

Revisions
Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
May 19, 2020

| 736 Princess Ave.

PROJECT:
JohnHoward
SOCIETY OF BRITISH COLUMBIA

PROJECT ADDRESS:
736 Princess Ave.

CLIENT:
Hartwig Industries

ARCHITECT - CRP
steller
ARCHITECTURAL CONSULTING
210-4252 Commerce Circle
Victoria, BC V8Z 4M2
250-284-8079

CONSULTANT
Arcata
c. 250.413.7307 e. arcata@telus.net

ISSUED FOR: DATE:
Rezoning /DP 10. 03.2020

REVISION NO.: DATE:
revised as per 19. 05.2020
planning comments

SAC PROJECT NO.:

DRAWN BY:

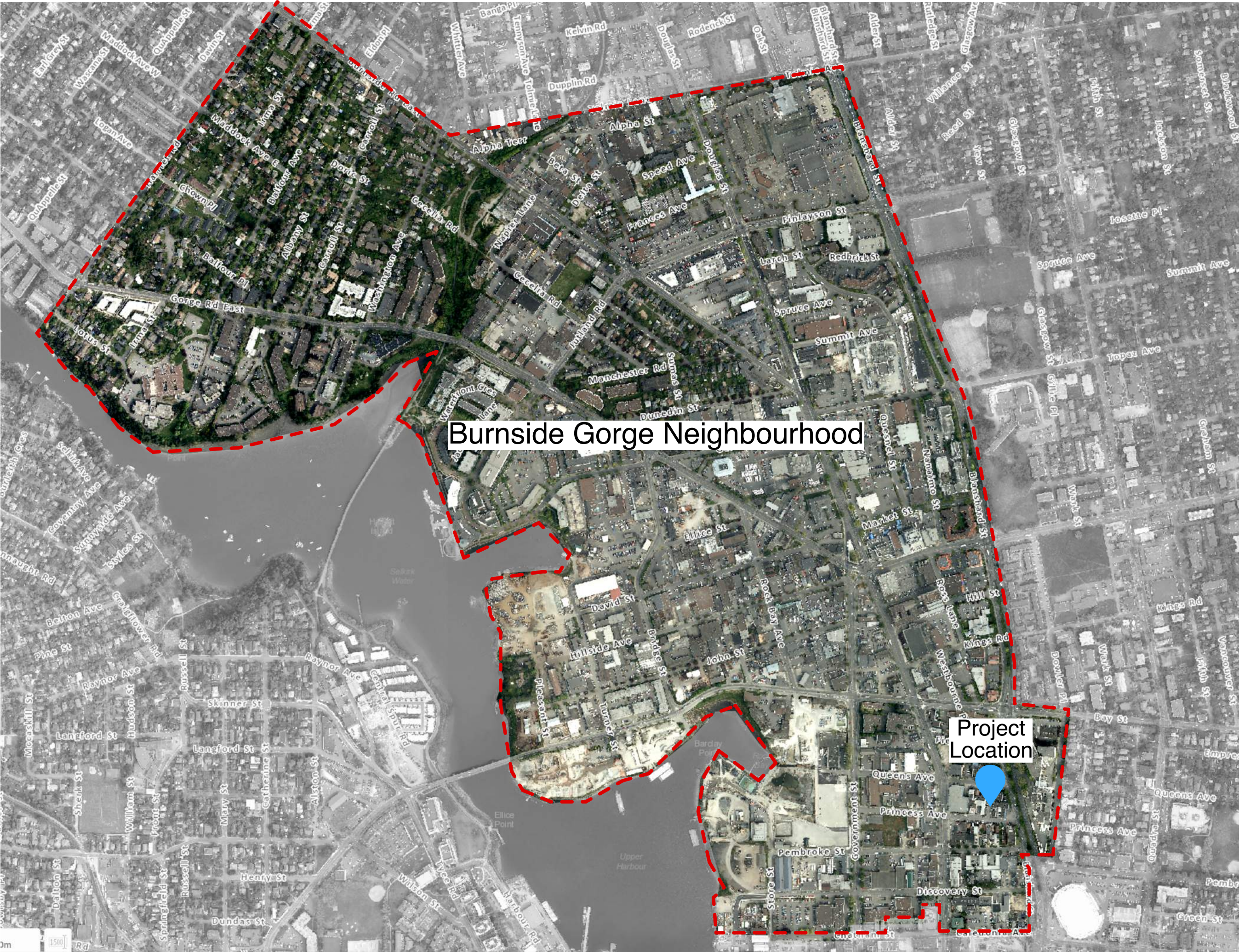
DATE:
19.05.2020

SCALE:
As Shown

DRAWING TITLE:
Title Sheet

DRAWING NUMBER:
A 0.0

Project Data 736 Princess Ave.	
Civic Address	736 Princess Ave.
Legal Description	Lot 12, Block B, Section 3, Victoria, Plan 8
Zoning Existing	Existing: M-1, Limited Light Industrial District
Zoning Proposed	New Zone
Site Area	556 m2 (5,982 sq. ft.)
Floor Areas (Gross) Main area: Level 2 area: program (assembly) Level 3 area: office/admin Level 4 area: residential Level 5 area: residential Level 6 area: residential Total Gross Floor Area	112.72 m2 (1213.30 sq ft) 475.34 m2 (5116.52 sq ft) 436.44 m2 (4697.80 sq ft) 409.85 m2 (4411.59 sq ft) 409.85 m2 (4411.59 sq ft) 386.47 m2 (4159.93 sq ft) 2,230.67 m2 (24,010.73 sq ft)
Commercial Floor Area -Level 1 Cafe	67.00 m2 Seating Capacity: Cafe less than 10
Floor Space Ratio Allowed Floor Space Ratio Proposed Total floor area for calc. Levels 1-6: 2230.67 m2 Lot Area: 556 m2 2230.67 / 556 = 4.01:1 Floor Space Ratio Residential Levels 4-6 1206.65 1206.65 / 556 = 2.21:1	3.00:1 4.01:1 2.17:1
Site Coverage (%) (535.48 m2 / 556 m2) * 100	96%
Open site space (%) (26.90. m2 / 556 m2) * 100	4.8%
Height of Building Proposed (from average grade)	20.88 m (to top of parapet) 20.1m (to top of roof)
Number of Storeys	6
Parking Cafe (restaurant) 1/40 m2 Proposed - Office 1/70 m2 Proposed - Programs (Assembly) 1/50m2 Residential-Transitional units 1 / 80 m2	required 67/40 =1.68 provided - 2 stalls required 436.44 /70= 6.23 provided - 6 stalls required 475.34/300= 9 provided - 0 stalls required 1206.17/80 =15 provided - 0 stalls total required = 32 provided - 08
Bicycle Parking Long term	cafe -1/400m2 required 60m2/400m2 =0 office- 1/150m2 required 436.44m2/150m2 =3 programs (assembly) required 475.34/200 = 2 residential @1 per unit required = 28 total required = 33 provided - 14 stalls
Short term	cafe -1/100m2 required 60m2/100m2 =1 office- 1/400m2 required 436.44m2/400m2 = 2 programs (assembly) 1/200m2 475.34/200 = 2 residential 0.1 p/u or 6 (which ever is greater) = 6 total commercail required = 5 provided = 6 total residential required = 6 provided = 0
Building Setbacks Required	None
Total Number of Units	28 (includes 3 accessible units)
Unit Type	Studios
Unit Size	28 m2 - 33 m2 (290 sq.ft. - 360 sq.ft.)
Total Residential Floor Area Levels 4-6	1206.65 m2 (12,988.27 sq.ft.)



1 Neighbourhood Context



2 Block Context

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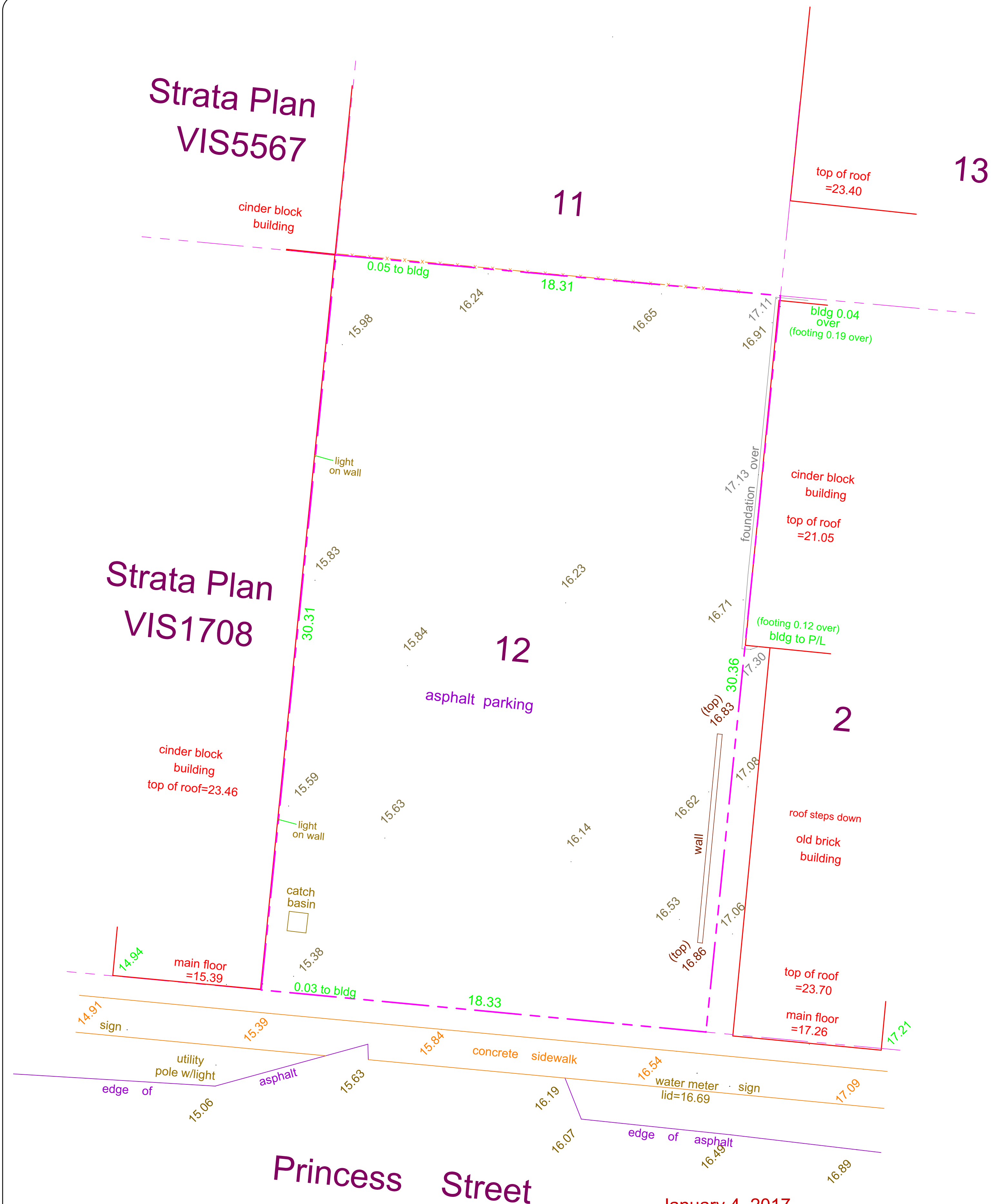
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DATE:	19.05.2020
SCALE:	As Shown
DRAWING TITLE:	Project Data & Context Plan
DRAWING NUMBER:	A 0.1

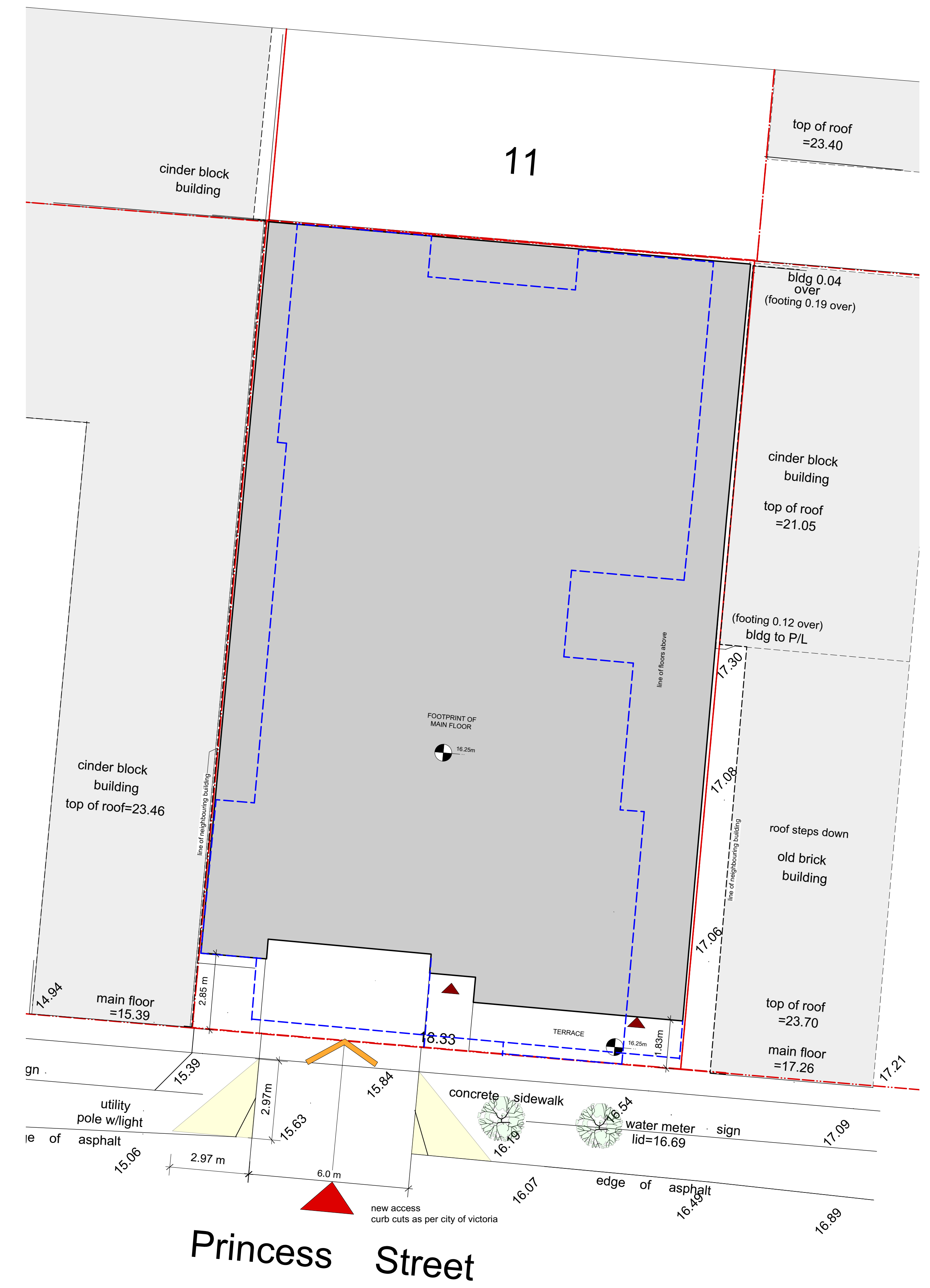


Princess Street

January 4, 2017

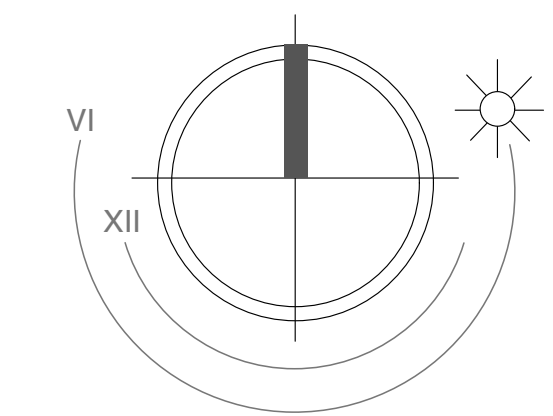
File : 12,488 - 24
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

1 Survey Plan
Scale: 1:100



Princess Street

2 Site Plan
Scale: 1:100



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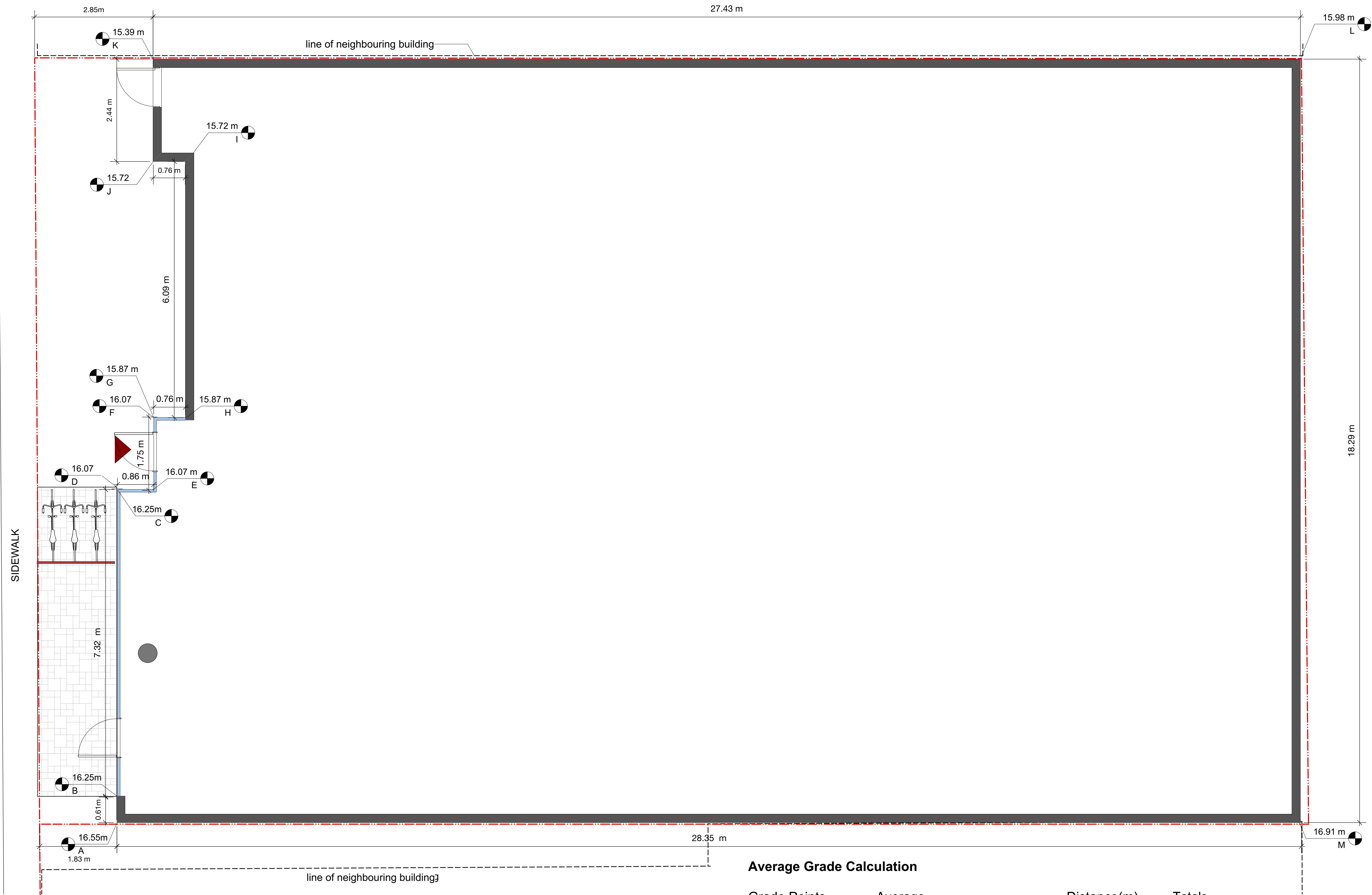
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SCALE:
As Shown

DRAWING TITLE:
Survey Plan &
Site Plan

DRAWING NUMBER:

A 0.2



1 Average Grade Calculation
Scale: 1:50

Average Grade Calculation

Grade Points	Average	Distance(m)	Totals
A & B	(16.55 + 16.25) / 2	x 0.61	= 10.0
B & C	(16.25 + 16.25) / 2	x 7.32	= 118.95
C & D	(16.25 + 16.07) / 2	x 0	= 0.0
D & E	(16.07 + 16.07) / 2	x 0.86	= 13.82
E & F	(16.07 + 16.07) / 2	x 1.75	= 28.12
F & G	(16.07 + 15.87) / 2	x 0	= 0.0
G & H	(15.87 + 15.87) / 2	x .76	= 12.06
H & I	(15.87 + 15.72) / 2	x 6.09	= 96.19
I & J	(15.72 + 15.72) / 2	x .76	= 11.95
J & K	(15.72 + 15.39) / 2	x 2.44	= 37.95
K & L	(15.39 + 15.98) / 2	x 27.43	= 430.24
L & M	(15.98 + 16.91) / 2	x 18.29	= 300.78
M & A	(16.91 + 16.55) / 2	x 28.35	= 474.29

1,534.35

Building Perimeter 94.66 m

Average Grade 1534.35 / 94.66 = 16.21M

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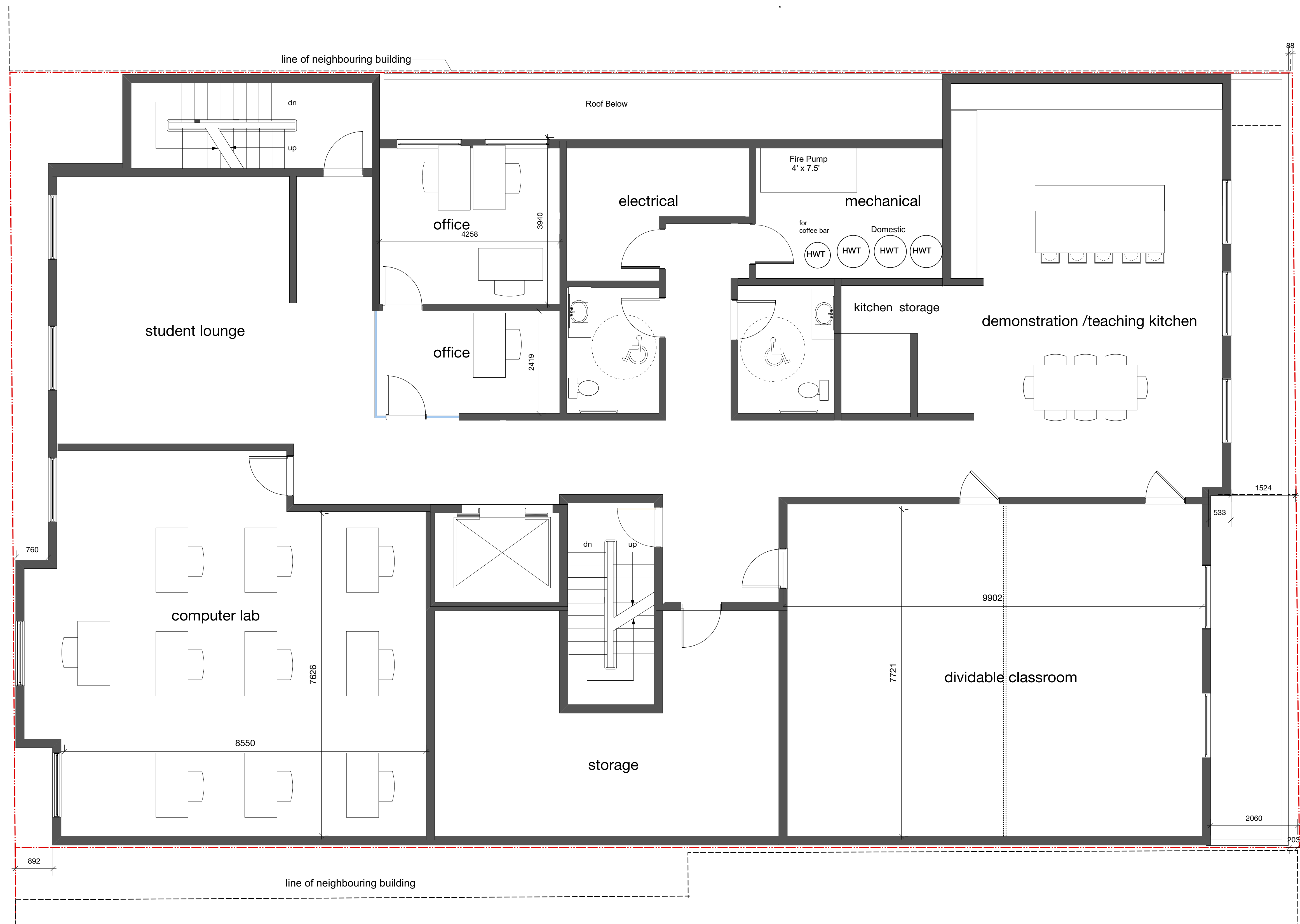
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SCALE:
As Shown

DRAWING TITLE:
**Average Grade
Calculation**

DRAWING NUMBER:

A 0.3



1 Level 2 -Program / Education
Scale: 1:50

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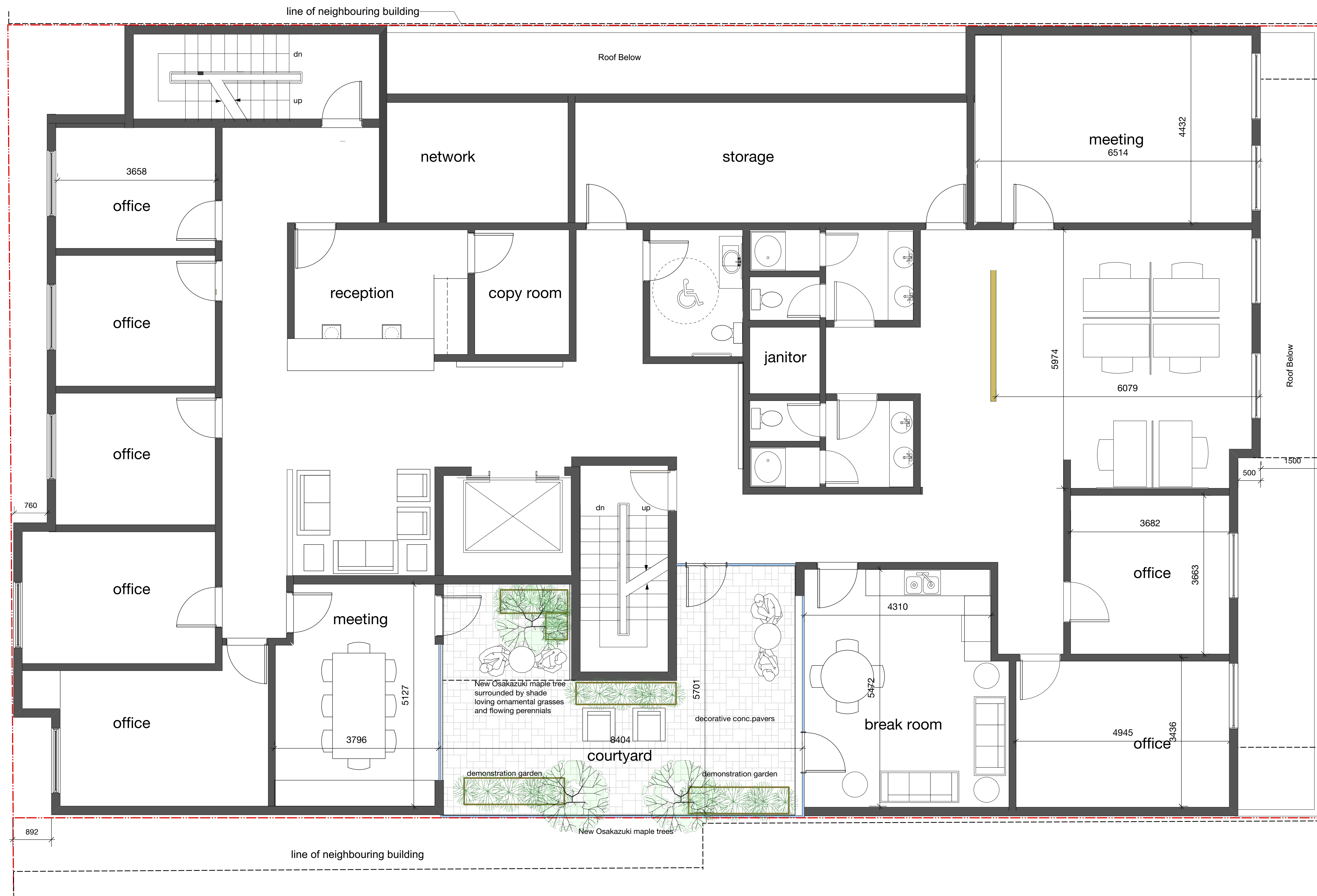
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SCALE:
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DRAWING TITLE:
Program Level

DRAWING NUMBER:

A 1.2



1 Level 3-Administration
Scale: 1:50

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SCALE:
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DRAWING TITLE:
Administration
Level

DRAWING NUMBER:

A 1.3



1 **Level 4 Residences** 10 suites, 1 office, 1 laundry
Scale: 1:50

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SCALE:

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DRAWING TITLE:

**Level Four
Residences**

DRAWING NUMBER:

A1.4



9 suites 1 laundry, common /gathering

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SCALE:
As Shown

DRAWING TITLE:
**Level Five
Residences**

DRAWING NUMBER:

A1.5



1 Level 6 Residences 9 suites per floor , 1 office per floor , 1 laundry, 1 outdoor gathering area
Scale: 1:50

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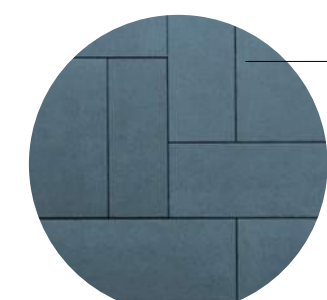
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SCALE:
As Shown

DRAWING TITLE:
**Level Six
Residences**

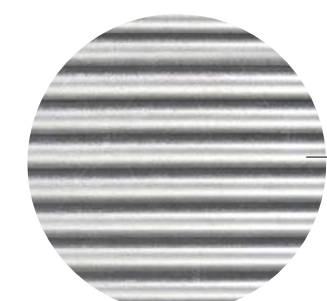
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A1.6



cement board
(evening blue)

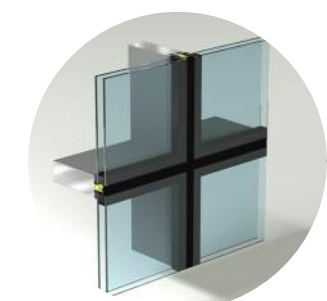
vinyl windows
(dark grey/black)



horizontal corrugated metal (silver)
w/ aluminium flashing

corten steel
frame detail

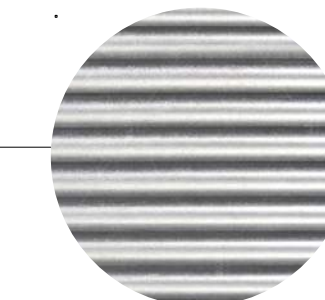
decorative metal screen



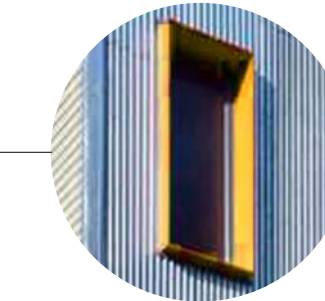
butt joint storefront glazing



1 South Elevation
Scale: 1:100

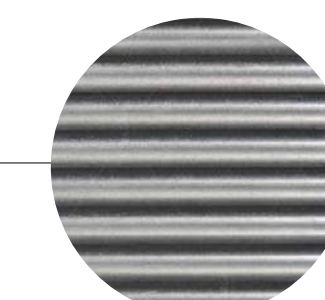


horizontal corrugated metal (silver)
w/ aluminium flashing

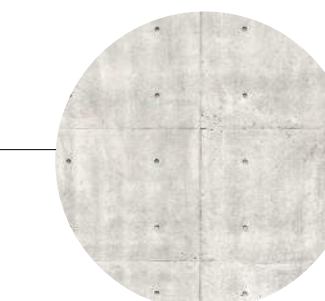


corten steel
frame detail

aluminium flashing
black cement board



horizontal corrugated metal (charcoa)
w/ aluminium flashing

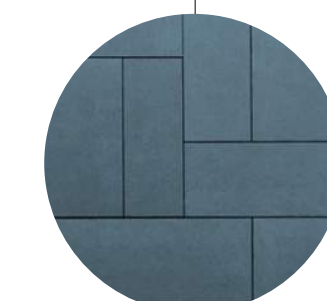


architectural concrete
stand-off

soffit lighting

corten steel
frame detail

Materials

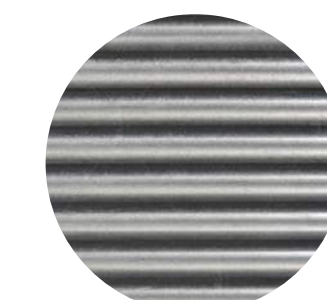


cement board
(evening blue)

black cement board



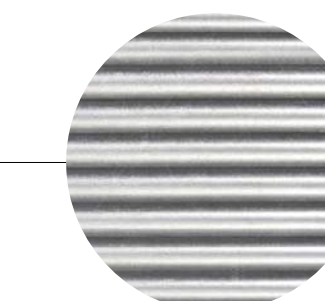
corten steel
frame detail



horizontal corrugated metal (charcoal)
w/ aluminium flashing

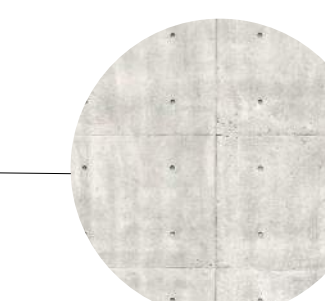


2 East Elevation
Scale: 1:100



horizontal corrugated metal (silver)
w/ aluminium flashing

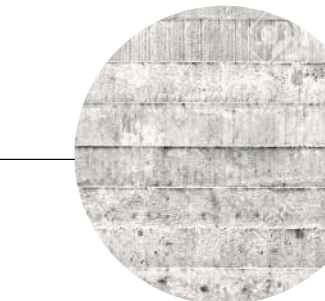
vinyl windows
(dark grey/black)



architectural concrete
stand-off

soffit lighting in
courtyard

storefront glazing



board formed concrete

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SCALE:
As Shown

DRAWING TITLE:
Elevations S-E

DRAWING NUMBER:

A 2.0



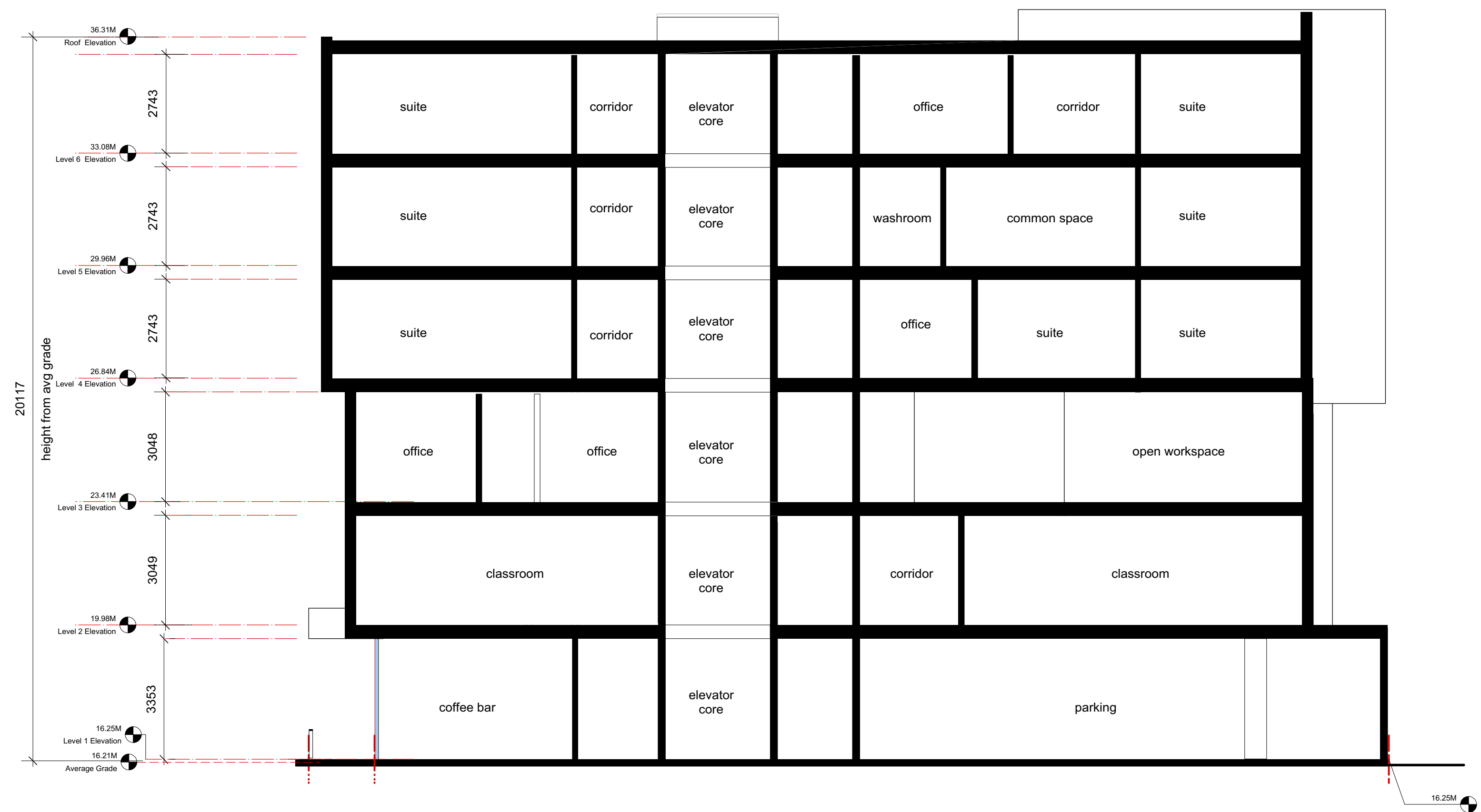
1 North Elevation
Scale: 1:100

Materials



2 West Elevation
Scale: 1:100

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steller ARCHITECTURAL CONSULTING <small>210-4252 Commerce Circle Victoria, BC V8Z 4M2, 250.294.8070</small>	
CONSULTANT	
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SCALE:	
As Shown	
DRAWING TITLE:	
Elevations N-W	
DRAWING NUMBER:	
A 2.1	



1 East Section
Scale: 1:100

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SCALE:

As Shown

DRAWING TITLE:

Section

DRAWING NUMBER:

A 2.2



Princess Ave. looking toward Blanshard St.



South side of Princess Ave. looking north



Princess Ave. looking toward Douglas St.



Entrance, street side patio, and transparent treatment along street edge.

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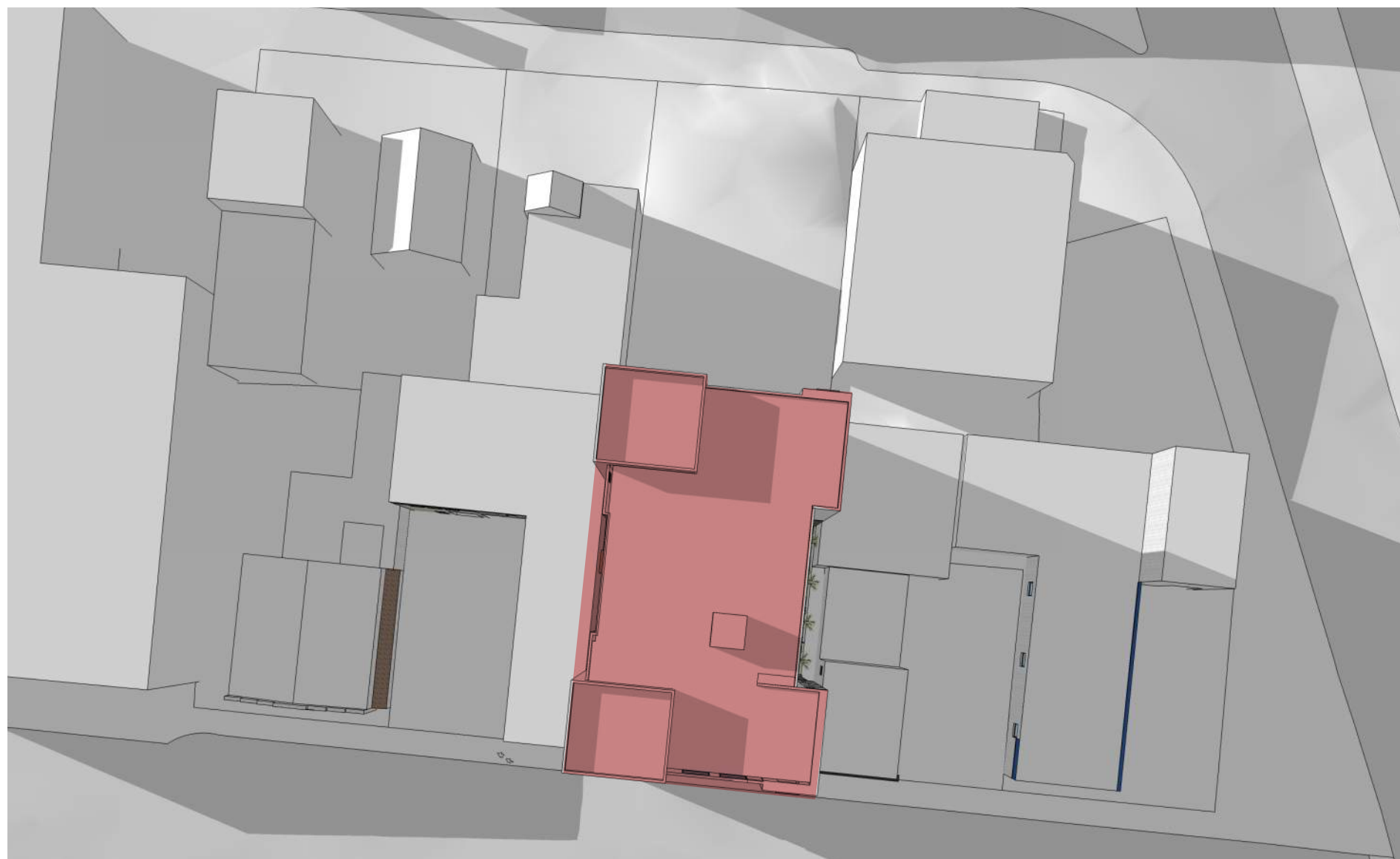
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DRAWING TITLE:	Perspectives
DRAWING NUMBER:	1
A 3.0	



Summer Solstice: Morning



Summer Solstice: Noon



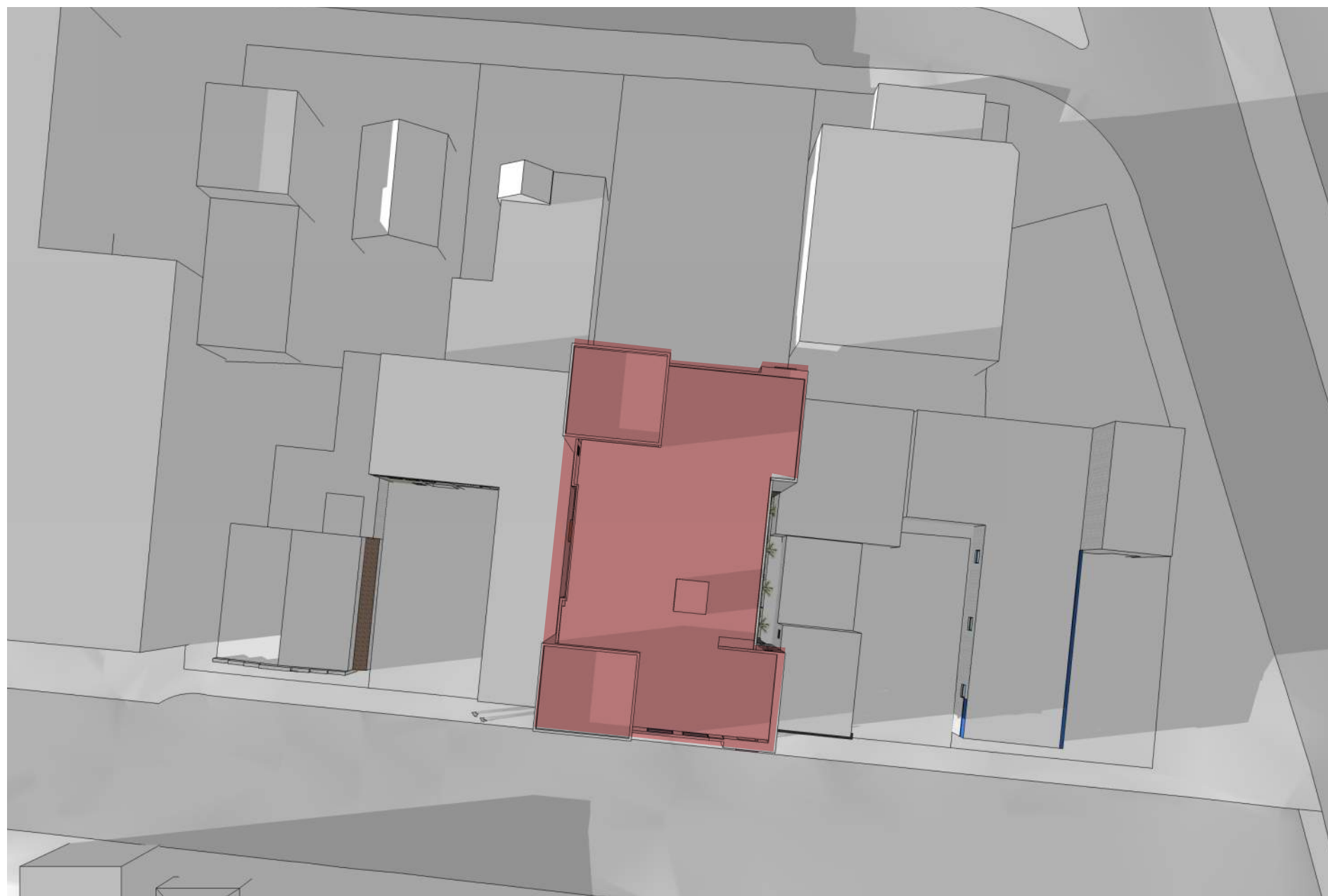
Summer Solstice: Evening



Equinox: Morning



Equinox: Noon



Equinox: Evening



Winter Solstice: Morning



Winter Solstice: Noon



Winter Solstice: Evening

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SCALE:	As Shown
DRAWING TITLE:	Shadow Study
DRAWING NUMBER:	A 3.1