

CITY OF  
VICTORIA

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date:  
January 20, 2022



1500 Shorncliffe Road Victoria BC Canada  
250.893.8127  
www.adaptdesign.ca

557 SIMCOE ST,  
VICTORIA, BC  
BLOCK A

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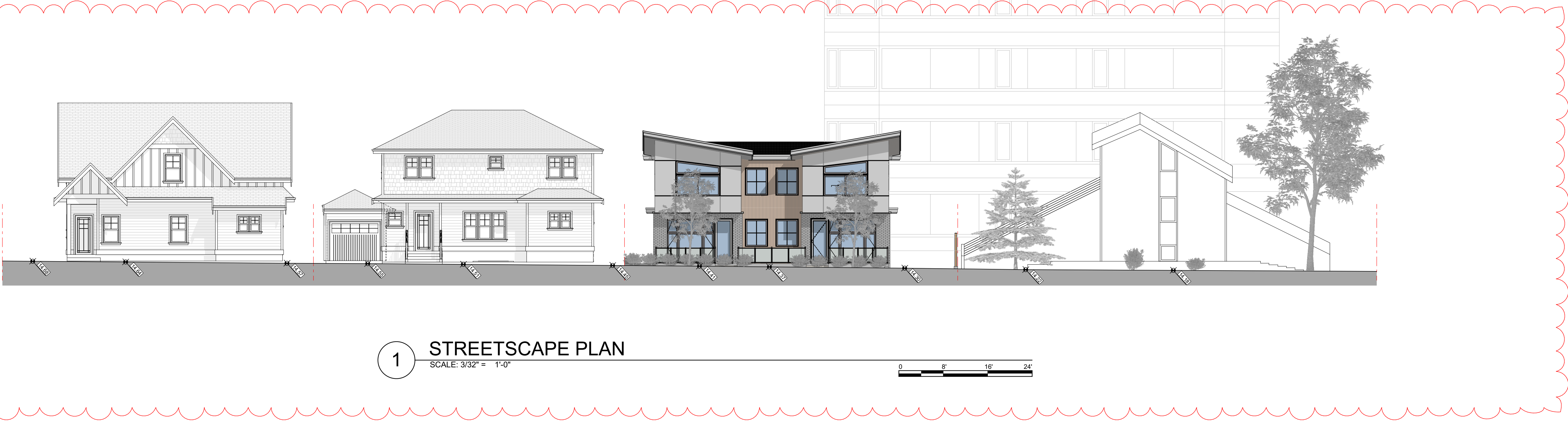
ISSUED FOR  
REVIEW

ISSUED:

STREETSCAPE PLAN

A-001

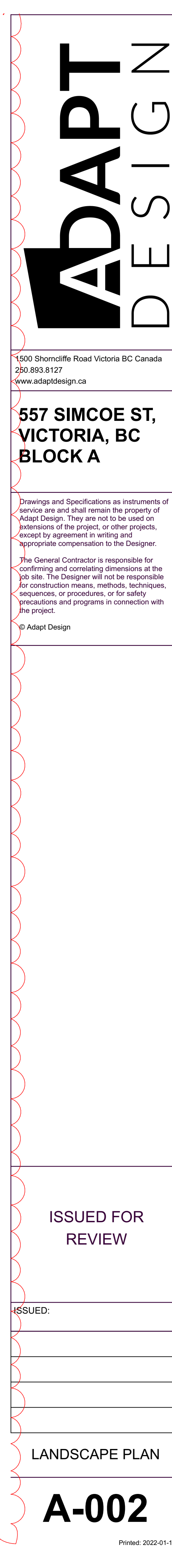
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1 STREETSCAPE PLAN  
SCALE: 3/32" = 1'-0"









GRADE POINTS BLOCK A	GRADE POINTS	AVERAGE OF POINTS		DISTANCE BETWEEN GRADE POINTS	TOTALS
A = 14.15m (EG)	Points A&B	$((14.15+14.28) / 2)$	x	12.8m	= 181.95
B = 14.28m (EG)	Points B&C	$((14.28+14.47) / 2)$	x	12.8m	= 184.0
C = 14.47m (FG)	Points D&E	$((11.83+11.83) / 2)$	x	12.8m	= 151.42
D = 11.83m (FG)	Points E&F	$((11.83+13.68) / 2)$	x	12.8m	= 163.26
E = 11.83m (FG)					680.63
F = 13.68m (FG)					
<b>GRADE CALCULATION</b>					
<b>BLOCK A</b>					
PERIMETER OF BUILDING = 51.2m					<b>680.63 / 51.2 = 13.29</b>

GRADE POINTS BLOCK B	GRADE POINTS	AVERAGE OF POINTS		DISTANCE BETWEEN GRADE POINTS	TOTALS
G = 11.83m (FG)	Points H&I	$((14.47+14.47) / 2)$	x	12.8m	= 185.22
H = 14.47m (FG)	Points I&J	$((14.47+14.47) / 2)$	x	12.8m	= 185.22
I = 14.47m (FG)	Points J&K	$((14.47+14.47) / 2)$	x	5.98m	= 86.53
J = 14.47m (FG)	Points L&M	$((11.83+11.83) / 2)$	x	6.82m	= 80.68
K = 11.83m (FG)	Points M&G	$((11.83+11.83) / 2)$	x	12.8m	= 151.42
L = 11.83m (FG)					689.07
M = 11.83m (FG)					
<b>GRADE CALCULATION</b>					
<b>BLOCK B</b>					
PERIMETER OF BUILDING = 51.2m					<b>689.07 / 51.2 = 13.46</b>

### Property Information

Project Type: Two New Duplex Buildings

Site Address: 557 Simcoe St, Victoria, BC

Current Zoning: R-2  
Proposed Zoning: New Zone

Lot Area: 895m<sup>2</sup>  
557 Simcoe St

Setbacks:  
North: 7.92m  
South: 7.50m  
East: 1.68m  
West: 3.8m

Distance Block A-B: 6.7m  
Eave Projection: 0.6m

# of Storeys: 2  
Height:  
Block A: 8.02m  
Block B: 7.84m

Floor Area:  
Block A:  
Basement: 77.3m<sup>2</sup>  
Garage: 70.6m<sup>2</sup>  
Main Floor: 139.1m<sup>2</sup>  
Upper Floor: 144.4m<sup>2</sup>  
Block B:  
Basement: 103.5m<sup>2</sup>  
Garage: 45.2m<sup>2</sup>  
Main Floor: 142.8m<sup>2</sup>  
Upper Floor: 144.4m<sup>2</sup>

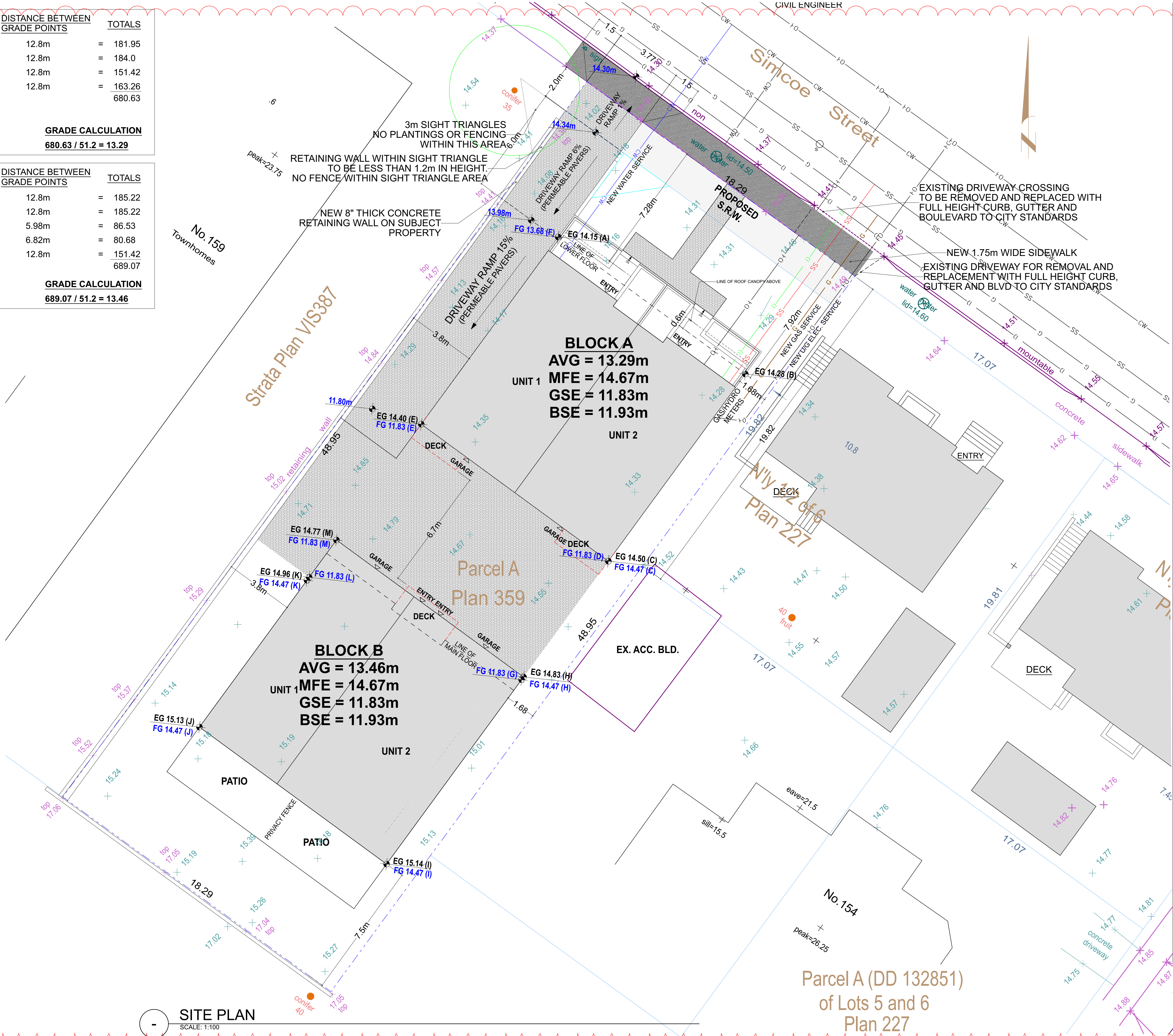
Total (Less Bsmt): 570.7m<sup>2</sup>  
Garage Exemption 4x18.6m<sup>2</sup>: (74.4m<sup>2</sup>)  
Total (less Garage): 792.9m<sup>2</sup>

Floor Space Ratio:  
570.7m<sup>2</sup>/895m<sup>2</sup>: 0.64

Site Coverage:  
Footprint Block A: 163.9m<sup>2</sup>  
Footprint Block B: 163.9m<sup>2</sup>  
Lot Area: 895m<sup>2</sup>  
Coverage = 327.8m<sup>2</sup>/895m<sup>2</sup>: 36.6%  
Parking Area: 231.6m<sup>2</sup>  
Open Site Space: 241.25m<sup>2</sup> = 27%  
Front Yard Area: 116.4m<sup>2</sup>  
Front Yard: 75.31m<sup>2</sup> = 64.7%

Vehicle Parking:	Required	Proposed
Dwelling units	4	4
Visitor 0.1*4	0	1

Bicycle Parking:		
Long Term	0	4 (Garages)
Short Term	6	6



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SITE PLAN

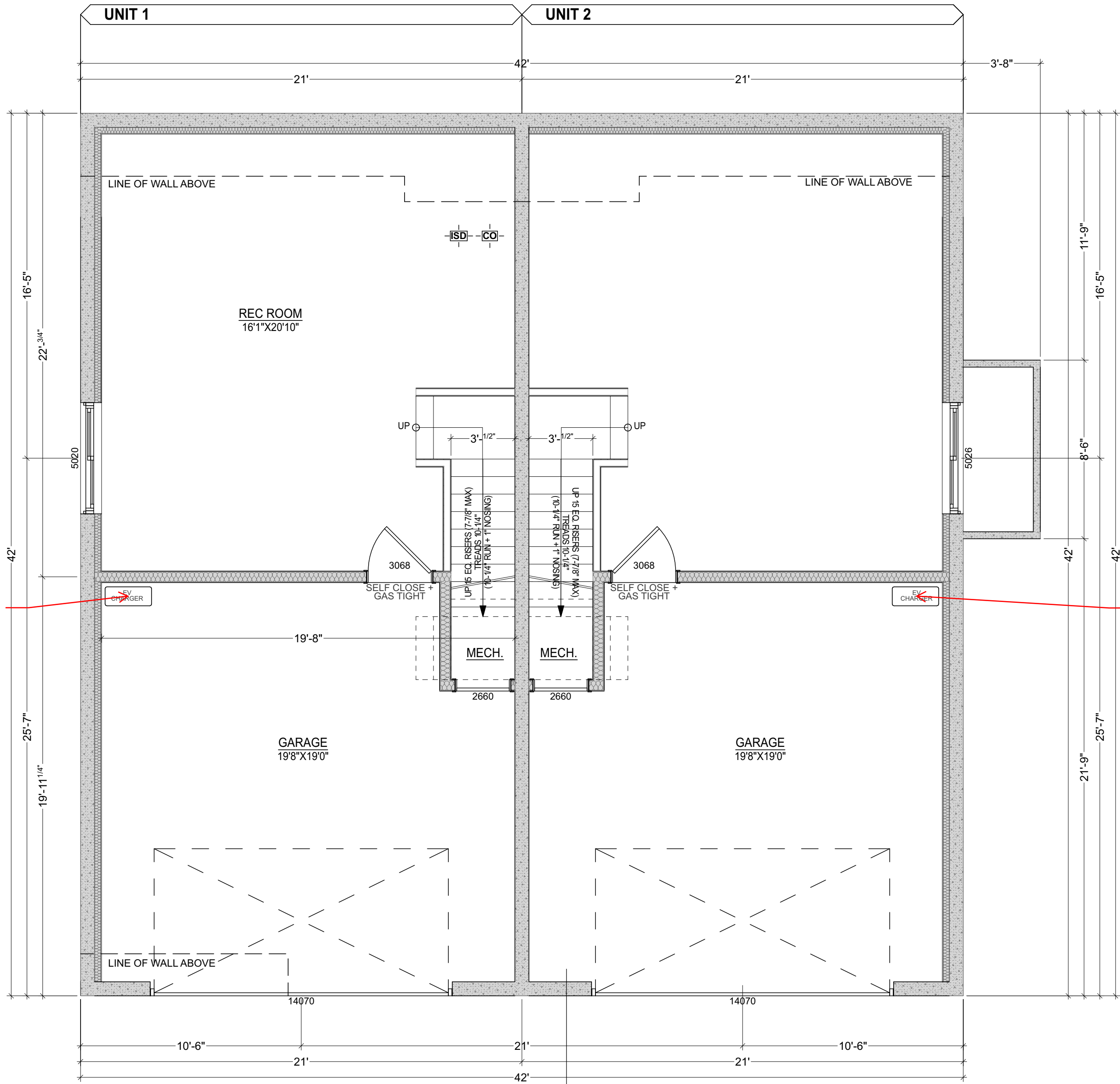
**A-103**

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Energized Electric  
Vehicle Outlet, as per  
applicant

Energized Electric  
Vehicle Outlet, as per  
applicant

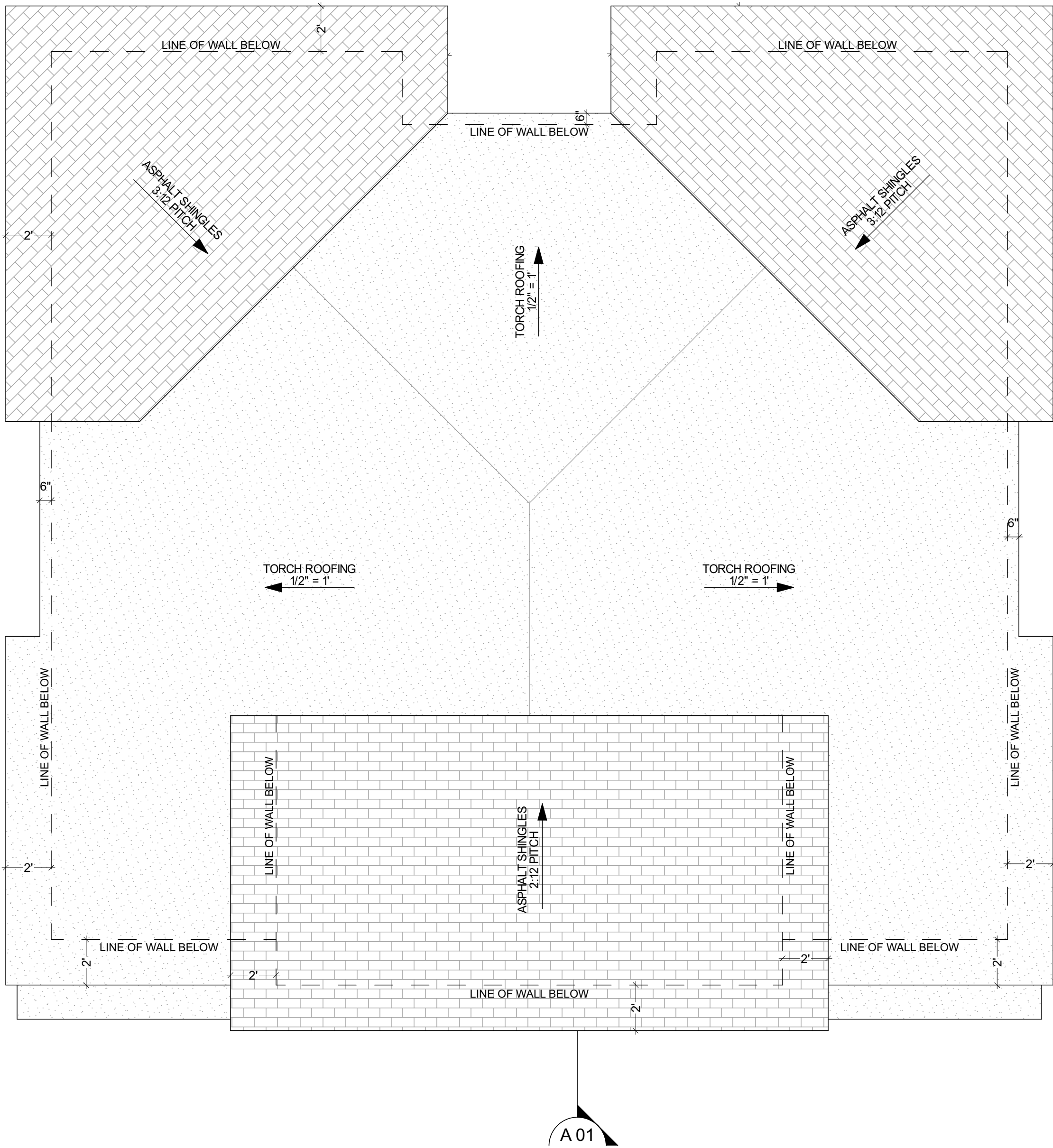
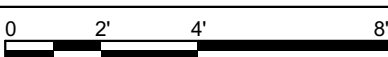


**UNIT 1**  
**GARAGE AREA**  
380 sq ft  
**LOWER FLOOR AREA**  
416 sq ft

**UNIT 2**  
**GARAGE AREA**  
380 sq ft  
**LOWER FLOOR AREA**  
416 sq ft

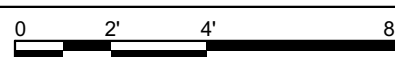
## 1 BASEMENT FLOOR PLAN BLOCK A

SCALE: 1/4" = 1'-0"



## 2 ROOF PLAN BLOCK A

SCALE: 1/4" = 1'-0"



PLAN LEGEND	
	2X4 PARTITION WALL
	2X6 PARTITION WALL
	2X6 GARAGE WALL
	2X6 EXTERIOR WALL
	FOUNDATION WALL
	FOUNDATION AND FROST WALL
	COLUMN
	BEAM
	FLOOR DRAIN
	DIMENSION PLACEMENT
ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH	
	HARDWIRED INTERCONNECTED CO DETECTOR
	HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
	HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
	BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
	KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
	CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
	FRESH AIR SUPPLY
	PASSIVE AIR INLET

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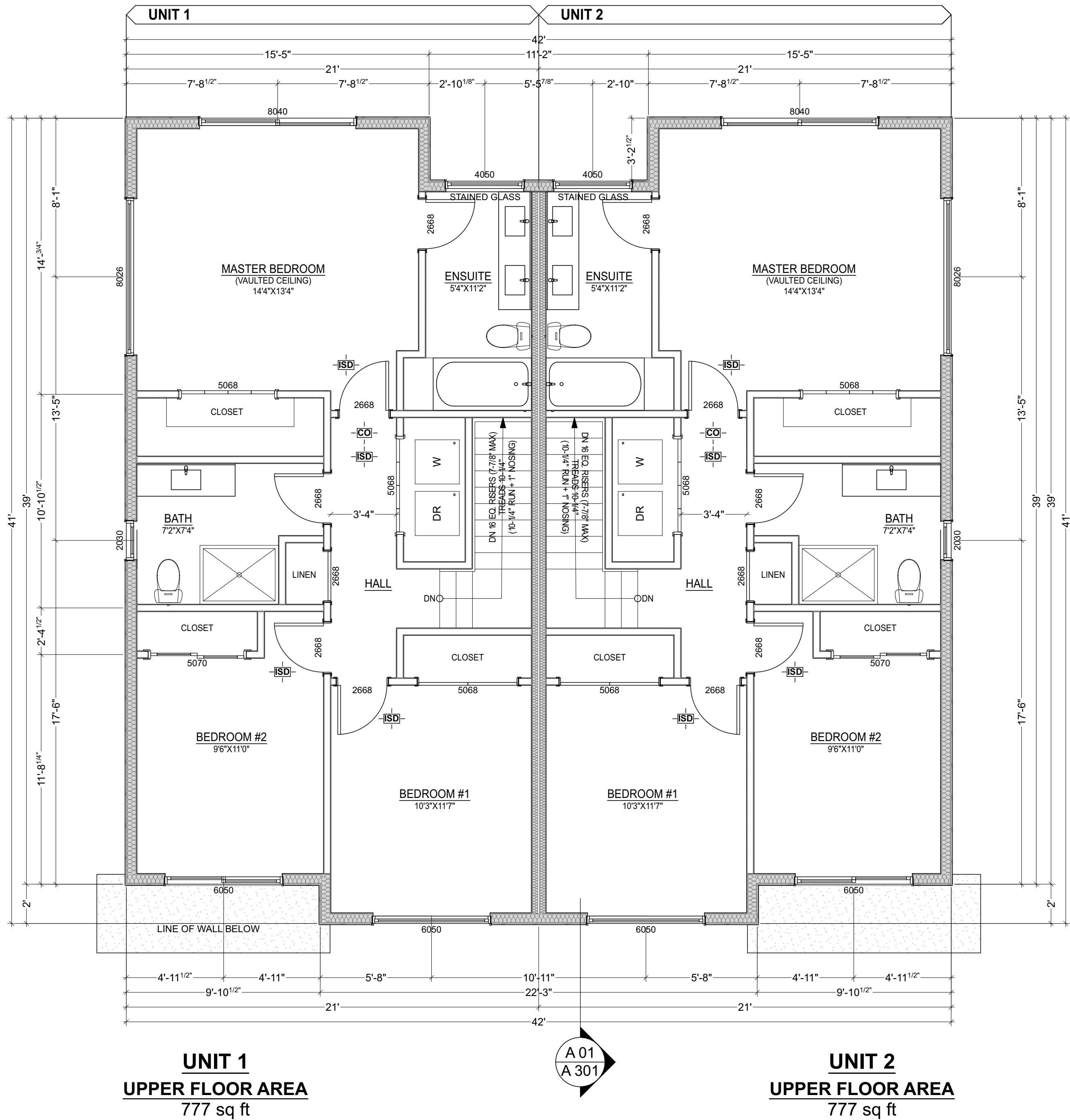
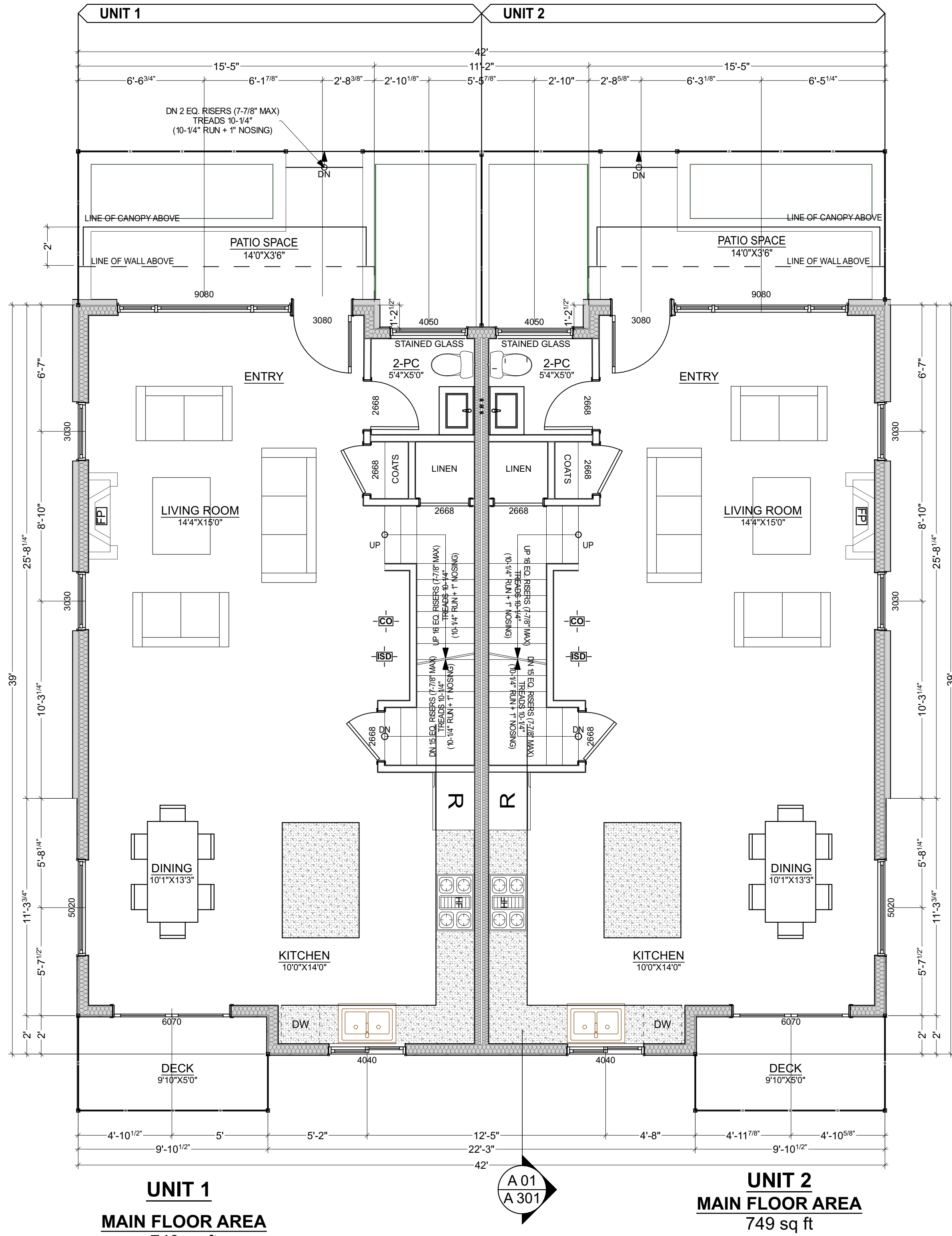
ISSUED:

BASEMENT AND ROOF  
PLAN

**A-101**

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**PLAN LEGEND**

- 2X4 PARTITION WALL
- 2X6 PARTITION WALL
- 2X6 GARAGE WALL
- 2X6 EXTERIOR WALL
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MAIN AND UPPER  
FLOOR PLAN

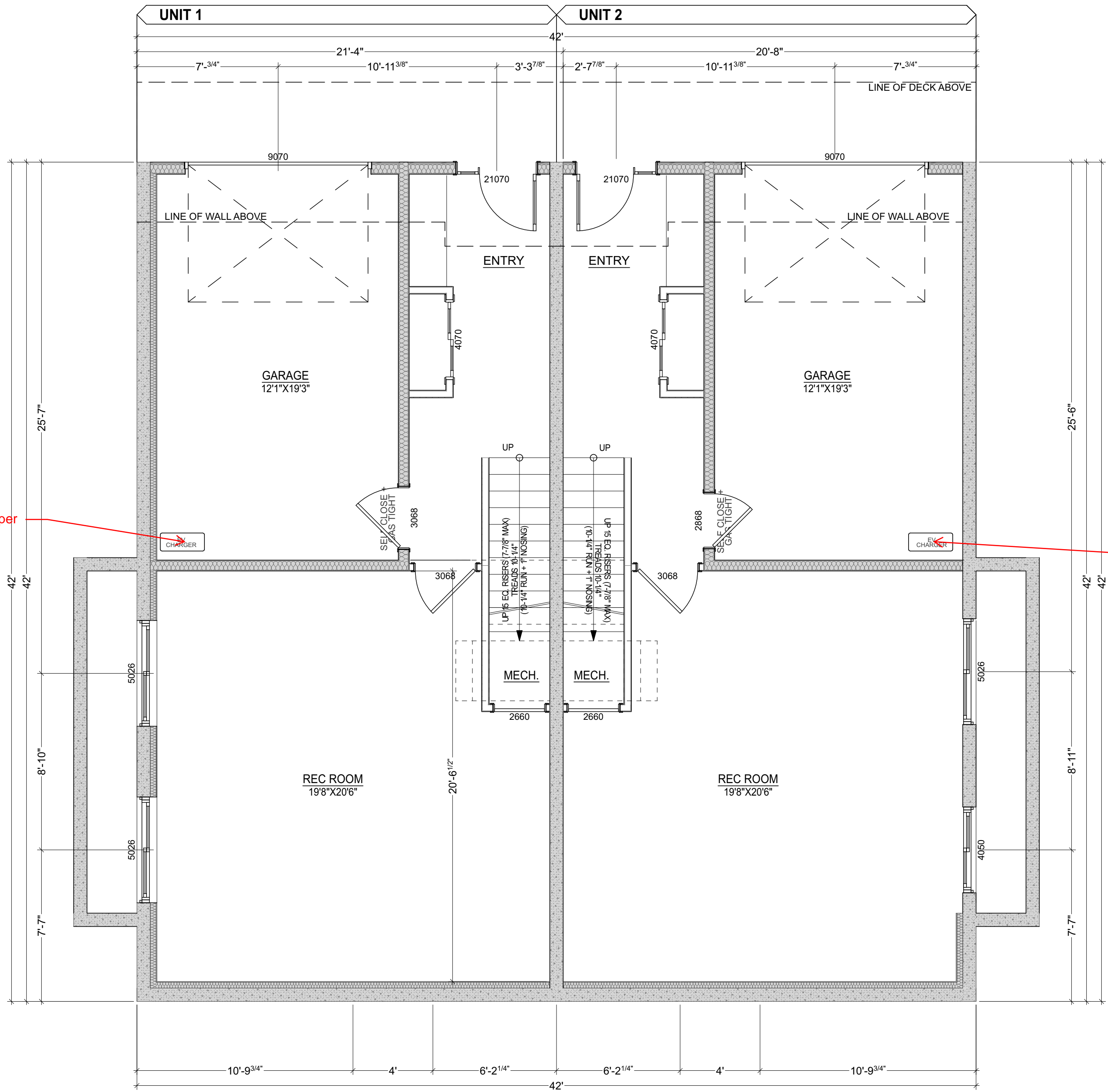
**A-102**

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Energized Electric  
Vehicle Outlet, as per  
applicant

Energized Electric  
Vehicle Outlet, as per  
applicant

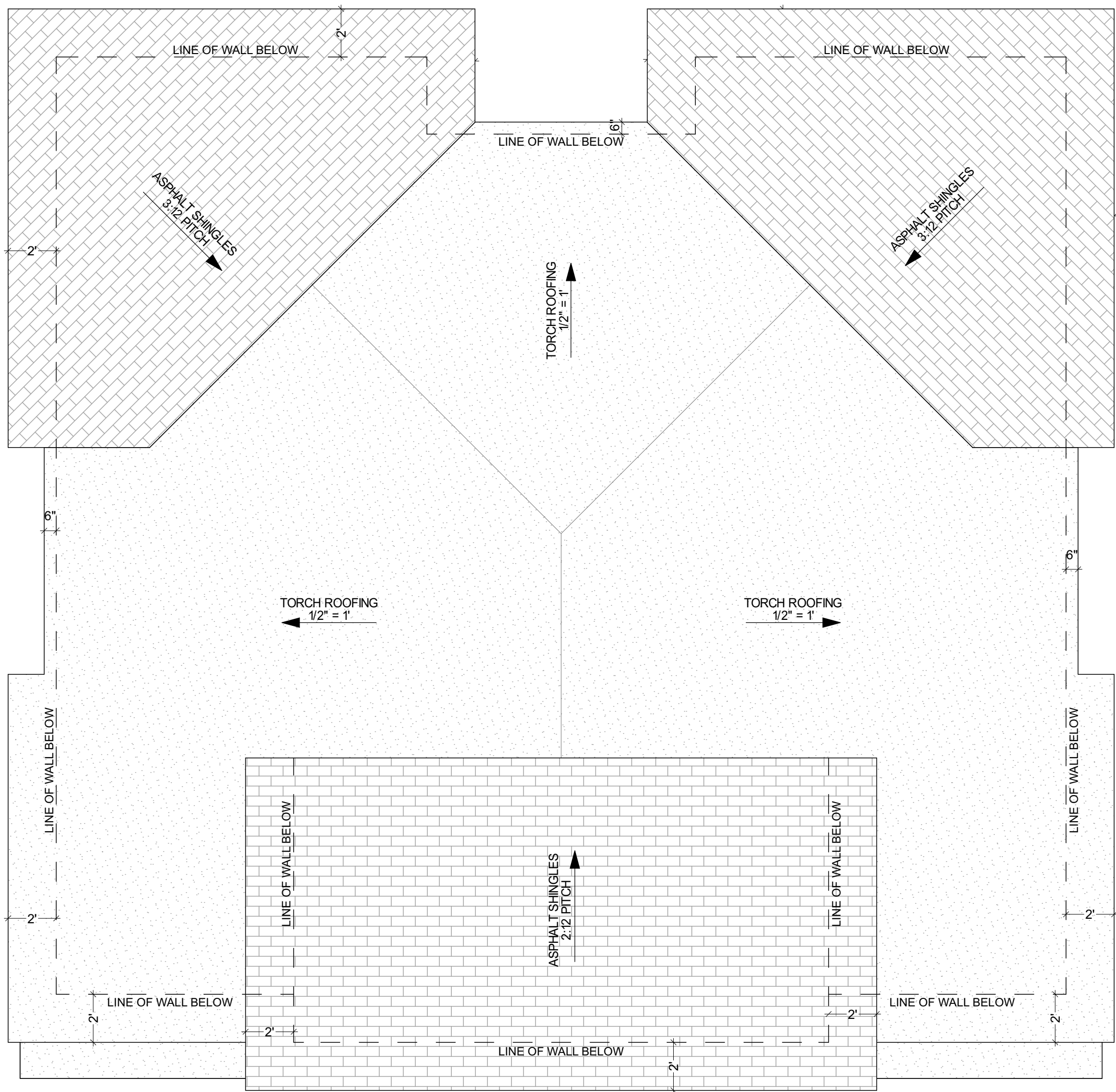
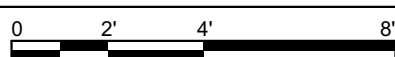


**UNIT 1**  
**LOWER FLOOR AREA**  
557 sq ft  
**GARAGE AREA**  
243 sq ft

**UNIT 2**  
**LOWER FLOOR AREA**  
557 sq ft  
**GARAGE AREA**  
243 sq ft

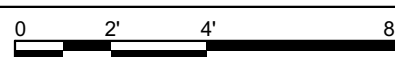
**1** **BASEMENT FLOOR PLAN BLOCK B**

SCALE: 1/4" = 1'-0"



**2** **ROOF PLAN BLOCK B**

SCALE: 1/4" = 1'-0"



PLAN LEGEND	
	2X4 PARTITION WALL
	2X6 PARTITION WALL
	2X6 GARAGE WALL
	2X6 EXTERIOR WALL
	FOUNDATION WALL
	FOUNDATION AND FROST WALL
	COLUMN
	BEAM
	FLOOR DRAIN
	DIMENSION PLACEMENT
ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH	
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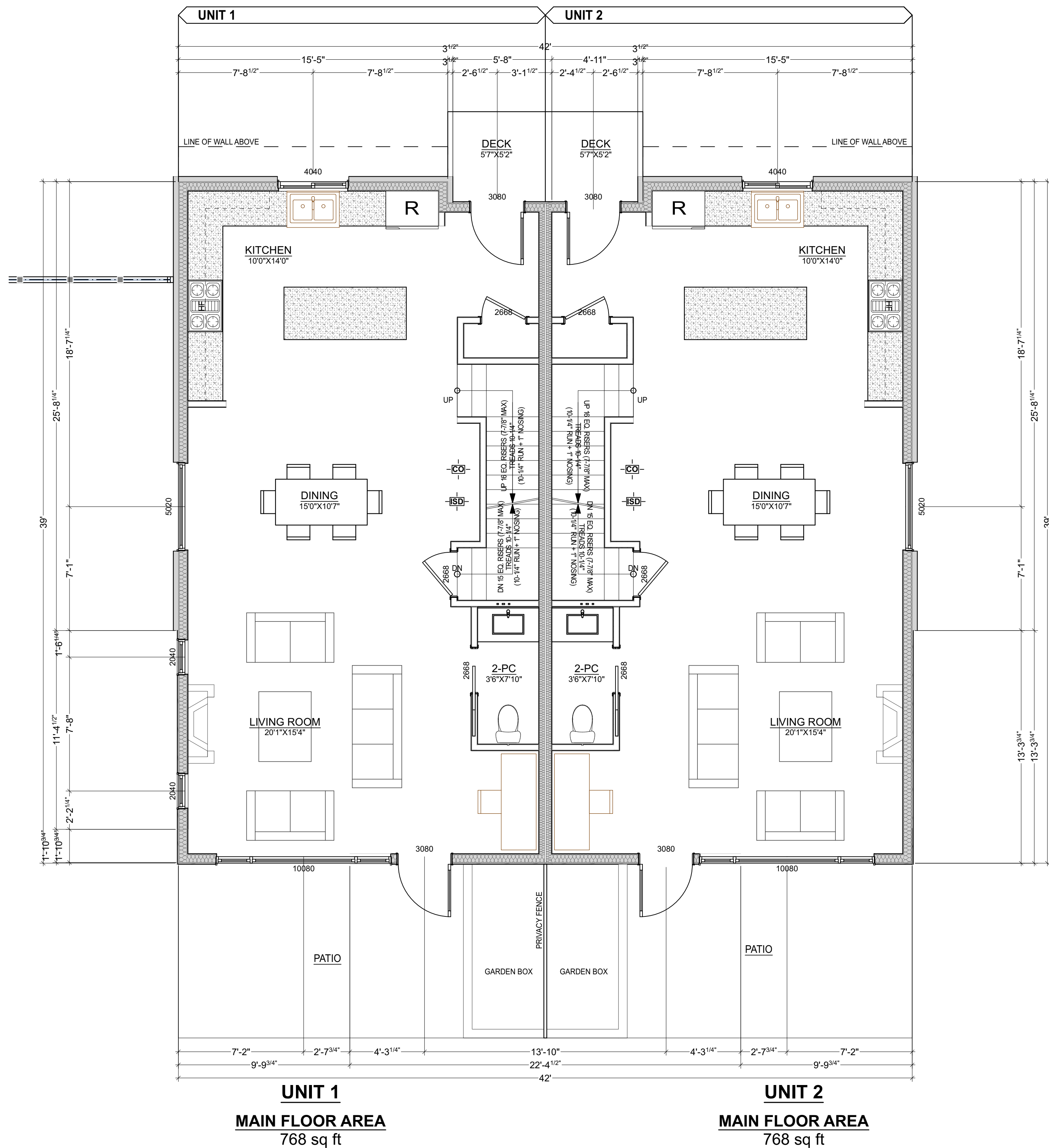
ISSUED:

BASEMENT AND ROOF  
PLAN

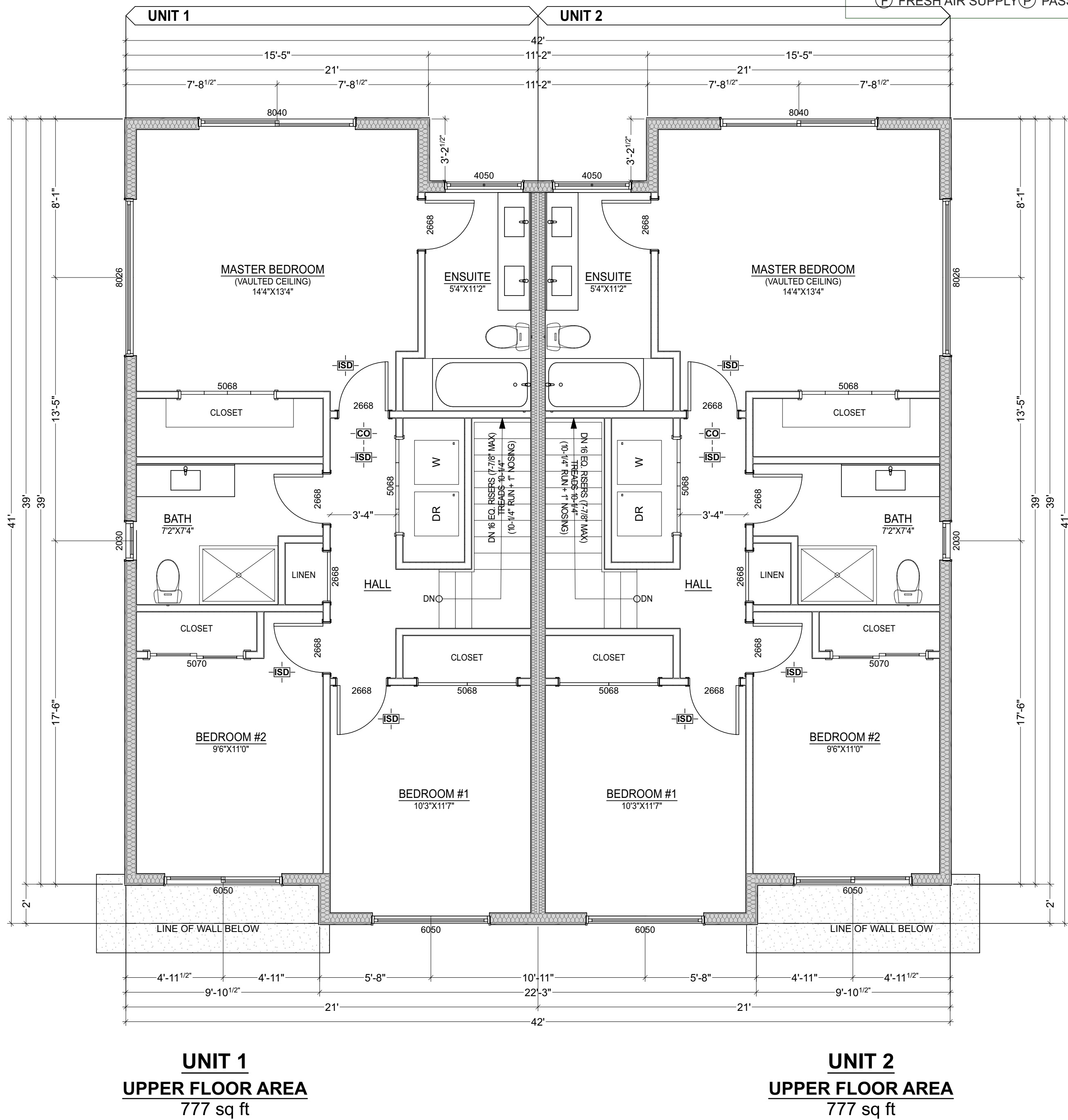
**B-101**

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1 MAIN FLOOR PLAN BLOCK B  
SCALE: 1/4" = 1'-0"



2 UPPER FLOOR PLAN BLOCK B  
SCALE: 1/4" = 1'-0"

**PLAN LEGEND**

- 2X4 PARTITION WALL
- 2X6 PARTITION WALL
- 2X6 GARAGE WALL
- 2X6 EXTERIOR WALL
- FOUNDATION WALL
- FOUNDATION AND FROST WALL
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MAIN AND UPPER  
FLOOR PLAN (1)

B-102





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BLOCK A

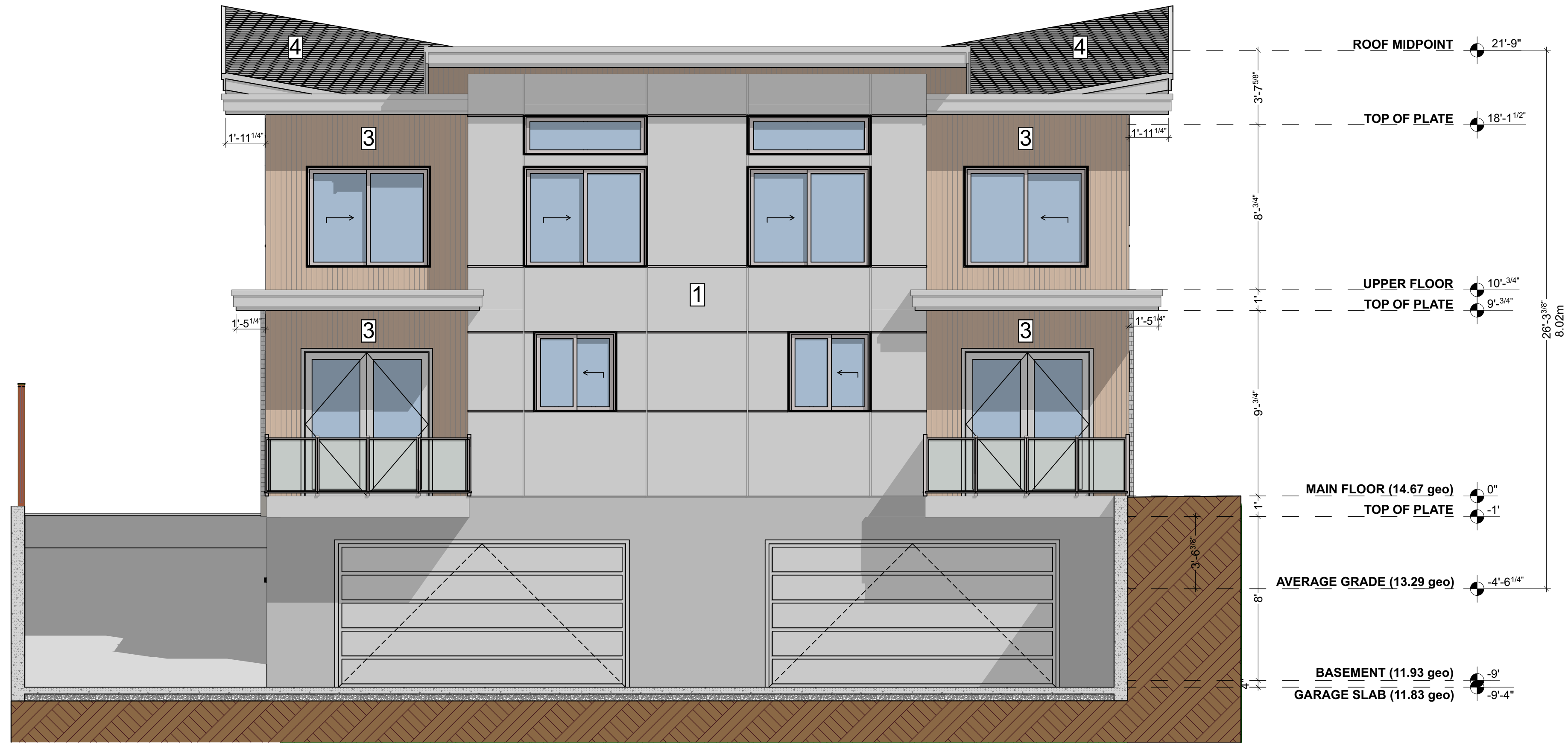
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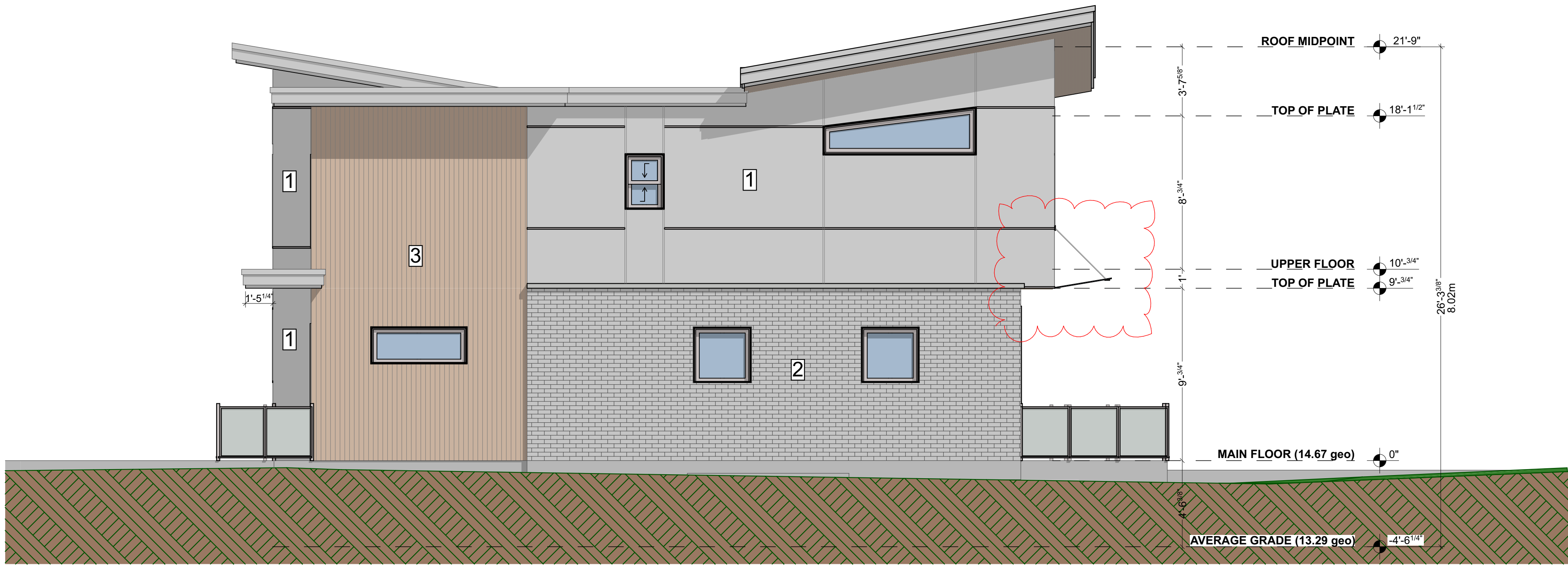
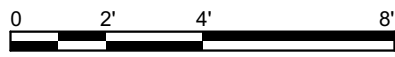
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ELEVATIONS BLOCK A

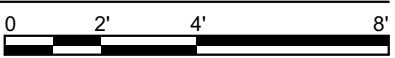




3 SOUTH ELEVATION BLOCK A  
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION BLOCK A  
SCALE: 1/4" = 1'-0"



EXTERIOR CLADDING LEGEND

- 1 CEMENT BOARD PANEL  
W/ EZ TRIM REVEALS  
PAINTED
- 2 BRICK VENEER  
PREFINISHED
- 3 CLEAR T&G CEDAR SIDING  
STAINED
- 4 ASPHALT ROOFING SHINGLES



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ISSUED:

ELEVATIONS BLOCK A

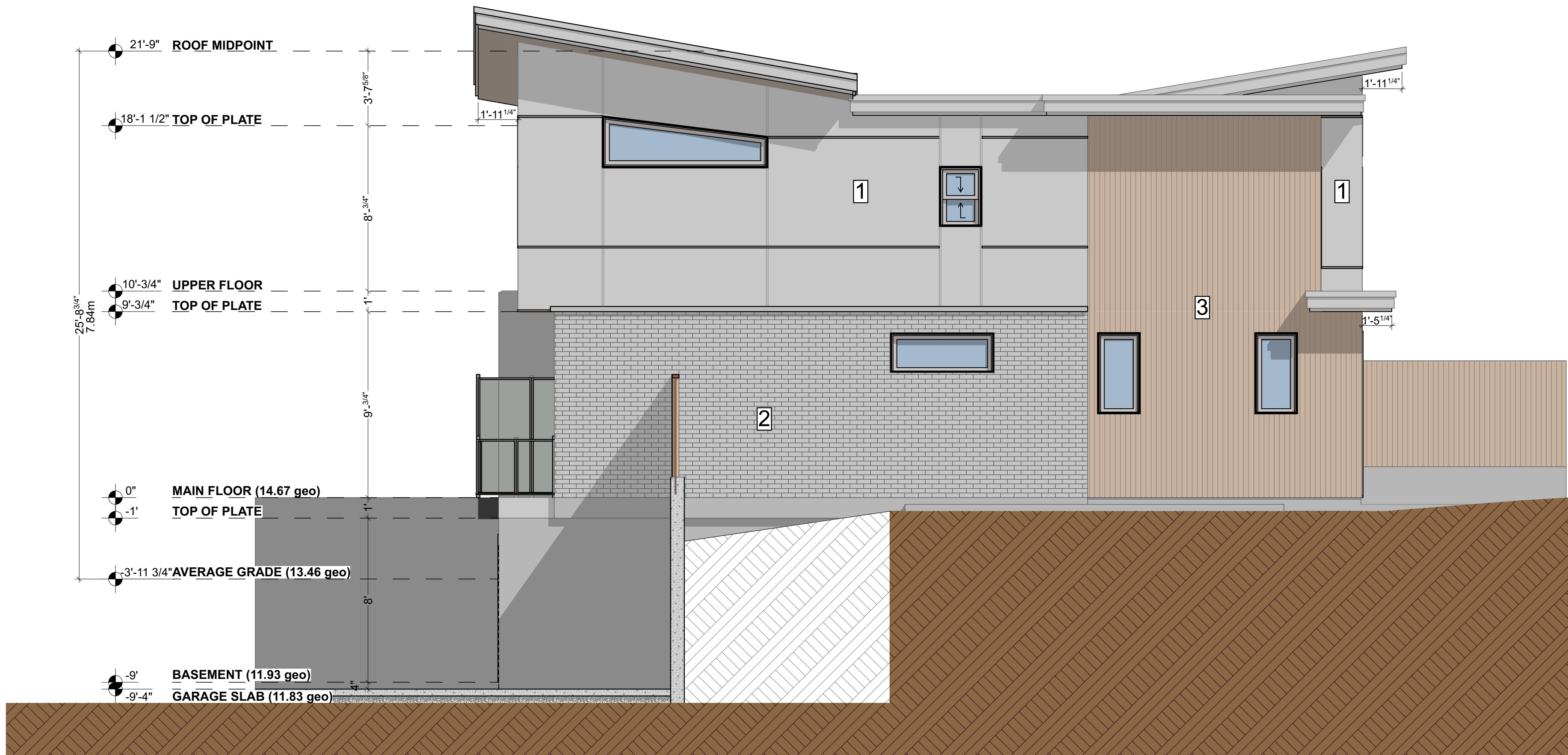
A-202

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1 NORTH ELEVATION BLOCK B  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION BLOCK B  
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

- 1 CEMENT BOARD PANEL  
W/ EZ TRIM REVEALS  
PAINTED
- 2 BRICK VENEER  
PREFINISHED
- 3 CLEAR T&G CEDAR SIDING  
STAINED
- 4 ASPHALT ROOFING SHINGLES



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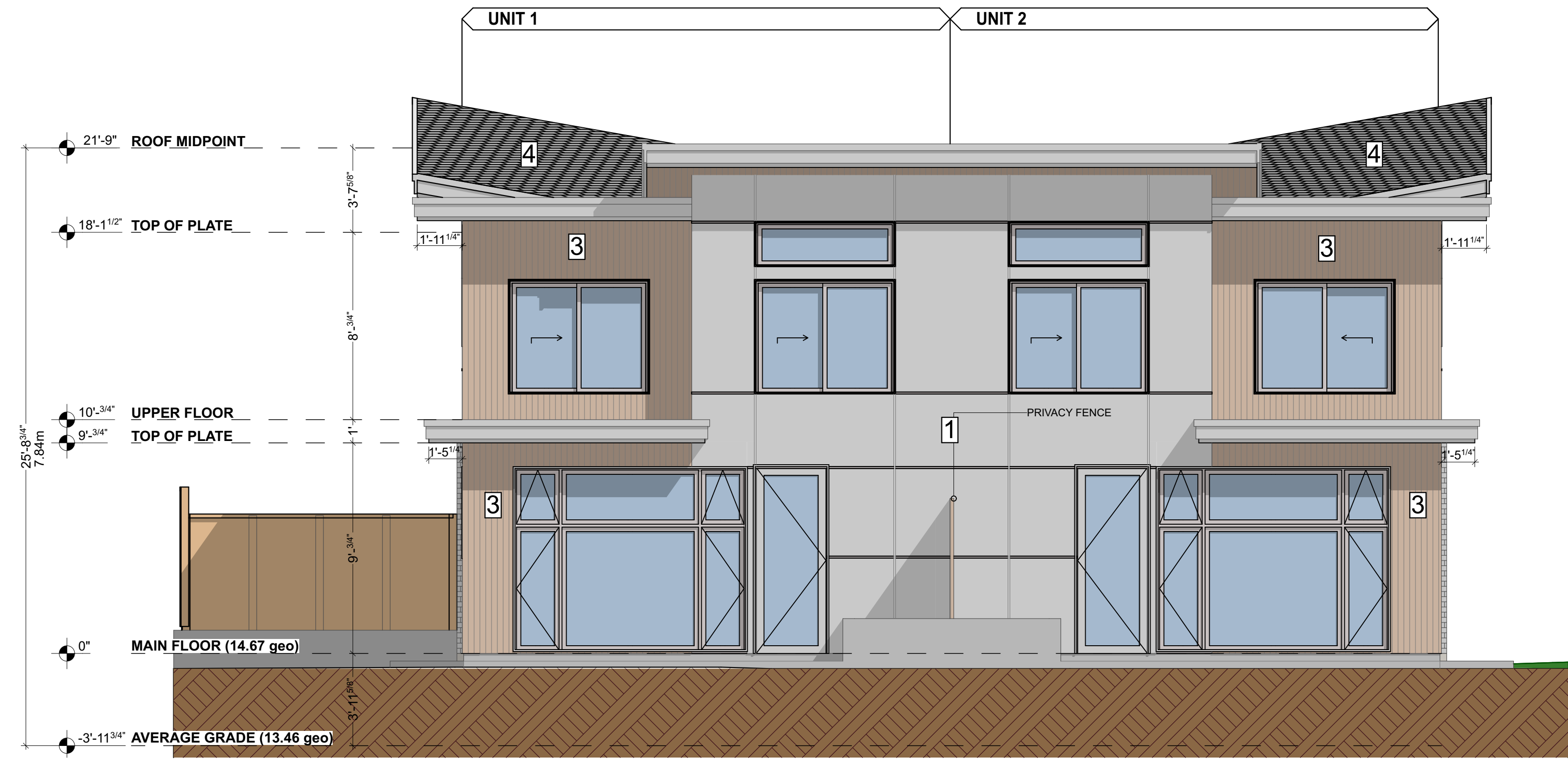
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ELEVATIONS BLOCK B

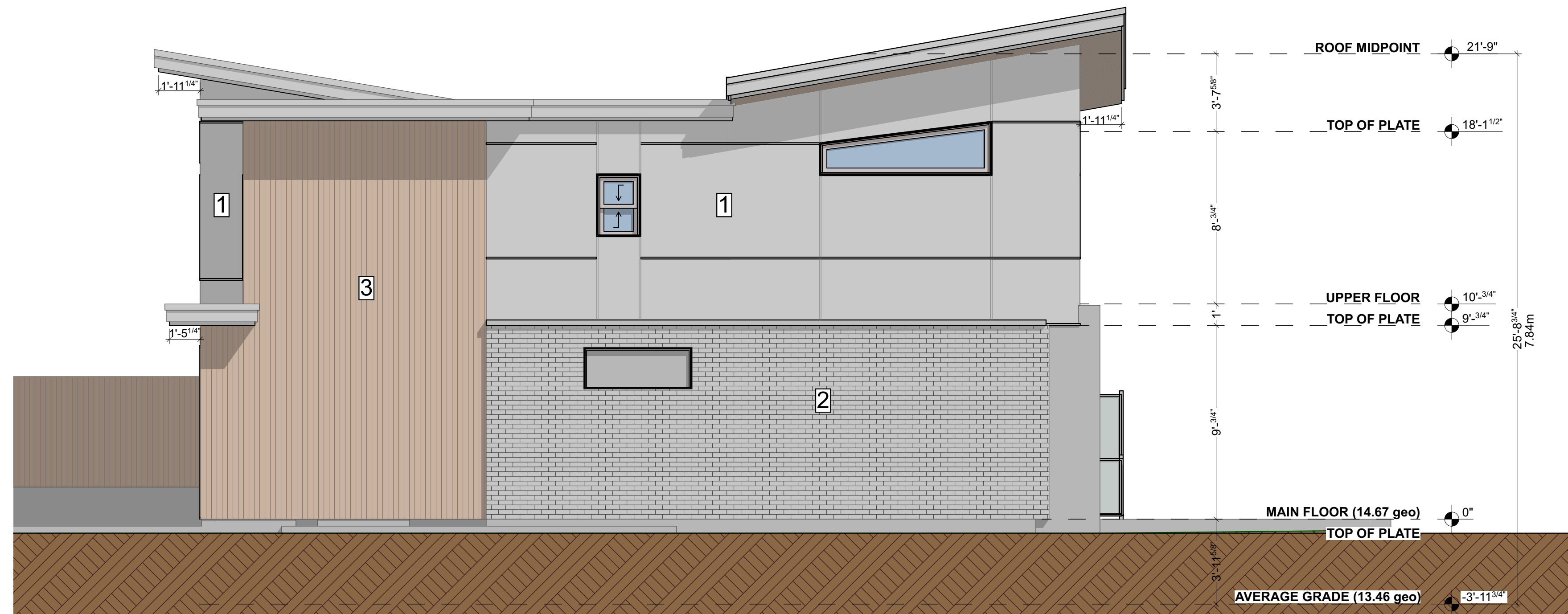
B-201

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3 SOUTH ELEVATION BLOCK B  
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION BLOCK B  
SCALE: 1/4" = 1'-0"

#### EXTERIOR CLADDING LEGEND

- 1 CEMENT BOARD PANEL  
W/ EZ TRIM REVEALS  
PAINTED
- 2 BRICK VENEER  
PREFINISHED
- 3 CLEAR T&G CEDAR SIDING  
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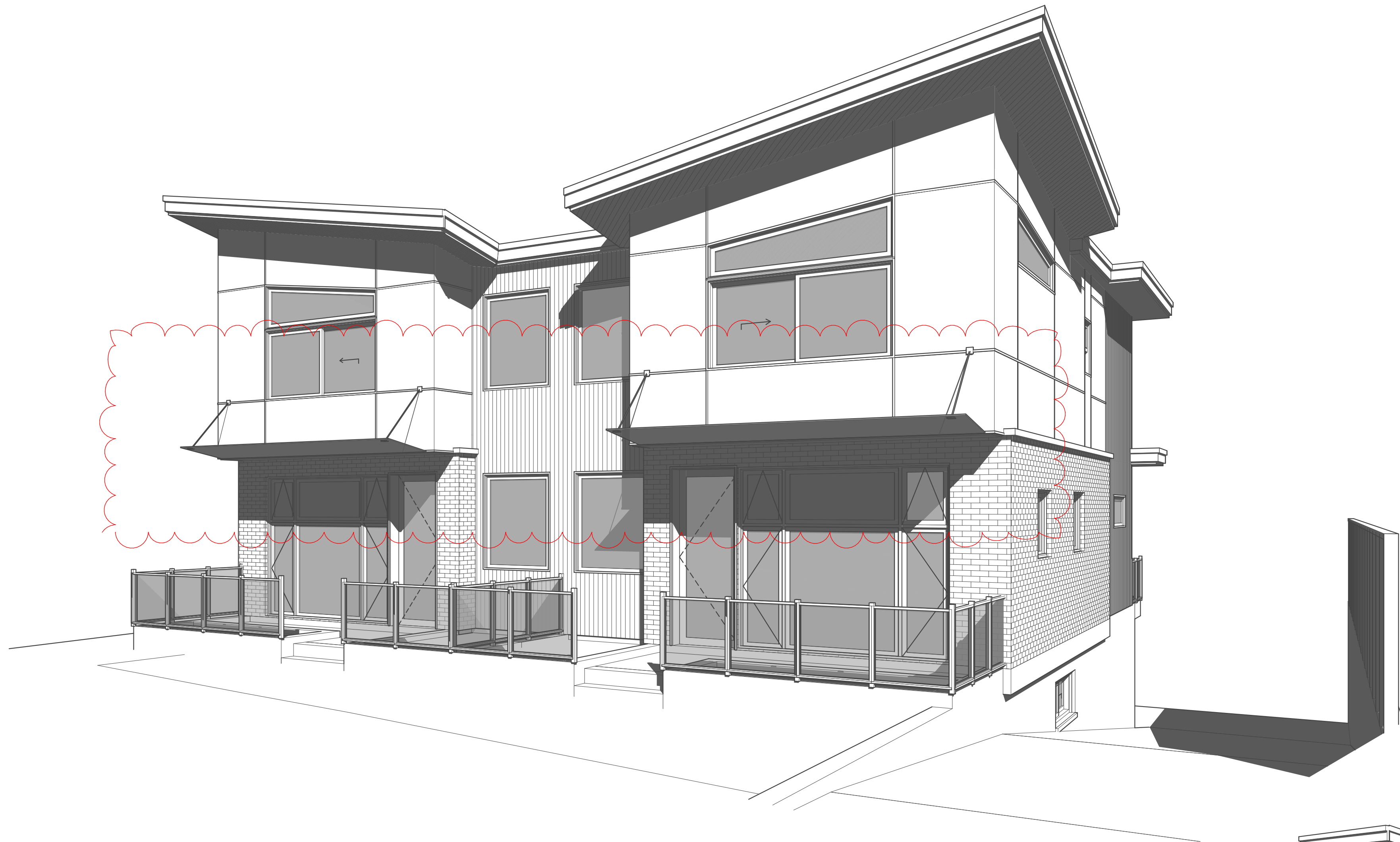
ISSUED:

ELEVATIONS BLOCK B

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- FRONT PERSPECTIVE BLOCK A



- REAR PERSPECTIVE BLOCK A  
SCALE: 1" = 10'

0' 5' 10' 20'

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ISSUED:	

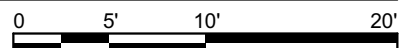




FRONT PERSPECTIVE BLOCK B



REAR PERSPECTIVE BLOCK B  
SCALE: 1" = 10'



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REVIEW

ISSUED:

PERSPECTIVE VIEWS

**B-301**