

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²) :
Lot 469: 685 m²

FLOOR AREA (m²):
L1: 171 m² (no change)
Mezzanine: 67 m² (proposed)
TOTAL: 237 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
237 m²

FLOOR SPACE RATIO: .35: 1

SITE COVERAGE (%): 28%

HEIGHT OF BUILDING (m): 8.6 m

NUMBER OF STOREYS: 2 (one storey plus mezzanine, and rooftop patio)

PARKING STALLS ON SITE: 8 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none (4 provided)

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²) :
Lot 470: 687 m²

FLOOR AREA (m²):
L1: 76 m² (no change)
Mezzanine: 16 m² (proposed)
TOTAL: 92 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
92 m²

FLOOR SPACE RATIO: .13: 1

SITE COVERAGE (%): 12%

HEIGHT OF BUILDING (m): 8.6 m

NUMBER OF STOREYS: 2 (one storey plus mezzanine, and rooftop patio)

PARKING STALLS ON SITE: 4 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

REGISTERED OWNER
Mike & Lee Spence
5067 Cordova Bay Road
Victoria, BC
V8Y 2K1
tel: 250.818.5465
lee.spence.112@gmail.com

ARCHITECT
dHKiarchitects
977 Fort Street
Victoria, BC
V8V 3K3
Charles Kierulff
tel: 250.658.3367
crk@dhk.ca

STRUCTURAL CONSULTANT
Sorensen TRILOGY Engineering Ltd.
215 - 737 Goldstream Avenue
Victoria, BC
V9B 2X4
Brian Lang
tel: 250.880.2117
brian@sorensenTRILOGY.ca

MECHANICAL CONSULTANT
Avalon Mechanical Consultants Ltd.
301 - 1245 Esquimalt Road
Victoria, BC
V9A 3P2
Mirek Demidow
tel: 250.384.4128
fax: 250.384.4134

ELECTRICAL CONSULTANT
Williams Engineering
202-51 Bastion Square
Victoria, BC
V8W 1J1
Michael Phillips
tel: 778.406.0023 ext.6001
MPhillips@williamsengineering.com

REFERENCED DOCUMENT: CITY OF VICTORIA SIGNAGE BYLAW 14-097

ZONE 1

Arterial Commercial

1:1 Ratio Permitted (maximum total area: 9 m²)

SIGN TYPE

Combination Sign: Business name painted on facade (mural style).

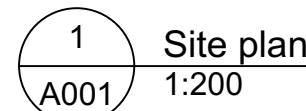
SIGN AREA AS SHOWN

8.9 sq m

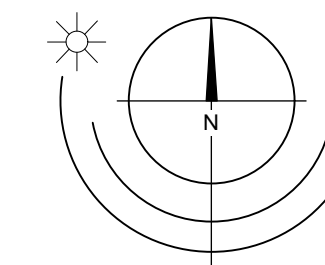
Note: Final sign design to be done by others in compliance to current sign bylaws.

Architectural	
A001	Project Data & Site Plan
A201	Level 1 & Mezzanine Floor Plan
A202	Roof Top Plan
A203	Seating Plan
A401	Elevations
A501	Sections
A601	Materials Board

- 1 Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.
- 2 Staff bike parking relocated
- 3 CO₂ unit added under stair
- 4 Water closets, storage room and bar area reconfigured. No change to enclosed area.
- 5 Mechanical screening area enlarged to accommodate the addition of new glyco unit
- 6 Food preparation area with trellis over added
- 7 Location of exit gate and exit stair shifted
- 8 Changes to liquor service areas. No change to total Occupant Load
- 9 Change to sign design (by others) - refer to A401 & A601
- 10 Reduce window size
- 11 Repaint Herald St. facade as per materials schedule - refer to A401 & A601
- 12 Interior stair to continue to roof
- 13 Building Code Summary updated to reflect proposed roof design
- 14 Ramp and railing added to plans to match adjacent tenant as built condition built by others. Refer to BP 0500112 for 1807 Store Street.



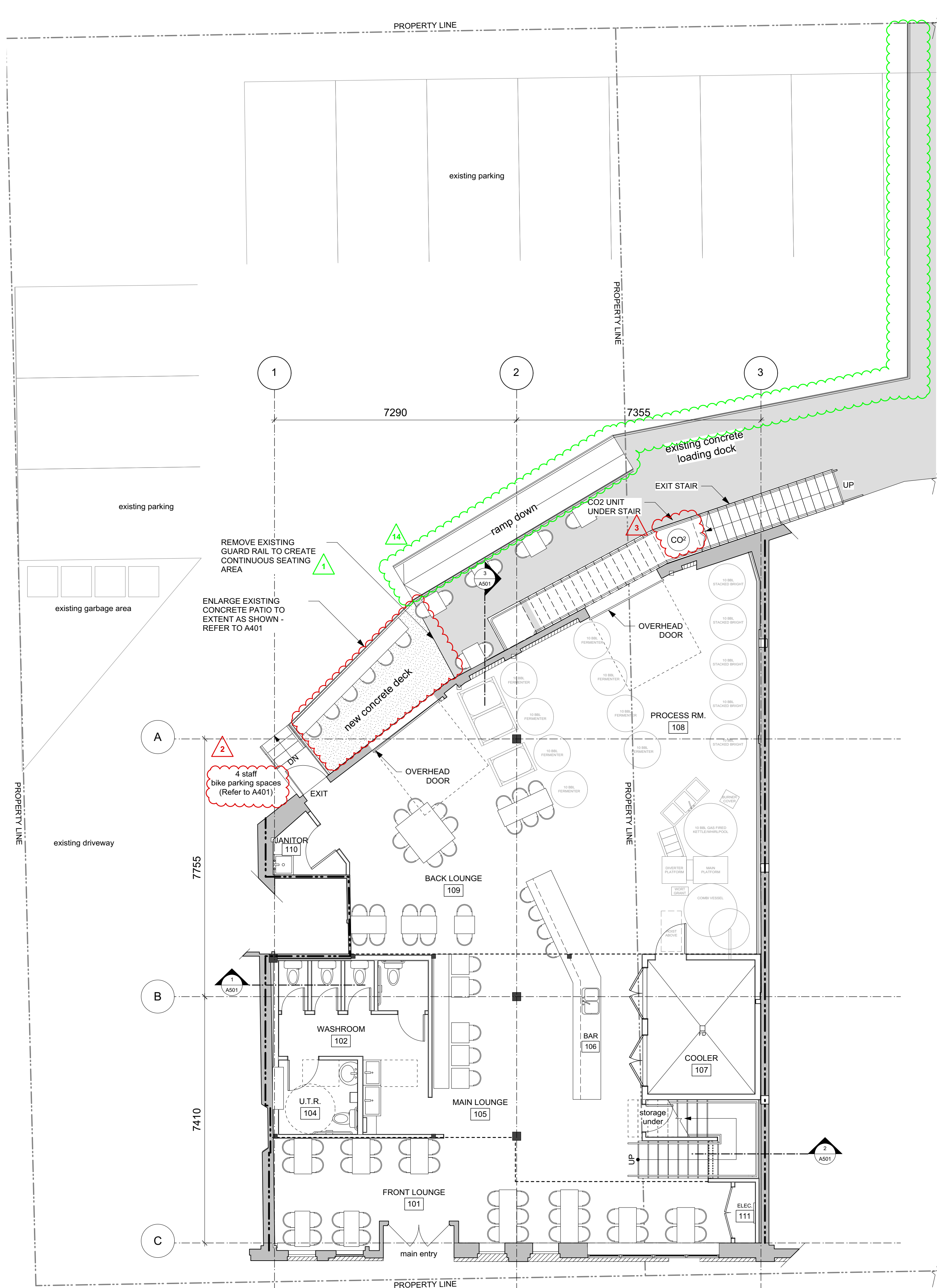
- Building occupancy is limited to 178 people as per approved liquor licence, with an additional 99 people on the roof (unlicensed) for a total of 277 people. Total Number of water closets provided (3.7.2.2.A) is 9. All water closet stalls are private and unisex. Sign with occupant limit to be posted on site.
- Accessible washroom provided is ground floor universal washroom (3.7.2.10).



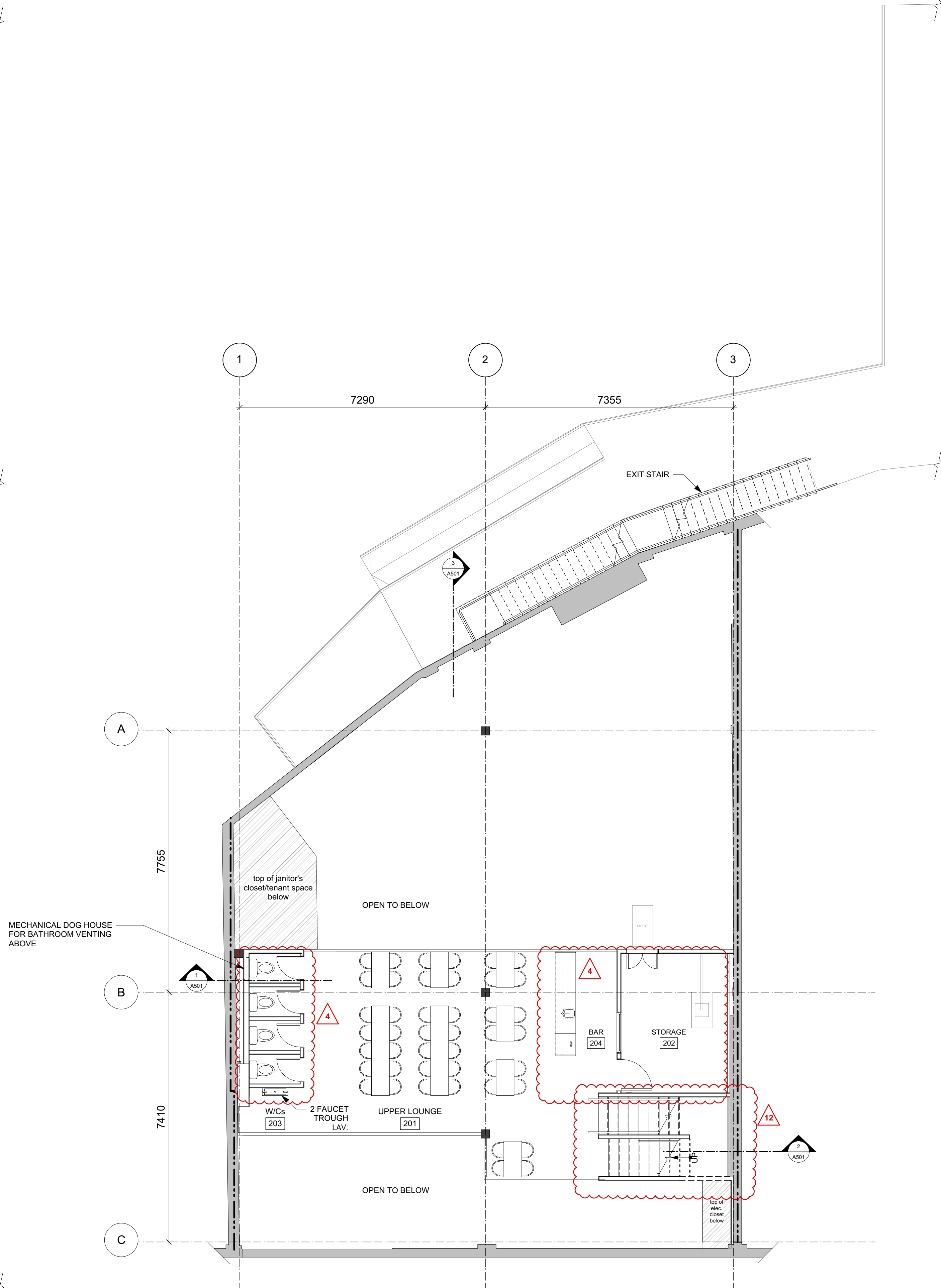
2	21 JAN 2020	Re-Issued for Development Permit	
1	12 NOV 2019	Re-Issued for Development Permit	
Pen	Date	Description	Issued for Development Permit
print date		4 DEC 2018	
drawn by		nrc	checked by
scale		As Noted	project number
			174

NOTE: All dimensions are shown in millimeters.

RE-ISSUED FOR DEVELOPMENT PERMIT



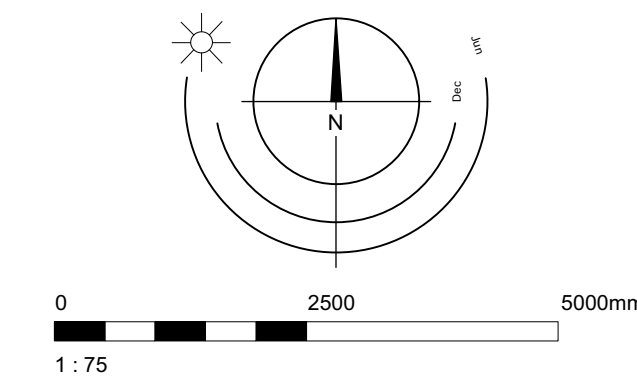
1 Level 1 Floor Plan
Scale: 1:75



2 Mezzanine Floor Plan
Scale: 1:75

- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
 - Shaded walls are existing.
 - All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

- Revisions List**
- Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.
 - Staff bike parking relocated.
 - CO₂ unit added under stair.
 - Water closets, storage room and bar area reconfigured. No change to enclosed area.
 - Mechanical screening area enlarged to accommodate the addition of new glycol unit.
 - Food preparation area with trellis over added.
 - Location of exit gate and exit stair shifted.
 - Changes to liquor service areas. No change to total Occupant Load.
 - Change to sign design (by others) - refer to A401 & A601.
 - Reduce window size.
 - Repaint Herald St. facade as per materials schedule - refer to A401 & A601.
 - Interior stair to continue to roof.
 - Building Code Summary updated to reflect proposed roof design.
 - Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.



Rev	Date	Description	Issued for Development Permit
2	21 JAN 2020		Re-issued for Development Permit
1	12 NOV 2019		Re-issued for Development Permit
1	31 DEC 2018		Issued for Development Permit
1	4 DEC 2019		
1	10/10/20		
1	As Noted		1748

NOTE: All dimensions are shown in millimeters.

RE-ISSUED FOR DEVELOPMENT PERMIT

de Hoog & Kierulf architects

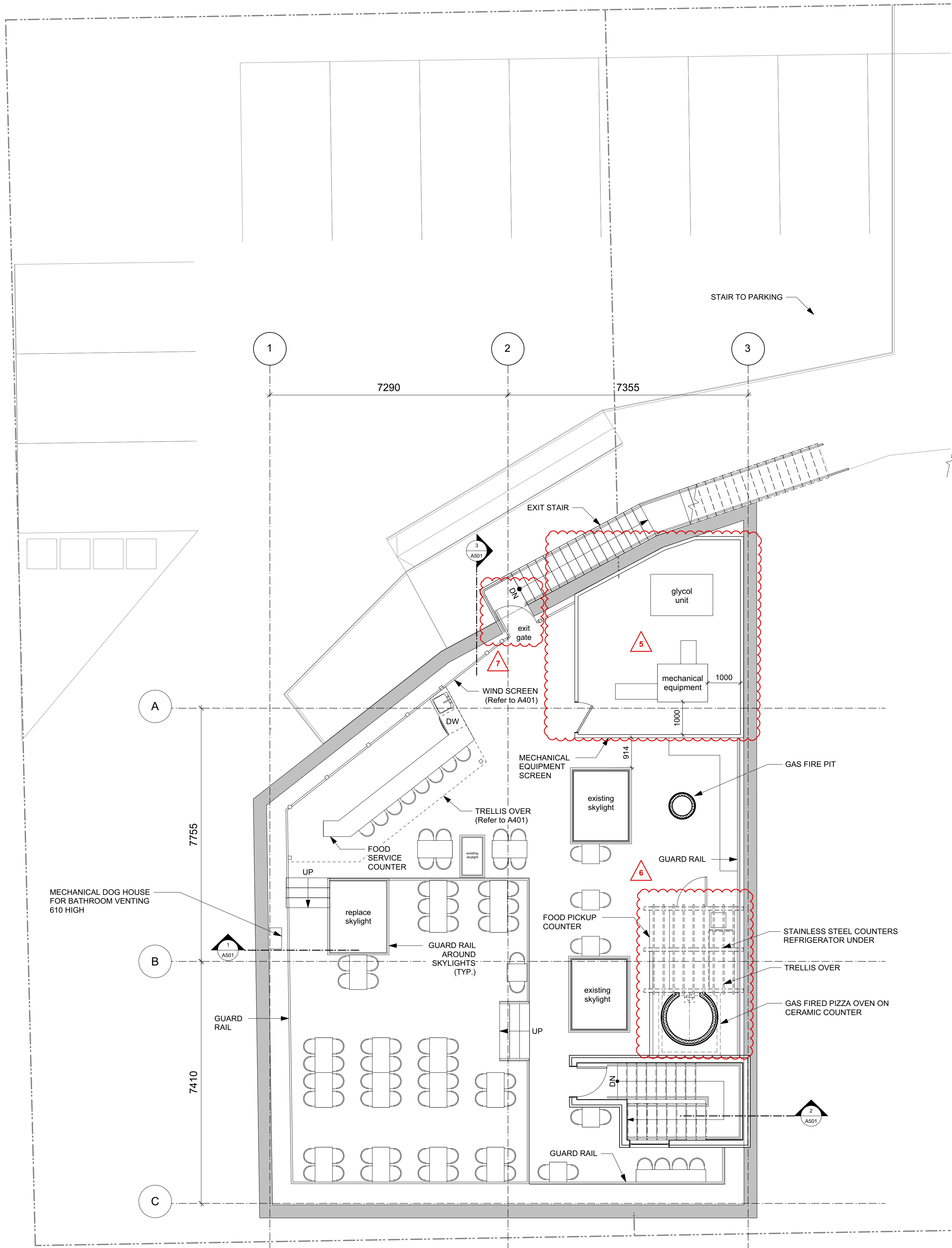
VICTORIA OFFICE
977 Fort Street
Victoria BC V8W 2K3
T 1-250-608-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

project name
Herald Brew Pub
506 Herald Street
Victoria, BC

Level 1 & Mezzanine Floor Plan

drawn by: A201
checked by: A201
project number: 1748



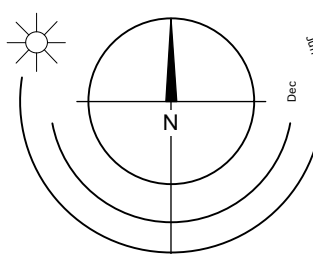
1 Rooftop Plan
A202 Scale: 1:75

General Notes

- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- Shaded walls are existing.
- All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

Revisions List

- Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.
- Staff bike parking relocated
- CO₂ unit added under stair
- Water closets, storage room and bar area reconfigured. No change to enclosed area.
- Mechanical screening area enlarged to accommodate the addition of new glycol unit
- Food preparation area with trellis over added
- Location of exit gate and exit stair shifted
- Changes to liquor service areas. No change to total Occupant Load
- Change to sign design (by others) - refer to A401 & A001
- Reduce window size
- Repaint Herald St. facade as per materials schedule - refer to A401 & A601
- Interior stair to continue to roof
- Building Code Summary updated to reflect proposed roof design
- Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.



0 2500 5000mm
1:75

Rev	Date	Description	Issued for Development Permit
2	21 JAN 2020	Re-issued for Development Permit	
1	12 NOV 2019	Re-issued for Development Permit	
Rev	Date	Description	Issued for Development Permit
1	31 DEC 2018	Issued for Development Permit	
Rev	Date	Description	Issued for Development Permit
1	4 DEC 2019	Issued for Development Permit	
Rev	Date	Description	Issued for Development Permit
1	4 DEC 2019	Issued for Development Permit	
Rev	Date	Description	Issued for Development Permit
1	4 DEC 2019	Issued for Development Permit	

NOTE: All dimensions are shown in millimeters.

RE-ISSUED FOR DEVELOPMENT PERMIT

de Hoog & Kierulff architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-608-3367

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V9T 2K6
T 1-250-585-5810

Herald Brew Pub
506 Herald Street
Victoria, BC

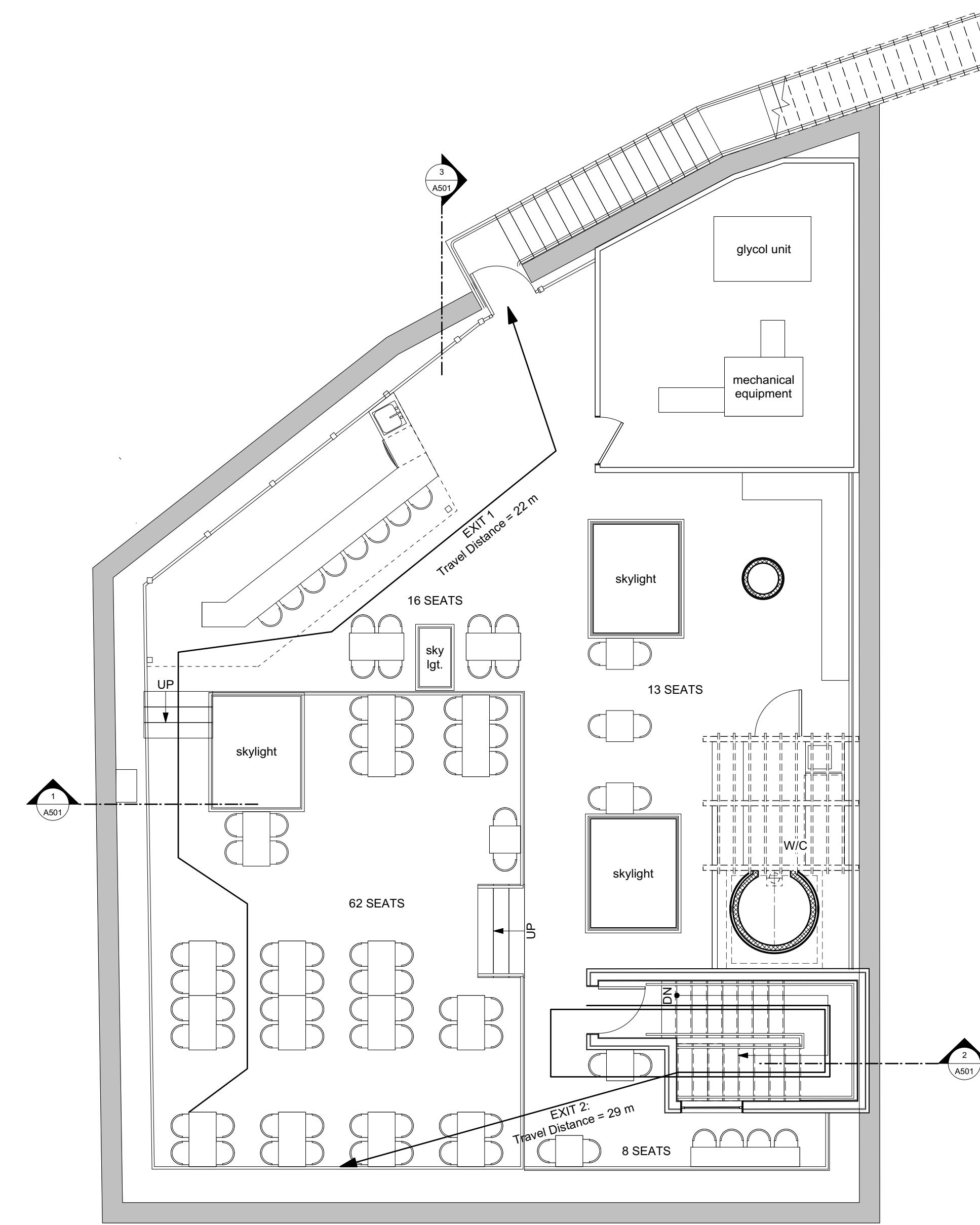
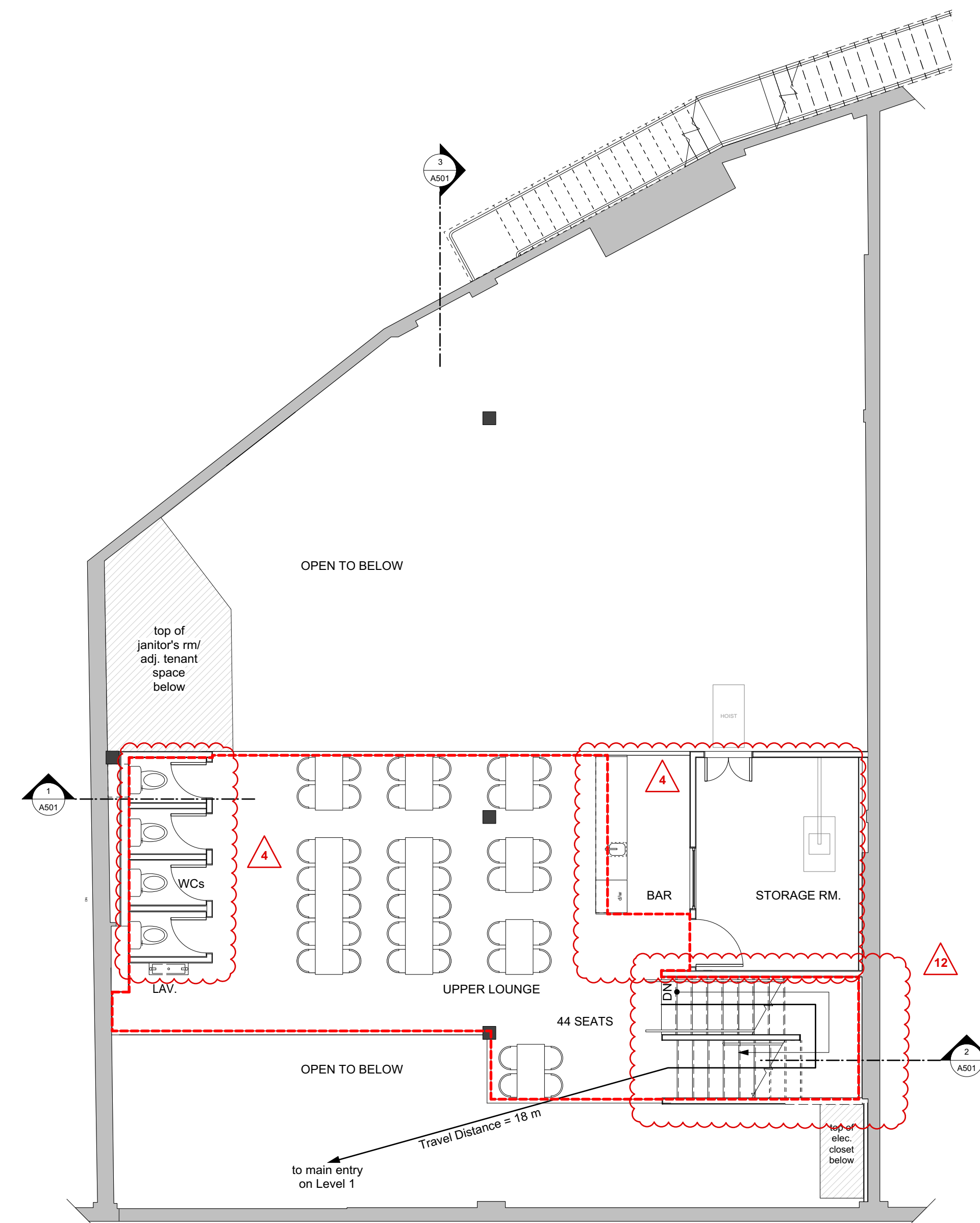
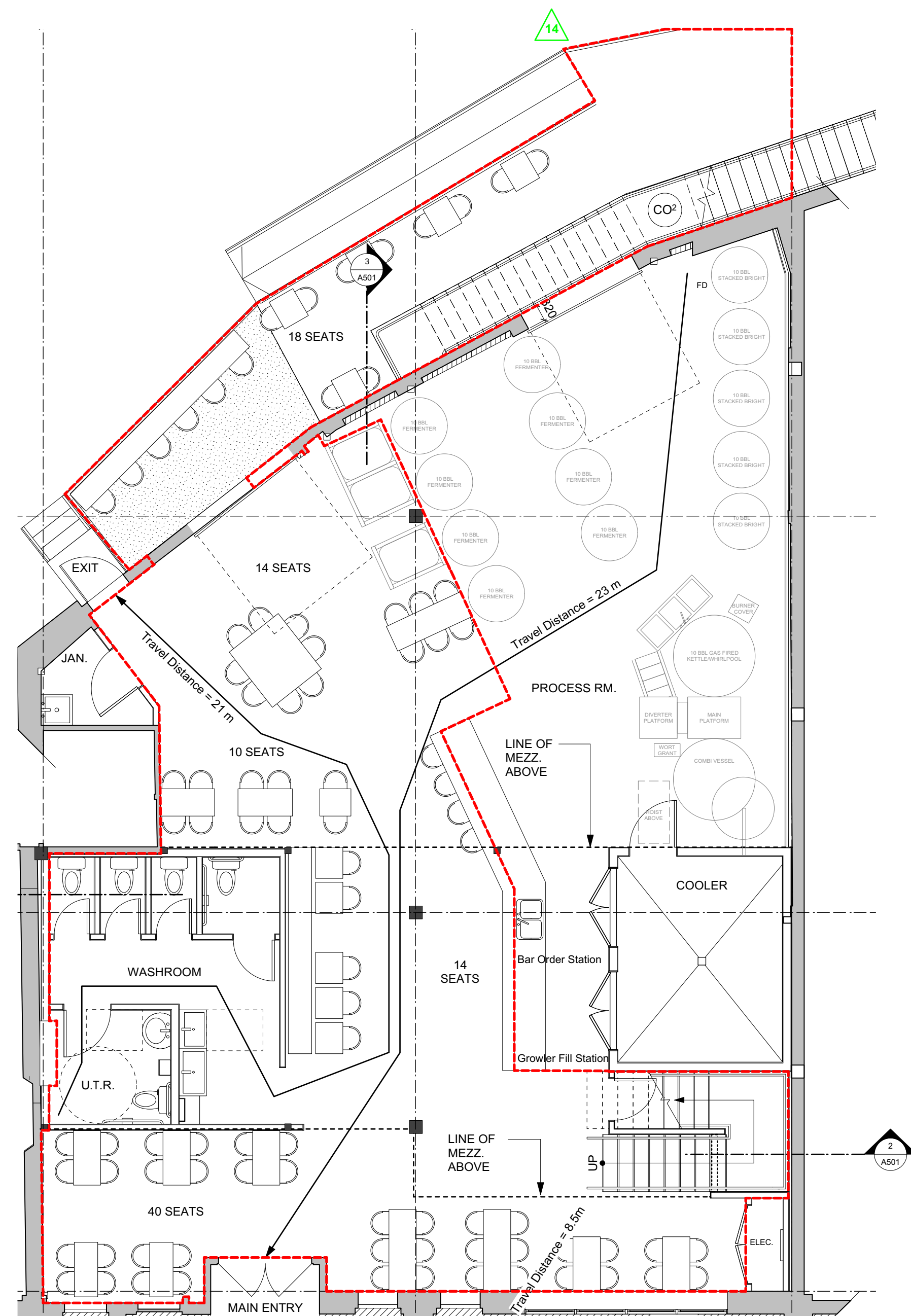
Roof Top Floor Plan

Copyright reserved. These plans and designs are and at all times remain the property of de Hoog & Kierulff architects. TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

project name















sheet no.

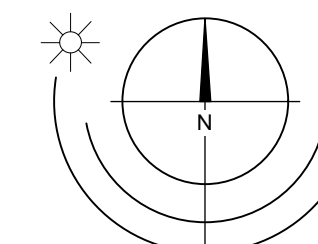
2



UNLICENSED

Revisions List

-  Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.
-  Staff bike parking relocated
-  CO₂ unit added under stair
-  Water closets, storage room and bar area reconfigured. No change to enclosed area.
-  Mechanical screening area enlarged to accommodate the addition of new glycol unit
-  Food preparation area with trellis over added
-  Location of exit gate and exit stair shifted
-  Changes to liquor service areas. No change to total Occupant Load
-  Change to sign design (by others) - refer to A401 & A601
-  Reduce window size
-  Repaint Herald St. facade as per materials schedule - refer to A401 & A601
-  Interior stair to continue to roof
-  Building Code Summary updated to reflect proposed roof design
-  Ramp and railing added to plans to match adjacent tenant as built condition built by others. Refer to BP 0500112 for 1807 Store Street.



2	21 JAN 2020	Re-issued for Development Permit
1	12 NOV 2019	Re-issued for Development Permit
Rev	Date	Description
	31 DEC 2018	Issued for Development Permit
print date	4 DEC 2019	drawing file
drawn by	nlc	checked by
scale	As Noted	project number
		1748

NOTE: All dimensions are shown in millimeter

RE-ISSUED FOR DEVELOPMENT PERMIT

Travel distance allowed (3.4.2.5.1)c) 45 meters provided area is sprinklered.

Licence Areas

Ground Floor:	96 seats
Mezzanine:	44 seats
Total Staff/Off Premise Customers:	38 people

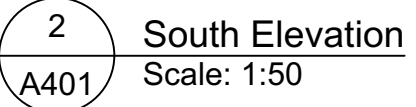
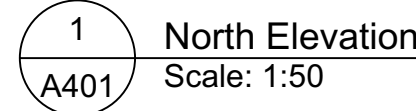
Total Occupant Load In Licence Area: 178 people

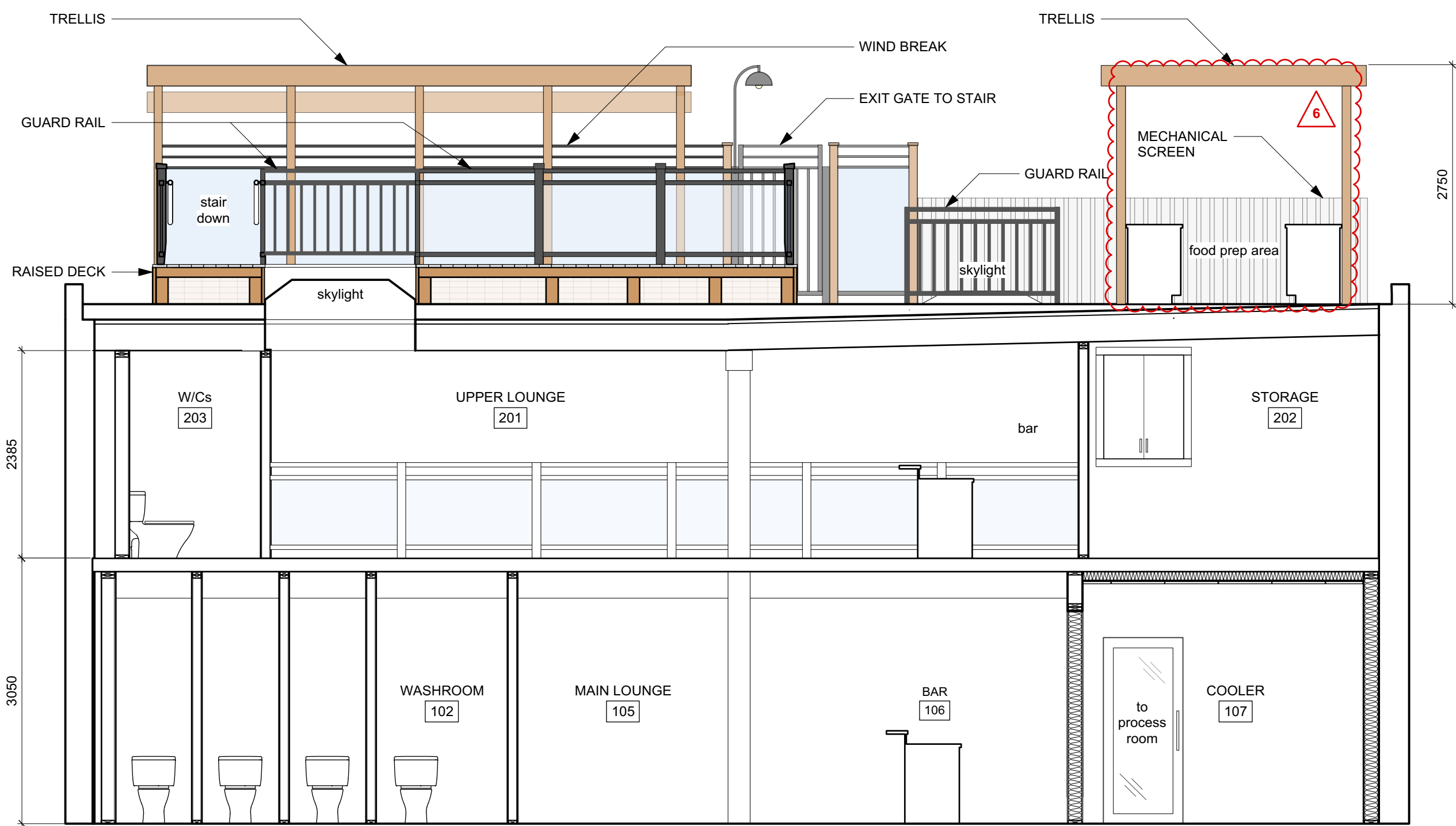
Rooftop Seating - Unlicensed

Rooftop:	99 seats
<hr/>	
TOTAL OCCUPANT LOAD:	277 people

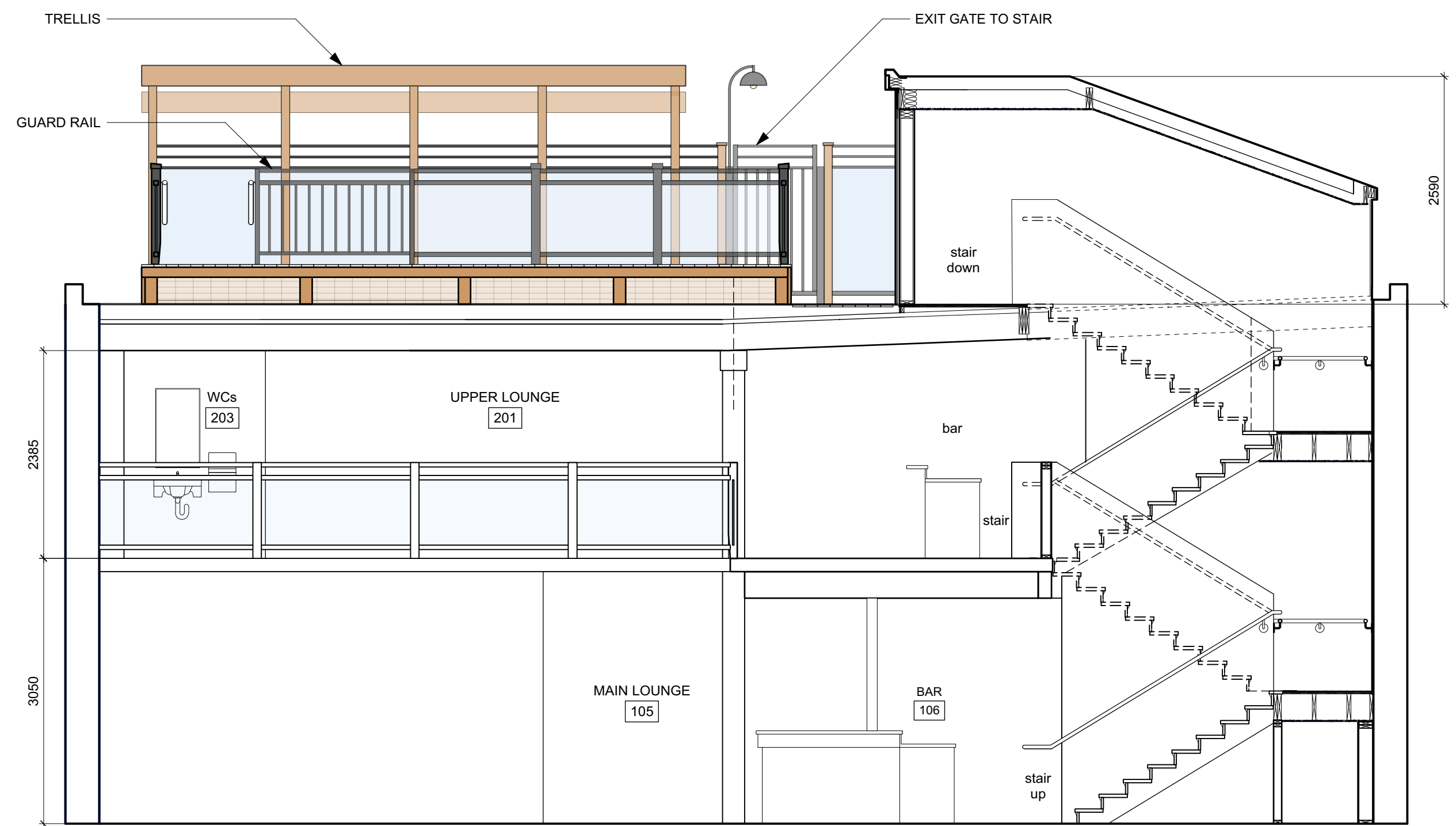
Sheet Notes

1. Dashed red line indicates liquor service area.
2. Total Occupant Load based on BCBC 2012 (3.1.17)

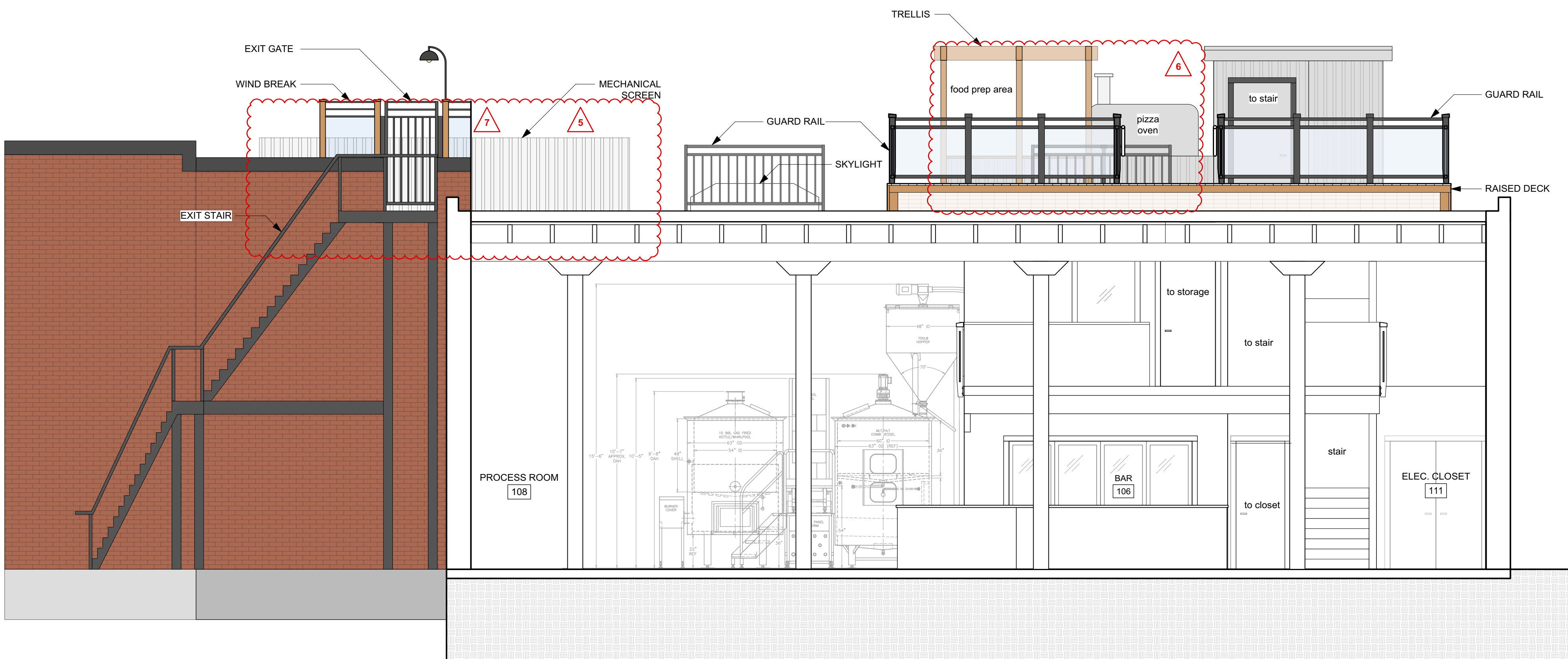




1 Building Section
A501 Scale: 1:50



2 Building Section
A501 Scale: 1:50



3 Building Section
A501 Scale: 1:50

Revisions List

- 1 Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.
- 2 Staff bike parking relocated
- 3 CO₂ unit added under stair
- 4 Water closets, storage room and bar area reconfigured. No change to enclosed area.
- 5 Mechanical screening area enlarged to accommodate the addition of new glycol unit
- 6 Food preparation area with trellis over added
- 7 Location of exit gate and exit stair shifted
- 8 Changes to liquor service areas. No change to total Occupant Load
- 9 Change to sign design (by others) - refer to A401 & A501
- 10 Reduce window size
- 11 Repaint Herald St. facade as per materials schedule - refer to A401 & A601
- 12 Interior stair to continue to roof
- 13 Building Code Summary updated to reflect proposed roof design
- 14 Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.

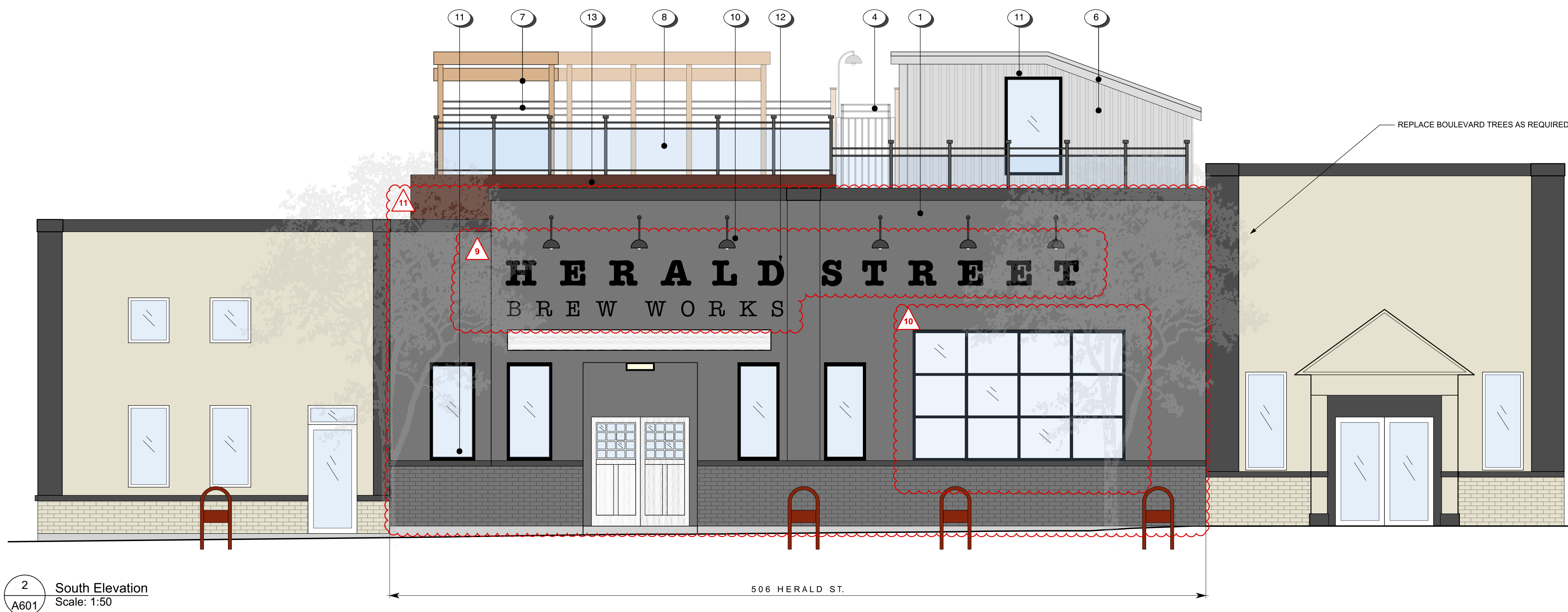
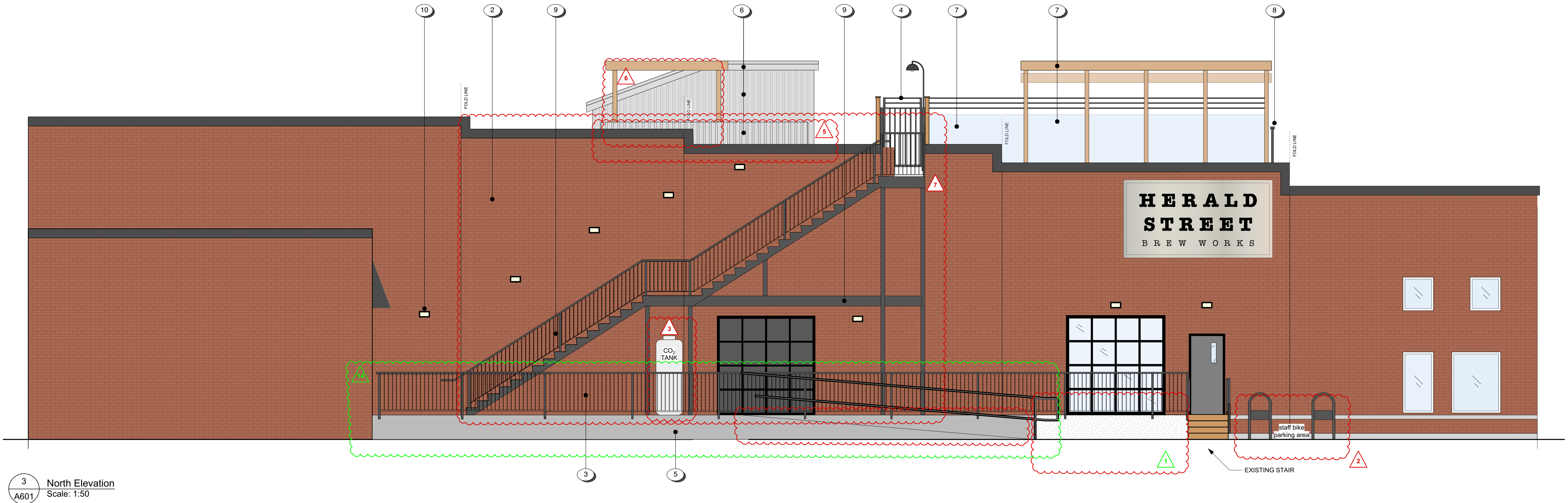
0 1250 2500mm
1:50

Rev	Date	Description
2	21 JAN 2020	Re-Issued for Development Permit
1	12 NOV 2019	Re-Issued for Development Permit
Rev	Date	Description
1	31 DEC 2018	Issued for Development Permit
Rev	Date	Description
1	4 DEC 2019	Issued for Development Permit
Rev	Date	Description
1	4 DEC 2019	Issued for Development Permit
Rev	Date	Description
1	4 DEC 2019	Issued for Development Permit

NOTE: All dimensions are shown in millimeters.

RE-ISSUED FOR DEVELOPMENT PERMIT

de Hoog & Kierulff architects	VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-5387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-858-5810
project name	Herald Brew Pub 506 Herald Street Victoria, BC	
Sections	A501	2



Revisions List		Materials Schedule	
1	Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.	1	Paint Herald St. facade: Cloverdale - Zen Retreat - 0535
2	Staff bike parking relocated	2	Retain existing brick (typ.)
3	CO ₂ unit added under stair	3	Prefinished aluminum guardrail frame - Dark Grey. Climb-proof mesh inset - Anodized.
4	Water closets, storage room and bar area reconfigured. No change to enclosed area.	4	Prefinished aluminum gate - Dark Grey. Fir posts - Clear Stain.
5	Mechanical screening area enlarged to accommodate the addition of new glycol unit	5	Paint new concrete infill to match existing.
6	Food preparation area with trellis over added	6	Anodized metal.
7	Location of exit gate and exit stair shifted	7	1828 mm high windbreak with translucent tempered glass and prefinished aluminum frame - Dark Grey. Fir posts and trellis - Clear Stain.
8	Changes to liquor service areas. No change to total Occupant Load	8	Prefinished aluminum guardrail frame - Dark Grey. Translucent tempered glass inset.
9	Change to sign design (by others) - refer to A401 & A001	9	Prefinished aluminum stair, pickets and railing - Dark Grey.
10	Reduce window size	10	New lighting to co-ordinate with existing (by others).
11	Repaint Herald St. facade as per materials schedule - refer to A401 & A601	11	Paint all trim: Cloverdale - Subway - 0536
12	Interior stair to continue to roof	12	New mural-style painted sign (by others). Refer to Sign Bylaw Summary, A001.
13	Building Code Summary updated to reflect proposed roof design	13	New wood decking.
14	Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.		

RE-ISSUED FOR DEVELOPMENT PERMIT

0 1250 2500mm

1:50