ZONING INFORMATION - LOT 469

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):

PROPOSED ZONE:

No change to zone. No change of use .

SITE AREA (m²):

Lot 469:

FLOOR AREA (m²):

171 m² (no change) Mezzanine: 67 m² (proposed)

TOTAL: 237 m² (proposed)

COMMERCIAL FLOOR AREA (m²):

FLOOR SPACE RATIO: .35: 1

HEIGHT OF BUILDING (m): 8.6 m

SITE COVERAGE (%):

NUMBER OF STOREYS: 2 (one storey plus mezzanine, and rooftop patio)

PARKING STALLS ON SITE: 8 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none (4 provided)

BUILDING SETBACKS (m)

OTD-1 Zone, therefore, no setbacks required.

ZONING INFORMATION - LOT 470

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING): OTD-1

PROPOSED ZONE:

No change to zone. No change of use

SITE AREA (m²): Lot 470:

FLOOR AREA (m2):

76 m² (no change) 16 m² (proposed) Mezzanine:

92 m² (proposed)

COMMERCIAL FLOOR AREA (m2):

92 m²

FLOOR SPACE RATIO: .13: 1

SITE COVERAGE (%): 12%

HEIGHT OF BUILDING (m): 8.6 m

NUMBER OF STOREYS: 2 (one storey plus mezzanine, and rooftop patio)

PARKING STALLS ON SITE: 4 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none

BUILDING SETBACKS (m)

OTD-1 Zone, therefore, no setbacks required.

PROJECT INFORMATION

REGISTERED OWNER

Mike & Lee Spence 5067 Cordova Bay Road

tel: 250.818.5465 Victoria, BC V8Y 2K1 lee.spence.112@gmail.com

ARCHITECT

dHKiarchitects 977 Fort Street Charles Kierulf Victoria, BC tel: 250.658.3367 V8V 3K3 crk@dhk.ca

STRUCTURAL CONSULTANT

Sorensen TRILOGY Engineering Ltd. 215 - 737 Goldstream Avenue Brian Lang

Victoria, BC tel: 250.880.2117 V9B 2X4 brianl@sorensenTRILOGY.ca

MECHANICAL CONSULTANT

Avalon Mechanical Consultants Ltd. 300 - 1245 Esquimalt Road

Mirek Demidow tel: 250.384.4128 Victoria, BC V9A 3P2 fax: 250.384.4134

ELECTRICAL CONSULTANT

Williams Engineering Michael Phillips 202-31 Bastion Square tel: 778.406.0023 ext.6001 Victoria, BC MPhillips@williamsengineering.com V8W 1J1

SIGNAGE BYLAW SUMMARY

REFERENCED DOCUMENT: CITY OF **VICTORIA SIGNAGE BYLAW 14-097**

ZONE 1

Arterial Commercial 1:1 Ratio Permitted (maximum total area: 9 m²)

SIGN TYPE

Combination Sign: Business name painted on facade (mural style).

SIGN AREA AS SHOWN

8.9 sq m

Note: Final sign design to be done by others in compliance to current sign bylaws.

Food preparation area with trellis over **6** added

DRAWING LIST

Project Data & Site Plan

Roof Top Plan

Seating Plan

Materials Board

Elevations

Sections

Enlarge existing concrete pad. Remove

existing gaud rail to create continuous

Water closets, storage room and bar

Mechanical screening area enlarged to 5 \ accommodate the addition of new glycol

4 \ area reconfigured. No change to

Level 1 & Mezzanine Floor Plan

Architectural

A201

A202

A203

A401

A501

Revisions List

2 Staff bike parking relocated

 $\binom{3}{3}$ CO₂ unit added under stair

seating area.

enclosed area.

Location of exit gate and exit stair

7 shifted

↑ Changes to liquor service areas. No 8 \ change to total Occupant Load

Change to sign design (by others) -9 \ refer to A401 & A001

/10\ Reduce window size

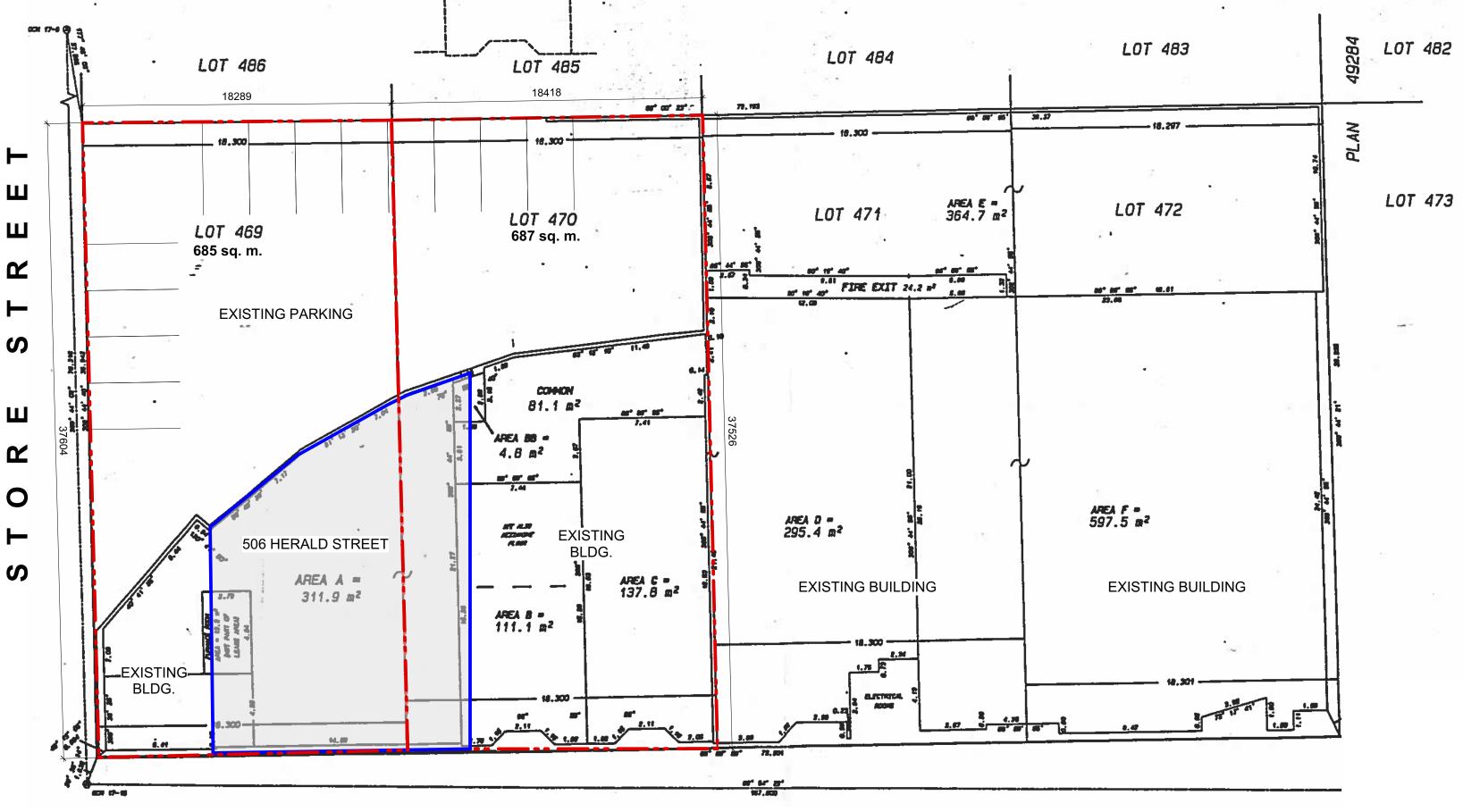
Repaint Herald St. facade as per materials schedule - refer to A401 &

/12\ Interior stair to continue to roof

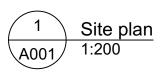
Building Code Summary updated to

13\ reflect proposed roof design

Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.



HERALD STREET



MAJOR OCCUPANCY CLASSIFICATIONS: Group E (3.2.2.67) and A2 (3.2.2.27). 3.2.2.67 is more restrictive.

NUMBER OF STREETS FACING:

BUILDING HEIGHT:

SPRINKLERED:

SEPARATION OF MAJOR OCCUPANCIES: (3.1.3.1) • Minimum fire-resistance rating of fire separation, Group E to A-2: 2 hours., Group A-2 to A-2 - none.

Two (2) storey

 $19 \text{ m}^2 = 4 \text{ people}$

One (1)

Yes

CONSTRUCTION TYPE (3.1.4): Combustible Heavy Timber Construction

OCCUPANT LOAD (3.1.17):

1.2 m²/person for dining and beverage.

4.6 m² /person for process rooms

Ground Floor:

Gross Floor Area 260 m² (served by 2 exits front and rear) Total Load: 123 people $124 \text{ m}^2 = 103 \text{ people}$ Ground Floor Restaurant Area:

BUILDING CODE SUMMARY - 506 Herald Street, Victoria, BC

BUILDING AREA [Building Footprint]: 1900 m2 overall, 260 m² for A-2 506 Herald Street

REFERENCED DOCUMENT: BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

Ground Floor Process Area: $73 \text{ m}^2 = 16 \text{ people}$

Mezzanine:

Cooler:

Gross Floor Area 83 m² (served by 1 stair down to Ground Floor) Total Load: 67 people Mezzanine Restaurant Area: 56 m² = 67 people

Rooftop:

Gross Area 167 m² (served by 2 exits front and rear) Total Load: 200 people (seasonal).

Rooftop Restaurant Area: $167 \text{ m}^2 = 200 \text{ people}$

Total Calculated Occupant Load: 390; Occupant load limited and posted per 3.1.17.1.2) to 277 people.

CONSTRUCTION REQUIREMENTS (3.2.2.67):

Group E, up to 3 storeys, Sprinklered

• 1) A building classified as Group E is permitted to conform to Sentence(2) provided a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout, b) it is not more than 3 storeys in building height, and

c) it has abuilding area not more than i) 7 200 m2 if 1 storey in building height,

2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible

construction used singly or in combination, and

a) floor assemblies shall be fire separations with a fire - resistance rating not less than 45min,

b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, c) loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall

• Signal to Fire Department required, 2 stage. Will notify that an alert signal has been initiated (3.2.4.8.3)

i) have a fire-resistance rating not less than 45 min, or ii) be of noncombustible construction, and

d) loadbearing walls, columns and arches supporting a fire separation shall have a fire-resistance rating not less than that required for the fire separation.

FIRE ALARM AND DETECTION SYSTEMS (3.2.4):

• Building is one storey and less than 2000 m², and therefore can be one fire zone. An annunciator is not required if there is only one zone (3.2.4.9(2,3))

 Visual and audible trouble signal to be provided at main entrance (3.2.4.4) • Electrical supervision of fire alarm system required (3.2.4.10)

Smoke detectors not required (3.2.4.12)

Fire alarm system monitoring required (3.2.4.16)

Manual pull stations required at exits (3.2.4.17)

EXITS AND EGRESS:

Travel Distance to an exit is 45 m maximum (3.4.2.5); 8.5 m (Ground Floor), 13 m (Mezzanine), 29 m (Roof) actual.

Minimum Width of Exits (3.4.3.2): Exit corridor / passageway: 1100 mm 900 mm

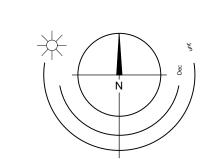
WASHROOMS:

 Building occupancy is limited to 178 people as per approved liquor licence, with an additional 99 people on the roof (unlicensed) for a total of 277 people. Total Number of water closets provided (3.7.2.2.A) is 9. All water closet stalls are private and unisex. Sign with occupant limit to be posted on site.

800 mm

• Accessible washroom provided is ground floor universal washroom (3.7.2.10).

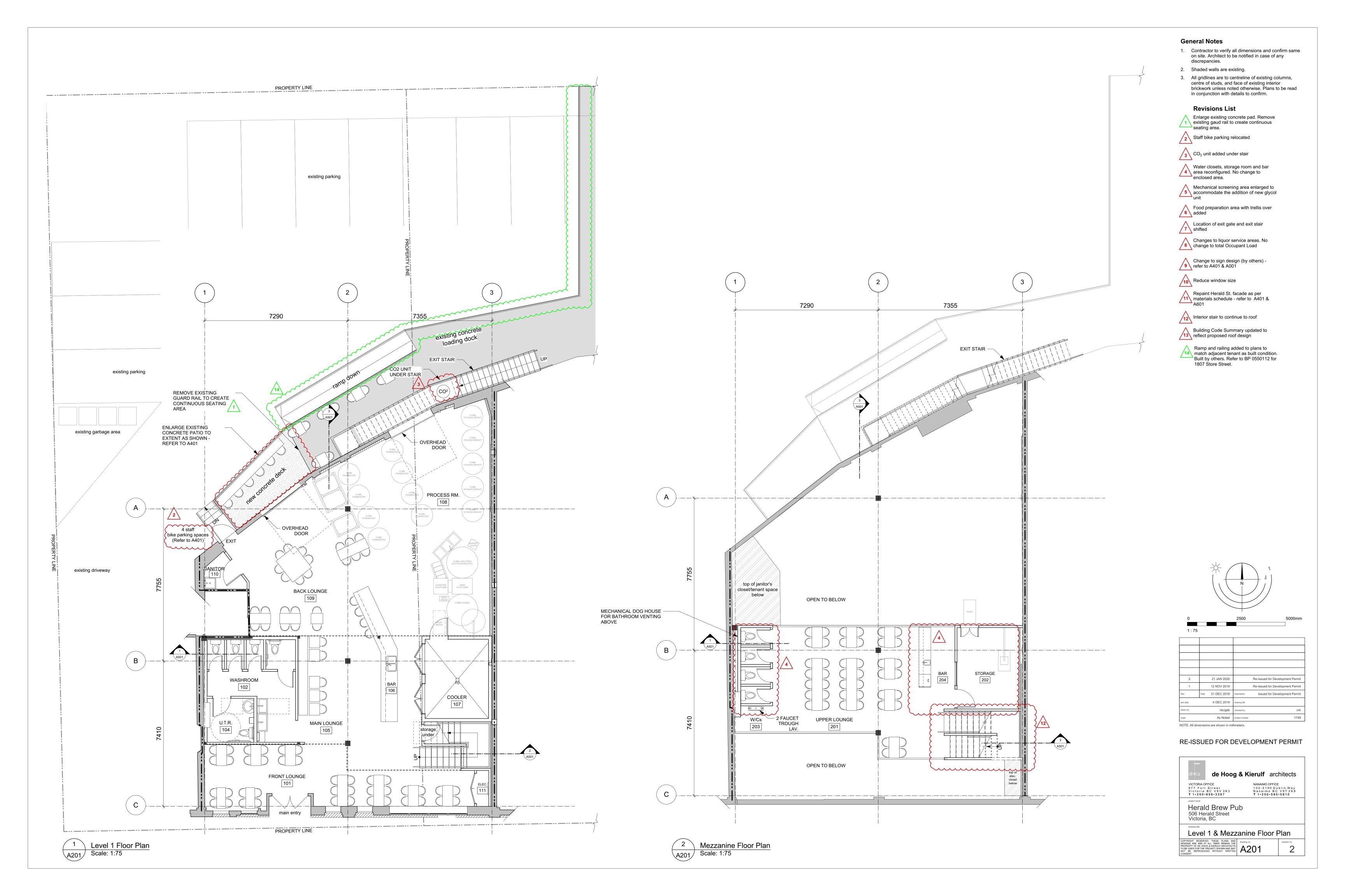
Doorways:

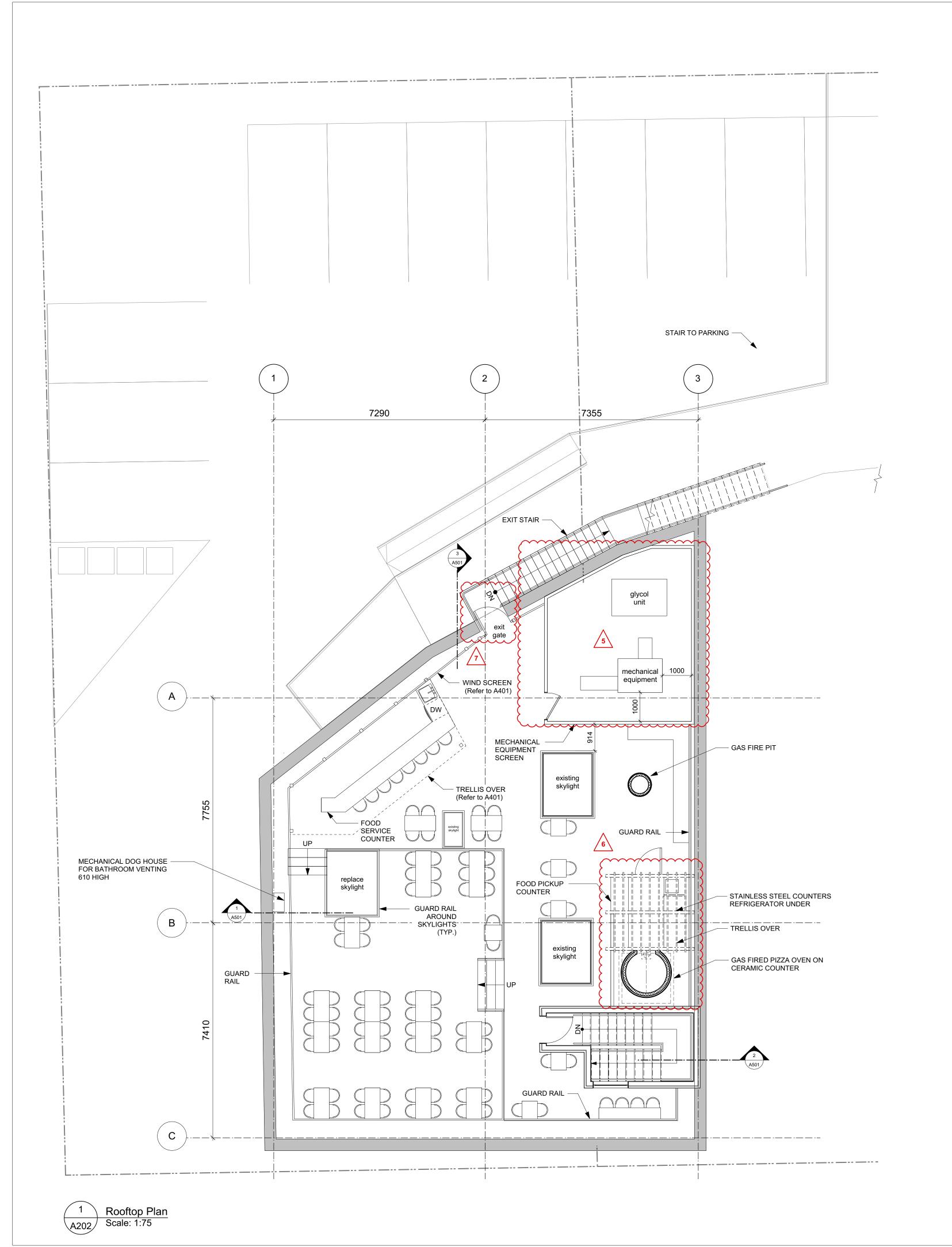


2		21 JAN 2020		Re-Issued for Development Permit
1		12 NOV 2019		Re-Issued for Development Permit
Rev	Date	31 DEC 2018	Description	Issued for Development Permit
plot date		4 DEC 2019	drawing file	
drawn by		nlc	checked by	crk
scale		As Noted	project number	1748
	nension	As Noted		1

RE-ISSUED FOR DEVELOPMENT PERMIT







General Notes

- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- Shaded walls are existing.
- All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

Revisions List

Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.

Staff bike parking relocated

CO₂ unit added under stair

Water closets, storage room and bar area reconfigured. No change to enclosed area.

Mechanical screening area enlarged to accommodate the addition of new glycol

unit

Food preparation area with trellis over

Location of exit gate and exit stair shifted

Changes to liquor service areas. No change to total Occupant Load

6 added

↑ Change to sign design (by others)

Change to sign design (by others) - refer to A401 & A001

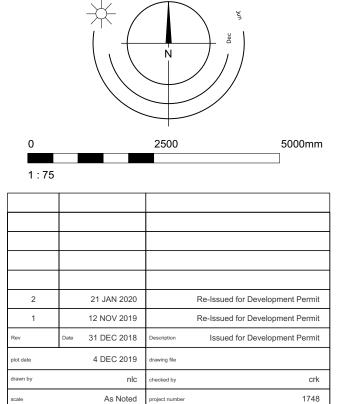
10 Reduce window size

Repaint Herald St. facade as per materials schedule - refer to A401 & A601

12 Interior stair to continue to roof

Building Code Summary updated to reflect proposed roof design

Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.

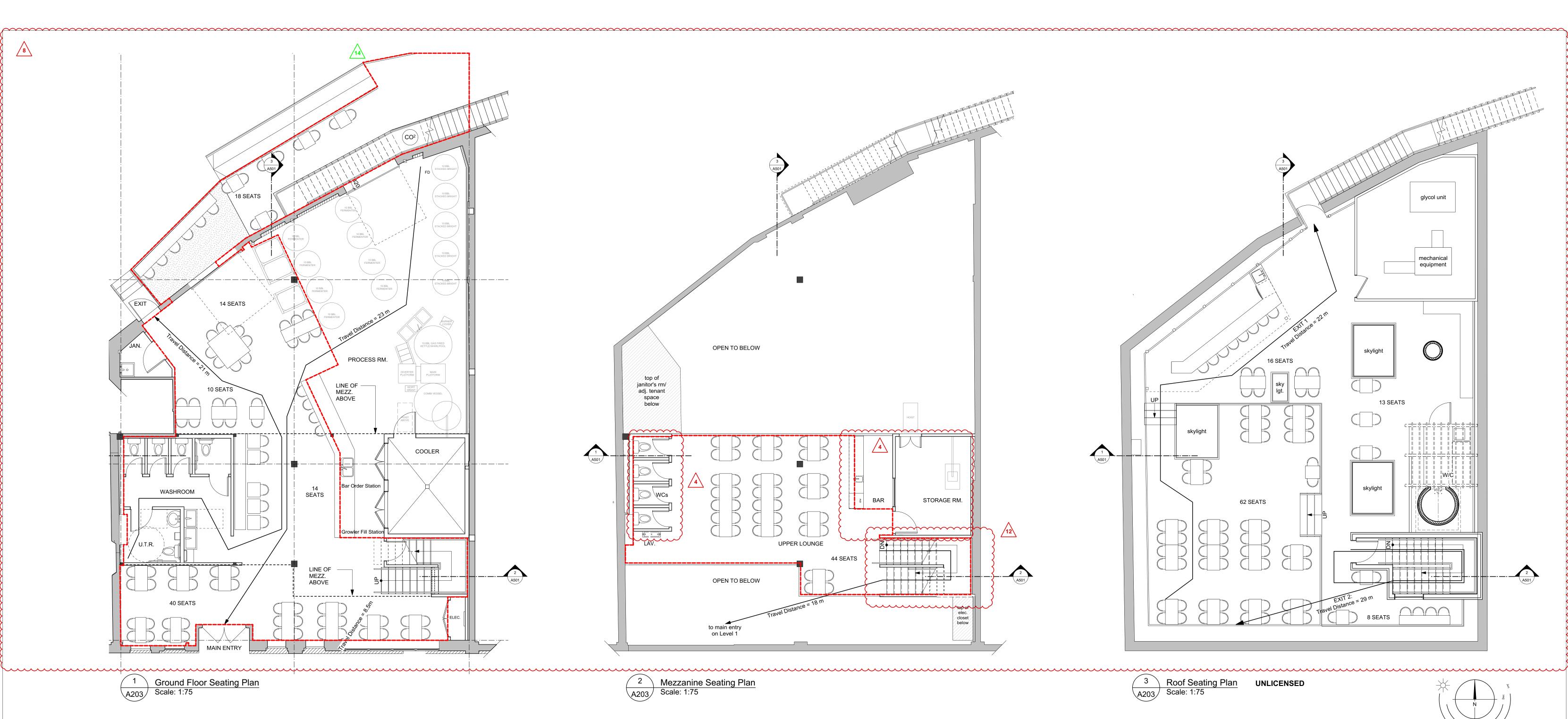


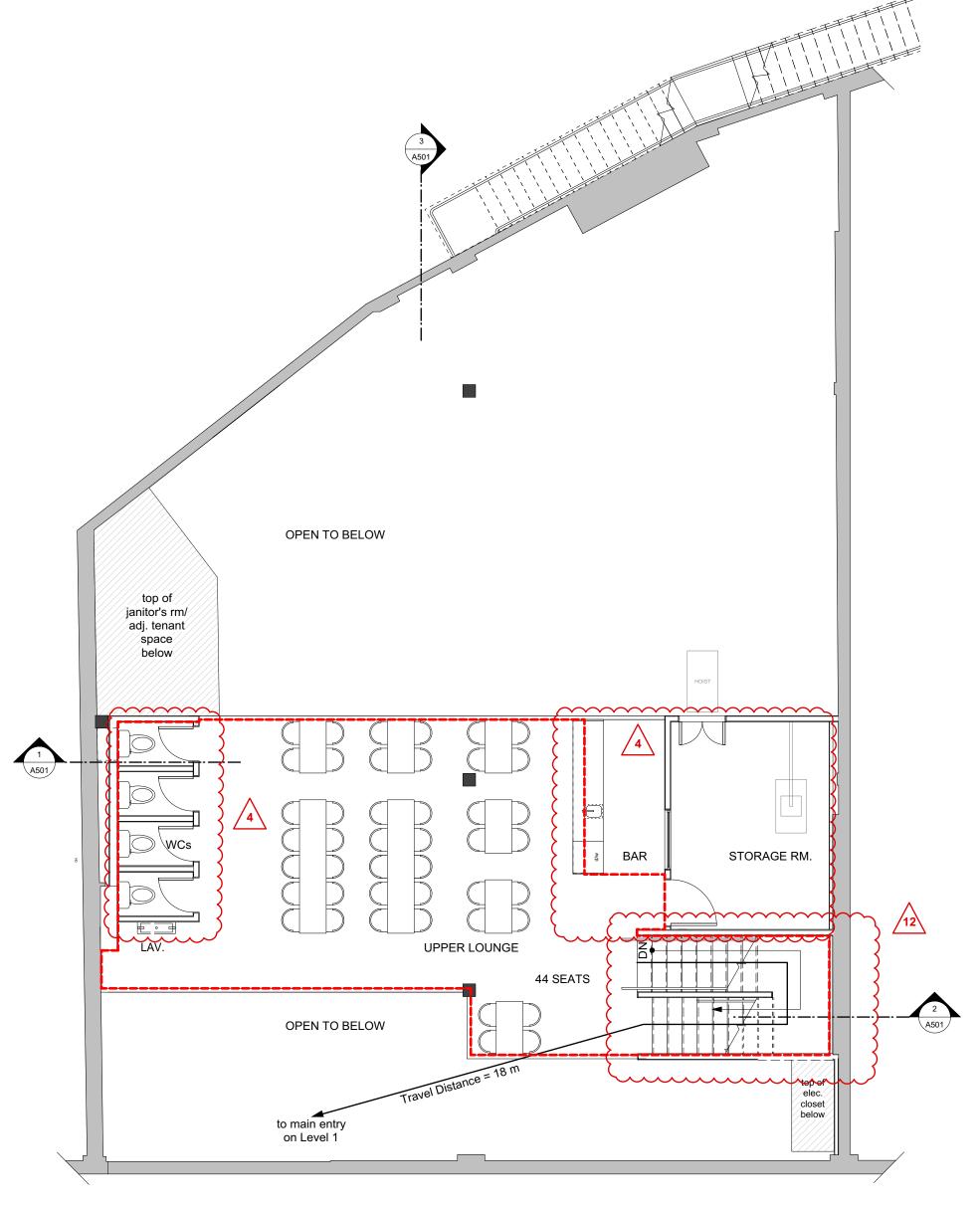
RE-ISSUED FOR DEVELOPMENT PERMIT

NOTE: All dimensions are shown in millimeters.









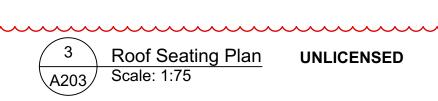
Mezzanine Seating Plan Scale: 1:75

Travel distance allowed (3.4.2.5.1)c) <u>45 meters</u> provided area is sprinklered.

Sheet Notes

- Dashed red line indicates liquor service area.
 - 2. Total Occupant Load based on BCBC 2012 (3.1.17).

<u>Licence Areas</u>	
Ground Floor: Mezzanine: Total Staff/Off Premise Customers:	96 seats 44 seats 38 people
Total Occupant Load In Licence Area:	178 people
Rooftop Seating - Unlicensed	
Rooftop:	99 seats
TOTAL OCCUPANT LOAD:	277 people



Revisions List

Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.

Staff bike parking relocated

 \bigcirc CO₂ unit added under stair Water closets, storage room and bar area reconfigured. No change to enclosed area.

Mechanical screening area enlarged to accommodate the addition of new glycol

Food preparation area with trellis over

6 added

Location of exit gate and exit stair shifted

Changes to liquor service areas. No change to total Occupant Load

Change to sign design (by others) - refer to A401 & A001

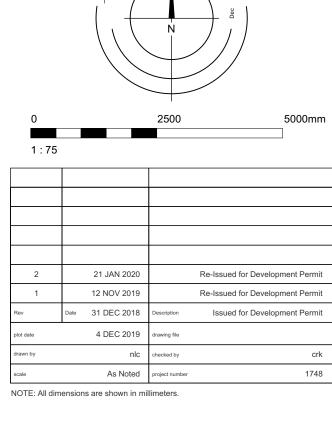
10 Reduce window size

Repaint Herald St. facade as per materials schedule - refer to A401 & A601

Interior stair to continue to roof

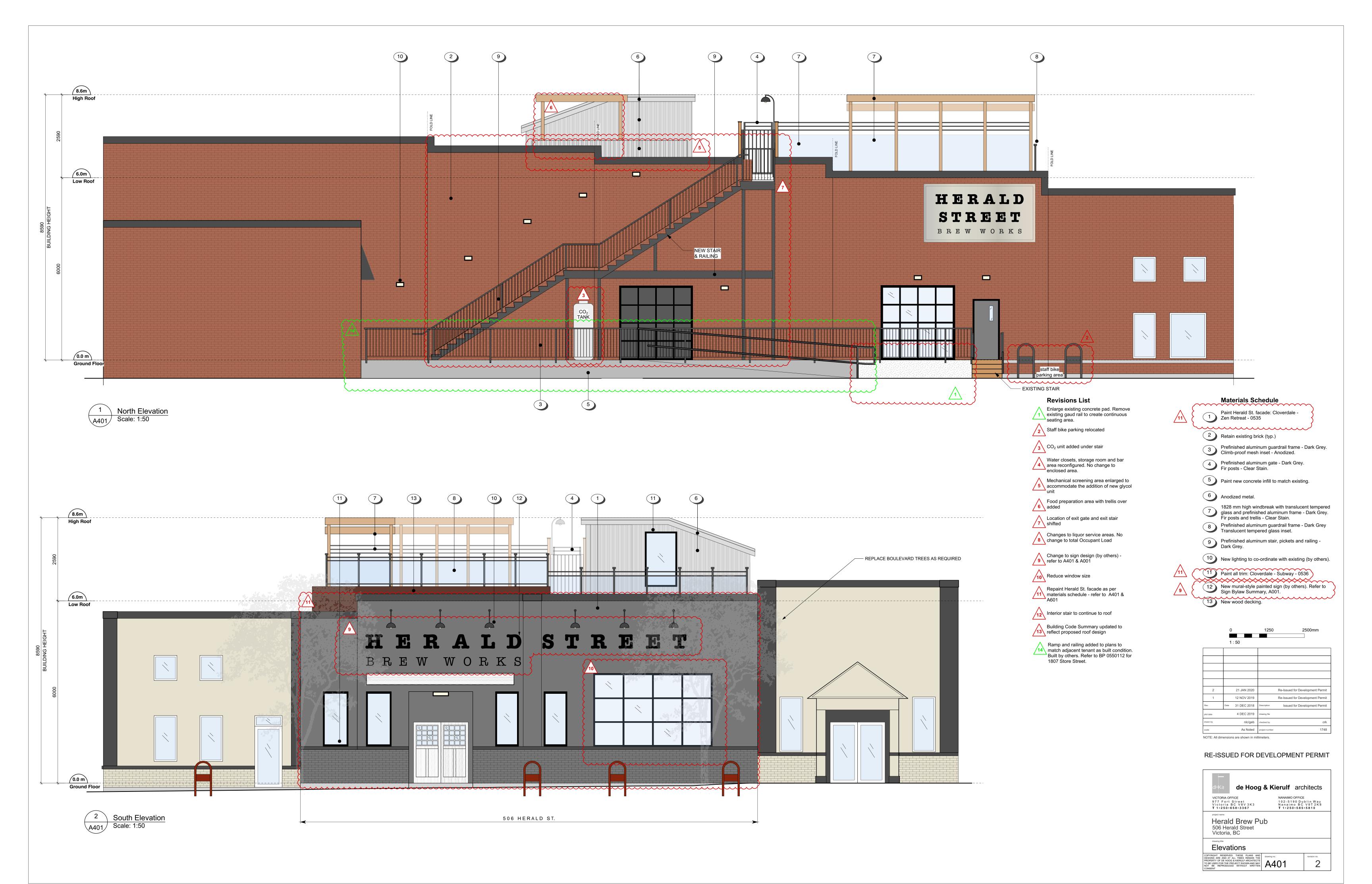
Building Code Summary updated to reflect proposed roof design

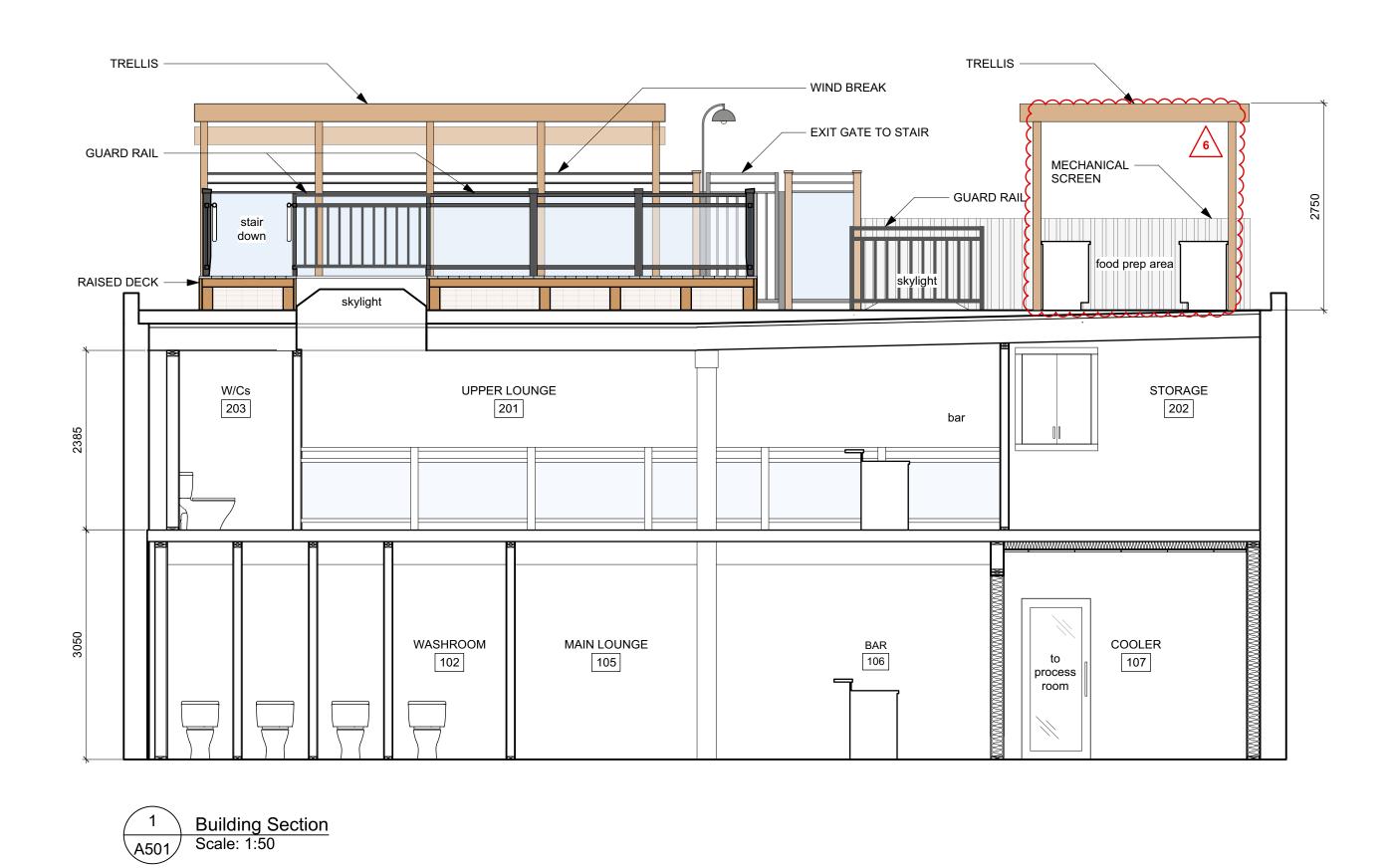
Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for 1807 Store Street.

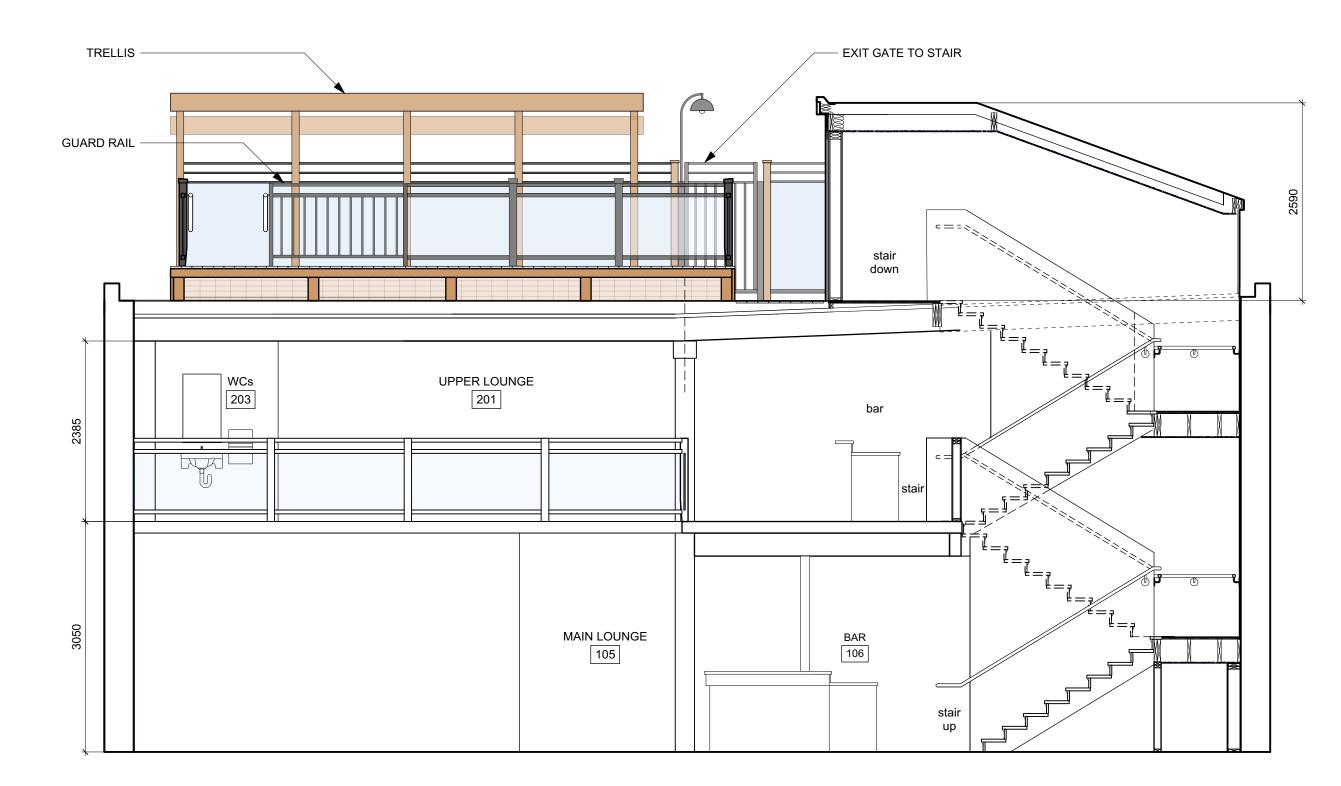




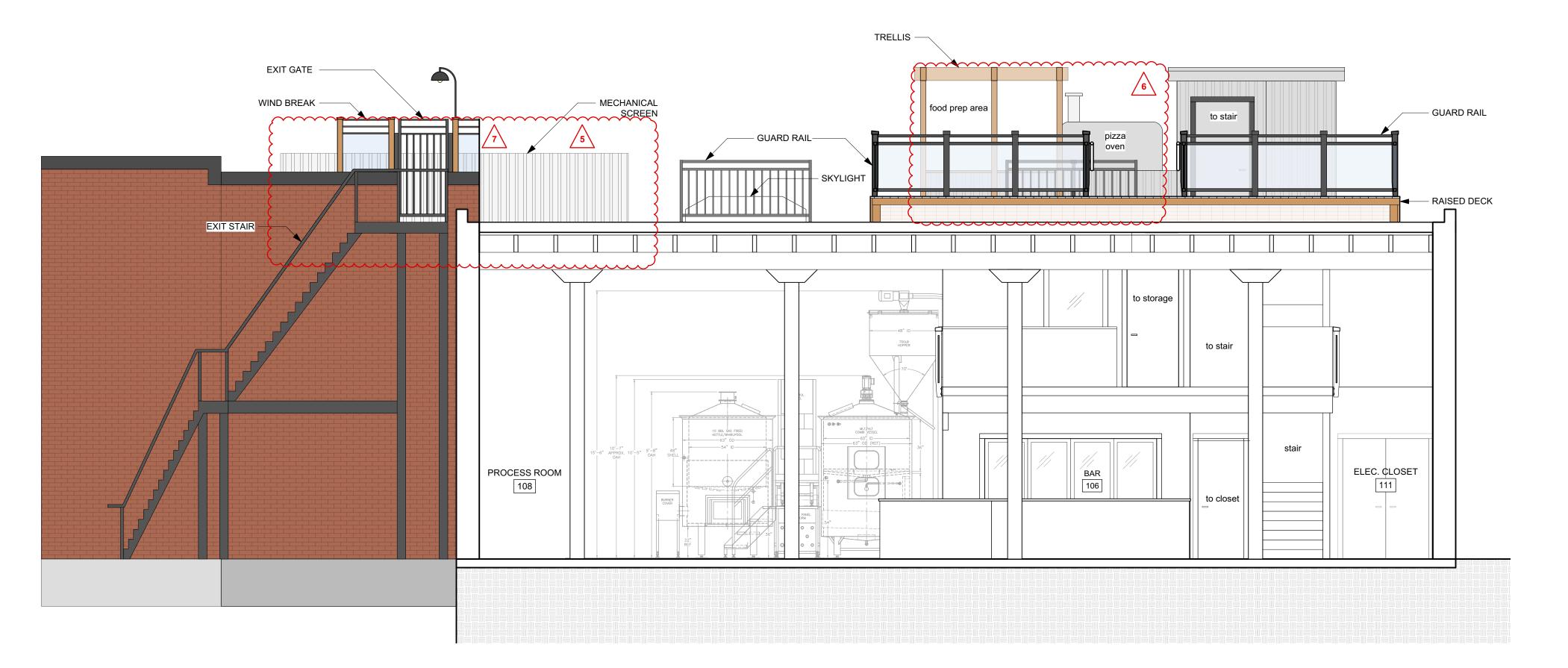








Building Section
A501 Scale: 1:50



Revisions List

Enlarge existing concrete pad. Remove existing gaud rail to create continuous seating area.

Staff bike parking relocated

CO2 unit added under stair

Water closets, storage room and bar area reconfigured. No change to enclosed area.

Mechanical screening area enlarged to accommodate the addition of new glycol unit

Food preparation area with trellis over added

Changes to liquor service areas. No change to total Occupant Load

Change to sign design (by others) - refer to A401 & A001

Reduce window size

Repaint Herald St. facade as per materials schedule - refer to A401 & A601

Interior stair to continue to roof

1807 Store Street.

Building Code Summary updated to reflect proposed roof design

Ramp and railing added to plans to match adjacent tenant as built condition. Built by others. Refer to BP 0550112 for

	1 : 50	
2	21 JAN 2020	Re-Issued for Development Permit
1	12 NOV 2019	Re-Issued for Development Permit
Rev	Date 31 DEC 2018	Description Issued for Development Permit
	4 DEO 0040	

scale As Noted project number

NOTE: All dimensions are shown in millimeters.

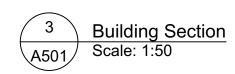
1250

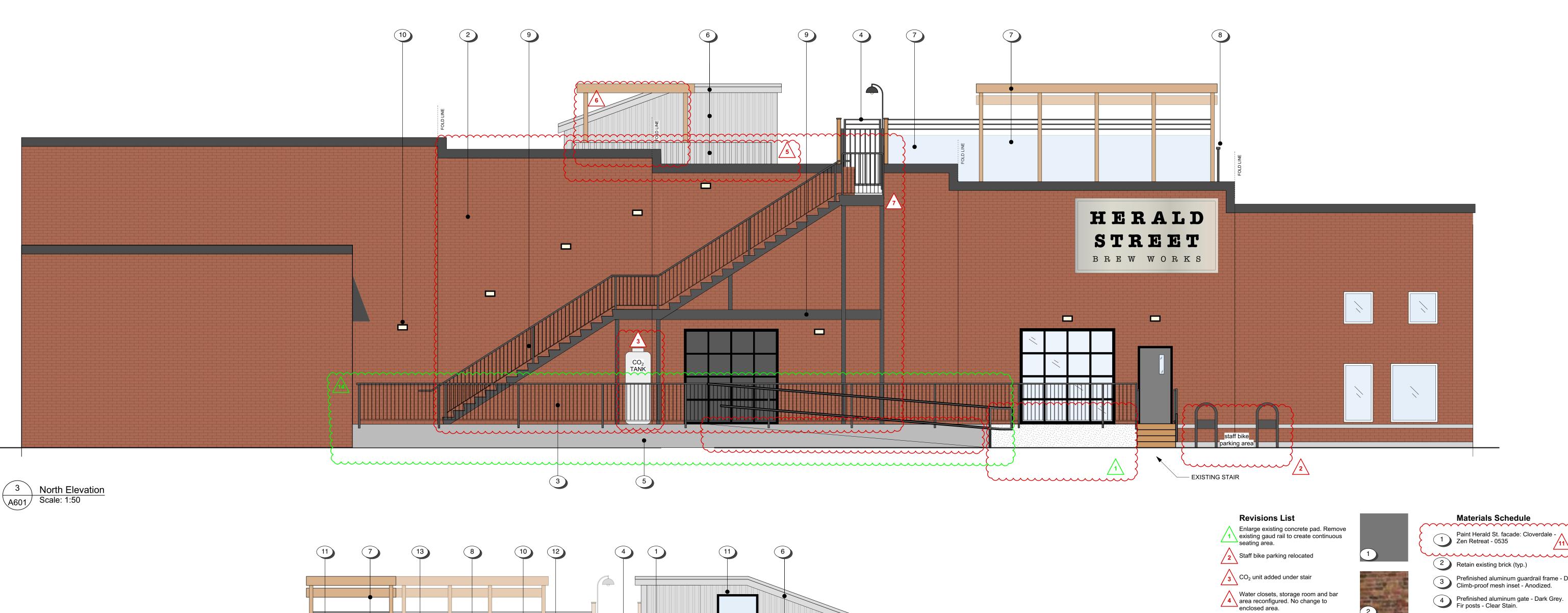
2500mm

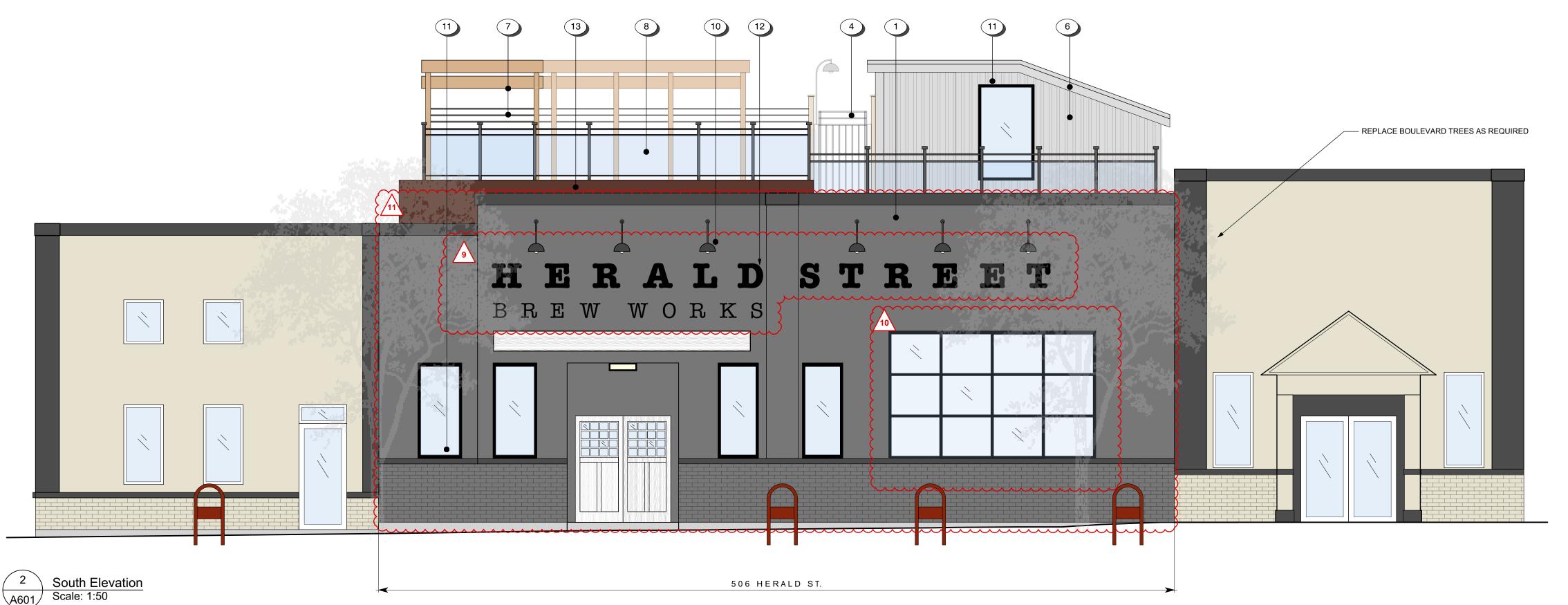
RE-ISSUED FOR DEVELOPMENT PERMIT

4 DEC 2019 drawing file

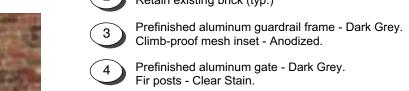
dHKa	de Hoog	& Kierulf	architects		
977 Fort Victoria	VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367		NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810		
Herald Brew Pub 506 Herald Street Victoria, BC					
Section Section	ons				
DESIGNS ARE AND AT PROPERTY OF DE HOO TO BE USED FOR THE I	ED. THESE PLANS AND ALL TIMES REMAIN THE G & KIERULF ARCHITECTS PROJECT SHOWN AND MAY ED WITHOUT WRITTEN	A501	revision no.		



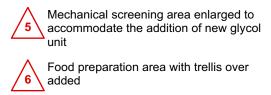








6 Anodized metal.

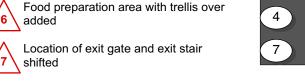


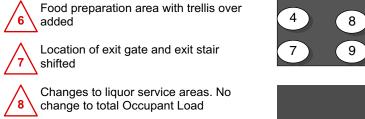
Change to sign design (by others) - refer to A401 & A001

10 Reduce window size

7 shifted



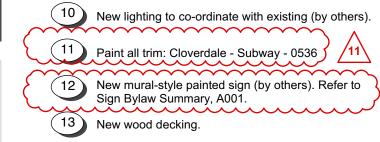




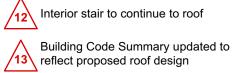




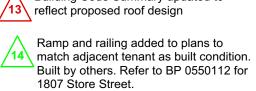




5 Paint new concrete infill to match existing.



Repaint Herald St. facade as per materials schedule - refer to A401 & A601



RE-ISSUED FOR DEVELOPMENT PERMIT

0 1250 2500mm