

LIST OF DRAWINGS

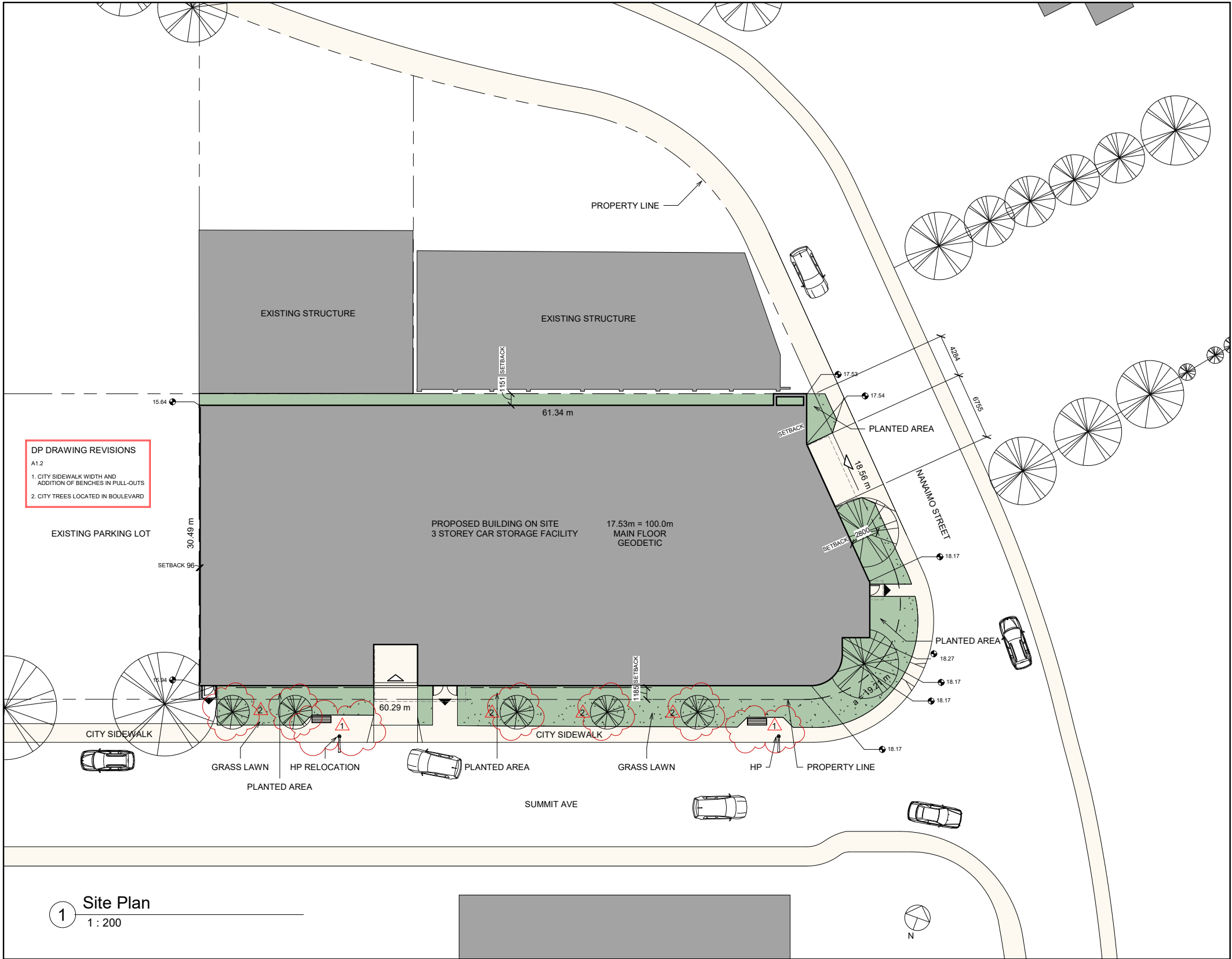
SHEET NUMBER	SHEET NAME
A1.1	PROPERTY SURVEY
A1.2	ARCH SITE PLAN
A2.1	BASEMENT LEVEL PLAN
A2.2	GROUND LEVEL PLAN
A2.3	LEVEL 2 PLAN
A2.4	LEVEL 3 PLAN
A2.5	LEVEL 4 - ROOF PLAN
A3.1	ELEVATIONS - FRONT + REAR
A3.2	ELEVATIONS - SIDES
A3.3	MATERIALS BOARD - SOUTH
A3.4	MARERIALS BOARD - EAST + WEST
A3.5	EAST ENTRANCE - ELEVATION
A4.1	SECTIONS
A5.1	3D VIEWS

CODE DATA

PRELIMINARY CODE ANALYSIS	
BUILDING AREA (FOOTPRINT):	1745 m ²
NO. OF STORIES:	4
BASEMENT:	YES
USE AND OCCUPANCY	
F3	STORAGE GARAGE
ARTICLE	
3.2.2.84	F3 UP TO 4 STORIES - SPRINKLERED
NO. OF STREETS	2
MAXIMUM BUILDING AREA	3600 m ²
CONSTRUCTION TYPE	NON - COMBUSTIBLE
FIRE RESISTANCE RATING	FLOOR TO BE NON-RATED FIRE SEPERATIONS
OCCUPANT LOAD:	NONE - VEHICLE PARKING ONLY
SPRINKLERED:	YES
TRAVEL DISTANCE (45m ALLOWED):	MAXIMUM - 28-37m

SITE AERIAL VIEW





PROJECT INFORMATION

SITE DATA + ZONING		
CIVIC ADDRESS:	750 & 780 SUMMIT AVENUE	
LEGAL DESCRIPTION:		
CURRENT USE:	CLUB	
PROPOSED USE :	GARAGE	
ZONE (EXISTING) :	M2 - I	
DP AREA:	DPA 7A - CORRIDOR	
SITE AREA (m²) :	2031 m²	
LOT WIDTH	30.49m	
FLOOR AREA	m²	APPLICABLE TO FSR
BASEMENT	670	0
MAIN FLOOR	1745	1745
SECOND FLOOR	1764	1764
THIRD FLOOR	1764	1764
ROOFTOP STAIRS	32	32
TOTAL	5975	5305
FLOOR SPACE RATIO	2.61	
BUILDING HEIGHT	13.451 m	
NUMBER OF STOREYS	4	
SETBACKS		
LOT BOUNDARY (SUMMIT):	1.7 m	
LOT BOUNDARY (NANAIMO):	0.725 m	
LOT BOUNDARIES - INTERIOR :	0.0 m	
SITE COVERAGE:	m²	%
BUILDING FOOTPRINT	1745	86
DRIVEWAYS	61	3
SOFT LANDSCAPE + SIDEWALK	225	11
TOTAL SITE	2031	100
LOADING SPACE:	NONE PROVIDED	VARIANCE REQUESTED
PARKING SPACES:		
BIKE PARKING SPACES:	LONGTERM = 5	1 PER 1200 m²
SOFT LANDSCAPE + SIDEWALK	SHORT TERM = 6	11
	TOTAL 11	LOCATED IN BASEMENT

LEGEND

- VEHICLE ACCESS
- PEDESTRIAN EXIT
- EXISTING AVERAGE GRADE

AVERAGE GRADE

GRADE POINTS:	CALCULATIONS:	AVERAGE:	DISTANCE:	TOTAL:
A-B	(15.64+17.53)/2	16.585	60.45	1002.563
B-C	(17.53+17.54)/2	17.535	3.85	67.510
C-D	(17.54+18.17)/2	17.855	14.947	266.879
D-E	(18.17+18.27)/2	18.22	5.415	98.661
E-F	(18.27+18.17)/2	18.22	2.64	48.101
F-G	(18.17+18.21)/2	18.19	1.985	36.107
G-H	(18.21+18.19)/2	18.2	4.869	88.616
H-J	(18.19+15.94)/2	17.065	60.91	1039.429
J-A	(15.94+15.64)/2	15.79	27.95	441.331
				3089.196
BUILDING PERIMETER			183.016	
AVERAGE GRADE				16.879
MAIN FLOOR GEODETIC:		17.53		
MAIN FLOOR SLAB:		100		
TOP OF STAIR TOWER:		112.8		
HEIGHT OF STAIR TOWER:		12.8		
TOP OF STAIR GEODETIC:		30.33		
BUILDING HEIGHT:		13.451		

- DP DRAWING REVISIONS
- A2.1
3. REQUIRED BIKE PARKING SHOWN
(8 STALL RACK)
4. REQUIRED VEHICLE PARKING STALLS
SHOWN (7 STALLS)



1 Basement Level
1 : 100

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2122 Brandon Road, Shawnigan Lake, BC
250-277-2296

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ENGINEERING

SUMMIT AVENUE CAR STORAGE FACILITY

750 - 780 SUMMIT AVE

BASEMENT PLAN

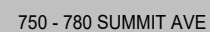
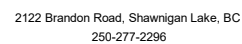
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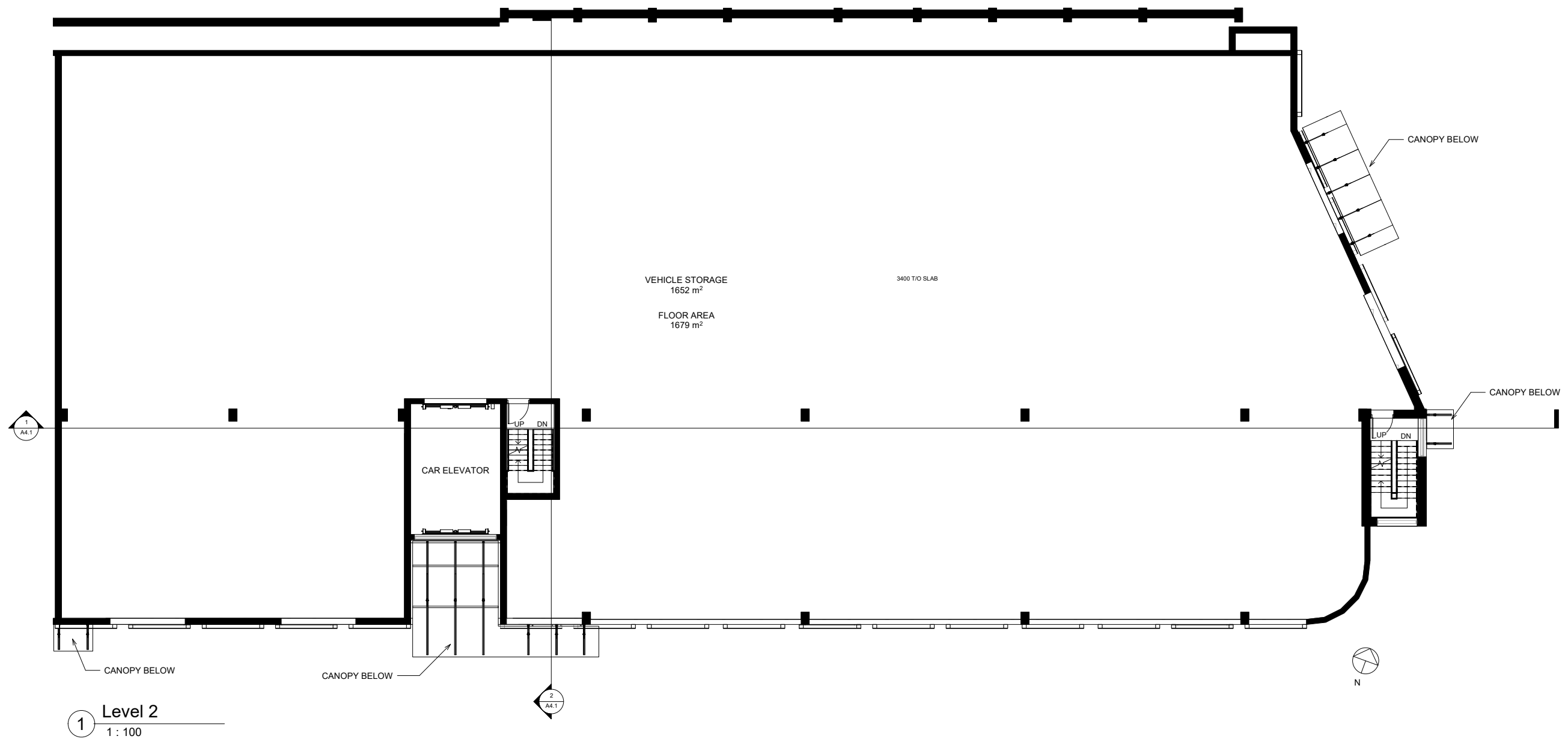
A2.1

A2.2

1. CITY SIDEWALK WIDTH AND ADDITION OF BENCHES IN PULL-OUTS
2. CITY TREES LOCATED IN BOULEVARD



A2.2



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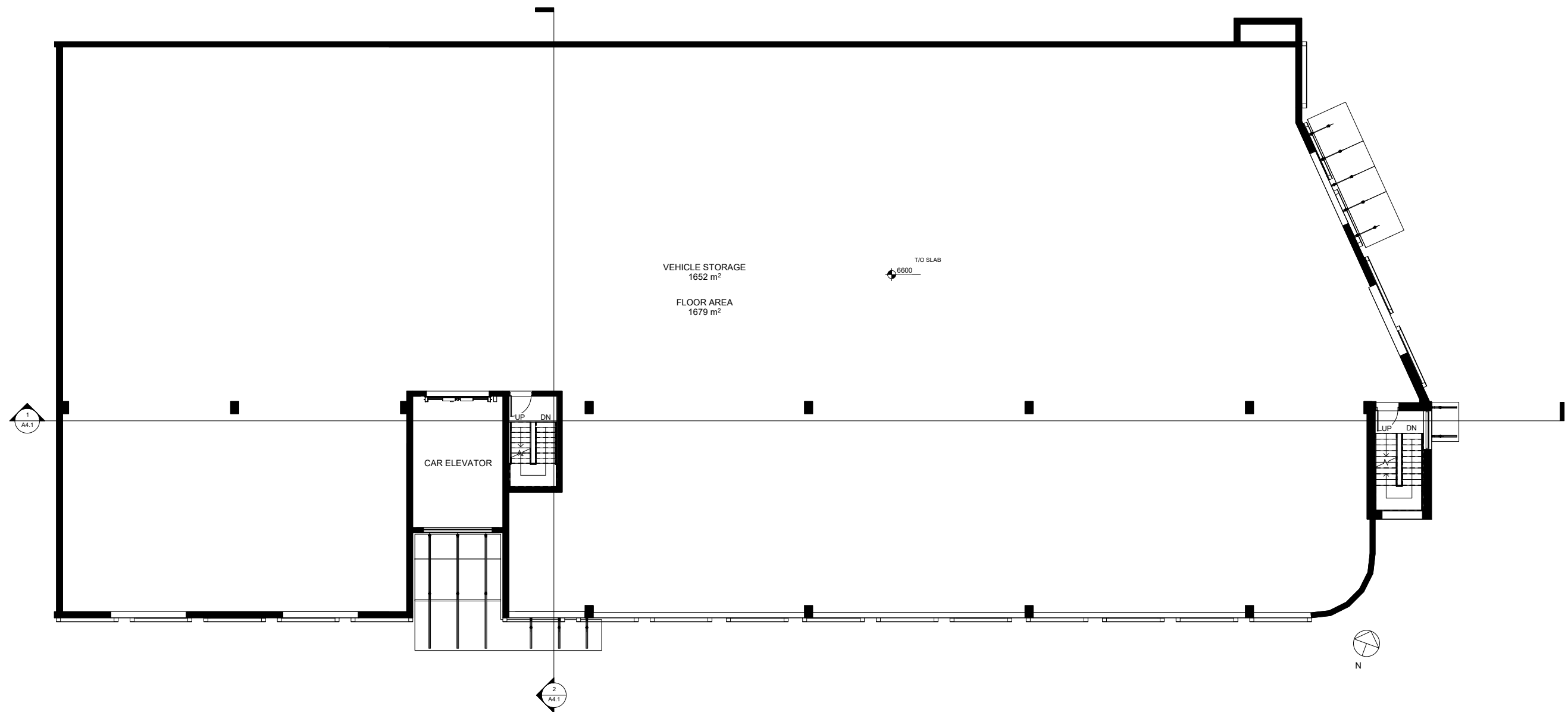
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LEVEL 2 PLAN

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A2.3



1 Level 3
1 : 100

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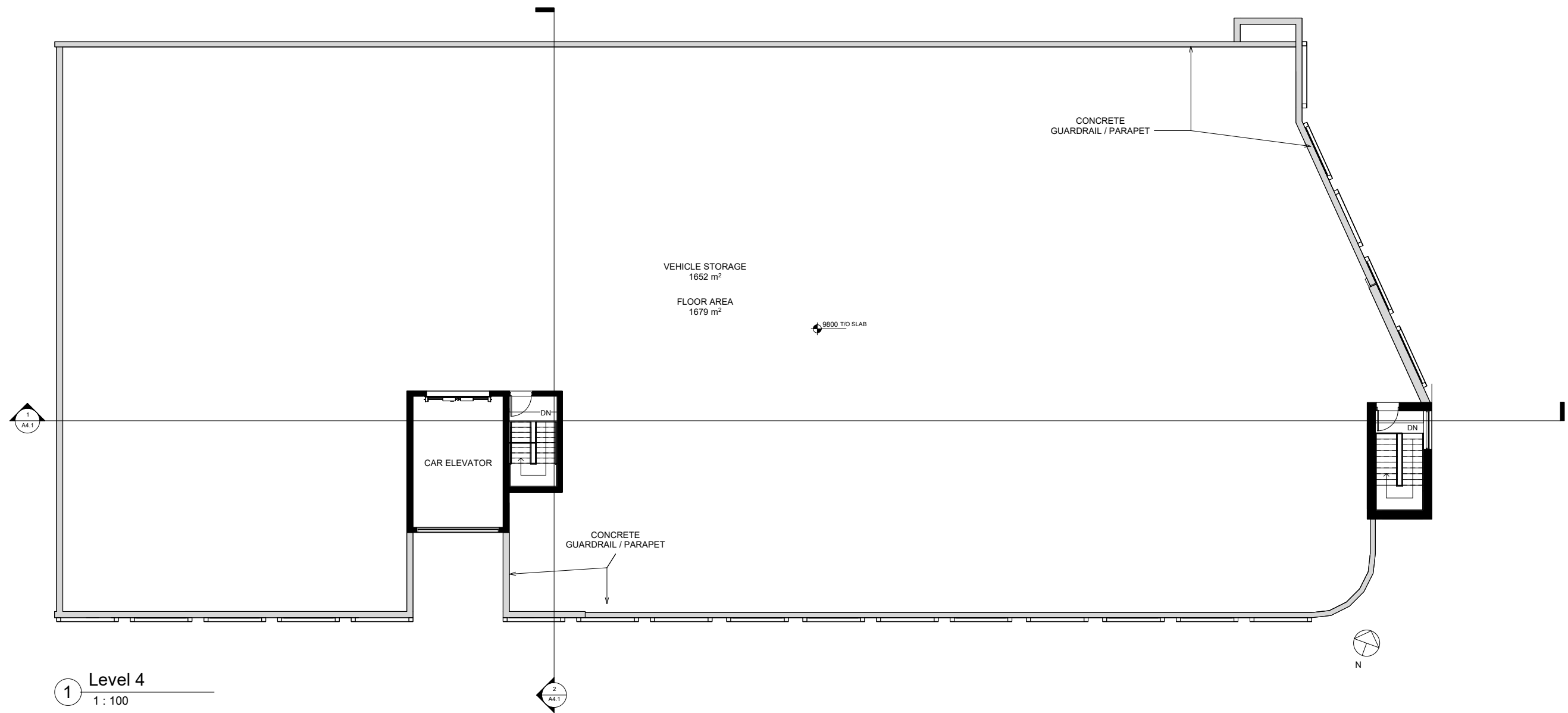
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LEVEL 3 PLAN

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A2.4



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LEVEL 4 - ROOF PLAN

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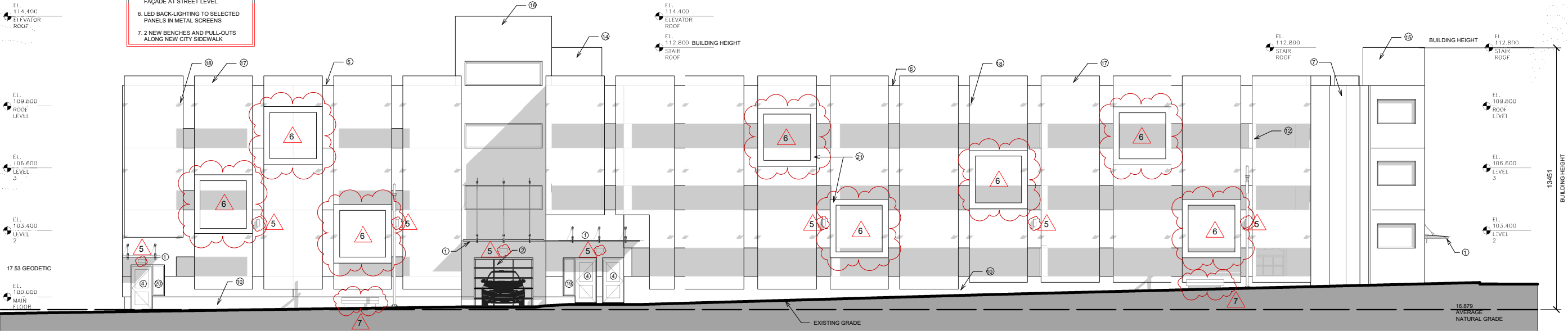
A2.5

KEY NOTES

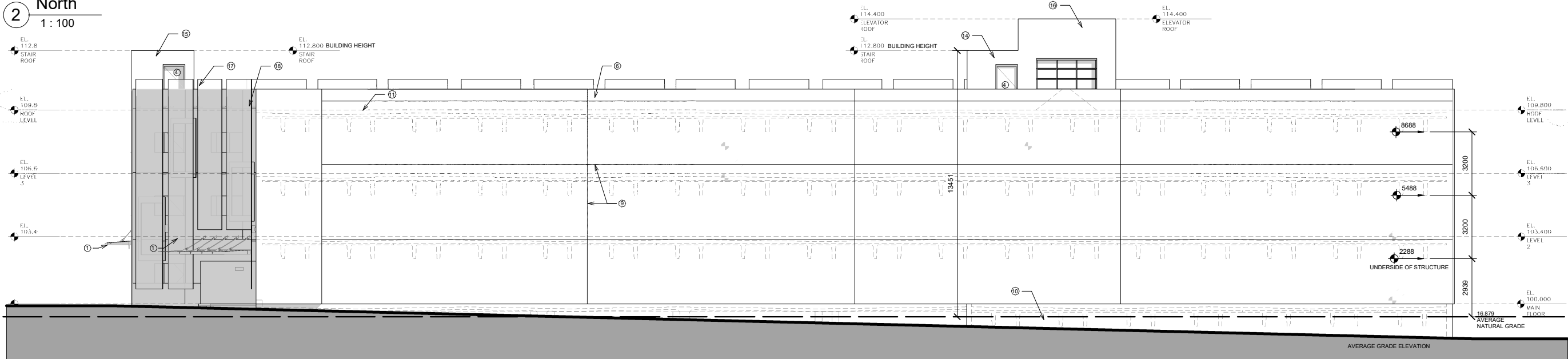
1	GLASS + STEEL CANOPY OVEN ENTRY	11	SLOPED TOPPING SLAB ON DBL TEES
2	3050 x 2600 OH DOOR	12	400 x 600 PRECAST COLUMN W CORBEL
3	3660 x 2134 OH DOOR	14	STAIR #1
4	1000 x 2200 DOOR	15	STAIR #2
5	300 PRECAST WALL PANELS	16	CAR ELEVATOR
6	250 PRECAST WALL PANELS	17	DECORATIVE METAL PANEL
7	250 C.I.P OR PRECAST WALL FULL HEIGHT / OR GREEN WALL	18	METAL PANEL WALL SUPPORTS
8	400 PRECAST "LITE WALL" PANELS	19	610 x 1950mm SIDELIGHT
9	VERTICAL + HORIZONTAL WALL PANEL JOINTS	20	610 x 1600mm SIDELIGHT
10	CONCRETE FOUNDATION WALL	21	LED LIGHT ILLUMINATED PORTIONS

1 South
1 : 100

DP DRAWING REVISIONS
A3.1
5. ADDITIONAL LIGHT FIXTURES ALONG
FAÇADE AT STREET LEVEL
6. LED BACK-LIGHTING TO SELECTED
PANELS IN METAL SCREENS
7. 2 NEW BENCHES AND PULL-OUTS
ALONG NEW CITY SIDEWALK



2 North
1 : 100



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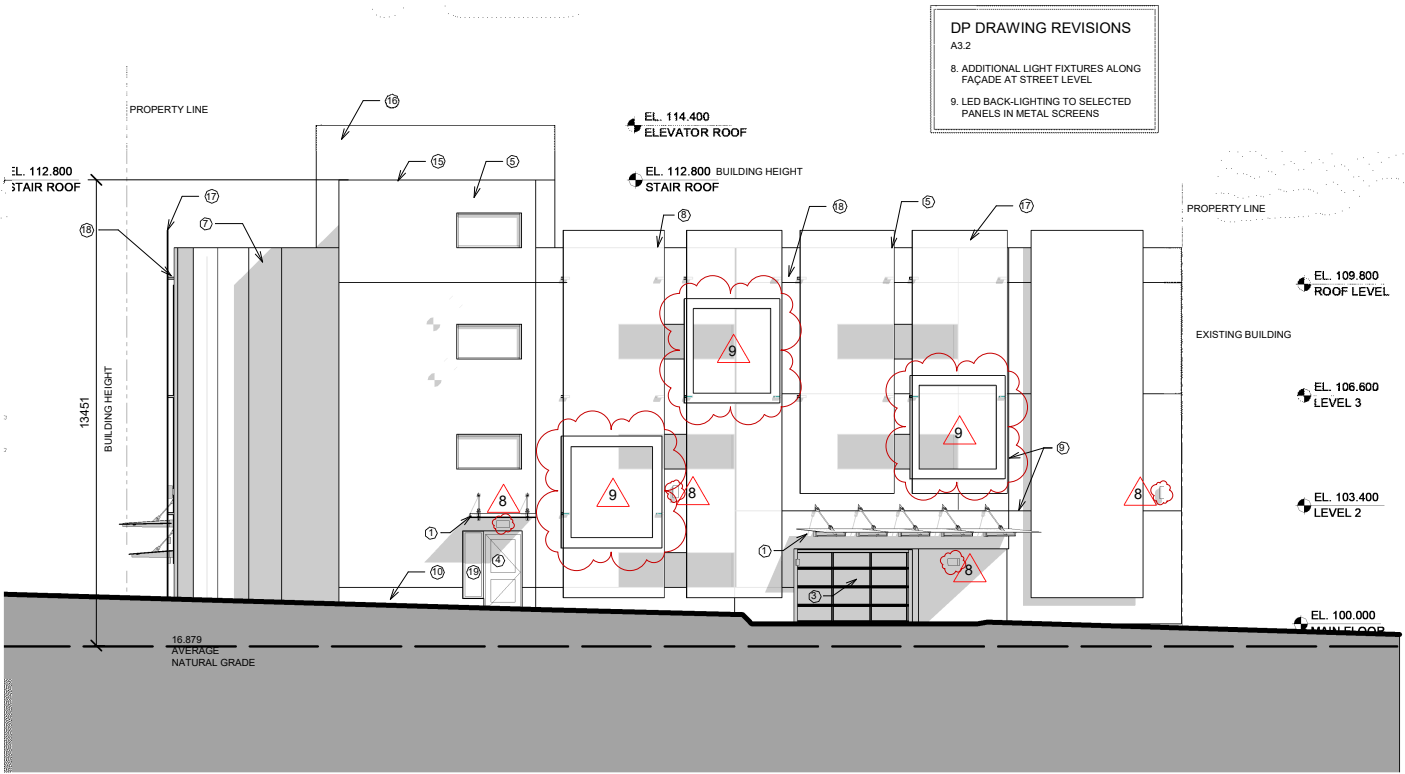
ELEVATIONS

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A3.1

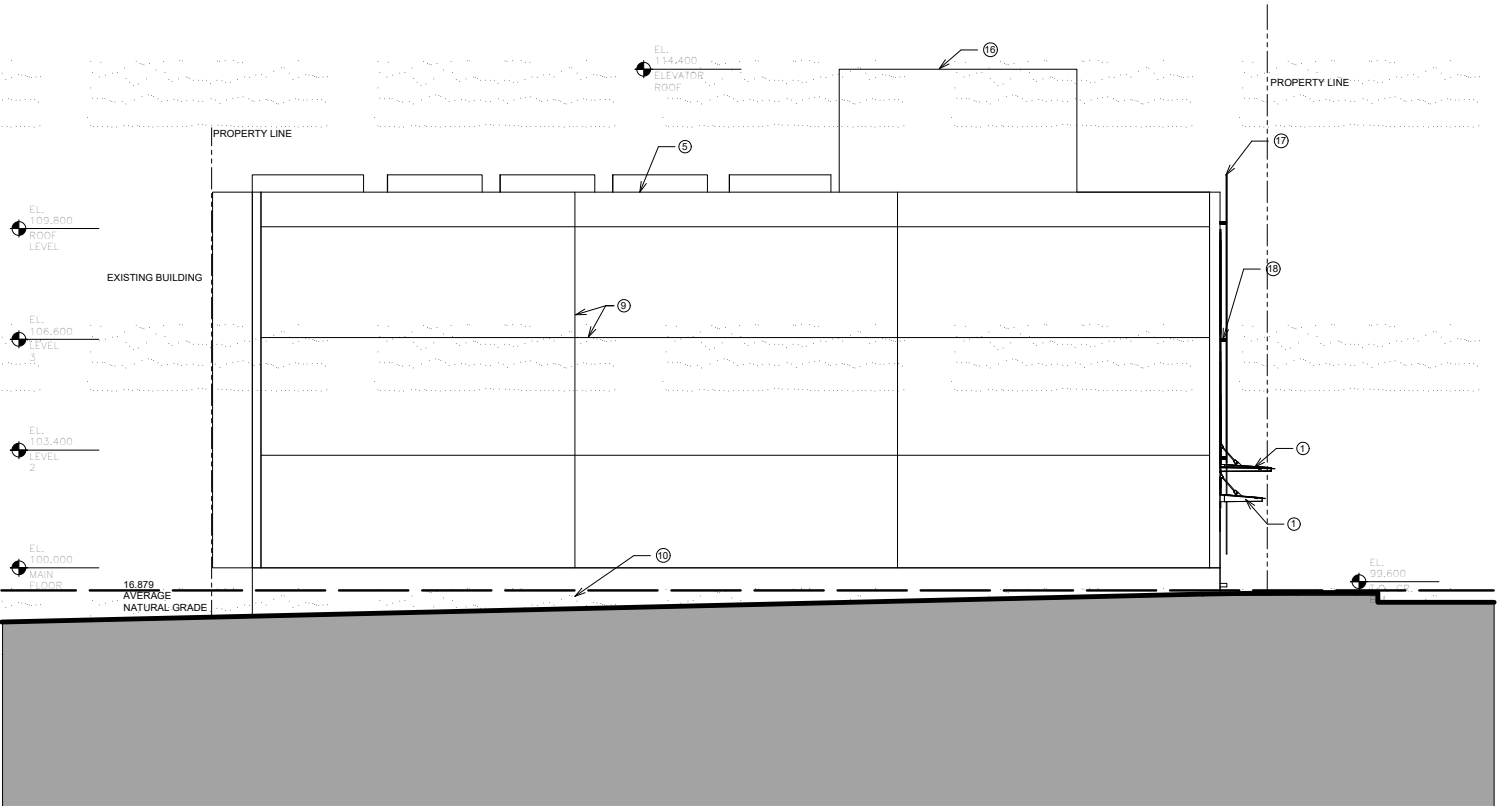
1 East
1 : 100



KEY NOTES

- 1 GLASS + STEEL CANOPY OVEN ENTRY
- 2 3050 x 2600 OH DOOR
- 3 3660 x 2134 OH DOOR
- 4 1000 x 2200 DOOR
- 5 300 PRECAST WALL PANELS
- 6 250 PRECAST WALL PANELS
- 7 250 C.I.P OR PRECAST WALL FULL HEIGHT / OR GREEN WALL
- 8 400 PRECAST "LITE WALL" PANELS
- 9 VERTICAL + HORIZONTAL WALL PANNEL JOINTS
- 10 CONCRETE FOUNDATION WALL
- 11 SLOPED TOPPING SLAB ON DBL TEES
- 12 400 x 600 PRECAST COLUMN W CORBEL
- 14 STAIR #1
- 15 STAIR #2
- 16 CAR ELEVATOR
- 17 DECORATIVE METAL PANEL
- 18 METAL PANEL WALL SUPPORTS
- 19 610 x 1950mm SIDELIGHT
- 20 LED LIGHT ILLUMINATED PORTIONS

2 West
1 : 100



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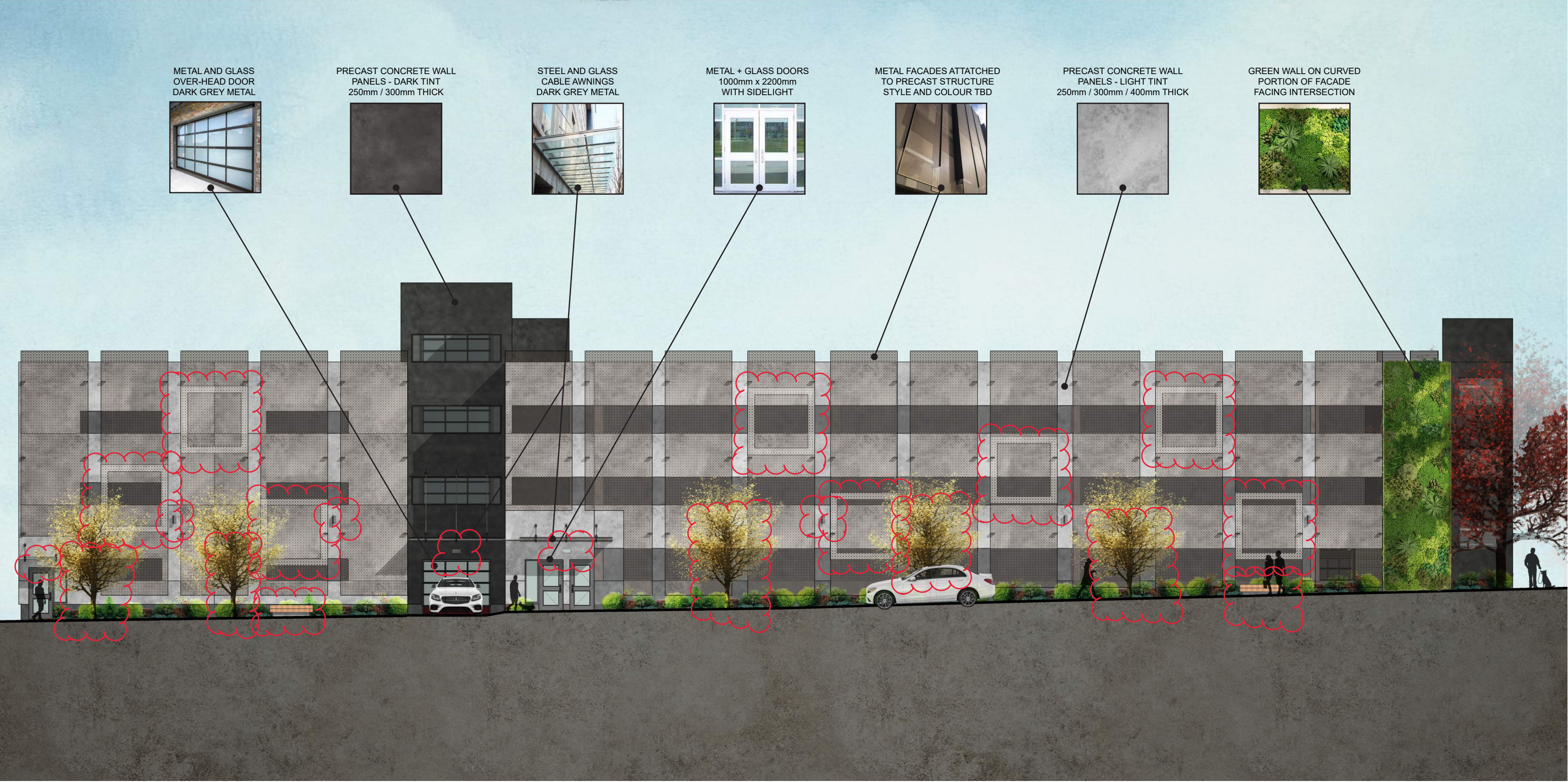
750 - 780 SUMMIT AVE

ELEVATIONS

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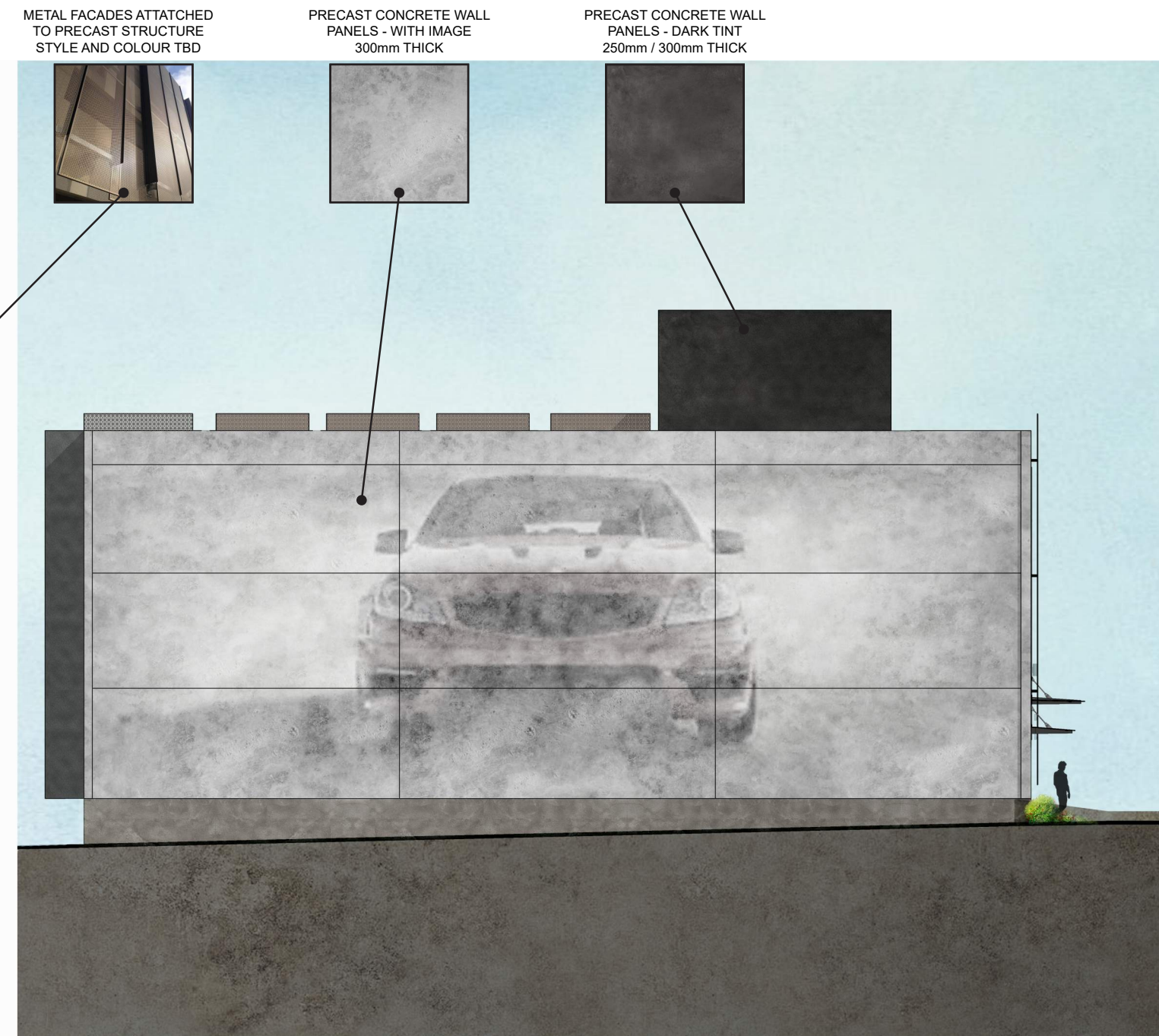
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A3.2



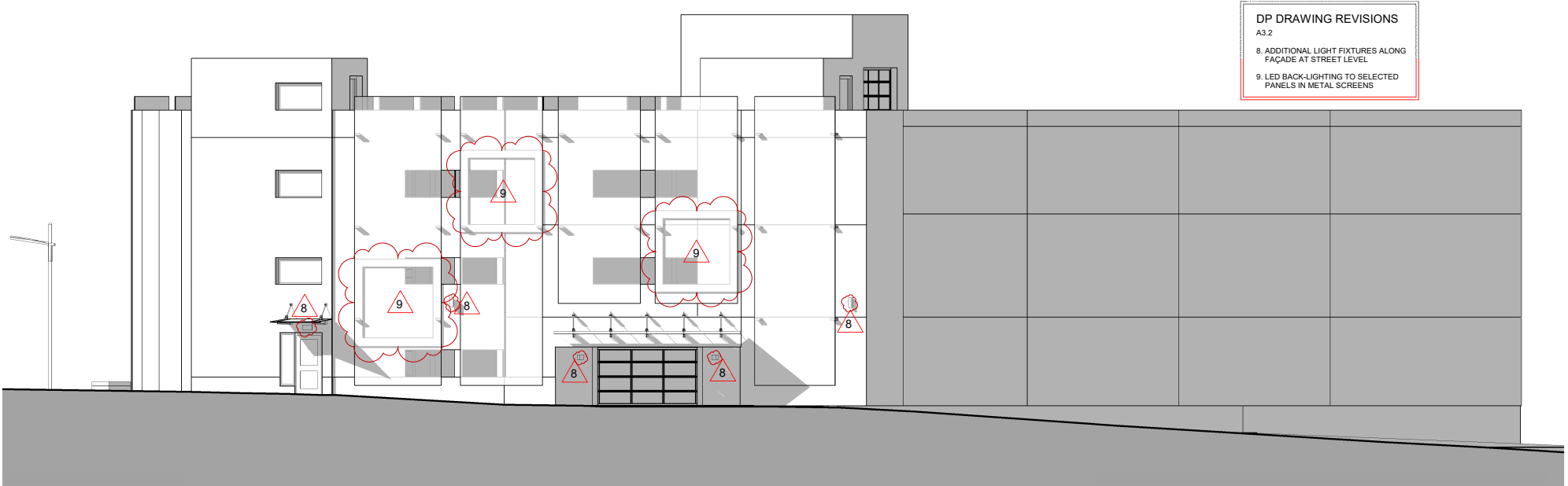


1 East Elevation
1 : 80



2 West Elevation
1 : 80

1 East - Entrance Elevation
1 : 100



2 East - Entrance View 1



3 East Entrance View 2

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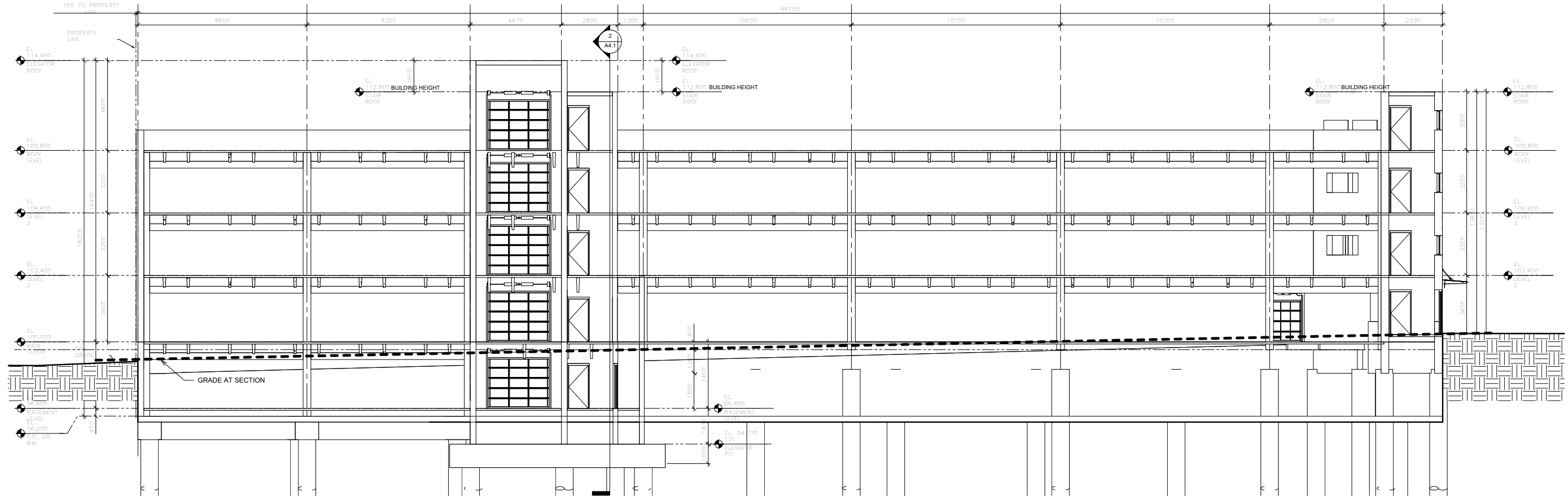
750 - 780 SUMMIT AVE

EAST ENTRANCE - ELEVATION + VIEWS

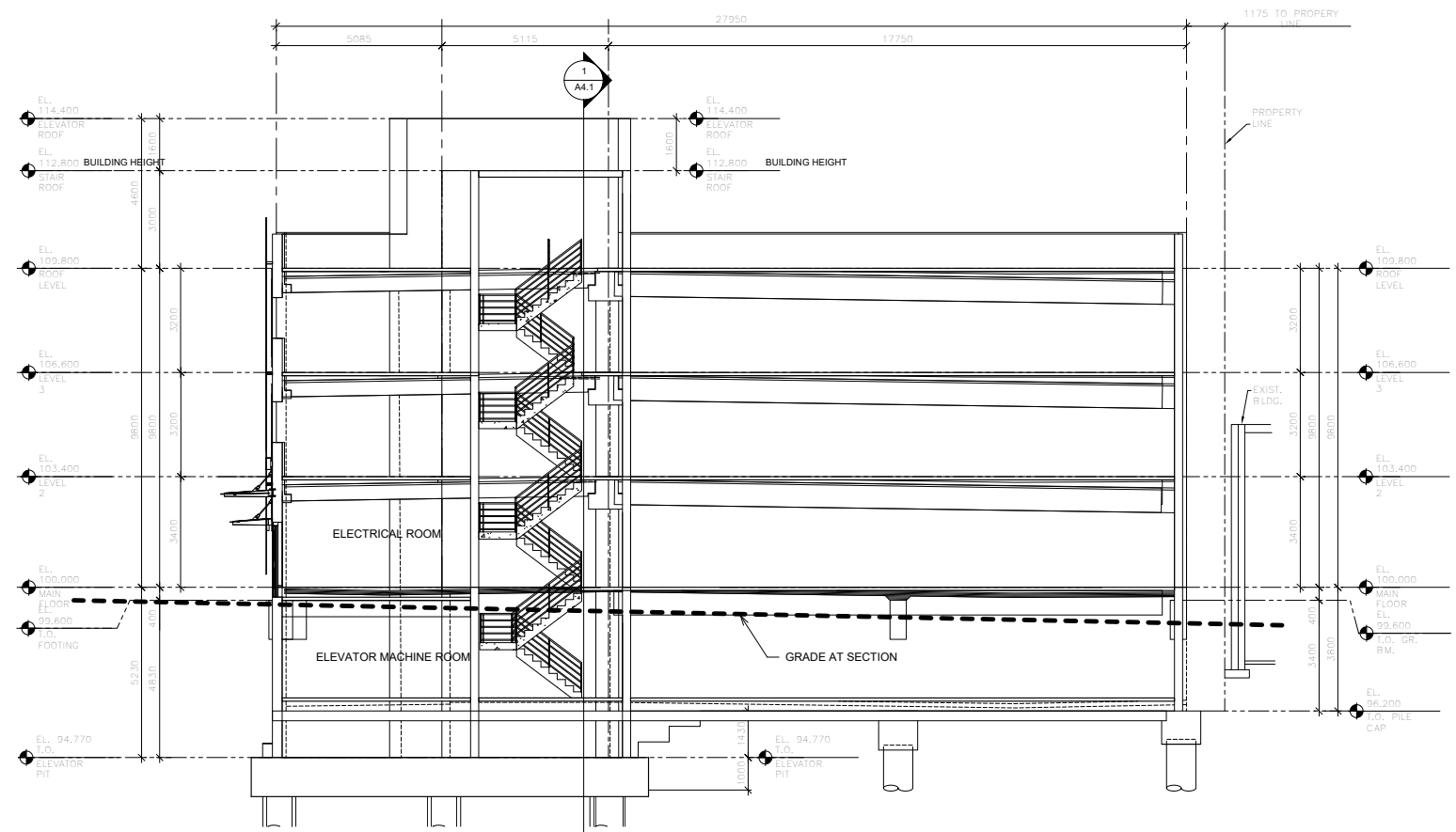
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A3.5



1 Section 1
1 : 100



2 Section 2
1 : 100

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SECTIONS

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A4.1



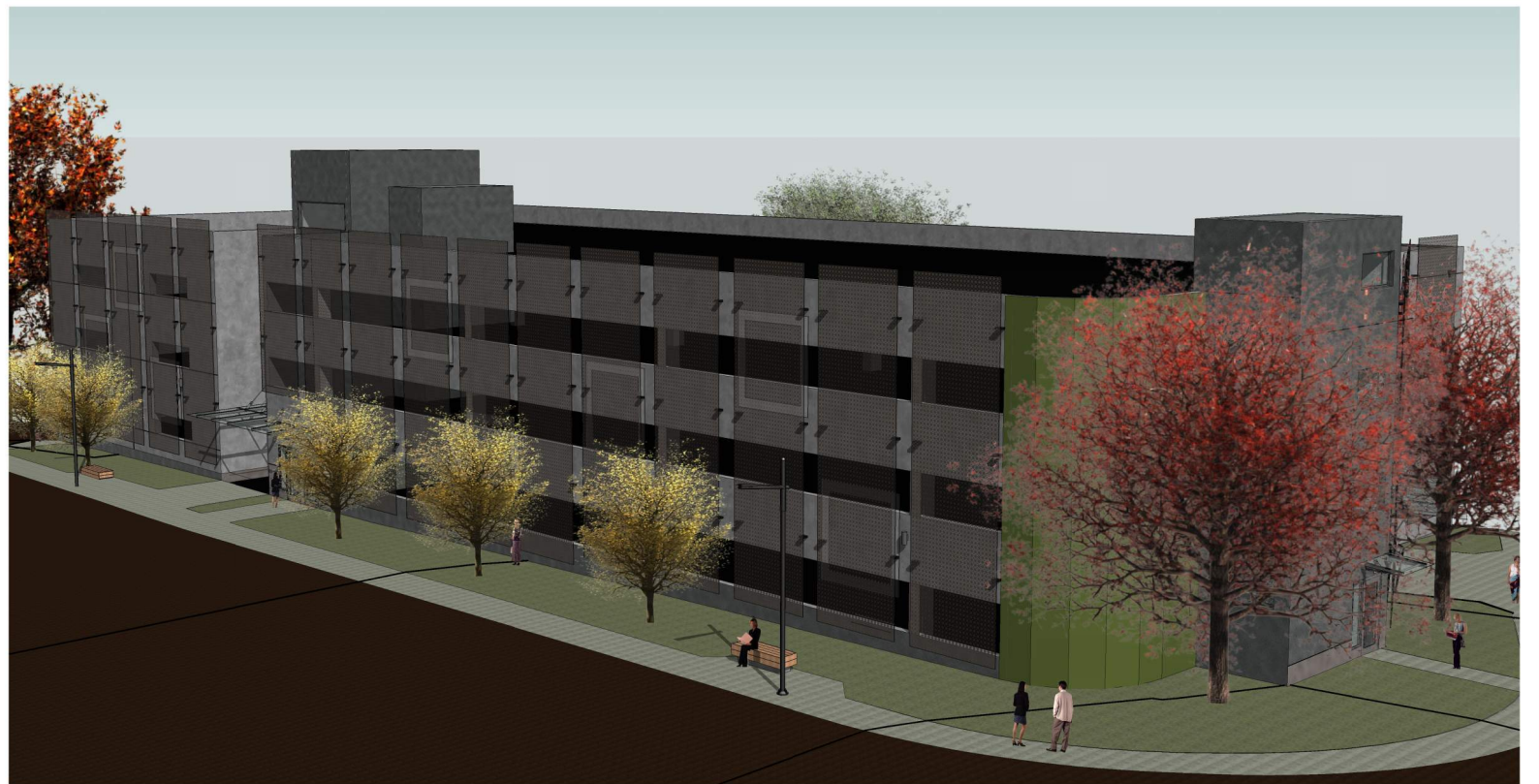
① 3D View 1



② 3D View 2



③ 3D View 3



④ 3D View 4

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750 - 780 SUMMIT AVE

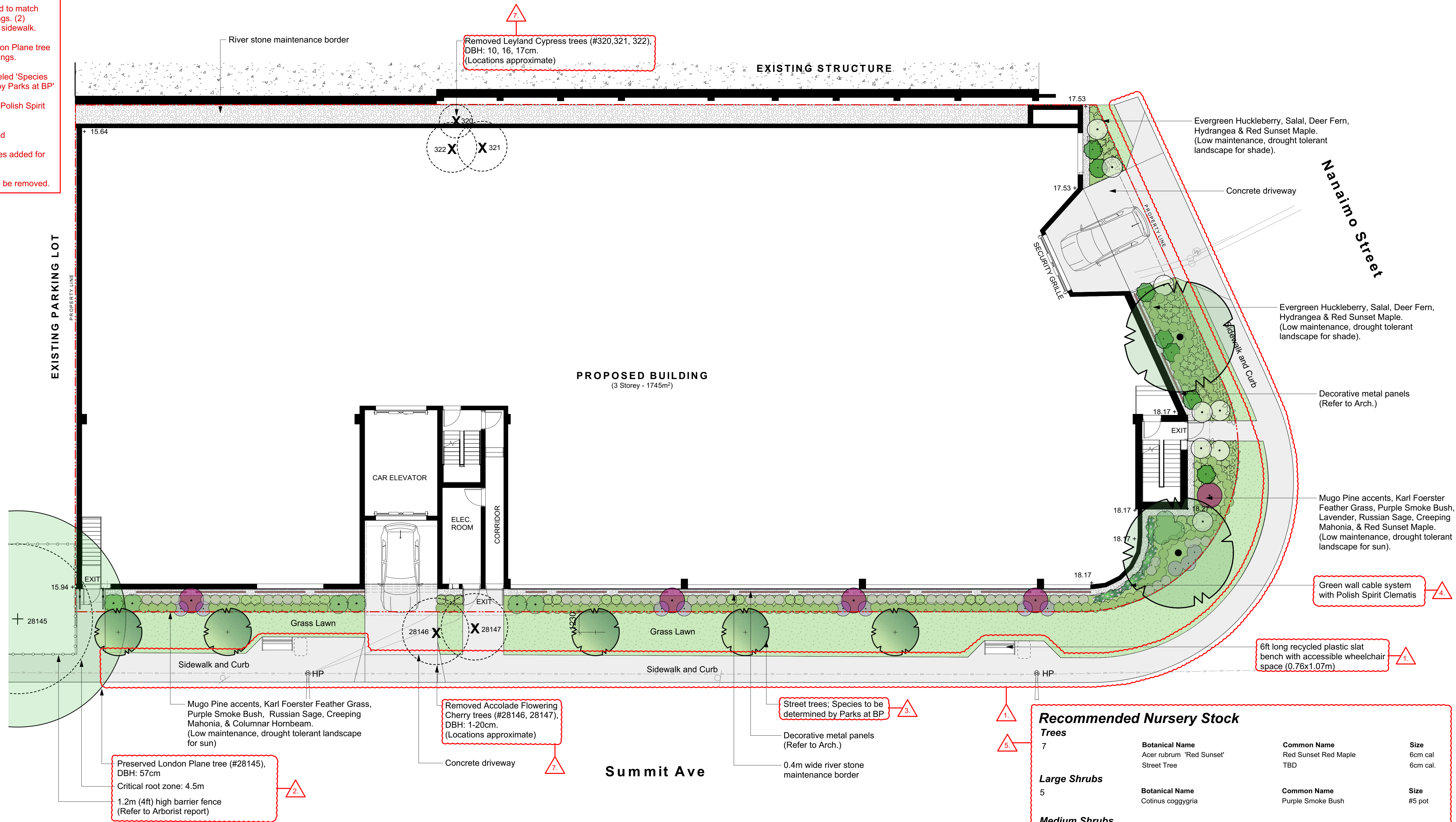
3D Views

ISSUE: DP APPLICATION

DATE: 02/12/2020

A5.1

- DP DRAWING REVISIONS**
1. Sidewalk revised to match Civil / Arch. drawings. (2) Benches added to sidewalk.
 2. Preserved London Plane tree added to the drawings.
 3. Street trees labeled 'Species to be determined by Parks at BP'
 4. Green wall with Polish Spirit Clematis labeled.
 5. Plant list updated
 6. Character images added for context.
 7. Existing trees to be removed.



Recommended Nursery Stock

Trees	Botanical Name	Common Name	Size
7	Acer rubrum 'Red Sunset' Street Tree	Red Sunset Red Maple TBD	6cm cal 6cm cal.
Large Shrubs	Botanical Name	Common Name	Size
5	Cotinus coggygia	Purple Smoke Bush	#5 pot
Medium Shrubs	Botanical Name	Common Name	Size
24	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 pot
	Pinus mugo pumilio	Dwarf Mugo Pine	#5 pot
	Vaccinium ovatum	Evergreen Huckleberry	#5 pot
Small Shrubs	Botanical Name	Common Name	Size
145	Gaultheria shallon	Salal	#1 pot
	Mahonia repens	Creeping Oregon Grape	#1 pot
Perennials, Grasses and Ferns	Botanical Name	Common Name	Size
124	Blechnum spicant	Deer Fern	#1 pot
	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	Lavandula officinalis	English Lavender	#1 pot
	Perovskia atriplicifolia	Russian Sage	#1 pot
Vines	Botanical Name	Common Name	Size
23	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#5 pot

Notes:
1. All work to be completed to current CSLA Landscape Standards

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D	Feb 11-20	DP Re-submission
C	Nov 8-19	DP Re-submission
B	Oct 23-19	Minor Plant Rev due to drafting error
A	Sept 9-19	DP Re-submission

REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

750-780 Summit Avenue
Car Storage Facility
Victoria, BC

TITLE

Landscape Concept Plan

SCALE

1:120

DRAWN

S.L

CHECKED

B.W.

PROJECT No.

1916

DATE

April. 18,2019

1

of 1

SHEET

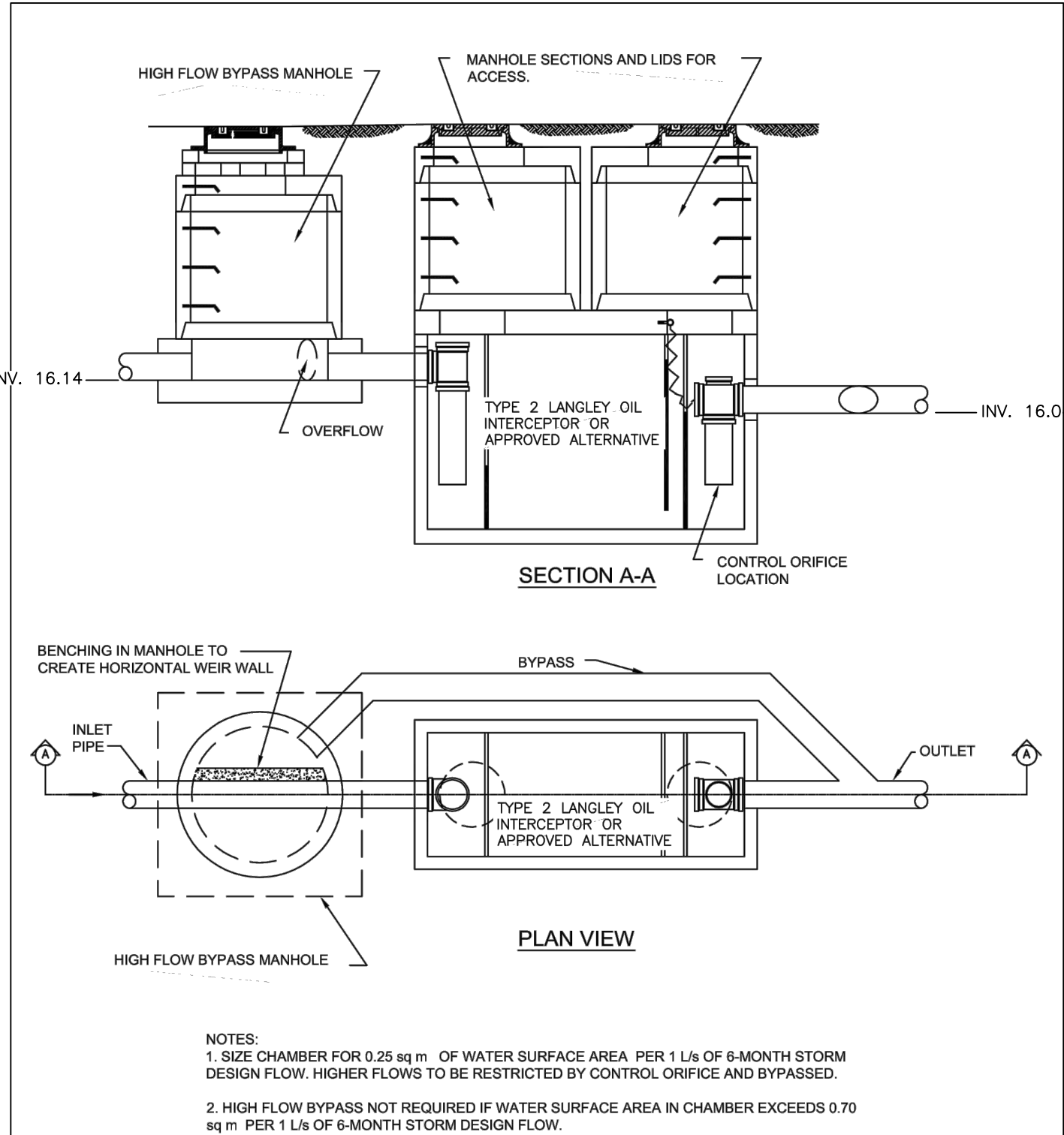
Landscape Concept - Summit Ave. Car Storage Facility

V:\Projects\31655-2 - Superfb Const - Engineering\07 - Engineering\07 - Drawings & Sketches (Eng)\31655-2 - Base.dwg Plot Date: February 13, 2020

- 1. GENERAL NOTES**
- 1.1. ALL CONSTRUCTION AND MATERIALS WITHIN MUNICIPAL RIGHT-OF-WAYS TO BE IN ACCORDANCE WITH THE MUNICIPAL ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) PLATINUM EDITION - VOLUME II. WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - 1.2. ALL WORKS ON PRIVATE PROPERTY (ONSITE) TO BE AS PER THE LATEST BC BUILDING CODE AND ARE TO BE INSPECTED BY THE MUNICIPAL PLUMBING OR BUILDING INSPECTOR. A PLUMBING PERMIT IS REQUIRED.
 - 1.3. CONTRACTOR TO OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE MUNICIPALITY 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
 - 1.4. CONTRACTOR SHALL SUBMIT EMERGENCY CONTACT NUMBERS TO THE MUNICIPALITY A MINIMUM OF 48 HRS PRIOR TO THE START OF CONSTRUCTION.
 - 1.5. CONTRACTOR TO MAINTAIN AN UP-TO-DATE SET OF AS-CONSTRUCTED DRAWINGS. DRAWINGS TO BE DELIVERED TO THE ENGINEER PRIOR TO SUBSTANTIAL PERFORMANCE.
 - 1.6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION LAYOUT, MEANS, METHODS, TECHNIQUES, PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
 - 1.7. CONTRACTOR TO ENSURE EXISTING MONUMENTS AND IRON PINS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS OR IRON PINS IN DANGER OF DISTURBANCE SHALL BE REFERENCED AND, IF DISTURBED, REPLACED BY A BCLS AT THE DEVELOPER'S EXPENSE.
 - 1.8. CONTRACTOR TO PROVIDE A MINIMUM OF 24 HRS NOTICE PRIOR TO INSPECTION OR WITNESS TESTS.
 - 1.9. CONTRACTOR IS RESPONSIBLE FOR ANY RESTORATION REQUIRED AS A RESULT OF DAMAGE DONE DURING CONSTRUCTION TO CITY INFRASTRUCTURE. THIS INCLUDES CURB, GUTTER, SIDEWALK, PAVEMENT, ROAD MARKING (LINE PAINTING AND CURB PAINTING) AND BOULEVARD RESTORATION AS REQUIRED.
- 2. TRAFFIC MANAGEMENT**
- 2.1. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MANAGEMENT PLAN A MINIMUM OF 48 HOURS BEFORE COMMENCING CONSTRUCTION. THE TRAFFIC MANAGEMENT PLAN TO BE IN ACCORDANCE WITH MMCD SECTION 01 55 00 AND PART D OF THE UNIFORM TRAFFIC CONTROL DEVICES (UTCD).
 - 2.2. THE CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE PERMITTED BY THE MUNICIPALITY.
 - 2.3. ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED. THE CONTRACTOR SHALL ACCOMMODATE FOOT ACCESS AT ALL TIMES. CONTRACTOR TO PROVIDE 24 HOURS NOTICE TO RESIDENCES IF VEHICULAR ACCESS CAN NOT BE MAINTAINED. VEHICLE ACCESS MUST BE RESTORED PRIOR TO THE END OF THE WORKING DAY.

- 3. PUBLIC IDENTIFICATION**
- 3.1. THE PUBLIC NOTICE SHALL BE DISTRIBUTED A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCING OF CONSTRUCTION.
 - 3.2. THE PUBLIC NOTICE IS TO BE PREPARED BY THE CONTRACTOR AND PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO THE DISTRIBUTION TO RESIDENCES.
 - 3.3. THE PUBLIC NOTICE SHALL IDENTIFY THE PROJECT, EXPECTED CONSTRUCTION PERIOD AND PROVIDE CONTACT INFORMATION FOR THE CONTRACTOR, ENGINEER AND THE MUNICIPALITY.
 - 3.4. THE PUBLIC NOTICE SHALL BE HAND DELIVERED TO ALL RESIDENTS AND BUSINESSES WITHIN ONE BLOCK OF THE PROJECT LIMITS.
- 4. ENVIRONMENTAL PROTECTION**
- 4.1. TO PROTECT THE SOIL, WATER, AND VEGETATIVE RESOURCES OF THE DEVELOPMENT ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION OF THE WORKS AND SERVICES CONTAINED IN THE ENGINEERING DRAWINGS ARE TO BE DISTURBED.
- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT TRANSFER BY UTILIZING SUCH MEASURES AS CONSTRUCTION OF INTERCEPTOR DITCHES, SILT FENCES, HAY BALE STRUCTURES, SEDIMENT CONTROL PONDS, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS HE MAY DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERCOURSES.
- PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL PREPARE AND REVIEW WITH THE OWNER A PLAN WHEREBY THE OWNER WILL UPON FINAL COMPLETION ASSUME RESPONSIBILITY FOR ONGOING EROSION AND SEDIMENT CONTROL MEASURES ON THIS SITE.
- THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.
- 4.2. ENVIRONMENTAL PROTECTION MEASURES TO BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
 - 4.3. CONTRACTOR TO OBTAIN PERMIT PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY.
- 5. HYDRO/TELEPHONE/CABLE/STREETLIGHTING**
- 5.1. HYDRO/TEL/CABLE SERVICING DESIGN ARE SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO UTILITIES PLANS FOR DETAILS.

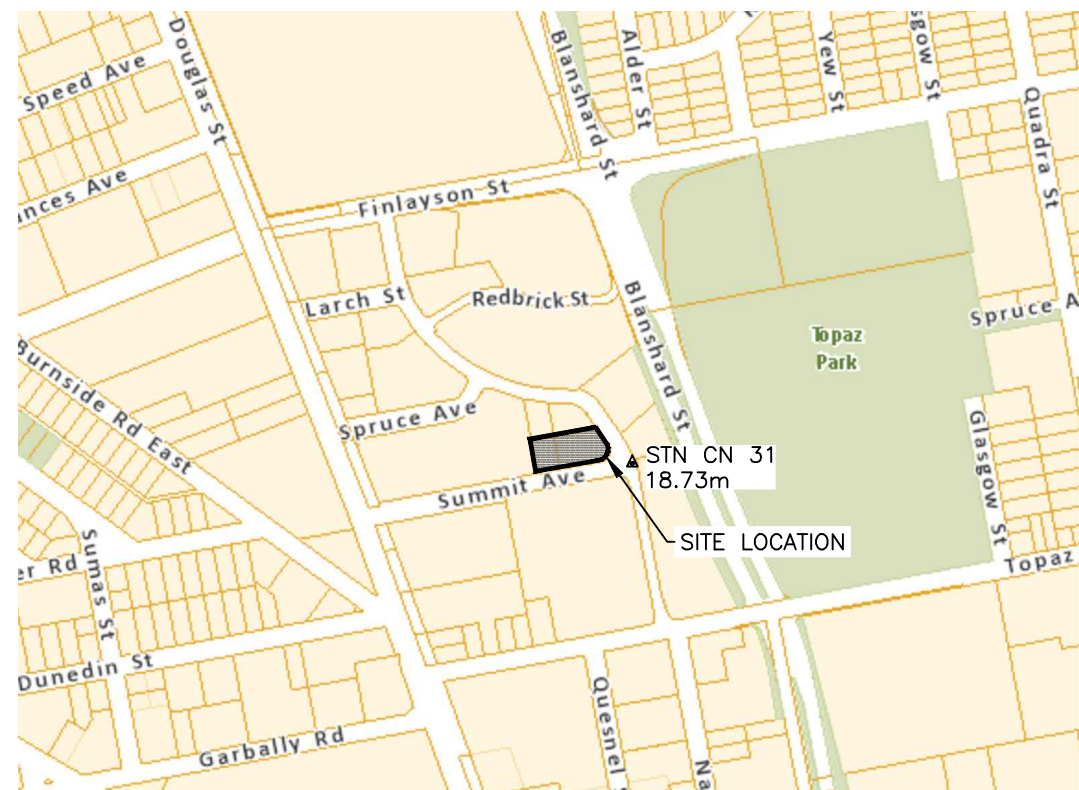
- 6. QUALITY ASSURANCE TESTING**
- 6.1. CONTRACTOR SHALL RETAIN AND PAY THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEER FOR QUALITY ASSURANCE TESTING DURING CONSTRUCTION IN MUNICIPAL RIGHT-OF-WAY AND SHALL AT A MINIMUM PROVIDE:
 - a) GRANULAR BASE (SIDEWALKS/CURBS/GUTTER) - MINIMUM ONE ON NANAIMO STREET AND TWO ON SUMMIT AVE
 - b) CONCRETE MIX DESIGN
 - c) CONCRETE STRENGTH TESTS
 - 1) ONE PER 150m OF SIDEWALK AND/OR CURB AND GUTTER. MINIMUM OF ONE PER DAY DURING CONCRETE PLACING.
- 7. TRENCHING, EXCAVATING, AND BACKFILLING**
- 7.1. EXISTING UTILITIES SHOWN ARE AS PER MUNICIPAL RECORDS. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS PRIOR TO COMMENCING CONSTRUCTION. SHOULD ANY CONFLICT OR DISCREPANCIES ARISE, THE CONTRACT SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - 7.2. PRIOR TO COMMENCEMENT OF EXCAVATION OR SOIL RELOCATION, CONTRACTORS MUST BE REGISTERED UNDER BYLAW 14-071, SCHEDULE G, CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT MARGIN JEDYNIAK, SUPERVISOR, INFRASTRUCTURE PLANNING AND UNDERGROUND UTILITIES, AT 250-361-0550 OR mjedyniak@victoria.ca TO REGISTER.
 - 7.3. ALL SERVICES SHALL BE INSPECTED BY THE ENGINEER AND/OR MUNICIPAL INSPECTOR PRIOR TO BACKFILLING.
 - 7.4. CONTRACTOR TO ENSURE EXISTING SERVICES REMAIN IN SERVICE DURING CONSTRUCTION.
- 8. SEWER AND DRAIN**
- 8.1. ALL PIPE BEDDING AS PER MMCD STANDARD DETAIL DRAWING G4.
 - 8.2. ALL DRAIN AND SEWER MAINS SHALL BE PVC SDR 35 UNLESS NOTED OTHERWISE.
 - 8.3. ALL DRAIN AND SEWER SERVICES SHALL BE PVC SDR 28 UNLESS NOTED OTHERWISE.
 - 8.4. CONTRACTOR TO ENSURE ALL SEWERS AND DRAINS WITHIN PUBLIC ROAD RIGHT OF WAYS TO HAVE A MINIMUM 1.0 M OF COVER UNLESS NOTED OTHERWISE.
 - 8.5. ALL MANHOLES TO BE 1050 MM DIAMETER UNLESS NOTED OTHERWISE.
- 9.0. GAS**
- 9.1. GAS SERVICING IS SHOWN SCHEMATICALLY ON THESE PLANS, REFER TO FORTISBC PLANS FOR DETAILED INSTRUCTIONS. MINIMUM COVER 600mm ON ALL GAS MAINS. 1.5m HORIZONTAL SEPARATION FROM WATER MAINS AND SERVICES, 1.0m SEPARATION FROM OTHER SERVICES.
 - 9.2. CALL BC ONE CALL MINIMUM 72 HOURS PRIOR TO EXCAVATION 1-800-474-6886.



TYPE 2 LANGLEY OIL INTERCEPTOR AND HIGH FLOW BYPASS DETAIL
NTS

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	NAME	SIGNATURE	
UTILITY	BC HYDRO ELECTRIC		
	TELUS		
	FORTIS BC		
	SHAW CABLE		
MUNICIPAL	SANITARY SEWERS		
	STORM DRAINS		
	WATER WORKS		
	TRAFFIC		
	HIGHWAYS		

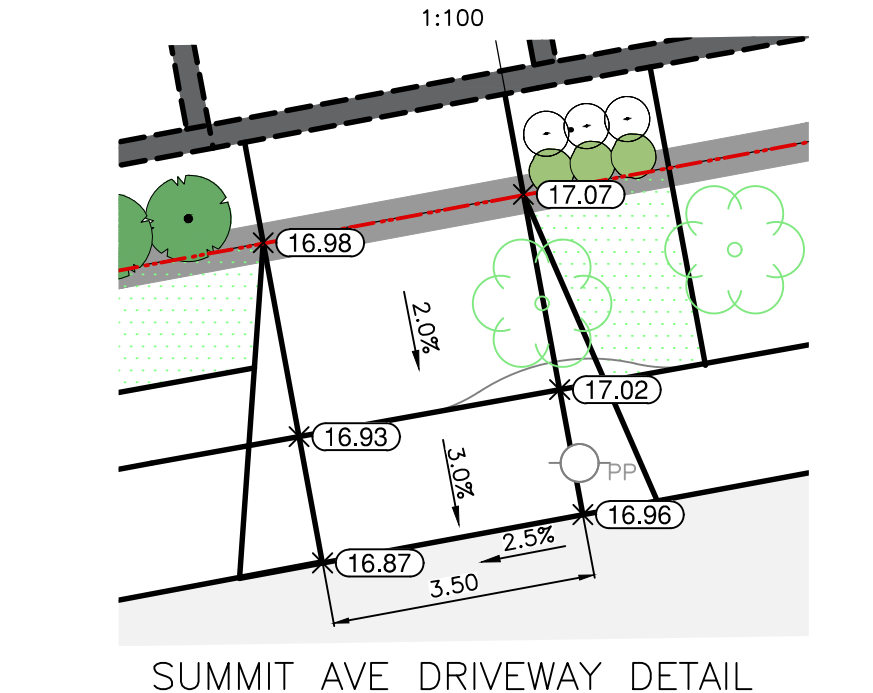
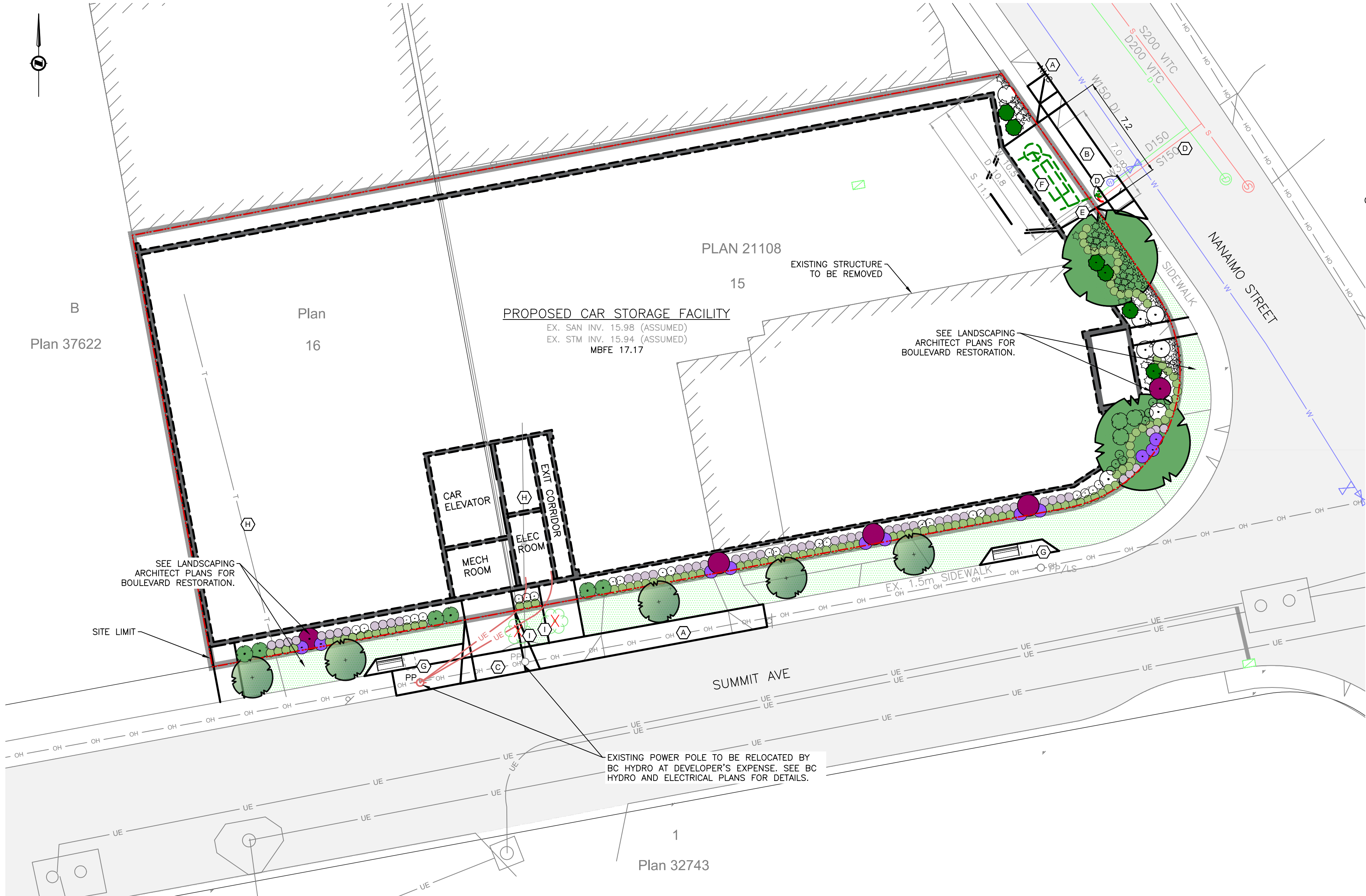
UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
DEPTH (m)	1.88m	1.84m
EXTG. INVERT (ASSUMED) ELEVATION (m)	15.94m	15.98m
MAXIMUM DEPTH REQUESTED	YES	YES



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT 16, SECTION 4, VICTORIA, PLAN 21108, VP21108

BENCHMARK: STN CN 31 ELEV. 18.73m



DETAILED CONSTRUCTION NOTES:

- CONTRACTOR TO REMOVE EXISTING LETDOWN AND REPLACE WITH NEW CURB AND SIDEWALK C/W FULL PANEL SIDEWALK RESTORATION.
- CONTRACTOR TO WIDEN LETDOWN TO LINE UP WITH PARKADE ENTRANCE. DRIVEWAY DROPS AS PER CITY OF VICTORIA STANDARD DETAIL DWG C7B.
- NEW ACCESS TO CAR ELEVATOR. CONTRACTOR TO INSTALL NEW ACCESS TO CAR ELEVATOR AS PER DWG C7B.
- EXISTING DRAIN/WATER SERVICES TO BE REUSED. CITY OF VICTORIA CREWS TO TEST AND CLEAR EXISTING SERVICES. CAP EXISTING SEWER, AND INSTALL INSPECTION CHAMBERS AT THE DEVELOPERS EXPENSE. CONTRACTOR TO EXPOSE SERVICES AT PROPERTY LINE FOR THE CITY OF VICTORIA. CITY OF VICTORIA CREWS TO INSTALL NEW SERVICES AT THE DEVELOPERS EXPENSE IF REQUIRED. CONTRACTOR TO COMPLETE FULL PANEL RESTORATION OF DRIVEWAY DROP.
- ONSITE WATER PER AVALON MECHANICAL DRAWINGS.
- CONTRACTOR TO INSTALL TYPE 2 LANGLEY OIL INTERCEPTOR C/W MANHOLE SECTIONS FOR ACCESS AND 1050mm HIGH FLOW BYPASS MANHOLE PER DETAIL ON C1.
- CONTRACTOR TO WIDEN SIDEWALK FOR 6FT LONG RECYCLED PLASTIC SLAT BENCH WITH ACCESSIBLE WHEELCHAIR SPACE (0.76x1.07m) AT POWER POLES. 1.5m OF CLEAR WALKING WIDTH OFF POWER POLES REQUIRED.
- EXISTING HYDRO/TEL/COM SERVICES TO SITE TO BE ABANDONED BY A QUALIFIED CONTRACTOR AT THE DEVELOPER'S EXPENSE.
- CONTRACTOR TO OBTAIN TREE REMOVAL PERMIT AND REMOVE EXISTING CHERRY TREES.

ISSUED FOR BUILDING PERMIT

ISSUED					REVISION						
NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK

LEGEND	
LAMP STANDARD	LS
POLE(Hydro, Tel.)	PP
U/G WIRING	UE
GAS	G
WATER	W
SEWER	S
DRAIN	D
CLEANOUT	CS
CATCHBASIN	CB
MANHOLE	MH
SERVICE RISER	SR
MOUNTABLE CURB	MC
NON-MOUNT. CURB	NMC
EDGE ASPHALT	EA
DITCH	DI
METER	M
FLUSH VALVE	FV
VALVE	V
REDUCER	R
HYDRANT	H
AIR VALVE	AV

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 FAX: 250-727-3395

JURISDICTION DISTRICT OF CITY OF VICTORIA	CLIENT SUPERB CONSTRUCTION
	PROJECT SUMMIT AVENUE CAR STORAGE FACILITY 750 SUMMIT AVENUE SITE PLAN
ENGINEERS SEAL	MUN. FILE
	SHEET 1 OF 1



