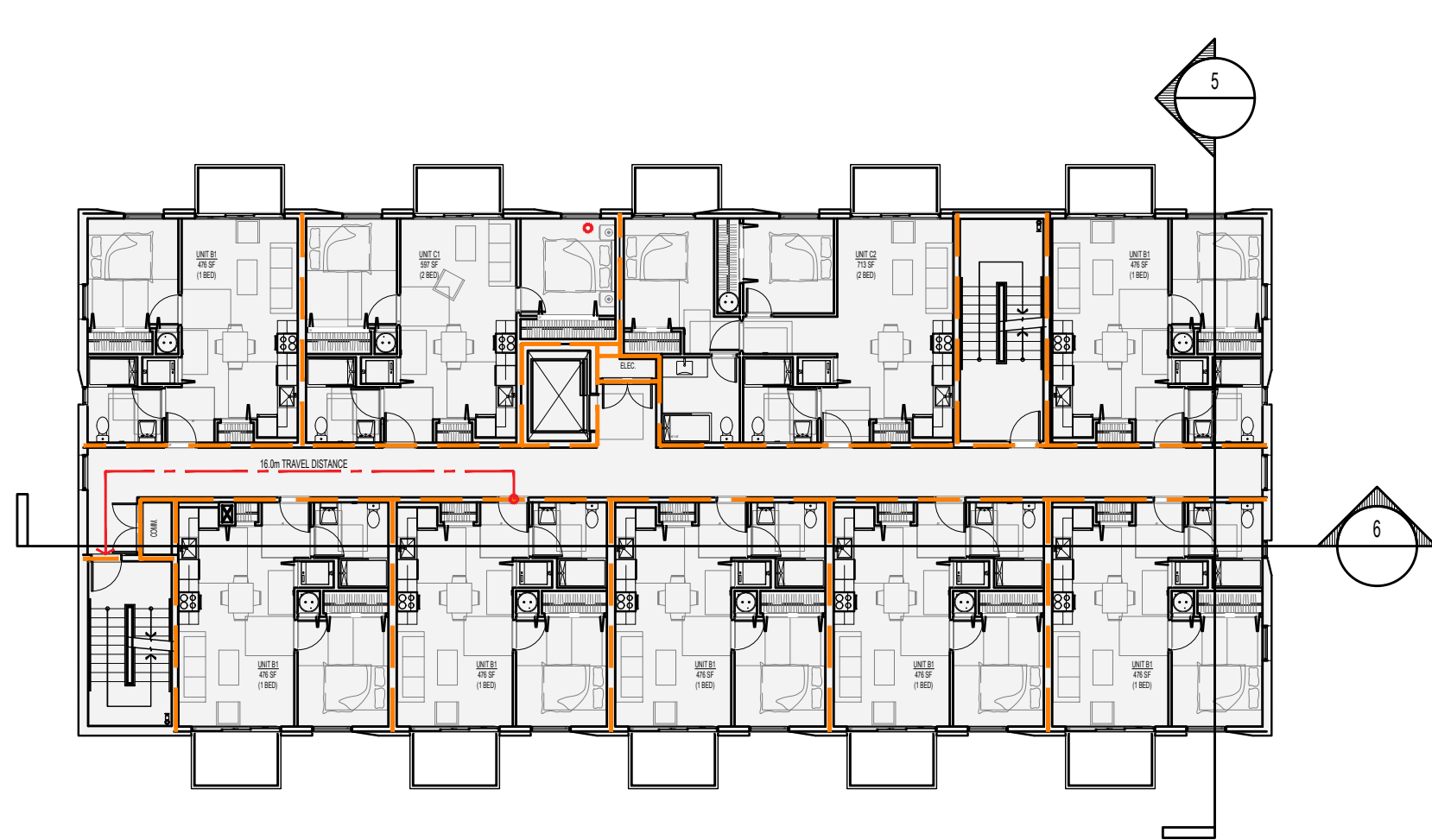


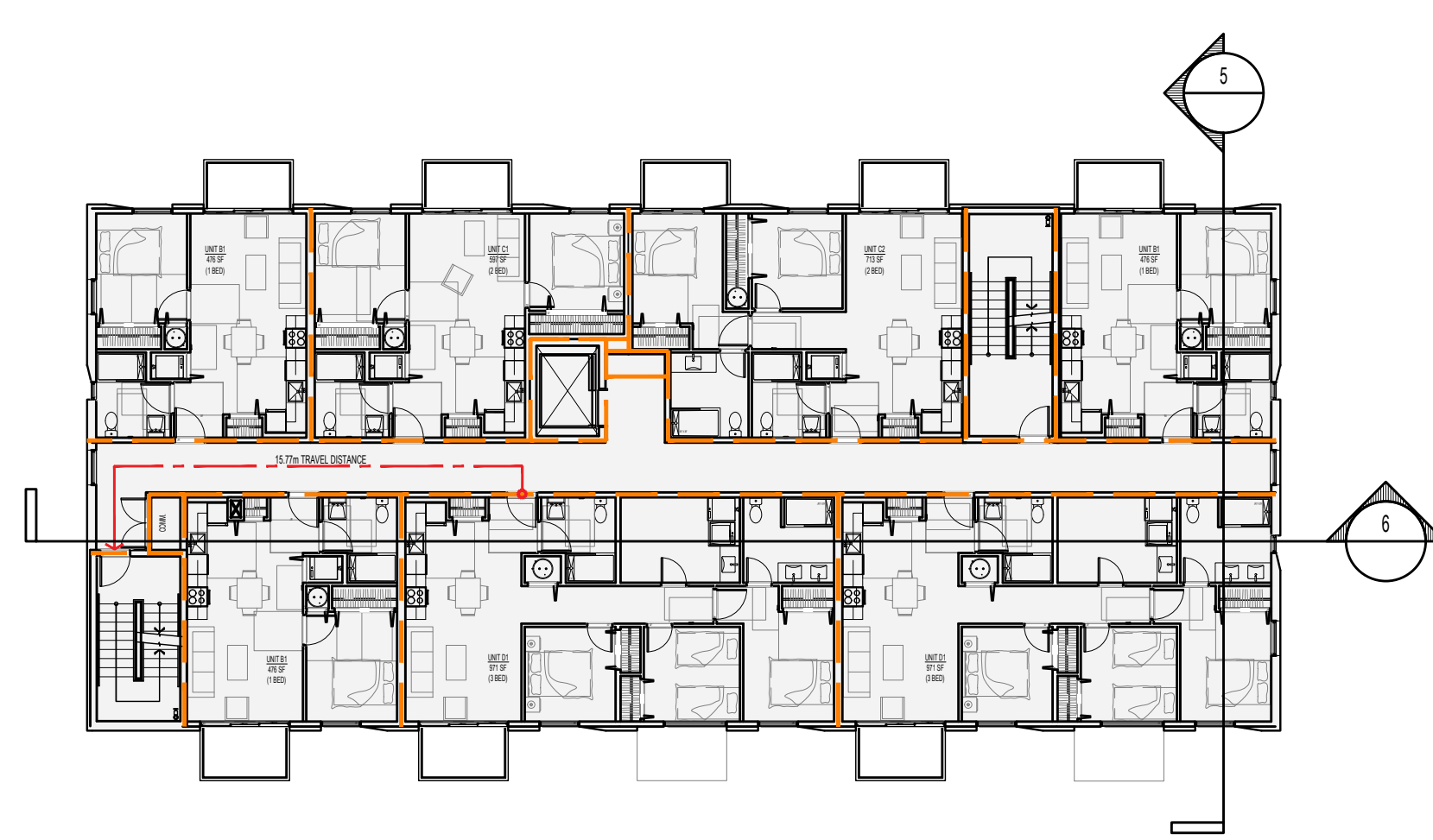
1 LEVEL 1 CODE PLAN

1:200



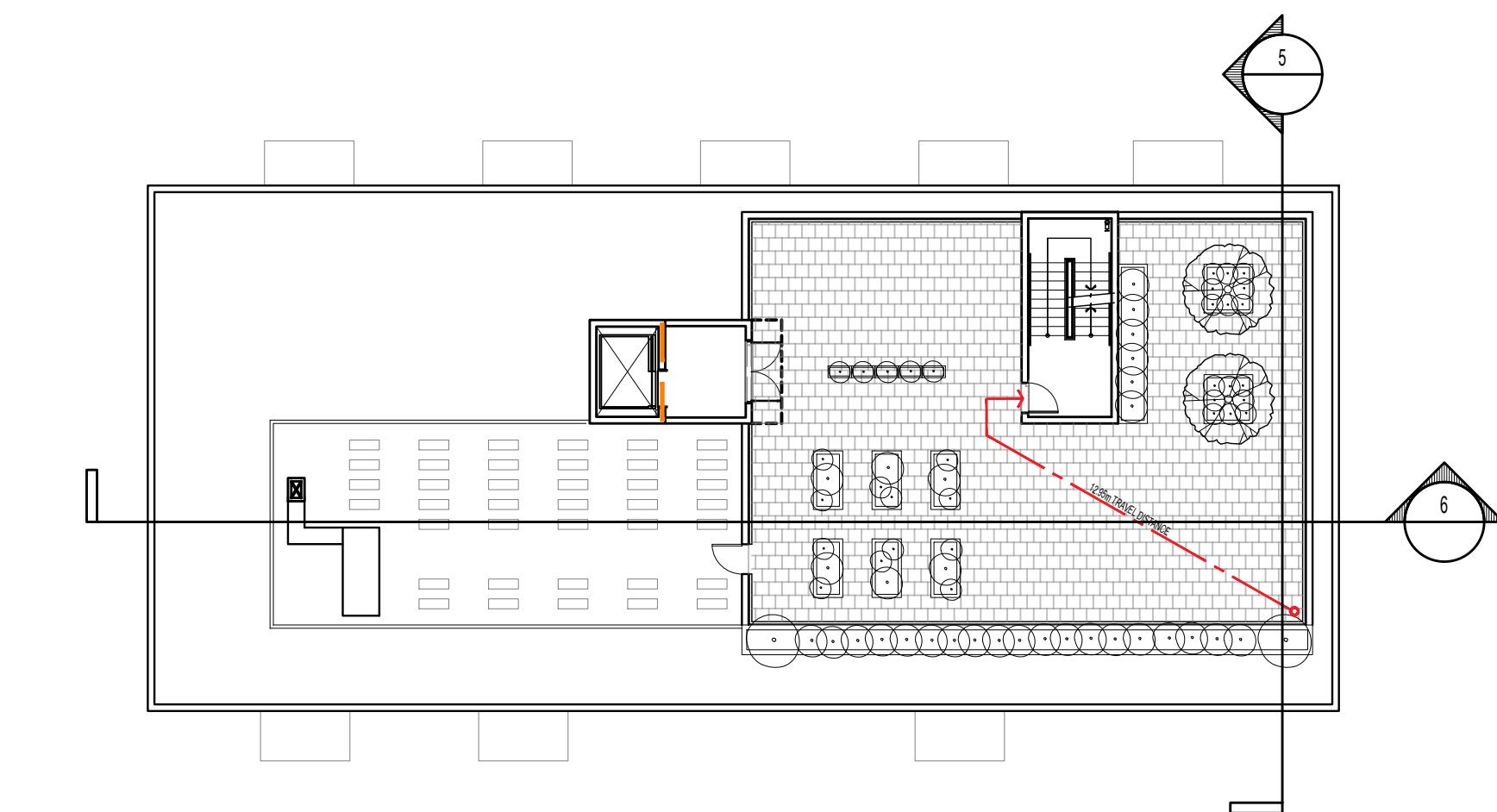
2 LEVEL 2-4 CODE PLAN

1:200



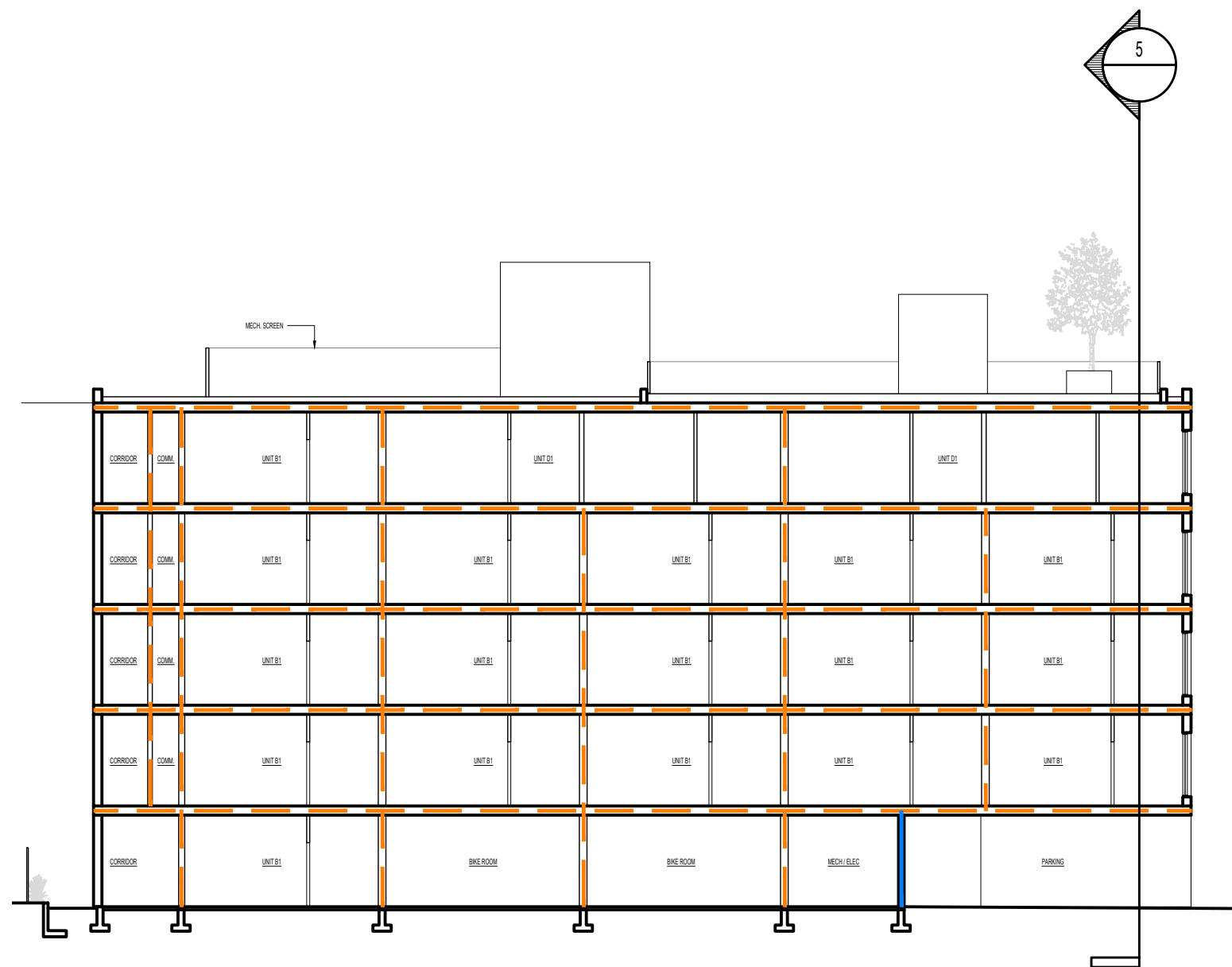
3 LEVEL 5 CODE PLAN

1:200



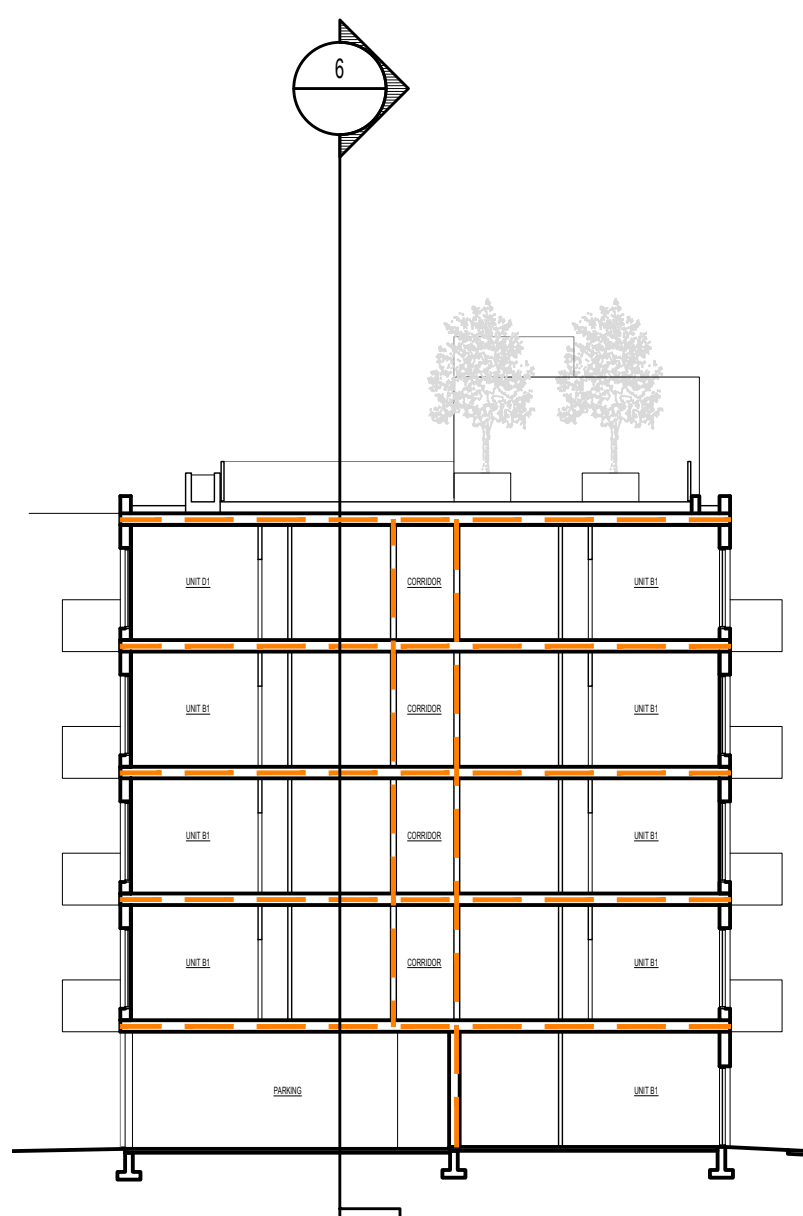
4 ROOF LEVEL CODE PLAN

1:200



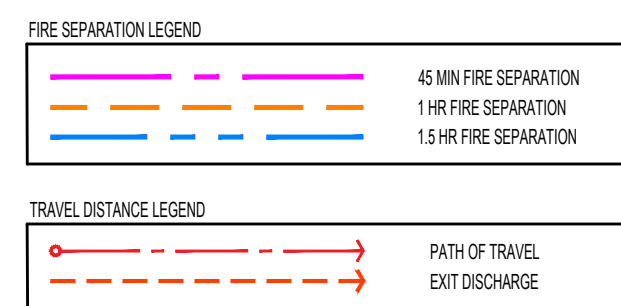
6 CODE SECTION

1:200



5 CODE SECTION

1:200



CODE ANALYSIS BC BUILDING CODE 2024

PR. #: 2304

DATE: 27-Jan-25

PROJECT DESCRIPTION

5-STORY BUILDING OF WOOD FRAME COMBUSTIBLE CONSTRUCTION

TYPE OF WORK	NEW CONSTRUCTION
BASIS FOR CODE ANALYSIS	PART 3 PER 1.3.3.2.(1)(c)(ii)

BUILDING SIZE AND CONSTRUCTION

GOVERNING ARTICLE	3.2.2.51	PER 3.2.2.51.(d)(vii)
MAJOR OCCUPANCIES	GROUP C	
OCCUPANT LOAD	102	PER 3.1.17.1.(1)(b)
BUILDING AREA	589.2	m ²
BUILDING HEIGHT (STOREYS)	6	
SPRINKLERED	YES	NFPA 13 - PER 3.2.2.51.(1)(a) & 3.2.5.12.(1)
FIRE ALARM	YES	PER 3.2.4.1.(1)
PARKING STRUCTURES CONSIDERED AS SEPARATE BUILDINGS:	NO	
TYPE OF CONSTRUCTION PERMITTED	COMBUSTIBLE OR NONCOMBUSTIBLE	

OTHER SAFETY REQUIREMENTS

STANDPIPE & HOSE SYSTEM	YES	(REQUIRED PER 3.2.5.8.(1)(a))
LIMITING DISTANCE	UNPROTECTED OPENINGS ARE IN COMPLIANCE. SEE SHEET A004	
FIREFIGHTING ACCESS ROUTES	COMPLIANT PER BCBC 3.2.5.5	
STORAGE ROOM SPRINKLERS	YES	PER 3.3.4.3.(1)

REQUIRED FIRE SEPARATION / FIRE-RESISTANCE RATINGS

FRR BETWEEN SUITES	1 HR	PER 3.3.1.1.(1)
FRR BETWEEN COMMERCIAL AND RESIDENTIAL	NA	PER 3.1.3.1.(1)
FRR OF FLOOR ASSEMBLIES	1 HR	PER 3.2.2.51.(2)(a)
FRR OF ROOF ASSEMBLIES	1 HR	PER 3.2.2.51.(2)(b)
FRR BTW BIKE ROOM AND REMAINDER OF BUILDING	1 HR	PER 3.3.4.3.(2)
FRR BTW STORAGE ROOM AND RESIDENTIAL	NA	PER 3.3.4.3.(2)
FRR BTW ELECTRICAL ROOM AND REMAINDER OF BUILDING	1 HR	PER 3.6.2.1.(6)
FRR BTW GARBAGE ROOM AND REMAINDER OF BUILDING	1HR	PER 3.6.2.5

ACCESSIBILITY REQUIREMENTS

REQUIREMENTS FOR PERSON WITH DISABILITIES	N/A	PER 3.8.2.1.(1)(b) AND
ACCESSIBLE DESIGN REQUIREMENTS	N/A	PER 3.8.3
REQUIREMENTS FOR ADAPTABLE DWELLING UNITS	YES	PER 3.8.5.1
ADAPTABLE DWELLING UNIT AND BUILDING ACCESS REQUIREMENTS	YES	PER 3.8.5

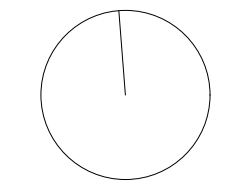
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2025-01-27

NORTH ARROW



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- MAX. TRAVEL DISTANCE IS 6m. SEE BCBC 3.4.2.5
- THE MINIMUM DISTANCE BETWEEN EXITS SHOULD BE 9m. SEE BCBC 3.4.2.3

OWNER/CLIENT: LIDA HOMES INC.
250-440-5432
6105 PATRICIA BAY HWY
VICTORIA, BC V8Y 1T5

01	ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/2025
NO.	REVISION	MDY

PROJECT NAME

**1551 & 1545 BAY ST
VICTORIA, BC**

PROJECT ADDRESS:

1551 & 1545 BAY ST
VICTORIA, BC V8R 2B3

CHA
COLIN HARPER ARCHITECT

501 Foul Bay Road, Victoria, BC, V8S 4G9
778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE:

CODE COMPLIANCE

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	AS NOTED	REVIEW BY:	CH

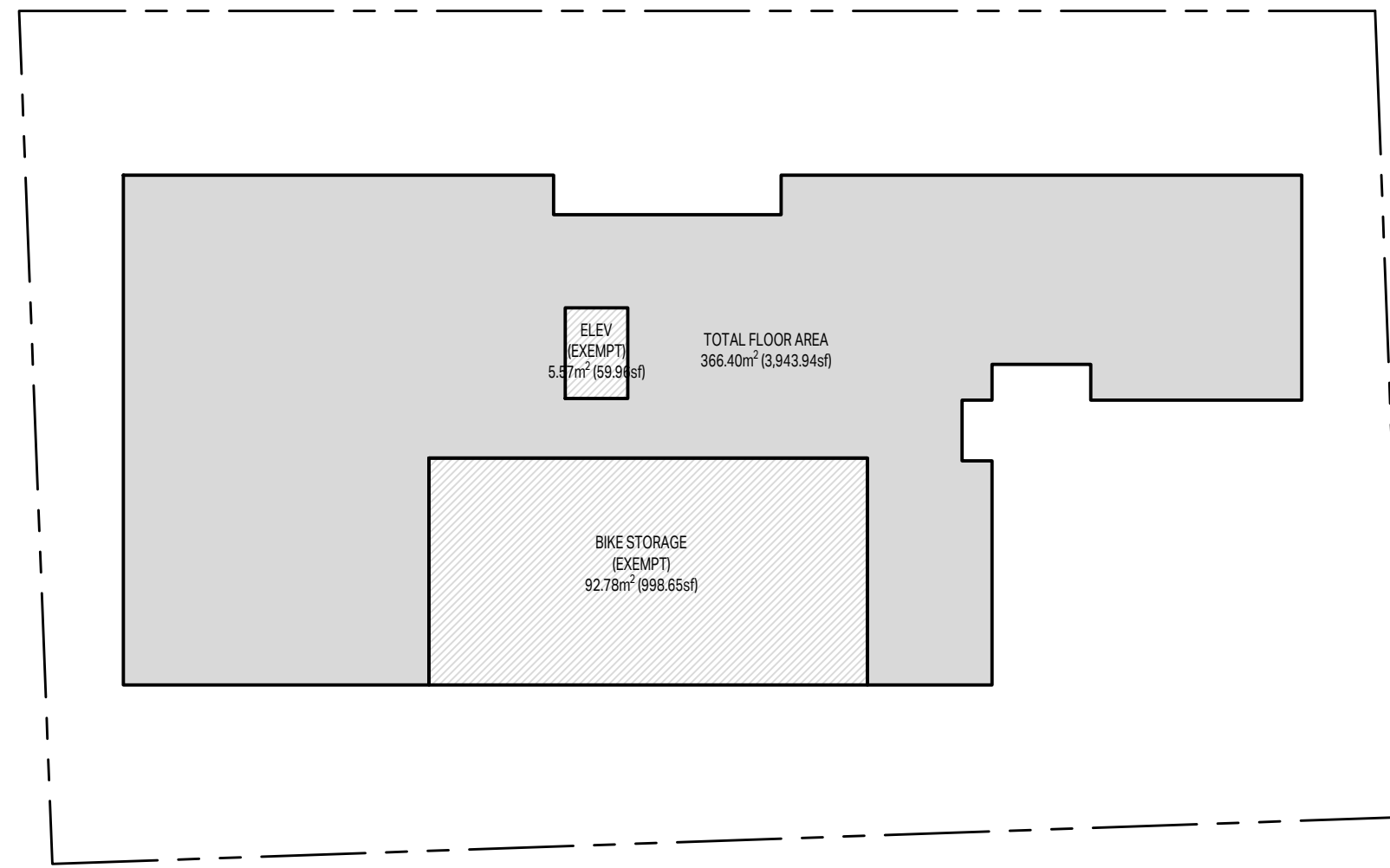
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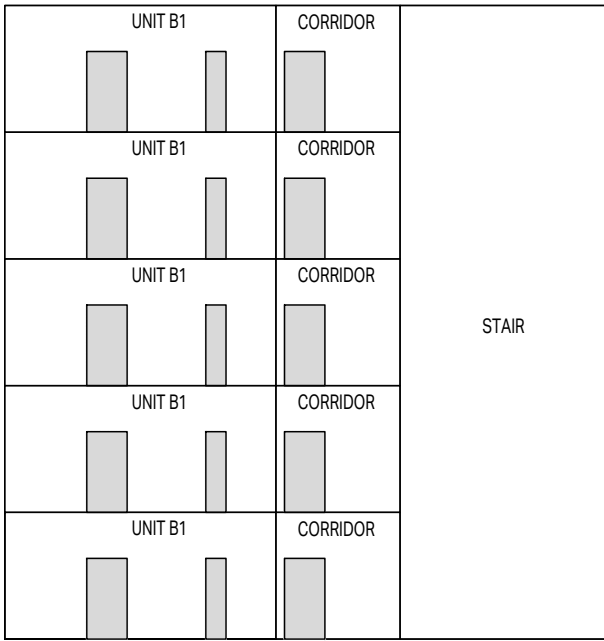
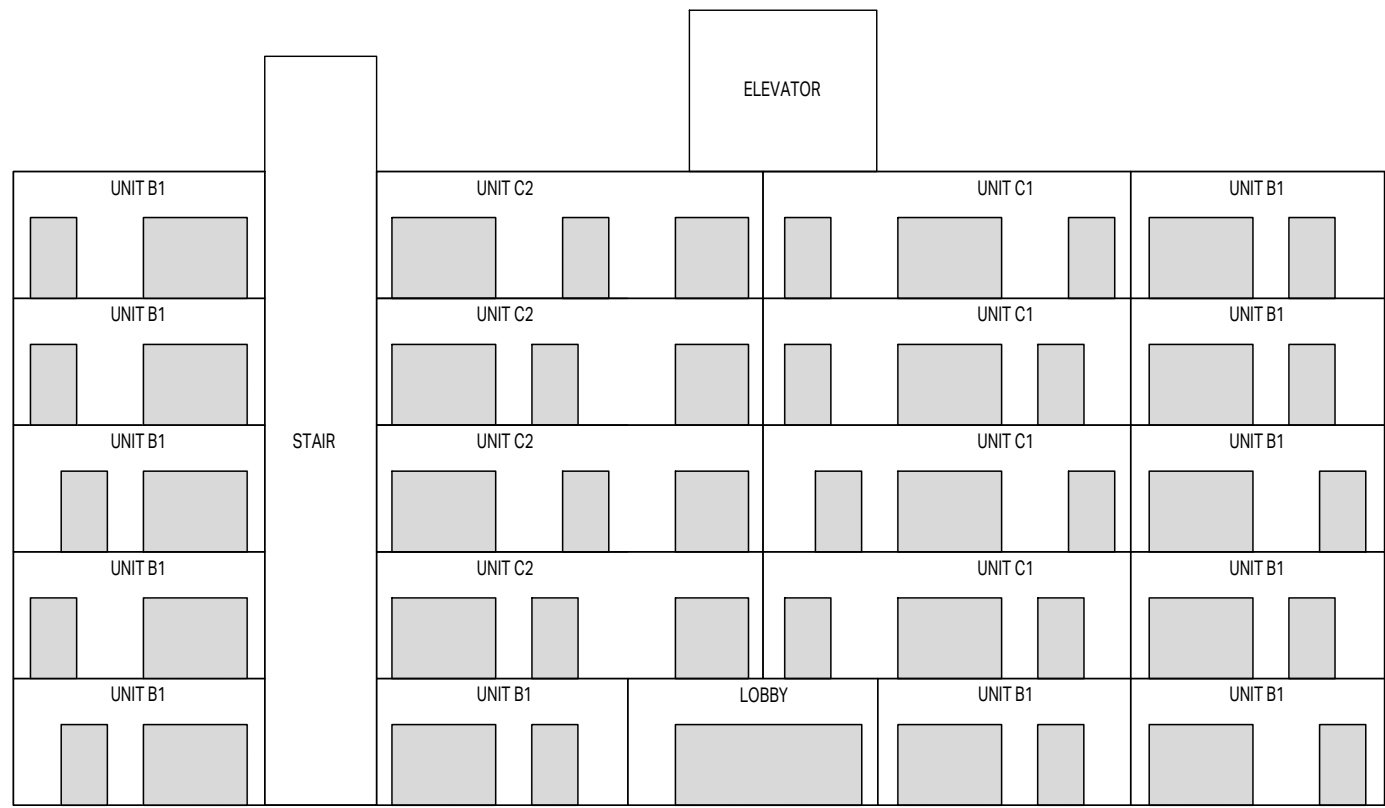


GRADE POINTS (m)			LENGTH (m)	GRADE CALCS	
A	20.00	B 20.33	36.39	$(20 + 20.33) \div 2 \times 36.39m =$	733.80
B	20.33	C 20.24	16.13	$(20.33 + 20.24) \div 2 \times 16.13m =$	327.20
C	20.24	D 20.24	36.39	$(20.24 + 20.24) \div 2 \times 36.39m =$	736.53
D	20.24	A 20.00	16.13	$(20.24 + 20) \div 2 \times 16.13m =$	324.54
TOTALS			105.04		2122.07
AVERAGE GRADE					20.20

Grade Points	Existing	Proposed	Grade
Point A	20.00	20.39	20.00
Point B	20.33	20.33	20.33
Point C	20.24	20.24	20.24
Point D	20.24	20.24	20.24

CHA





UNIT B1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 22.4m² (241.6sq ft)
LIMITING DISTANCE: 14.79m (48.5ft)
ALLOWABLE OPENINGS: 100% (22.4m² [241.6sq ft])
PROPOSED OPENINGS: 34.7% (7.8m² [84.0sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

UNIT C1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 32.6m² (350.9sq ft)
LIMITING DISTANCE: 14.79m (48.5ft)
ALLOWABLE OPENINGS: 100% (32.6m² [350.9sq ft])
PROPOSED OPENINGS: 34.0% (11.1m² [119.0sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

UNIT C2
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 34.3m² (368.9sq ft)
LIMITING DISTANCE: 14.79m (48.5ft)
ALLOWABLE OPENINGS: 100% (34.3m² [368.9sq ft])
PROPOSED OPENINGS: 36.7% (12.6m² [135.3sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

LOBBY
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 22.16m² (238.6sq ft)
LIMITING DISTANCE: 14.79m (48.5ft)
ALLOWABLE OPENINGS: 100% (22.16m² [238.6sq ft])
PROPOSED OPENINGS: 47.4% (10.51m² [113.2sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

UNIT B1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 24.1m² (258.9sq ft)
LIMITING DISTANCE: 2.0m (6.5ft)
ALLOWABLE OPENINGS: 26.8% (6.4m² [69.3sq ft])
PROPOSED OPENINGS: 14.1% (3.4m² [36.7sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: NONCOMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

CORRIDOR
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 11.0m² (118.59sq ft)
LIMITING DISTANCE: 2.0m (6.5ft)
ALLOWABLE OPENINGS: 40.4% (4.4m² [47.8sq ft])
PROPOSED OPENINGS: 20.6% (2.27m² [24.5sq ft])

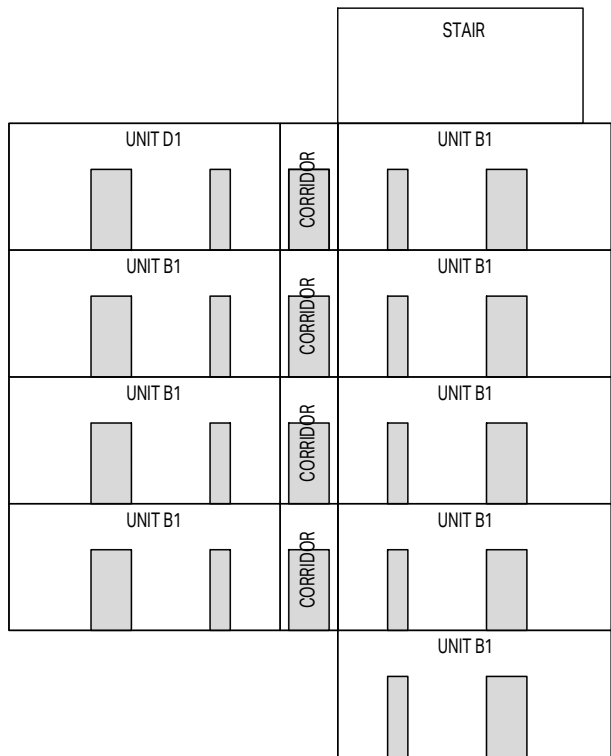
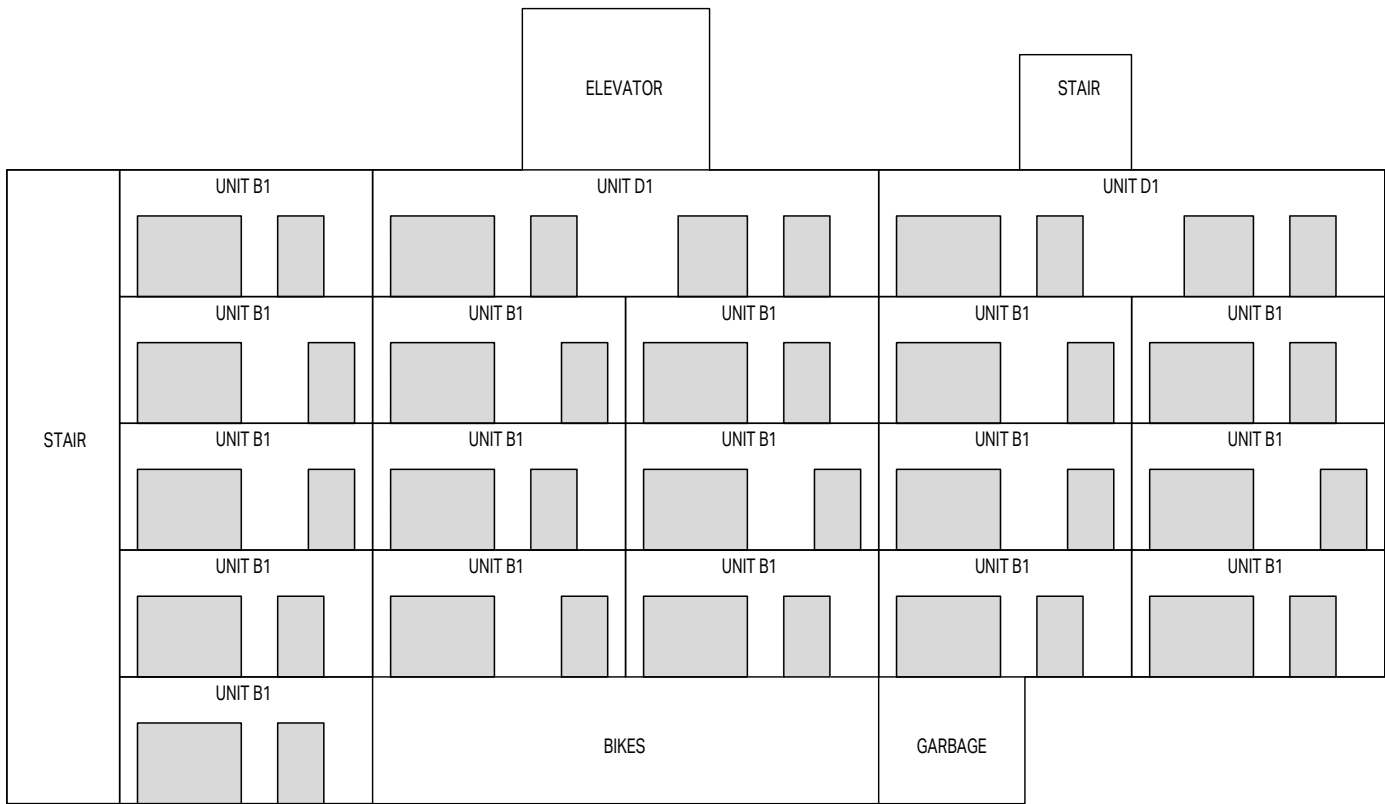
FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: NONCOMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

1 NORTH ELEVATION

1:200

2 EAST ELEVATION

1:200



UNIT B1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 22.4m² (241.6sq ft)
LIMITING DISTANCE: 3.43m (11.25ft)
ALLOWABLE OPENINGS: 72.9% (16.3m² [175.9sq ft])
PROPOSED OPENINGS: 37.7% (8.45m² [91.0sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

UNIT D1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 44.9m² (483.2sq ft)
LIMITING DISTANCE: 3.43m (11.25ft)
ALLOWABLE OPENINGS: 47.5% (21.3m² [229.7sq ft])
PROPOSED OPENINGS: 33.3% (14.96m² [161.0sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: 45 MIN.
CLADDING PER 3.2.3.7: NONCOMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

UNIT B1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 24.1m² (258.9sq ft)
LIMITING DISTANCE: 11.3m (37.0ft)
ALLOWABLE OPENINGS: 100% (24.1m² [258.9sq ft])
PROPOSED OPENINGS: 14.1% (3.4m² [36.7sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: N/A
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

UNIT D1
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 24.1m² (258.9sq ft)
LIMITING DISTANCE: 11.3m (37.0ft)
ALLOWABLE OPENINGS: 100% (24.1m² [258.9sq ft])
PROPOSED OPENINGS: 14.1% (3.4m² [36.7sq ft])

FIRE RESISTANCE RATING PER 3.2.3.7: N/A
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

CORRIDOR
SPATIAL SEPARATION CALCULATION
BCBC 2024 PART 3 TABLE 3.2.3.1-D

AREA OF EXPOSED BUILDING FACE: 5.1m² (55.0sq ft)
LIMITING DISTANCE: 11.3m (37.0ft)
ALLOWABLE OPENINGS: 100% (5.1m² [55.0sq ft])
PROPOSED OPENINGS: 44.5% (2.27m² [24.5sq ft])

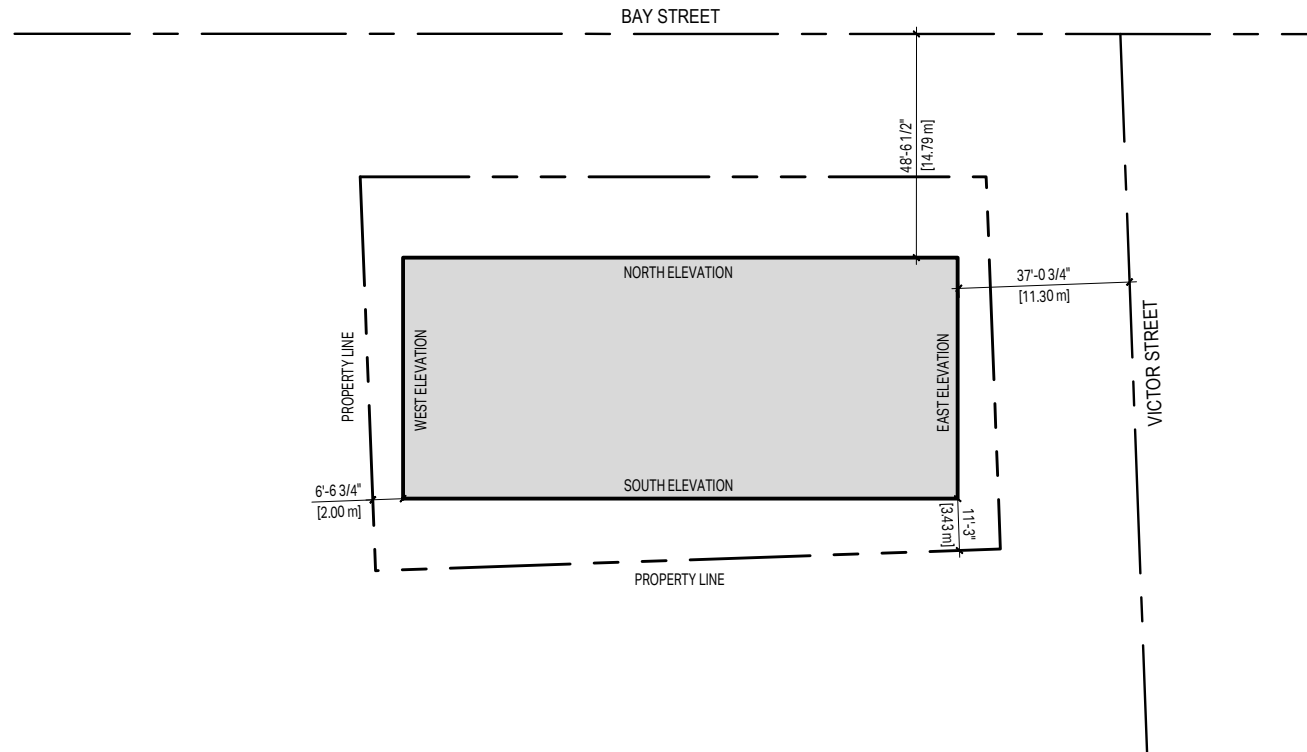
FIRE RESISTANCE RATING PER 3.2.3.7: N/A
CLADDING PER 3.2.3.7: COMBUSTIBLE
CONSTRUCTION PER 3.2.3.7: COMBUSTIBLE

3 SOUTH ELEVATION

1:200

4 WEST ELEVATION

1:200



5 LIMITING DISTANCE KEY PLAN

1:500

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2025-01-27

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OWNER/CLIENT: LIDA HOMES INC.
250-440-5432
6106 PATRICIA BAY HWY
VICTORIA, BC V8Y 1T5

NO.	REVISION	MDY
01	ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/2025

PROJECT NAME

1551 & 1545 BAY ST
VICTORIA, BC

PROJECT ADDRESS:

1551 & 1545 BAY ST
VICTORIA, BC V8R 2B3

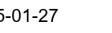
DRAWING TITLE:

SPATIAL SEPARATION

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	AS NOTED	REVIEW BY:	CH

DRAWING NO: A004

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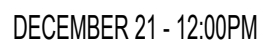
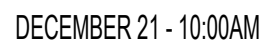
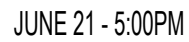
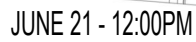
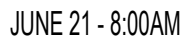
[illegible]PROJECT NAME

PROJECT ADDRESS:

COLIN HARPER ARCHITECT

DRAWING TITLE:

DRAWING NO: A005



NA

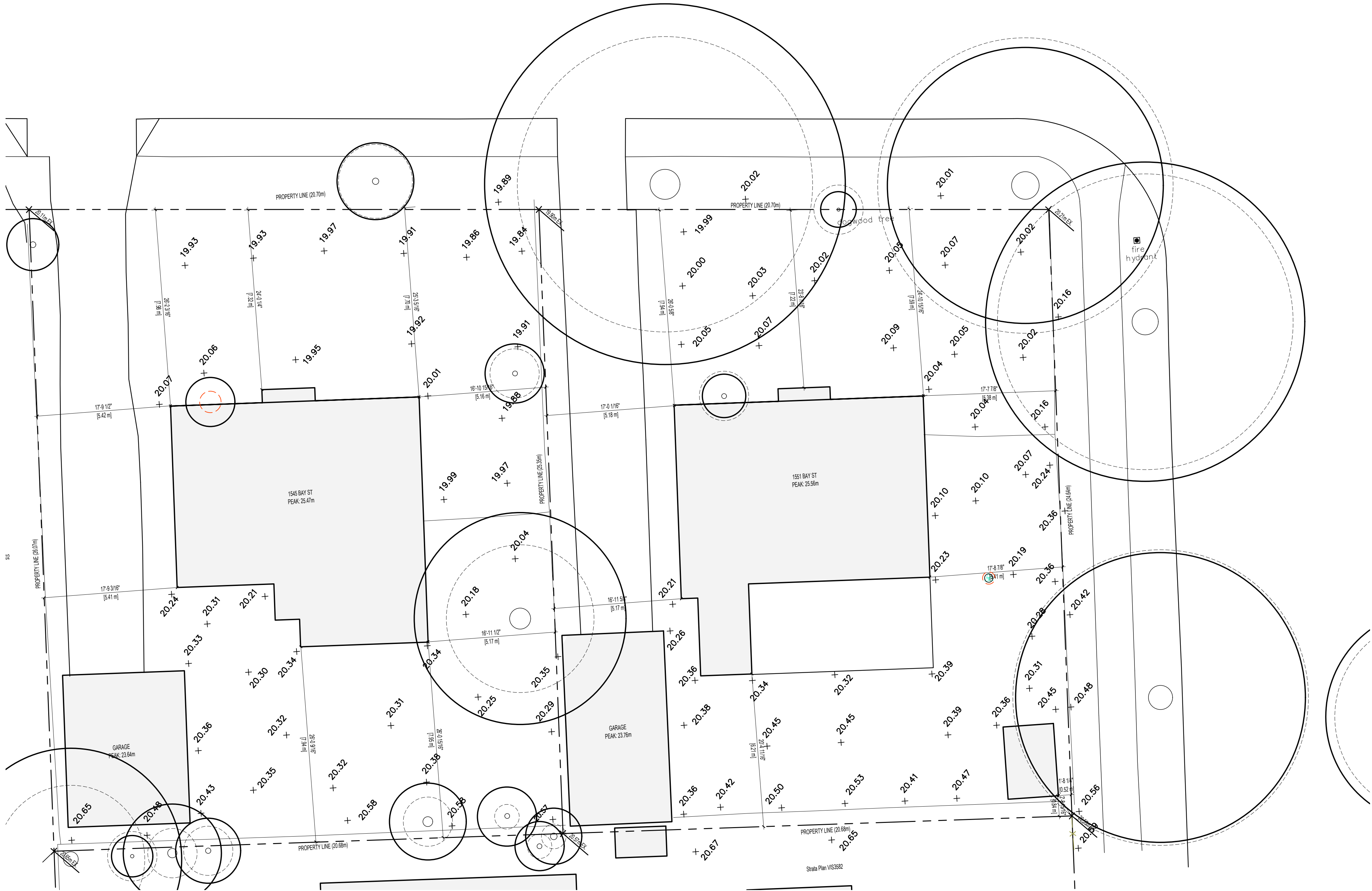


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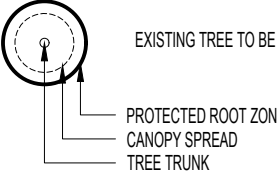


1 EXISTING SITE PLAN

1:100



TREE LEGEND



NOTE: SEE ARBORIST REPORT AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION ON CRZ AND RETENTION MEASURES.

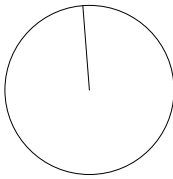
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2025-01-27

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OWNER/CLIENT: LIDA HOMES INC.
250-440-5432
6105 PATRICIA BAY HWY
VICTORIA, BC V8Y 1T5

01	ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/2025
NO.	REVISION	MDY

PROJECT NAME

**1551 & 1545 BAY ST
VICTORIA, BC**

PROJECT ADDRESS:

1551 & 1545 BAY ST
VICTORIA, BC V8R 2B3



COLIN HARPER ARCHITECT

501 Foul Bay Road, Victoria, BC, V8S 4G9
778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE:

EXISTING SITE PLAN

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: A101

PROJECT INFORMATION TABLE - 1551 & 1545 BAY STREET

PR: # 2403
DATE: 24-Jan-25

PROPERTY INFORMATION

PROJECT ADDRESS
LEGAL DESCRIPTION
CURRENT ZONING
DEVELOPMENT PERMIT AREA
OCP DESIGNATION

1551 & 1545 BAY STREET
LOT 5, SECTION 75, VICTORIA DISTRICT, PLAN 7812
P-2 TWO SINGLE FAMILY DWELLINGS DISTRICT
DPA 6A-GENERAL URBAN RESIDENTIAL
HOUSING OPPORTUNITY URBAN PLACE

BUILDING/SITE DATA

SITE AREA
TOTAL FLOOR AREA (CITY OF VICTORIA DEF.)
GROSS FLOOR AREA
SALEABLE FLOOR AREA
EFFICIENCY (SALEABLE/GFA)
FLOOR SPACE RATIO
SITE COVERAGE %
OPEN SITE SPACE %
HEIGHT OF BUILDING
NUMBER OF STOREYS

PROPOSED (PRE-ROAD DEDICATION)		PROPOSED (POST-ROAD DEDICATION)	
1,048.80	m ²	11,287	sq. ft.
2,803.03	m ²	28,019	sq. ft.
2,878.77	m ²	30,987	sq. ft.
2,167.11	m ²	23,327	sq. ft.
75%			
2.5			
60%		2.9	
42%		69%	
20.61	m	67.6	ft.
5		33%	

BUILDING SETBACKS

FRONT YARD (VICTOR ST)
EXTERIOR SIDE YARD (BAY ST)
REAR YARD (WEST)
INTERIOR SIDE YARD (SOUTH)

PROPOSED (PRE-ROAD DEDICATION)		PROPOSED (POST-ROAD DEDICATION)	
2.27	m	7.4	ft.
4.86	m	15.9	ft.
2.22	m	7.3	ft.
3.95	m	13.0	ft.

UNIT INFO (CITY OF VICTORIA DEF.)

UNIT NAME

B1
C1
C2
D1
TOTAL

UNIT TYPE

1 BEDROOM
2 BEDROOM
2 BEDROOM
3 BEDROOM

AREA

44.22
55.46
66.24
90.21

COUNT

29
4
4
2

RATIO

74.36%
10.26%
10.26%
5.13%

TOTAL AREA

1,282
222
265
180

sq. ft.

13,804.0
2,388.0
2,852.0
1,942.0

sq. ft.

20,896.0

PARKING DATA

VEHICLE PARKING

NON-VISITOR

VAN ACCESS (INCLUDED IN TOTAL)
ACCESSIBLE (INCLUDED IN TOTAL)

VISITOR

BIKE PARKING (LONG TERM)
BIKE PARKING (SHORT TERM)

REQUIRED

1.3
0.9
0.75

PROPOSED

3
7
22

VARIANCE

1
1
1

TOTAL

32
4

PER UNIT

2
0

PER UNIT

13
29
49

PER BUILDING

6
N/A
N/A

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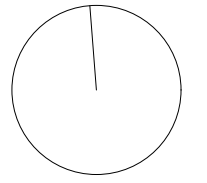
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NORTH ARROW



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[illegible]

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NO.	REVISION	M/D/Y

PROJECT NAME	
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1551 & 1545 BAY ST
VICTORIA, BC

PROJECT ADDRESS:

1551 & 1545 BAY ST
VICTORIA, BC V8R 2B3



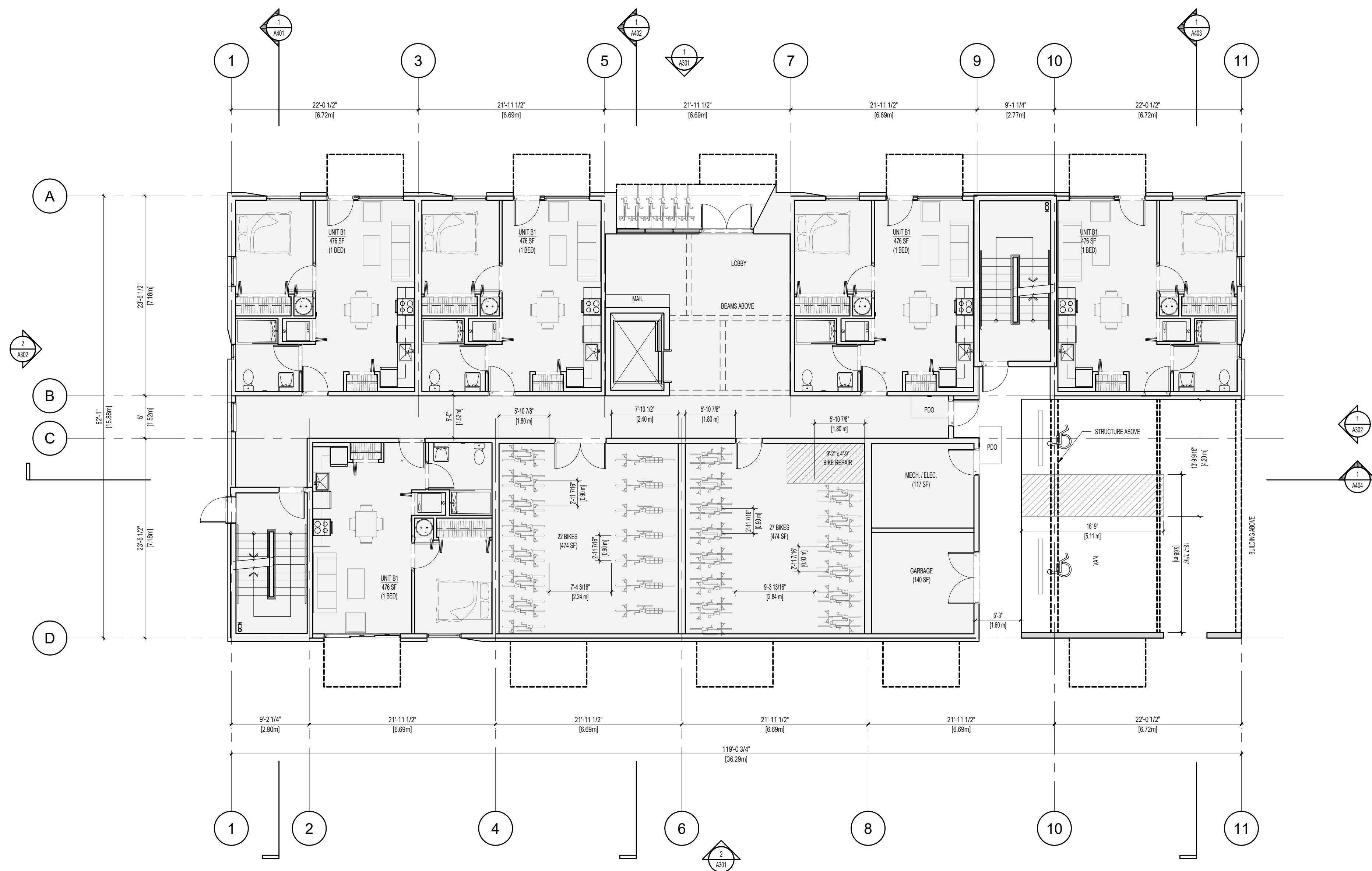
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778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE

LEVEL 1 PLAN

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: A201



2025-01-27

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LEVEL 2-4 PLAN

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

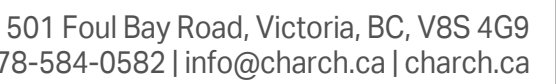
DRAWING NO: A202



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LEVEL 5 PLAN

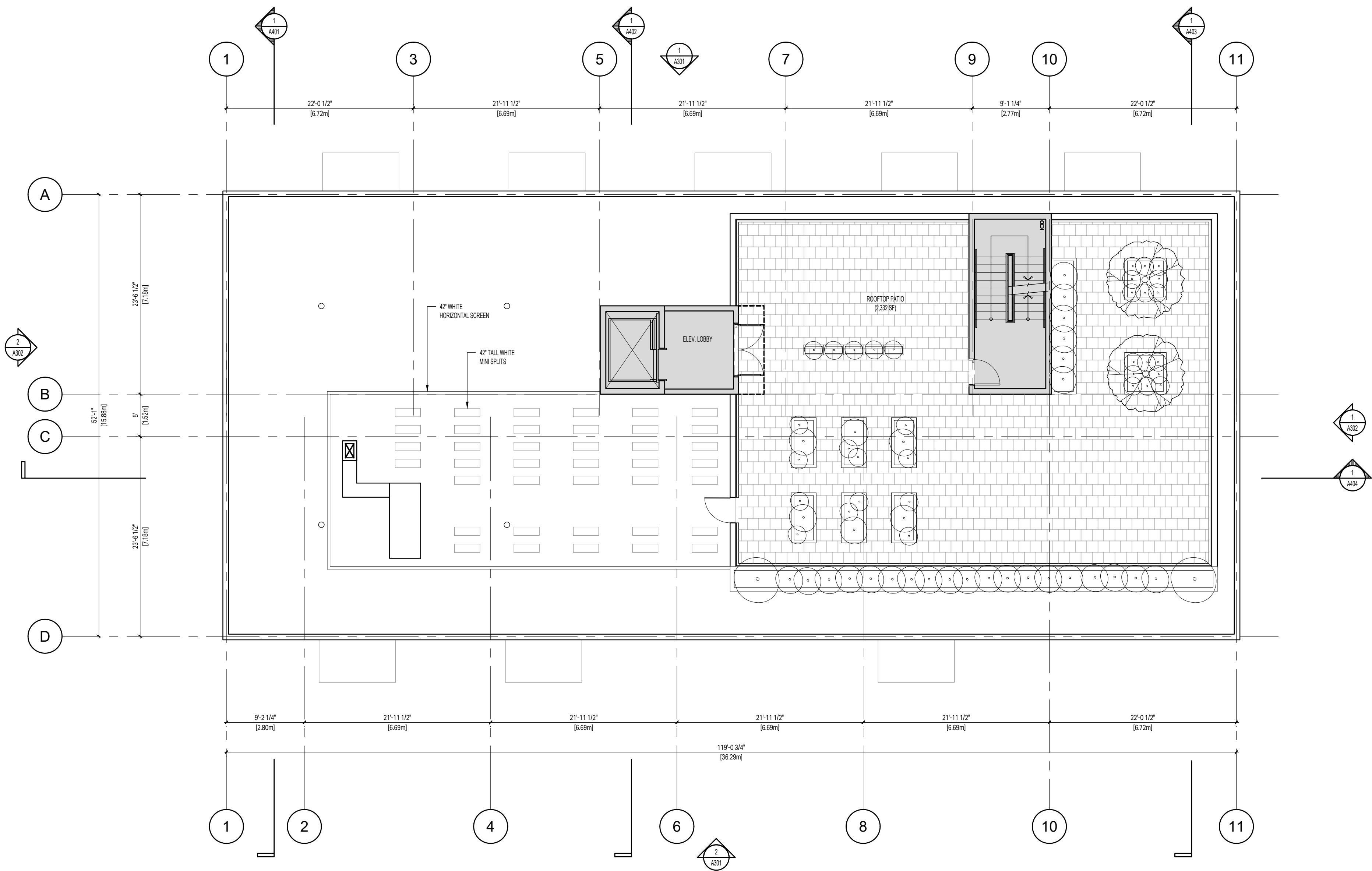
WING NO: A203



1:100

1 ROOF PLAN

1:100



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PROJECT ADDRESS:
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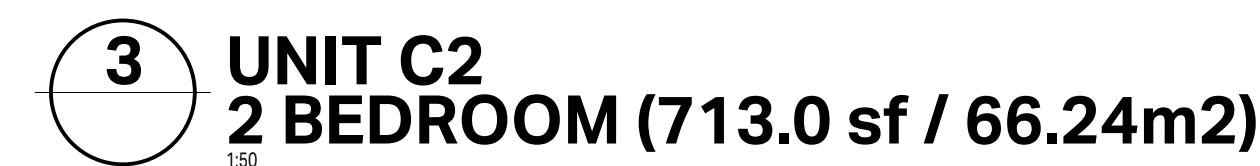
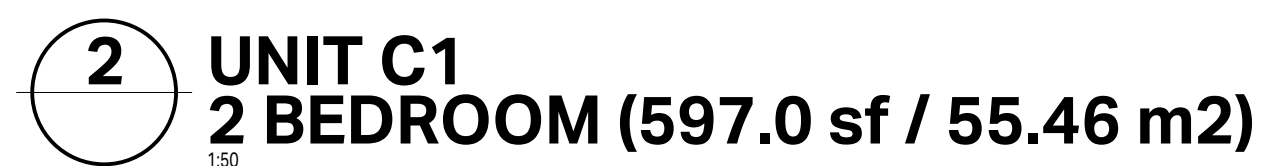
CHA
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778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE:

ROOF PLAN

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: **A206**



DRAWING NO: A21



1 NORTH ELEVATION
A301 1:100



2 SOUTH ELEVATION
A301 1:100

LEGEND

- MATERIAL**
- CERACLAD 8 REVEAL
 - 12" BOX RB METAL PANEL (W/ 2" EXT INSULATION)
 - 4 GA. FACE MOUNTED METAL PANEL
 - PERFORATED METAL GUARD
 - BRASS METAL FLASHING
 - SOLID WOOD DOOR
 - SCOTCH LIGHTING
 - CUSTOM METAL PICKET GUARDRAIL
 - VINYL WINDOW/DOOR
 - METAL SIGNAGE
 - METAL CANOPY
 - STOREFRONT GLAZING
 - GLASS GUARDRAIL
 - ARCHITECTURAL CONCRETE

- FINISH**
- OFF-WHITE / FACTORY FINISH
IRON ORE / FACTORY FINISH
BEIGE / PRE-PAINTED
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BEIGE / FACTORY FINISH
NA
CLEAR SEAL

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NORTH ARROW

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NO.	REVISION	MDY

PROJECT NAME

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VICTORIA, BC**

PROJECT ADDRESS:

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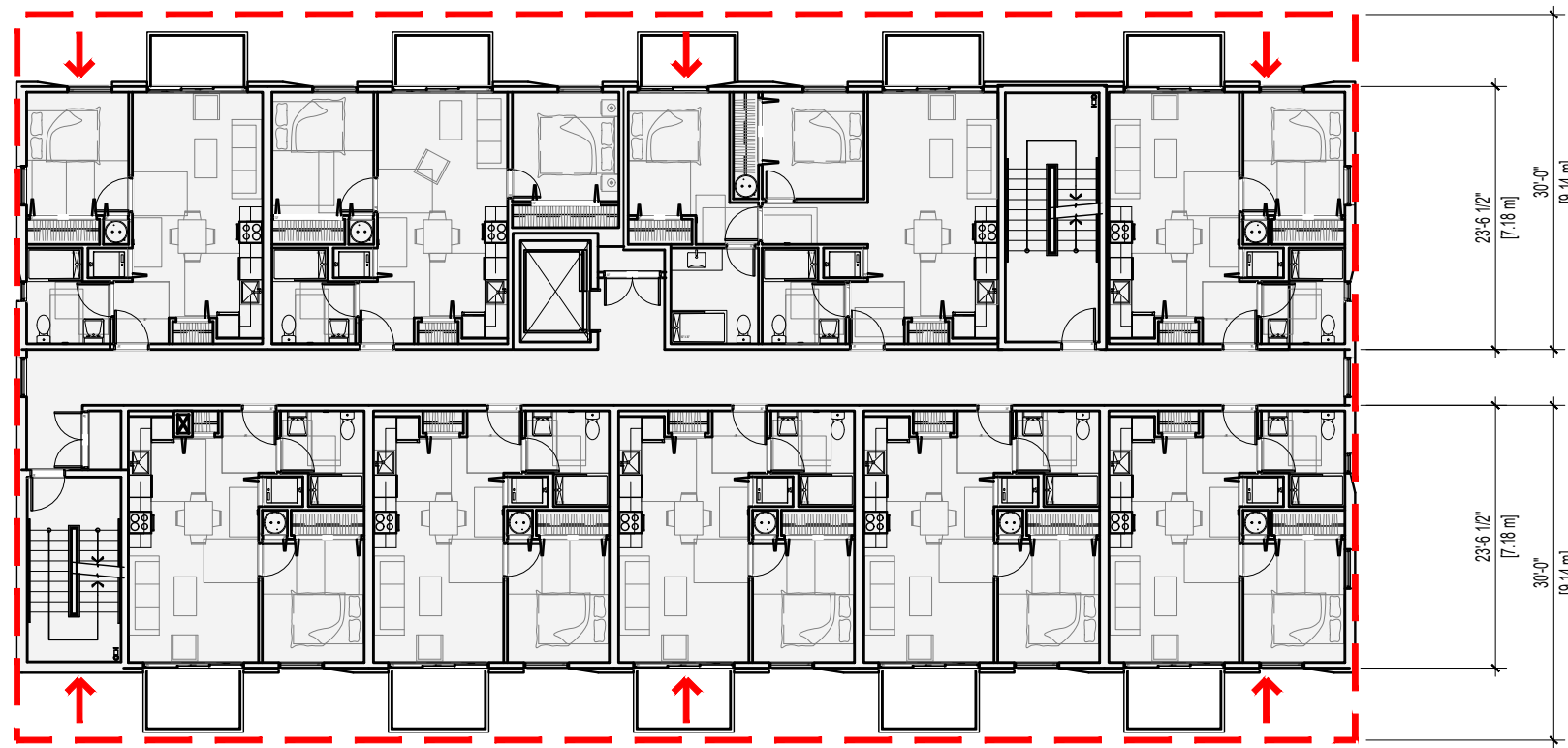
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DRAWING TITLE:

ELEVATIONS

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: A301



MINIMIZE UNIT DEPTH TO ACHIEVE MAXIMUM BUILDING SETBACKS
(DASHED RED LINES REPRESENT A TYPICAL MULTI-FAMILY FOOTPRINT DEPTH BASED ON 30FT DEEP UNITS.
THE UNIT DEPTHS ARE AS SHALLOW AS POSSIBLE, SUBSEQUENTLY, BUILDING SETBACKS ARE NOT FEASIBLE.)



SIMPLE FORM



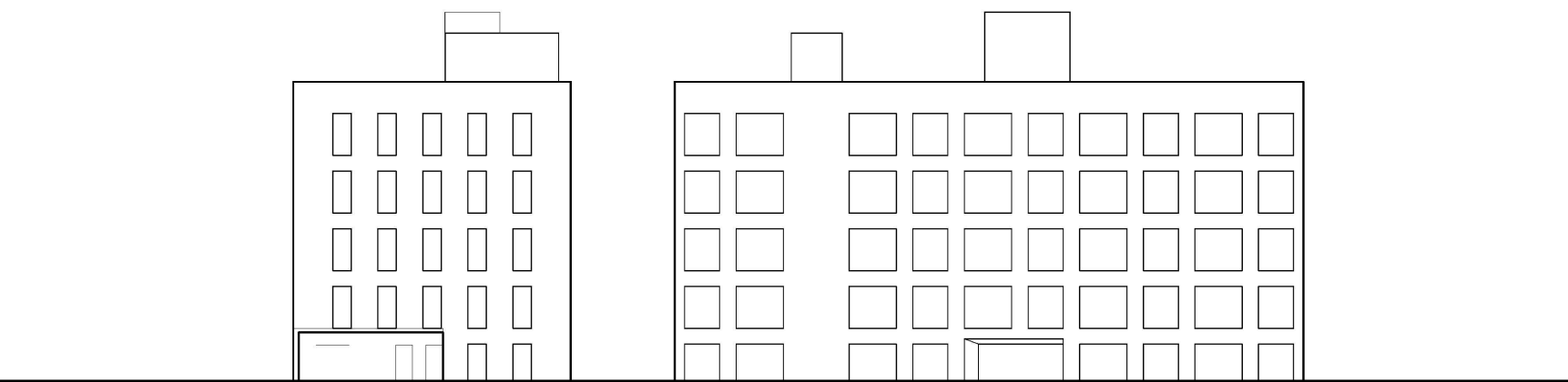
RICH AND SUBTLE FACADE
(IMPLEMENTING A SIMPLE FORM ALLOWS US TO ALLOCATE CONSTRUCTION BUDGET TO
A MORE SOPHISTICATED FACADE WITH HIGHER QUALITY MATERIALS AND DETAILING.)

1 BUILDING FOOTPRINT

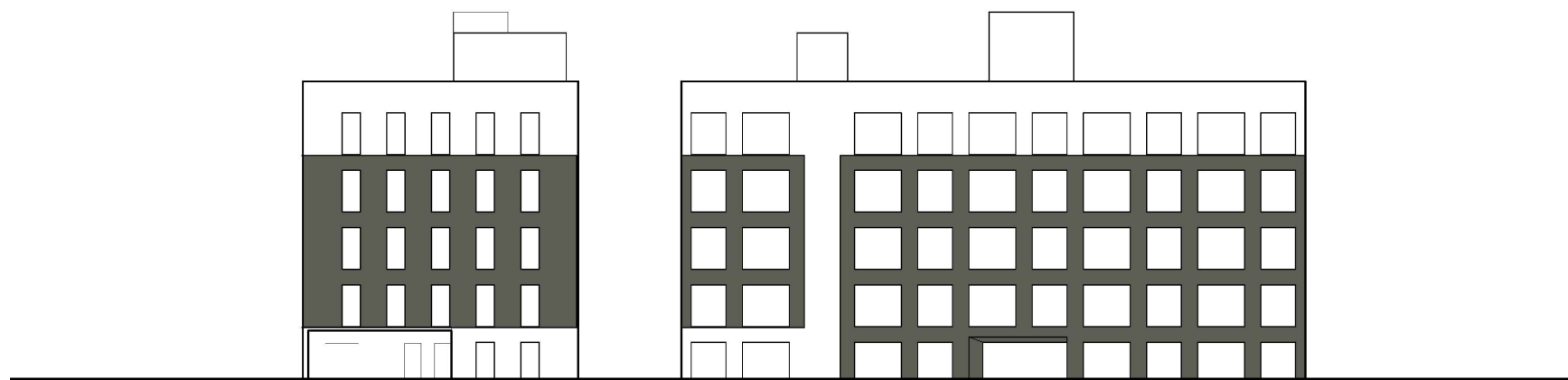
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2 DESIGN RATIONALE

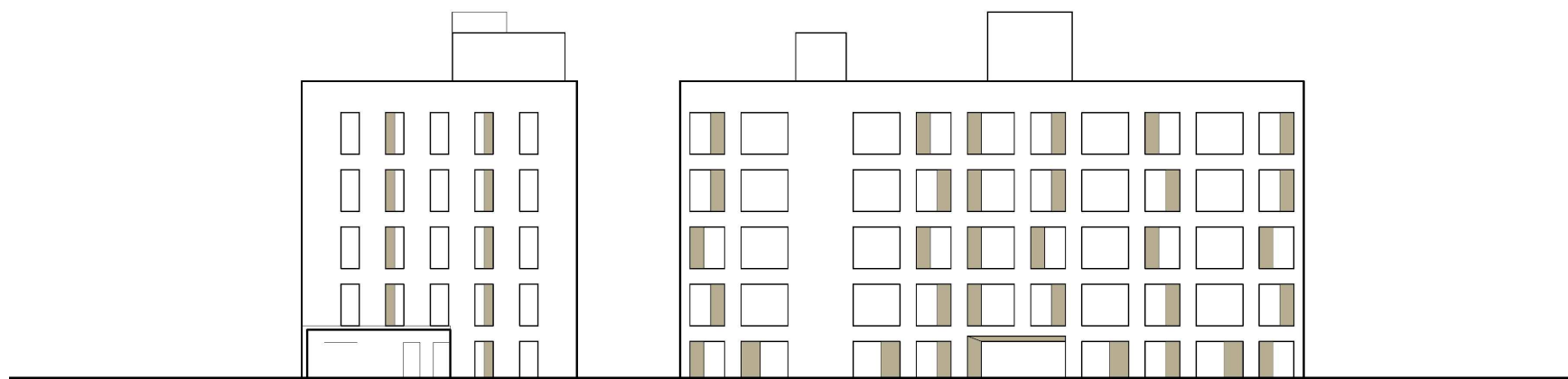
N/A



CLADDING GRID



BREAK UP FACADE TO EMPHASIZE CORNER AND CREATE APPARENT STEPBACK AT UPPER FLOORS



PANEL PATTERN

3 FACADE TREATMENT

N/A

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01	ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/2025
NO.	REVISION	MDY

PROJECT NAME

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VICTORIA, BC**

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DRAWING TITLE:

DESIGN RATIONALE

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	N/A	REVIEW BY:	CH

DRAWING NO: **A303**



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DRAWING TITLE:

RENDERINGS

PROJECT NO:	2403	DRAWN BY:	KG
SCALE:	N/A	REVIEW BY:	CH

DRAWING NO: A304



1 MATERIAL KEY

N/A



2 MATERIAL BOARD

N/A

LEGEND

- | MATERIAL | FINISH |
|---|----------------------------|
| 1. CERACLAD P REVEAL | OFF-WHITE / FACTORY FINISH |
| 2. 12" BOX RIB METAL PANEL (W/ 2" EXT INSULATION) | IRON ORE / FACTORY FINISH |
| 3. 4-6" FLANGE MOUNTED METAL PANEL | BEIGE / PRE-PAINTED |
| 4. PERFORATED METAL GUARD | BEIGE / PRE-PAINTED |
| 5. BRASS METAL FLASHING | BEIGE / FACTORY FINISH |
| 6. SOLID WOOD DOOR | BEIGE / PRE-PAINTED |
| 7. SOUNDC LIGHTING | BEIGE / FACTORY FINISH |
| 8. CUSTOM METAL POCKET GUARDRAIL | BEIGE / PRE-PAINTED |
| 9. VINYL WINDOW/DOOR | BEIGE / FACTORY FINISH |
| 10. METAL SIGNAGE | BEIGE / FACTORY FINISH |
| 11. METAL CANOPY | BEIGE / PRE-PAINTED |
| 12. STONEFRONT GLAZING | BEIGE / FACTORY FINISH |
| 13. GLASS GUARDRAIL | N/A |
| 14. ARCHITECTURAL CONCRETE | CLEAR SEAL |

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PROJECT NAME

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MATERIAL BOARD

PROJECT NO:	2403	DRAWN BY:	KG
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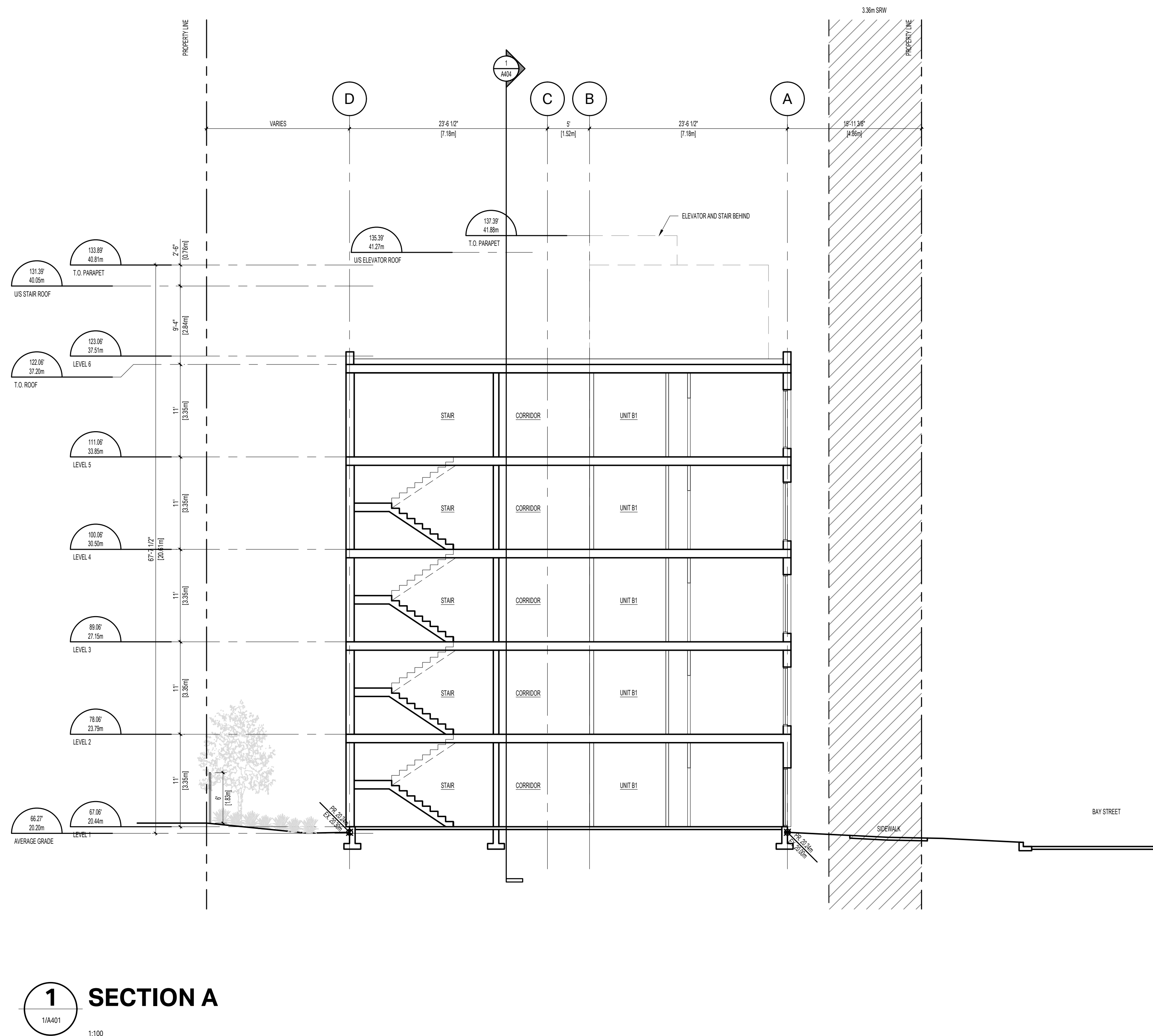
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DRAWING TITLE:

SECTIONS

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: A401



1 SECTION A

1/A401

1:10

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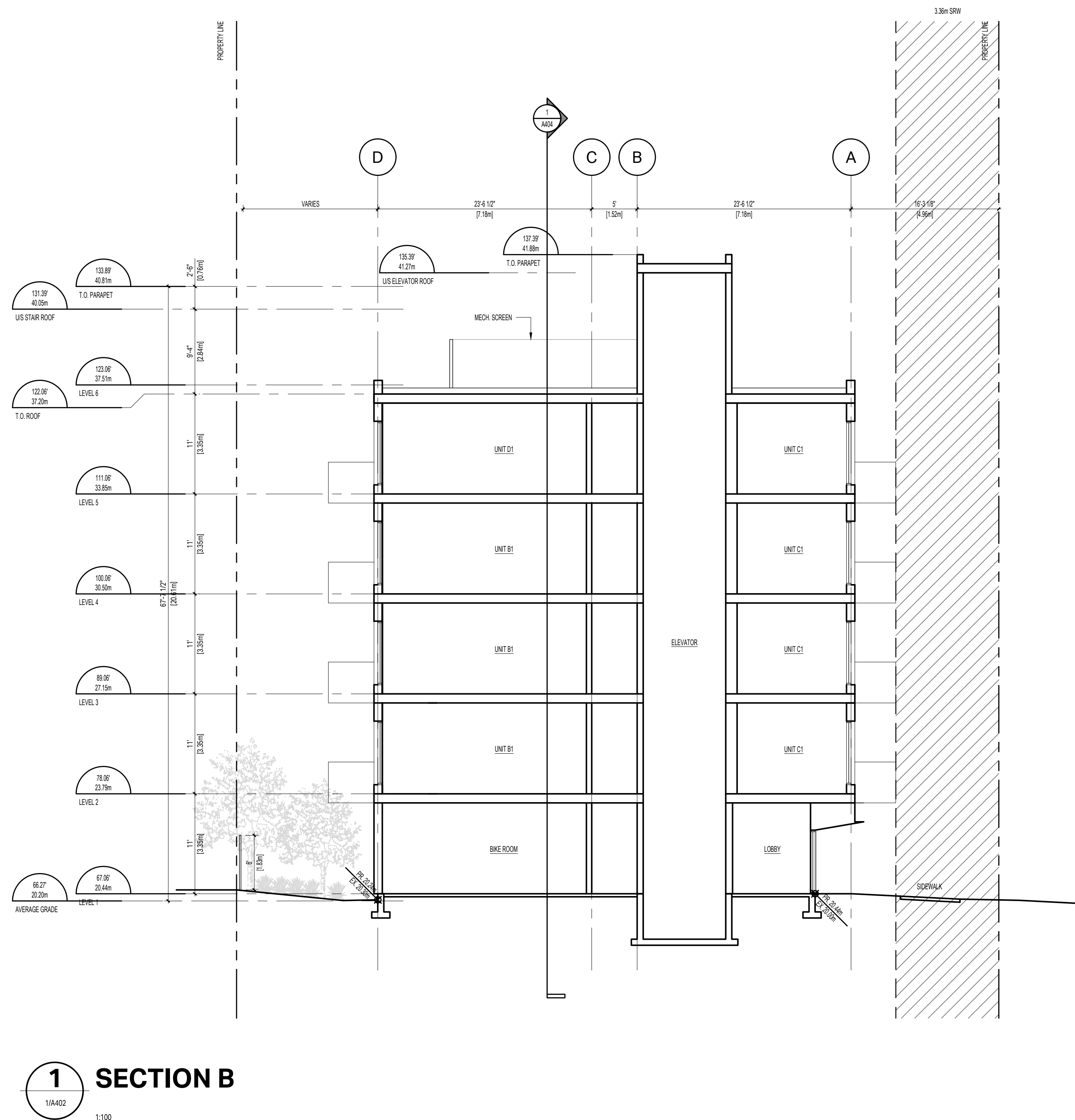
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SECTIONS

PROJECT NO:	2403	DRAWN BY:	LG
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DRAWING NO: A402





2025-01-27

NOTES

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[illegible]

PROJECT NAME

PROJECT ADDRESS:

1551 & 1545 BAY ST
VICTORIA, BC V8R 2B3

DRAWING TITLE:

SECTIONS

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: **A403**



1:10:

2025-01-27

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OWNER/CLIENT: LIDA HOMES INC.
250-440-5432
6105 PATRICIA BAY HWY
VICTORIA, BC V8Y 1T5

[illegible]

01	ISSUED FOR REZONING & DEVELOPMENT PERMIT	01/27/2025
NO.	REVISION	M/D/Y

PROJECT NAME

1550 & 1545 BAY ST
VICTORIA, BC

PROJECT ADDRESS:

1551 & 1545 BAY ST
VICTORIA, BC V8R 2B3



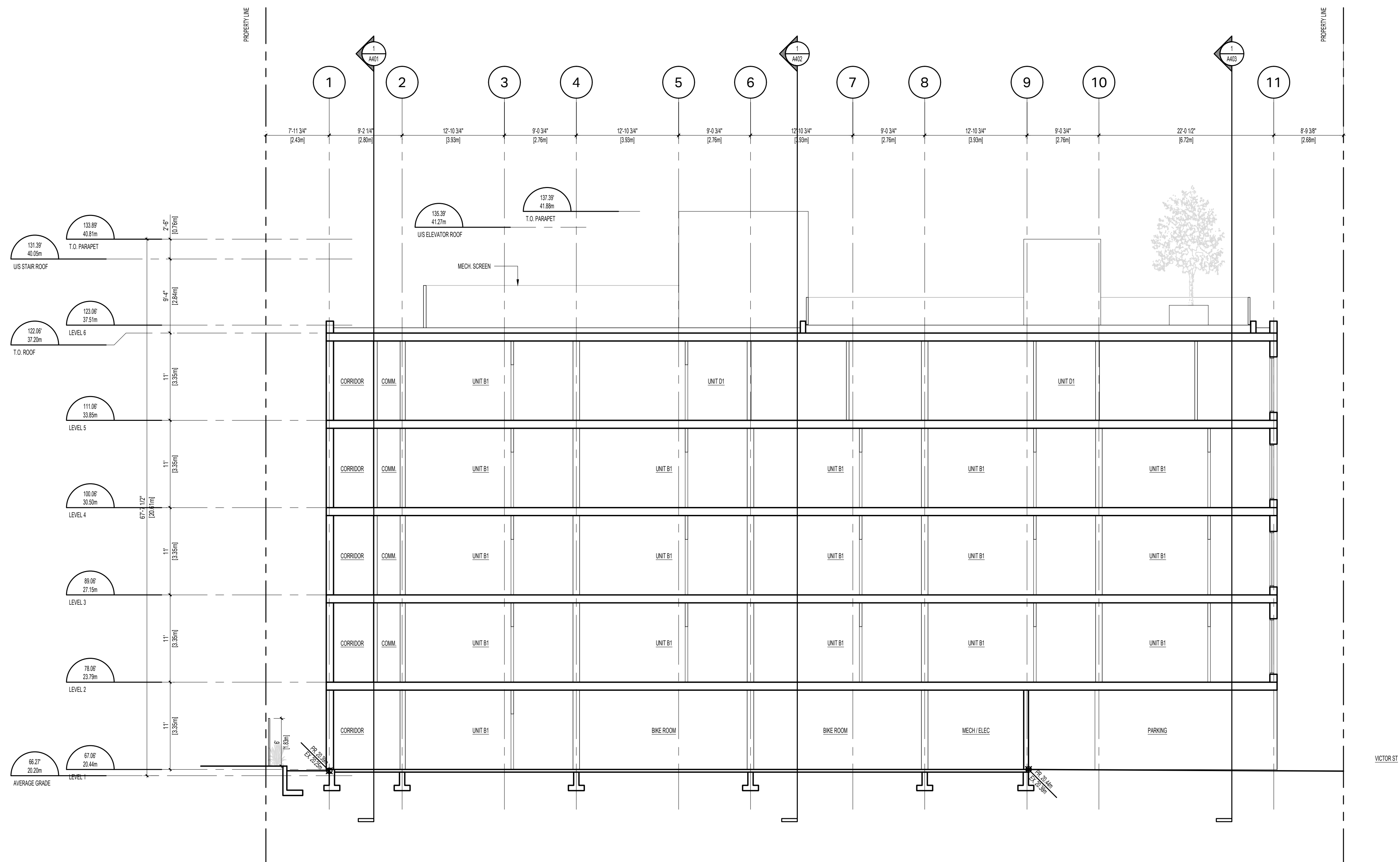
501 Foul Bay Road, Victoria, BC, V8S 4G9
778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE

SECTIONS

PROJECT NO:	2403	DRAWN BY:	LG
SCALE:	1:100	REVIEW BY:	CH

DRAWING NO: A404



1 SECTION 1
1/A404
1:100

1:10



SCALE 1:200



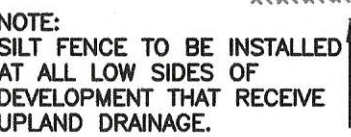
SCALE 1:200

(X) CITY OF VICTORIA CREWS TO DECOMMISSION EXISTING 13#mm WATER SERVICE AND REMOVE METER.

(Y) CITY OF VICTORIA CREWS TO CAP EXISTING 100#mm SANITARY AND DRAIN SERVICES AT PL AND REMOVE IC'S.

WORK BY THE CITY OF VICTORIA AT DEVELOPER'S EXPENSE

(Z) FORTIS BC CREWS TO REMOVE GAS SERVICES.



SCALE 1:25



SCALE 1:100

- (A) CITY OF VICTORIA TO INSTALL NEW 150mm SANITARY AND 150mm DRAIN SERVICES FOR THE DEVELOPMENT C/W 1c's THE PROPERTY LINE. TRENCH RESTORATIONS BY THE CITY. PROJECT ARCHITECT RECOMMENDS LOW IMPACT EXCAVATION METHODS AND SUPERVISION OF CONSTRUCTION WORK FOR INSTALLATION OF THESE SERVICES.
- (B) CITY OF VICTORIA CREWS TO INSTALL NEW _____mm WATER SERVICE (SIZE TO BE CONFIRMED), METER AND BACKFLOW VALVE. RESTORATIONS BY THE CITY.
- (C) POSSIBLE STORM WATER MANAGEMENT TANK
- (D) RAIN GARDEN
- (E) POSSIBLE ROUTE FOR ELECTRICAL AND COMMUNICATION LINES TO THE SITE AREA WITH PLASTER SOUTH OF EXISTING BOULEVARD TREE. ARCHITECT TO REVIEW AND COMMENT ON POLE LOCATION.


3. ALL CONSTRUCTION MATERIALS TO BE IN ACCORDANCE WITH MMCD SPECIFICATIONS, THE CITY OF VICTORIA SPECS AND STANDARDS, AND LATEST VERSION OF THE PLUMBING CODE (FOR ONSITE WORKS).
4. ALL WATER, SANITARY SEWER AND STORM DRAIN WORK IN THE PUBLIC ROAD ALLOWANCE TO BE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.
5. WORK TO BE INSPECTED BY CONSULTING ENGINEER AND CITY PUBLIC WORKS INSPECTOR.
6. A PLUMBING PERMIT TO CONSTRUCT ONSITE PLUMBING WORKS MUST BE OBTAINED FROM THE CITY OF VICTORIA PRIOR TO ANY ONSITE WORK.
7. DRIVEWAY TO CONFORM TO CITY OF VICTORIA HIGHWAY ACCESS BY-LAW.
8. ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY THE CONTRACTOR (OTHER THAN S.D.W TRENCHES - THESE ARE TO BE RESTORED BY THE CITY). ALL WORK TO BE UNDERTAKEN AND COMPLETED BY THE CONTRACTOR IN SUCH A MANNER AS TO PREVENT THE RELEASE OF SEDIMENT LOADED WATER INTO THE AREA DRAINS OR ANY WATERCOURSES.
9. ALL EXISTING SERVICES ARE TO BE EXPOSED AT ALL CONNECTIONS AND CROSSING POINTS PRIOR TO ANY CONSTRUCTION. WORK AT DEVELOPER'S EXPENSE.
10. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES IN THE WORK AREA AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY EXCAVATIONS.
11. ALL DIMENSIONS ARE IN MILLIMETERS (mm) AND ALL ELEVATIONS ARE IN m UNLESS NOTED OTHERWISE.
12. CONTRACTOR TO PROVIDE PROFESSIONAL QUALITY AS-BUILT SURVEY AND SKETCHES OF INSTALLED SERVICES (OFFSITE AND ONSITE) TO ENGINEER FOR PREPARATION OF AS-CONSTRUCTED DRAWINGS.
13. DEVELOPER TO RETAIN QUALIFIED ELECTRICIAN TO INSTALL & CERTIFY U/G HYDRO/TEL/CABLE.
14. EXISTING BUILDINGS ON THE PROPERTY MUST BE REMOVED PRIOR TO ANY OTHER WORK ONSITE.
15. NY WORK IN CRITICAL ROOT ZONES OF EXISTING TREES TO BE UNDER ARBORIST'S SUPERVISION.
16. MATERIAL SUBSTITUTIONS ARE ACCEPTED ONLY BY WRITTEN PRE-APPROVAL OF ENGINEER. FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
17. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN CONTACT ENGINEER AND CITY OF VICTORIA IMMEDIATELY.
18. CONTRACTOR TO PROVIDE SMOOTH ROAD, SIDEWALK, CURB TRANSITIONS AT THE LIMIT OF WORK. FINAL CURB AND SIDEWALK LIMITS TO BE DETERMINED IN THE FIELD WITH THE CITY INSPECTOR AND MAY BE LONGER THAN SHOWN.
19. ANY TREE REPLACEMENT SELECTION TO BE APPROVED BY CITY OF VICTORIA PARKS.
20. OWNER TO RETAIN GEOTECHNICAL ENGINEER TO ASSESS THE SITE GROUND WATER AND SOIL AND PROVIDE COMMENTS/APPROVAL FOR THE CONSTRUCTION OF THESE CIVIL WORKS.
21. AN UNDERGROUND UTILITIES CONSTRUCTION PERMIT TO BE OBTAINED FOR ANY WORK TO BE DONE OFFSITE.
22. EACH PARKING SPACE IS TO HAVE 2.1m LONG PRECAST PARKING STOPS. SECURE WITH 750mm LONG 20M REBAR
23. CAUTION - GAS MAINS IN AREA. CONTACT FORTIS BC FOR LOCATION. IF REQUIRED, NEW GAS WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH APPROVED FORTIS BC DRAWINGS. DEVELOPER TO CONTACT FORTIS BC TO INITIATE GAS INSTALL. ALLOW MIN. 90 DAYS FOR CONSTRUCTION SCHEDULE.
24. MAINTAIN VEHICLE ACCESS TO EXISTING DWELLINGS, BUSINESSES AND FACILITIES.
25. CONTRACTOR TO PROVIDE FOR SAFE AND ADEQUATE FLAG PERSON(S) AND TRAFFIC SIGNAGE WHEN WORKING IN THE PUBLIC ROAD ALLOWANCE. PROVIDE TRAFFIC PLAN TO AUTHORITY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
26. ALL DEEP EXCAVATIONS AND TRENCHES TO HAVE SHORING TO WORKSAFE BC REGULATIONS. TRENCH SHORING TO BE USED WHEN OVER WORKSAFE BC REGULATION DEPTH.
27. ALL EXCAVATIONS ARE TO BE FENCED WITH HIGH VISIBILITY MATERIALS. ROADS ARE TO BE SIGNED ALERTING PEDESTRIANS OF CONSTRUCTION IN PUBLIC ROAD.
28. STREET(S) AT JOB SITE ARE TO BE SWEEPED OF GRAVEL, DIRT AND OTHER MATERIALS AT THE END OF EACH WORK DAY AT A MINIMUM.
29. CONTRACTOR TO REVIEW INSTALLED PIPE PRIOR TO BACKFILL IN THE FIELD. PHOTOS WILL NOT BE ACCEPTED. MIN. 4 STICKS OF PIPE ARE TO BE REVIEWED PRIOR TO BACKFILL.
30. ALL LAYOUT IS BY THE CONTRACTOR. IF LAYOUT MARKS ARE DISTURBED, CONTRACTOR IS RESPONSIBLE FOR RE-LAYOUT.
31. CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL BOULEVARD AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0%.
32. CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING WITH CONSULTING ENGINEER, UTILITY DESIGNERS, AND CITY OF VICTORIA TECHNICIAN PRIOR TO ANY CONSTRUCTION.

1. CONTRACTOR TO ADJUST ALL APPURTENANCES TO THE PROPOSED FINISHED GRADES.
2. OFFSITE CATCHBASINS TO HAVE 150" SDR 26 PVC LEADS (UNLESS NOTED OTHERWISE) AT MIN 2% AND TO BE LEADS AND A 150" CONNECTION PIPE. ONSITE CATCHBASIN TO BE TO SANICOR STD DWG. S215S.
3. 100" AND 150" SANITARY & DRAIN PIPE TO BE SDR 26 PVC PIPE. 200" AND 250" D PIPE TO BE SDR335 PV IN ACCORDANCE WITH SPANICH BUILDING DEPT. AND PLUMBING CODE.
4. SAN AND DRAIN MAINS TO BE PROFESSIONALLY FLOWED AND VIDEO TAPE REPORT PROVIDED BY CONTRACTOR.
5. VIDEOTAPE OF SEWER AND DRAIN LINES TO BE PROVIDED TO ENGINEER A MIN. OF ONE WEEK PRIOR TO PAVING.

1. CONTRACTOR TO PRESSURE TEST AND DISINFECT WATERMAIN. WORK TO AWWA/BUILDING CODE WATER STANDARDS.
2. ALL WATERMAIN FITTINGS TO HAVE CONCRETE THRUST BLOCKING AND JOINT RESTRAINTS TO DISTRICT OF SAANICH STANDARDS.
3. THE PROJECT WATER SUPPLY MAIN TO BE 150# C900 CL150 PVC PIPE.
4. EACH UNIT TO BE EQUIPPED WITH 19# SERIES 160 WATER SERVICES C/W APPROVED SERVICE SADDLE AND MAIN STOP DIAMETER 0.2m) WITH SHUTOFF VALVE.
5. EACH UNIT TO BE EQUIPPED WITH PRESSURE REDUCING VALVES.

ATTENTION:

THIS DESIGN IS VALID ONLY
IF REVIEWED DURING
CONSTRUCTION BY CALID
SERVICES LTD.



PRELIMINARY
Not for Construction

INFORMATION IS AT PROP. PROPERTY LINE	STORM DRAIN	SANITARY SEWER
PROPOSED DEPTH TO INVERT AT PL (m)	1.5m	1.4m
PROPOSED INVERT ELEV. AT PL (m)	18.8m*	18.9m*
MAX. DEPTH REQUESTED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

CITY OF VICTORIA SURVEY MONUMENT 15-1
ELEVATION: 19.562m UTM X: 475047.283 UTM Y: 5364614.863

LOTS 4 AND 5, SECTION 75, VICTORIA DISTRICT, PLAN 7812
PID 005-679-826 AND PID 05-679-834 RESPECTIVELY

The map displays a street grid with the following streets labeled: VICTOR ST, SHAKESPEARE ST, BAY STREET, FORBES ST, and RAY ST. A specific lot is highlighted with a hatched pattern and labeled 'SITE'. The map also shows various lot numbers and a north arrow.

1545/51 BAY ST. DEVELOPMENT
Concept Site Servicing Plan and Notes
Client: LIDA Construction Inc.

207-2750 QUADRA ST.
VICTORIA, B.C. V8T-4E8
PHONE: (250) 388-6919
FAX: (250) 381-6919
engineer@solid.ca

976-01

CANCEL PRINTS BEARING EARLIER LETTER

BAY ST
(SECONDARY ARTERIAL STREET)

VICTOR ST
(LOCAL ROAD)

PROPOSED BUILDING
F.F. 20.44

3.36m DED.

4.5m DRIVEWAY DROP

9'x9' PLASTIC YARD CB
WITH GREEN GRATE, TYP.

SIDEWALK TO BE ABOVE THE
CRITICAL ROOT ZONE C/W
GEGRID UNDER SIDEWALK BASE.
ARBORIST'S SUPERVISION
REQUIRED.

Various utility markers and elevations are shown throughout the plan, including #M6, #M5, #M3, #M2, #M7, #OS1, #OS2, #OS3, #OS4, #OS5, #OS6, and numerous elevation points (e.g., 20.11, 20.12, 20.13, 20.14, 20.15, 20.16, 20.17, 20.18, 20.19, 20.20, 20.21, 20.22, 20.23, 20.24, 20.25, 20.26, 20.27, 20.28, 20.29, 20.30, 20.31, 20.32, 20.33, 20.34, 20.35, 20.36, 20.37, 20.38, 20.39, 20.40, 20.41, 20.42, 20.43, 20.44, 20.45, 20.46, 20.47, 20.48, 20.49, 20.50, 20.51, 20.52, 20.53, 20.54, 20.55, 20.56, 20.57, 20.58, 20.59, 20.60, 20.61, 20.62, 20.63, 20.64, 20.65, 20.66, 20.67, 20.68, 20.69, 20.70, 20.71, 20.72, 20.73, 20.74, 20.75, 20.76, 20.77, 20.78, 20.79, 20.80, 20.81, 20.82, 20.83, 20.84, 20.85, 20.86, 20.87, 20.88, 20.89, 20.90, 20.91, 20.92, 20.93, 20.94, 20.95, 20.96, 20.97, 20.98, 20.99, 21.00, 21.01, 21.02, 21.03, 21.04, 21.05, 21.06, 21.07, 21.08, 21.09, 21.10, 21.11, 21.12, 21.13, 21.14, 21.15, 21.16, 21.17, 21.18, 21.19, 21.20, 21.21, 21.22, 21.23, 21.24, 21.25, 21.26, 21.27, 21.28, 21.29, 21.30, 21.31, 21.32, 21.33, 21.34, 21.35, 21.36, 21.37, 21.38, 21.39, 21.40, 21.41, 21.42, 21.43, 21.44, 21.45, 21.46, 21.47, 21.48, 21.49, 21.50, 21.51, 21.52, 21.53, 21.54, 21.55, 21.56, 21.57, 21.58, 21.59, 21.60, 21.61, 21.62, 21.63, 21.64, 21.65, 21.66, 21.67, 21.68, 21.69, 21.70, 21.71, 21.72, 21.73, 21.74, 21.75, 21.76, 21.77, 21.78, 21.79, 21.80, 21.81, 21.82, 21.83, 21.84, 21.85, 21.86, 21.87, 21.88, 21.89, 21.90, 21.91, 21.92, 21.93, 21.94, 21.95, 21.96, 21.97, 21.98, 21.99, 22.00, 22.01, 22.02, 22.03, 22.04, 22.05, 22.06, 22.07, 22.08, 22.09, 22.10, 22.11, 22.12, 22.13, 22.14, 22.15, 22.16, 22.17, 22.18, 22.19, 22.20, 22.21, 22.22, 22.23, 22.24, 22.25, 22.26, 22.27, 22.28, 22.29, 22.30, 22.31, 22.32, 22.33, 22.34, 22.35, 22.36, 22.37, 22.38, 22.39, 22.40, 22.41, 22.42, 22.43, 22.44, 22.45, 22.46, 22.47, 22.48, 22.49, 22.50, 22.51, 22.52, 22.53, 22.54, 22.55, 22.56, 22.57, 22.58, 22.59, 22.60, 22.61, 22.62, 22.63, 22.64, 22.65, 22.66, 22.67, 22.68, 22.69, 22.70, 22.71, 22.72, 22.73, 22.74, 22.75, 22.76, 22.77, 22.78, 22.79, 22.80, 22.81, 22.82, 22.83, 22.84, 22.85, 22.86, 22.87, 22.88, 22.89, 22.90, 22.91, 22.92, 22.93, 22.94, 22.95, 22.96, 22.97, 22.98, 22.99, 23.00, 23.01, 23.02, 23.03, 23.04, 23.05, 23.06, 23.07, 23.08, 23.09, 23.10, 23.11, 23.12, 23.13, 23.14, 23.15, 23.16, 23.17, 23.18, 23.19, 23.20, 23.21, 23.22, 23.23, 23.24, 23.25, 23.26, 23.27, 23.28, 23.29, 23.30, 23.31, 23.32, 23.33, 23.34, 23.35, 23.36, 23.37, 23.38, 23.39, 23.40, 23.41, 23.42, 23.43, 23.44, 23.45, 23.46, 23.47, 23.48, 23.49, 23.50, 23.51, 23.52, 23.53, 23.54, 23.55, 23.56, 23.57, 23.58, 23.59, 23.60, 23.61, 23.62, 23.63, 23.64, 23.65, 23.66, 23.67, 23.68, 23.69, 23.70, 23.71, 23.72, 23.73, 23.74, 23.75, 23.76, 23.77, 23.78, 23.79, 23.80, 23.81, 23.82, 23.83, 23.84, 23.85, 23.86, 23.87, 23.88, 23.89, 23.90, 23.91, 23.92, 23.93, 23.94, 23.95, 23.96, 23.97, 23.98, 23.99, 24.00, 24.01, 24.02, 24.03, 24.04, 24.05, 24.06, 24.07, 24.08, 24.09, 24.10, 24.11, 24.12, 24.13, 24.14, 24.15, 24.16, 24.17, 24.18, 24.19, 24.20, 24.21, 24.22, 24.23, 24.24, 24.25, 24.26, 24.27, 24.28, 24.29, 24.30, 24.31, 24.32, 24.33, 24.34, 24.35, 24.36, 24.37, 24.38, 24.39, 24.40, 24.41, 24.42, 24.43, 24.44, 24.45, 24.46, 24.47, 24.48, 24.49, 24.50, 24.51, 24.52, 24.53, 24.54, 24.55, 24.56, 24.57, 24.58, 24.59, 24.60, 24.61, 24.62, 24.63, 24.64, 24.65, 24.66, 24.67, 24.68, 24.69, 24.70, 24.71, 24.72, 24.73, 24.74, 24.75, 24.76, 24.77, 24.78, 24.79, 24.80, 24.81, 24.82, 24.83, 24.84, 24.85, 24.86, 24.87, 24.88, 24.89, 24.90, 24.91, 24.92, 24.93, 24.94, 24.95, 24.96, 24.97, 24.98, 24.99, 25.00, 25.01, 25.02, 25.03, 25.04, 25.05, 25.06, 25.07, 25.08, 25.09, 25.10, 25.11, 25.12, 25.13, 25.14, 25.15, 25.16, 25.17, 25.18, 25.19, 25.20, 25.21, 25.22, 25.23, 25.24, 25.25, 25.26, 25.27, 25.28, 25.29, 25.30, 25.31, 25.32, 25.3

VICTOR ST
(LOCAL ROAD)

MEC
EL

9"X9" PLASTIC YARD CB
WITH GREEN GRATE, TYP.

GRADING PLAN
SCALE 1:100

[illegible]

ANY CONSTRUCTION

PROFESSIONAL
REGISTERED
G. K. CARROTHERS
#16050
JAN 27 2025
ENGINEER

BC
1
CALL
1-800-474-6886
CELL: 42-6886

PRELIMINARY
Not for Construction

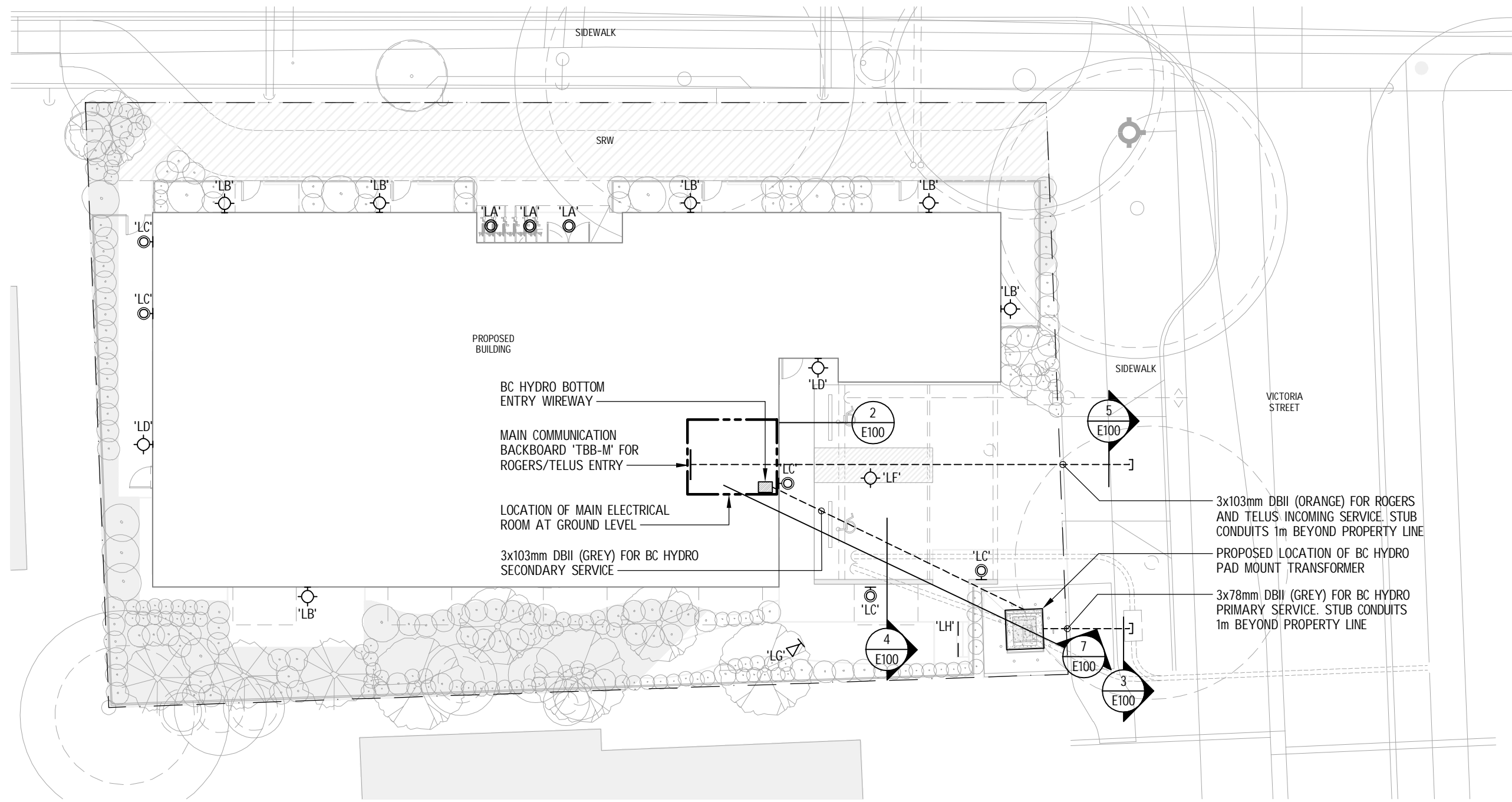


CALID
Services Ltd.

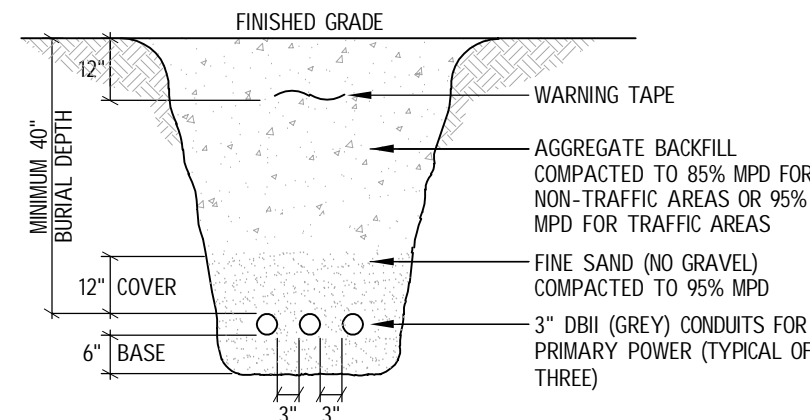
207-2750 QUADRA ST.
VICTORIA, B.C. V8T-4E8
PHONE: (250) 388-6919
FAX: (250) 381-6919
engineer@colid.ca

976-02

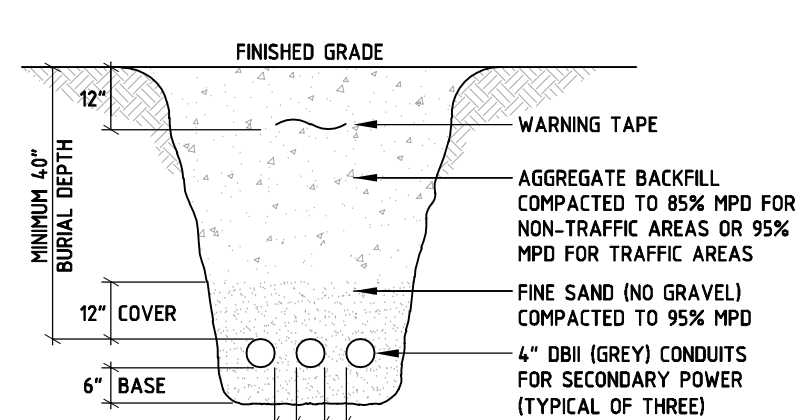
CANCEL PRINTS BEARING EARLIER LETTER



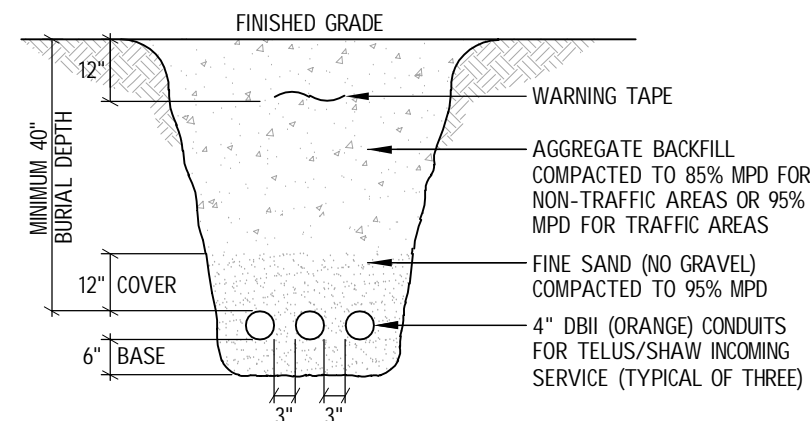
1 SITE PLAN
E100 1/16"=1'-0"



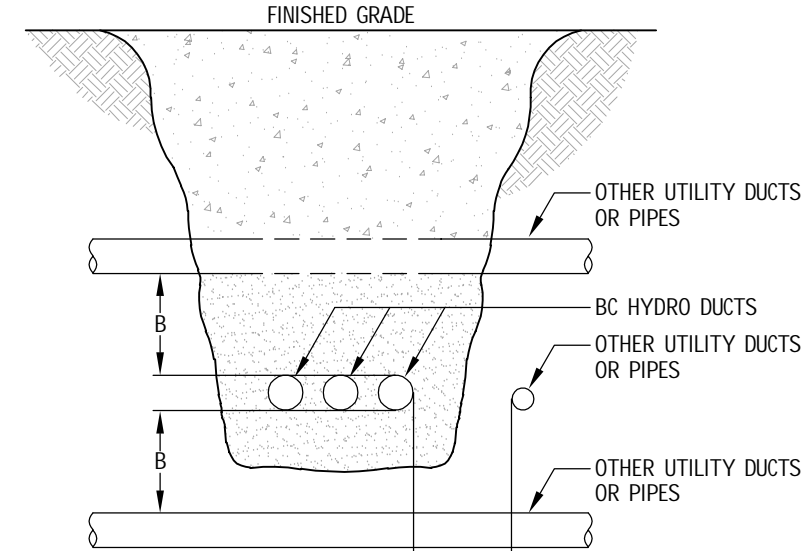
3 PRIMARY TRENCH DETAIL
E100 NTS



4 SECONDARY TRENCH DETAIL
E100 NTS

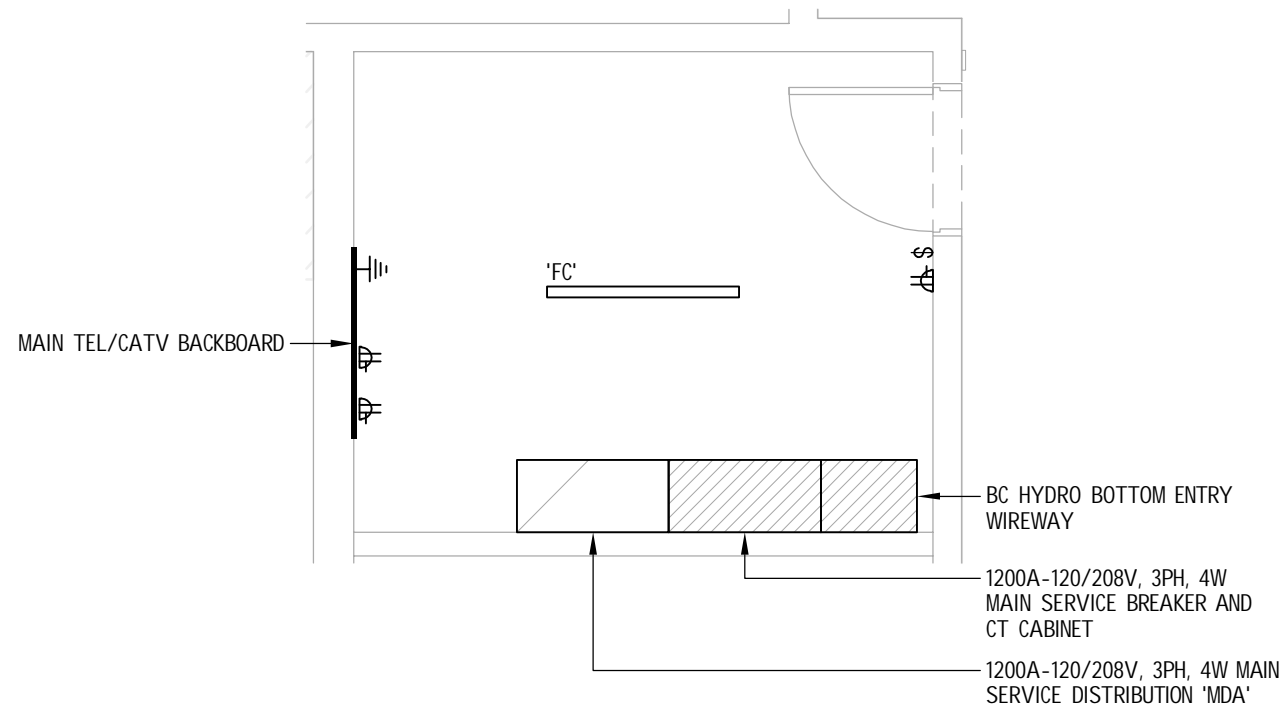


5 COMMUNICATION TRENCH DETAIL
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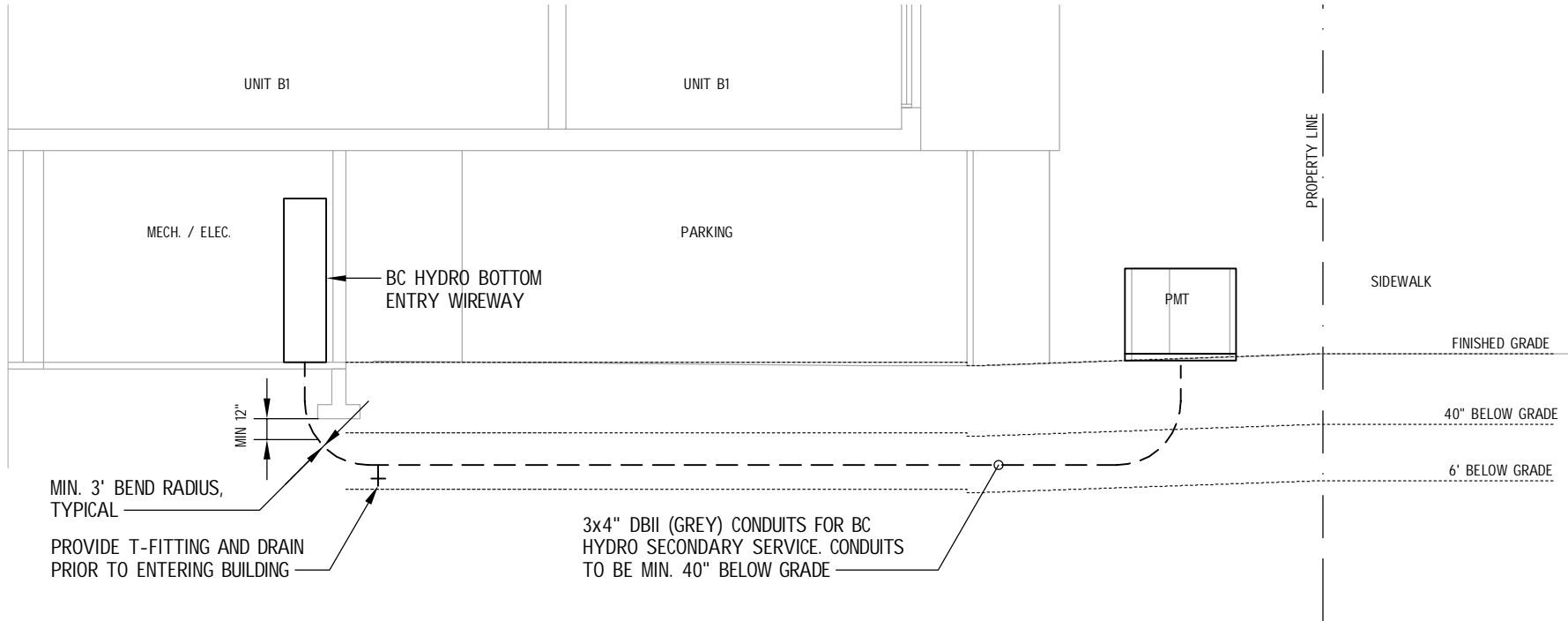


TYPE OF PIPE OR DUCT	MINIMUM CLEARANCES			
	DIRECT-BURIED BC HYDRO DUCTS		CONCRETE-ENCASED BC HYDRO DUCTS	
CLEARANCES (in)	A	B	A	B
TELEPHONE, CABLE TV OR STREET LIGHTS	12	6	3	6
GAS MAINS	12	12	12	12
OIL PIPELINES, JET FUEL LINES, WATER, SANITARY AND SEWER LINES	36	12	12	12

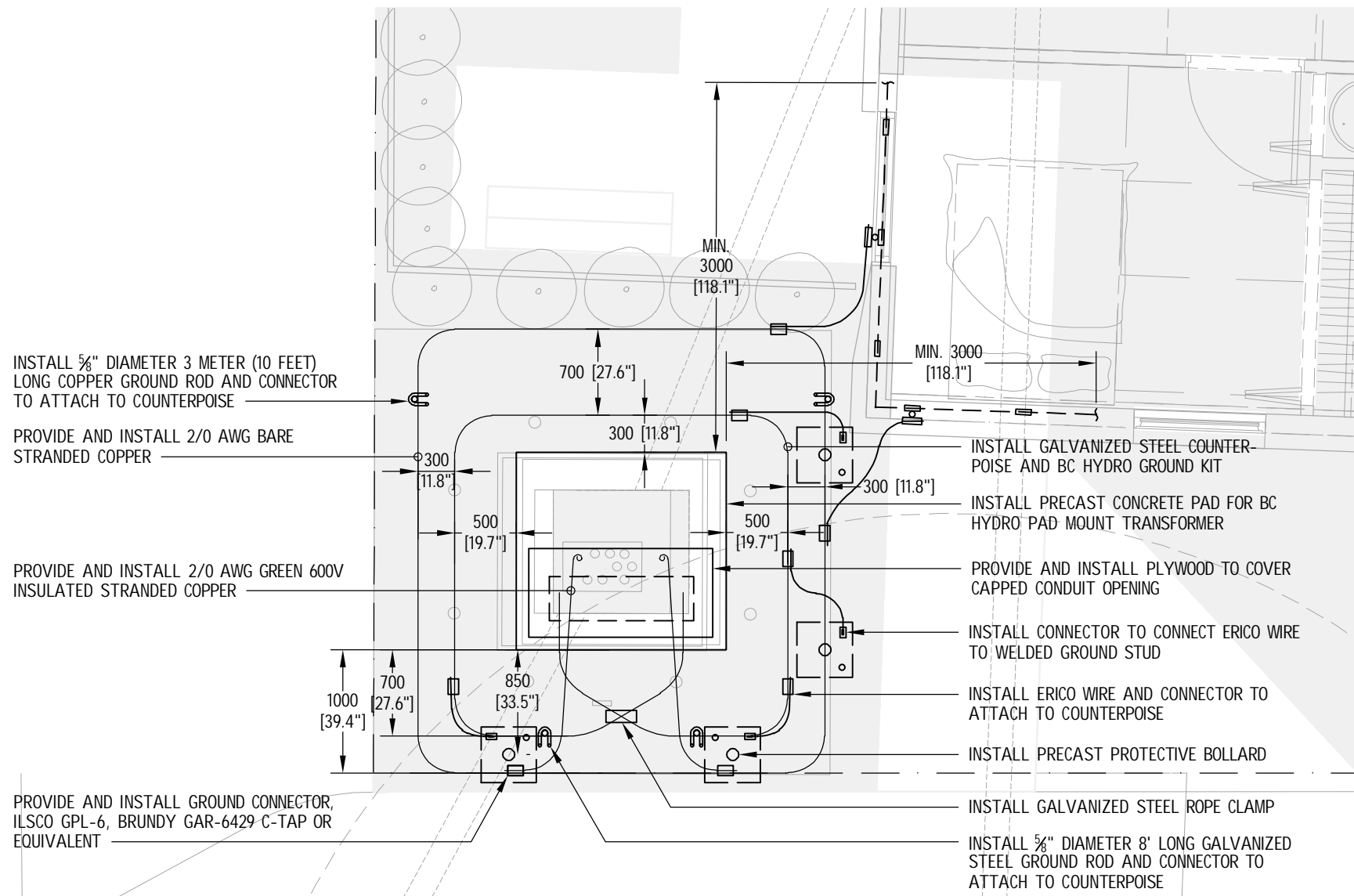
6 DUCTS CLEARANCES DETAIL
E100 NTS



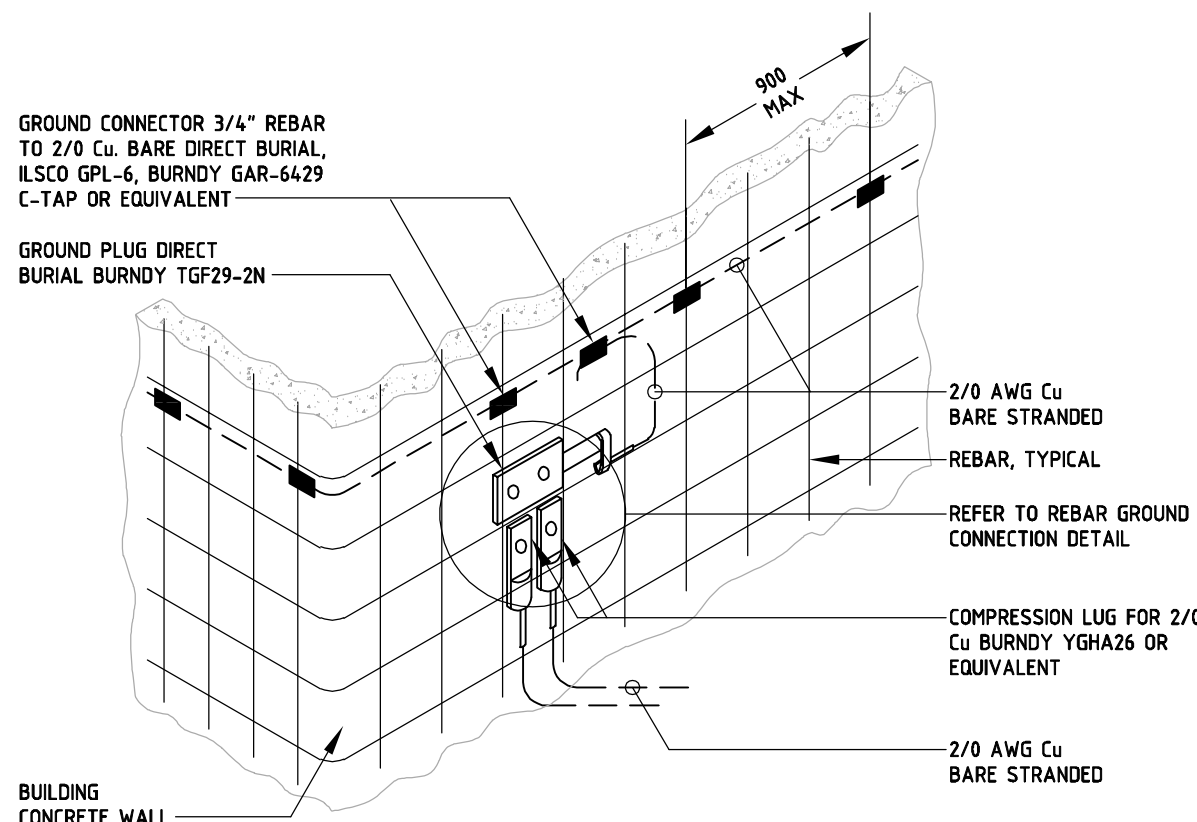
2 ELECTRICAL ROOM LAYOUT
E100 1/4"=1'-0"



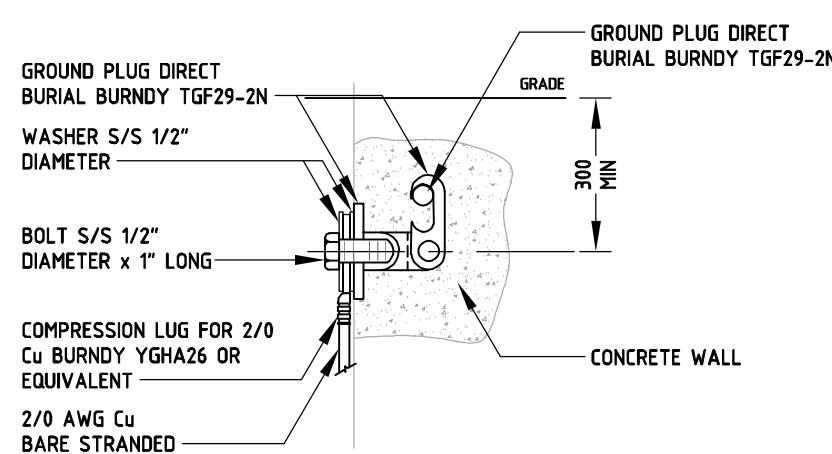
7 BC HYDRO SECONDARY DUCT PROFILE
E100 1/8"=1'-0"



8 BC HYDRO COUNTERPOISE AND CUSTOMER GROUNDING DETAIL
E100 1/4"=1'-0"



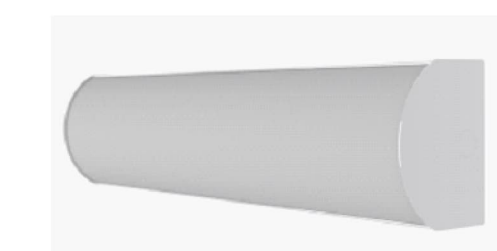
9 REBAR GROUNDING DETAIL
E100 NTS



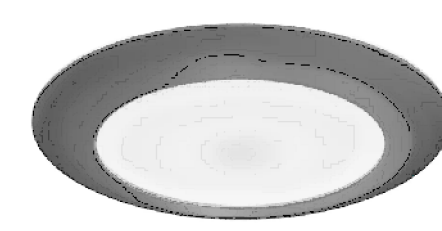
10 REBAR CONNECTION DETAIL
E100 NTS



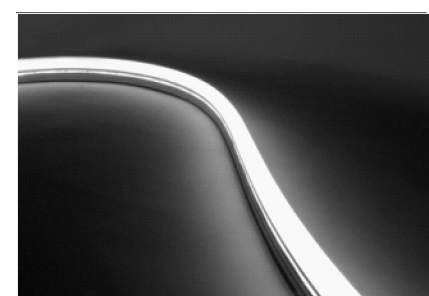
4' LONG LENSED LED STRIP LUMINAIRE TYPE 'FC'



2' LONG LENSED LED STRIP LUMINAIRE TYPE 'FD'



SURFACE MOUNTED LUMINAIRE TYPE 'LF'



EXTERIOR TAPE LUMINAIRE TYPE 'LH'



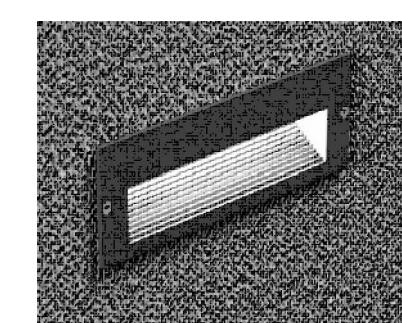
SURFACE MOUNTED LUMINAIRE TYPE 'A'



MAIN ENTRY RECESSED DOWNLIGHT LUMINAIRE TYPE 'LA'



WALL SCONCE LUMINAIRE TYPE 'LB'



STEP LUMINAIRE TYPE 'LC'



WALL SCONCE LUMINAIRE TYPE 'LD'

LEGEND	
GENERAL	
WP	WEATHERPROOF DEVICE
POWER	
Δ	DUPLEX 5-20R RECEPTACLE
Δ	DUPLEX 5-15R GFCI RECEPTACLE
Δ	DUPLEX 5-20R GFCI RECEPTACLE
FIRE ALARM	
⊙	SMOKE DETECTOR
⊠	MANUAL PULLSTATION
⊙	HORN C/W STROBE
LIGHTING	
○	RECESSED ROUND DOWNLIGHT LUMINAIRE
◇	SURFACE MOUNTED LUMINAIRE
◇	WALL MOUNTED LUMINAIRE
◇	SURFACE MOUNTED LINEAR LUMINAIRE
◇	RECESSED STEP LUMINAIRE
▽	SPOT LIGHT
—	TAPE LIGHT C/W ALUMINUM CHANNEL
LIGHTING CONTROLS	
§ §	LINE VOLTAGE SWITCH: GANGED AS SHOWN
§ §	THREE-WAY LINE VOLTAGE SWITCH: GANGED AS SHOWN

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e2 Engineering Inc.
530 Herald Street, Victoria BC V8W 1S6
201-5180 Dublin Way, Nanaimo BC V9T 0H2
778-433-9391
EGBC P2P: 1001513

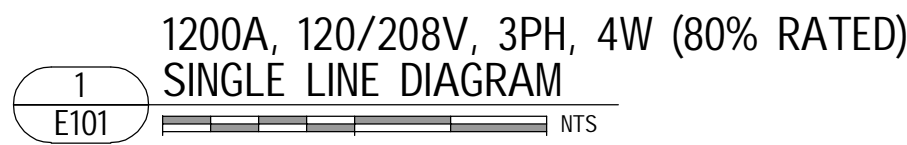
2	DEVELOPMENT PERMIT	24/01/25
1	REVIEW	12/12/24
NO.	ISSUE	DATE

PROJECT
1551 AND 1554
BAY STREET

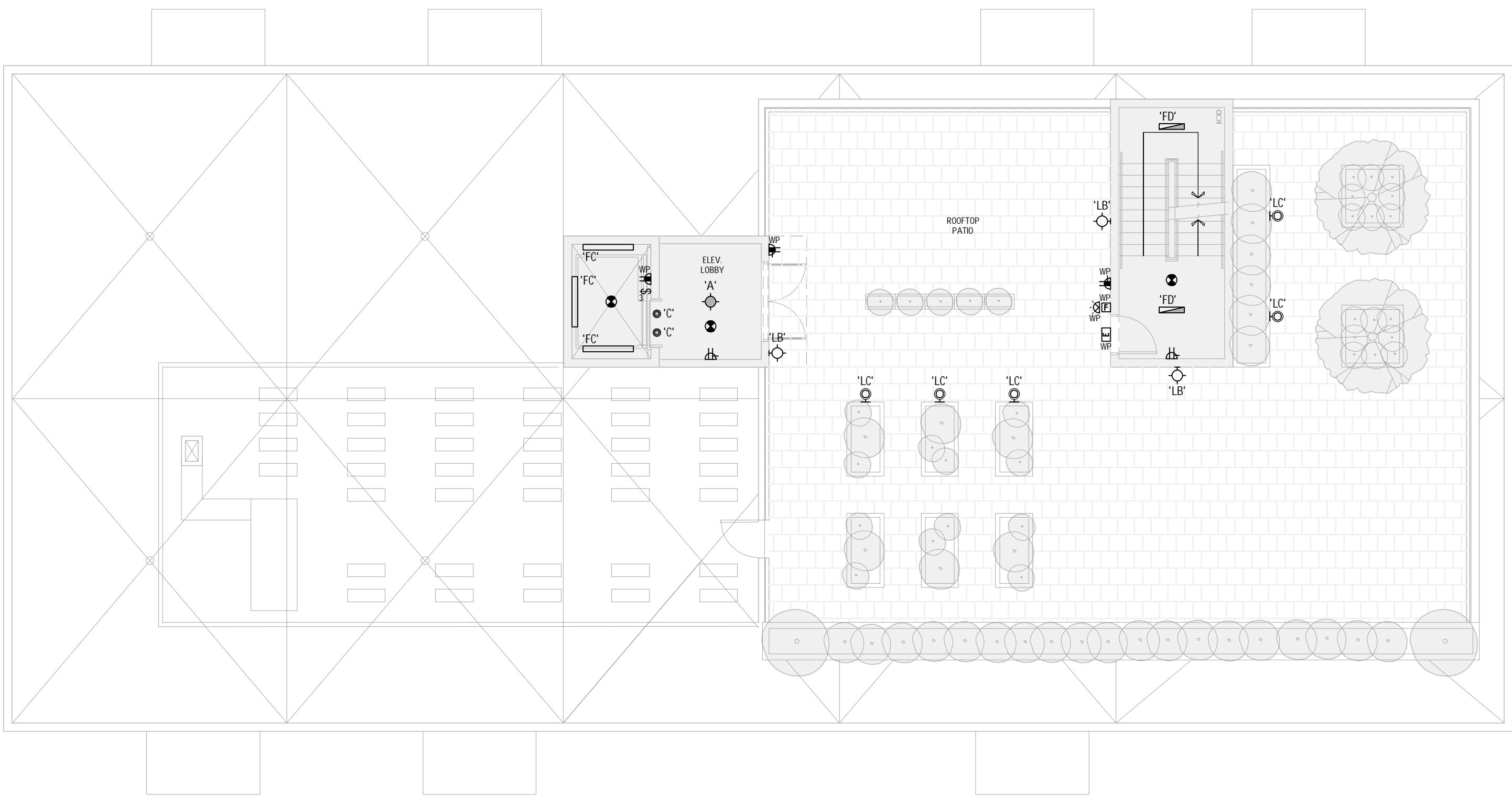
1554 BAY STREET
VICTORIA, BC

TITLE
SITE PLAN, DETAILS AND
LEGEND

PROJECT NO.	1-24-093	SHEET NO.	E100
DRAWN	MT		
CHECKED	PL		
DATE	JANUARY 2025		
SCALE	AS NOTED	REV	2



PROJECT NO.	1-24-093	SHEET NO.
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1
E203

ROOF
ELECTRICAL LAYOUT

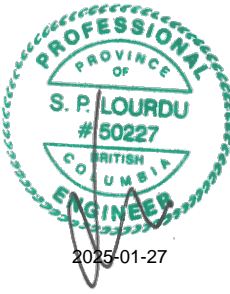
0 8 16 1/8"=1'-0"

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e2 Engineering Inc.

530 Herald Street, Victoria BC V8W 1S6
201-5180 Dublin Way, Nanaimo BC V9T 0H2
778-433-9391
EGBC P2P: 1001513



2	DEVELOPMENT PERMIT	24/01/25
1	REVIEW	12/12/24
NO.	ISSUE	DATE

PROJECT

1551 AND 1554
BAY STREET

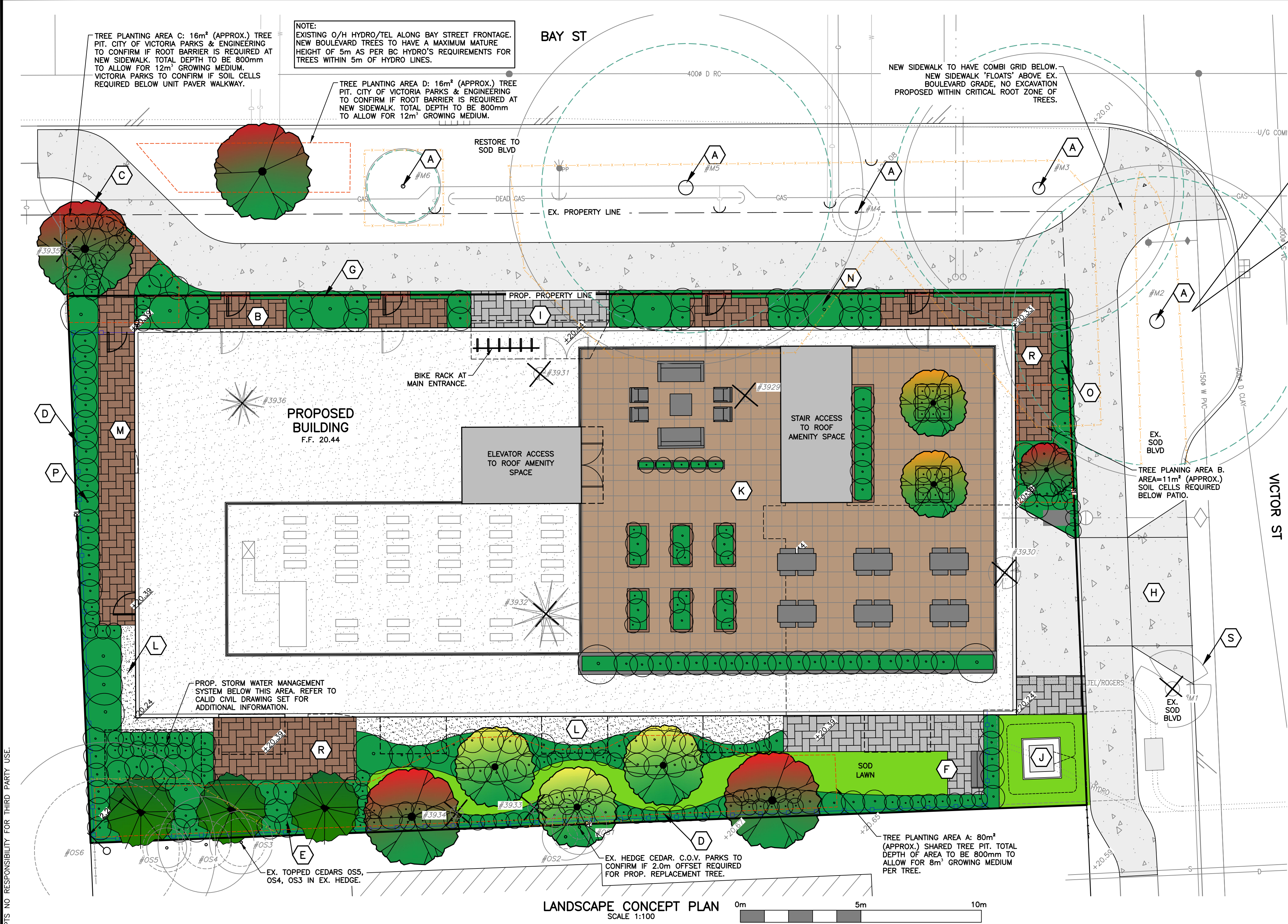
1554 BAY STREET
VICTORIA, BC

TITLE

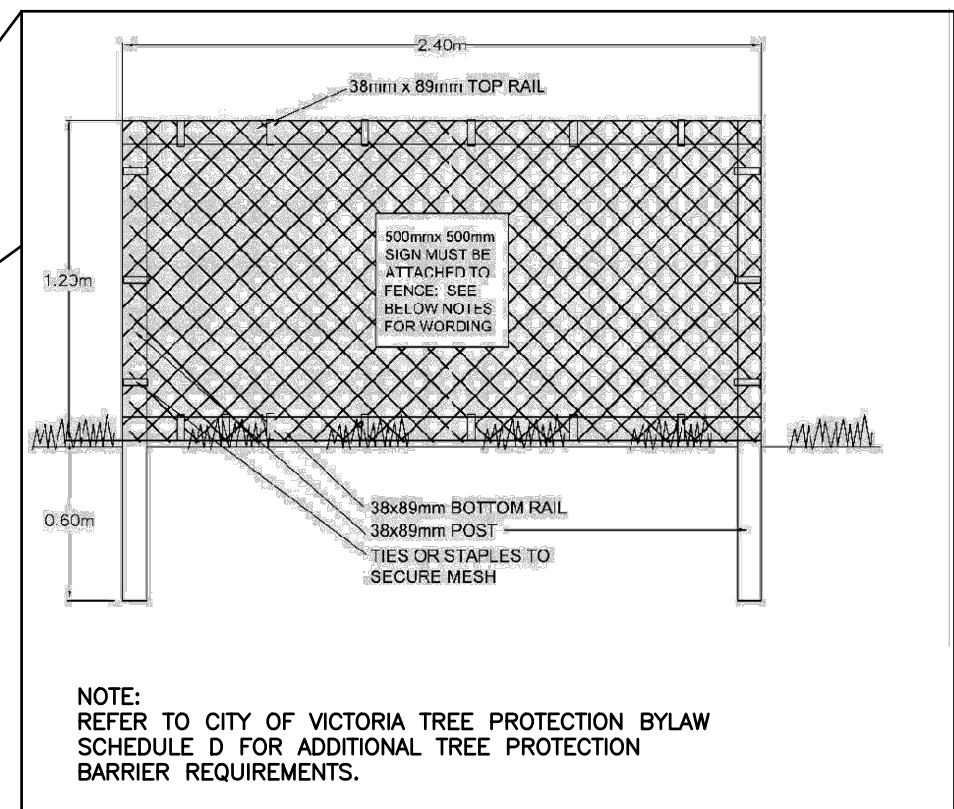
ROOF
ELECTRICAL LAYOUT

PROJECT NO.	1-24-093	SHEET NO.	E203
DRAWN	MT		
CHECKED	PL		
DATE	JANUARY 2025		
SCALE	AS NOTED	REV	
		2	

CALD SERVICES LTD. PREPARED THIS DRAWING FOR THE LISTED CLIENT ONLY AND ACCEPTS NO RESPONSIBILITY FOR THIRD PARTY USE.



NOTE:
REFER TO TALMACK URBAN FORESTRY CONSULTANTS LTD.'S TREE MANAGEMENT PLAN FOR ADDITIONAL INFORMATION RELATING TO TREE PROTECTION FENCING, WORK NEAR EXISTING TREES, ETC.



NOTE:
REFER TO CITY OF VICTORIA TREE PROTECTION BYLAW SCHEDULE D FOR ADDITIONAL TREE PROTECTION BARRIER REQUIREMENTS.

Planting Area ID	Area (m²)	Soil Volume multiplier	ESTIMATED SOIL VOLUME					Soil Volume Required (m³)	
			Replacement Trees Proposed					Total	
			A. Estimated Soil Volume (m³)	B. Small	C. Medium	D. Large	E. Small		
Onsite									
A	80	0.8	64	8	0	0	8	64	
B	11	0.92	10.12	1	0	0	1	8	
Offsite									
C	16	0.8	12.8	1	0	0	1	8	
D	16	0.8	12.8	1	0	0	1	8	

Notes:
1. If B=1, Bx8. On soil cells use 0.92.
2. City of Victoria Parks to confirm proposed trees meet Tree Bylaw standards for small tree species, as not all proposed trees are not included on Schedule E.

BC
1
CALL
1-800-474-6886
CELLULAR *6886

THIS DESIGN IS VALID ONLY IF REVIEWED DURING CONSTRUCTION BY CALD SERVICES LTD.
THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION

KEY NOTES

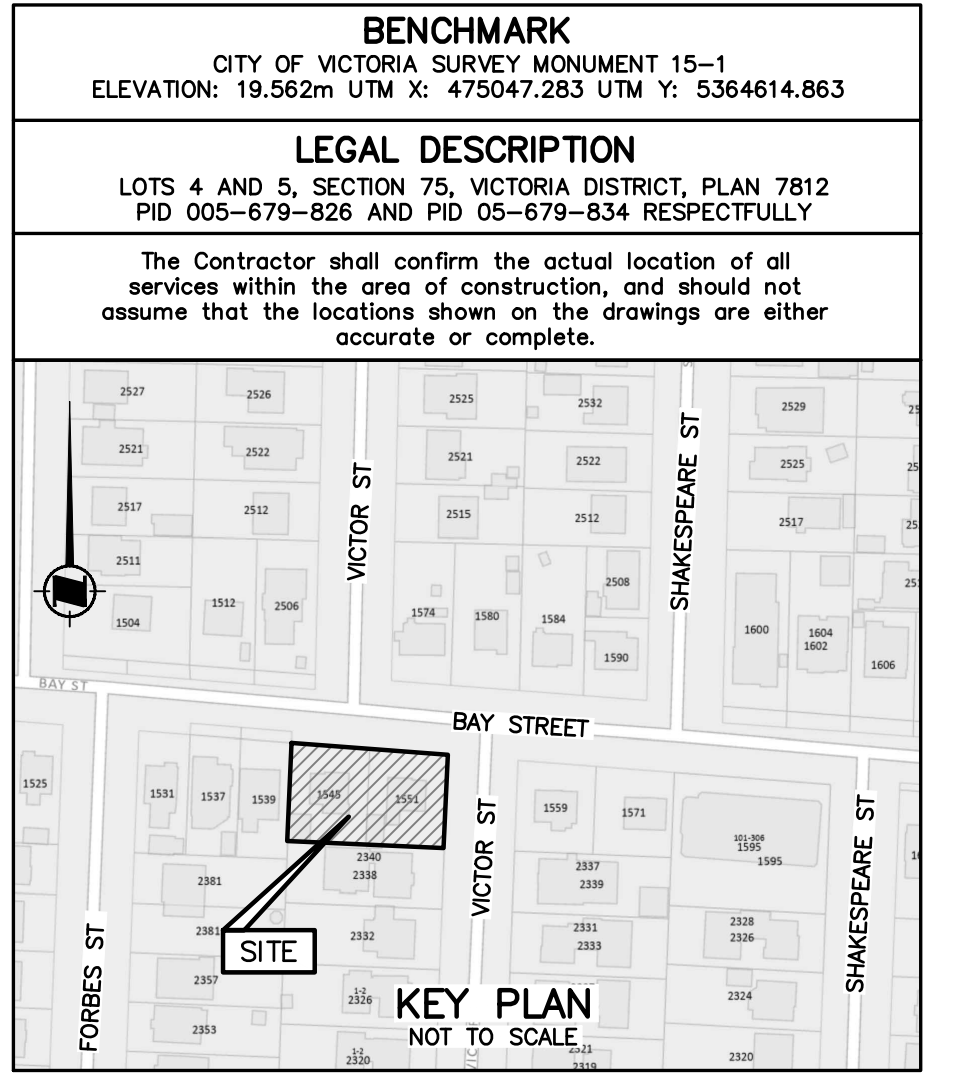
- A EXISTING TREE TO BE PROTECTED & RETAINED. TREE PROTECTION FENCING TO CITY OF VICTORIA STANDARDS TO BE ERECTED PRIOR TO ANY SITE WORK.
- B PROPOSED PRIVATE ENTRANCE C/W UNIT PAVERS. GATE REQUIRED.
- C PROPOSED FLOWERING OR SPECIMEN ACCENT TREE C/W PLANTING BED BELOW. SHRUBS TO INCLUDE DROUGHT TOLERANT SHRUBS, PERENNIALS & ORNAMENTAL GRASSES.
- D PROP. 1.8m HT. PERIMETER WOOD FENCE AT PROPERTY LINE.
- E PERIMETER PLANTING BED C/W NATIVE SHRUBS & SPECIMEN TREES. NON-NATIVE CONIFER TREES TO BE PLANTED C/W ROOT BARRIER AT STORM WATER MANAGEMENT SYSTEM.
- F PROP. RESIDENT AMENITY SPACE C/W SEATING BENCH & PET RELIEF LAWN.
- G 1.2m HT. PICKET STYLE METAL FENCE AT FRONTAGES. GATES REQUIRED AT PRIVATE ENTRANCES.
- H DRIVEWAY ACCESS. REFER TO CALD SERVICES LTD. CIVIL DRAWING SET FOR INFORMATION.
- I MAIN BUILDING ENTRANCE C/W UNIT PAVERS. BIKE RACK TO BE MOUNTED TO CONCRETE PAD WITH TAMPER-PROOF HARDWARE. BIKE RACK SIZE TO ALLOW FOR UTILITY BIKES AND E-BIKES.
- J SCHEMATIC PMT LOCATION. NO PLANTING TO BE WITHIN 1.2m OF PMT AS PER BY HYDRO REQUIREMENTS.
- K ROOF TOP RESIDENT AMENITY PATIO C/W OUTDOOR COUCHES & DINING TABLES. AREA TO INCLUDE RESIDENT HERB GARDEN C/W TIMBER PLANTERS, SMALL FRUIT TREES IN PRE-FABRICATED PLANTERS AND A 1.0m HT. PLANTER WITH SCREEN HEDGE. IRRIGATION SYSTEM REQUIRED FOR ALL PLANTERS.

- L RIVER ROCK MAINTENANCE BORDER AT BUILDING. PLASTIC WOOD EDGER & WEED BARRIER FABRIC.
- M UNIT PAVEMENT WALKWAY TO BAY ST. SIDEWALK. GATE C/W LOCKING MECHANISM REQUIRED.
- N PROP. PLANTING BED AT PATIO C/W SHADE TOLERANT FLOWERING SHRUBS.
- O VICTOR ST. FRONTAGE PLANTING BED C/W FLOWERING PERENNIAL BORDER AT BACK OF SIDEWALK. COLUMNAR SPECIMEN TREE & SHRUBS. PLANTING WITHIN MUNICIPAL BOULEVARD TO BE IRRIGATED & MAINTAINED BY PRIVATE OWNER/STRATA IN PERPETUITY.
- P PERIMETER PLANTING BED C/W NATIVE SHRUBS & GROUNDCOVERS.
- Q EX. SOD BOULEVARD TO BE RESTORED WITH 150mm TOPSOIL & SOD AT NEW SIDEWALK/DISTURBED AREAS. REFER TO CALD SERVICES CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- R PRIVATE PATIO C/W UNIT PAVERS. EDGE RESTRAINT REQUIRED AT LANDSCAPE AREAS.
- S EX. TREE TO BE REMOVED.

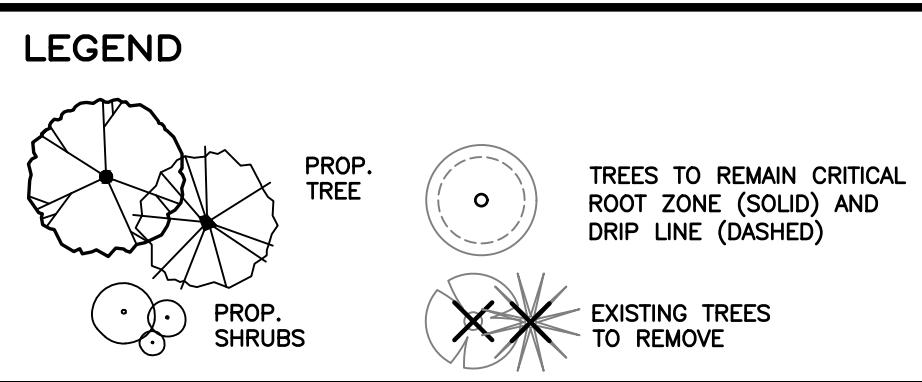
GENERAL NOTES

- ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH CITY OF VICTORIA SPECIFICATIONS & BY-LAWS AND STANDARD DRAWINGS, MMCD SPECIFICATIONS AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALD SERVICES LTD.
- ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF LANDSCAPE AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0% FINISHED GRADE OF ALL PLANTING BEDS TO BE MIN. 50mm BELOW ARCHITECTURAL FINISHES ON BUILDING.
- CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
- CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED RIGID CONSTRUCTION FENCING.
- EXISTING & PROPOSED UNDERGROUND SERVICES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY EXCAVATIONS.
- FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
- CONTRACTOR TO NOTIFY CALD SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE THEIR CREW HAS THE MOST CURRENT LANDSCAPE DRAWINGS IN THE FIELD.
- TREE PROTECTION FENCING TO CITY OF VICTORIA TREE PROTECTION BY-LAW No. 21-035 SCHEDULE D SHALL BE ERECTED AT ALL EXISTING TREES TO BE RETAINED PRIOR TO START OF ANY CONSTRUCTION/DEVELOPMENT RELATED ACTIVITIES OR SITE DISTURBANCE.
- WELL-ROTTED, HIGH ORGANIC CONTENT, LOW WOOD CONTENT MULCH TO BE APPLIED TO BEDS AFTER FINISHED GRADING IS APPROVED AND PLANTING COMPLETE. MULCH TO BE FREE OF CHUNKS, STICKS, SOIL, STONES, ROOTS, ETC. LANDSCAPE CONTRACTOR TO ENSURE MINIMUM BARK MULCH DEPTH OF 50mm AFTER SETTLEMENT.
- AUTOMATIC IRRIGATION SYSTEM REQUIRED. SOD LAWN TO BE IRRIGATED WITH MICRO-SPRAY. TREES AND PLANTING AREAS TO BE IRRIGATED WITH DRIP LINES. TREES TO HAVE TWO (2) EMITTER LOOPS PER TREE. ALL WORK TO IABC AND CITY OF VICTORIA IRRIGATION STANDARDS. TIMER WITH MOISTURE SENSOR AND RAIN DELAY REQUIRED.

DEVELOPMENT
PERMIT ONLY
Not for Construction



Dwg. No.	REFERENCE DRAWINGS	DATE
-	-	-



- PROP. RIVER ROCK BORDER
- PROP. SLAB UNIT PAVERS
- PROP. STANDARD UNIT PAVERS
- 1.8m HT. PERIMETER WOOD FENCE
- 1.2m HT. PICKET STYLE FENCE
- TEMPORARY TREE PROTECTION FENCING
- EX. FENCING

REV.	DATE	REVISIONS	BY	APPROVED



1545/51 BAY ST. DEVELOPMENT
Landscape Plan & Notes
Client: LIDA Construction Inc.

CALD Services Ltd.
207-2750 QUADRA ST.
VICTORIA, B.C. V8T-4E8
PHONE: (250) 388-6919
FAX: (250) 381-6919
engineer@cald.ca

Drawn: dp/gkc/sp
Checked: [Signature]
Approved: [Signature]
Designed: dp

Date: January 27, 2025
Project #: 976
Scale: As Noted
Rev.:

976-L01

