

| 736 Princess Ave.

PROJECT:
John Howard
SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave.

CLIENT:
Hartwig Industries

ARCHITECT - CRP

steller
ARCHITECTURAL
CONSULTING
210-4252 Commerce Circle
Victoria, BC V8S 1A2
250-294-8076

CONSULTANT

Arcata
c. 250.413.7307 e. arcata@telus.net

ISSUED FOR: DATE:
Rezoning /DP 10.03.2020

REVISION NO.: DATE:
revised as per 19.05.2020
planning
comments

SAC PROJECT NO.:

DRAWN BY:

DATE: 19.05.2020

SCALE:
As Shown

DRAWING TITLE:

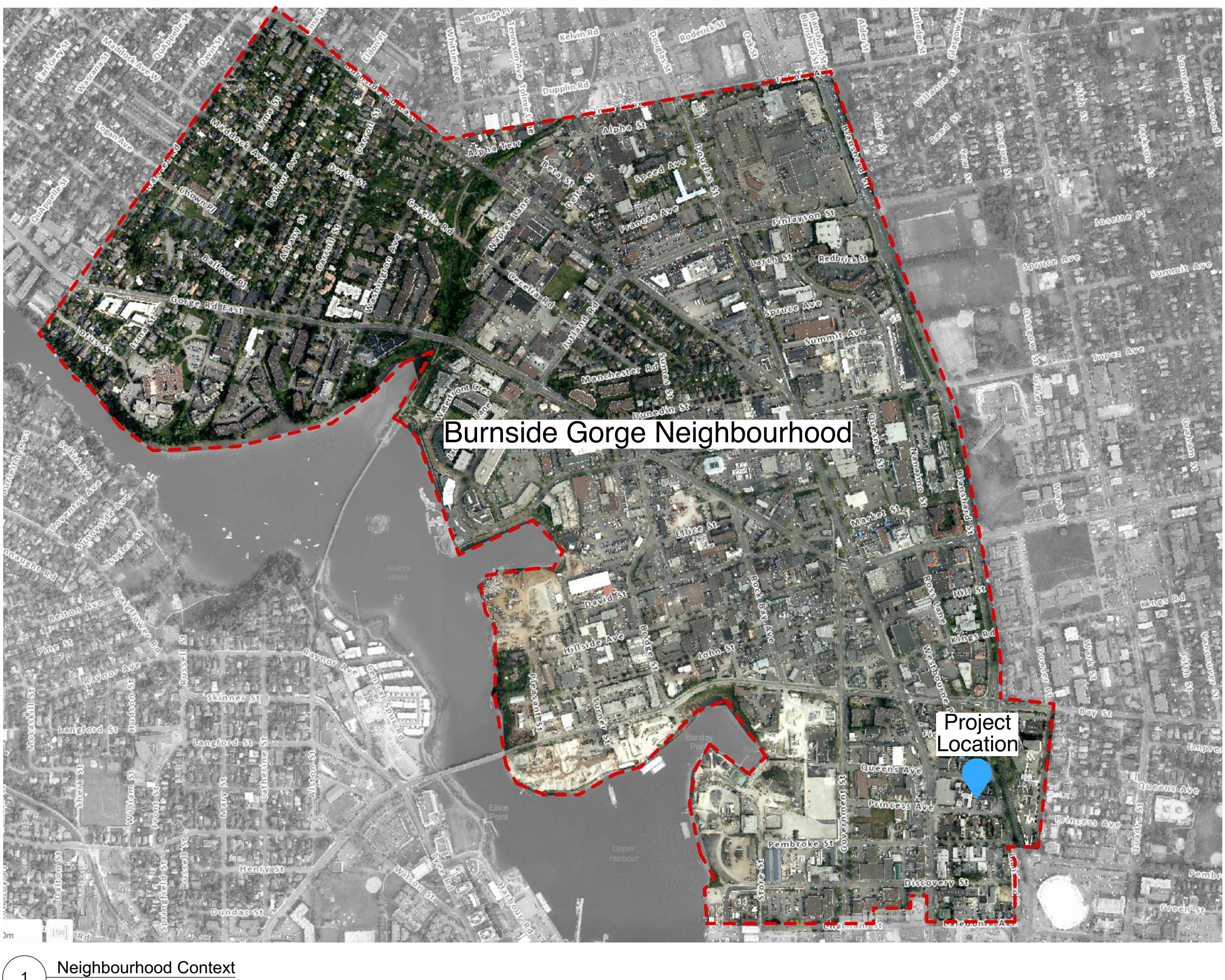
Title Sheet

DRAWING NUMBER:

A 0.0

Project Data 736 Princess Ave.

| | |
|---|---|
| Civic Address | 736 Princess Ave. |
| Legal Description | Lot 12, Block B, Section 3, Victoria, Plan 8 |
| Zoning Existing | Existing: M-1, Limited Light Industrial District |
| Zoning Proposed | New Zone |
| Site Area | 556 m ² (5,982 sq. ft.) |
| Floor Areas (Gross) | |
| Main area: | |
| Level 2 area: program (assembly) | 112.72 m ² (1213.30 sq ft) |
| Level 3 area: office/admin | 475.34 m ² (5116.52 sq ft) |
| Level 4 area: residential | 436.44 m ² (4697.80 sq ft) |
| Level 5 area: residential | 409.85 m ² (4411.59 sq ft) |
| Level 6 area: residential | 409.85 m ² (4411.59 sq ft) |
| Total Gross Floor Area | 386.47 m ² (4159.93 sq ft) |
| | 2,230.67 m² (24,010.73 sq ft) |
| Commercial Floor Area -Level 1 Cafe | 67.00 m ² Seating Capacity: Cafe less than 10 |
| Floor Space Ratio Allowed | 3.00:1 |
| Floor Space Ratio Proposed | 4.01:1 |
| Total floor area for calc. Levels 1-6: 2230.67 m ² | |
| Lot Area: 556 m ² 2230.67 / 556 = 4.01:1 | |
| Floor Space Ratio Residential Levels 4-6 1206.65 | |
| 1206.65 / 556 = 2.21:1 | |
| Site Coverage (%) (535.48 m ² / 556 m ²) * 100 | 96% |
| Open site space (%) (26.90. m ² / 556 m ²) * 100 | 4.8% |
| Height of Building Proposed (from average grade) | 20.88 m (to top of parapet) 20.1m (to top of roof) |
| Number of Storeys | 6 |
| Parking | |
| Cafe (restaurant) 1/40 m ² | required 67/40 = 1.68 provided - 2 stalls |
| Proposed - Office 1/70 m ² | required 436.44 /70= 6.23 provided - 6 stalls |
| Proposed - Programs (Assembly)1/50m ² | required 475.34/300= 9 provided - 0 stalls |
| Residential-Transitional units 1 / 80 m ² | required 1206.17/80 =15 provided - 0 stalls |
| | total required = 32 provided - 08 |
| Bicycle Parking Long term | cafe-1/400m ² required 60m ² /400m ² = 0 office- 1/150m ² required 436.44m ² /150m ² = 3 programs (assembly) required 475.34/200 = 2 residential @1 per unit required = 28 total required = 33 provided - 14 stalls |
| Short term | cafe -1/100m ² required 60m ² /100m ² = 1 office- 1/400m ² required 436.44m ² /400m ² = 2 programs (assembly) 1/200m ² 475.34/200 = 2 residential 0.1 p/u or 6 (which ever is greater) = 6 total commercial required = 5 provided = 6 total residential required = 6 provided = 0 |
| Building Setbacks Required | None |
| Total Number of Units | 28 (includes 3 accessible units) |
| Unit Type | Studios |
| Unit Size | 28 m ² - 33 m ² (290 sq.ft. - 360 sq.ft.) |
| Total Residential Floor Area Levels 4-6 | 1206.65 m ² (12,988.27 sq.ft.) |



Strata Plan VIS5567

Strata Plan VIS1708

Princess Street

January 4, 2017

File : 12,488 - 24

POWELL & ASSOCIATES

B C Land Surveyors

250-2950 Douglas Street

Victoria, BC V8T 4N4

phone (250) 382-8855

A circular icon containing the number 1, representing the first survey plan.

A hand-drawn map of a cinder block building. The building is represented by a thick red line forming a rectangular shape. A dashed line extends from the top left corner of the building. A thick red line extends from the top right corner of the building. A vertical red line extends downwards from the right side of the building. A horizontal red line extends to the right from the bottom right corner of the building. A small red 'N' is located near the bottom right corner. A green line extends from the bottom right corner of the building, with the text "light on wa" written in green at the end of the line.

05 to bldg 16.24

Scatter plot showing the relationship between X and Y. The data points (orange 'x') show a negative linear trend. A blue line represents the linear regression fit. The value 8.31 is labeled near the y-axis, and the value 16.65 is labeled near the x-axis.

16.91

17.11

Over

cinder block

bldg 0.04
over
(footing 0.19 over)

A 3D plot showing a surface with a vertical red line and a blue dashed line. The surface is a smooth, curved surface with a vertical red line running through it. A blue dashed line is also present, representing a boundary or a specific path on the surface. The plot is set against a white background with a gray grid.

A diagram on a light gray background. A solid red line segment is positioned at the top, sloping slightly downwards from left to right. Below it, a dashed blue line segment is drawn, forming a small L-shape. The dashed blue line has a vertical segment extending downwards from its right end, and a horizontal segment extending to the right from its bottom end. The red line is straight and horizontal, while the blue line is dashed and has a vertical segment extending downwards from its right end.

rtwig Industries

ARCHITECT - CRP

eller CHITECTURAL CONSULTING

210-4252 Commerce Circle
Victoria, BC, V8Z 4M2,
250-294-8076

CONSULTANT

| | |
|---------|-------------|
| FOR: | DATE: |
| ing /DP | 10. 03.2020 |

ON NO.: DATE:

| | |
|--|--|
| | |
| | |

| | |
|--|--|
| | |
| | |

PROJECT NO.:

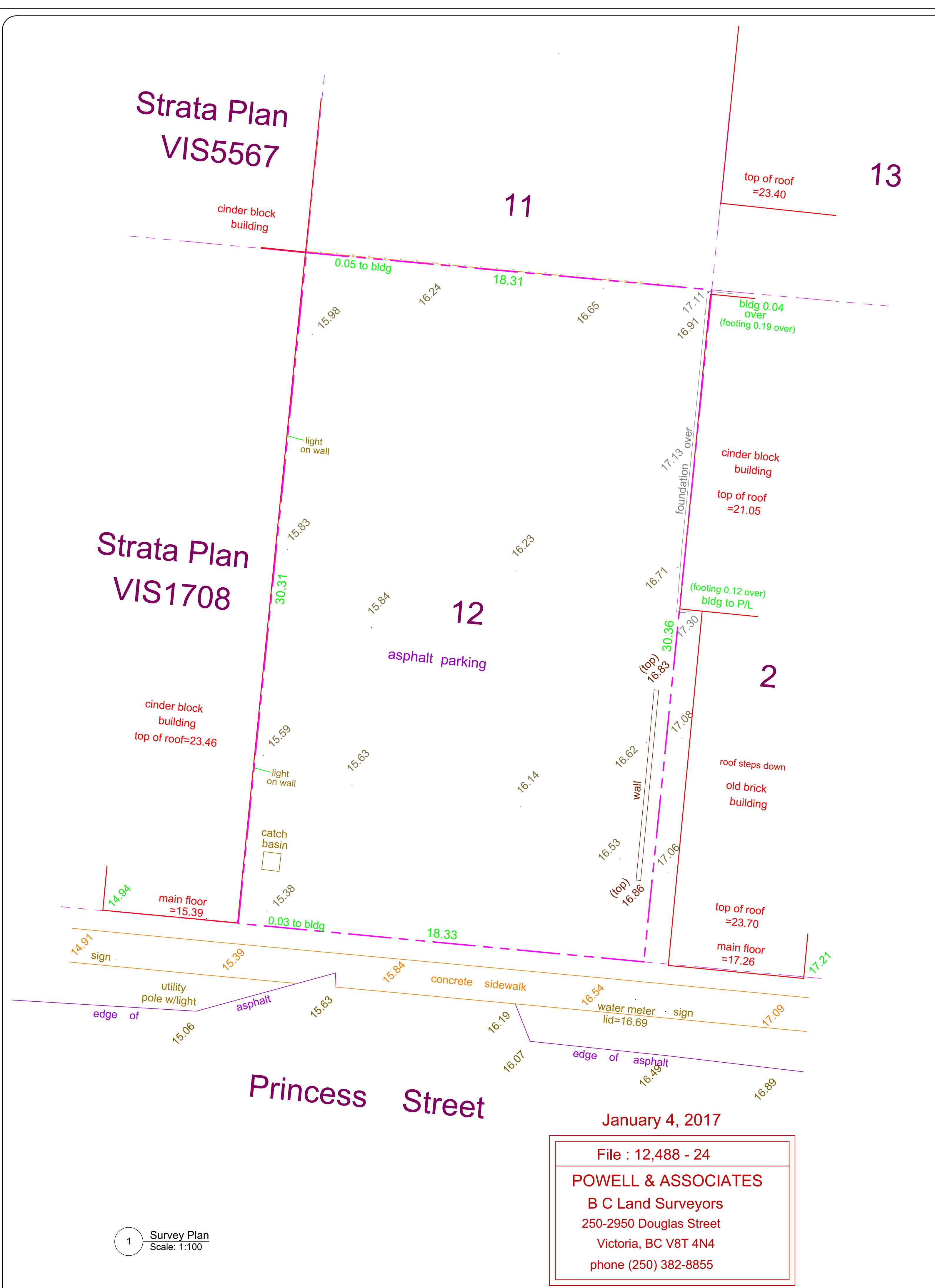
N BY:

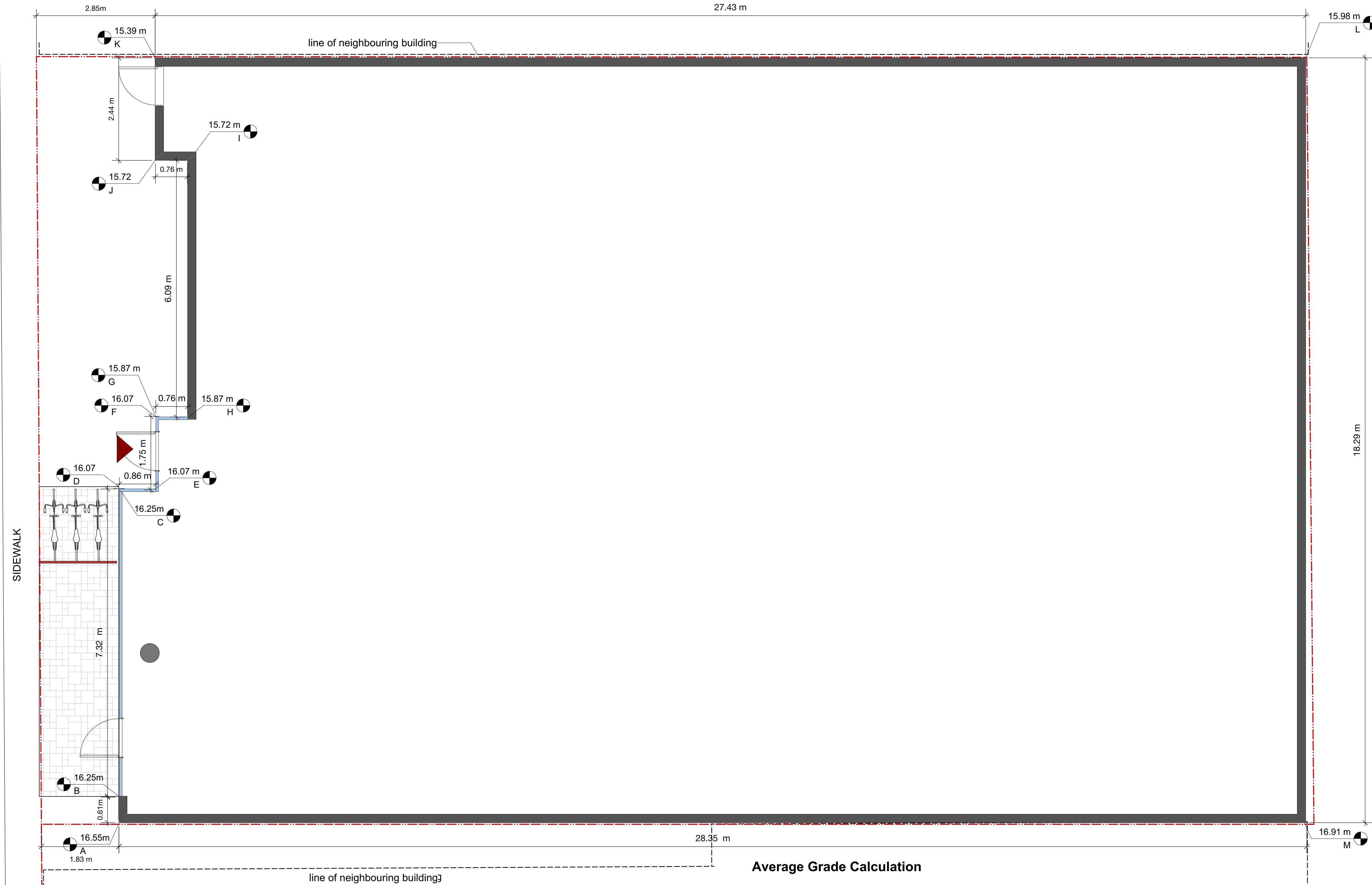
19.05.2020

AS DRAWN

REGISTRATION NUMBER:

A 0.2





Average Grade Calculation

| <u>Grade Points</u> | <u>Average</u> | <u>Distance(m)</u> | <u>Totals</u> |
|---------------------|------------------------|--------------------|---------------|
| A & B | $(16.55 + 16.25) / 2)$ | $\times 0.61$ | = 10.0 |
| B & C | $(16.25 + 16.25) / 2)$ | $\times 7.32$ | = 118.95 |
| C & D | $(16.25 + 16.07) / 2)$ | $\times 0$ | = 0.0 |
| D & E | $(16.07 + 16.07) / 2)$ | $\times 0.86$ | = 13.82 |
| E & F | $(16.07 + 16.07) / 2)$ | $\times 1.75$ | = 28.12 |
| F & G | $(16.07 + 15.87) / 2)$ | $\times 0$ | = 0.0 |
| G & H | $(15.87 + 15.87) / 2)$ | $\times .76$ | = 12.06 |
| H & I | $(15.87 + 15.72) / 2)$ | $\times 6.09$ | = 96.19 |
| I & J | $(15.72 + 15.72) / 2)$ | $\times .76$ | = 11.95 |
| J & K | $(15.72 + 15.39) / 2)$ | $\times 2.44$ | = 37.95 |
| K & L | $(15.39 + 15.98) / 2)$ | $\times 27.43$ | = 430.24 |
| L & M | $(15.98 + 16.91) / 2)$ | $\times 18.29$ | = 300.78 |
| M & A | $(16.91 + 16.55) / 2)$ | $\times 28.35$ | = 474.29 |

1,534.35

Building Perimeter

94.66 m

A 0.3

1. **What is the primary purpose of the proposed legislation?**

PROJECT: John Howard SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave

CLIENT:
Hartwig Industrie

ARCHITECT - CRP



CONSULTANT



| | |
|--------------|-----------|
| ISSUED FOR: | DATE: |
| Rezoning /DP | 10. 03.20 |

| | |
|--|----------|
| REVISION NO.: | DATE: |
| revised as per planning comments | 19.05.20 |

SAC PROJECT NO.:

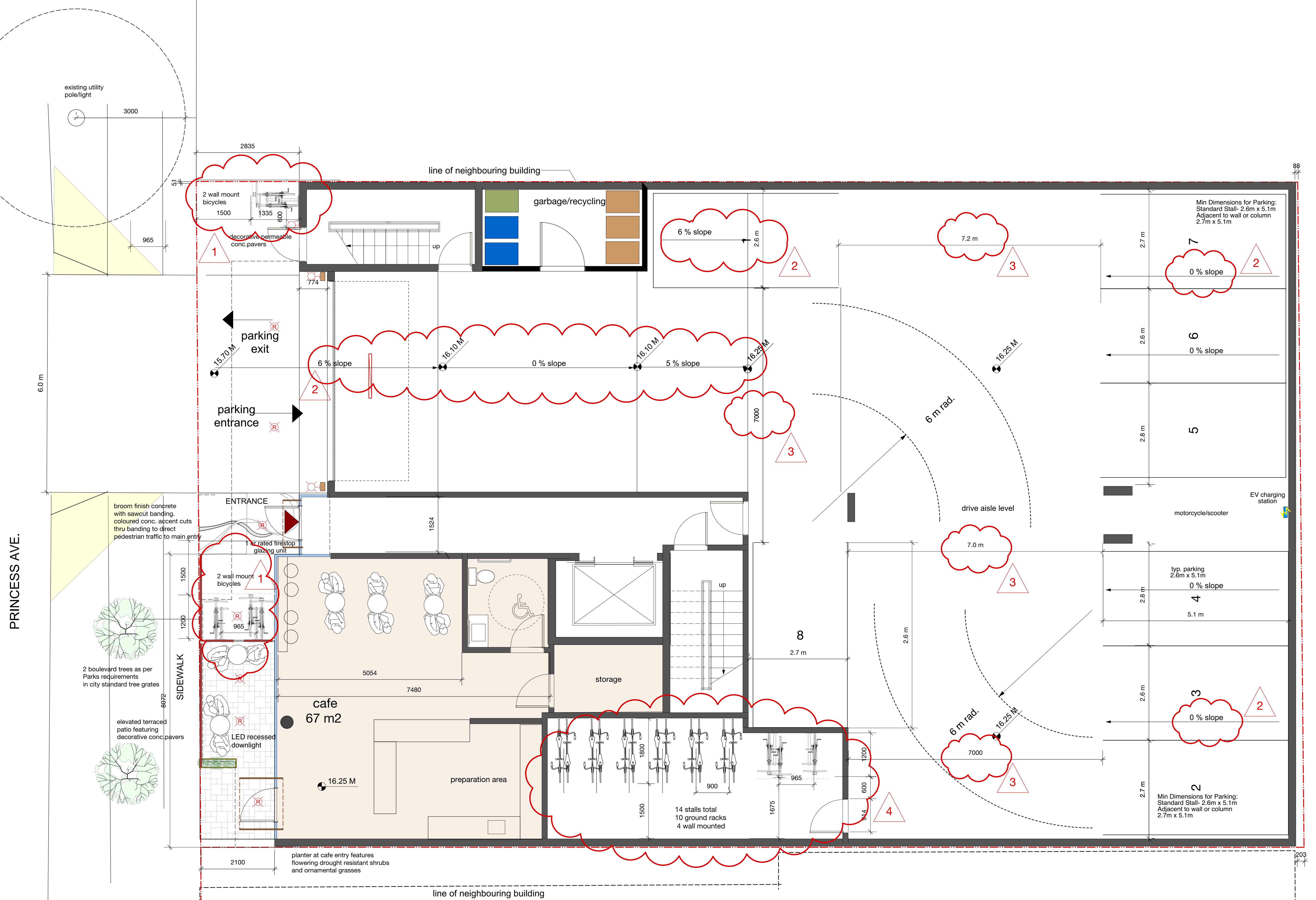
DATE:

DRAWING TITLE:

Average Grade Calculation

DRAWING NUMBER:

Average Grade 1534.35 / 94.66 = 16.21M



PROJECT:
JohnHoward
SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave.

CLIENT:
Hartwig Industries

ARCHITECT - CRP

steller

ARCHITECTURAL
CONSULTING



CONSULTANT

Arcata

ISSUED FOR: DATE:
Rezoning /DP 10. 03.2020

EVISION NO.: DATE:
evised as per
llanning
omments 19. 05.2020

11. *What is the primary purpose of the following statement?*

DRAWN BY:

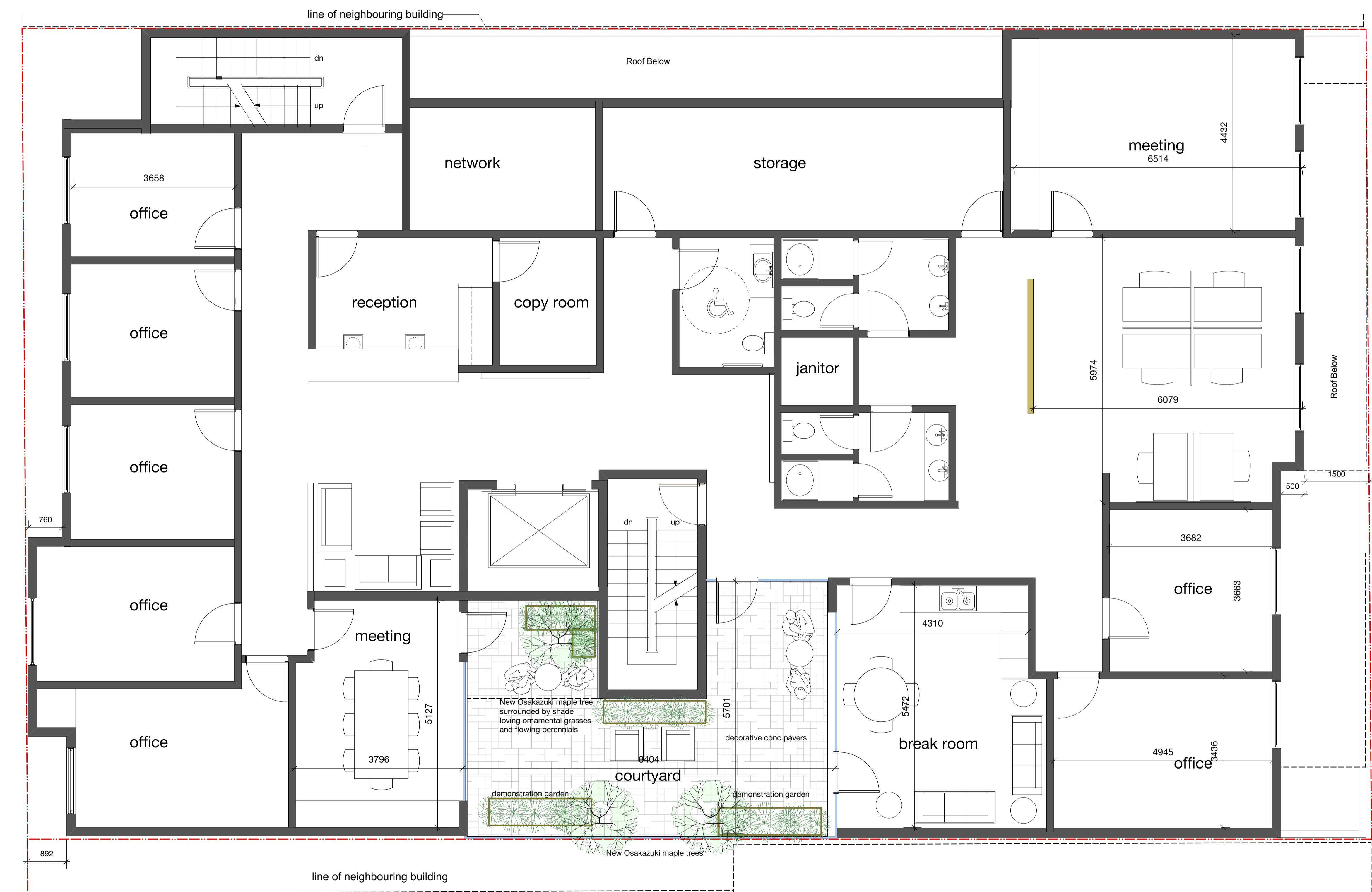
DATE:

Main Level Plan

DRAWING NUMBER:

A 1.1







1 Level 4 Residences

10 suites, 1 office, 1 laundry

Scale: 1:50

A1.4



9 suites 1 laundry, common /gathering

A1.5

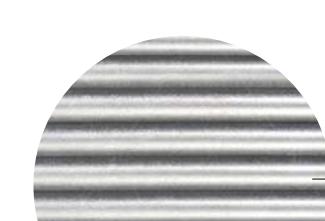


1 **Level 6 Residences** 9 suites per floor, 1 office per floor, 1 laundry, 1 outdoor gathering area
Scale: 1:50

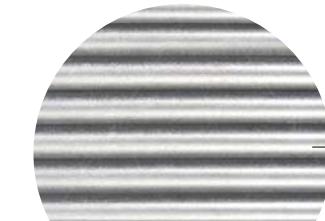
Materials



cement board
(evening blue)



vinyl windows
(dark grey/black)



horizontal corrugated metal (silver)
w/ aluminium flashing



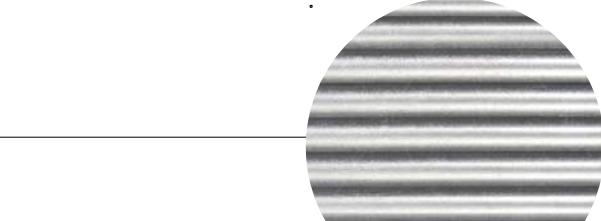
corten steel
frame detail



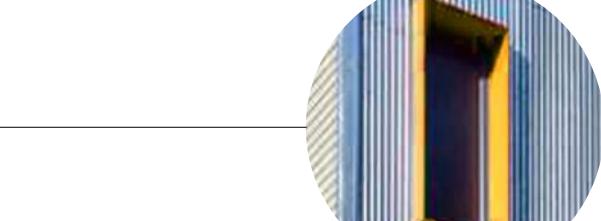
decorative metal screen



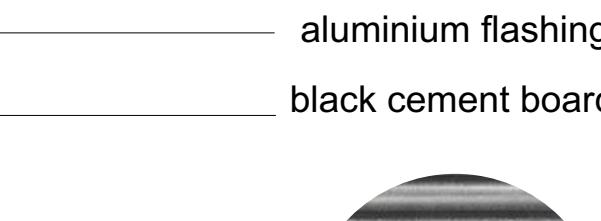
butt joint storefront glazing



horizontal corrugated metal (silver)
w/ aluminium flashing



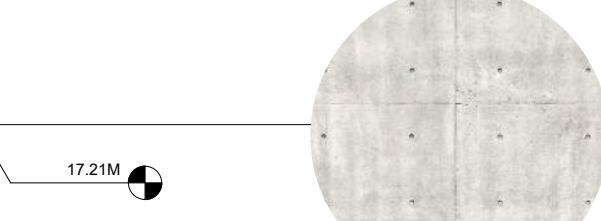
corten steel
frame detail



aluminium flashing



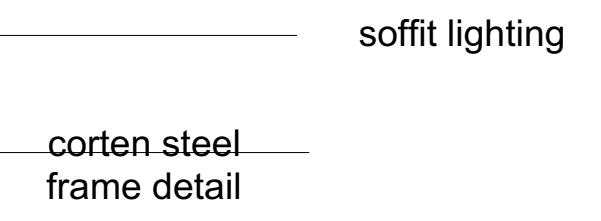
black cement board



horizontal corrugated metal (charcoal)
w/ aluminium flashing



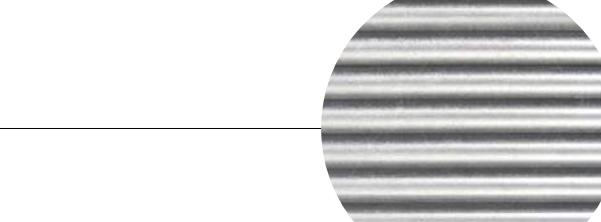
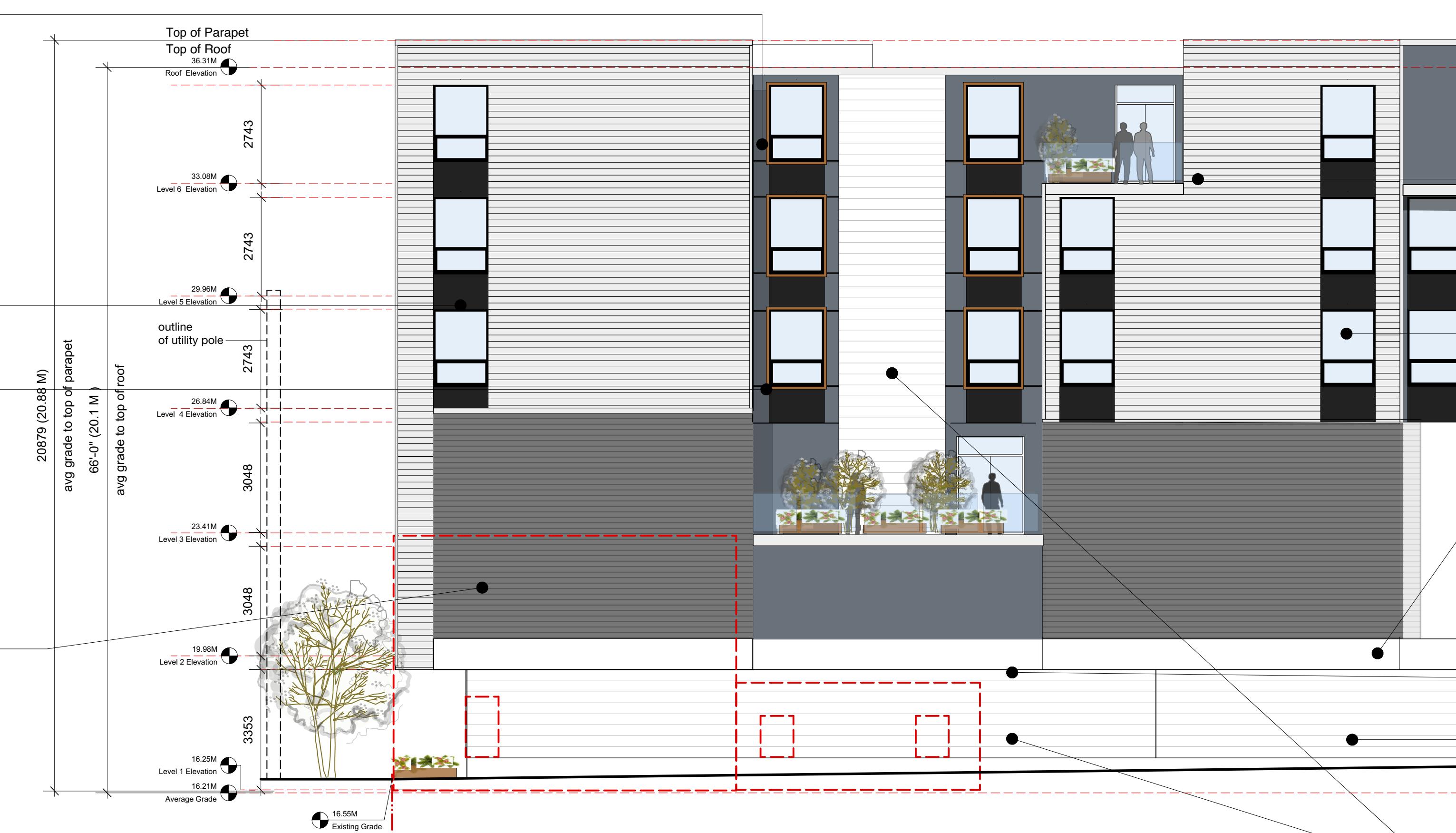
architectural concrete
stand-off



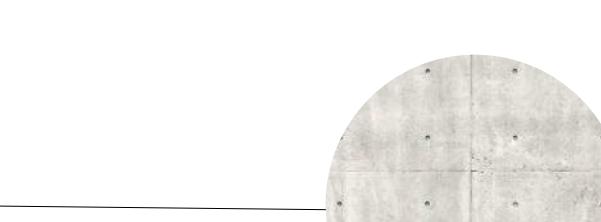
soffit lighting



corten steel
frame detail



horizontal corrugated metal (silver)
w/ aluminium flashing



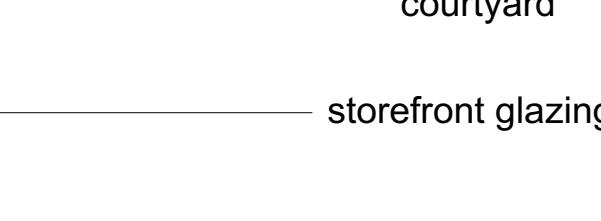
vinyl windows
(dark grey/black)



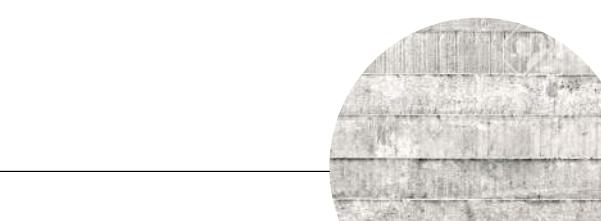
architectural concrete
stand-off



soffit lighting in
courtyard



storefront glazing



board formed concrete

PROJECT:
John Howard
SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave.

CLIENT:
Hartwig Industries

ARCHITECT - CRP

steller
ARCHITECTURAL
CONSULTING
210-4250 Commerce Circle
Victoria, BC V8Z 4M2
250-254-8076

CONSULTANT

Arcata
c. 250.413.7307 e. arcata@telus.net

ISSUED FOR: DATE:
Rezoning /DP 10.03.2020

REVISION NO.: DATE:
revised as per
planning
comments 19.05.2020

SAC PROJECT NO.:

DRAWN BY:

DATE: 19.05.2020

SCALE: As Shown

DRAWING TITLE: Elevations S-E

DRAWING NUMBER: A 2.0

Materials



North Elevation

1 Scale: 1:10



West Elevation

2 Scale: 1:10

PROJECT:
John Howard
SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave

CLIENT:
Hartwig Industrie

ARCHITECT - CRP



CONSULTANT



| | |
|--------------|-----------|
| ISSUED FOR: | DATE: |
| Rezoning /DP | 10. 03.20 |

| | |
|--|-----------|
| REVISION NO.: | DATE: |
| revised as per planning comments | 19. 05.20 |

SAC PROJECT NO.:

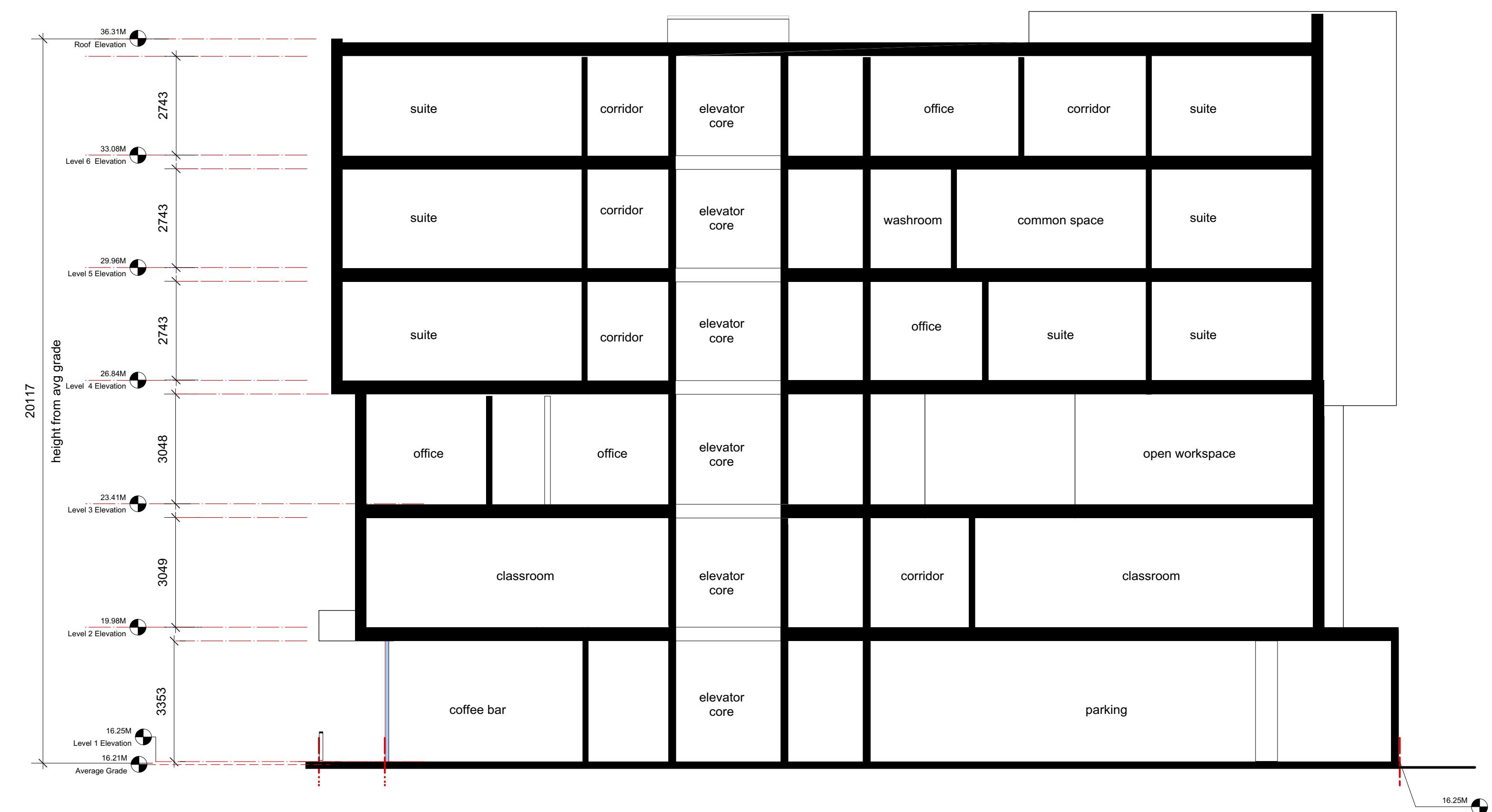
DRAWN BY:

DATE:

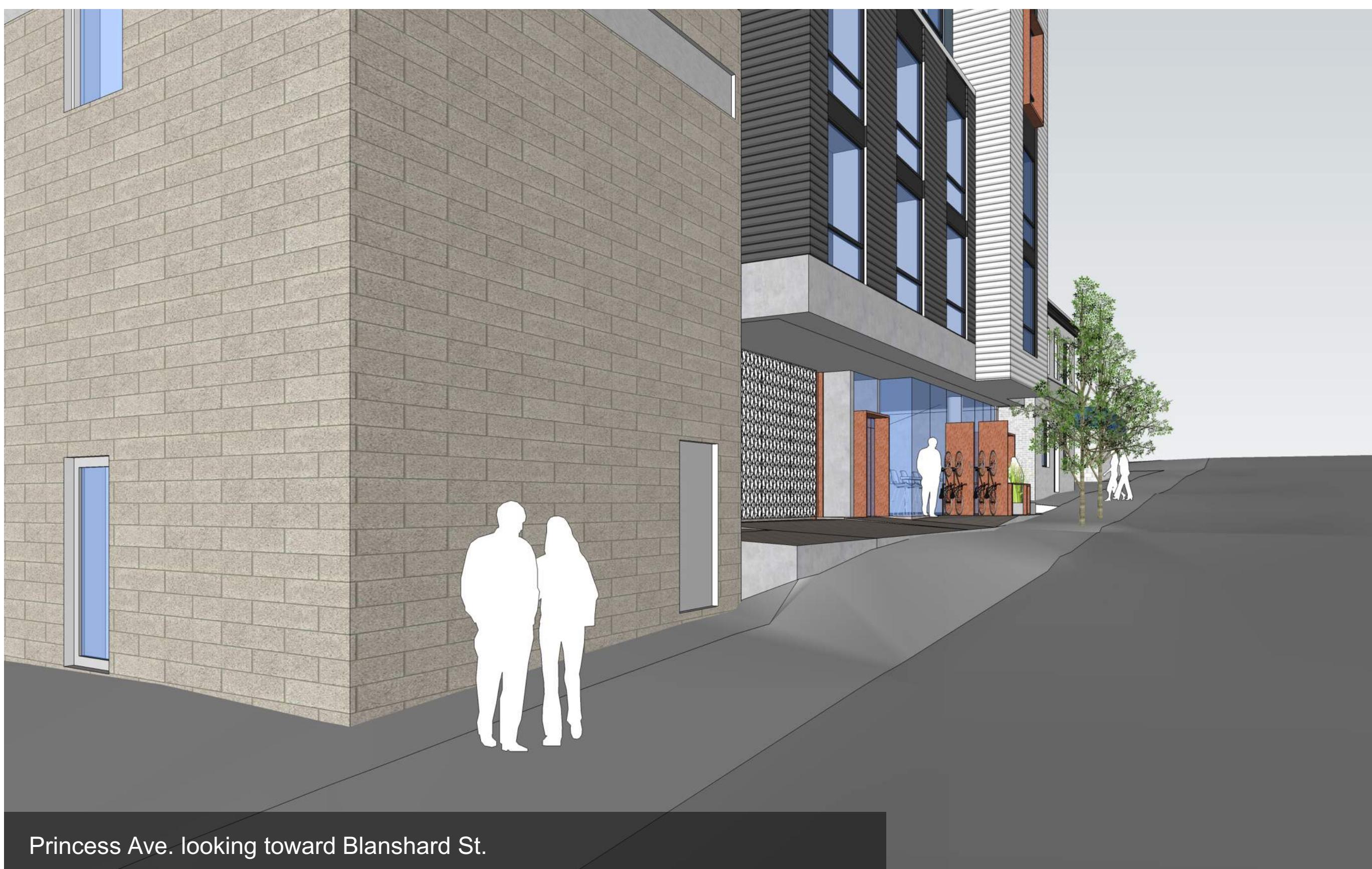
As Shown

DRAWING NUMBER:

A 2.1



1
East Section
Scale: 1:100



ISSUED FOR: DATE:
Rezoning /DP 10.03.2020

REVISION NO.: DATE:
revised as per 19.05.2020
planning
comments

SAC PROJECT NO.:

DRAWN BY:

DATE: 19.05.2020

SCALE: As Shown

DRAWING TITLE:

Perspectives

DRAWING NUMBER: 1

A 3.0

PROJECT:
John Howard
SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave.

CLIENT:
Hartwig Industries

ARCHITECT - CRP



CONSULTANT

Arcata
c. 250.413.7307 e. arcata@telus.net

ISSUED FOR: DATE:
Rezoning /DP 10.03.2020

REVISION NO.: DATE:
revised as per 19.05.2020
planning
comments

SAC PROJECT NO.:

DRAWN BY:

DATE:
19.05.2020

SCALE:

As Shown

DRAWING TITLE:

Shadow Study

DRAWING NUMBER:

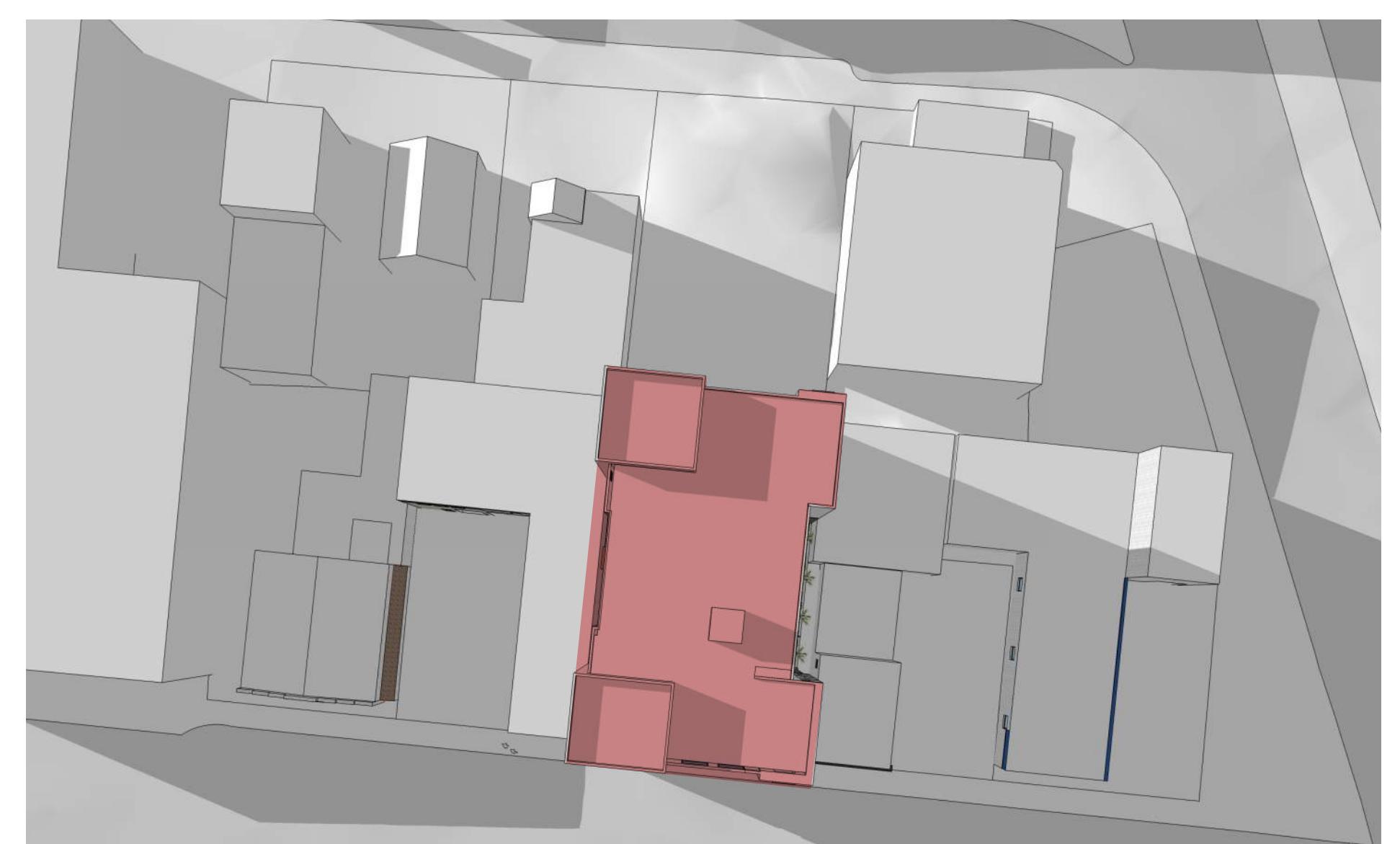
A 3.1



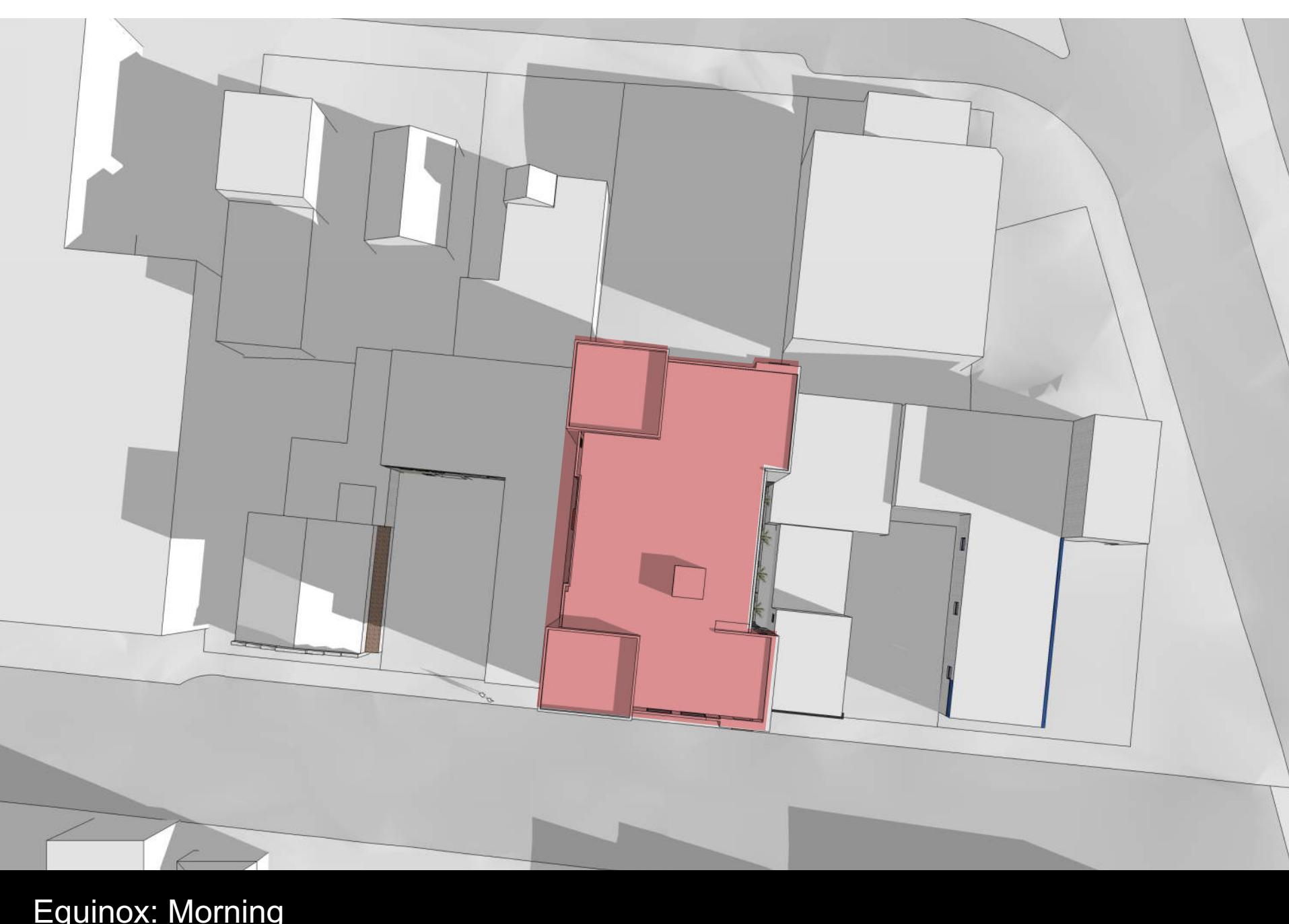
Summer Solstice: Morning



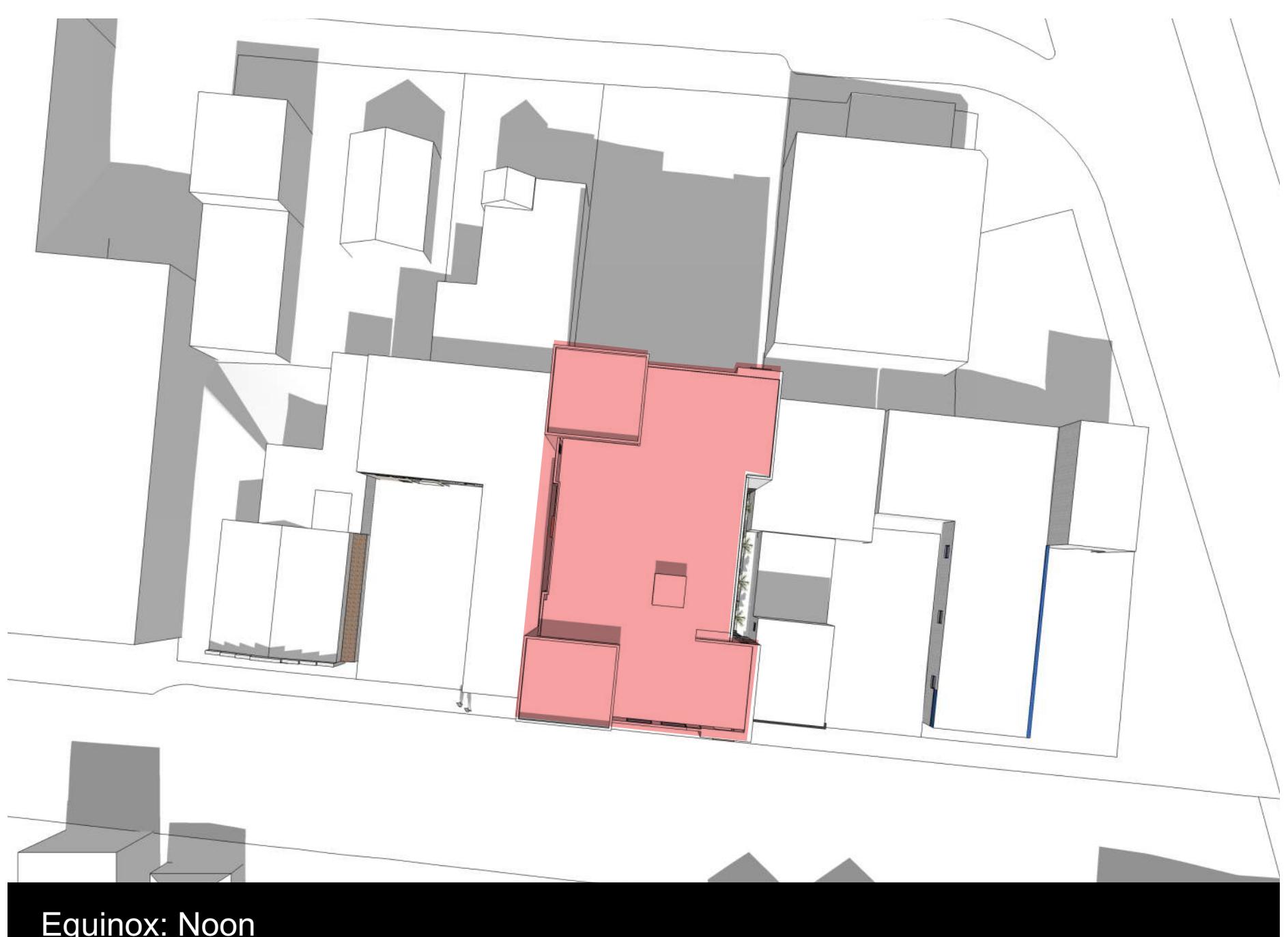
Summer Solstice: Noon



Summer Solstice: Evening



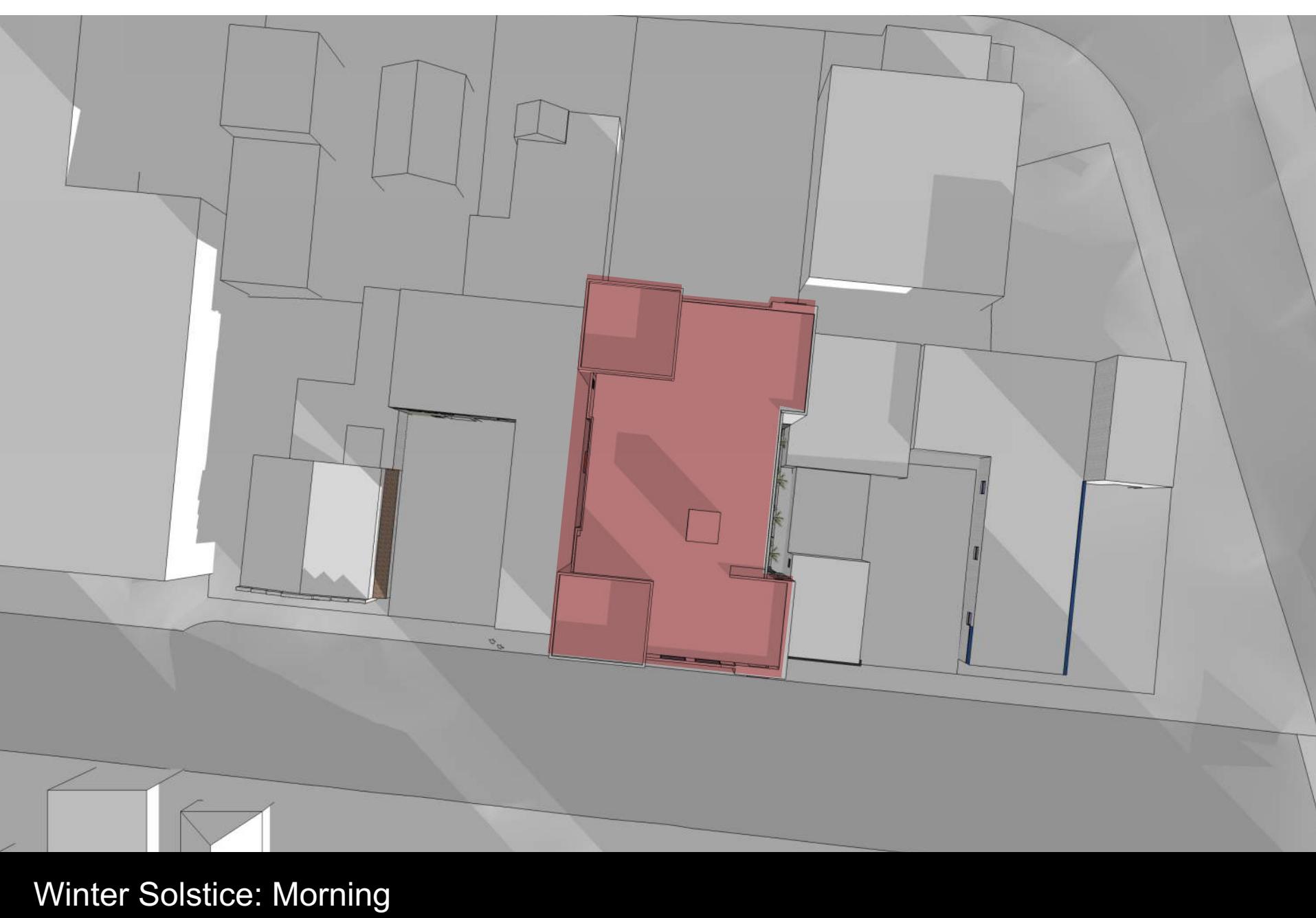
Equinox: Morning



Equinox: Noon



Equinox: Evening



Winter Solstice: Morning



Winter Solstice: Noon



Winter Solstice: Evening