

UNIT FLOOR AREA							
UNIT #	UNIT TYPE	LOWER SUITE	LOWER STORAGE	MAIN AREA	UPPER AREA	Total Floor area (no lower floor area)	Total All Floor area (inside face of outside walls)
19	2 bed, 2.5 bath		7.6	45.2	46.7	91.9	99.5
20	2 bed, 2.5 bath		8	47	48.5	95.5	103.5
21	2 bed, 2.5 bath		8	47	48.5	95.5	103.5
22	2 bed, 2.5 bath		8	47	48.5	95.5	103.5
23	2 bed, 2.5 bath		8	47	48.5	95.5	103.5
24	2 bed, 2.5 bath		7.6	45.2	46.7	91.9	99.5
25	2 bed, 2.5 bath			45.2	42.5	87.7	87.7
26	2 bed, 2.5 bath			47	44.3	91.3	91.3
27	2 bed, 2.5 bath			47	44.3	91.3	91.3
28	3 BED			61.3	58.4	119.7	119.7
29	3 BED			52.7	50.4	103.1	103.1
30	3 BED			52.7	50.4	103.1	103.1
31	3 BED			52.7	50.4	103.1	103.1
32	3 BED			52.7	50.4	103.1	103.1
33	3 BED			52.7	50.4	103.1	103.1
34	3 BED			50.9	48.5	99.4	99.4
<b>totals</b>		<b>470.8</b>	<b>94.4</b>	<b>1071.7</b>	<b>1064.8</b>	<b>2136.5</b>	<b>2701.7</b>







## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

Project Context Aerial  
2017

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A03





## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

Neighbourhood Context  
Elevations

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A04



A04 Existing South street-scape (google maps)

1

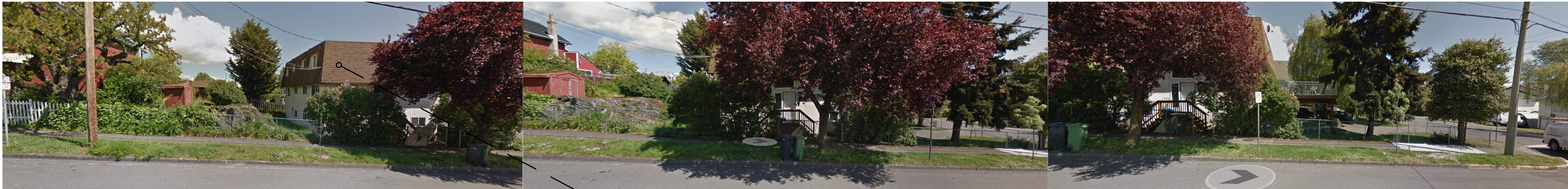
scale: N/A



A04 Proposed development w/ neighbour context

2

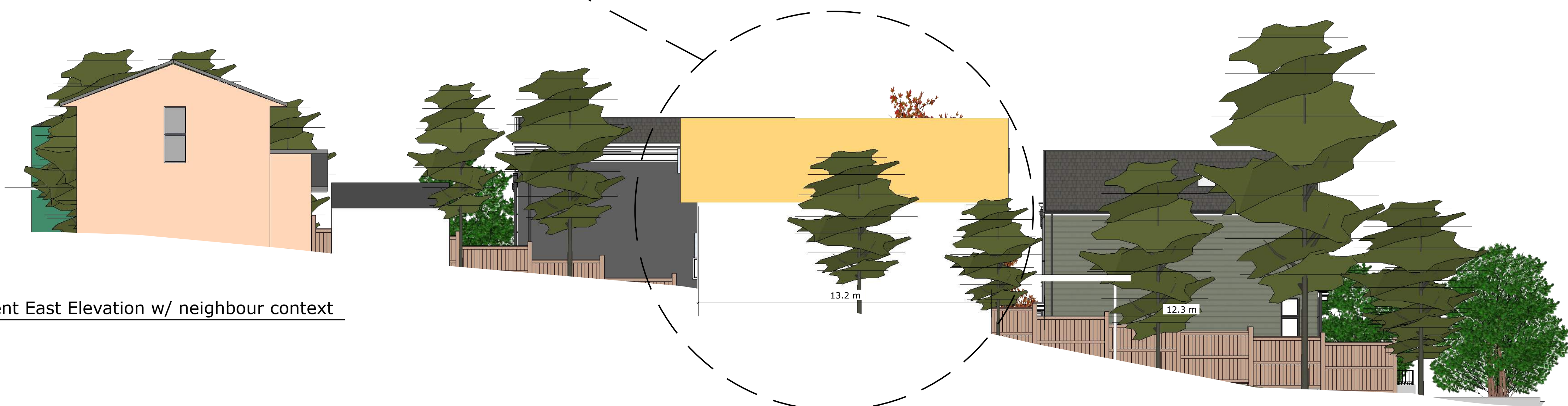
scale: 1"= 10'-0"



A04 Existing West street-scape (google maps)

1

scale: N/A



A04 Proposed development East Elevation w/ neighbour context

2

scale: 1"= 10'-0"



## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

Context Plan,  
Perspective, Cross  
Section

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A05



A05  
2 East Cross section (from Alston) from unit 18 to 222/224 Edward st.  
scale: 1/8" = 1'-0"



A05  
3 South Elevation (from Wilson)  
scale: 1" = 30'

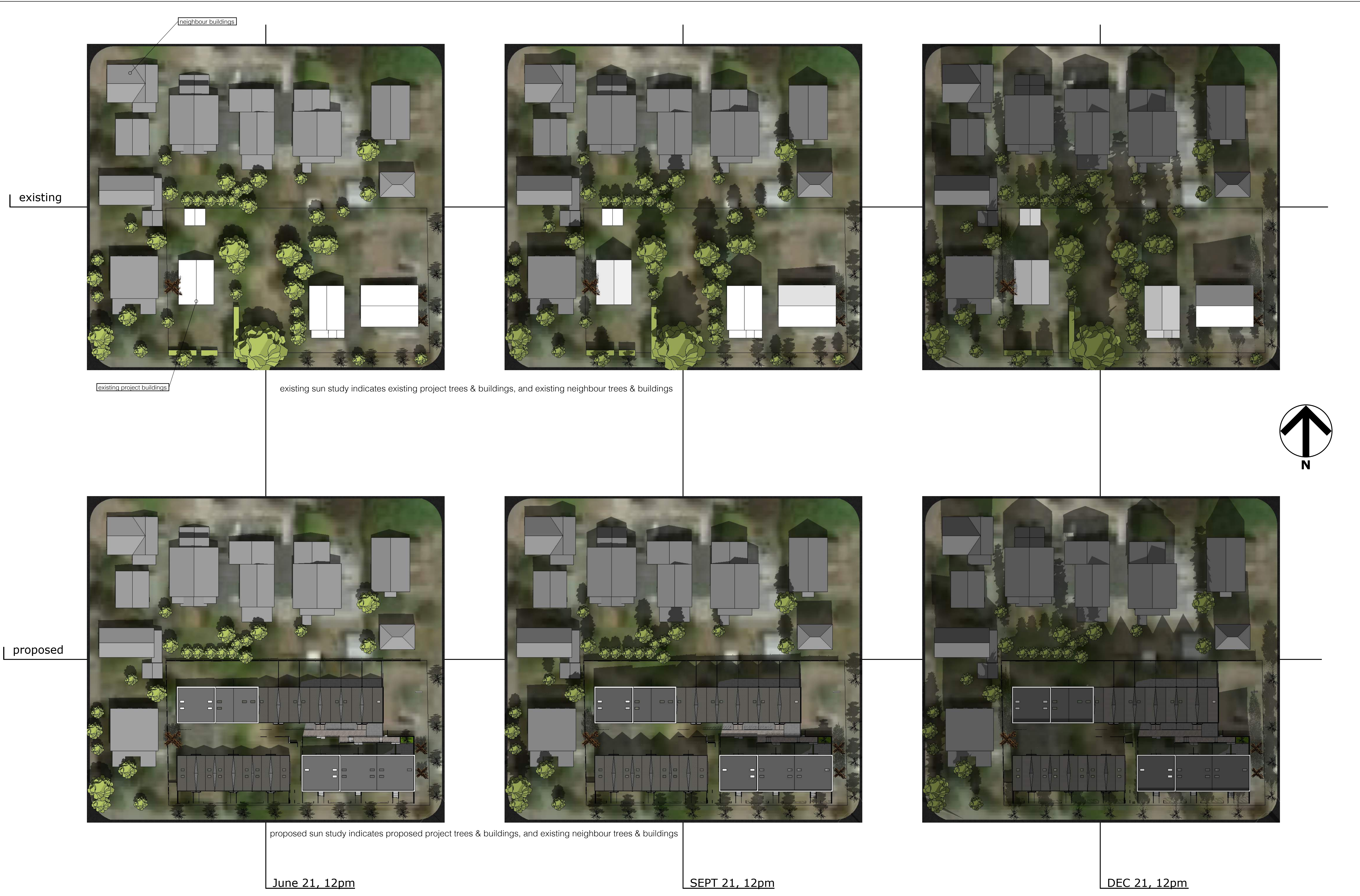


A05  
4 South East Perspective  
scale: 1" = 30'



A05  
1 Project Context Plan  
scale: 1" = 30'





PROJECT  
Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

DESCRIPTION  
Contextual Sun Study

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19





PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

DESCRIPTION

Perspectives

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19



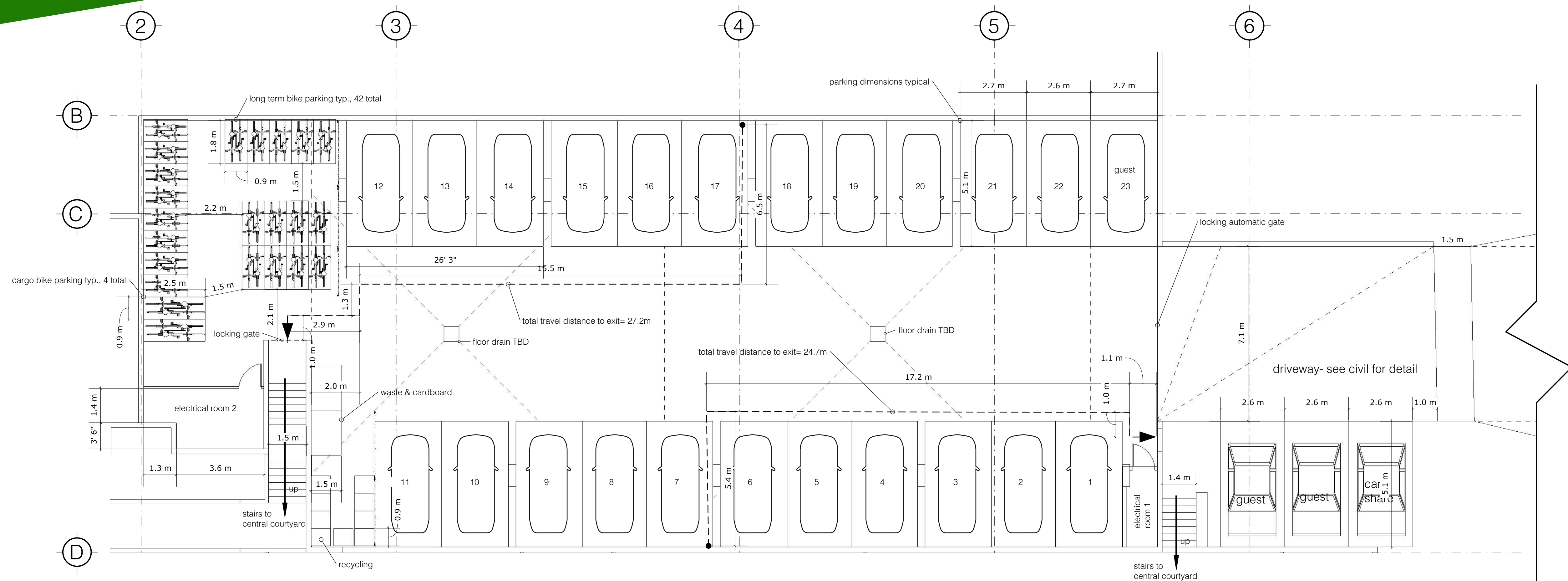


## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

Perspectives & Parkade  
Floor Plan



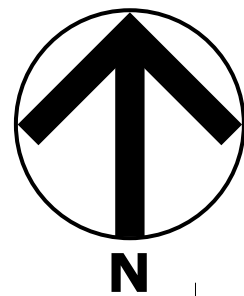
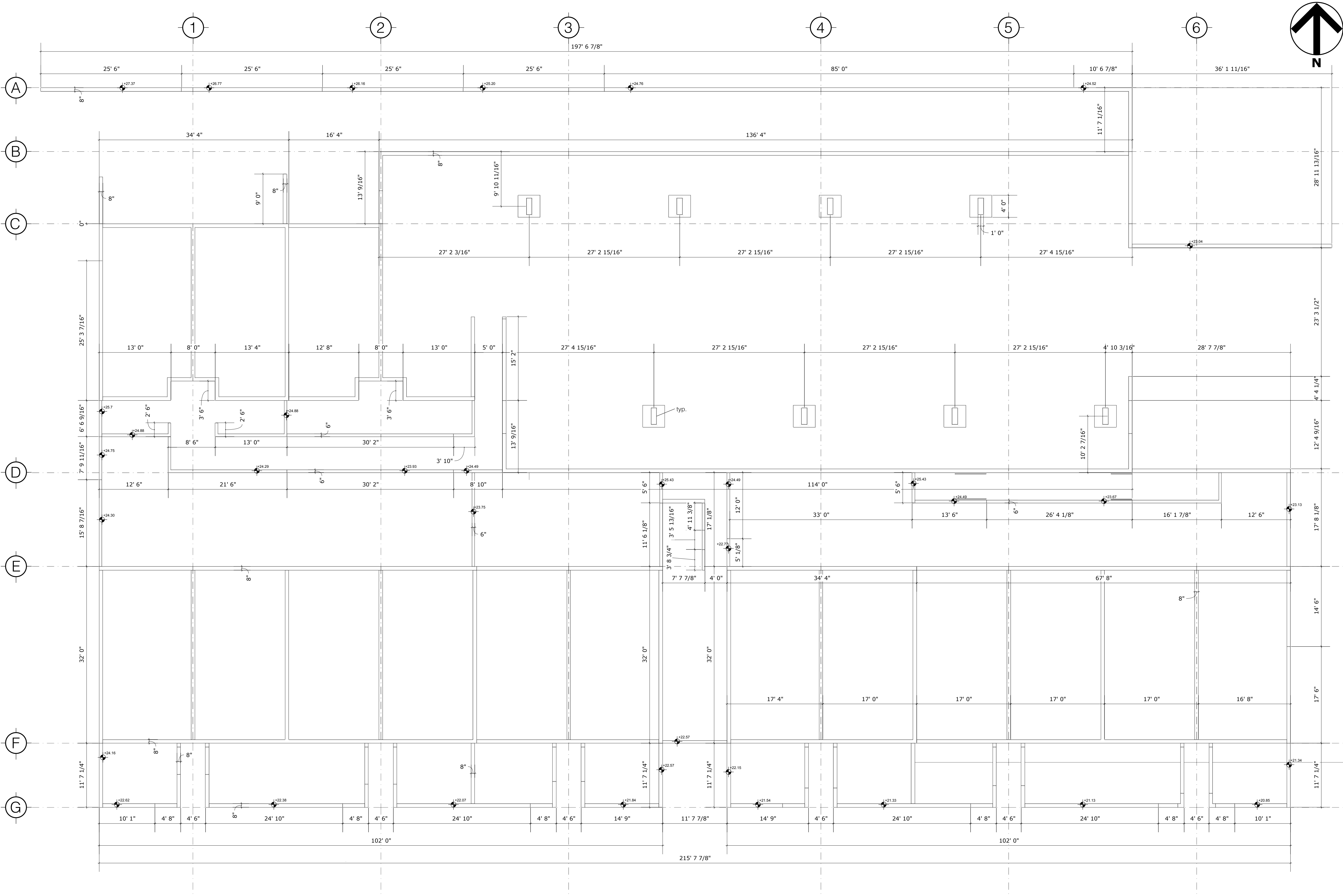
**A08** Parkade Plan  
1 scale: 1/8" = 1'-0"

**CURRENT ISSUE**  
September 19, 2019

**PLAN HISTORY**  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A08





## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

Foundation & Arch.  
Concrete Plan

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A09

A09 Foundation Plan  
1 scale: 1/8" = 1'-0"



## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

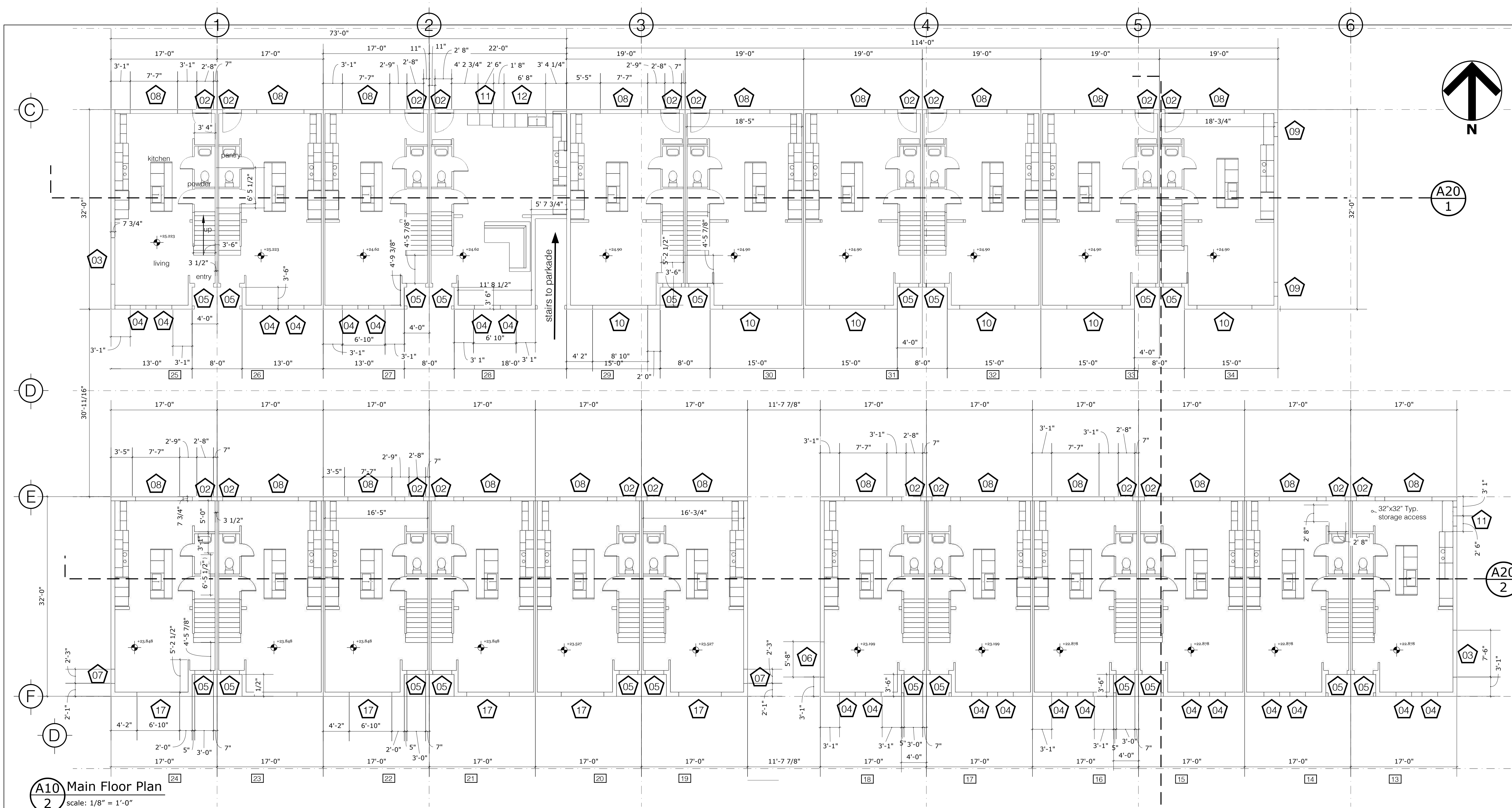
## DESCRIPTION

Lower & Main Floor Plans

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A10





## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

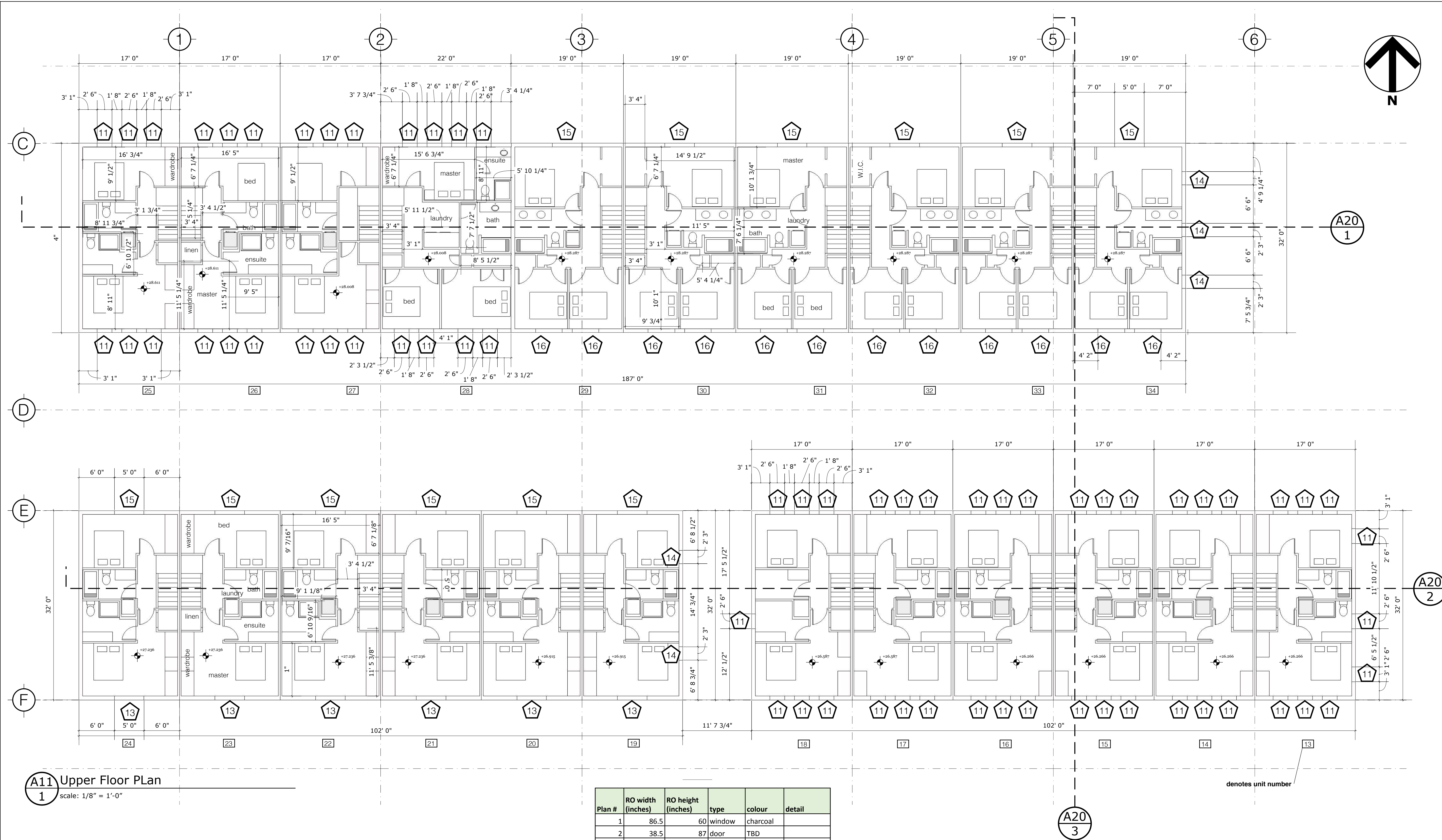
## DESCRIPTION

Upper Floor Plan

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A11



A11  
2 Exterior Window & Door Legend



## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

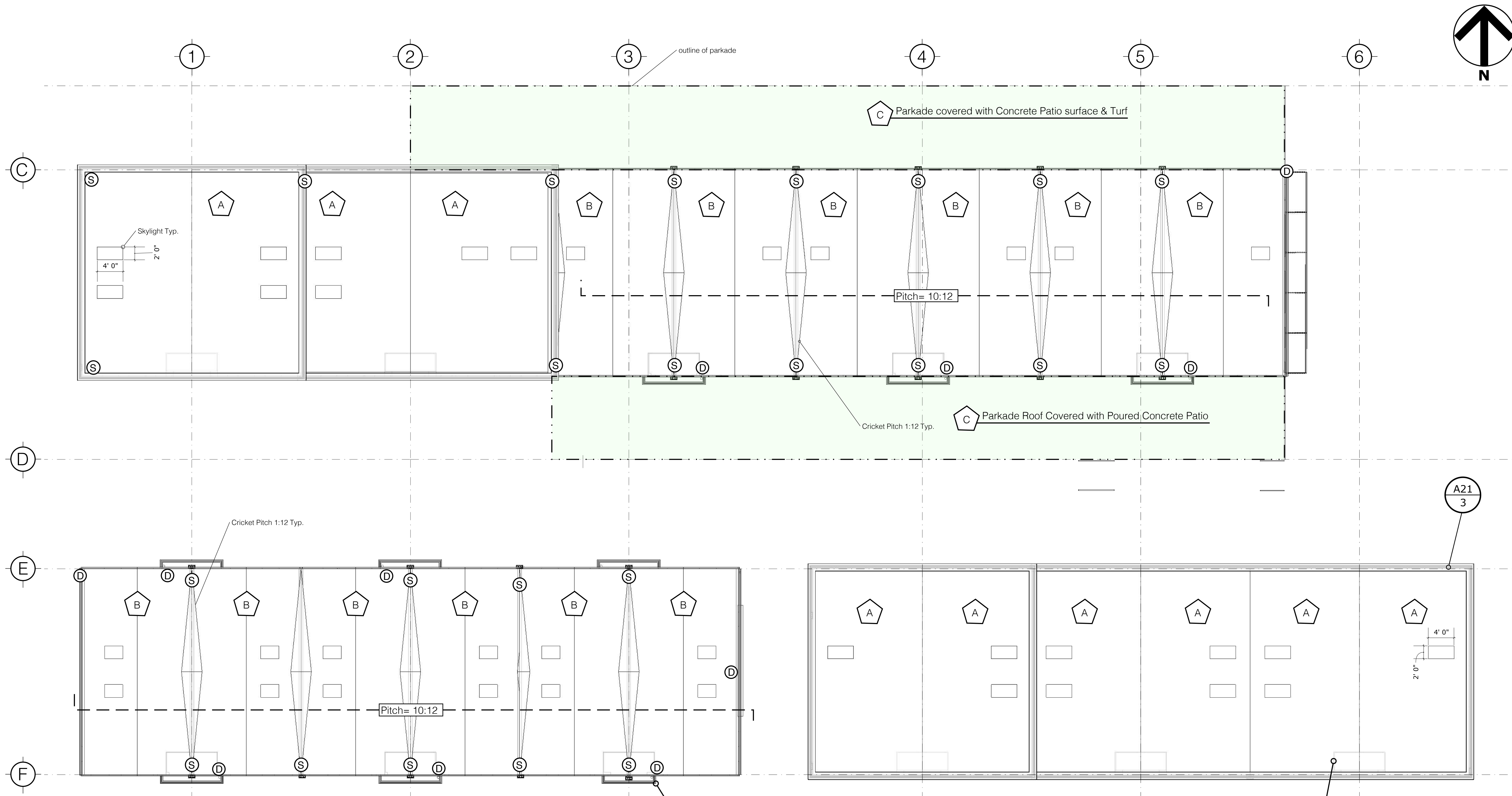
## DESCRIPTION

Roof Plan

CURRENT ISSUE  
September 19, 2019

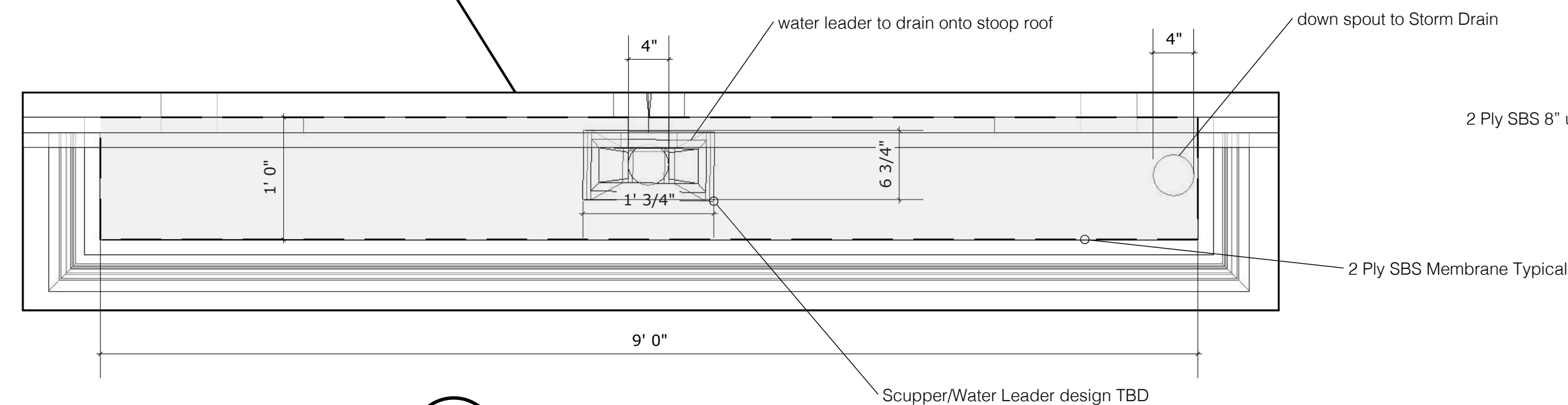
PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

# A12

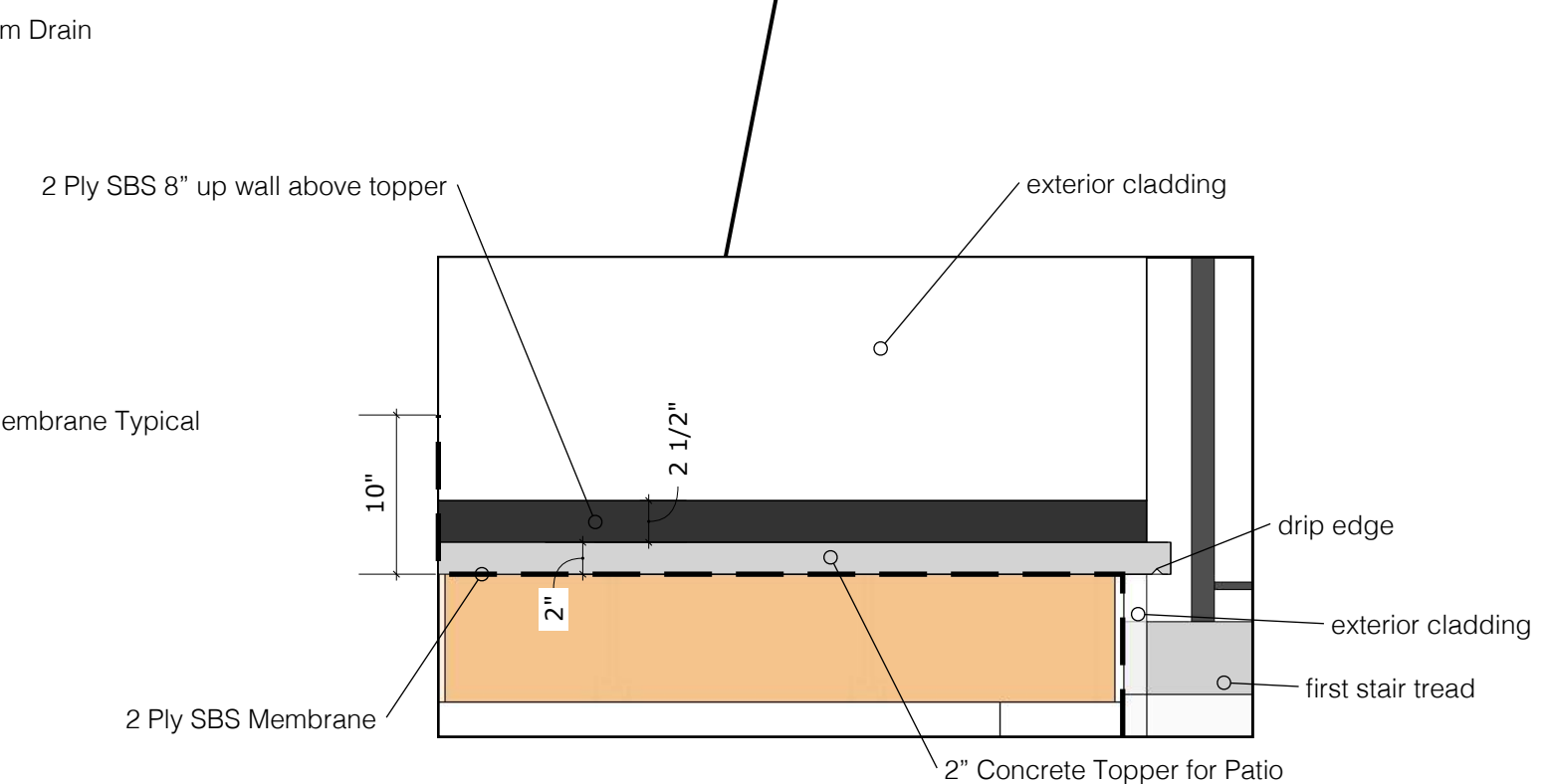


**A12** Roof Plan- see legend below  
1 scale: 1/8" = 1'-0"

Legend	
<b>A</b>	-Flat Roof -2 Ply SBS Roofing Membrane -EPS slope package at 2% to all roof drain locations -Scupper/Water Leader locations- see plan
<b>B</b>	-Pitched roof- see plan -Fiberglass re-enforced Asphalt Shingle -Synthetic Roof Underlayment -Cricket locations treated with 2 Play SBS Roofing Membrane, framing by other. -Gutter & Downspout locations- see plan
<b>C</b>	-Concrete Suspended Slab over Parkade -Suspended Slab sloped at 2% away from Building -2 Ply SBS Roofing Membrane adhered directly to Concrete Substrate
<b>S</b>	Scupper Water Leader Location
<b>D</b>	Down Spout Location



**A12** Stoop Roof Plan  
2 scale: 1" = 1'-0"



**A12** Concrete topper Patio at Entry Stoop typ.  
3 scale: 1" = 1'-0"



## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

Elevations

CURRENT ISSUE  
September 19, 2019

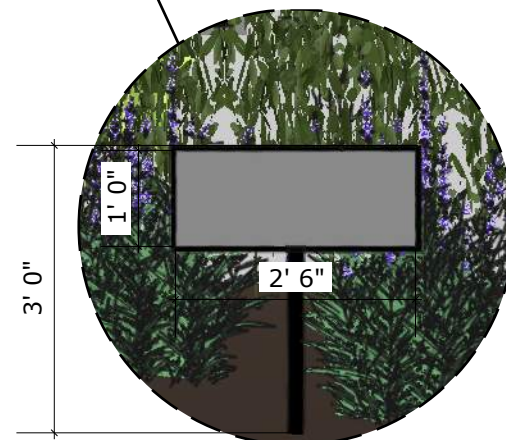
PLAN HISTORY  
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-issued for re-zoning May 14/19

# A13



**A13 SOUTH ELEVATION (FROM WILSON ST)**  
1 scale: 1" = 10'-0"

A22  
3



way finding signage,  
details TBD  
scale: 1/2" = 1'-0"

A22  
2

A22  
1



**A13 NORTH ELEVATION**  
2 scale: 1" = 10'-0"

A21  
1



**A13 EAST ELEVATION (FROM ALSTON)**  
3 scale: 1" = 10'-0"



**A13 WEST ELEVATION**  
4 scale: 1/8" = 1'-0"

Location	Finish detail	Colour
1	Slop Dash Stucco	Kendall Charcoal HC-166
2	Slop Dash Stucco	Kendall Charcoal HC-166
3	Brick	Mutual Materials- Classic Used Tumbled
4	Brick	Mutual Materials- Classic Used Tumbled
5	Slop Dash Stucco	Cushing Green HC-125
6	Slop Dash Stucco	Cushing Green HC-125
7	Shingles	Kendall Charcoal HC-166
8	Clap Board siding	Pale Oak OC-20
9	Brick	Mutual Materials- Classic Used Tumbled
10	Slop Dash Stucco	Narragansett Green HC-157
11	Shingles	Pale Oak OC-20
12	Clap Board siding	Cushing Green HC-125
13	Slop Dash Stucco	Kendall Charcoal HC-166
14	Slop Dash Stucco	Kendall Charcoal HC-166
15	Slop Dash Stucco	Pale Oak OC-20
16	Slop Dash Stucco	Pale Oak OC-20
17	Shingles	Narragansett Green HC-157
18	Brick	Mutual Materials- Classic Used Tumbled
19	Clap Board siding	Cushing Green HC-125
20	Slop Dash Stucco	Kendall Charcoal HC-166
21	Shingles	Pale Oak OC-20
22	Brick	Mutual Materials- Classic Used Tumbled
23	Flashing	Vic West Cambridge White QC 16161

**A13 Exterior Finishes Legend**  
5



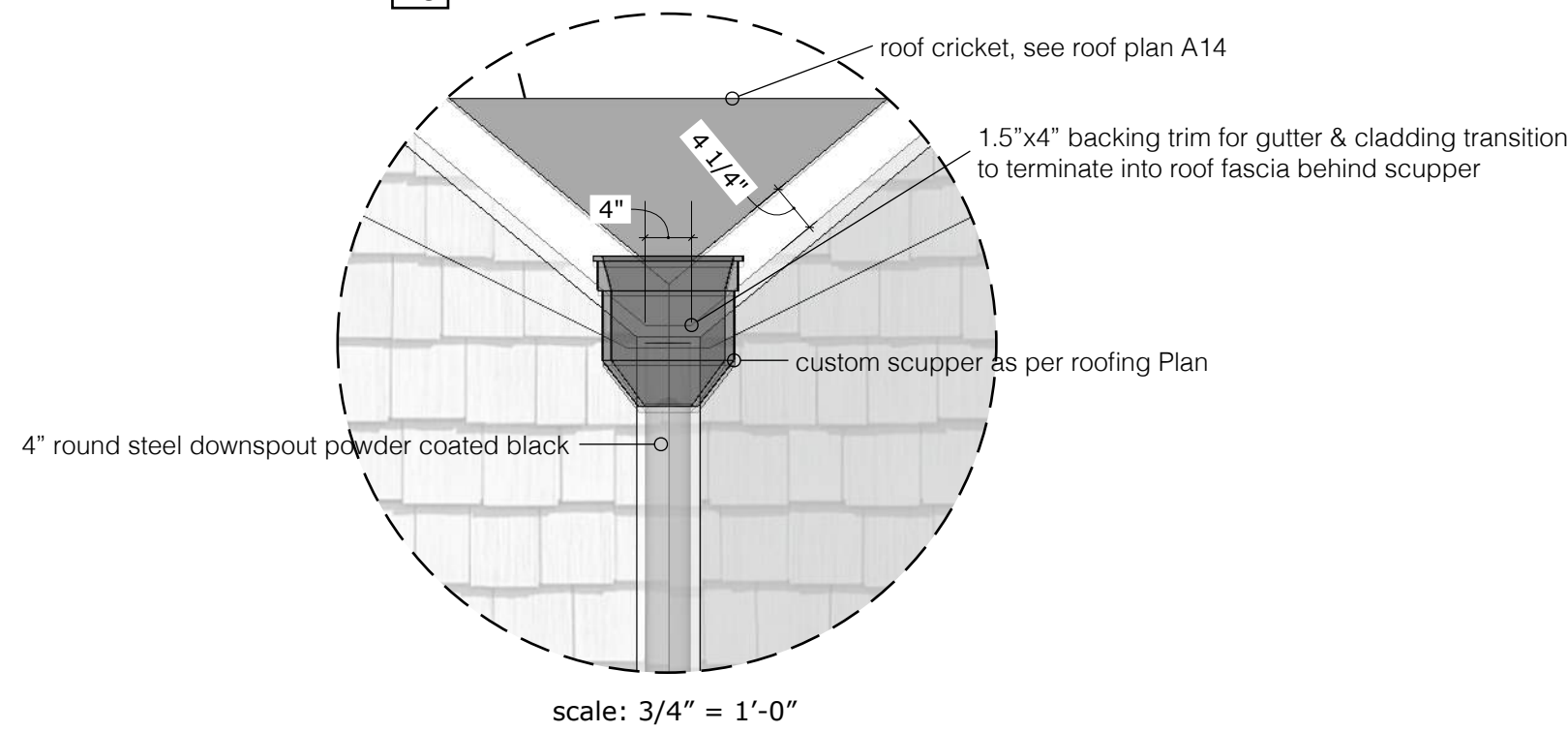
SEE A17 & A18 FOR ALL GEODECTIC INFORMATION



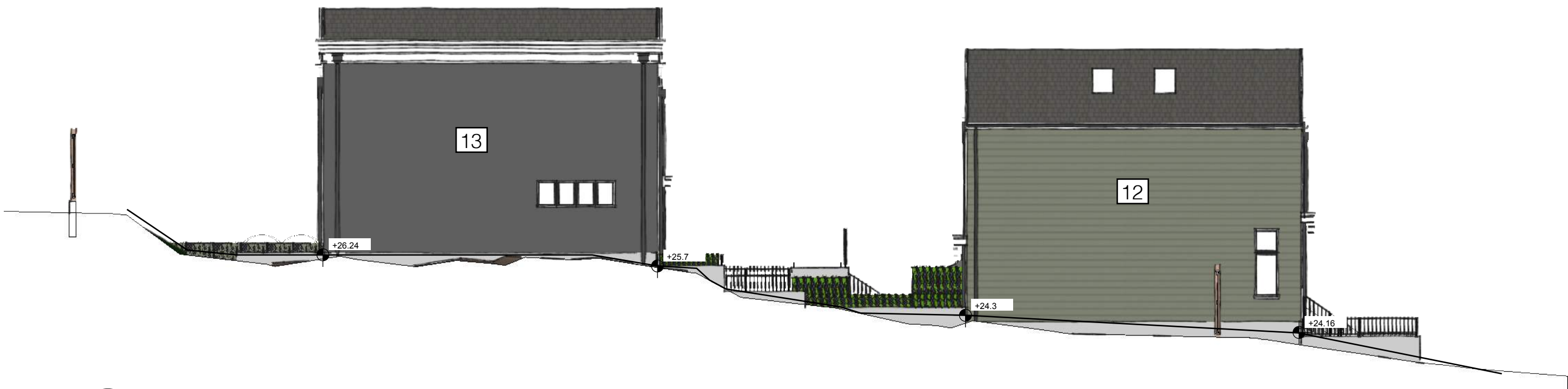
A14 SOUTH ELEVATION (FROM WILSON ST)  
1 scale: 1/8" = 1'-0"



A14 NORTH ELEVATION  
2 scale: 1/8" = 1'-0"



A14 WEST ELEVATION  
4 scale: 1/8" = 1'-0"



A14 WEST ELEVATION  
4 scale: 1/8" = 1'-0"



A14 EAST ELEVATION (FROM ALSTON)  
3 scale: 1/8" = 1'-0"

Location	Finish detail	Colour
1	Slop Dash Stucco	Kendall Charcoal HC-166
2	Slop Dash Stucco	Kendall Charcoal HC-166
3	Brick	Mutual Materials- Classic Used Tumbled
4	Brick	Mutual Materials- Classic Used Tumbled
5	Slop Dash Stucco	Cushing Green HC-125
6	Slop Dash Stucco	Cushing Green HC-125
7	Shingles	Kendall Charcoal HC-166
8	Clap Board siding	Pale Oak OC-20
9	Brick	Mutual Materials- Classic Used Tumbled
10	Slop Dash Stucco	Narragansett Green HC-157
11	Shingles	Pale Oak OC-20
12	Clap Board siding	Cushing Green HC-125
13	Slop Dash Stucco	Kendall Charcoal HC-166
14	Slop Dash Stucco	Kendall Charcoal HC-166
15	Slop Dash Stucco	Pale Oak OC-20
16	Slop Dash Stucco	Pale Oak OC-20
17	Shingles	Narragansett Green HC-157
18	Brick	Mutual Materials- Classic Used Tumbled
19	Clap Board siding	Cushing Green HC-125
20	Slop Dash Stucco	Kendall Charcoal HC-166
21	Shingles	Pale Oak OC-20
22	Brick	Mutual Materials- Classic Used Tumbled
23	Flashing	Vic West Cambridge White QC 16161

A14 Exterior Finishes Legend  
5

## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

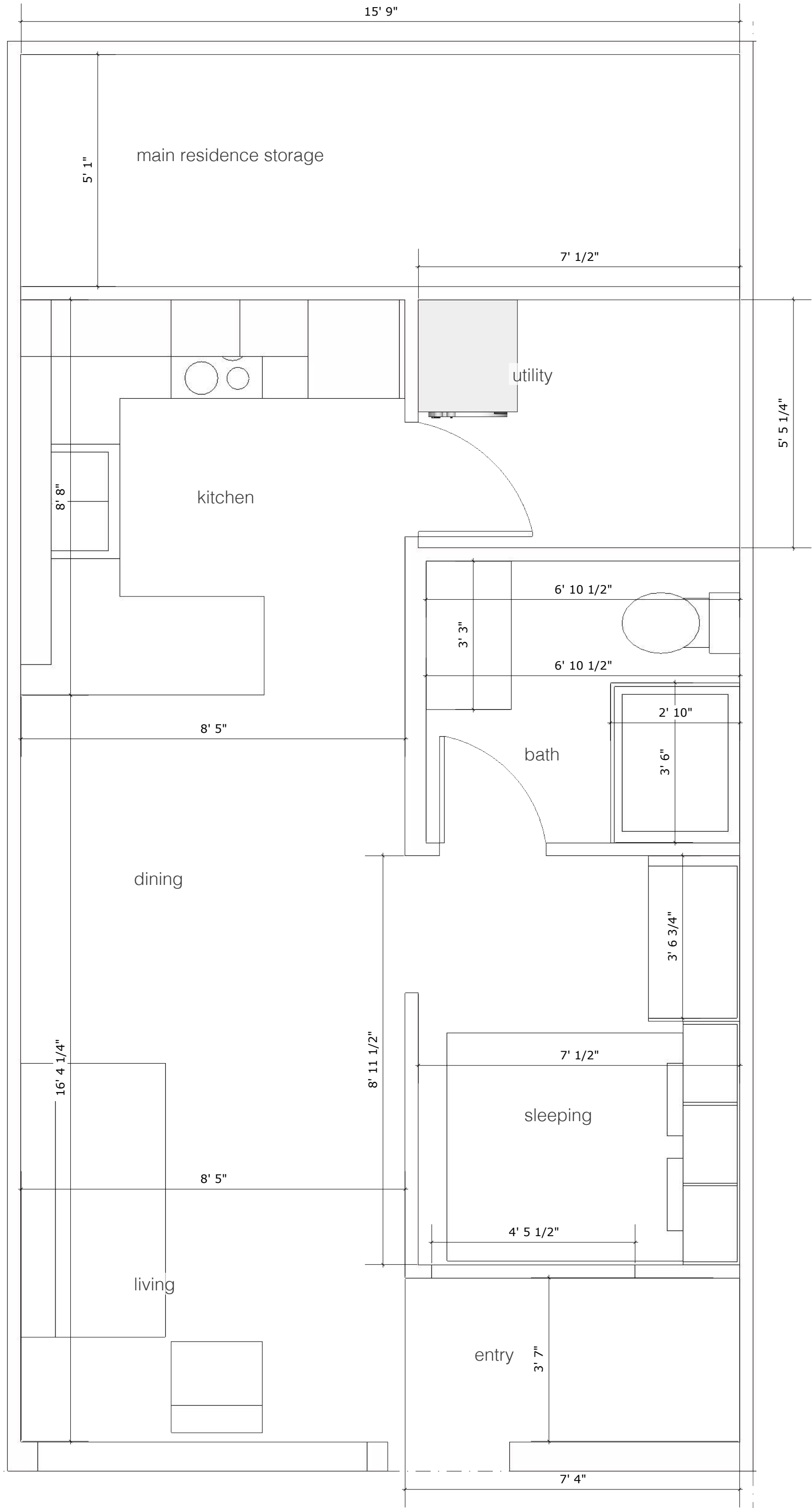
## DESCRIPTION

Elevations no landscaping

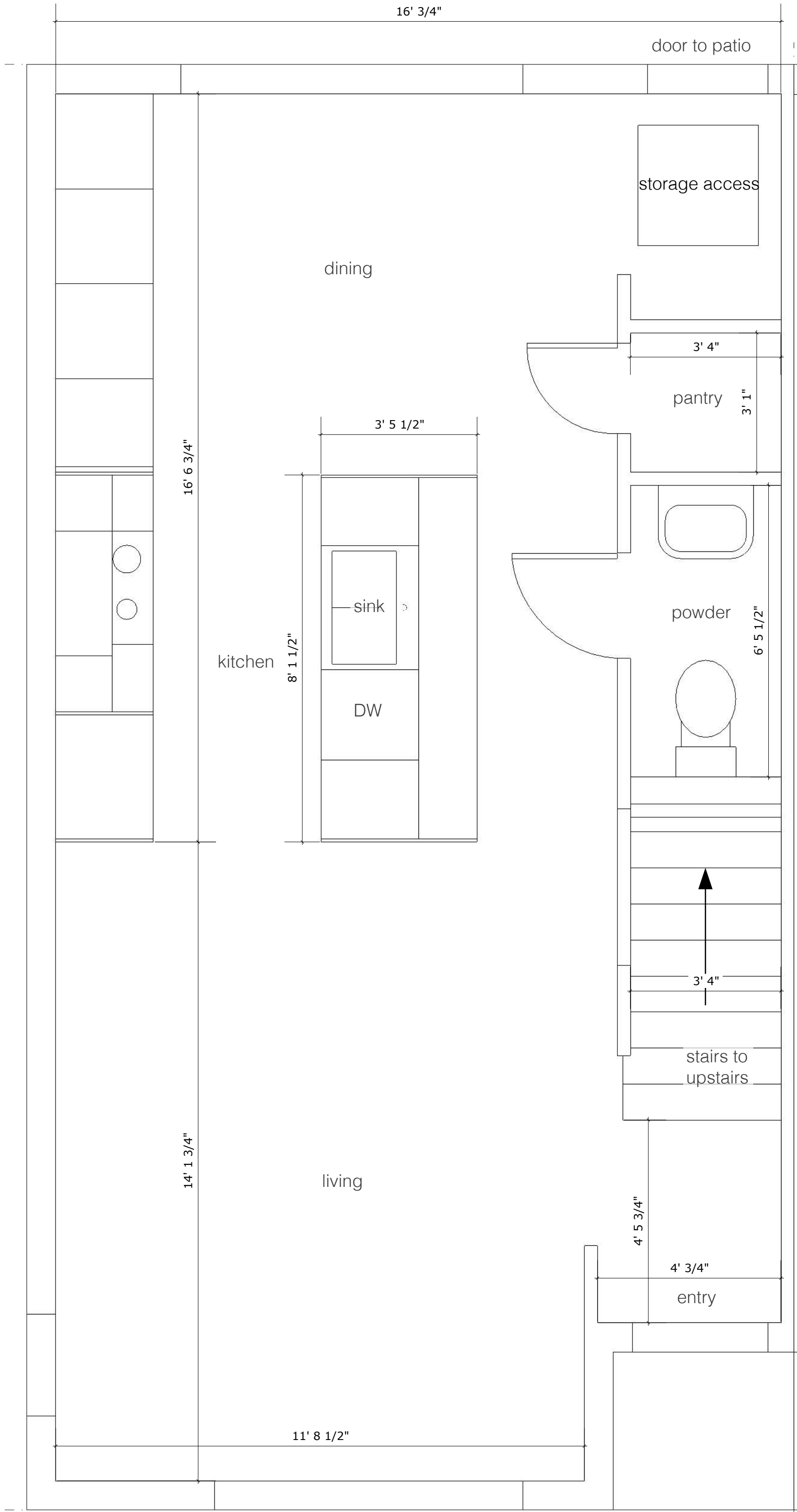
CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

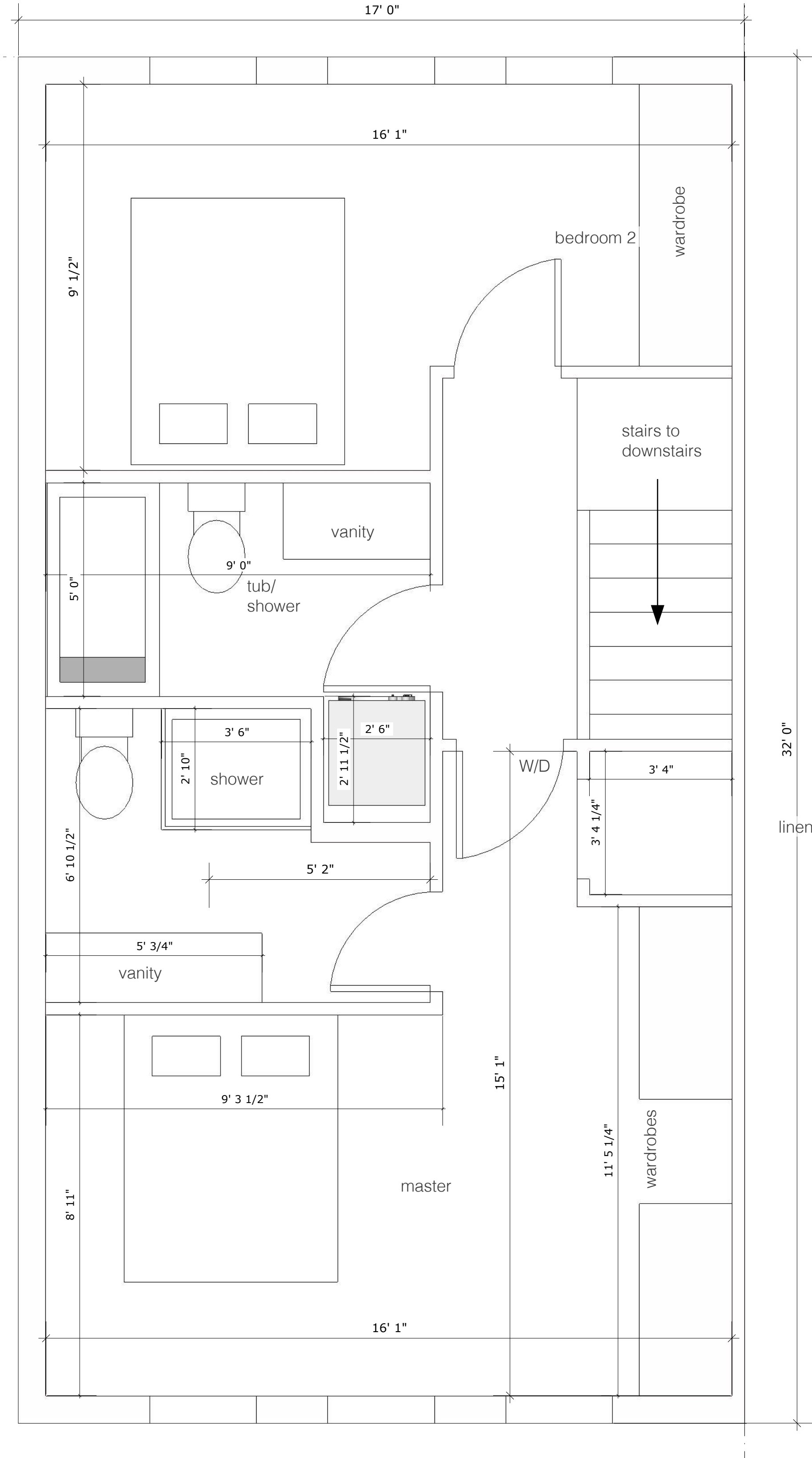




**A15**  
**1** Lower Floor Plan (south buildings only)  
scale: 1/2" = 1'-0"



**A15**  
**2** Main Floor Plan  
scale: 1/2" = 1'-0"



**A15**  
**3** Upper Floor Plan  
scale: 1/2" = 1'-0"

PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

DESCRIPTION

2 Bedroom floor plan  
example

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
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-issued for re-zoning May 14/19



PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

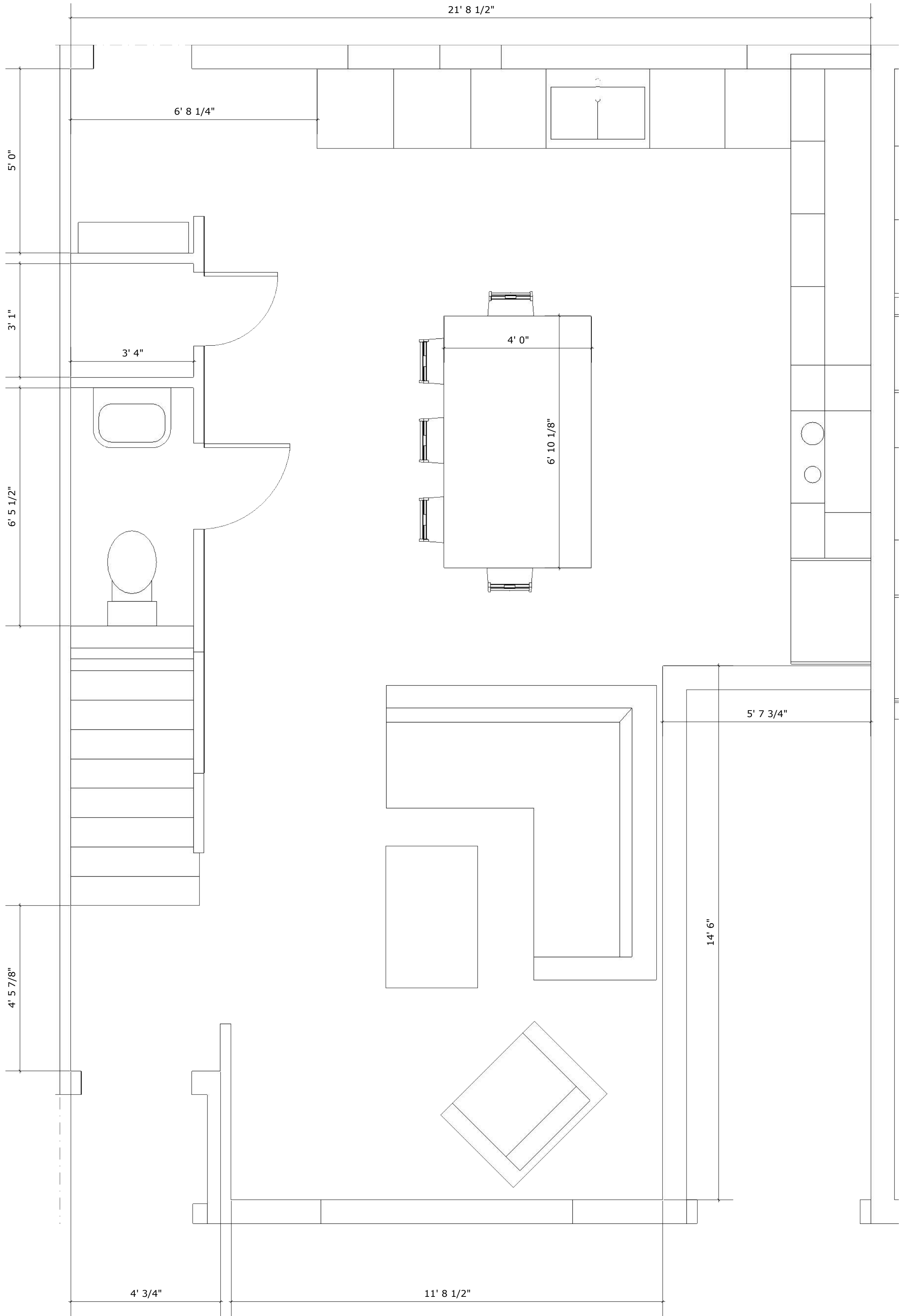
DESCRIPTION

3 Bed room floorplan  
example

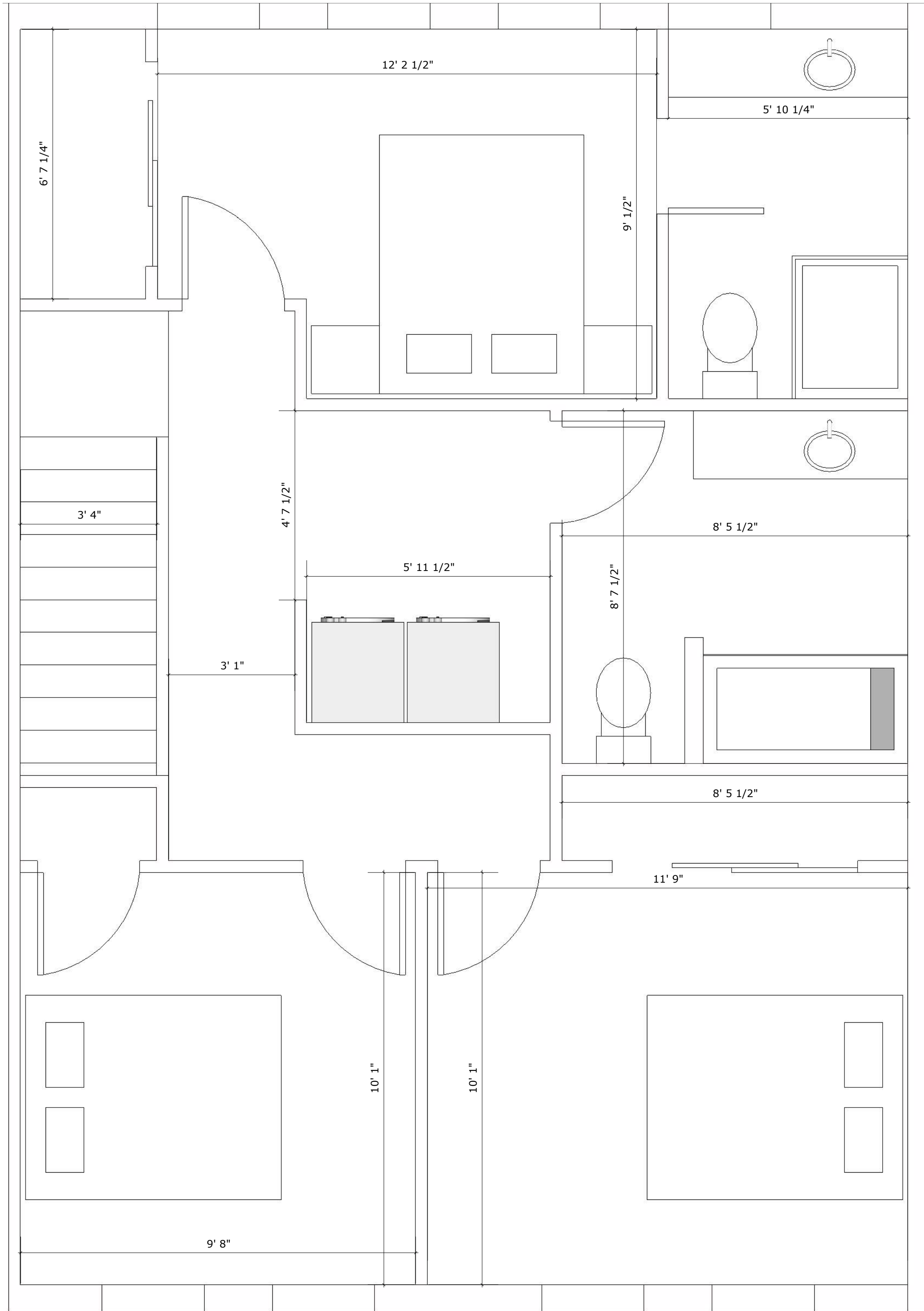
CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
-issued for re-zoning March 14/19  
-issued for re-zoning May 14/19

A16



A16 Main Floor Plan  
2 scale: 1/2" = 1'-0"



A16 Upper Floor Plan  
3 scale: 1/2" = 1'-0"





SEE DETAIL 3 ON A23 FOR BCLS NATURAL GRADE CALCULATIONS/WORKSHEET



PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

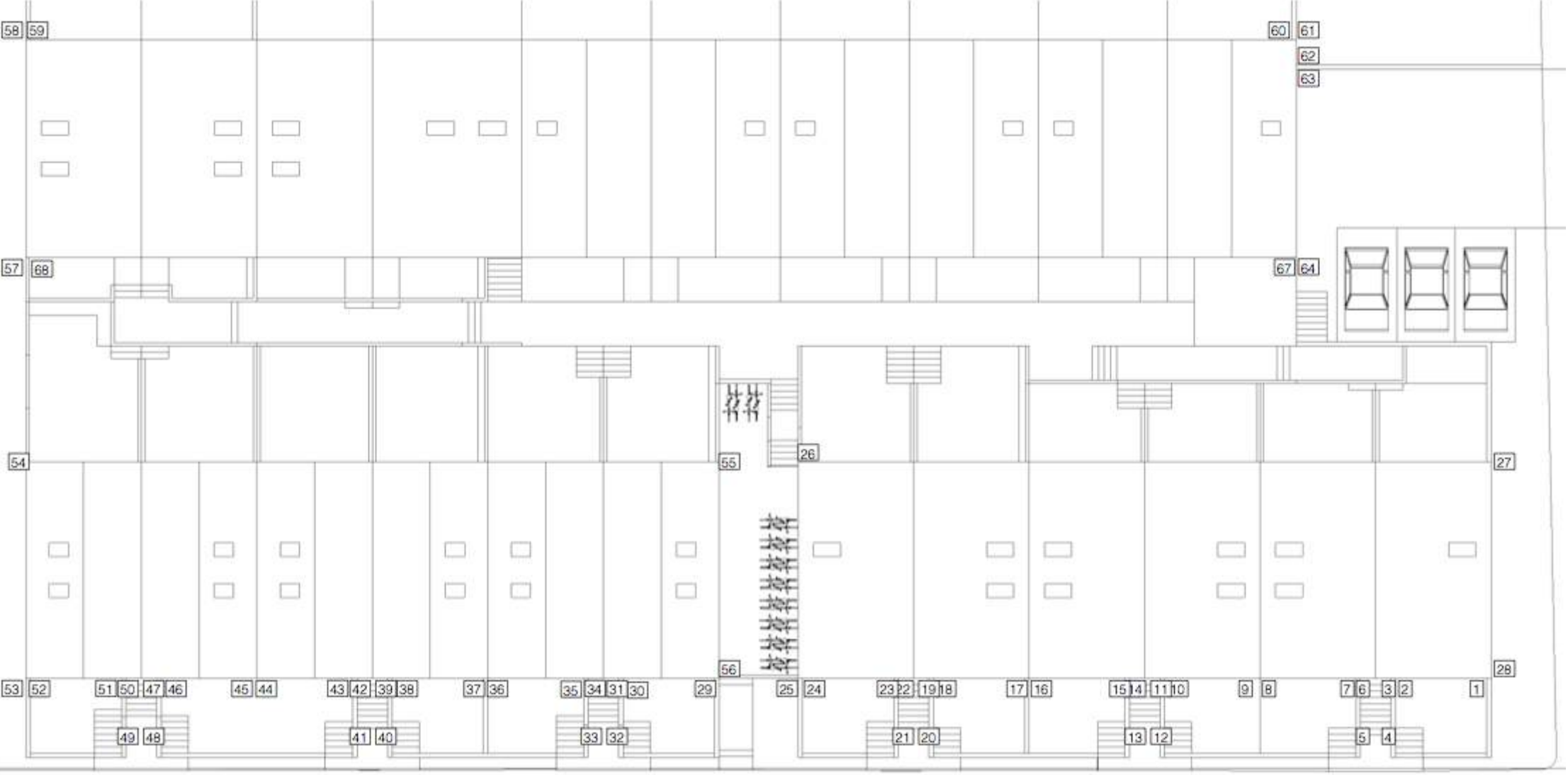
DESCRIPTION

Grade/Height Calculations  
& Elevations

Building Location	elevation location	elevation (M)	AVGs	details	Natural/Finished	length (M)	avg * length
South East Building	1	20.02		east side of patio	finished		
	2	20.02		west side of patio	finished		
			20.02	pt 1 to pt 2		3.96	79.27
	3	21.31		east side of stair at building	natural		
	4	21.07		east side of stair at sidewalk	natural		
			21.19	pt 3 to pt 4		2.34	49.58
	5	21.14		west side of stair at sidewalk	natural		
			21.105	pt 4 to pt 5		2.44	51.49
	6	21.36		west side of stair at building	natural		
			21.25	pt 5 to pt 6		2.34	49.72
	7	20.02			finished		
	8	20.02			finished		
			20.02	pt 7 to pt 8		3.96	79.27
	9	20.02					
	10	20.02					
			20.02	pt 9 to pt 10	finished	3.96	79.27
	11	22.12			natural		
	12	21.85			natural		
			21.985	11 to 12		2.6	57.16
	13	22.27			natural		
			22.06	12 to 13		2.44	53.82
	14	22.71			natural		
			22.49	13 to 14		2.6	58.47
	15	20.02					
	16	20.02					
			20.02	15 to 16		3.96	79.27
	17	20.34			finished		
	18	20.34			finished		
			20.34	17 to 18		3.96	80.54
	19	22.53			natural		
	20	22.31			natural		
			22.42	19 to 20		2.85	63.89
	21	22.2			natural		
			22.255	20 to 21		2.44	54.30
	22	22.42			natural		
			22.31	21 to 22		2.85	63.58
	23	20.34			finished		
	24	20.34			finished		
			20.34	23 to 24		3.96	80.54
	25	22.42			natural		
	26	22.77			natural		
			22.595	25 to 26		9.75	220.30
	27	22.14			natural		
			22.455	26 to 27		31.09	698.12
	28	21.23			natural		
			21.685	27 to 28		9.75	211.42
Totals						97.25	2110.11
average grade							21.69

Building Location	elevation location	elevation (M)	AVGs	details	Natural/Finished	length (M)	avg * length
South West Building	29	20.67			finished		
	30	20.67			finished		
			20.67	29 to 30		3.96	81.85
	31	22.13			natural		
	32	21.98			natural		
			22.055	31 to 32		2.31	50.94
	33	22.08			natural		
			22.03	32 to 33		2.44	53.75
	34	22.22			natural		
			22.15	33 to 34		2.31	51.16
	35	20.67			finished		
	36	20.67			finished		
			20.67	35 to 36		3.96	81.85
	37	20.99			finished		
	38	20.99			finished		
			20.99	37 to 38		3.96	83.12
	39	22.39			natural		
	40	22.19			natural		
			22.29	39 to 40		2.31	51.48
	41	22.35			natural		
			22.27	40 to 41		2.44	54.33
	42	22.54			natural		
			22.445	41 to 42		2.31	51.84
	43	20.99			finished		
	44	20.99			finished		
			20.99	43 to 44		3.96	83.12
	45	20.99			finished		
	46	20.99			finished		
			20.99	45 to 46		3.96	83.12
	47	22.56			natural		
	48	22.41			natural		
			22.485	47 to 48		2.56	57.56
	49	22.88			natural		
			22.645	48 to 49		2.44	55.25
	50	23			natural		
			22.94	49 to 50		2.56	58.72
	51	20.99			finished		
	52	20.99			finished		
			20.99	51 to 52		3.96	83.12
	53	24.16			natural		
	54	24.3			natural		
			24.23	53 to 54		9.75	236.24
	55	22.79			natural		
			23.545	54 to 55		31.09	732.01
	56	22.52			natural		
			22.655	55 to 56		9.75	220.88
Totals						96.03	2170.41
Average Grade							22.60

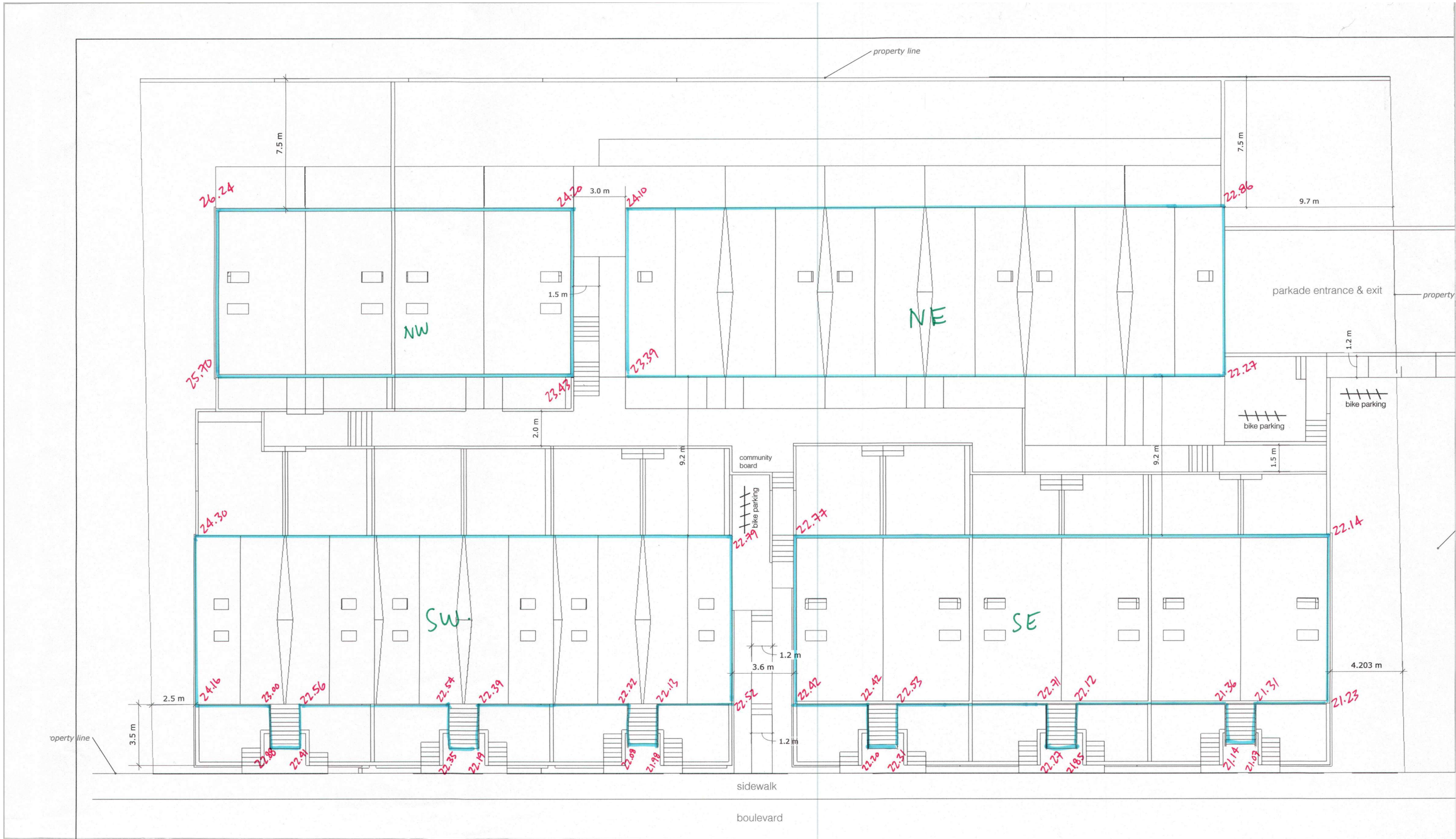
Building Location	elevation location	elevation (M)	AVGs	details	Natural/Finished	length (M)	avg * length
North Building	57	25.7			natural		
	58	26.24			natural		
			25.97	57 to 58		9.75	253.20
	59	23.96			finished		
	60	22.86			natural		
			23.41	59 to 60		57	1334.37
	61	22.88			natural		
	62	22.79			natural		
			22.835	61 to 62		1.33	30.37
	63	21.6			finished		
	64	21.6			finished		
			21.6	63 to 64		7.1	153.36
	65(omitted)	21.76			finished		
	66(omitted)	21.76			finished		
	omitted						
	67	22.27			natural		
	68	25.1			finished		
			23.685	67 to 68		57	1350.04
Totals						132.18	3121.35
Average Grade							23.61



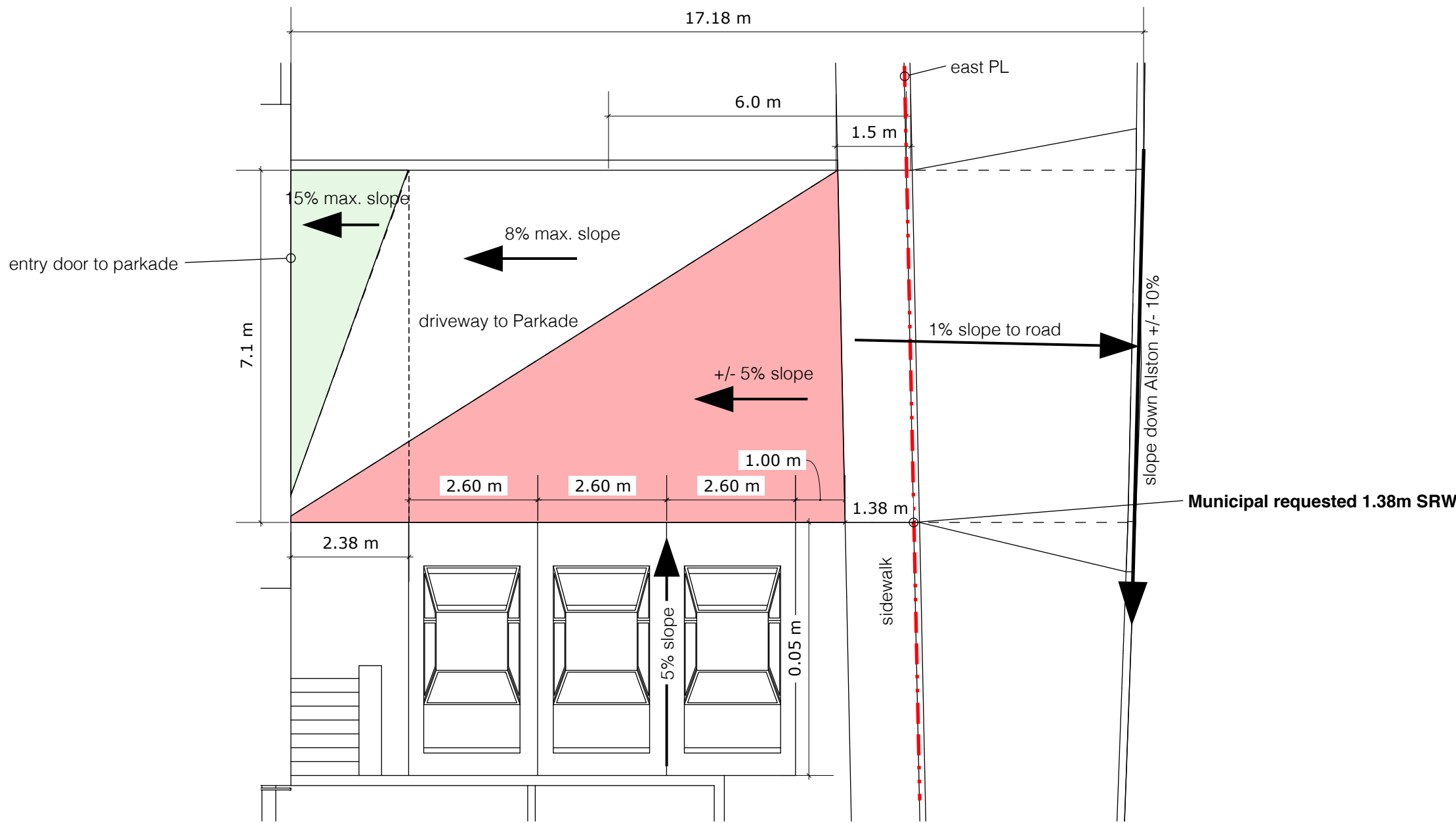




**A18**  
**1** added perspective illustrating East side of SE Building  
- please see landscape plan for planting schedule and locations



**A18**  
**2** existing natural grade points from (JE Anderson)BCLS



**A18**  
**3** proposed driveway and surface parking, see Civil drawings  
scale: 1:100

## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

## DESCRIPTION

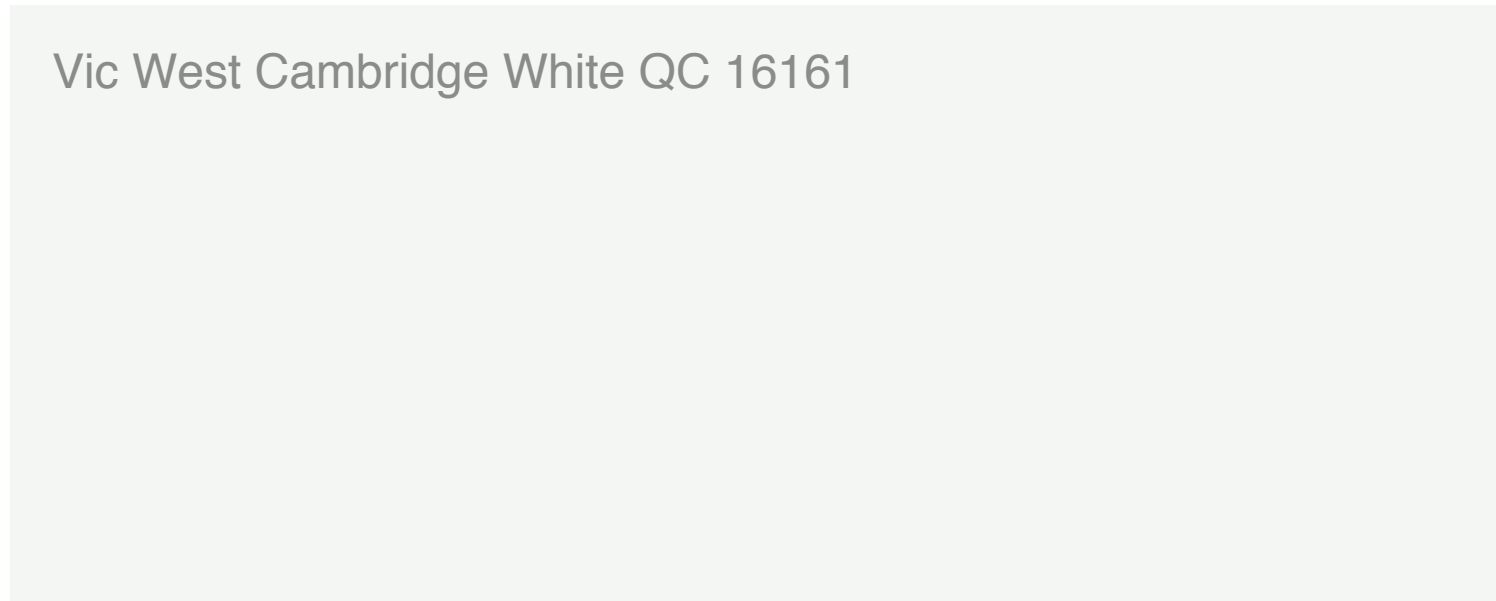
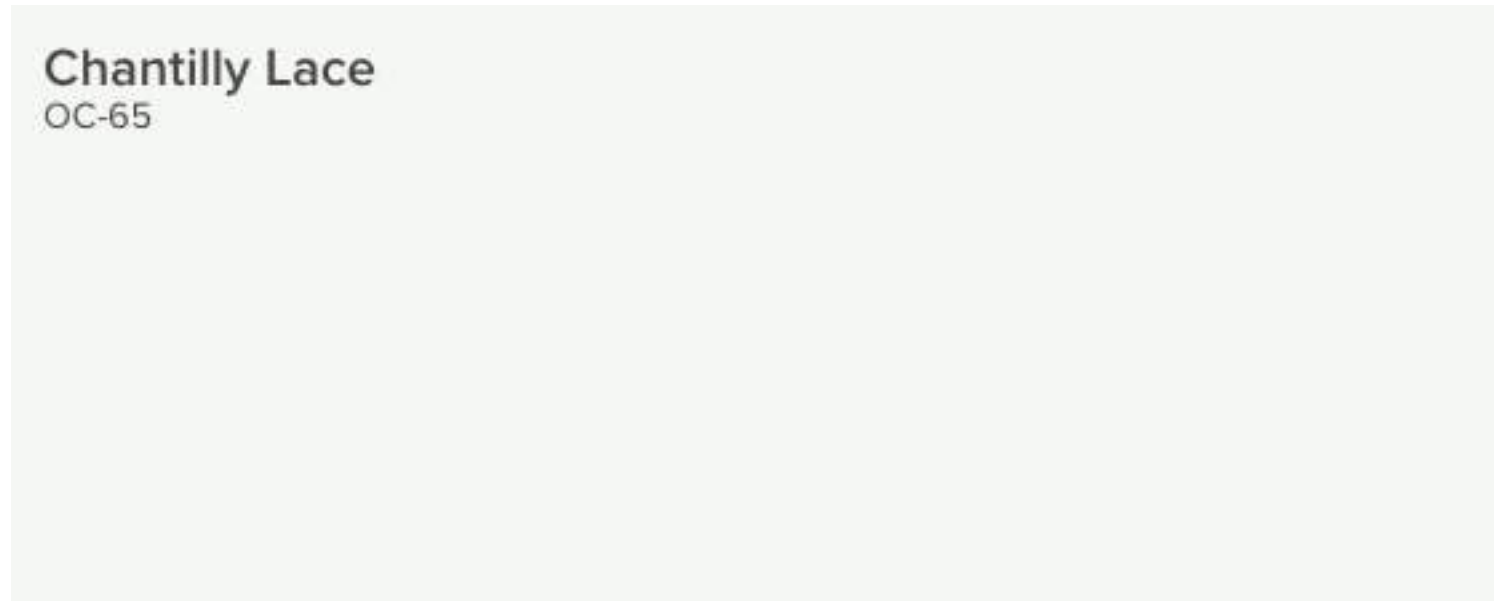
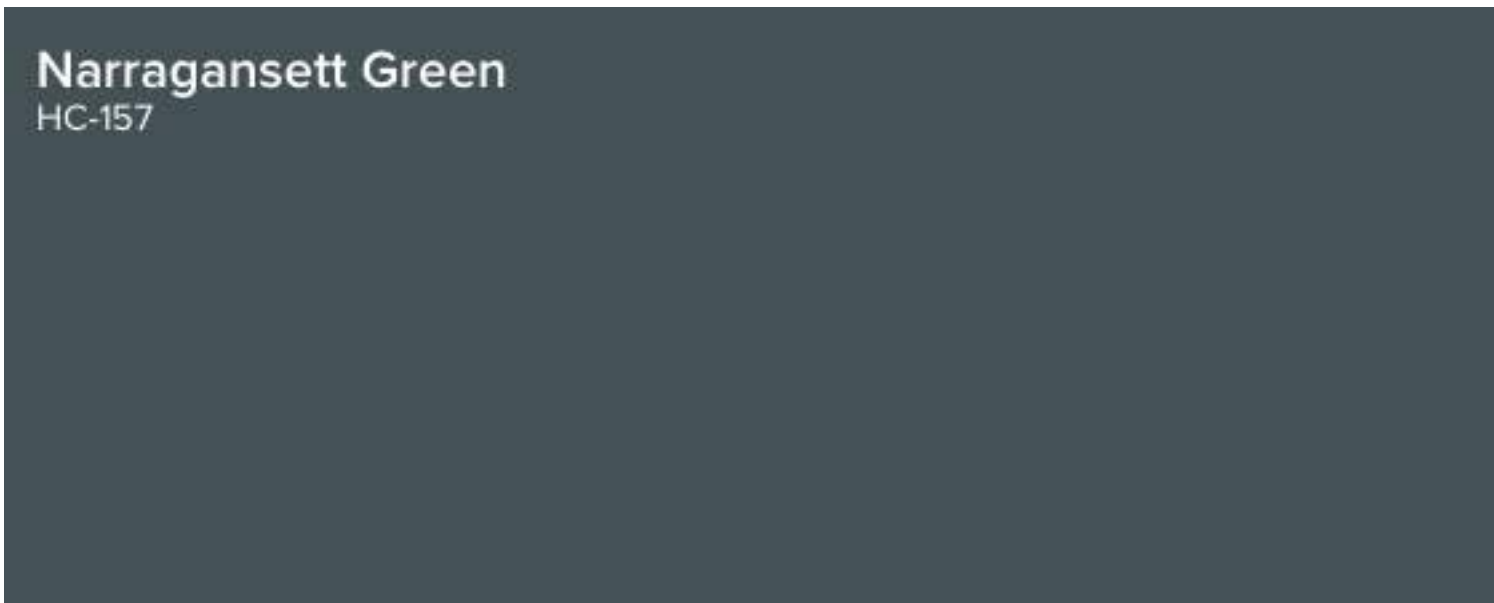
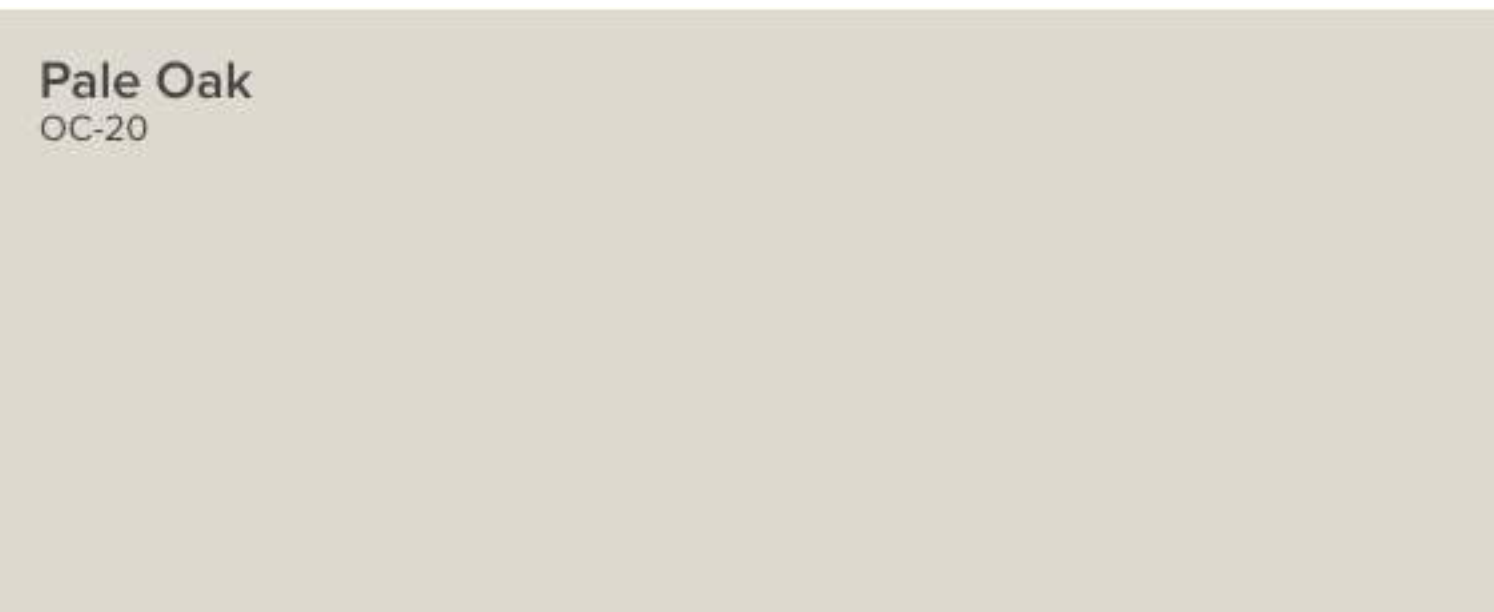
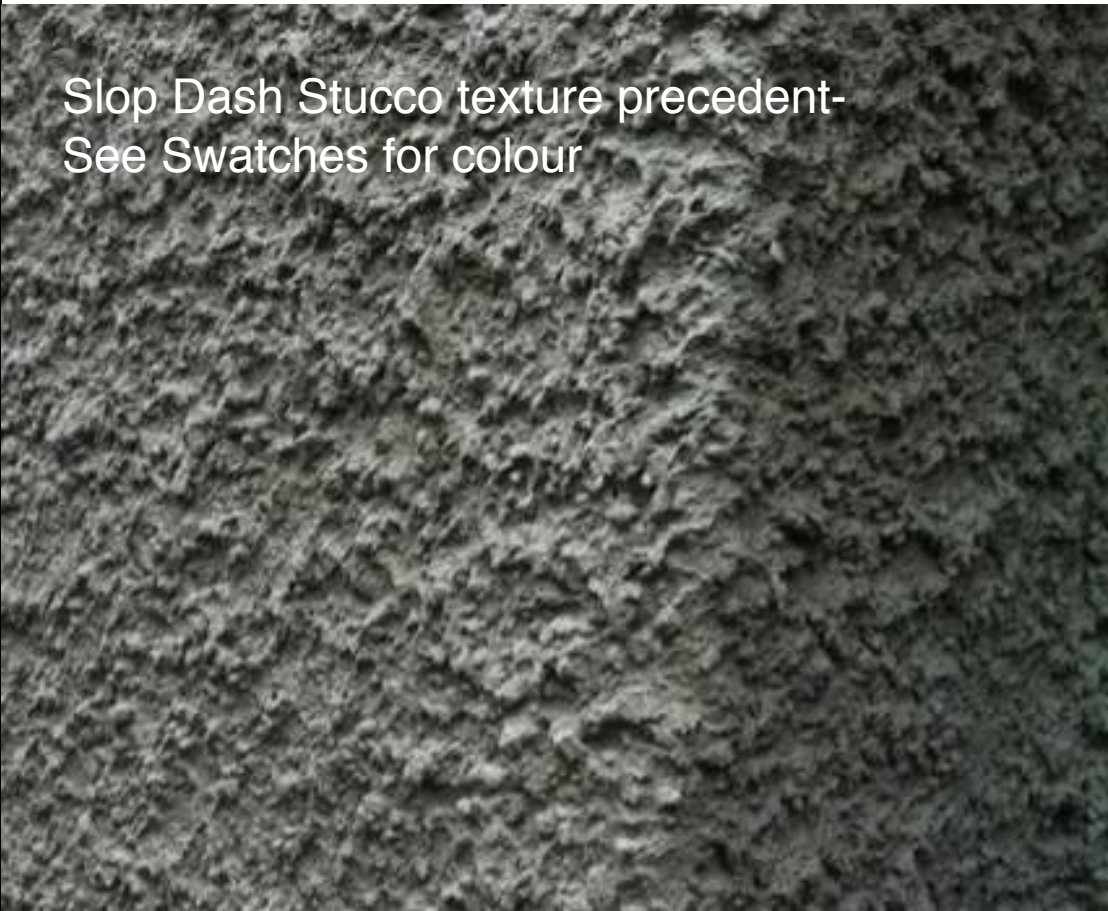
Supplement Information

CURRENT ISSUE  
September 19, 2019

PLAN HISTORY  
-issued for re-zoning Feb 04/19  
-issued for re-zoning digital submission Feb 05/19  
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A18





PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

DESCRIPTION

Finishes

CURRENT ISSUE  
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## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

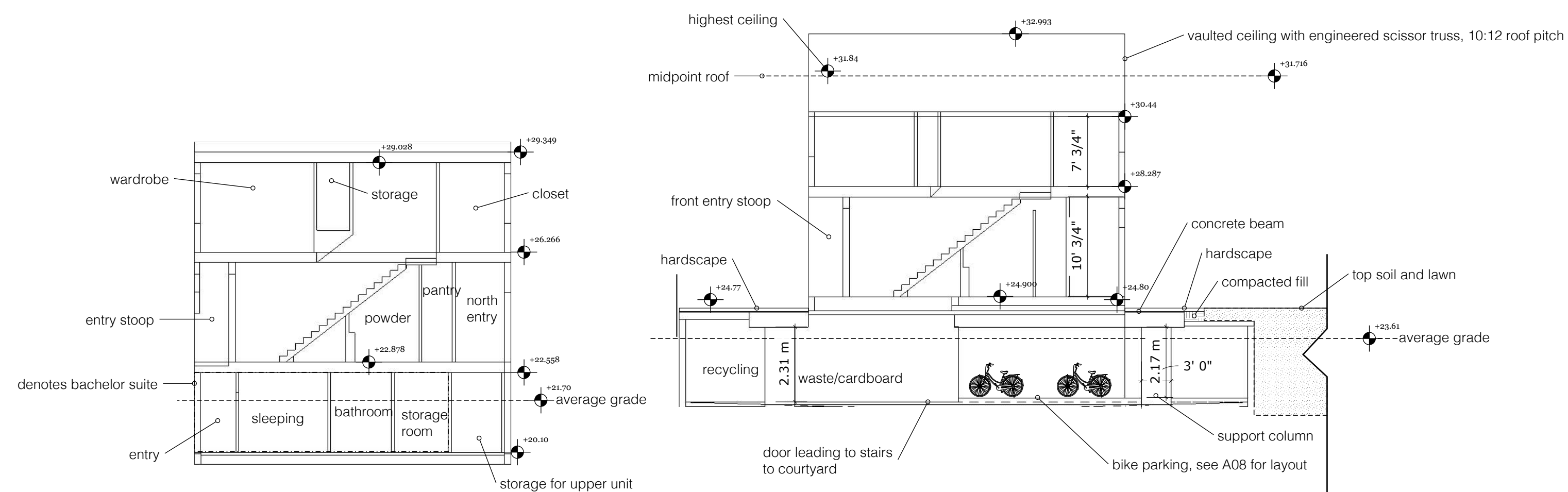
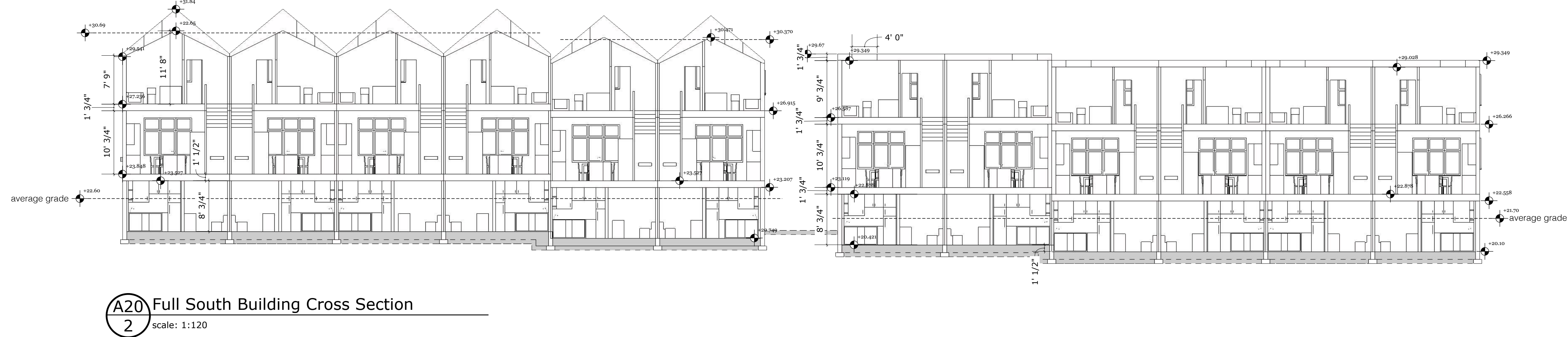
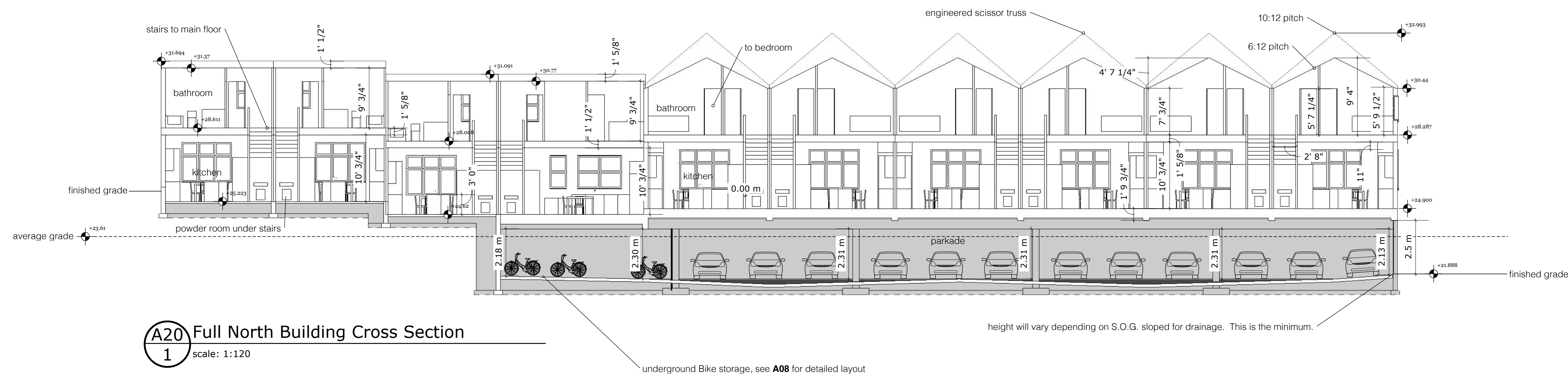
## DESCRIPTION

Full Building Cross  
Sections

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# A20





## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

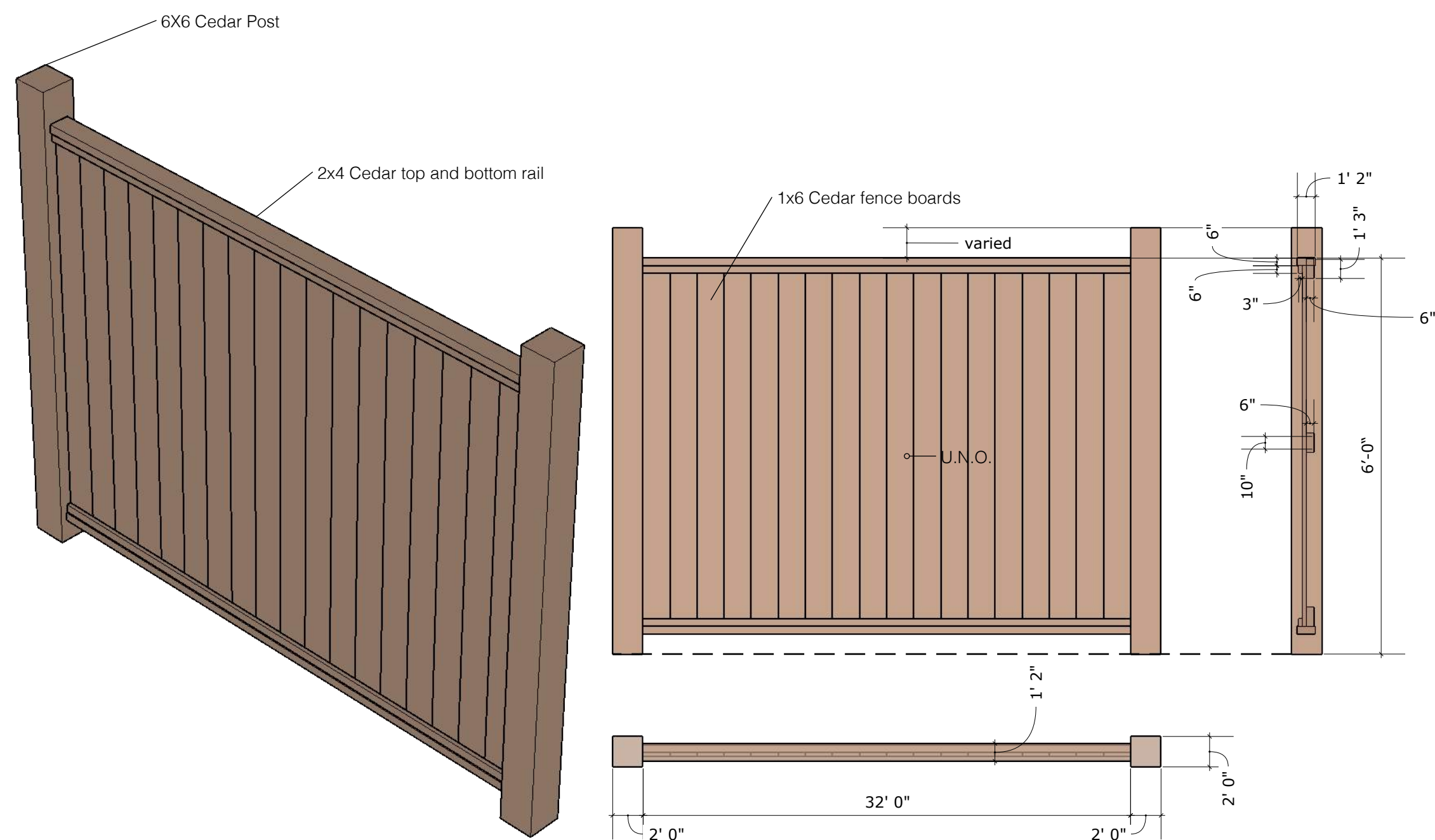
## DESCRIPTION

Details: fencing, roof  
trim, window trim,  
parkade entrance trellis

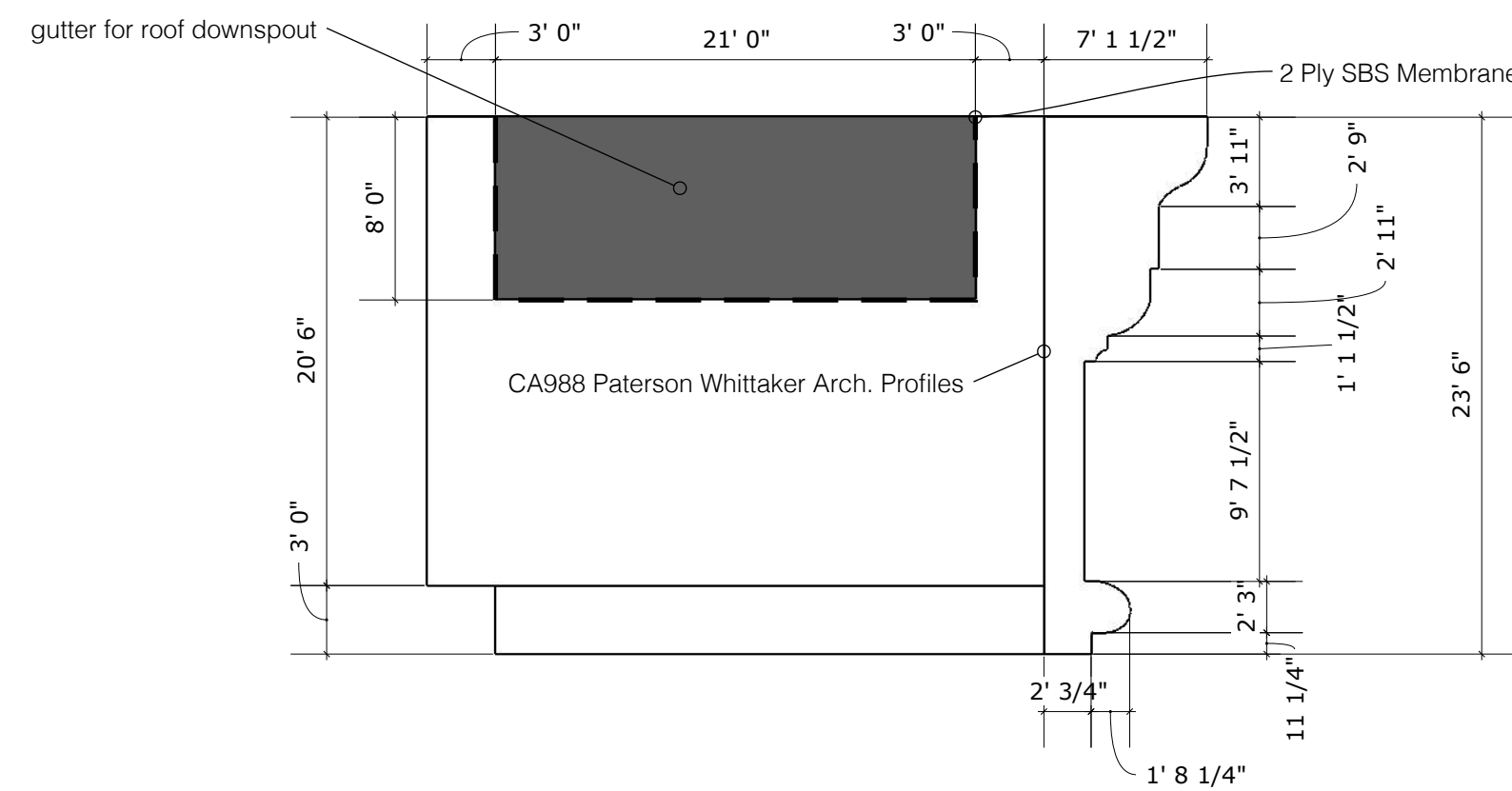
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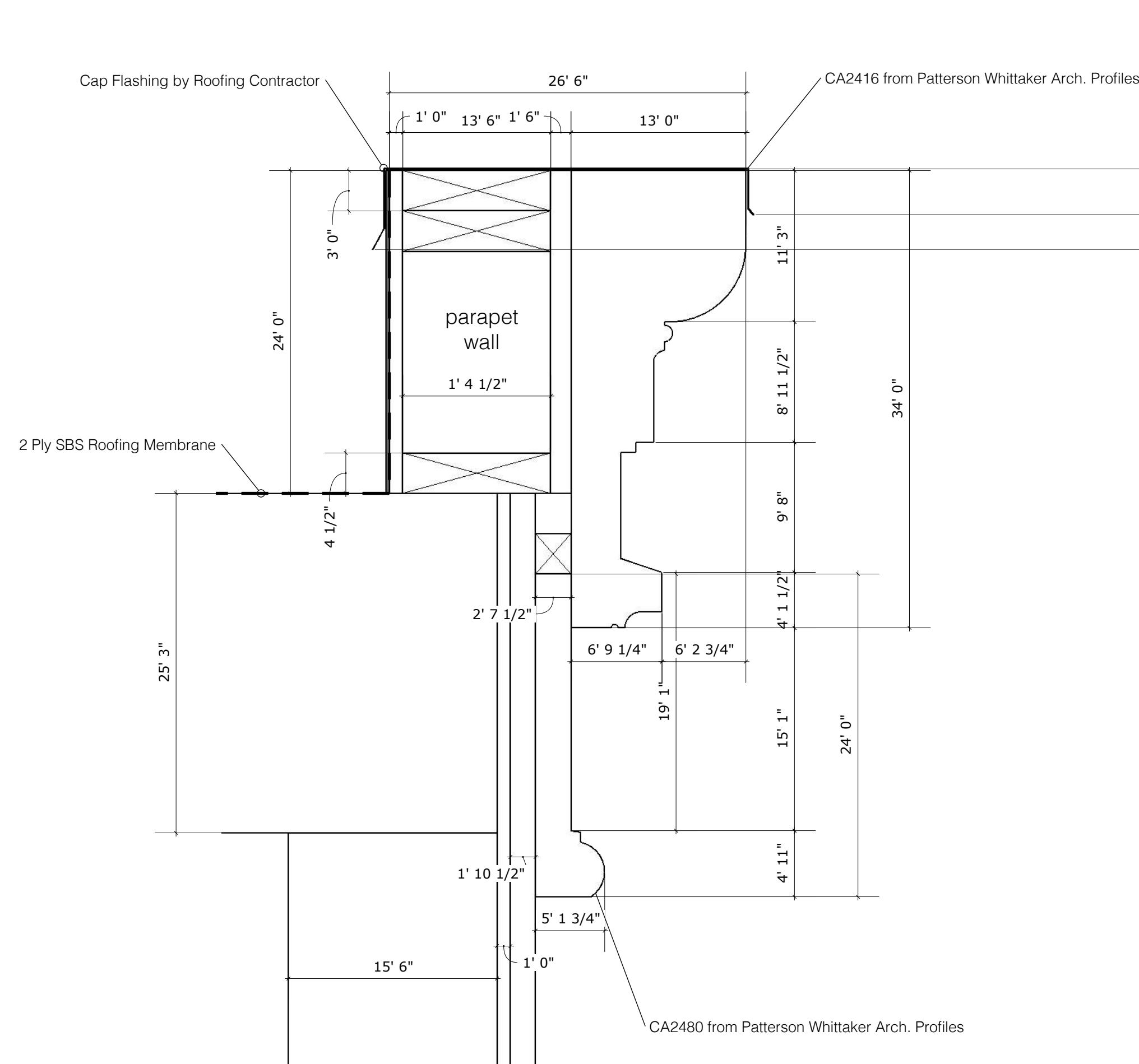
A21



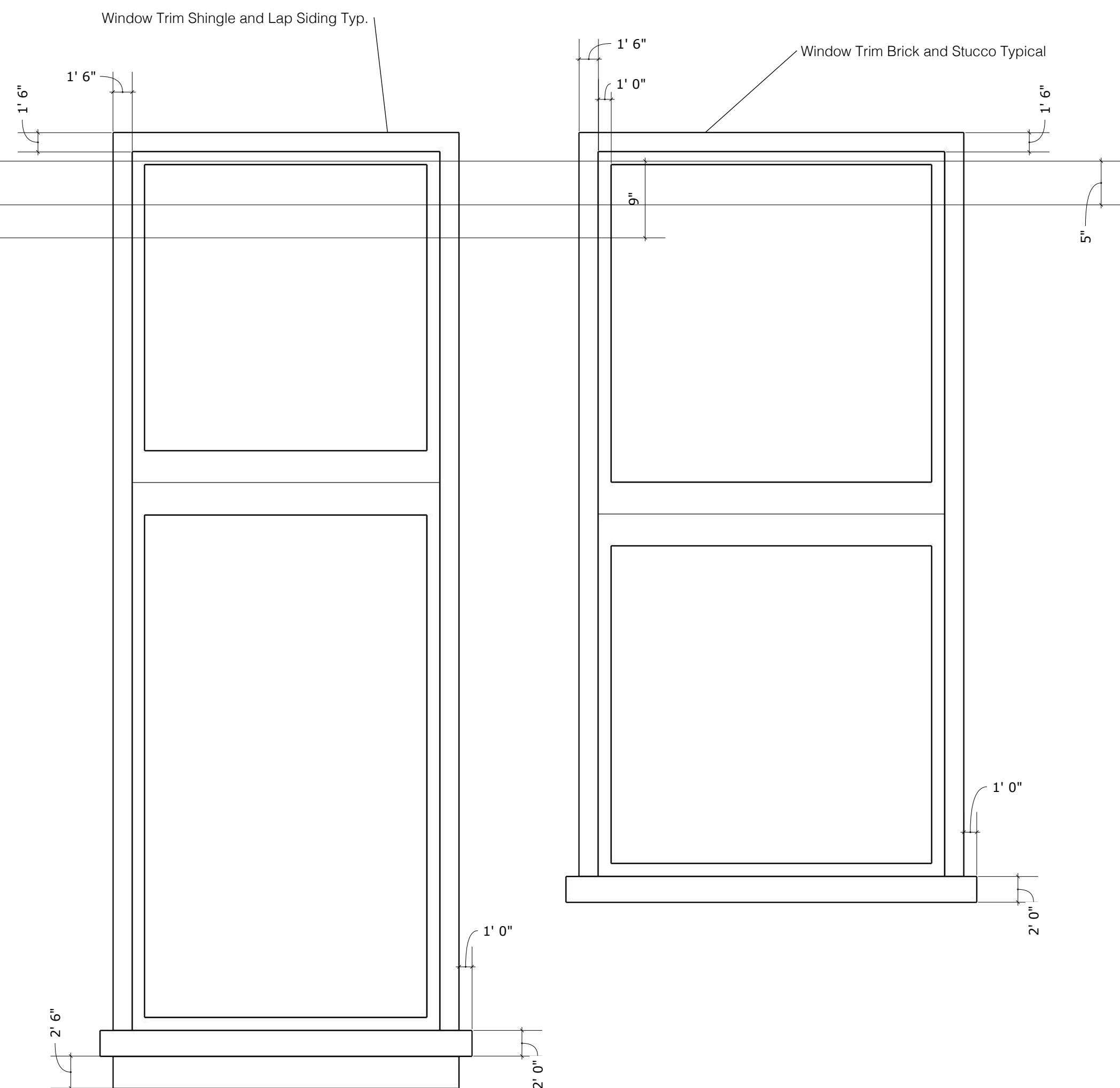
**A21**  
**1** Fencing Design & Detail  
scale: 1/2" = 1'-0"



**A21**  
**2** Gable Front Stoop Overhang (Chantilly Lace White)  
scale: 3" = 1'-0"



**A21**  
**3** Flat Roof Cornice Moulding Detail  
scale: 3" = 1'-0"



**A21**  
**4** Window Trim Details (Chantilly Lace White for all)  
scale: 1 1/2" = 1'-0"



## PROJECT

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

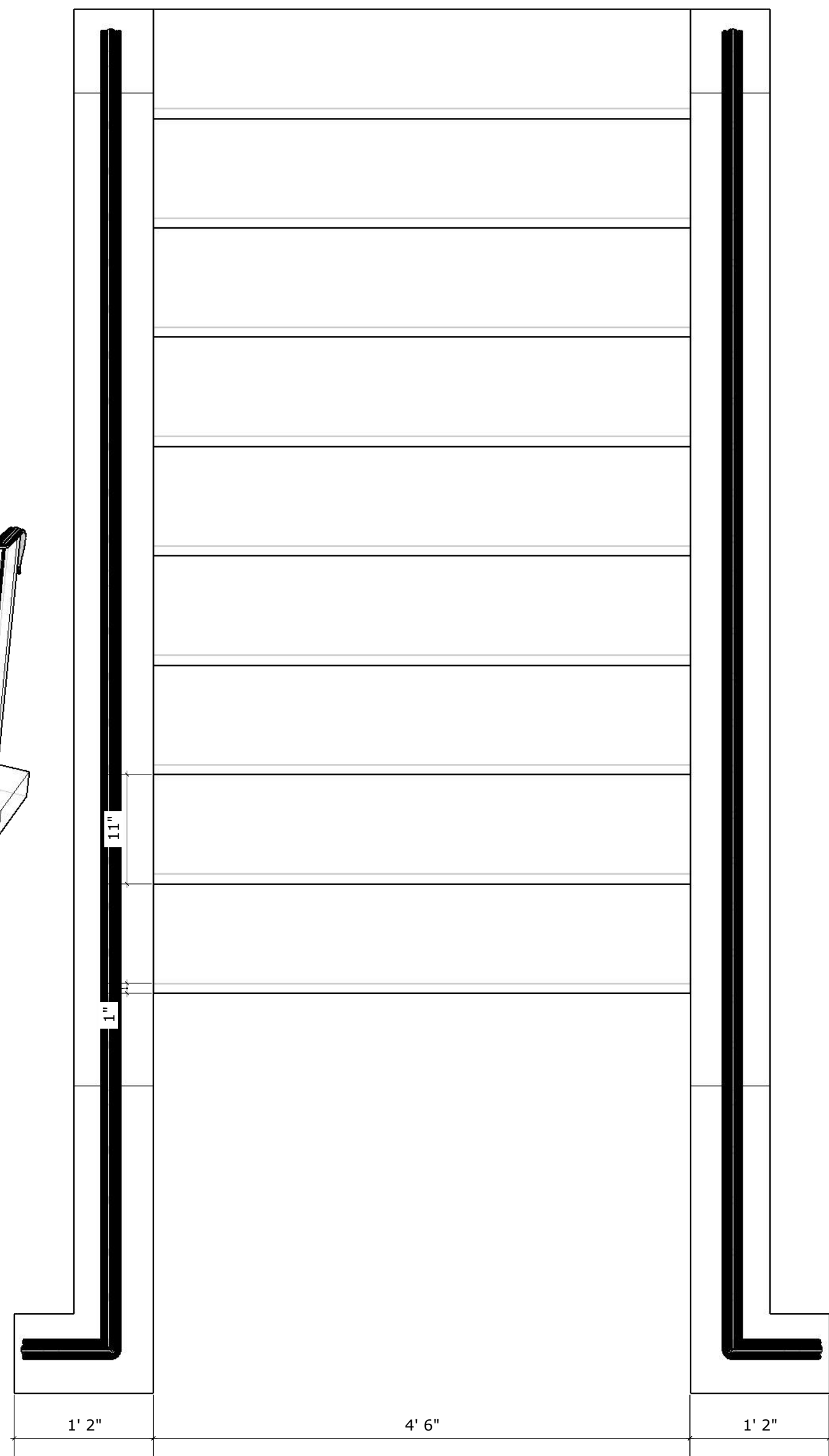
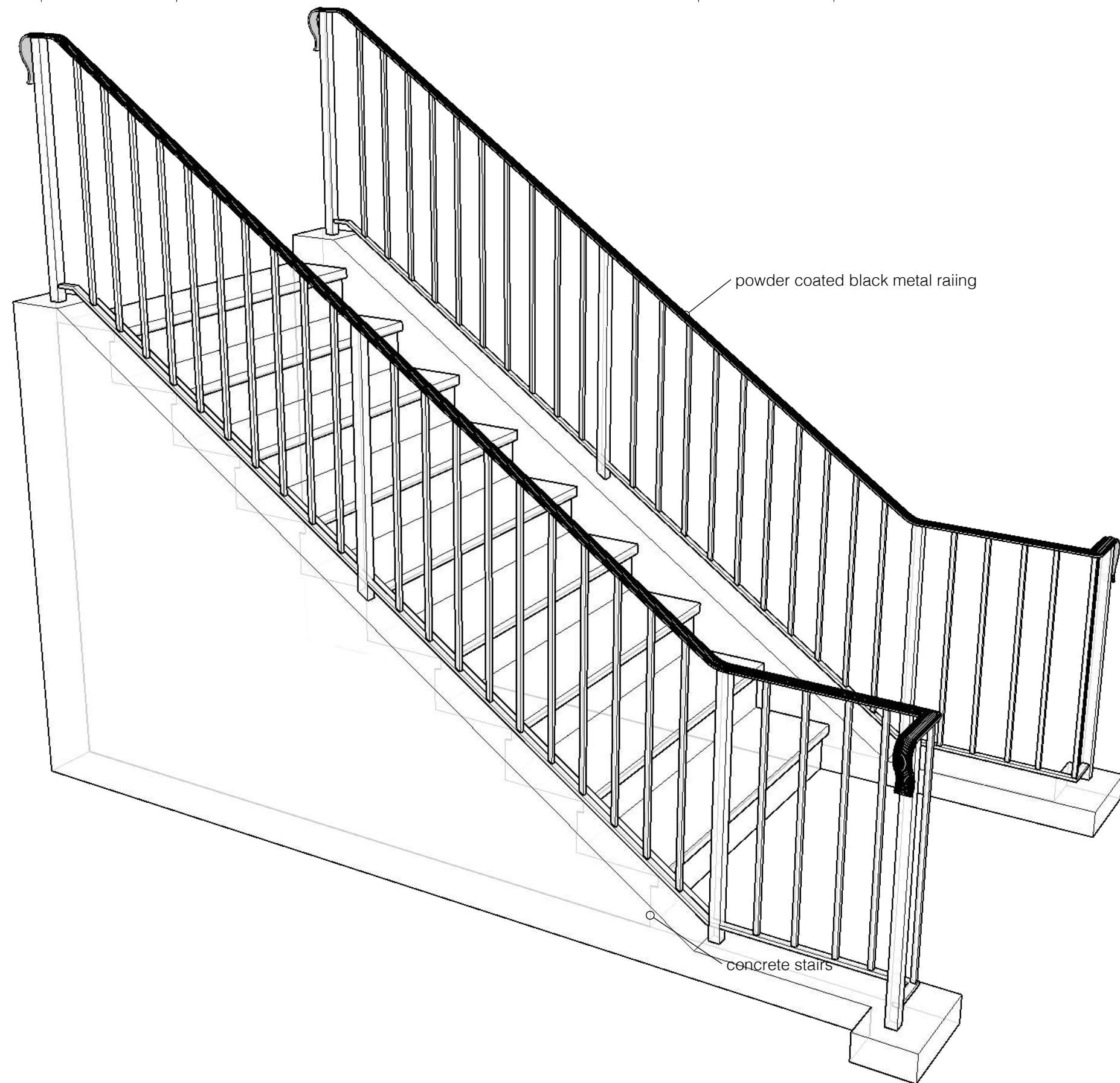
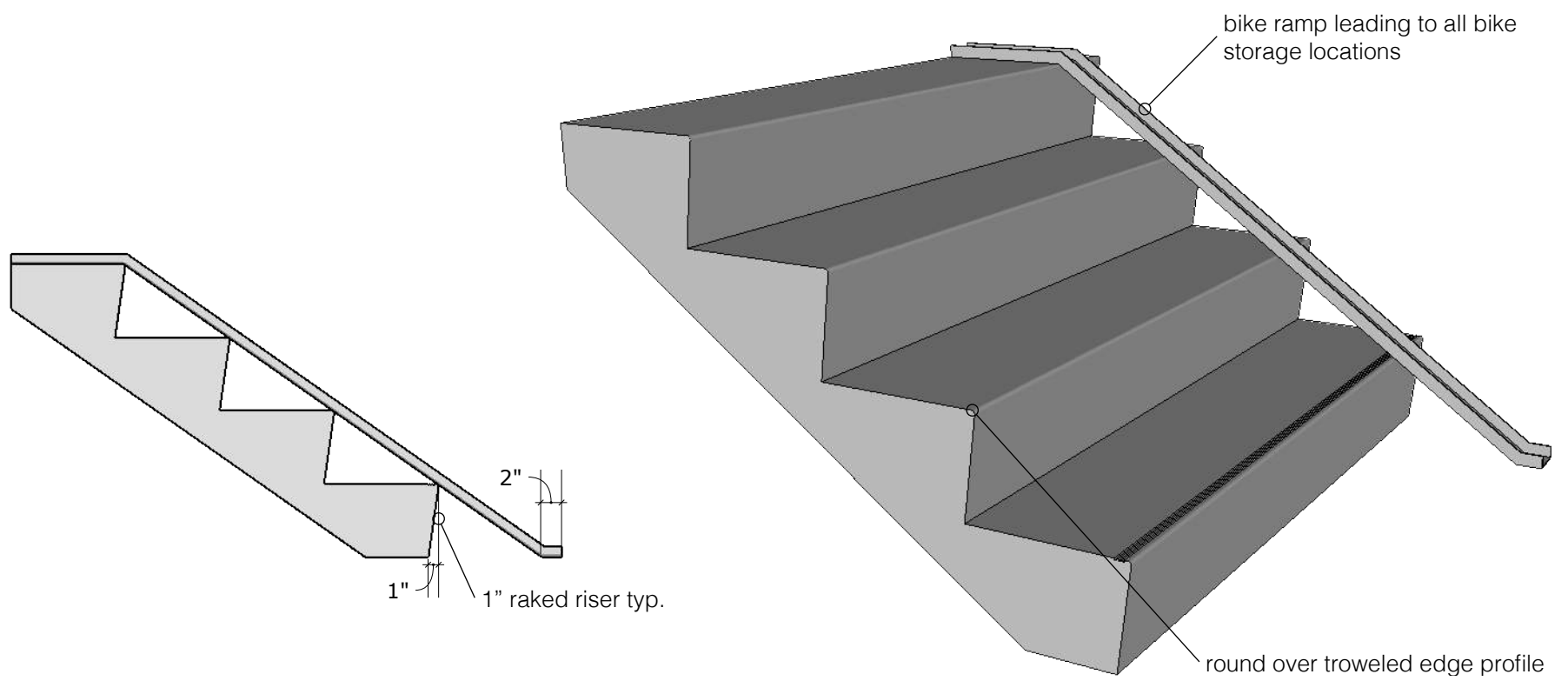
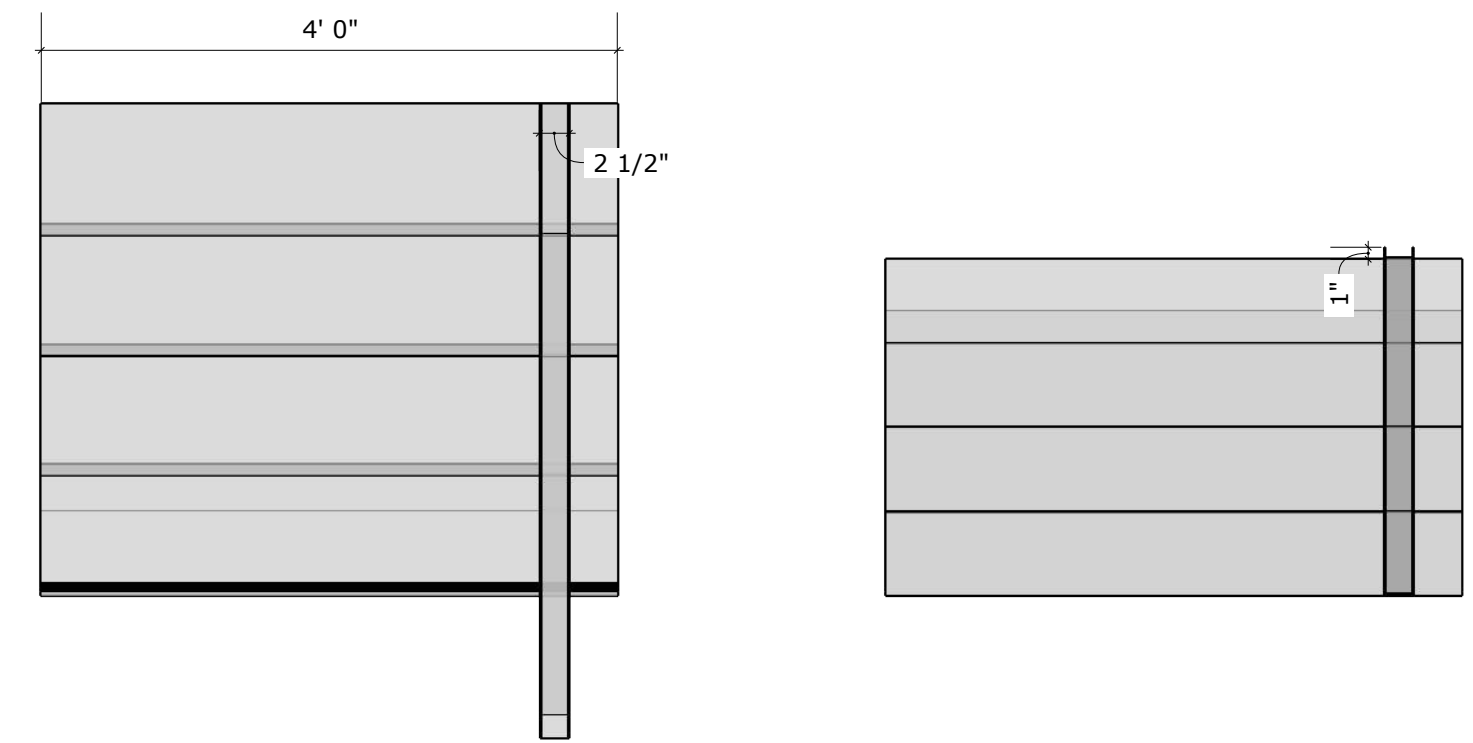
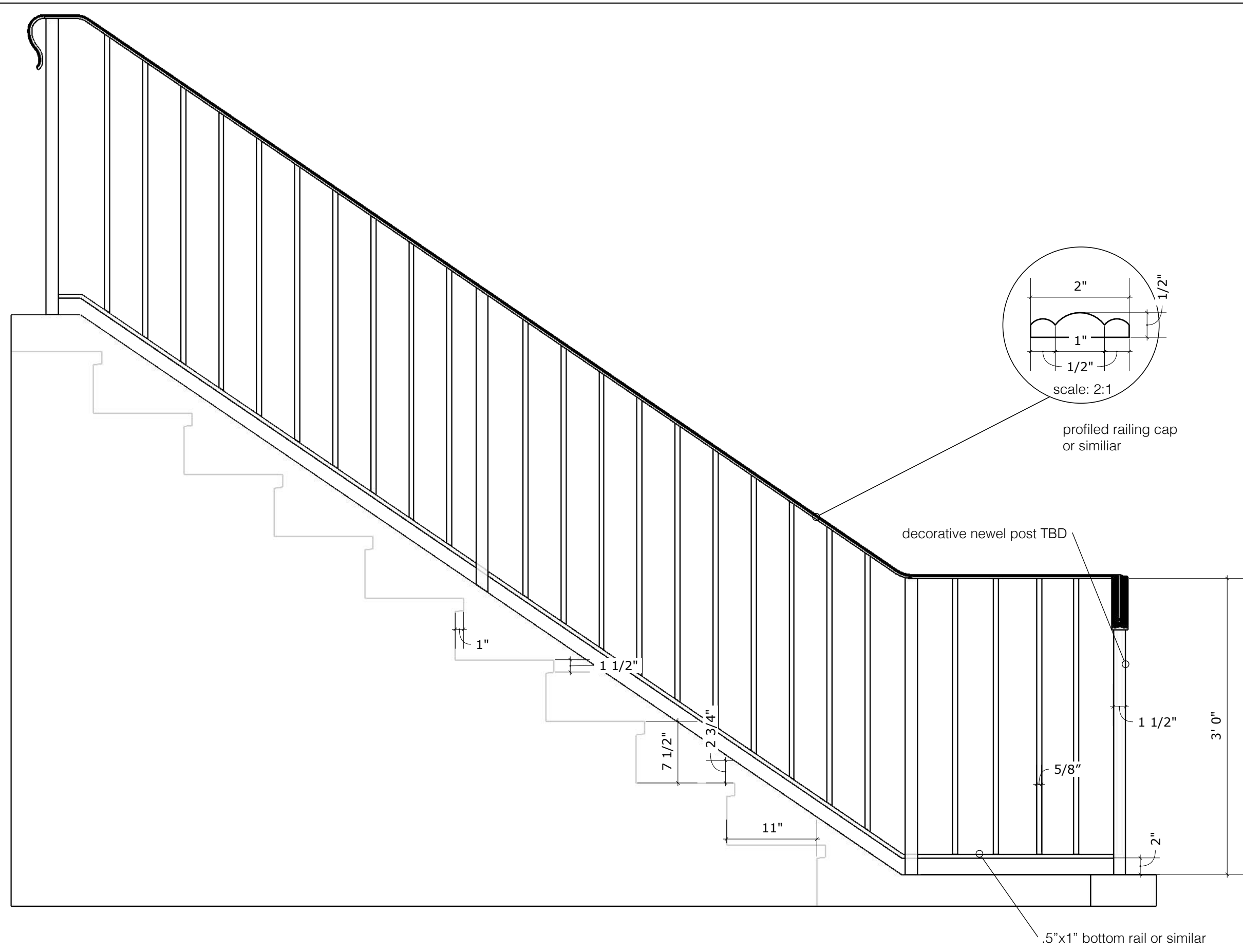
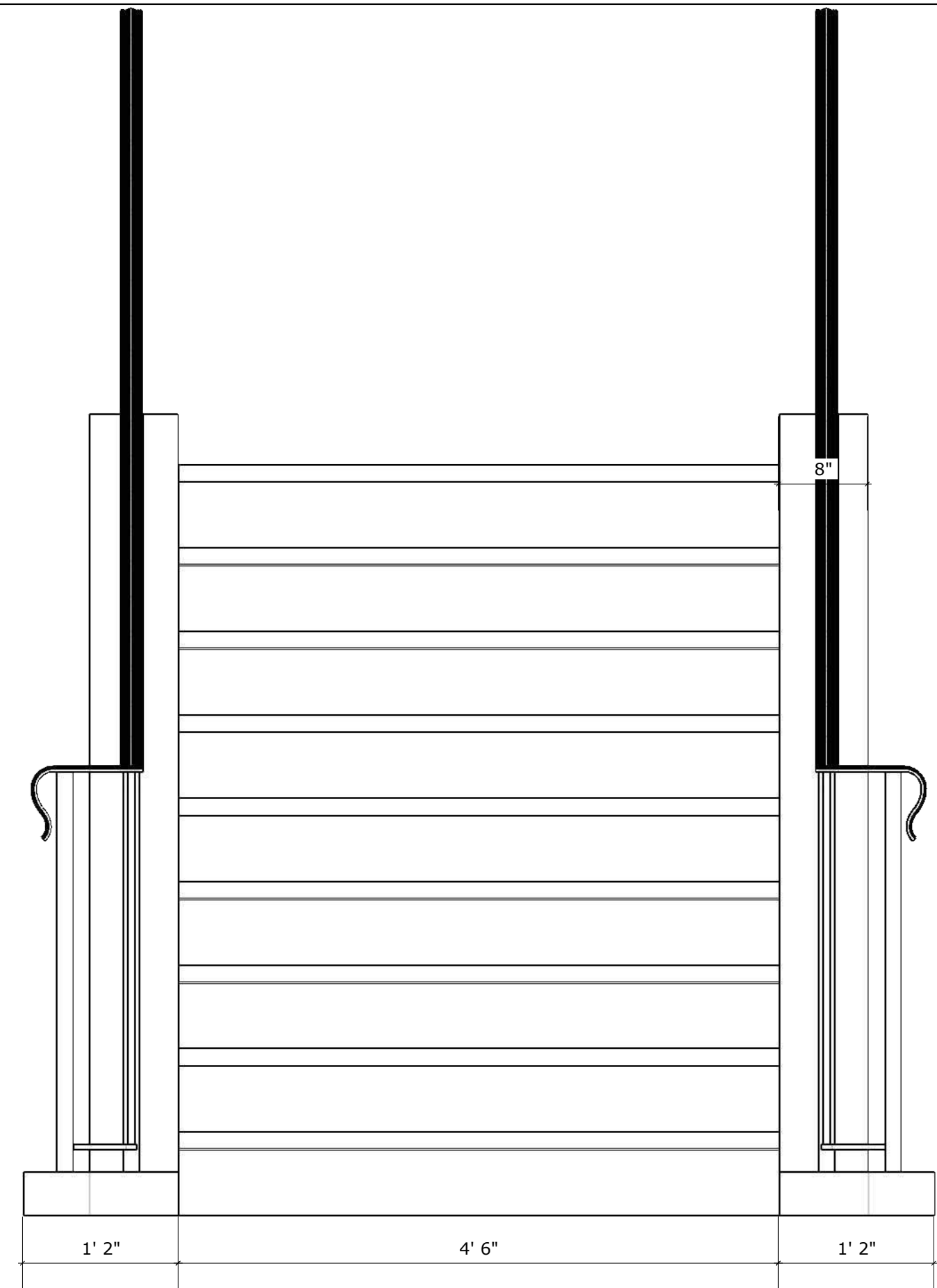
## DESCRIPTION

Details: Stairs & Railings,  
bike ramp

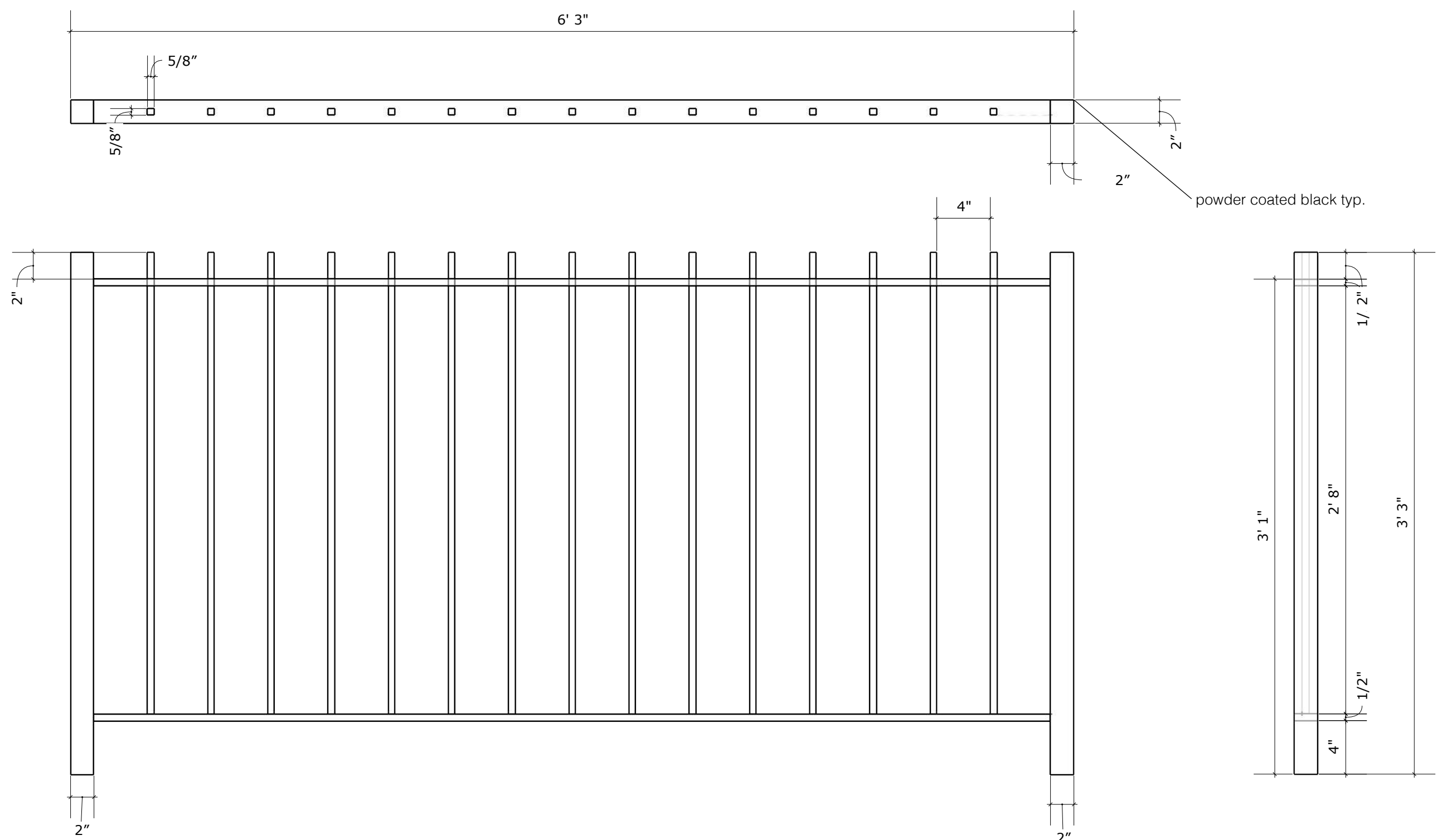
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# A22



**A22**  
3 common concrete stair & bike ramp detail typ.  
scale: 3/4" = 1'-0"



**A22**  
2 Typical Patio Railing  
scale: 3/4" = 1'-0"

**A22**  
1 South Entry Stairs and Railing  
scale: 3/4" = 1'-0"



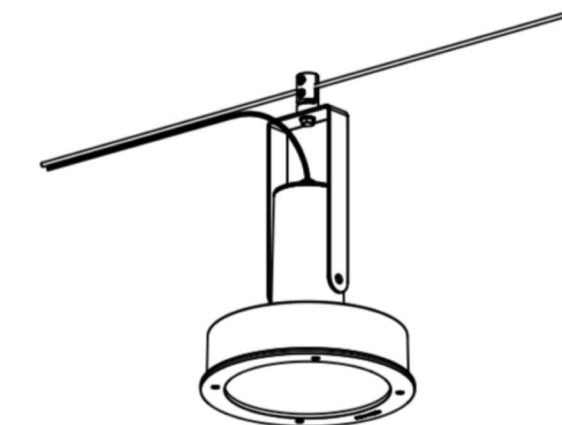
**A23** Landscape Lighting Plan  
1 scale: 1" = 10' (1:120)



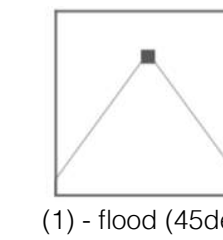
- ◆ wall sconce TBD
- ◆ semi-flushmount fixture TBD
- imbedded kick light- WAC Lighting WL-LED200 Step And Wall Light



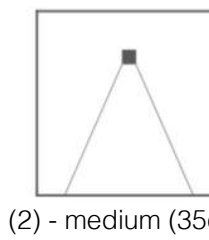
- catenary cable suspended light- Architectural forms Arne



Catenary (1.8 lbs)



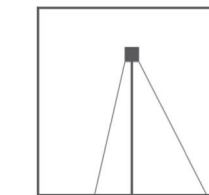
(1) - flood (45deg)



(2) - medium (35deg)



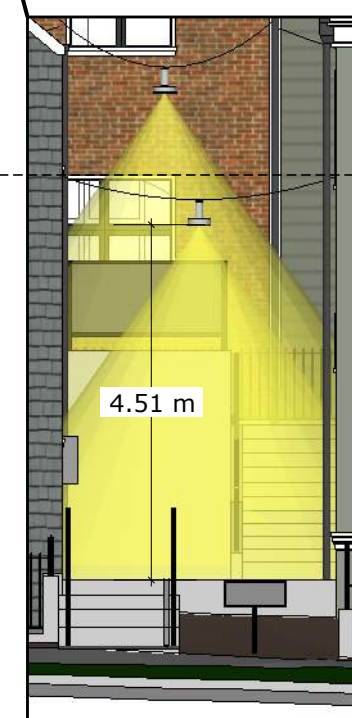
(3) - spot (15deg)



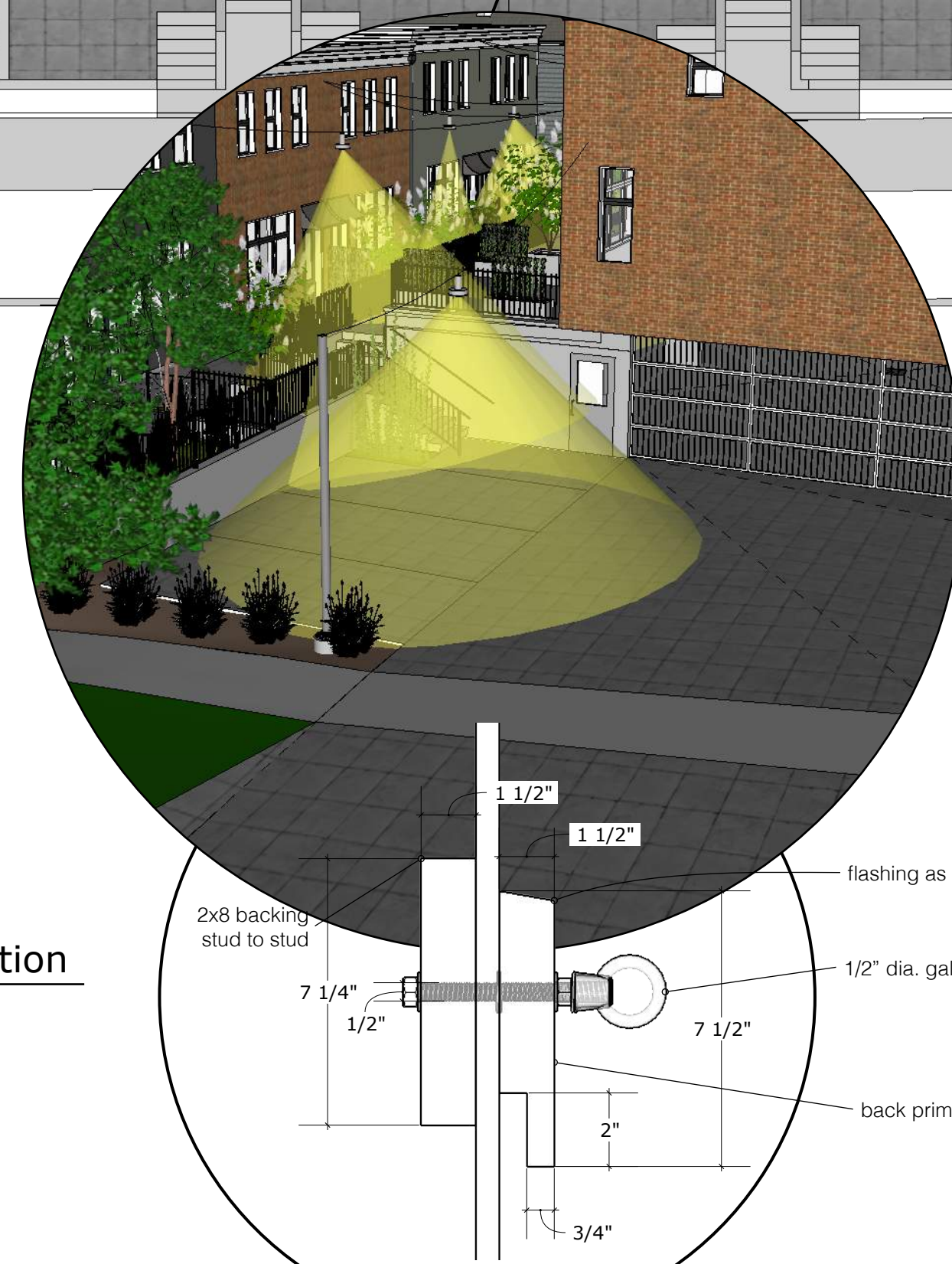
(4) - TIII (directional/angular)



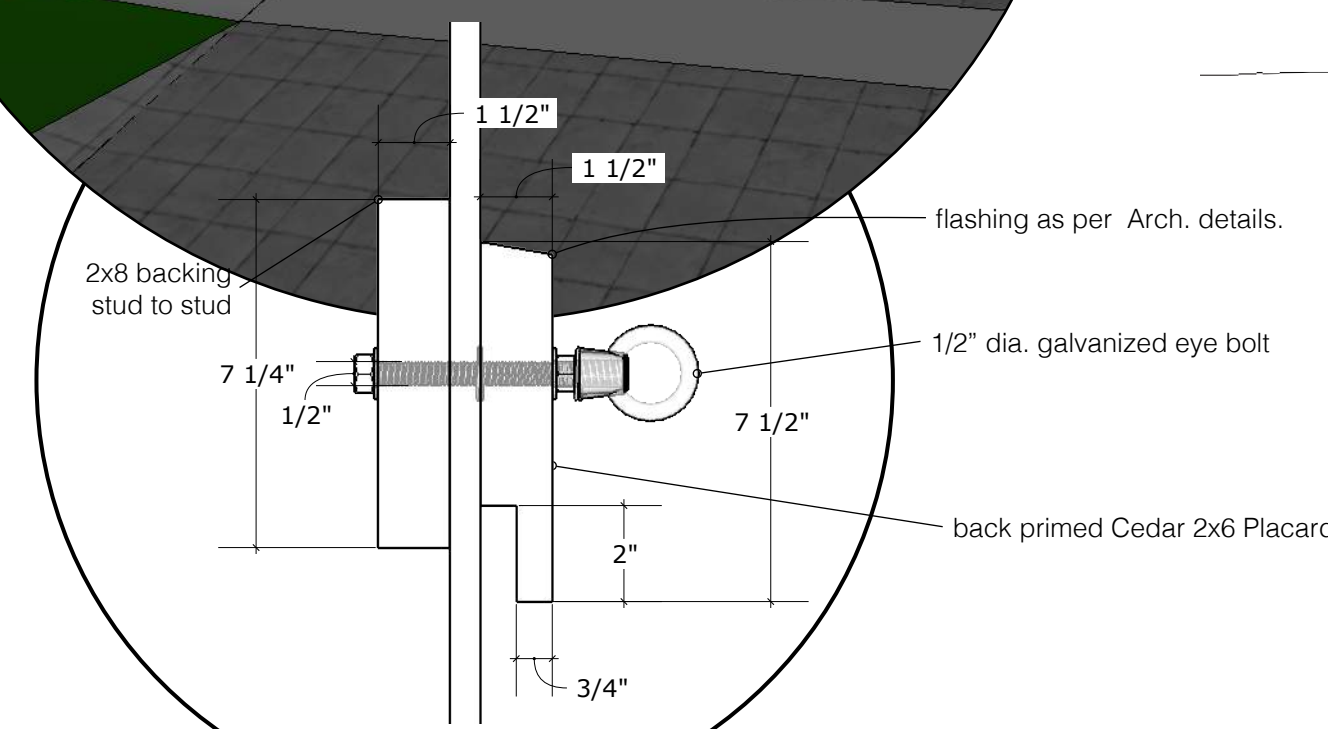
**A23** Driveway/exterior parking cross section North  
3 scale: 1/8" = 1'-0"



**A23** Centre walk South Elevation  
2 scale: 1/8" = 1'-0"



**A23** Catenary cable building attachment detail  
2 scale: 3" = 1'-0"



**PROJECT**

Wilson Walk  
208/210, 220, 230,  
240 Wilson Street

**DESCRIPTION**

Landscape Lighting Plan

**CURRENT ISSUE**  
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# RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME
<b>TREES</b>	
Acer platanoides Crimson Sentry	Crimson Sentry Maple
Acer griseum	Paperbark Maple
Cercidiphyllum japonicum "Ratfuchs"	Red Fox Katsura
Fagus sylvatica Dawyckii Gold	Dawyckii Gold Beech
Ginkgo biloba Fastigiata	Columnar Ginko
Liquidambar styraciflua	American Sweetgum
Parrotia persica	Persian ironwood

<b>SHRUBS &amp; PERENNIALS</b>	
Azalea japonica	White Azalea
Berberis thunbergii Aurea	Golden Berberis
Berberis thunbergii atropurpurea Rose Glow	Rose Glow Berberis
Camellia Japonica	White Flowering Camellia
Calamagrostis acutiflora Karl Foerster	Feather Reed Grass
Cotinus coccinea	Smoke Bush
Choysia ternata	Mexican Orange bush
Cornus sericea Sibirica	Red Twig Dogwood
Cornus sericea Flavrimea	Yellow Twig Dogwood
Euonymus Alatus Compacta	Dwarf Burning Bush
Euphorbia Wolfenii	Wolf's Euphorbia
Forsythia x intermedia	Forsythia
Hamamelis Int. Jellena	Orange Witch Hazel
Lavandula Munstead	English Lavender
Magnolia stellata	Star Magnolia
Penstemon alps Orientalis	Oriental Fountain Grass
Pinus Mugo Mughus	Mugo Pine
Phlox paniculata ssp	NZ Flax Varieties
Rhododendron	Rhododendron
Ribes Song, King Edward*	Ornamental Currant
Rosmarinus Officinalis	Rosemary
Sarcococca ruscifolia	Himalayan Sweet Box
Syringa vulgaris	White Lilac
Viburnum plicatum	Japanese Snowbell

<b>VINES &amp; GROUND COVER</b>	
Gaultheria procumbens	Wintergreen
Sedum spectabile	Capo Blanco Stonecrop
Mahonia nervosa*	Dull Oregon Grape
Thymus pseudolanuginosus	Woolly Thyme
Parthenocissus Tricus. Veitchii	Boston Ivy

## LEGEND

### HARDSCAPE FINISHES:

PP1	CIP coloured concrete, Natural
PP2	CIP concrete, Orangepeel finish
PP3	CIP stamped concrete, Cobble finish

### SOFTSCAPE:

	Lawn
	Planting area

### MISCELLANEOUS:

	Wooden privacy screening approx. 1500-1800mm height
	Large rock boulders approx 4' x 5' dia.
	Concrete or mortared rock retaining/upstand walls; Heights vary.

### NOTES:

- 1) All building layout information and setback dimensions supplied by CITIZEN design.
- 2) All survey information supplied by CITIZEN design.
- 3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
- 4) All errors and omissions must be reported immediately to the Designer.
- 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.

### NOTES:

#### \* THIS PLAN IS NOT FOR CONSTRUCTION

- 1) Anything that is unclear should be clarified with Project Landscape Consultant.
- 2) All work to be completed to current BCSLA/BCNTA standards and MMCD Platinum Edition Specifications.
- 3) Landscape Contractor to arrange a pre-construction meeting with Landscape Consultant prior to start of work.
- 4) Plant material, installation and maintenance to conform to BCSLA/BCNTA standard (current edition) and MMCD Platinum Edition Specifications. All plant material to be purchased from commercial nurseries in British Columbia [where available]. All planting areas and finished grading to slope away from building. All growing medium to comply to BCSLA/BCNTA standard designation "LP - Level 1 Well Grained Areas". All landscape areas on boulevard to be reinstated (where necessary) to grass by way of new sod installation. Project BCIA to be on site at time of boulevard tree planting (where applicable) to ensure adequate soil per tree pit as per City of Victoria requirements. All offsite boulevard trees to be installed to the satisfaction of the City of Victoria c/w minimum 9m3 soil pit provided per tree. Tree species to the satisfaction of the City of Victoria. Minimum boulevard tree spacing to be 8.0-10.0M separation. New offsite boulevard trees to also include installation of City approved tree grates and structural soil where necessary.
- 5) Underground irrigation system to be installed complete with automatic rain shut-off and 365 day calendar. Irrigation materials and installation to conform, as a minimum, to BCSLA/BCNTA Standard (current edition), MMCD Platinum Edition Specifications and IABC Standards. All irrigation piping under hardsurfaces to be sleeved. All on-site landscaped areas to be irrigated. Irrigation to the boulevard trees shall be provided by a water meter that is separate from the building [as per municipality of Colwood requirements]. The boulevard tree irrigation system (if required) shall be installed by the landscape contractor to IABC and City of Victoria specifications using a double ring drip system with a double check valve. The boulevard tree irrigation system may be battery powered. Irrigation contractor to provide applicant and City of Victoria irrigation drawings showing the system (prior to installation - if required) for approval. Irrigation contractor to arrange inspection of the boulevard tree irrigation system by City of Victoria Planning/Parks. Note that the landscape contractor is to contact site superintendent/general and coordinate for ensuring that onsite irrigation controls be located in the mechanical room if possible.
- 6) All existing trees (if any) located on plan are approximate. Size and dripline of existing trees are not shown, and should be verified by a surveyor and/or arborist where necessary. Arborist to install tree protection fencing for existing significant tree(s) where necessary. The Arborist will need to be on site to identify root areas when excavating [as necessary]. Ensure coordination is done in an appropriate timeframe for minimal tree impact.
- 7) Offsite boulevard trees to be irrigated with a separate irrigation system to the satisfaction of the City of Victoria (where required). Separate water point of connection shall be provided for this system to the satisfaction of the City. Offsite irrigation system to comply with all City of Victoria Engineering requirements and other bylaws.
- 8) See Legend for all hardsurface finishes. All hardsurface finishes to be installed in accordance to BCSLA/BCNTA standards [latest edition] and MMCD Platinum Edition Specifications and shall slope away from the buildings. Design of hardscape features by others. Refer to architectural and engineering plans for additional information relating to sidewalks, stairs, driveways and patios. Grading design by others. Inspection of these features are to be by architectural and engineering consultants.
- 9) See Architectural or Engineer's drawings for any retaining wall or wall cladding design. All Main Floor building elevations, hardsurface grading [road and driveways] to be confirmed by building Architect. Finish, height and slope of concrete retaining walls to be determined by others.
- 10) Refer to engineering plans which take precedence over these plans. If there are any questions regarding discrepancies, contact the landscape Architect/designer immediately.
- 11) Fencing (if applicable for this project) to be built as shown on plan; Not to exceed allowable by the municipality. All fencing to be treated with two coats of semi-transparent stain (to match building colour). Fencing to be built as necessary to meet project requirements.
- 12) Final design, composition and location of planters over parkade slab to be reviewed and approved by structural engineering consultant. Design by others.
- 13) Contractor to confirm locations and elevations of all existing services and utilities prior to commencing construction.
- 14) Contractor to provide Landscape Consultant with detailed shop drawings for site fencing prior to start of work. Fence construction only to proceed with written approval of shop drawing by Landscape Consultant.

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SKL.01

08.JANUARY.2019

1:125

LATEST REVISION: 18.SEPT.2019 DP

# 230 WILSON STREET LANDSCAPE LAYOUT

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STUDIO  
ONE  
CREATIVE

:: 22 UNIT TOWNHOUSE DEVELOPMENT :: 230 WILSON STREET :: SKL.01 :: landscape concept layout ::





DETAILED CONSTRUCTION NOTES:

- Ⓐ CITY OF VICTORIA TO INSTALL STORM SERVICE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE.
- Ⓑ CITY OF VICTORIA TO INSTALL SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE.
- Ⓒ CITY OF VICTORIA TO INSTALL WATER SERVICE COMPLETE WITH METER AT DEVELOPERS EXPENSE.
- Ⓓ CITY OF VICTORIA TO CAP EXISTING SERVICES AS REQUIRED AT DEVELOPERS EXPENSE.
- Ⓔ CONTRACTOR TO INSTALL DRIVEWAY AND CURB TO CITY OF VICTORIA STANDARDS.
- Ⓕ CONTRACTOR TO REINSTATE SIDEWALK AND BOULEVARD AS REQUIRED.
- Ⓖ 2 HOUR TIME LIMITED PARKING ON BOTH FRONTAGES



KEY PLAN  
NTS

WILSON STREET  
CONCEPTUAL SITE  
SERVICING PLAN

Scale  
horiz. 1:200  
Sheet 1 of 1  
Eng. Project No. 31674

**JEA** J E ANDERSON & ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE  
PHONE: 250-727-2214 FAX: 250-727-3395

**PRELIMINARY ONLY**

