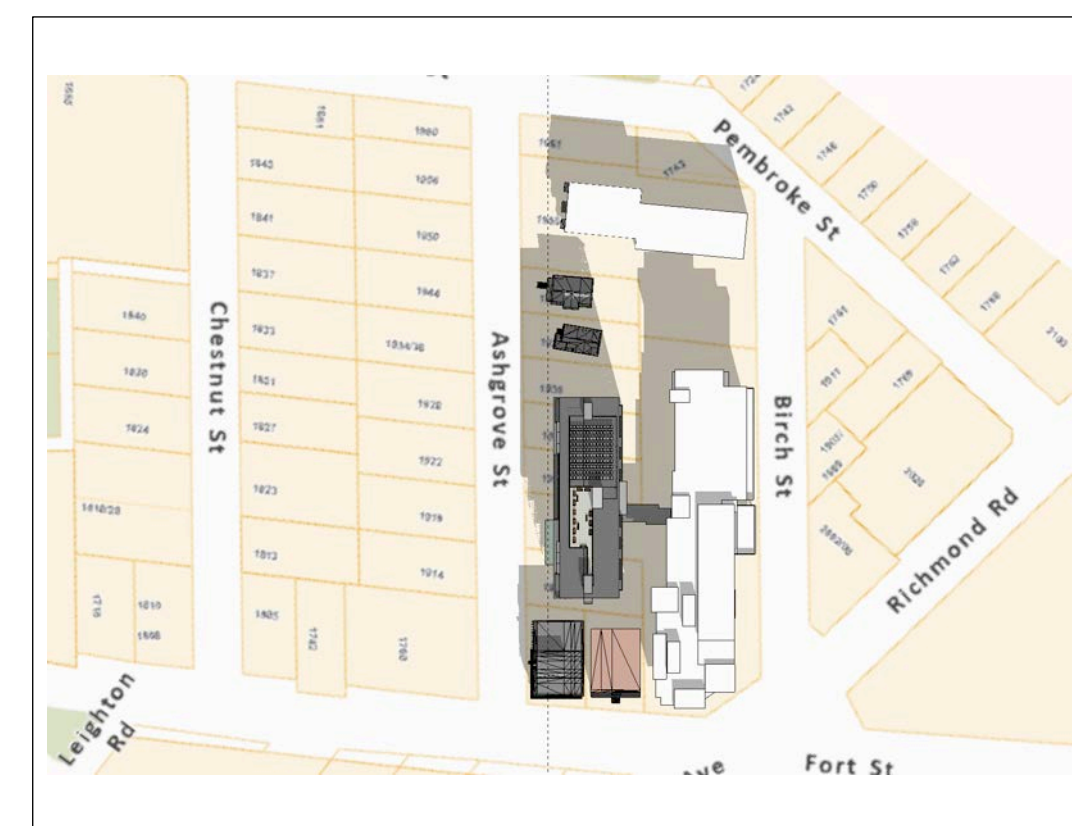
SEPTEMBER 23 - 13:00



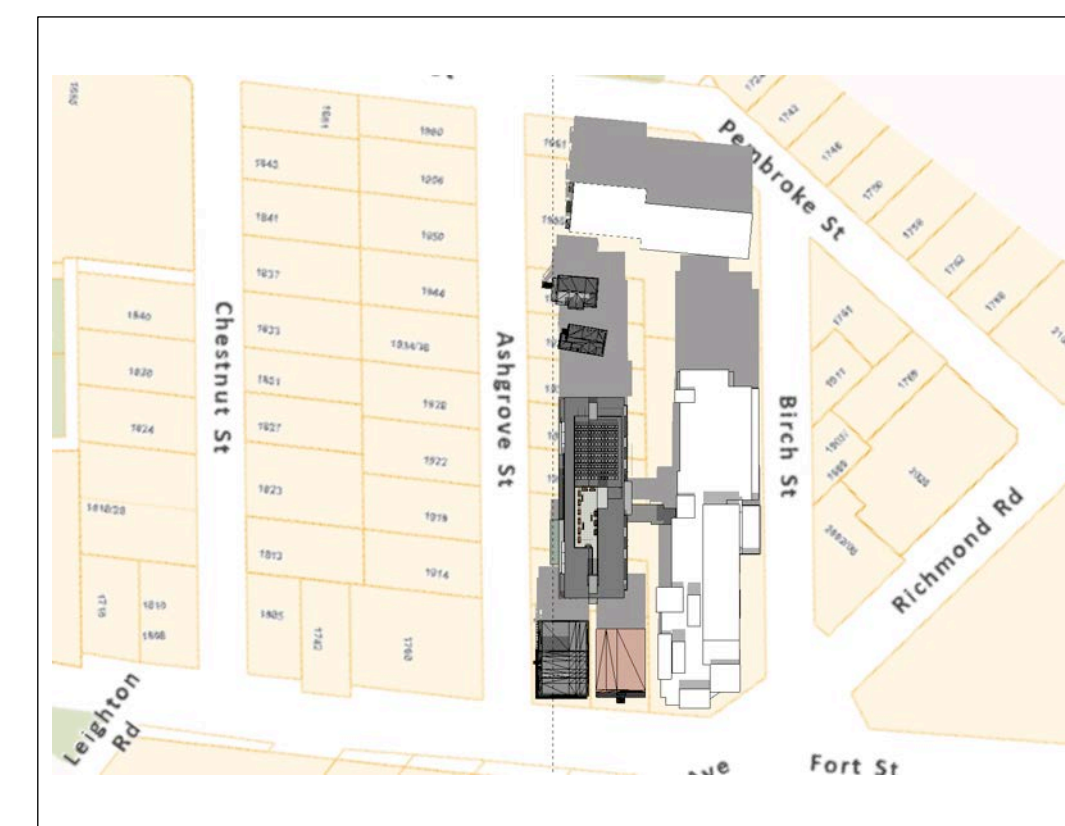
SEPTEMBER 23 - 15:00



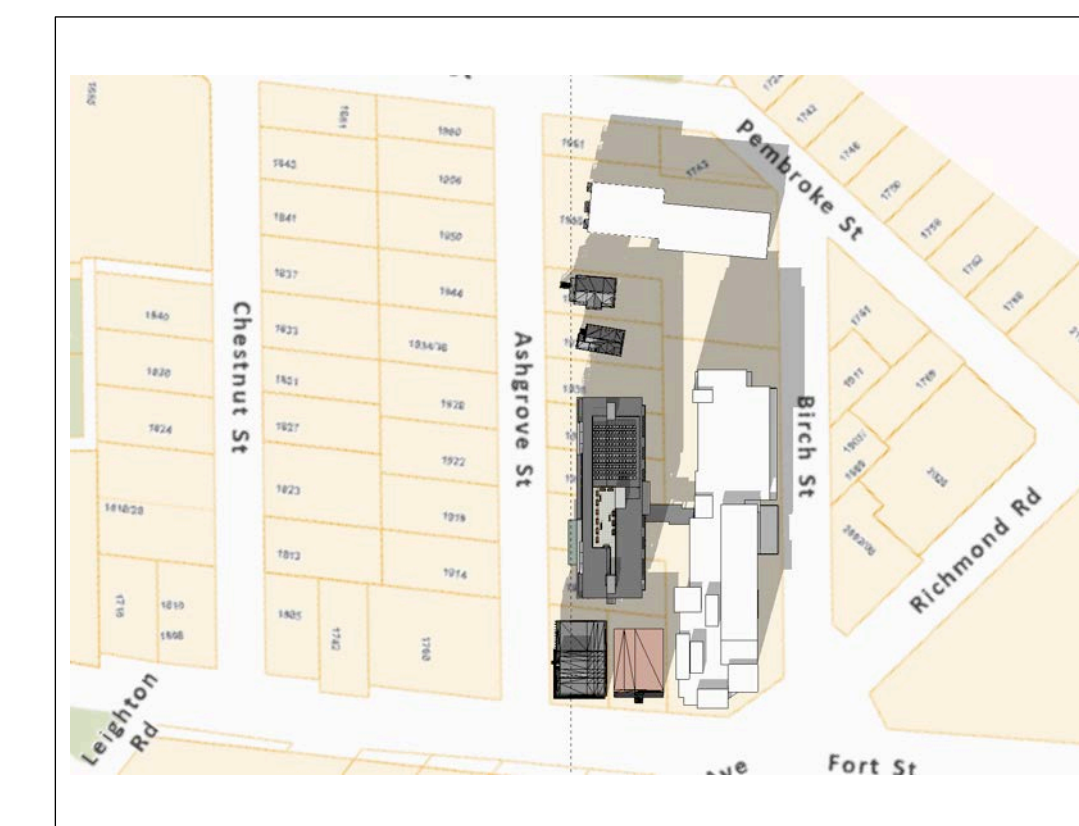
DECEMBER 21 - 10:00



DECEMBER 21 - 11:00



DECEMBER 21 - 12:00



DECEMBER 21 - 13:00



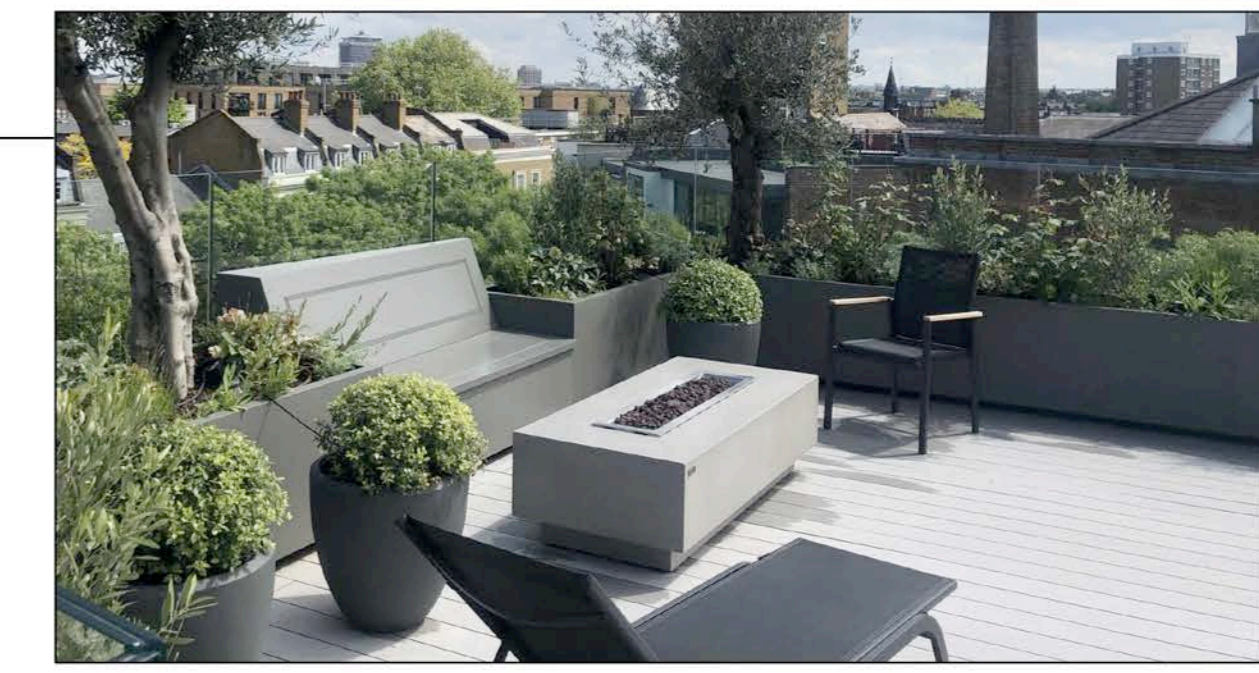
Vertical Louver Screen Wall
North and South Elevations



High-Performance aluminium and
glass window-wall system



Rooftop solar PV array

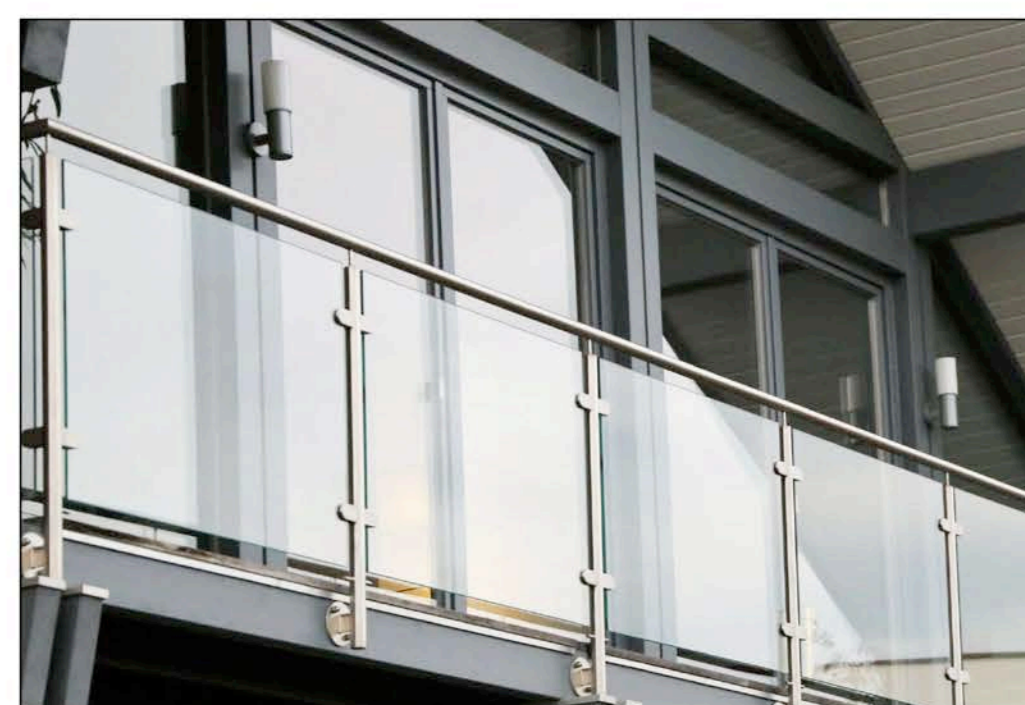


Rooftop amenity area with planters

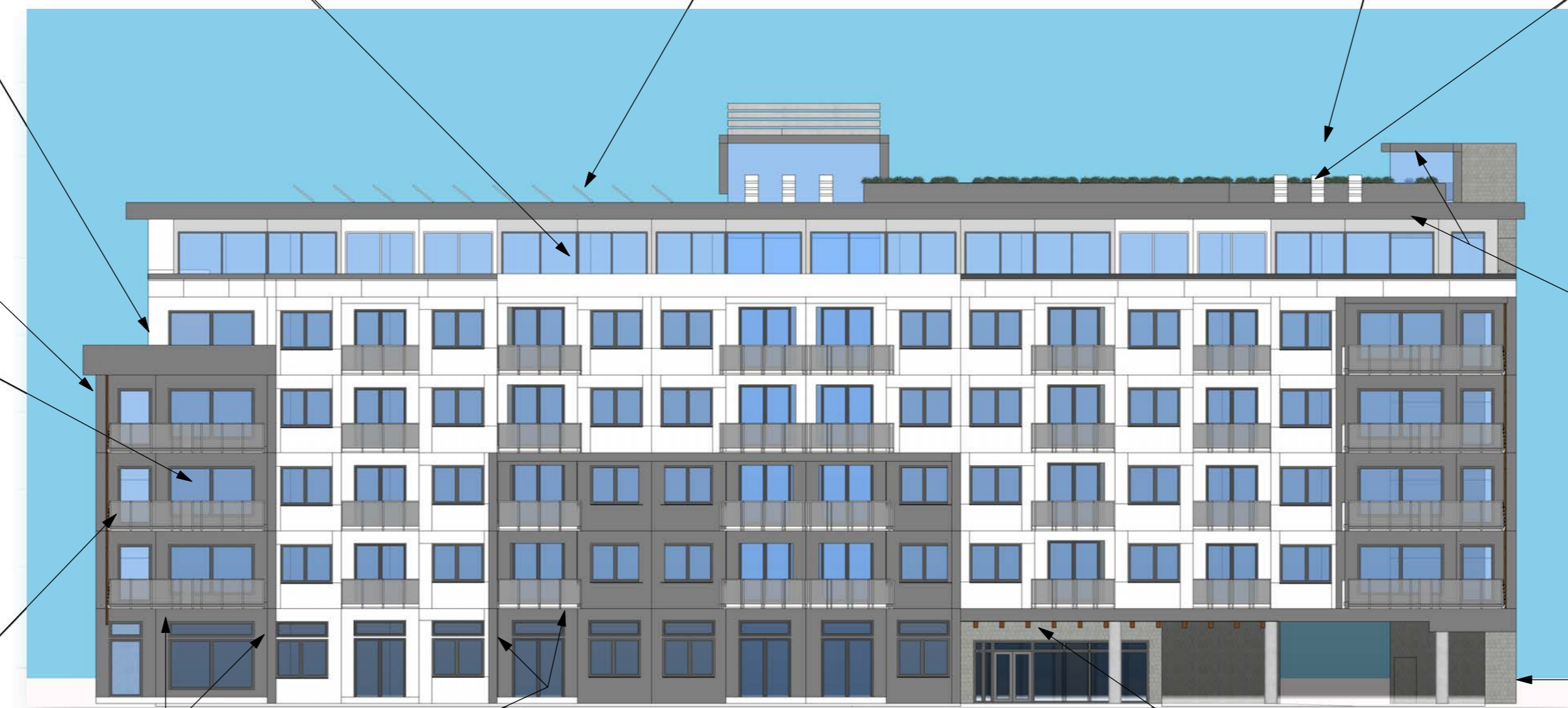
Cementitious Panel Siding- Various colours-
with colour matching trims



High-Performance vinyl windows with coloured
frames



Aluminium and Glass guard



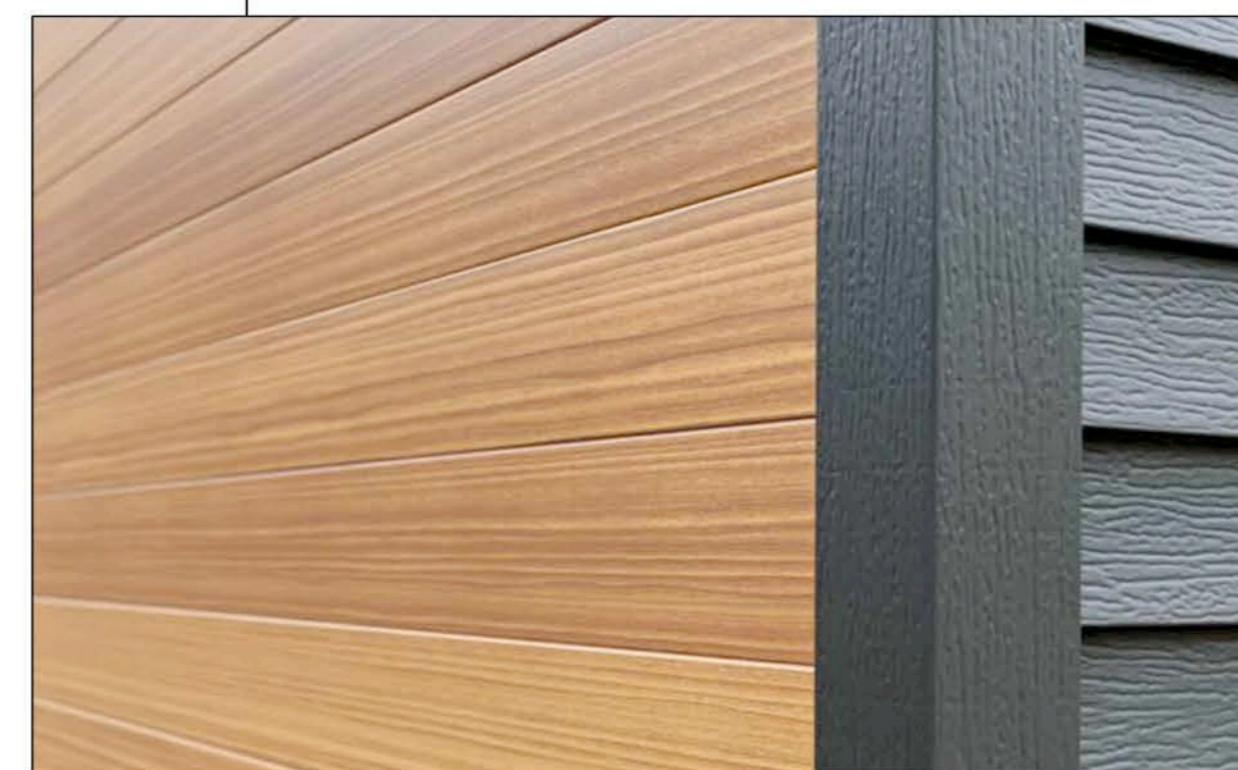
WEST ELEVATION



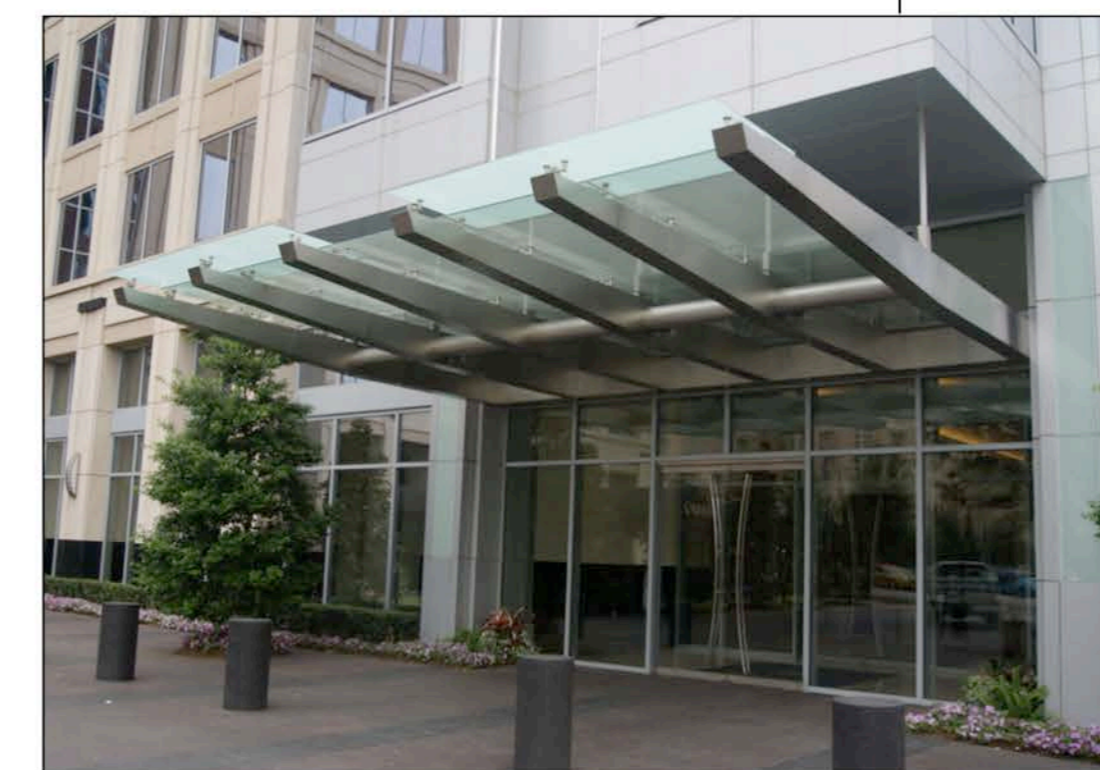
Rooftop beehiving hives



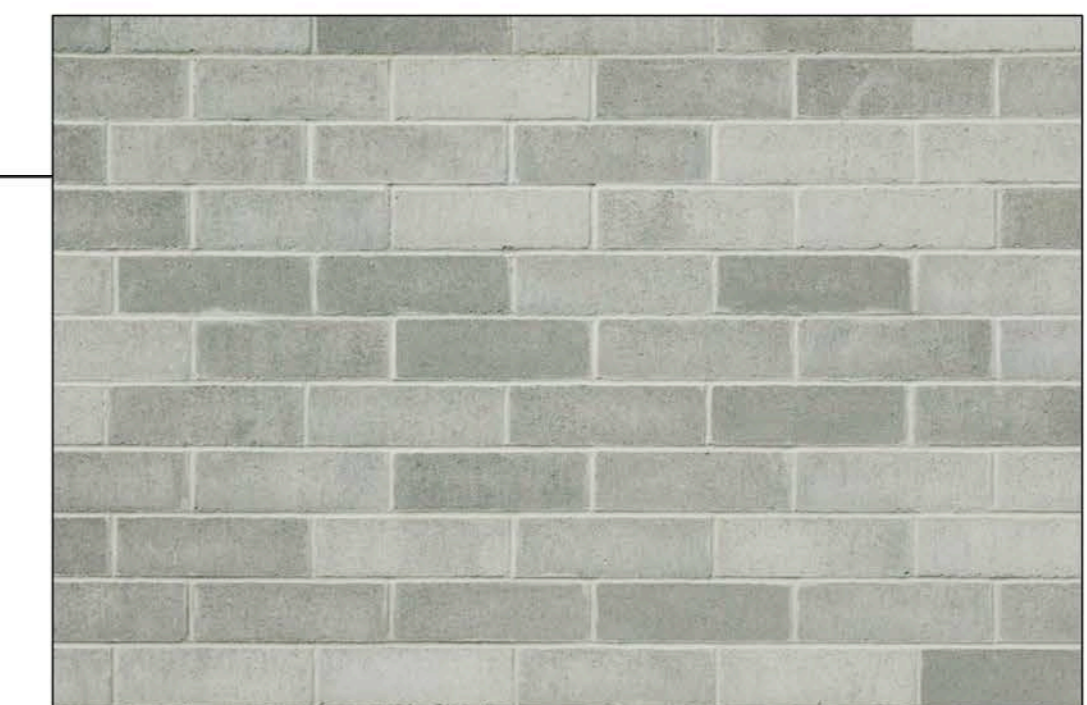
Prefinished metal cladding



Metal Siding (inside face of vertical fins) and all Soffits
with printed wood grain finish



Steel and glass canopy



Smooth face masonry cladding

DATE: 2023-02-22 22:17 FILE: X:\2241\Civil\Projects\2241-22036-00 Amica Oak Bay - Phase 2\10.0 DRAWINGS\10.3 Engineering\10.3.2 Sheets\22036-00-ALL.dwg

Revisions
 Received Date: July 26, 2023
 Deemed Date: July 12, 2023

CONSTRUCTION NOTES

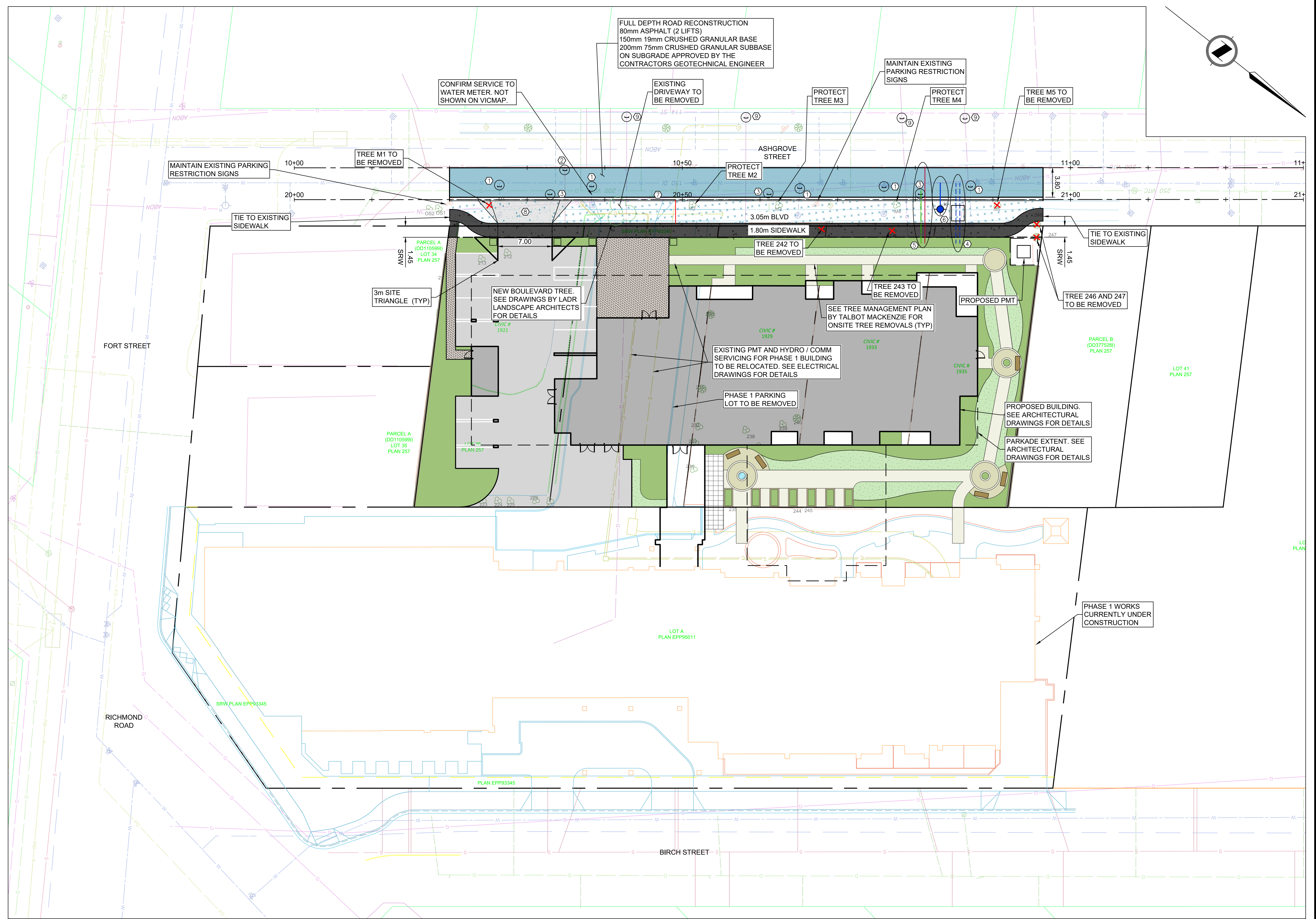
- ① EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE
- ② EXISTING SANITARY SEWER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE
- ③ EXISTING STORM SEWER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE
- ④ NEW xØ DOMESTIC WATER SERVICE CONNECTION c/w xØ WATER METER AND 150Ø FIRE WATER SERVICE CONNECTION c/w CHECK VALVE BY CoV FORCES AT DEVELOPER'S EXPENSE PER CoV STD. DWG. SDW2h.
- ⑤ NEW xxØ STORM SERVICE AND xxØ NEW SANITARY SERVICE IN COMMON TRENCH BY CoV FORCES AT DEVELOPER'S EXPENSE PER MMCD STD. DWG. S7 c/w INSPECTION CHAMBER AT PROPERTY LINE. INSPECTION CHAMBER PER MMCD STD. DWG. S9 c/w CONCRETE BOX AND CAST IRON LID.
- ⑥ NEW FIRE HYDRANT BY CoV FORCES AT DEVELOPER'S EXPENSE
- ⑦ EXISTING CATCHBASIN TO BE ADJUSTED TO SUIT NEW CURB AND GUTTER. MAINTAIN EXISTING LEAD.
- ⑧ NEW DRIVEWAY PER CoV STD. DWG. SDC7b WITH WIDTHS AS NOTED ON PLAN
- ⑨ EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY FORTISBC FORCES AT DEVELOPER'S EXPENSE

LEGEND

- NEW ROAD CONSTRUCTION
 - 80mm ACP (2 LIFTS)
 - 150mm BASE COURSE
 - 200mm SUBBASE COURSE
- NEW CONCRETE SIDEWALK
- NEW SOD BOULEVARD

SHEET NOTES:

1. FOR PROPOSED BUILDING AND ONSITE DESIGN INFORMATION, SEE DRAWINGS BY JHK ARCHITECTS.
2. EXISTING TOPOGRAPHIC SURVEY SHOWN WAS PROVIDED BY POLARIS LAND SURVEYING INC.
3. UTILITY SERVICE SIZES AND LOCATIONS TO BE DETERMINED DURING DETAILED DESIGN.
4. EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PAVED AREAS, FENCES ETC. TO BE REMOVED ARE NOT SHOWN FOR CLARITY.
5. ALL OFFSITE TREES NOT NOTED FOR REMOVAL TO BE PROTECTED DURING CONSTRUCTION UNLESS OTHERWISE DETERMINED BY PROJECT ARBORIST DURING DETAILED DESIGN.
6. SEE TREE MANAGEMENT PLAN BY TALBOT MACKENZIE FOR TREE PROTECTION DETAILS AND FOR ONSITE TREE REMOVALS



| Rev | Date | Description | Drawn | Design | App'd |
|-----|------------|---------------------------|-------|--------|-------|
| 1 | 2023-02-22 | REVISED FOR DP / REZONING | GP | CD | CD |
| 0 | 2022-12-09 | ISSUED FOR DP / REZONING | GP | CD | CD |

THIS DRAWING AND DESIGN IS THE PROPERTY OF McElhanney AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF McElhanney. McElhanney WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN.

THIS DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT IDENTIFIED, TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION. McElhanney, ITS EMPLOYEES, SUBCONSULTANTS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON, OR ANY CHANGES MADE TO, THIS DRAWING, BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND STAKEHOLDERS, OR THEIR EMPLOYEES OR AGENTS, WITHOUT McElhanney'S PRIOR WRITTEN CONSENT.

INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. McElhanney, ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONDUITS, PIPES, CABLES OR OTHER FACILITIES WHETHER SHOWN OR OMITTED FROM THIS PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

0 1:250 10

ORIGINAL DWG SIZE: ANSI D (22" x 34")

McElhanney

Suite 500
 3960 Quadra Street
 Victoria BC
 Canada V8X 4A3
 T 250 370 9221

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

THIS DRAWING HAS NOT BEEN APPROVED AND MAY CONTAIN ERRORS AND OMISSIONS

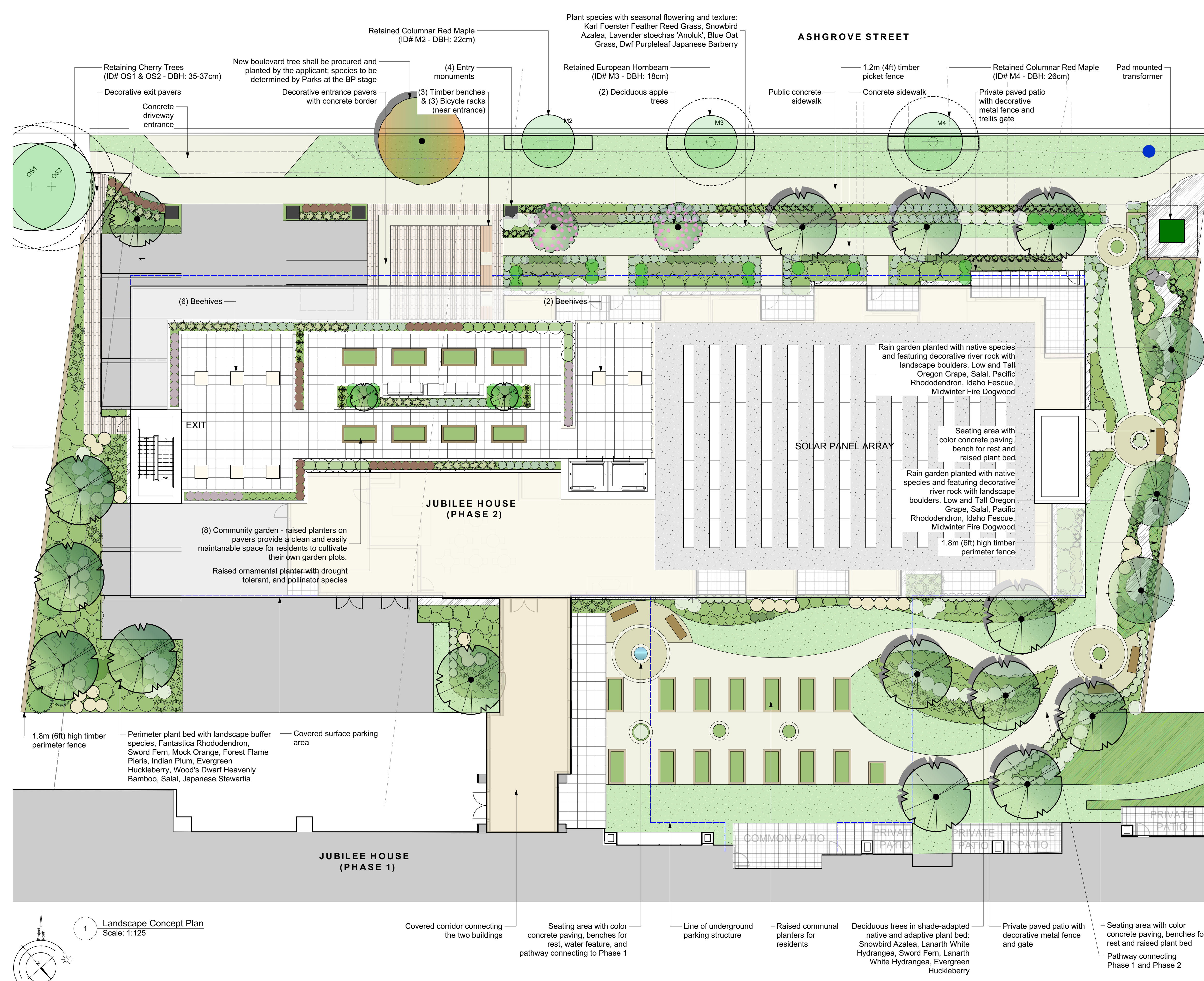
MILLIKEN DEVELOPMENTS
 #100-2489 BELLEVUE AVENUE, WEST VANCOUVER, BC V7V 1E1

**AMICA JUBILEE HOUSE PHASE 2
 CONCEPTUAL SITE SERVICING PLAN**

Drawing No. **22036-DP**

Project Number 2241-22036-00 Rev. 1

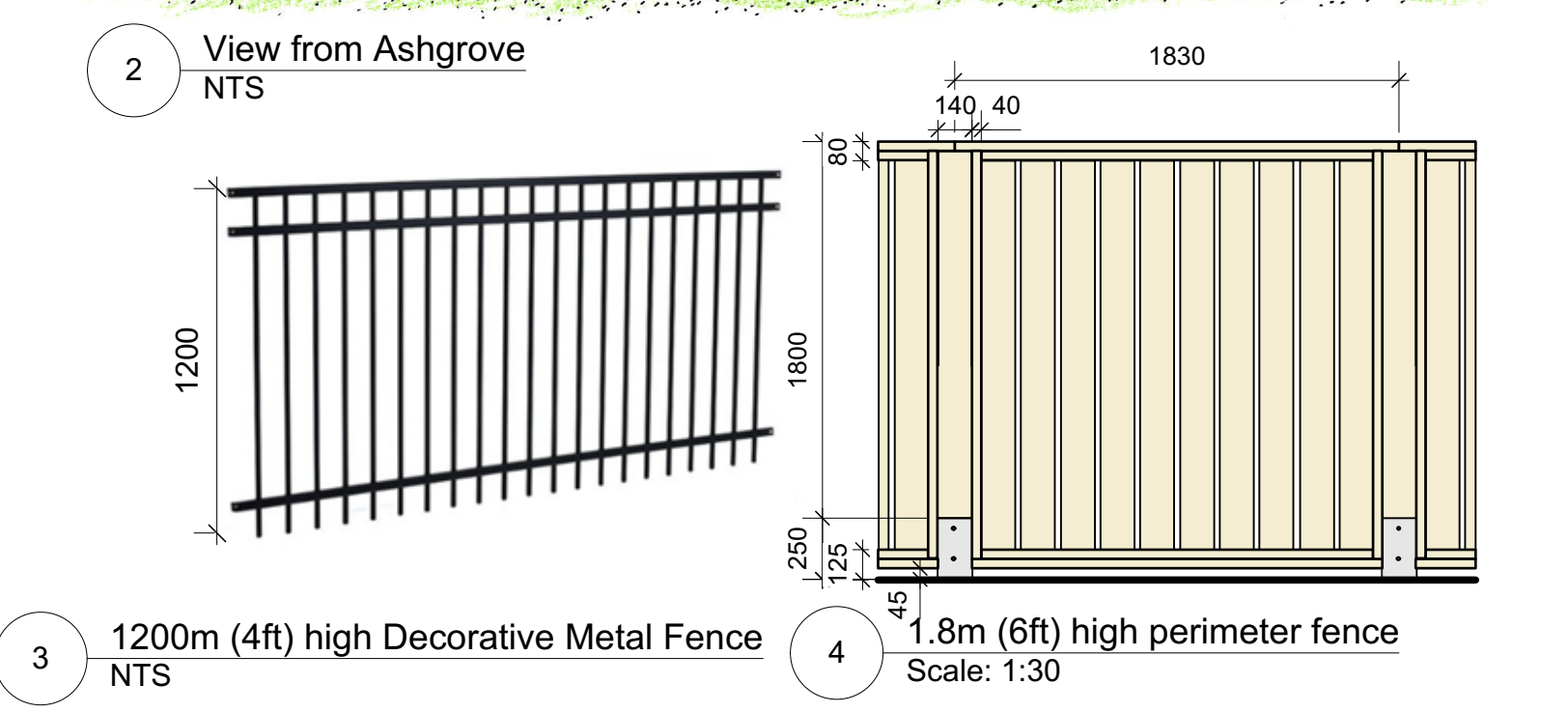
DESTROY ALL PRINTS BEARING PREVIOUS REVISION



Recommended Nursery Stock

| Trees | Quantity | Botanical Name | Common Name | Size |
|--------------------------------------|----------|-------------------------------------------------|---------------------------------------|----------|
| | 3 | Alnus rubra (Lrg / 1:1) | Red Alder | 6cm cal. |
| | 1 | Boulevard Street Tree | Species to be determined | 6cm cal. |
| | 9 | Cercidiphyllum japonicum (Med. / 1:1) | Katsura Tree | 6cm cal. |
| | 5 | Cercis canadensis (Med. / 1:1) | Eastern Redbud | 6cm cal. |
| | 2 | Cornus x 'Venus' (1:1 Structure) | Venus Cornus | 4cm cal. |
| | 2 | Malus domestica 'Jonagold' (Sm. / 2:1) | Semi-Dwarf Apple | 6cm cal. |
| | 1 | Stewartia pseudocamellia (Sm. / 2:1) | Japanese Stewartia | 6cm cal. |
| Large Shrubs | | | | |
| Total: | 72 | | | |
| | | Botanical Name | Common Name | Size |
| | | Ceanothus thyrsiflorus 'Victoria' | Victoria Ceanothus (California Lilac) | #5 pot |
| | | Choisya ternata | Mexican Orange Blossom | #5 pot |
| | | Cornus sericea 'Flaviramea' | Midwinter Fire Dogwood | #5 pot |
| | | Oemleria cerasiformis | Indian Plum | #5 pot |
| | | Philadelphus lewisii | Mock Orange | #5 pot |
| | | Pieris 'Forest Flame' | Forest Flame Pieris | #5 pot |
| | | Vaccinium ovatum | Evergreen Huckleberry | #5 pot |
| Medium Shrubs | | | | |
| Total: | 150 | | | |
| | | Botanical Name | Common Name | Size |
| | | Hydrangea macrophylla 'Lanarth White' | Lanarth White Hydrangea | #5 pot |
| | | Mahonia aquifolium | Tall Oregon Grape | #5 pot |
| | | Rhododendron 'Fantastica' | Fantastica Rhododendron | #5 pot |
| | | Rhododendron macrophyllum | Pacific Rhododendron | #5 pot |
| | | Ribes sanguineum | Red Flowering Currant | #5 pot |
| | | Symphoricarpos albus | Snowberry | #5 pot |
| Small Shrubs | | | | |
| Total: | 561 | | | |
| | | Botanical Name | Common Name | Size |
| | | Azalea japonica 'Herbert' | Herbert Evergreen Azalea | #1 pot |
| | | Azalea 'Snowbird' | Snowbird Azalea | #1 pot |
| | | Berberis thunbergii f. atropurpurea 'Bagatelle' | Dwf Purpleleaf Japanese Barberry | #1 pot |
| | | Ceanothus 'Blue Sapphire' | Blue Sapphire Ceanothus | #1 pot |
| | | Cistus x argenteus 'Silver Pink' | Silver Pink Rock Rose | #1 pot |
| | | Cornus stolonifera 'Kelsey' | Kelsey Dogwood | #1 pot |
| | | Gaultheria shallon | Salal | #1 pot |
| | | Hebe odora 'New Zealand Gold' | New Zealand Hebe | #1 pot |
| | | Hydrangea macrophylla 'Lanarth White' | Lanarth White Hydrangea | #5 pot |
| | | Lavandula angustifolia 'Munstead' | Munstead English Lavender | #1 pot |
| | | Lavender stoechas 'Anoluk' | Anouk Spanish Lavender | #1 pot |
| | | Mahonia nervosa | Low Oregon Grape | #1 pot |
| | | Nandina domestica 'Wood's Dwarf' | Wood's Dwarf Heavenly Bamboo | #1 pot |
| | | Sarcococca hookeriana var. humilis | Dwarf Sweet Box | #1 pot |
| Perennials, Annuals and Ferns | | | | |
| Total: | 207 | | | |
| | | Botanical Name | Common Name | Size |
| | | Calamagrostis x acutiflora 'Karl Foerster' | Karl Foerster Feather Reed Grass | #1 pot |
| | | Festuca idahoensis | Idaho Fescue | #1 pot |
| | | Helictotrichon sempervirens | Blue Oat Grass | #1 pot |
| | | Perovskia atriplicifolia | Russian Sage | #1 pot |
| | | Phormium tenax 'Tiny Tiger' | Dwarf Variegated New Zealand Flax | #1 pot |
| | | Polystichum munilum | Sword Fern | #1 pot |
| | | Stipa tenuissima | Mexican Feather Grass | #1 pot |

Notes:
 1. All work to be completed to current CSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system

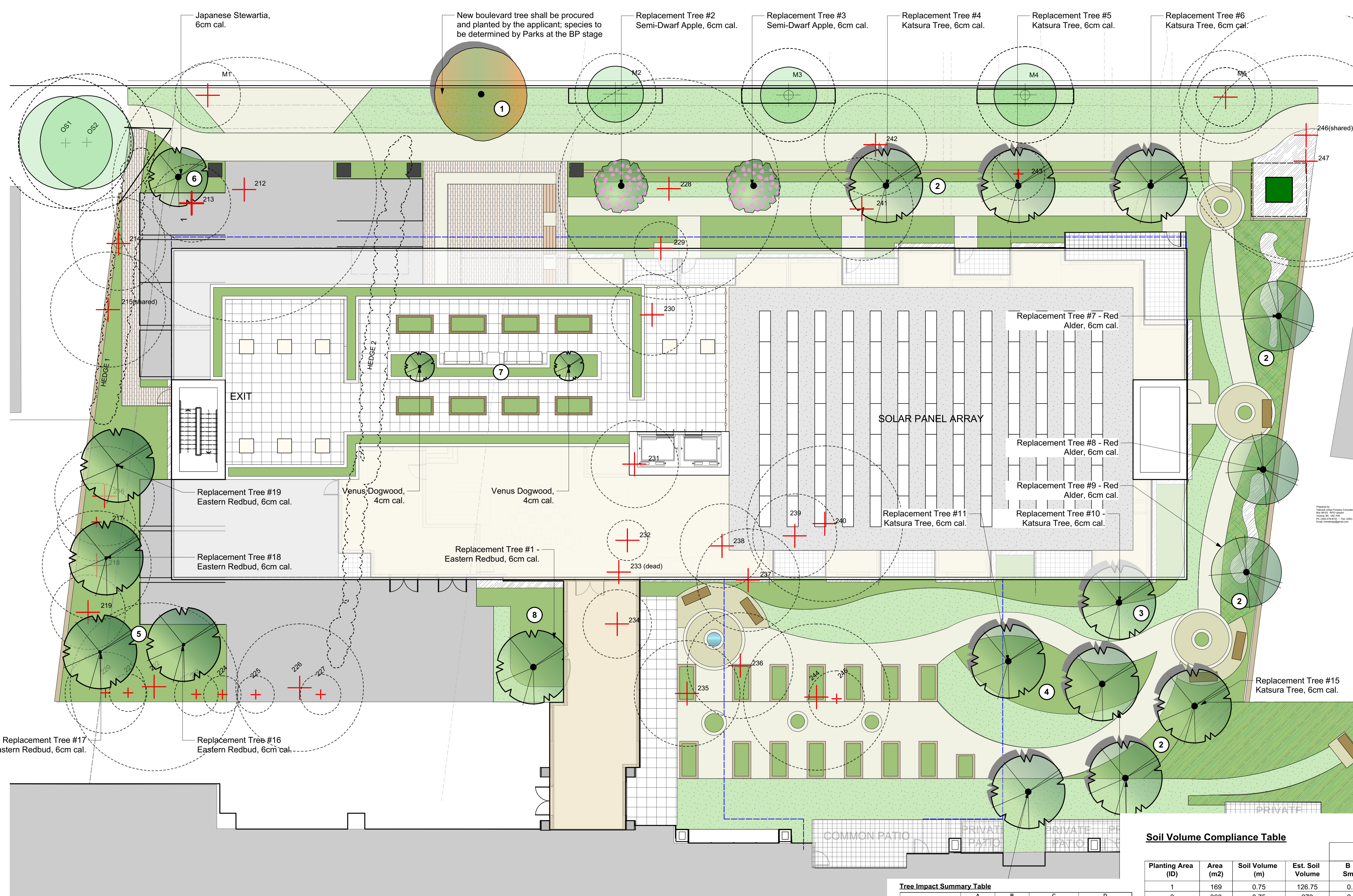


1 Landscape Concept Plan
Scale: 1:125

1:125
 Revision F | Issued for DP ReSubmission I June 8/23
 Revision E | Issued for DP ReSubmission I Apr. 11/23
 Revision D | Issued for Draft DP ReSubmission I Feb. 24/23
 Revision C | Issued for Draft DP Submission I Dec. 15/22
 Revision B | Issued for Coordination I Dec. 7/22
 Revision A | Issued for Rezoning I Sept. 16/22

Landscape Concept Plan - Jubilee House Phase 2

ASHGROVE STREET



Tree Inventory Table

| Tag # | Location | Species | Caliper | DBH | Height | Condition | Remarks | Retention | Removal |
|-------|----------|---------|---------|-----|--------|-----------|---------|-----------|---------|
| 051 | City | Yes | Cherry | 21 | 15 | 3 | Good | Y | Y |
| 052 | City | Yes | Cherry | 37 | 8 | 3 | Fair | Y | Y |
| 053 | City | Yes | Cherry | 15 | 10 | 2 | Good | Y | Y |
| 054 | City | Yes | Cherry | 71 | 8 | 5 | Good | Y | Y |
| 055 | City | Yes | Cherry | 11 | 11 | 3 | Good | Y | Y |
| 056 | City | Yes | Cherry | 10 | 8 | 3 | Good | Y | Y |
| 057 | City | Yes | Cherry | 37 | 10 | 3 | Fair | Y | Y |
| 058 | City | Yes | Cherry | 11 | 10 | 3 | Good | Y | Y |
| 059 | City | Yes | Cherry | 20 | 5 | 3 | Fair | Y | Y |
| 060 | City | Yes | Cherry | 25 | 5 | 2 | Fair | Y | Y |
| 061 | City | Yes | Cherry | 6.8 | 4 | 2.6 | Fair | Y | Y |
| 062 | City | Yes | Cherry | 10 | 6 | 1.2 | Fair | Y | Y |
| 063 | City | Yes | Cherry | 15 | 8 | 1.4 | Good | Y | Y |
| 064 | City | Yes | Cherry | 15 | 8 | 1.4 | Good | Y | Y |
| 065 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 066 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 067 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 068 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 069 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 070 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 071 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 072 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 073 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 074 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 075 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 076 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 077 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 078 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 079 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 080 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 081 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 082 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 083 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 084 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 085 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 086 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 087 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 088 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 089 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 090 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 091 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 092 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 093 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 094 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 095 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 096 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 097 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 098 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 099 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |
| 100 | City | Yes | Cherry | 11 | 7 | 1.3 | Good | Y | Y |

Tree Preservation Summary

| Category | Count | Multiplier | Qualified | Total |
|------------------------------------------------------------------------------------------|--------------|------------|-----------|-------|
| A. Protected Trees Removed | 18 | X 1 | A | 18 |
| B. Replacement Trees Proposed per Schedule "E", Part 1 | 19 | X 1 | B | 19 |
| C. Replacement Trees Proposed per Schedule "E", Part 2 | 3* | X 0.5 | C | 1.5* |
| D. Replacement Trees Proposed per Schedule "E", Part 3 | 16* | X 1 | D | 16* |
| E. Total replacement trees proposed (B+C+D) Round down to nearest whole number | 35 | | E | 35 |
| F. Onsite replacement tree deficit (A-E) Record 0 if negative number | 0 | | F | 0 |
| G. Tree minimum on lot | 14 | | G | 14 |
| H. Protected trees retained (other than specimen trees) | 0 | X 1 | H | 0 |
| I. Specimen trees retained | 0 | X 3 | I | 0 |
| J. Trees per lot deficit (G - (B+C+H+I)) Record 0 if negative number | 0 | | J | 0 |
| K. Protected trees Removed | 0 | X 1 | K | 0 |
| L. Replacement trees proposed per Schedule "E", Part 1 or Part 2 | 0 | X 1 | L | 0 |
| M. Replacement trees proposed from Schedule "E", Part 2 | 0 | X 0.5 | M | 0 |
| N. Total replacement trees proposed (L+M) Round down to nearest whole number | 0 | | N | 0 |
| O. Offsite replacement tree deficit (K-L+N) Record 0 if negative number | 0 | | O | 0 |
| P. Onsite trees proposed for cash-in-lieu Enter F, or J, whichever is the greater number | 0 | | P | 0 |
| Q. Offsite trees proposed for cash-in-lieu Enter O | 0 | | Q | 0 |
| R. Cash-in-lieu proposed ((P+Q) X \$2,000) | 0 | | R | \$0 |
| TOTAL | 406.0 | | | |

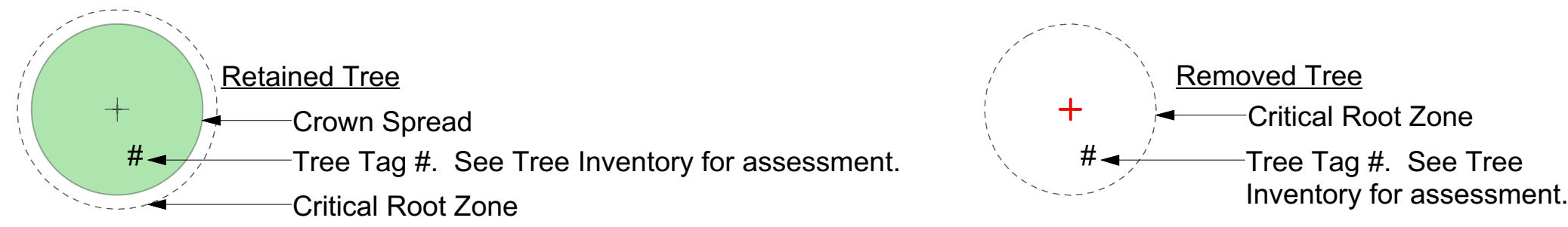
Soil Volume Compliance Table

| Planting Area (ID) | Area (m2) | Soil Volume (m) | Est. Soil Volume | Replacement Trees Proposed | | | | Soil Volume Required (m3) | | | Compliance (Y/N) |
|--------------------|-----------|-----------------|------------------|----------------------------|----------|---------|-----------|---------------------------|-----------|--------------|------------------|
| | | | | B Small | C Medium | D Large | E # Small | F # Medium | G # Large | Total | |
| 1 | 169 | 0.75 | 126.75 | 0.0 | 1.0 | 0.0 | 0.0 | 20.0 | 0.0 | 20.0 | Y |
| 2 | 360 | 0.75 | 270 | 2.0 | 6.0 | 2.0 | 16.0 | 120.0 | 70.0 | 206.0 | Y |
| 3 | 75 | 0.75 | 56.25 | 0.0 | 1.0 | 0.0 | 0.0 | 20.0 | 0.0 | 20.0 | Y |
| 4 | 70 | 0.75 | 52.5 | 0.0 | 2.0 | 0.0 | 0.0 | 40.0 | 0.0 | 40.0 | Y |
| 5 | 129 | 0.75 | 96.75 | 0.0 | 4.0 | 0.0 | 0.0 | 80.0 | 0.0 | 80.0 | Y |
| 6 | 14.2 | 0.75 | 10.65 | 1.0 | 0.0 | 0.0 | 8.0 | 0.0 | 0.0 | 8.0 | Y |
| 7 | 12.5 | 1 | 12.5 | 2.0 | 0.0 | 0.0 | 12.0 | 0.0 | 0.0 | 12.0 | Y |
| 8 | 33 | 0.75 | 24.75 | 0.0 | 1.0 | 0.0 | 0.0 | 20.0 | 0.0 | 20.0 | Y |
| TOTAL | | | 650.15 | | | | | | | 406.0 | |

Tree Impact Summary Table

| Tree Status | A Total # of Protected Trees | B # of Trees to be REMOVED | C # of NEW or REPLACEMENT Trees to be Planted* | D # of EXISTING non-protected Trees Counted as Replacements |
|-----------------------|------------------------------|----------------------------|------------------------------------------------|-------------------------------------------------------------|
| Onsite Trees | 18 | 18 | 22* | 0 |
| Private Offsite Trees | 2 | 0 | N/A | N/A |
| Municipal Trees | 5 | 2 | N/A | N/A |
| Total | 25 | 20 | 22* | 0 |

Existing Trees Legend:



1 Landscape Tree Management Plan Scale: 1:125

1:125

Tree Management Plan - Jubilee House Phase 2



Project No: 2214 13 May 2022 #3-864 Queens Ave. Victoria B.C. V8T1M5 Phone: (250) 598-0105

Revision F | Issued for DP ReSubmission I June 8/23
 Revision E | Issued for DP ReSubmission I Apr. 11/23
 Revision D | Issued for Draft DP ReSubmission I Feb. 24/22
 Revision B | Issued for Coordination I Dec. 19/22
 Revision A | Issued for Rezoning I Sept. 16/22