

PROJECT INFORMATION

CIVIC ADDRESS  
1230 GRANT STREET  
1209,1218,1219,1220, and 1226 NORTH PARK STREET  
1219 VINING STREET  
1235 CALEDONIA AVENUE  
1211 GLADESTONE AVENUE

LEGAL DESCRIPTION  
LOT 4 VIP205 SECTION SR VICTORIA  
LOT 5 VIP205 SECTION SR VICTORIA  
LOT 6 VIP205 SECTION SR VICTORIA  
LOT 7 VIP205 SECTION SR VICTORIA  
N 56' OF LOT 8 VIP205 SECTION SR VICTORIA  
REM LOT 8 VIP205 SECTION SR VICTORIA  
LOT 9 VIP205 SECTION SR VICTORIA  
LOT 18 VIP205 SECTION SR VICTORIA  
LOT A SECTION 53, SPRING RIDGE, VIP55528

SITE AREA  
8681.1 SM

PROJECT DESCRIPTION  
THE PROJECT INVOLVES THE DEVELOPMENT OF 158 AFFORDABLE HOUSING RESIDENTIAL UNITS AND SUPPORT FACILITIES IN 2 APARTMENT AND 3 TOWNHOUSE BUILDINGS OVER ONE BASEMENT LEVEL OF PARKADE.

BUILDING HEIGHTS	BCBC	ZONING
APARTMENT 1	4 STOREYS	4 STOREYS, 12.0 M
APARTMENT 2	5 STOREYS	5 STOREYS, 14.78 M
TOWNHOUSE 1	3 STOREYS	4 STOREYS, 11.25 M
TOWNHOUSE 2	3 STOREYS	3 STOREYS, 10.65 M
TOWNHOUSE 3	3 STOREYS	3 STOREYS, 9.8 M

BUILDING AREAS	BCBC
APARTMENT 1	872 SM
APARTMENT 2	875 SM
TOWNHOUSE 1	653 SM
TOWNHOUSE 2	652 SM
TOWNHOUSE 3	260 SM

GROSS BUILDING AREAS	BCBC	ZONING
PARKADE	3905 SM	275 SM*
* AREA OF PARKADE EXCLUDING EXTERIOR WALLS, VEHICLE AND BICYCLE PARKING AND CIRCULATION.		

APARTMENT 1		
LEVEL 1	800 SM	776 SM
LEVEL 2	872 SM	850 SM
LEVEL 3	872 SM	850 SM
LEVEL 4	723 SM	704 SM
TOTAL	3267 SM	3180 SM

APARTMENT 2		
LEVEL 1	789 SM	765 SM
LEVEL 2	656 SM	637 SM
LEVEL 3	831 SM	809 SM
LEVEL 4	831 SM	809 SM
LEVEL 5	690 SM	672 SM
TOTAL	3797 SM	3692 SM

TOWNHOUSE 1		
LEVEL 0	601 SM	566 SM**
LEVEL 1	603 SM	581 SM
LEVEL 2	608 SM	592 SM
LEVEL 3	645 SM	633 SM
TOTAL	2457 SM	2372 SM
** DOES NOT CONTRIBUTE TO FSR.		

TOWNHOUSE 2		
LEVEL 0	645 SM	606 SM**
LEVEL 1	607 SM	590 SM
LEVEL 2	607 SM	590 SM
LEVEL 3	645 SM	632 SM
TOTAL	2504 SM	2418 SM
** DOES NOT CONTRIBUTE TO FSR.		

TOWNHOUSE 3		
LEVEL 1	231 SM	222 SM
LEVEL 2	243 SM	235 SM
LEVEL 3	253 SM	246 SM
TOTAL	727 SM	703 SM

RESIDENTIAL UNIT SUMMARY	
APARTMENTS 1 & 2	
14 STUDIO @	34 SM
38 ONE BED @	47 - 49 SM
7 ACCESSIBLE ONE BED @	53 SM
14 TWO BED @	61 - 76 SM
5 ACCESSIBLE TWO BED @	71 SM
12 THREE BED @	78 - 88 SM
1 ACCESSIBLE THREE BED @	98 SM
6 FOUR BED @	98 - 118 SM
97 TOTAL	

TOWNHOUSES 1-3	
55 TWO BED @	81 - 90 SM
2 ACCESSIBLE TWO BED @	104 SM
2 THREE BED @	118 SM
4 FOUR BED @	130 SM
61 TOTAL	

VEHICLE PARKING	
PARKADE	112
SURFACE	5
TOTAL	117

BICYCLE PARKING	
LONG TERM	196
SHORT TERM	30
TOTAL	226

VICTORIA ZONING BYLAW SUMMARY

ZONING  
R-K  
R-2

USE  
RESIDENTIAL

FLOOR SPACE RATIO  
GROSS BUILDING FLOOR AREA (ZONING) / SITE AREA  
11193/8681.1 = 1.29

SITE COVERAGE  
AREA OF LOT OCCUPIED BY ANY STRUCTURE/ SITE AREA  
3544/8681.1 = 41%

OPEN SITE SPACE  
SITE AREA - (BUILDING AREA + SURFACE PARKING AREA)  
8681.1 - 3460 = 5221.1  
OPEN SITE SPACE/ SITE AREA  
5221.1/ 8681.1 = 49%

AVERAGE GRADE (GEODETIC)	
(SEE SITE PLAN FOR GRADE CALCULATION).	
APARTMENT 1	33.5 M
APARTMENT 2	33.4 M
TOWNHOUSE 1	33.0 M
TOWNHOUSE 2	32.6 M
TOWNHOUSE 3	32.8 M

HEIGHT OF BUILDINGS	
(AS MEASURED FROM AVERAGE GRADE).	
APARTMENT 1	12.000 M
APARTMENT 2	14.780 M
TOWNHOUSE 1	11.250 M
TOWNHOUSE 2	10.650 M
TOWNHOUSE 3	9.800 M

VEHICLE PARKING	
< 45 SM	2 X 14 = 2.8
45 - 70 SM	.5 X 58 = 29
> 70 SM	.75 X 86 = 64.5
DAYCARE	139/80 = 1.7
SUBTOTAL	98
VISITOR	.1 X 158 = 15.8 (16)
TOTAL REQUIRED	114
PROVIDED	117

BICYCLE PARKING	
LONG TERM	
< 45 SM	14 X 11 = 14
> 45 SM	1.25 X 144 = 180
DAYCARE	139/200 = 1
TOTAL LONG TERM REQUIRED	195
TOTAL PROVIDED	196

SHORT TERM	
RESIDENTIAL (THE GREATER OF)	.1 X 158 OR 6 X 5
TOTAL SHORT TERM REQUIRED	30
TOTAL PROVIDED	30

CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018,

PARKADE  
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
BELOW GRADE PARKADE -  
GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)  
BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS OF ALL BUILDINGS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY  
3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED  
FIRE SUPPRESSION - FULL SPRINKLERED  
ALLOWABLE HEIGHT - ANY HEIGHT  
ALLOWABLE AREA - ANY AREA  
CONSTRUCTION - NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 2 HOUR  
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION  
FIRE SUPPRESSION - FULL SPRINKLERED  
HEIGHT - 1 STOREY  
AREA - 3905 SM  
CONSTRUCTION - NON COMBUSTIBLE  
FLOOR ASSEMBLY - 2 HOUR  
SUPPORTING WALLS AND STRUCTURE - 2 HOUR

APARTMENT 1  
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY  
3.2.2.51 - GROUP C, UP TO 4 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 4 STOREYS  
ALLOWABLE AREA - 1800 SM (BASED ON FOUR STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION  
FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 4 STOREYS  
AREA - 872 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - NONE

APARTMENT 2  
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY  
3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 6 STOREYS & 18 M  
ALLOWABLE AREA - 1800 SM (BASED ON FIVE STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - 1 HOUR

ACTUAL SIZE AND CONSTRUCTION  
FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 5 STOREYS, 14.96 M  
AREA - 875 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 1 HOUR  
SUPPORTING WALLS AND STRUCTURE - 1 HOUR  
ROOF ASSEMBLY - 1 HOUR

CODE ANALYSIS CONTINUED

TOWNHOUSE 1  
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY  
3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 3 STOREYS  
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION  
FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 3 STOREYS WITH BASEMENT  
AREA - 653 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

TOWNHOUSE 2  
OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)  
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY  
3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED  
FIRE SUPPRESSION - FULLY SPRINKLERED  
ALLOWABLE HEIGHT - 3 STOREYS  
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION  
FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 3 STOREYS WITH BASEMENT  
AREA - 652 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

TOWNHOUSE 3  
OCCUPANCY CLASSIFICATIONS (TABLE 9.10.2.1)  
GROUP C - RESIDENTIAL

FIRE-RESISTANCE RATINGS (TABLE 9.10.8.1)  
USE - RESIDENTIAL (GROUP C)  
MAXIMUM HEIGHT - 3 STOREYS  
MAXIMUM AREA - 600 SM  
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE  
FLOOR ASSEMBLIES - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION  
FIRE SUPPRESSION - FULLY SPRINKLERED  
HEIGHT - 3 STOREYS WITH BASEMENT  
AREA - 392 SM  
CONSTRUCTION - COMBUSTIBLE  
FLOOR ASSEMBLY - 45 MIN.  
SUPPORTING WALLS AND STRUCTURE - 45 MIN.  
ROOF ASSEMBLY - NONE

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CIVIL  
19-028-REZONING  
CONCEPTUAL SERVICING

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Revisions  
Bubbled areas indicate revisions compared to the previously submitted plans  
Received Date:  
April 16/20  
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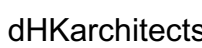
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3	2019/08	ISSUED FOR COTW
2	2019/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
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Drawn by	FWP	checked by RAW
Scale	SEE DRAWING	project number 1907

NOTE: All dimensions are shown in millimeters.

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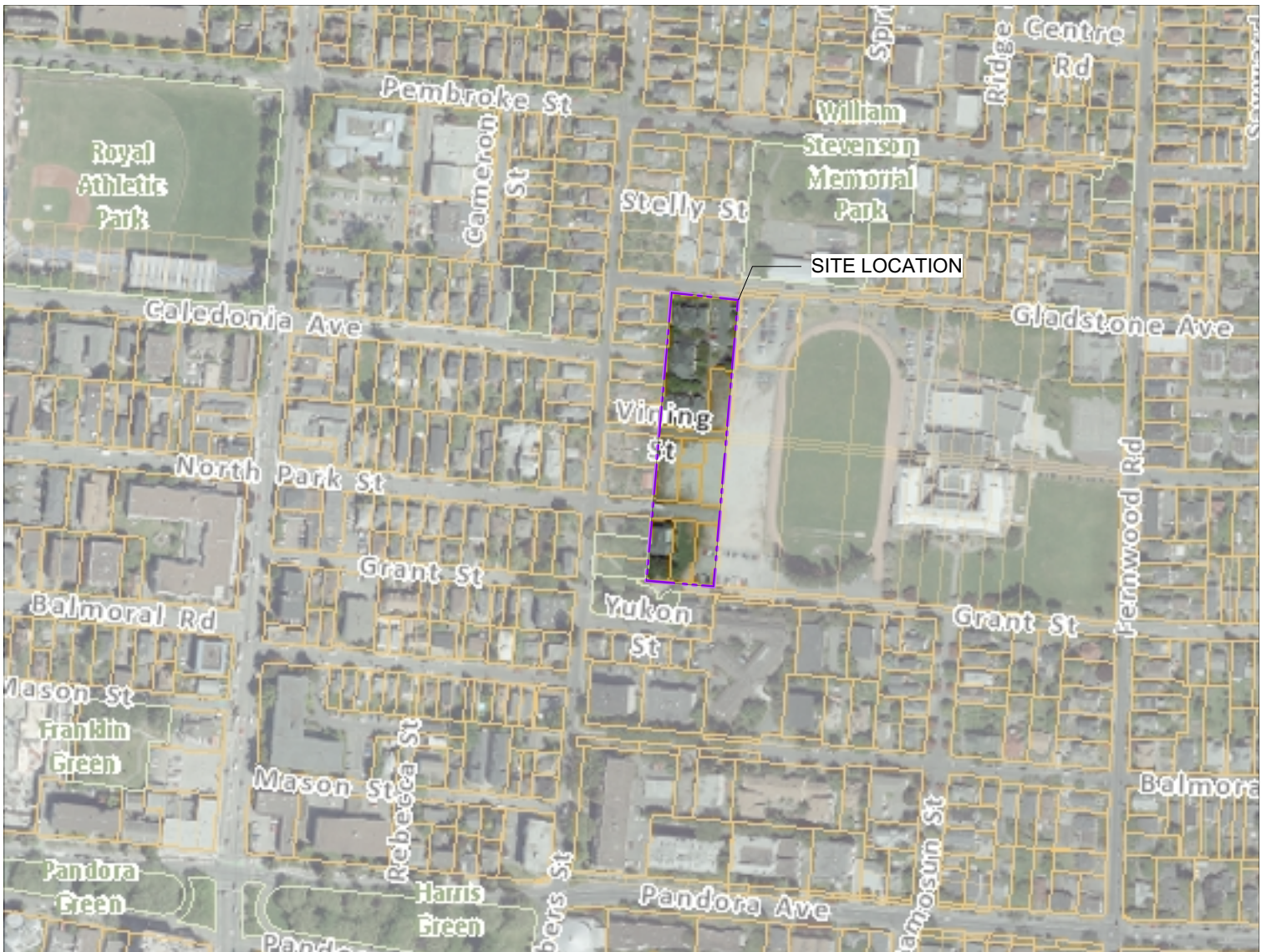
project name  
Caledonia  
Victoria, BC

Project Information

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A001

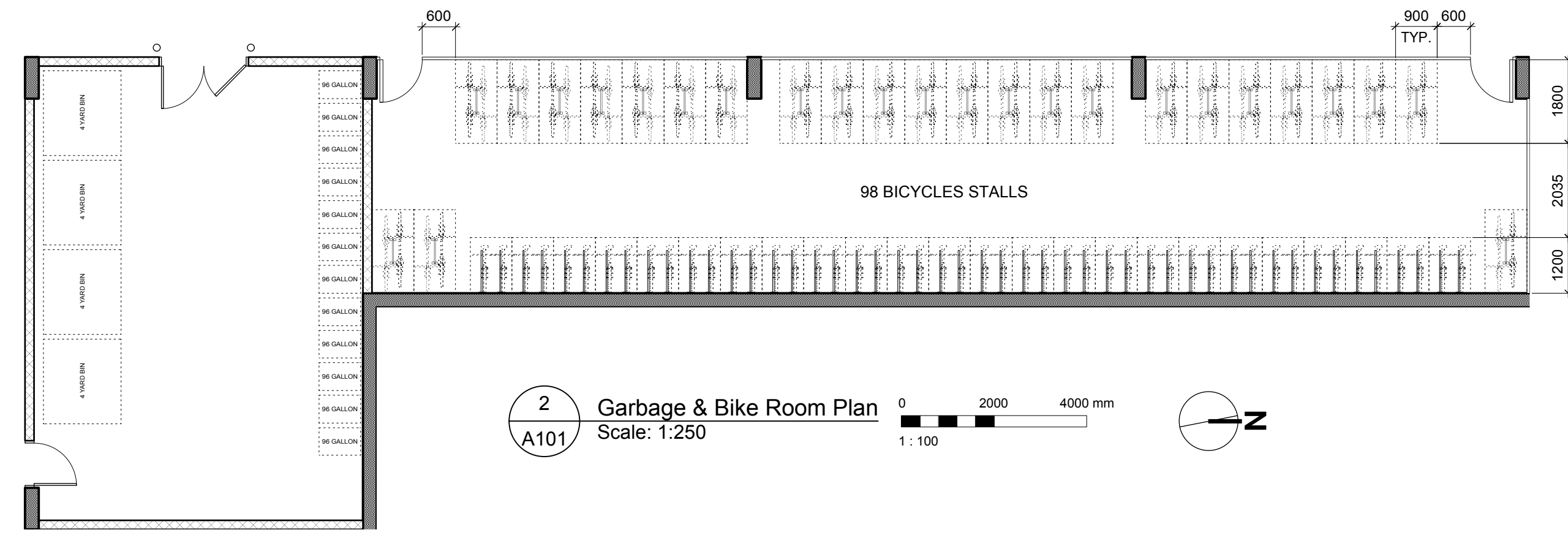
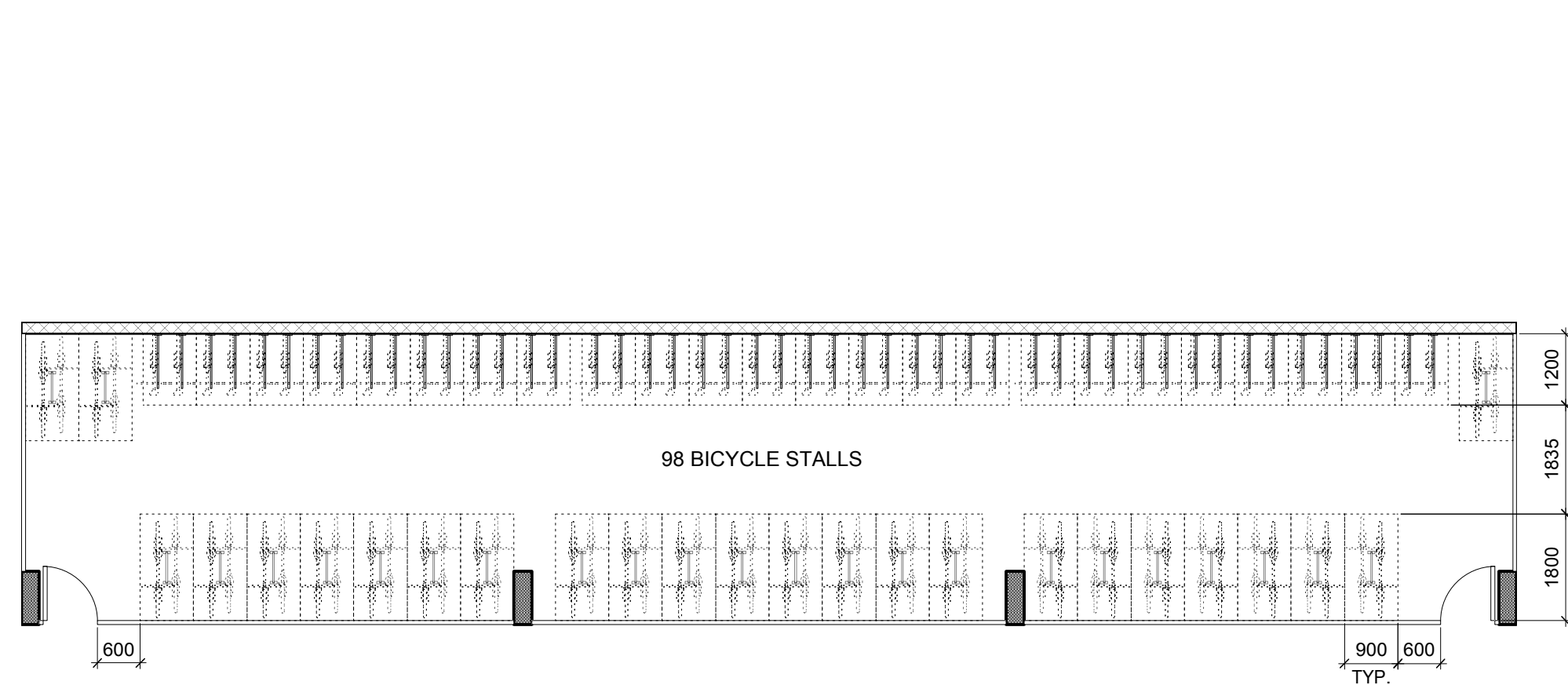
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## GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



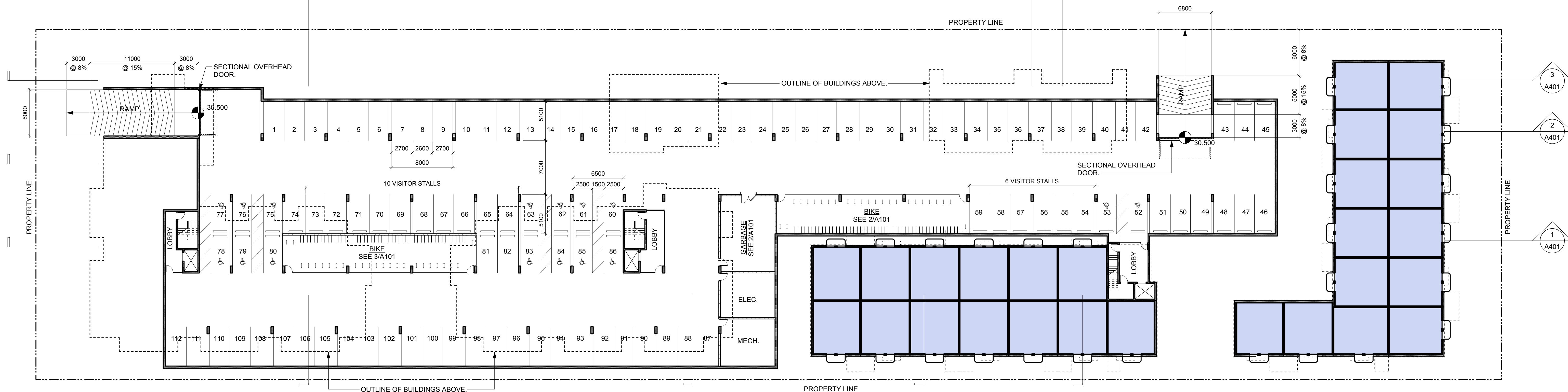
3 Bike Room Plan  
A101 Scale: 1:250

4  
A402

3  
A402

2  
A402

1  
A401



1 Parkade & LO Plan  
A101 Scale: 1:250

0 5000 10000 mm  
1:250

3  
A402

## VEHICLE PARKING CALCULATION

UNITS < 45 SM	14 X 2 = 2.8
UNITS 45-70 SM	58 X .5 = 29
UNITS >70 SM	86 X .75 = 64.5
DAYCARE	139/80 = 1.7
SUBTOTAL	98
VISITOR	114
TOTAL REQUIRED	158 X .1 = 15.8 (16)
PROVIDED	117 (5 SURFACE)

## LONG TERM BIKE PARKING CALCULATION

UNITS < 45 SM	14 X 1 = 14
UNITS > 45 SM	144 X 1.25 = 180
DAYCARE	139/200 = 1
TOTAL REQUIRED	195
PROVIDED	196

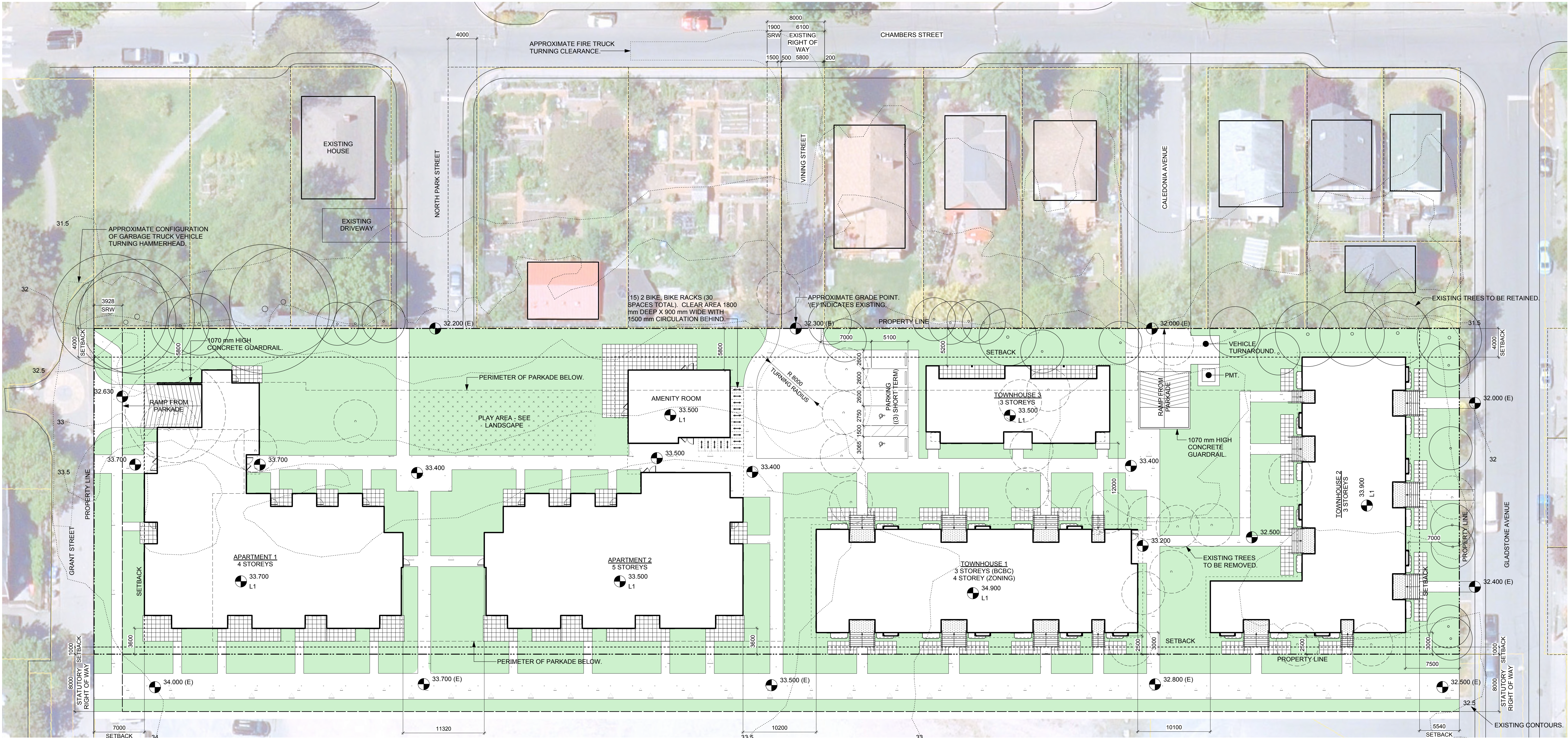
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DESIGNED BY	FWP	CHECKED BY
SCALE	AS SHOWN	PROJECT NUMBER

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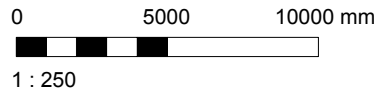
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project name Caledonia Victoria BC	drawing no. A101
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1  
A201  
Site Plan  
Scale: 1:250



PROJECT INFORMATION TABLE			
ZONE (EXISTING)	-	MINIMUM NEW BUILDING SETBACKS (M)	
PROPOSED ZONE	NEW ZONE	FRONT YARD (SOUTH)	7.0
SITE AREA (SM)	8681.1	REAR YARD (NORTH)	5.54
TOTAL NEW FLOOR AREA (SM)	11193	SIDE YARD (WEST)	4
COMMERCIAL FLOOR AREA (SM)	0	SIDE YARD (EAST)	1
FLOOR SPACE RATIO	1.29	COMBINED SIDE YARDS	5
SITE COVERAGE (%)	41%	NEW RESIDENTIAL USE DETAILS	
OPEN SITE SPACE (%)	49%	TOTAL NUMBER OF NEW UNITS	158
MAXIMUM HEIGHT OF NEW BUILDINGS (M)	14780 AS MEASURED FROM AVERAGE GRADE	NEW UNIT TYPES	STUDIO, ONE, TWO, THREE, & FOUR BEDROOM
MAXIMUM NUMBER OF STOREYS	5	NEW GROUND ORIENTED UNITS	46
PARKING STALLS (NUMBER) ON SITE	117	MINIMUM NEW UNIT FLOOR AREA (SM)	34
BICYCLE PARKINGS NUMBER (CLASS 1 AND CLASS 2)	226	TOTAL NEW RESIDENTIAL FLOOR AREA (SM)	10358

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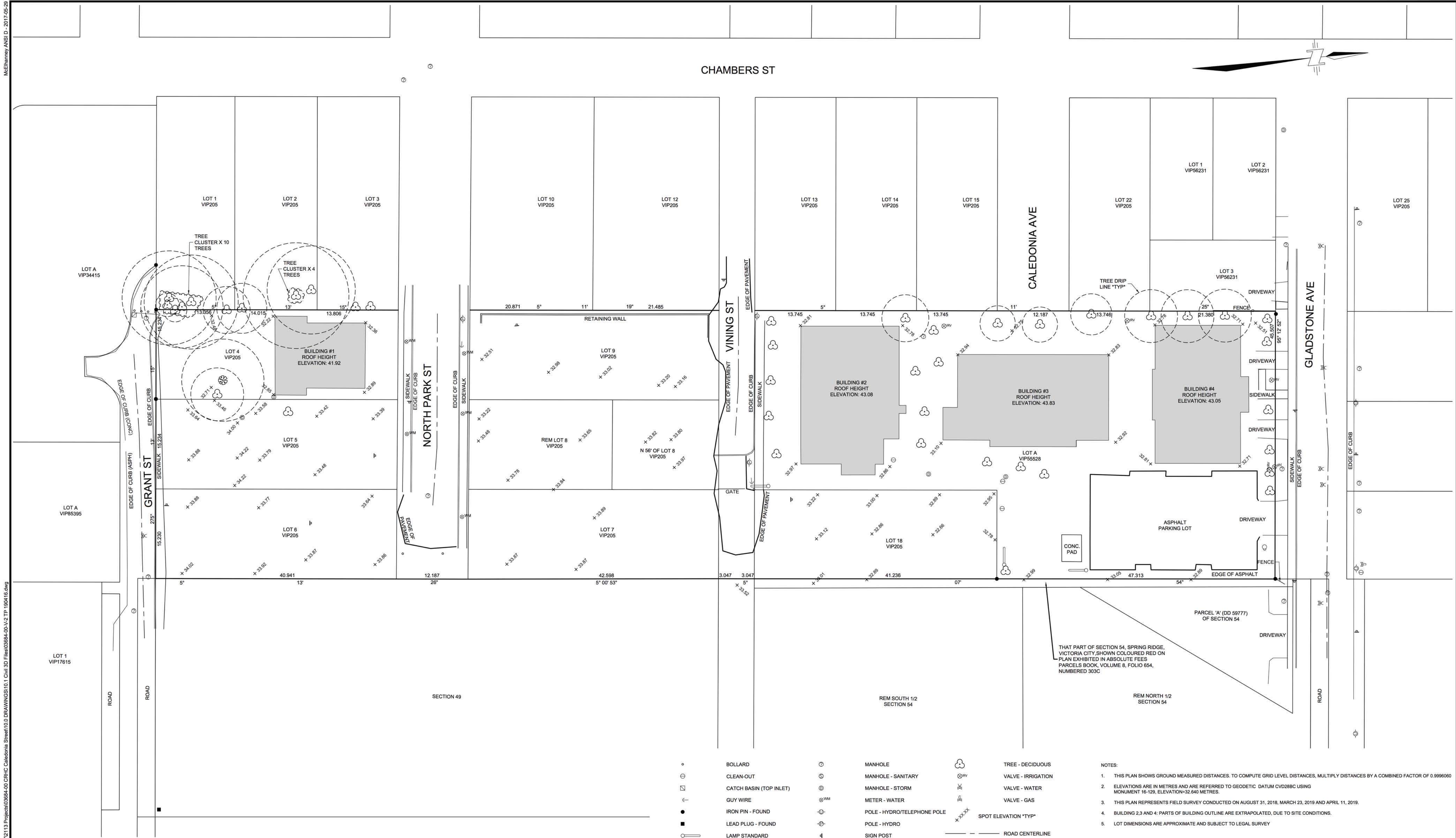
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project name			
Caledonia			
Victoria BC			
drawing no.			
Architectural Site Plan			
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A201		4	



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DATE: 2019-04-16, 14:08 FILE: E:\SURVEY\2113\Project\3684-00\CRHC Caledonia Street\10.0 DRAWINGS\10.1 Civil 3D\3684-00-V-1 TP 190416.dwg



Rev	Date	Description	Drawn	Surv	App'd
2	2019-04-16	REVISED WITH ADDITIONAL SURVEY INFO	SALM	SM	GO
1	2019-03-29	REVISED WITH ADDITIONAL SURVEY INFO	SA	SM	GO
0	2018-09-17	ORIGINAL ISSUE	LM	JC	GO

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ORIGINAL DWG SIZE: ANSI D (22" x 34")

**McElhanney**  
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Approved Sealed

**CAPITAL REGIONAL HOUSING CORP**  
631 FISGARD ST, PO BOX 1000, VICTORIA, BC  
**RE-DEVELOPMENT OF CALEDONIA ST PROPERTIES**  
**SITE PLAN**  
1236 GRANT ST, 1209, 1218, 1219, 1220, AND 1226 NORTH PARK ST, 1219 VINING ST, 1235 CALEDONIA AVE  
VICTORIA, BC

Drawing No.  
**03684-00-V-1 TP**  
Project Number  
2113-03684-00  
Rev.  
02

Rev	Date	Description
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1	19/12/16	RESPONSE TO PLANNING REVIEW

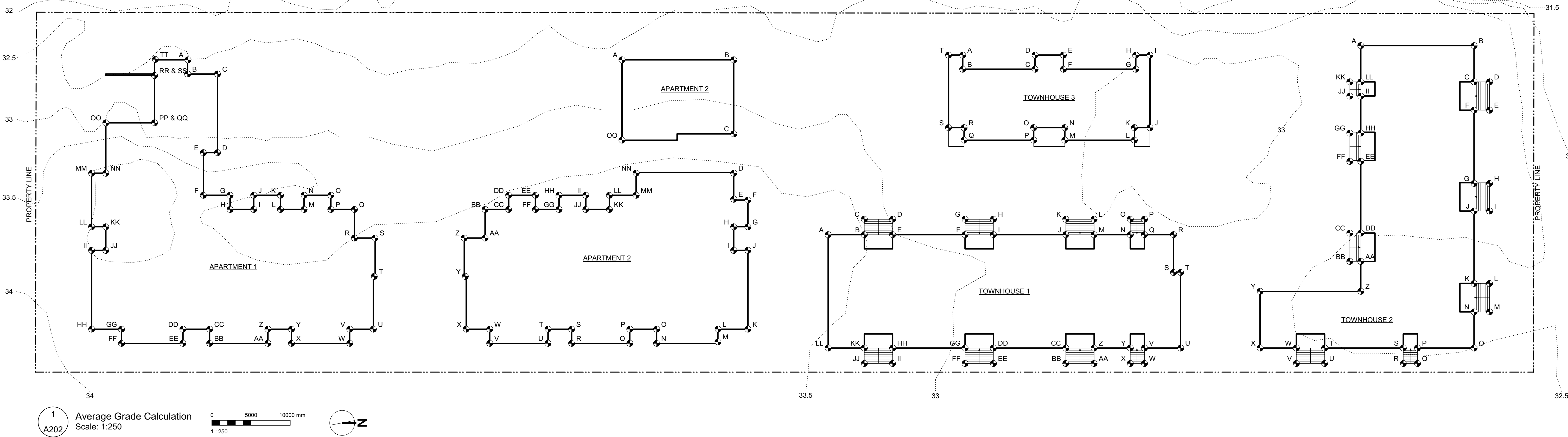
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scale: SEE DRAWING  
project number: 1907

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project name <b>Caledonia</b> Victoria, BC	
Survey	
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	<b>4</b>





GRADE CALCULATION							
APARTMENT 1							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	32.5	32.6	2	32.6	1.8	58.6	
B&C	32.6	32.6	2	32.6	3.8	123.9	
C&D	32.6	33.3	2	33.0	10.0	329.5	
D&E	33.3	33.3	2	33.3	1.8	59.9	
E&F	33.3	33.8	2	33.6	5.4	181.2	
F&G	33.8	33.7	2	33.8	3.4	114.8	
G&H	33.7	33.5	2	33.6	1.8	60.5	
H&I	33.5	38.4	2	36.0	3.0	107.9	
I&J	38.4	33.5	2	36.0	1.8	64.7	
J&K	33.5	33.5	2	33.5	3.4	113.9	
K&L	33.5	33.4	2	33.5	1.8	60.2	
L&M	33.4	33.4	2	33.4	3.0	100.2	
M&N	33.4	33.5	2	33.5	1.8	60.2	
N&O	33.5	33.4	2	33.5	3.4	113.7	
O&P	33.4	33.3	2	33.4	1.8	60.0	
P&Q	33.3	33.3	2	33.3	3.0	99.9	
Q&R	33.3	33.5	2	33.4	3.6	121.4	
R&S	33.5	33.5	2	33.5	2.6	88.4	
S&T	33.5	33.7	2	33.6	4.9	163.6	
T&U	33.7	33.8	2	33.8	6.7	226.0	
U&V	33.8	33.8	2	33.8	3.0	101.4	
V&W	33.8	33.8	2	33.8	1.8	60.8	
W&X	33.8	33.8	2	33.8	7.4	250.1	
X&Y	33.8	33.8	2	33.8	1.8	60.8	
Y&Z	33.8	33.9	2	33.9	3.0	101.6	
Z&AA	33.9	33.9	2	33.9	1.8	61.0	
AA&BB	33.9	33.9	2	33.9	7.4	250.9	
BB&CC	33.9	33.9	2	33.9	1.8	61.0	
CC&DD	33.9	33.9	2	33.9	3.4	115.3	
DD&EE	33.9	33.9	2	33.9	1.8	61.0	
EE&FF	33.9	33.9	2	33.9	7.8	264.4	
FF&GG	33.9	33.9	2	33.9	1.8	61.0	
GG&HH	33.9	33.9	2	33.9	3.8	128.8	
HH&II	33.9	34.0	2	34.0	10.0	339.5	
II&JJ	34.0	34.0	2	34.0	1.9	62.9	
JJ&KK	34.0	34.0	2	34.0	3.0	100.3	
KK&LL	34.0	34.0	2	34.0	1.8	61.2	
LL&MM	34.0	34.0	2	34.0	6.8	231.2	
MM&NN	34.0	34.0	2	34.0	1.8	61.2	
NN&OO	34.0	33.0	2	33.5	6.3	211.6	
OO&PP	33.0	32.9	2	33.0	6.2	204.3	
QQ&RR	31.2	31.2	2	31.2	6.2	191.9	
SS&TT	32.6	32.5	2	32.6	1.9	61.8	
TT&A	32.5	32.5	2	32.5	6.3	205.2	
						GRADE = TOTAL/Perimeter	
Perimeter						167.5 5617.8	
						33.5	

GRADE CALCULATION							
APARTMENT 2							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	32.7	32.8	2	32.8	14.2	465.1	
B&C	32.8	33.3	2	33.1	9.4	310.7	
C&D	33.3	33.5	2	33.4	5.0	167.0	
D&E	33.5	33.5	2	33.5	3.4	113.9	
E&F	33.5	33.5	2	33.5	1.8	60.3	
F&G	33.5	33.5	2	33.5	3.4	113.9	
G&H	33.5	33.5	2	33.5	1.8	60.3	
H&I	33.5	33.5	2	33.5	3.0	100.5	
I&J	33.5	33.5	2	33.5	1.8	60.3	
J&K	33.5	33.5	2	33.5	10.0	335.0	
K&L	33.5	33.6	2	33.5	3.8	127.4	
L&M	33.6	33.6	2	33.6	1.8	60.5	
M&N	33.6	33.6	2	33.6	7.8	262.1	
N&O	33.6	33.6	2	33.6	1.8	60.5	
O&P	33.6	33.6	2	33.6	3.4	114.2	
P&Q	33.6	33.6	2	33.6	1.8	60.5	
Q&R	33.6	33.7	2	33.7	7.4	249.0	
R&S	33.7	33.7	2	33.7	1.8	60.7	
S&T	33.7	33.7	2	33.7	3.0	101.1	
T&U	33.7	33.7	2	33.7	1.8	60.7	
U&V	33.7	33.7	2	33.7	7.4	249.4	
V&W	33.7	33.7	2	33.7	1.8	60.7	
W&X	33.7	33.7	2	33.7	3.0	101.1	
X&Y	33.7	33.6	2	33.7	6.7	225.3	
Y&Z	33.6	33.6	2	33.6	4.9	163.6	
Z&AA	33.6	33.6	2	33.6	2.6	88.7	
AA&BB	33.6	33.5	2	33.6	3.6	122.0	
BB&CC	33.5	33.5	2	33.5	3.0	100.5	
CC&DD	33.5	33.5	2	33.5	1.8	60.3	
DD&EE	33.5	33.6	2	33.6	3.4	114.1	
EE&FF	33.5	33.5	2	33.5	1.8	60.3	
FF&GG	33.5	33.5	2	33.5	3.0	100.5	
GG&HH	33.5	33.5	2	33.5	1.8	60.3	
HH&II	33.5	33.5	2	33.5	3.4	113.9	
II&JJ	33.5	33.5	2	33.5	1.8	60.3	
JJ&KK	33.5	33.5	2	33.5	3.0	100.5	
KK&LL	33.5	33.5	2	33.5	1.8	60.3	
LL&MM	33.5	33.5	2	33.5	3.4	113.9	
MM&NN	33.5	33.5	2	33.5	2.8	93.8	
NN&OO	33.5	33.3	2	33.5	4.6	153.1	
OO&A	33.3	32.7	2	33.0	10.2	336.6	
						GRADE = TOTAL/Perimeter	
Perimeter						164.0 5482.6	
						33.4	

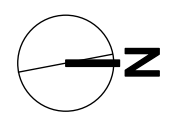
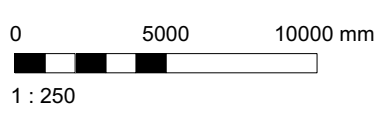
GRADE CALCULATION							
TOWNHOUSE 1							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	33.6	33.5	2	33.6	4.6	153.2	
B&C	33.5	33.4	2	33.5	2.0	65.6	
C&D	33.4	33.0	2	33.2	3.6	119.5	
D&E	33.0	33.0	2	33.0	2.0	64.7	
E&F	33.0	32.9	2	33.0	9.2	303.1	
F&G	32.9	32.9	2	32.9	2.0	64.5	
G&H	32.9	32.9	2	32.9	3.6	118.4	
H&I	32.9	32.9	2	32.9	2.0	64.5	
I&J	32.9	32.8	2	32.9	9.2	302.2	
J&K	32.8	32.9	2	32.9	2.0	64.4	
K&L	32.9	33.0	2	33.0	3.6	118.6	
L&M	33.0	32.8	2	32.9	2.0	64.5	
M&N	32.8	32.7	2	32.8	4.6	150.7	
N&O	32.7	32.8	2	32.8	2.0	64.2	
O&P	32.8	32.9	2	32.9	1.8	59.1	
P&Q	32.9	32.7	2	32.8	2.0	64.3	
Q&R	32.7	32.9	2	32.8	3.7	121.4	
R&S	32.9	32.7	2	32.8	4.8	157.4	
S&T	32.7	32.7	2	32.7	0.9	29.4	
T&U	32.7	32.7	2	32.7	9.6	313.9	
U&V	32.7	32.7	2	32.7	4.6	150.4	
V&W	32.7	32.7	2	32.7	2.0	64.1	
W&X	32.7	32.8	2	32.8	1.8	59.0	
X&Y	32.8	32.8	2	32.8	2.0	64.3	
Y&Z	32.8	32.8	2	32.8	4.6	150.9	
Z&AA	32.8	32.8	2	32.8	2.0	64.3	
AA&BB	32.8	32.9	2	32.9	3.6	118.3	
BB&CC	32.9	32.9	2	32.9	2.0	64.5	
CC&DD	32.9	32.9	2	32.9	9.2	302.7	
DD&EE	32.9	32.9	2	32.9	2.0	64.5	
EE&FF	32.9	33.0	2	33.0	3.6	118.6	
FF&GG	33.0	33.0	2	33.0	2.0	64.7	
GG&HH	33.0	33.2	2	33.1	9.2	304.5	
HH&II	33.2	33.2	2	33.2	2.0	65.1	
II&JJ	33.2	33.3	2	33.3	3.6	119.7	
JJ&KK	33.3	33.3	2	33.3	2.0	65.3	
KK&LL	33.3	33.4	2	33.4	4.6	153.4	
LL&A	33.4	33.6	2	33.5	14.5	484.1	
						GRADE = TOTAL/Perimeter	
Perimeter						149.8 4941.8	
						33.0	

GRADE CALCULATION							
TOWNHOUSE 2							
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTAL	
A&B	32.7	32.6	2	32.7	14.4	471.6	
B&C	32.6	32.6	2	32.6	4.6	150.0	
C&D	32.6	32.6	2	32.6	2.0	63.9	
D&E	32.6	32.6	2	32.6	3.6	117.4	
E&F	32.6	32.6	2	32.6	2.0	63.9	
F&G	32.6	32.6	2	32.6	9.2	299.9	
G&H	32.6	32.6	2	32.6	2.0	63.9	
H&I	32.6	32.6	2	32.6	3.6	117.4	
I&J	32.6	32.6	2	32.6	2.0	63.9	
J&K	32.6	32.5	2	32.6	9.2	299.5	
K&L	32.5	32.5	2	32.5	2.0	63.7	
L&M	32.5	32.5	2	32.5	3.6	117.0	
M&N	32.5	32.5	2	32.5	2.0	63.7	
N&O	32.5	32.5	2	32.5	4.6	149.5	
O&P	32.5	32.5	2	32.5	7.2	234.0	
P&Q	32.5	32.5	2	32.5	2.0	63.7	
Q&R	32.5	32.5	2	32.5	1.8	58.5	
R&S	32.5	32.5	2	32.5	2.0	63.7	
S&T	32.5	32.5	2	32.5	10.0	325.0	
T&U	32.5	32.5	2	32.5	2.0	63.7	
U&V	32.5	32.6	2	32.6	3.6	117.2	
V&W	32.6	32.6	2	32.6	2.0	63.9	
W&X	32.6	32.6	2	32.6	4.6	150.0	
X&Y	32.6	32.6	2	32.6	7.2	234.7	
Y&Z	32.6	32.6	2	32.5	12.8	416.0	
Z&AA	32.4	32.5	2	32.5	3.8	123.3	
AA&BB	32.5	32.5	2	32.5	1.4	45.5	
BB&CC	32.5	32.5	2	32.5	3.6	117.0	
CC&DD	32.5	32.5	2	32.5	1.4	45.5	
DD&EE	32.5	32.8	2	32.7	9.2	300.4	
EE&FF	32.8	32.8	2	32.8	1.4	45.9	
FF&GG	32.8	32.8	2	32.8	3.6	118.1	
GG&HH	32.8	32.8	2	32.8	1.4	45.9	
HH&II	32.8	32.8	2	32.8	4.6	150.9	
II&JJ	32.8	32.8	2	32.9	1.4	46.0	
JJ&KK	32.9	32.9	2	32.9	1.8	58.2	
KK&LL	32.9	32.8	2	32.9	1.4	46.0	
LL&A	32.8	32.7	2	32.8	4.6	150.7	
							GRADE =
							TOTAL/Perimeter
				Perimeter	159.2	5189.9	32.6





1  
A203  
L1 Plan  
Scale: 1:250



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

UNIT COMPOSITION

APARTMENTS 1&2						
UNIT TYPE	L1	L2	L3	L4	L5	TOTAL
STUDIO	4	4	4	2	-	14
1 BED	13	12	12	7	1	45
2 BED	1	1	2	8	8	20
3 BED	3	3	3	3	-	12
4 BED	-	2	3	1	-	6
TOTAL	21	22	24	21	9	97

TOWNHOUSES 1-3	
UNIT TYPE	TOTAL
STUDIO	-
1 BED	-
2 BED	57
3 BED	2
4 BED	2
TOTAL	61

OVERALL DEVELOPMENT	
UNIT TYPE	TOTAL
STUDIO	14
1 BED	45
2 BED	77
3 BED	14
4 BED	8
TOTAL	158

ACCESSIBLE UNITS	
UNIT TYPE	TOTAL
STUDIO	-
1 BED	7
2 BED	7
3 BED	1
4 BED	-
TOTAL	15 (9%)

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
1907 A200 Plans view		
SEPTEMBER 2019		
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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977 Fort Street  
VICTORIA BC V8W 3K3  
T 1-250-608-3367

**dhKarchitects**  
NANAIMO OFFICE  
102-5190 Dublin Way  
NANAIMO BC V9T 2K6  
T 1-250-585-5810

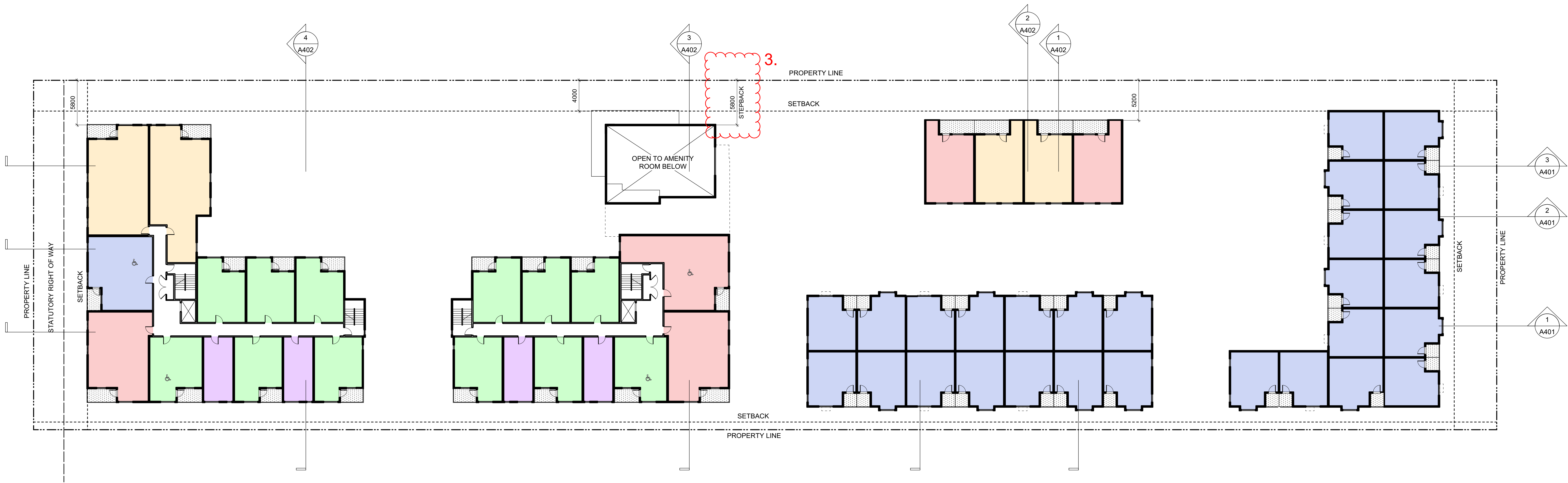
Project Name  
**Caledonia**  
Victoria BC

Project Name  
**L1 Plan**

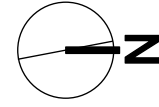
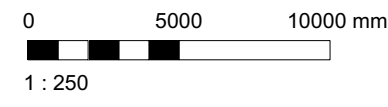
Drawn By  
**A203**

Sheet No.  
**4**





1  
A204  
L2 Plan  
Scale: 1:250




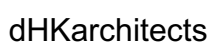
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- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

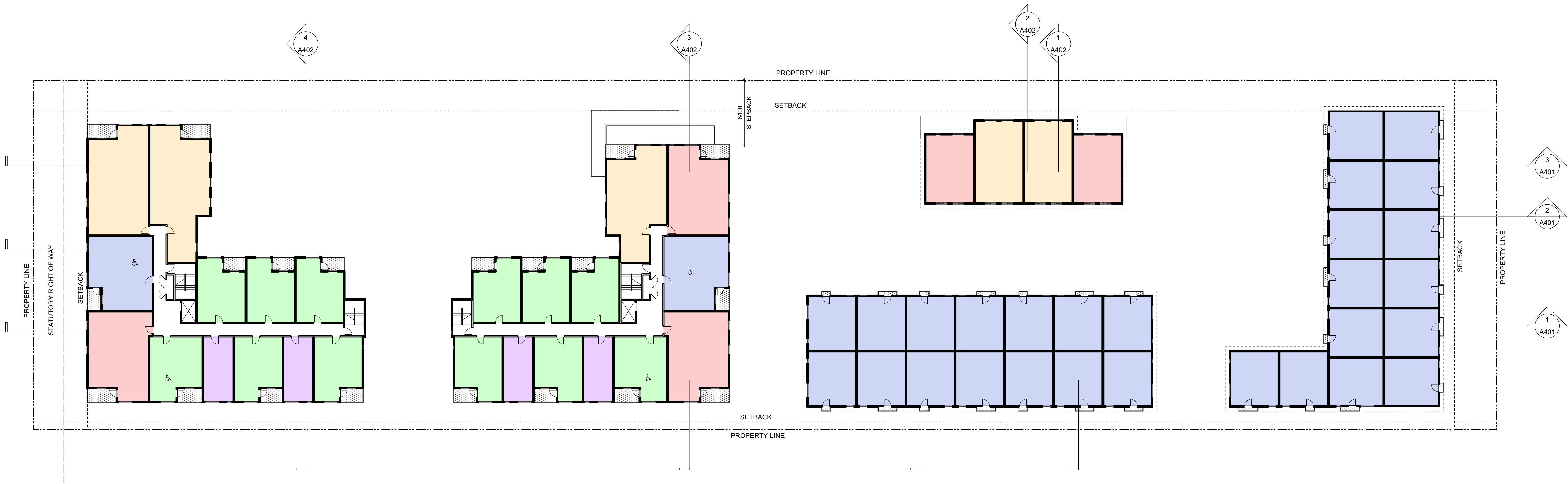
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3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

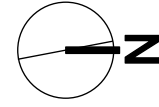
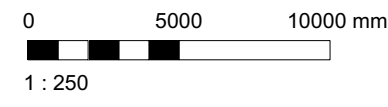
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& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	 NANAIMO OFFICE 102-5198 Dublin Way Nanaimo BC V9T 3K6 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing title L2 Plan	
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	sheet no. 4





1  
A205  
L3 Plan  
Scale: 1:250



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	working file 1907 A200 Plans.view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

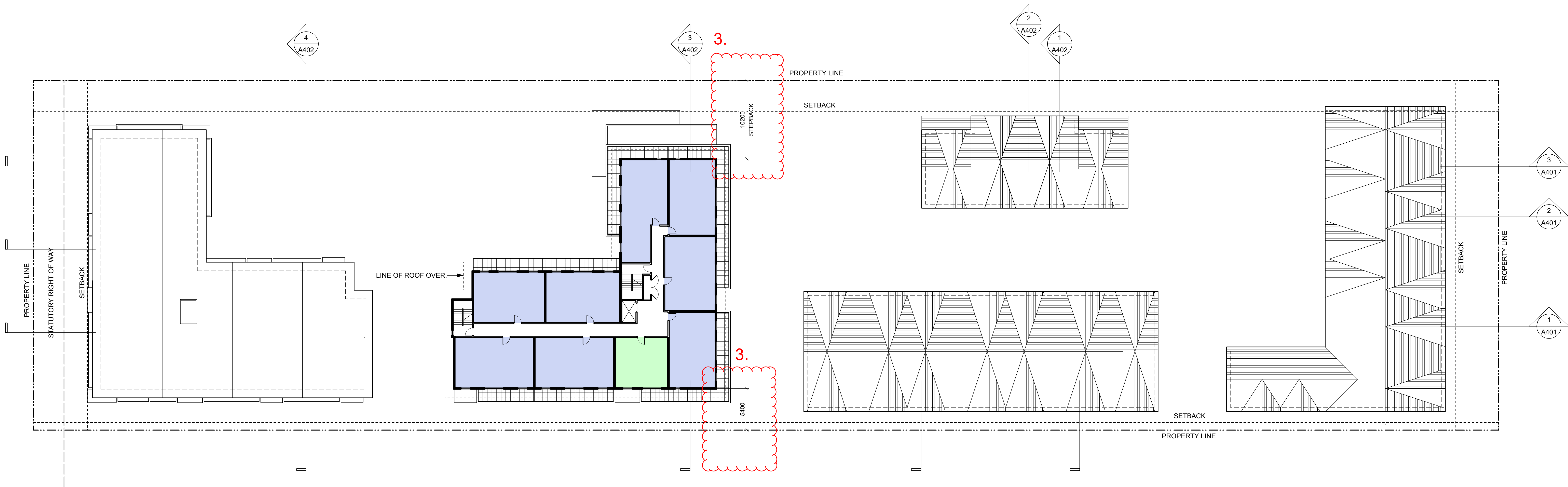
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& REZONING

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drawing title L3 Plan	
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	sheet no. 4

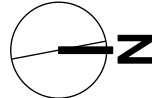
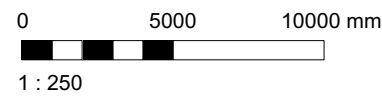








1  
A207  
L5 Plan  
Scale: 1:250





GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

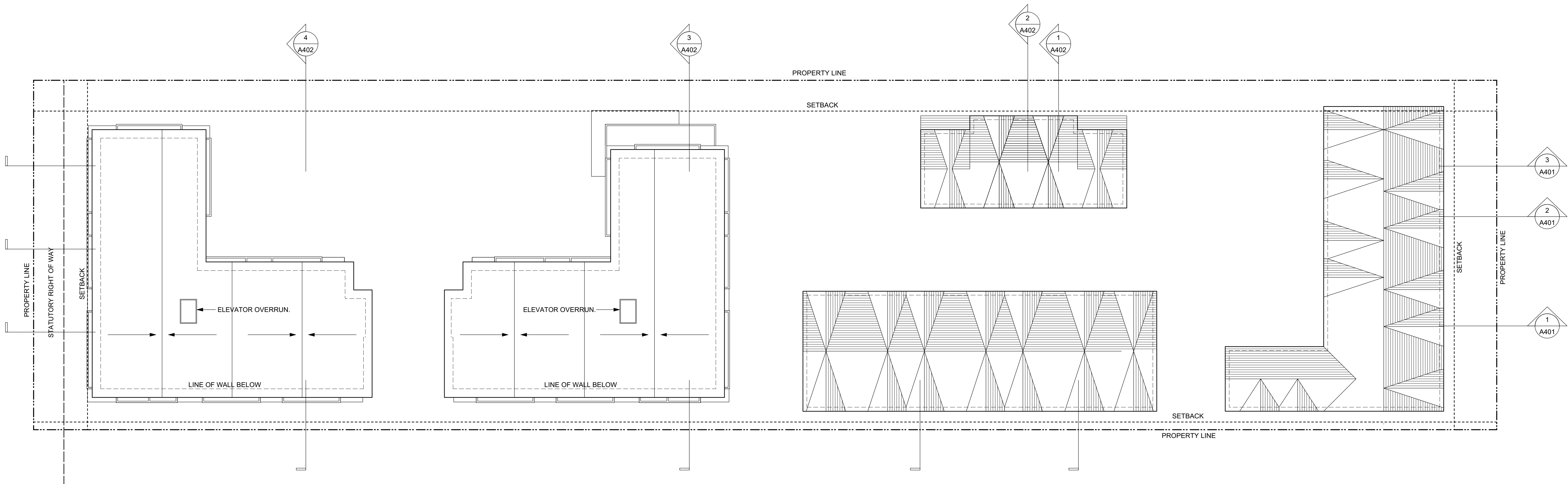
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3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

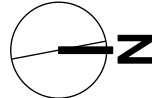
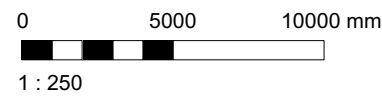
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& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	 NANAIMO OFFICE 102-5196 Dublin Way Nanaimo BC V9T 3K6 T 1-250-585-5810
project name Caledonia Victoria BC	
drawing no. L5 Plan	
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drawing no. A207	sheet no. 4





1  
A208  
Roof Plan  
Scale: 1:250



4	20/03/13	RE-ISSUED FOR COTW
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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<small>project name</small> Caledonia Victoria BC	
<small>drawing title</small> Roof Plan	
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	<small>section no.</small> 4





1 Apartment 1 - North  
Scale: 1:100  
A301



3 Apartment 1 - South  
Scale: 1:100  
A301



2 Apartment 1 - East  
Scale: 1:100  
A301



4 Apartment 1 - West  
Scale: 1:100  
A301

COLOUR & MATERIALS LEGEND

- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADR
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A301 Elevations.mxd
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

	<b>dHKarchitects</b> VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	<b>MANIMAO OFFICE</b> 102-5190 Duxton Way Manimao BC V9T 3K6 T 1-250-585-5810
project name <b>Caledonia</b> Victoria BC		
drawings <b>Elevations - Apartment 1</b>		
drawing no. <b>A301</b>		revision no. <b>4</b>





1 Apartment 2 - North  
A302 Scale: 1:100



2 Apartment 2 - South  
A302 Scale: 1:100

#### COLOUR & MATERIALS LEGEND


- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - Apartment 1 Only              | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                          | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                       | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                              | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                         | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown               | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only  | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - Apartment 2 Only              | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                       | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                    | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey         | 26 | ACCENT PAINT COLOUR - Chartreuse               |



Rev	Date	Description
4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADR
1	19/12/16	RESPONSE TO PLANNING REVIEW
Sheet No. NLC		
Scale 1:100		
Project No. 1907		

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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Project Name <b>Caledonia</b> Victoria BC	
Drawing Title <b>Elevations - Apartment 2</b>	
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	Revision No. <b>4</b>





1 Apartment 2 - East  
A303 Scale: 1:100



2 Apartment 2 - West  
A303 Scale: 1:100

#### COLOUR & MATERIALS LEGEND


- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - Apartment 1 Only              | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                          | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                       | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                              | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                         | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown               | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only  | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - Apartment 2 Only              | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                       | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                    | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey         | 26 | ACCENT PAINT COLOUR - Chartreuse               |



4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
sheet no. SEPTEMBER 2019		
drawing file		1907 A300 Elevations.mxd
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING

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project name			
Caledonia			
Location			
Victoria BC			
drawing title			
Elevations - Apartment 2			
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		Revision No.	4





1 Townhouse 1 - North  
A304 Scale: 1:100



2 Townhouse 1 - East  
A304 Scale: 1:100



3 Townhouse 1 - South  
A304 Scale: 1:100



4 Townhouse 1 - West  
A304 Scale: 1:100

COLOUR & MATERIALS LEGEND


- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - Apartment 1 Only              | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                          | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                       | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                              | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                         | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown               | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only  | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - Apartment 2 Only              | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                       | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                    | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey         | 26 | ACCENT PAINT COLOUR - Chartreuse               |

0 2500 5000mm  
1:100

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A300 Elevations.mxd
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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project name <b>Caledonia</b> Victoria BC		
project name <b>Elevations - Townhouse 1</b>		
drawing no. <b>A304</b>		revision no. <b>4</b>





1 Townhouse 2 - North  
A305 Scale: 1:100



2 Townhouse 2 - East  
A305 Scale: 1:100



3 Townhouse 2 - South  
A305 Scale: 1:100



4 Townhouse 2 - West  
A305 Scale: 1:100

COLOUR & MATERIALS LEGEND

- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - Apartment 1 Only              | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                          | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                       | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                              | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                         | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown               | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - Apartment 2 Only  | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - Apartment 2 Only              | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                       | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                    | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey         | 26 | ACCENT PAINT COLOUR - Chartreuse               |


0 2500 5000mm  
1:100

Date	Issue	Description
19/12/16	1	RESPONSE TO PLANNING REVIEW
20/01/15	2	ISSUED FOR ADR
20/02/06	3	ISSUED FOR COTW
20/03/13	4	RE-ISSUED FOR COTW

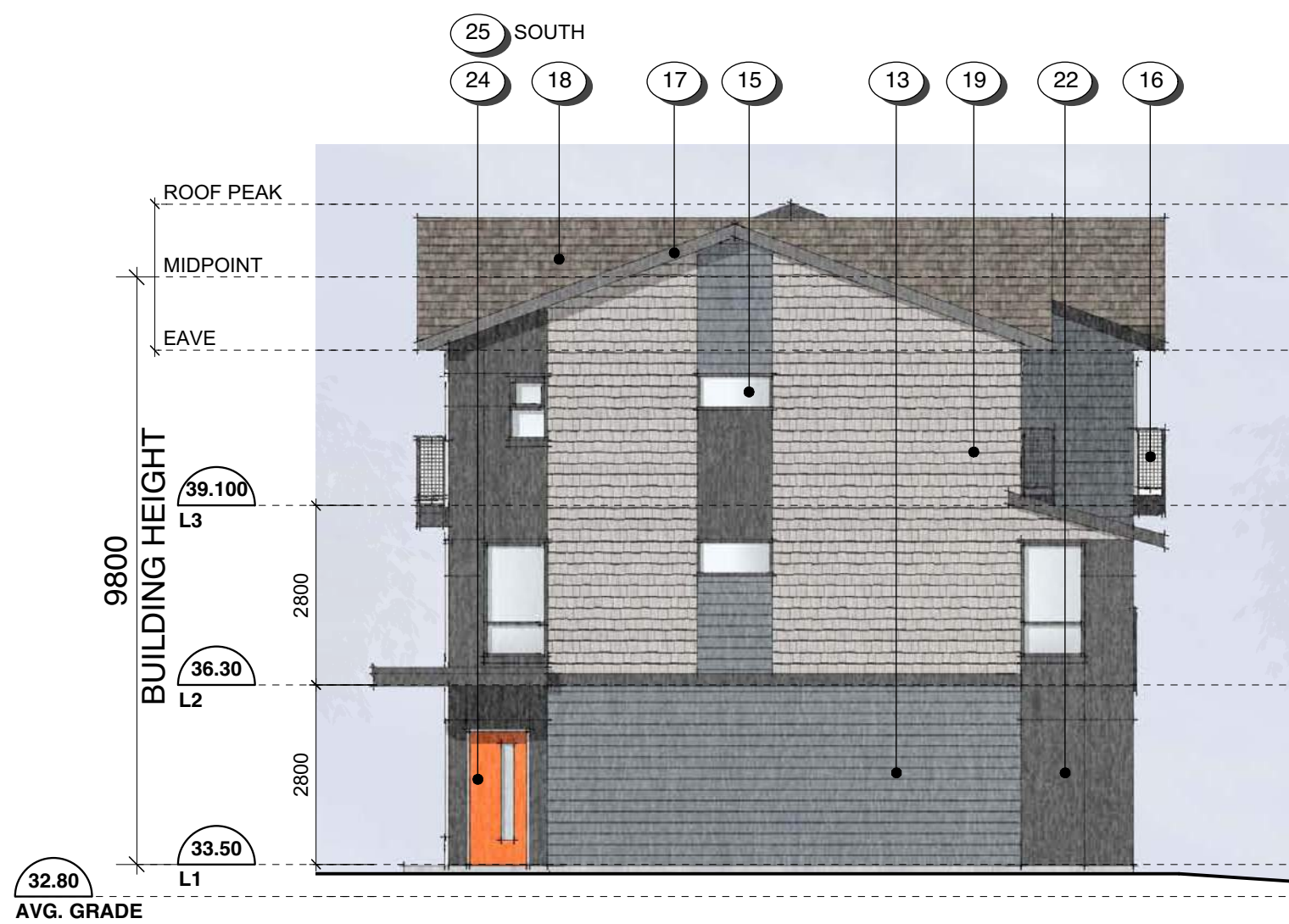
Project Name	1907 A305 Elevations.mxd
Drawn by	NLC
Checked by	RAW
Scale	1:100
Project Number	1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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Project Name	Caledonia Victoria BC
Project Name	Elevations - Townhouse 2
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	4





1 Townhouse 3 - North (South sim.)  
Scale: 1:100



2 Townhouse 3 - East  
Scale: 1:100



3 Townhouse 3 - West  
Scale: 1:100

COLOUR & MATERIALS LEGEND


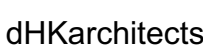
- |    |  |    |  |
|----|--|----|--|
| 1  | BRICK VENEER - Red - <i>Apartment 1 Only</i>             | 14 | FIBRE CEMENT LAP SIDING - White                |
| 2  | FIBRE CEMENT PANEL - Teal                                | 15 | VINYL WINDOWS & DOORS - Dark Grey              |
| 3  | VINYL WINDOWS & DOORS - Teal                             | 16 | PREFINISHED ALUMINUM GUARD & FRAME - Dark Grey |
| 4  | PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal       | 17 | METAL FLASHING - Dark Grey                     |
| 5  | METAL FLASHING - Teal                                    | 18 | ASPHALT SHINGLES - Warm Grey                   |
| 6  | ACCENT PAINT COLOUR - Rust                               | 19 | FIBRE CEMENT SHINGLES - Warm Grey              |
| 7  | FIBRE CEMENT LAP SIDING - Soft Brown                     | 20 | VINYL WINDOWS & DOORS - White                  |
| 8  | FIBRE CEMENT PANEL - Warm Grey - <i>Apartment 2 Only</i> | 21 | METAL DOWNSPOUT & FLASHING - Light Warm Grey   |
| 9  | SOFFIT - Warm Grey - <i>Apartment 2 Only</i>             | 22 | FIBRE CEMENT PANEL - Dark Grey                 |
| 10 | PAINTED CONCRETE - Warm Grey                             | 23 | FIBRE CEMENT PANEL - Light Grey                |
| 11 | FIBRE CEMENT PANEL - Warm White                          | 24 | ACCENT PAINT COLOUR - Bright Orange            |
| 12 | SOFFIT - Warm White                                      | 25 | ACCENT PAINT COLOUR - Bright Blue              |
| 13 | FIBRE CEMENT LAP SIDING - Medium Blue-Grey               | 26 | ACCENT PAINT COLOUR - Chartreuse               |

0 2500 5000mm  
1 : 100

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADR
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A306 Elevations.vrx
drawn by	NLC	checked by RAW
scale	1:100	project number 1907

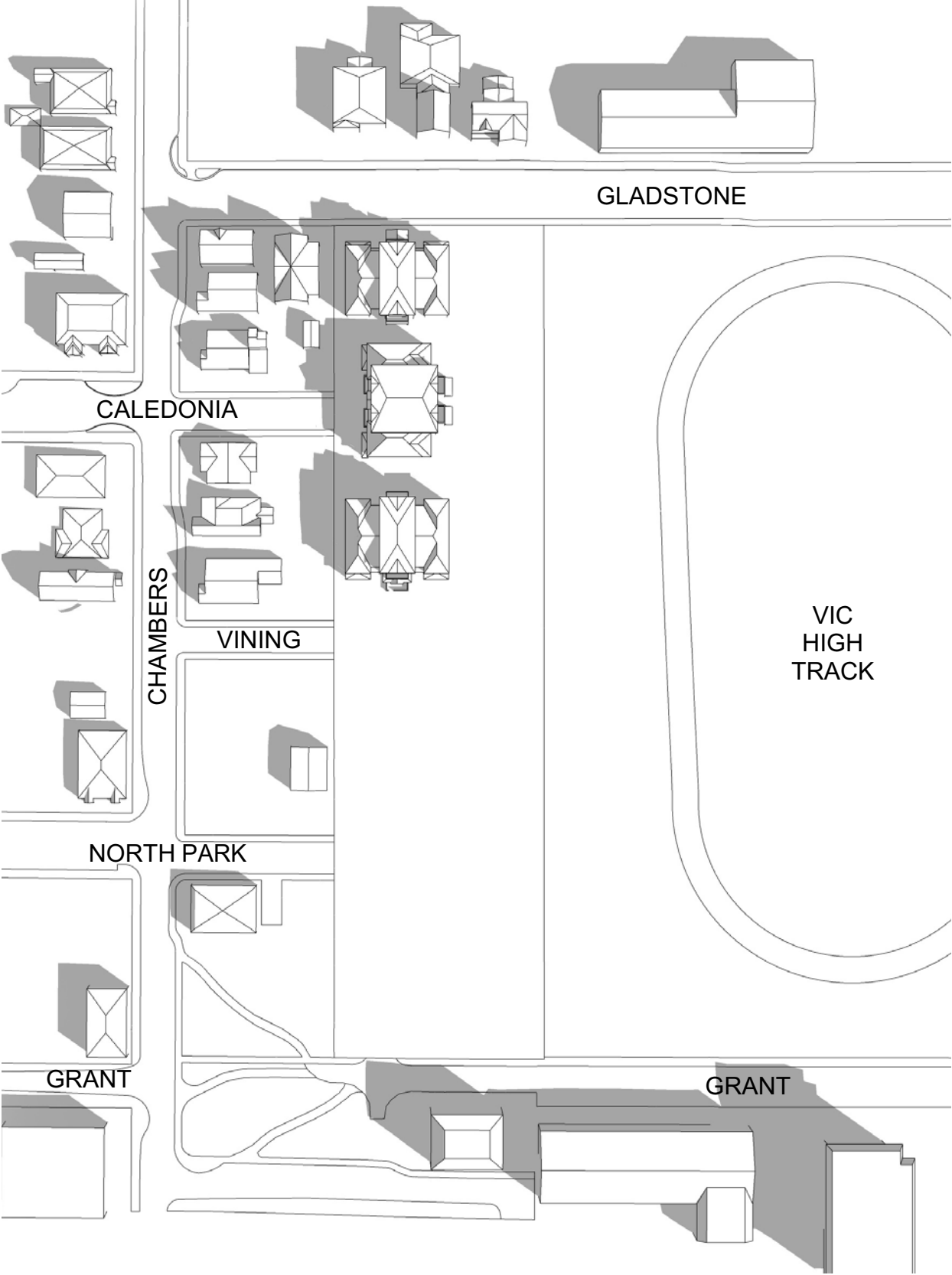
NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 3K6 T 1-250-585-5810	
project name Caledonia Victoria BC	drawing no. A306	revision no. 4
Elevations - Townhouse 3		
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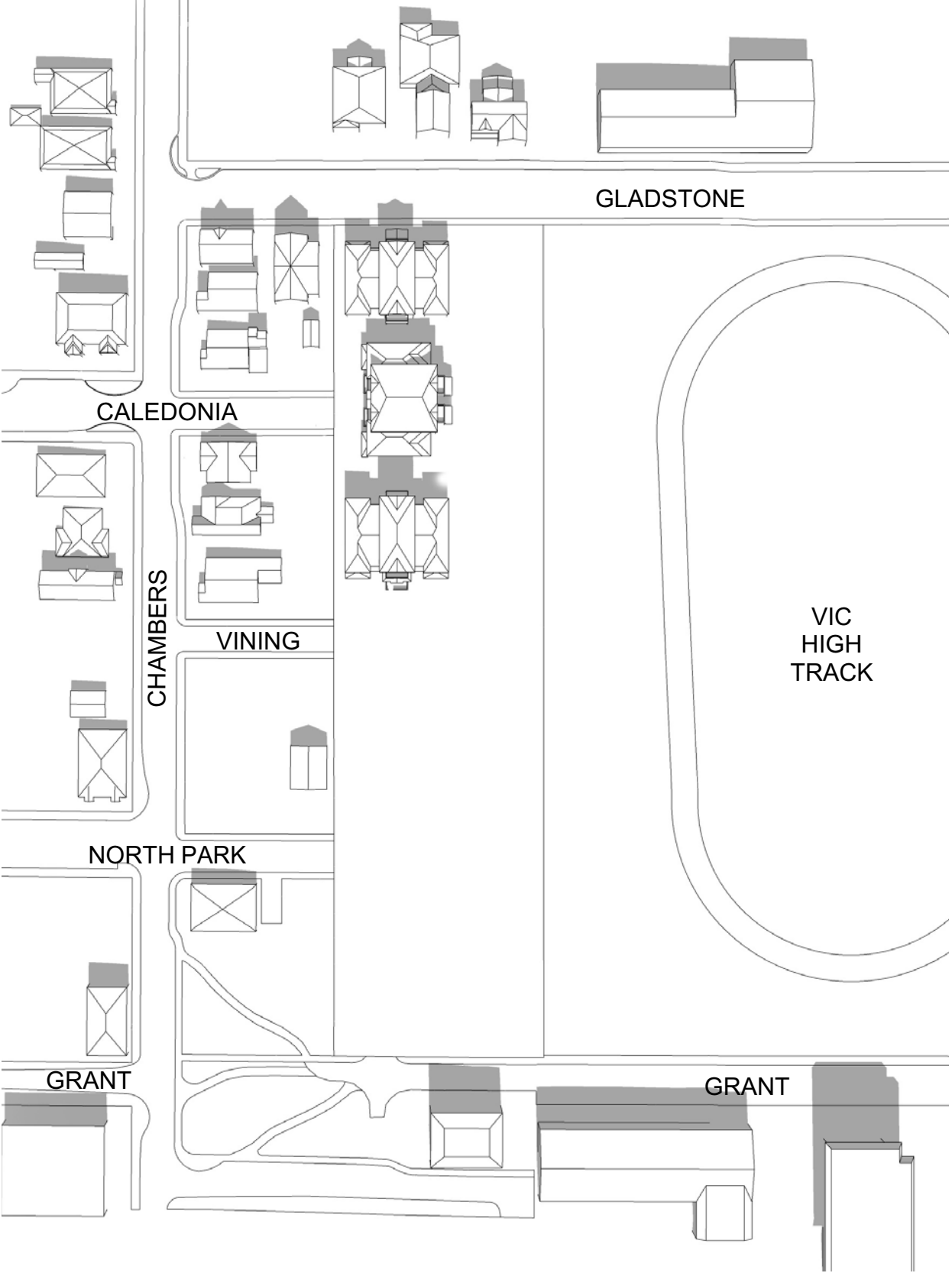


EXISTING



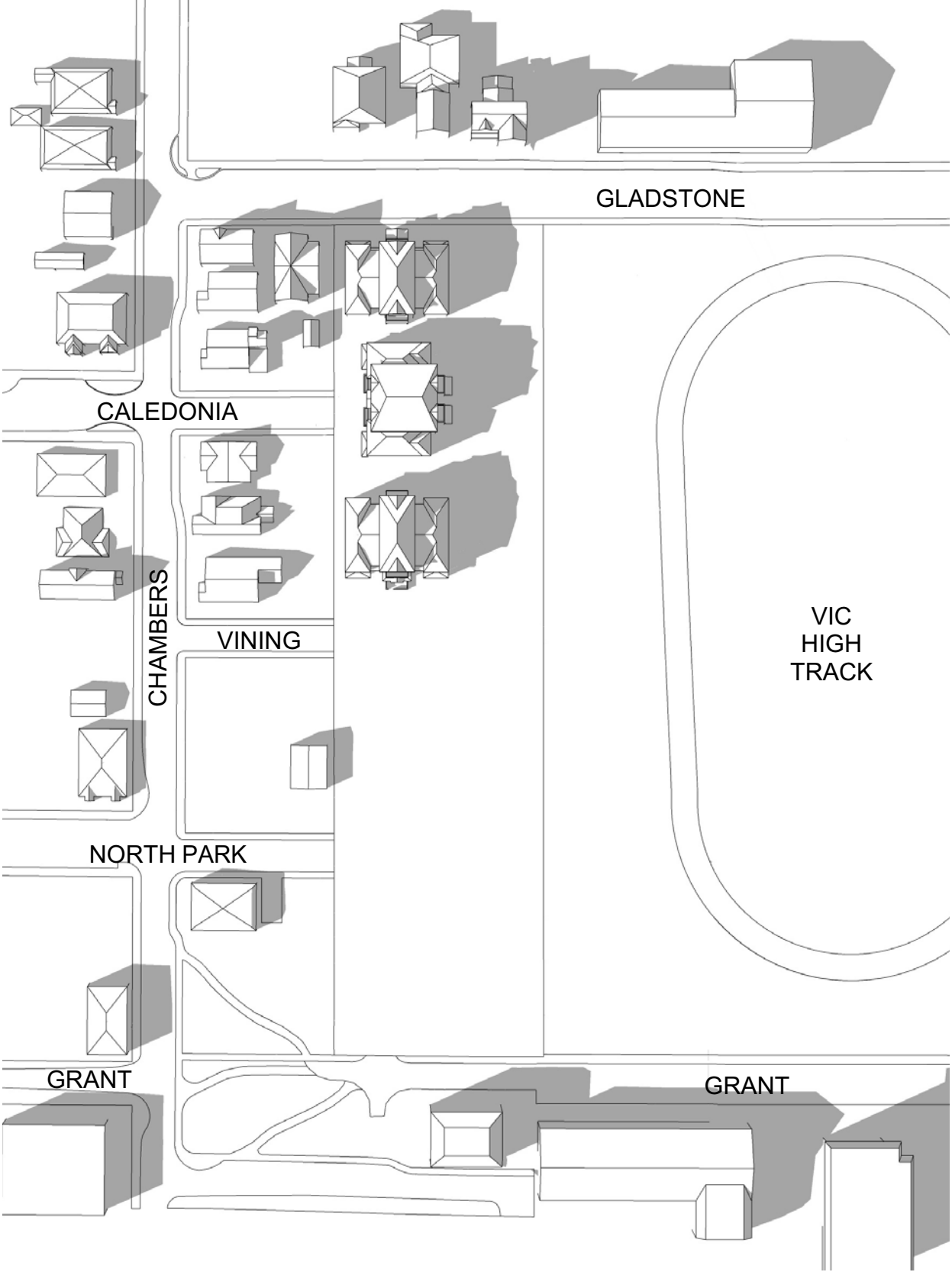
9:00AM - SEPTEMBER 21ST

EXISTING



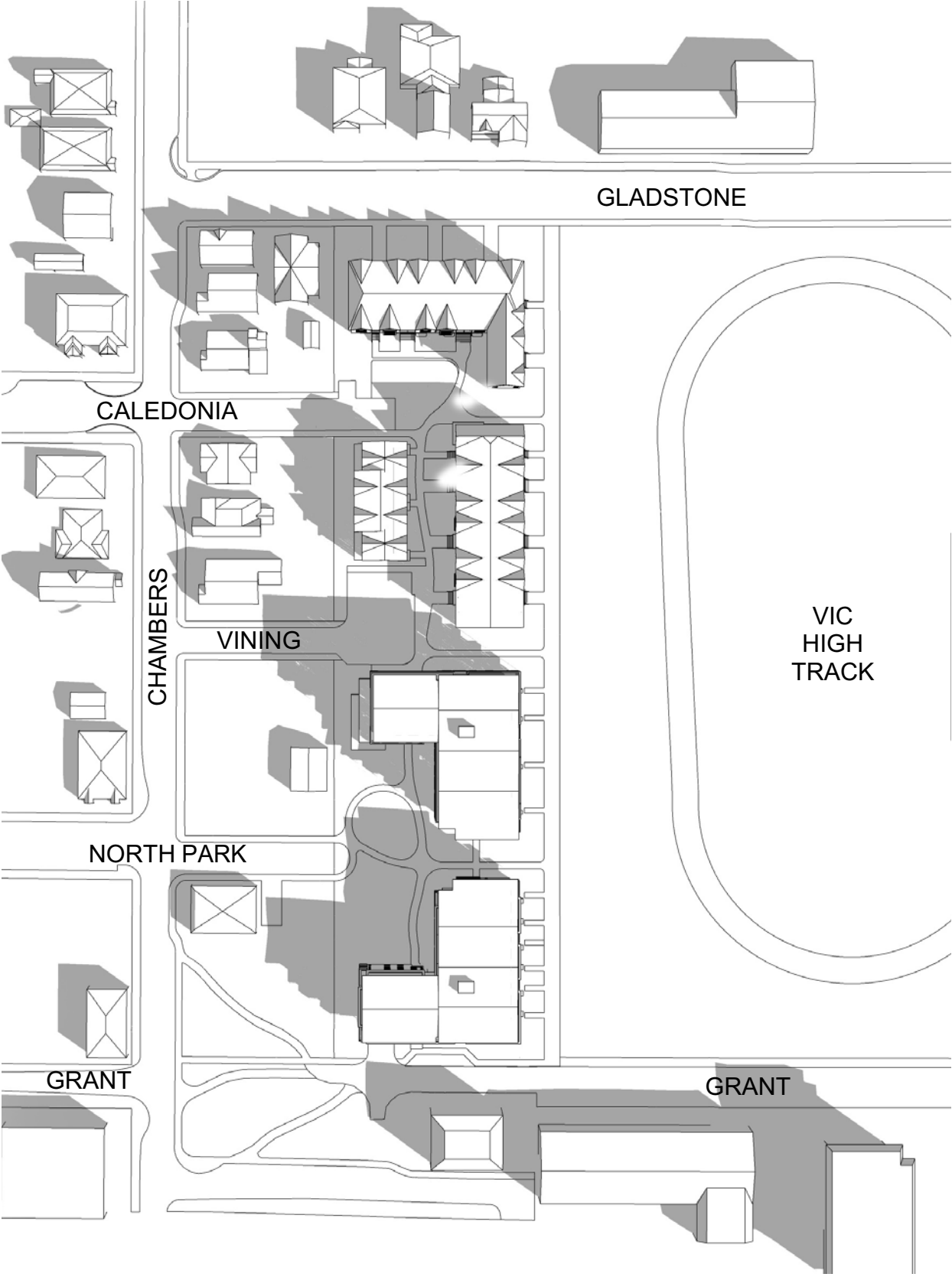
12:00PM - SEPTEMBER 21ST

EXISTING



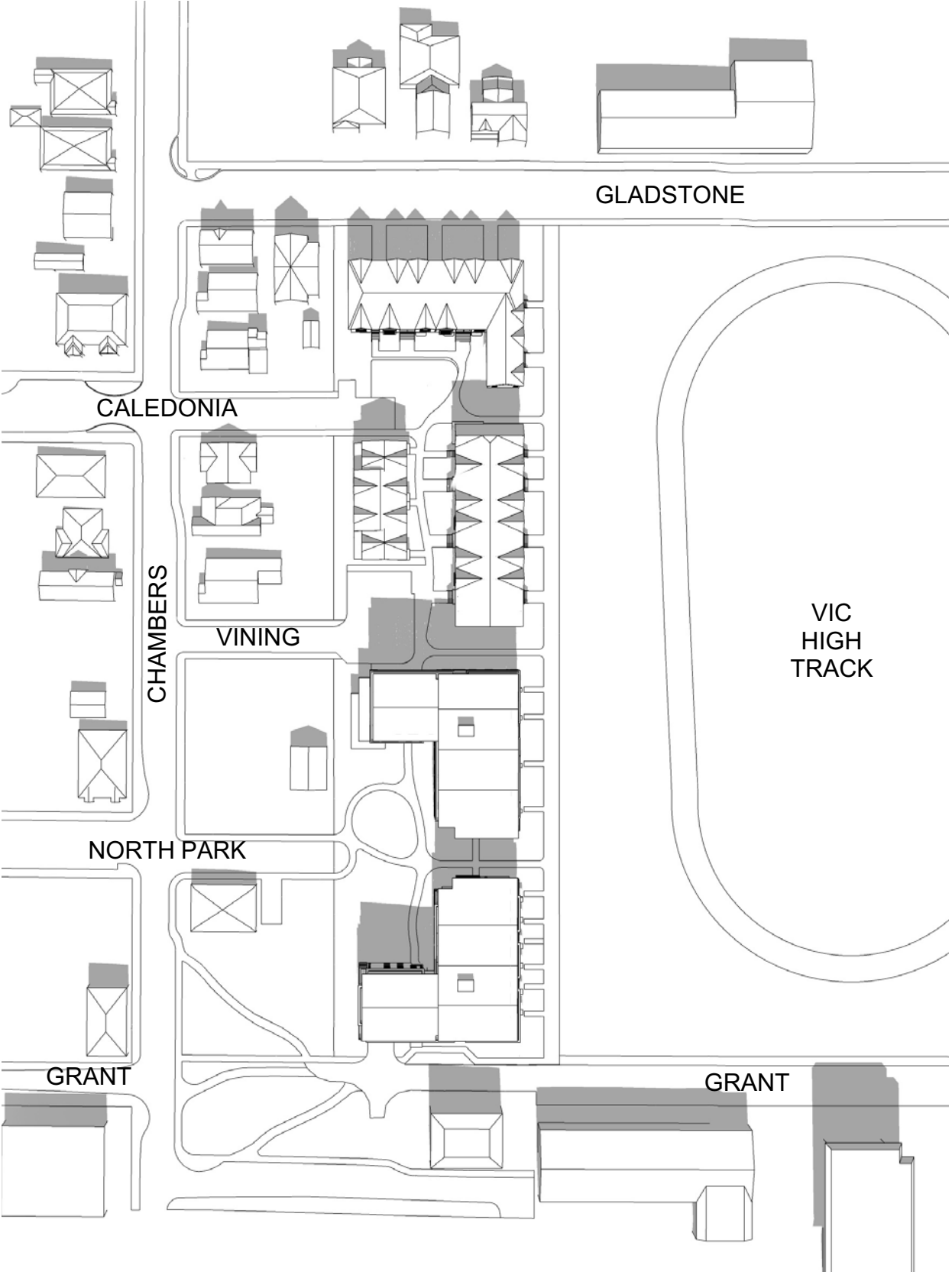
4:00PM - SEPTEMBER 21ST

PROPOSED



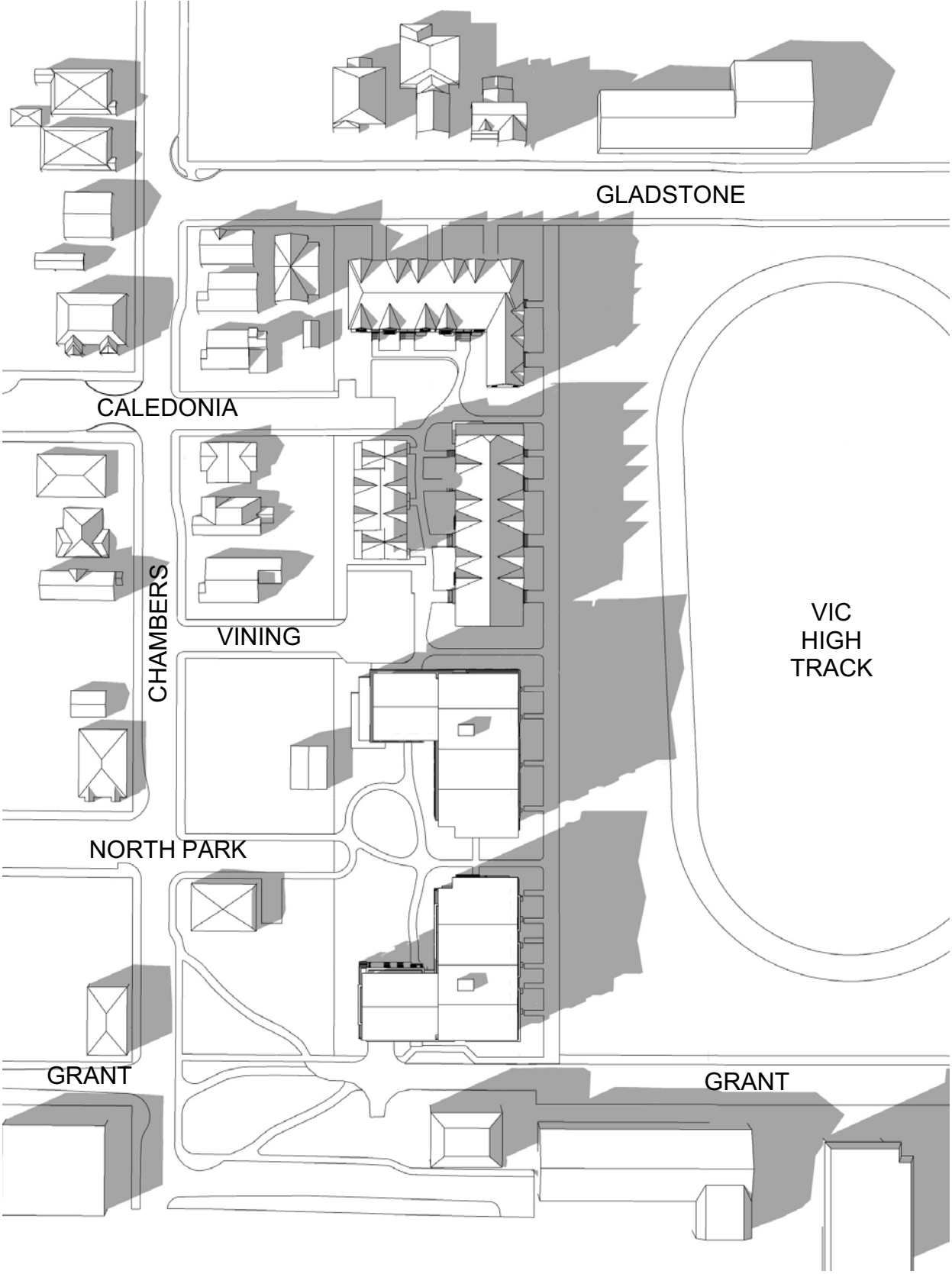
9:00AM - SEPTEMBER 21ST

PROPOSED



12:00PM - SEPTEMBER 21ST

PROPOSED




4:00PM - SEPTEMBER 21ST

4	20/03/13	RE-ISSUED FOR COTW	
3	20/03/08	ISSUED FOR COTW	
2	20/01/15	ISSUED FOR ADP	
1	18/12/16	RESPONSE TO PLANNING REVIEW	
Rev	Date	Description	
print date	SEPTEMBER 2019	1907 A307 Shadow Studies view	
drawn by	NLC	checked by	RAW
scale	n.l.s.	project number	1907

NOTE: All dimensions are shown in millimeters.

### ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	<b>dHKarchitects</b> NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 3K6 T 1-250-585-5810	
project name <b>Caledonia</b> Victoria BC		
drawing title <b>Shadow Studies</b>		
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BEFORE - LOOKING WEST - FROM VIC HIGH




AFTER - LOOKING WEST - FROM VIC HIGH

4.

4	2020/01/3	RE-ISSUED FOR COTW
3	2020/02/08	ISSUED FOR COTW
2	2020/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A307 Shadow Studies view
drawn by	NLC	checked by RAW
scale	n.l.s.	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING

	<b>dHKarchitects</b>
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project name Caledonia Victoria BC	
View Analysis	
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	sheet no. 4





BEFORE LOOKING WEST - FROM GRANT STREET



BEFORE - LOOKING WEST - FROM GLADSTONE AVENUE



AFTER LOOKING WEST - FROM GRANT STREET




AFTER LOOKING WEST - FROM GLADSTONE AVENUE

4.

4	2019/13	RE-ISSUED FOR COTW
3	2019/08	ISSUED FOR COTW
2	2019/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
1	SEPTEMBER 2019	1907 A307 Shadow Studies view
Drawn by	NLC	checked by
Scale	N.L.S.	project number
		1907

NOTE: All dimensions are shown in millimeters.

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& REZONING

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project name Caledonia Victoria BC	
View Analysis	
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	sheet no. 4





BEFORE LOOKING EAST - FROM CALEDONIA AVE.



BEFORE LOOKING EAST - FROM NORTH PARK ST.



AFTER LOOKING EAST - FROM CALEDONIA AVE.




AFTER LOOKING EAST - FROM NORTH PARK ST.

4	2019/13	RE-ISSUED FOR COTW
3	2019/08	ISSUED FOR COTW
2	2019/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A307 Shadow Studies view
drawn by	NLC	checked by RAW
scale	n.l.s.	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING



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Victoria BC V8V 3K3  
T 1-250-608-3367

dHKarchitects

NANAIMO OFFICE  
102-5190 Dublin Way  
Nanaimo BC V9T 3K6  
T 1-250-585-5810

project name  
Caledonia  
Victoria BC

View Analysis

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sheet no.  
A310

revision no.  
4

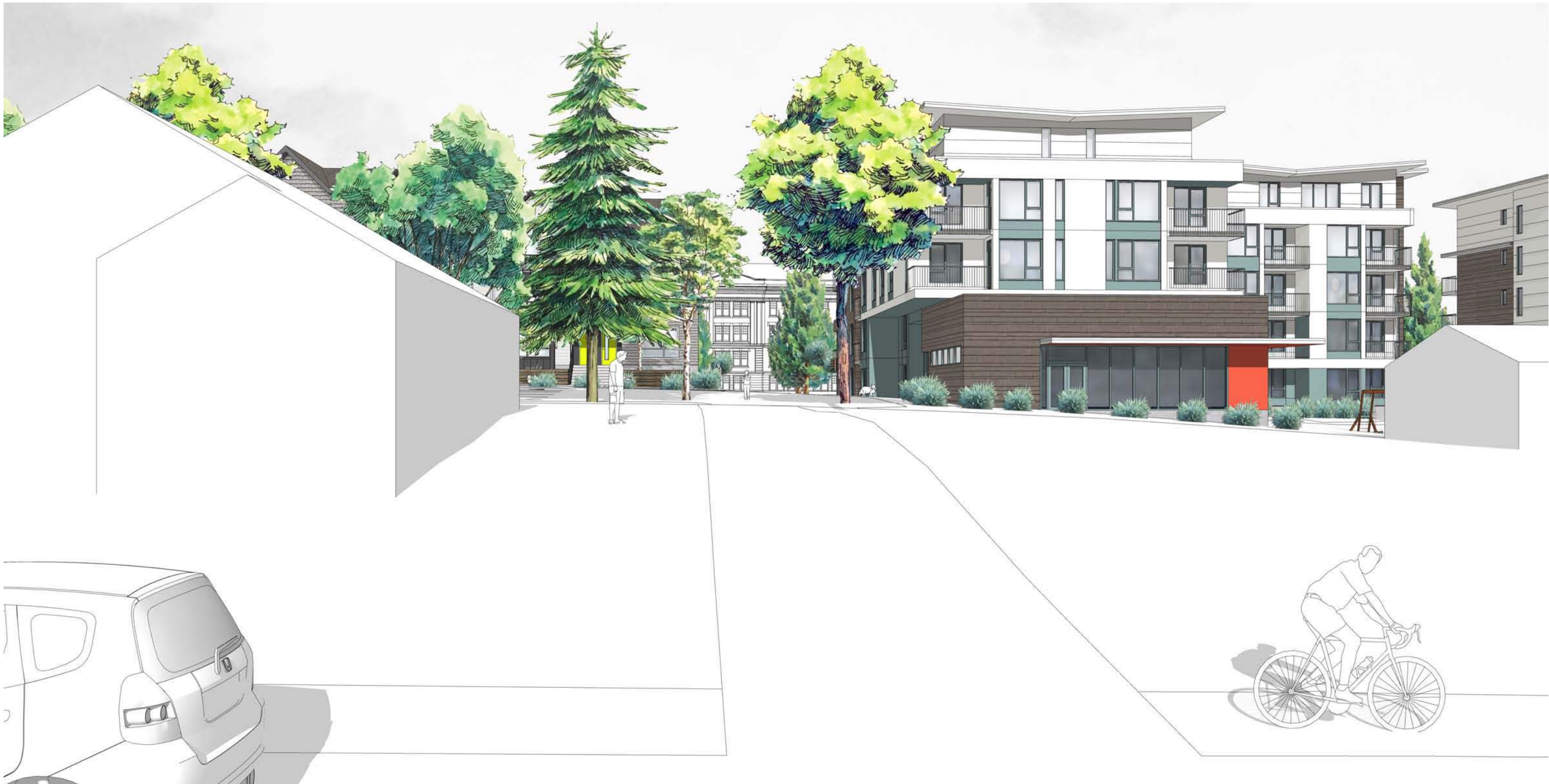




LOOKING SOUTH - GLADSTONE AVENUE



LOOKING EAST - NORTH PARK STREET




LOOKING EAST - VINING STREET

4	2020/13	RE-ISSUED FOR COTW
3	2020/08	ISSUED FOR COTW
2	2020/15	ISSUED FOR ADP
1	19/21/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A307 Shadow Studies view
drawn by	NLC	checked by RAW
scale	n.l.s.	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

	<b>dHKarchitects</b>
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project name	
Caledonia Victoria BC	
Perspective Studies	
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A311	4





TOWNHOUSES - AT GLADSTONE AVENUE



APARTMENT - AT GRANT STREET



INTERIOR COURTYARD - LOOKING NORTH




PLAYGROUND & AMENITY AREA - LOOKING NORTH

4	2020/13	RE-ISSUED FOR COTW
3	2020/08	ISSUED FOR COTW
2	2020/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A307 Shadow Studies view
drawn by	NLC	checked by RAW
scale	N.L.S.	project number 1907

NOTE: All dimensions are shown in millimeters.

**ISSUED FOR DP  
& REZONING**

	dHKarchitects
VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 3K6 T 1-250-585-5810
project name	Caledonia Victoria BC
document type	Perspective Studies
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	revision no. 4





1 Context Elevations  
A313 Scale: 1: 300

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADR
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date: SEPTEMBER 2019 drawing file: 1907 A308 Streetscape Elevations.vwx		
drawn by: FWP/NLC	checked by: RAW	
scale: 1:300	project number: 1907	

NOTE: All dimensions are shown in millimeters.

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& REZONING

**dHKA**

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977 Fort Street  
Victoria BC V8V 3K3  
T 1-250-658-3367

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102-5190 Dukin Way  
Nanaimo BC V9T 2K6  
T 1-250-585-5810

project name  
Caledonia  
Victoria BC

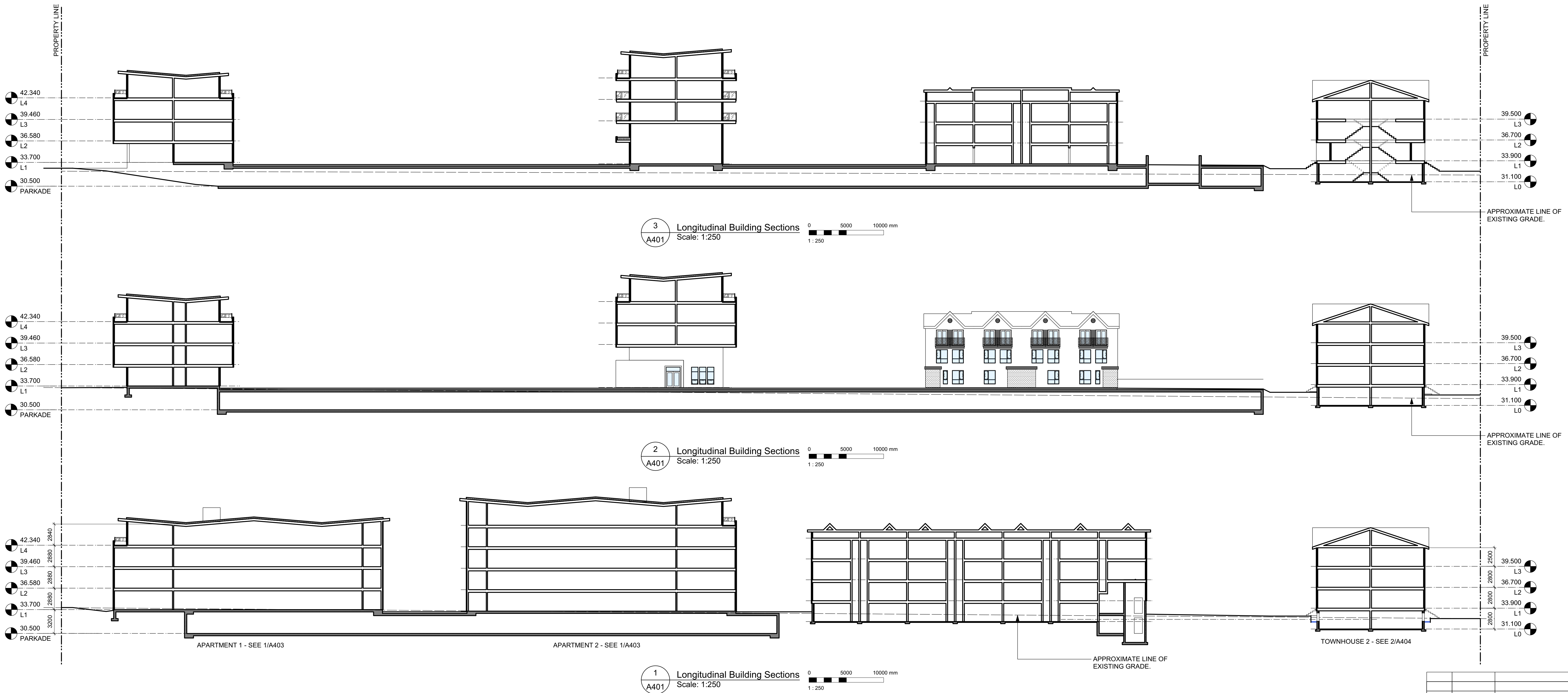
drawing title  
Streetscape Elevations

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revision no.  
A313

sheet no.  
4





4	2003/13	RE-ISSUED FOR COTW
3	2003/08	ISSUED FOR COTW
2	2001/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	Issuing the 1907 Current Elevations & Sections, view
drawn by	FWP	checked by RAW
scale	1:250	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

**dHKarchitects**  
VICTORIA OFFICE  
977 Fort Street  
Victoria BC V8V 3K3  
T 1-250-608-3367

**NANAIMO OFFICE**  
102-5190 Dublin Way  
Nanaimo BC V9T 2K6  
T 1-250-585-5810

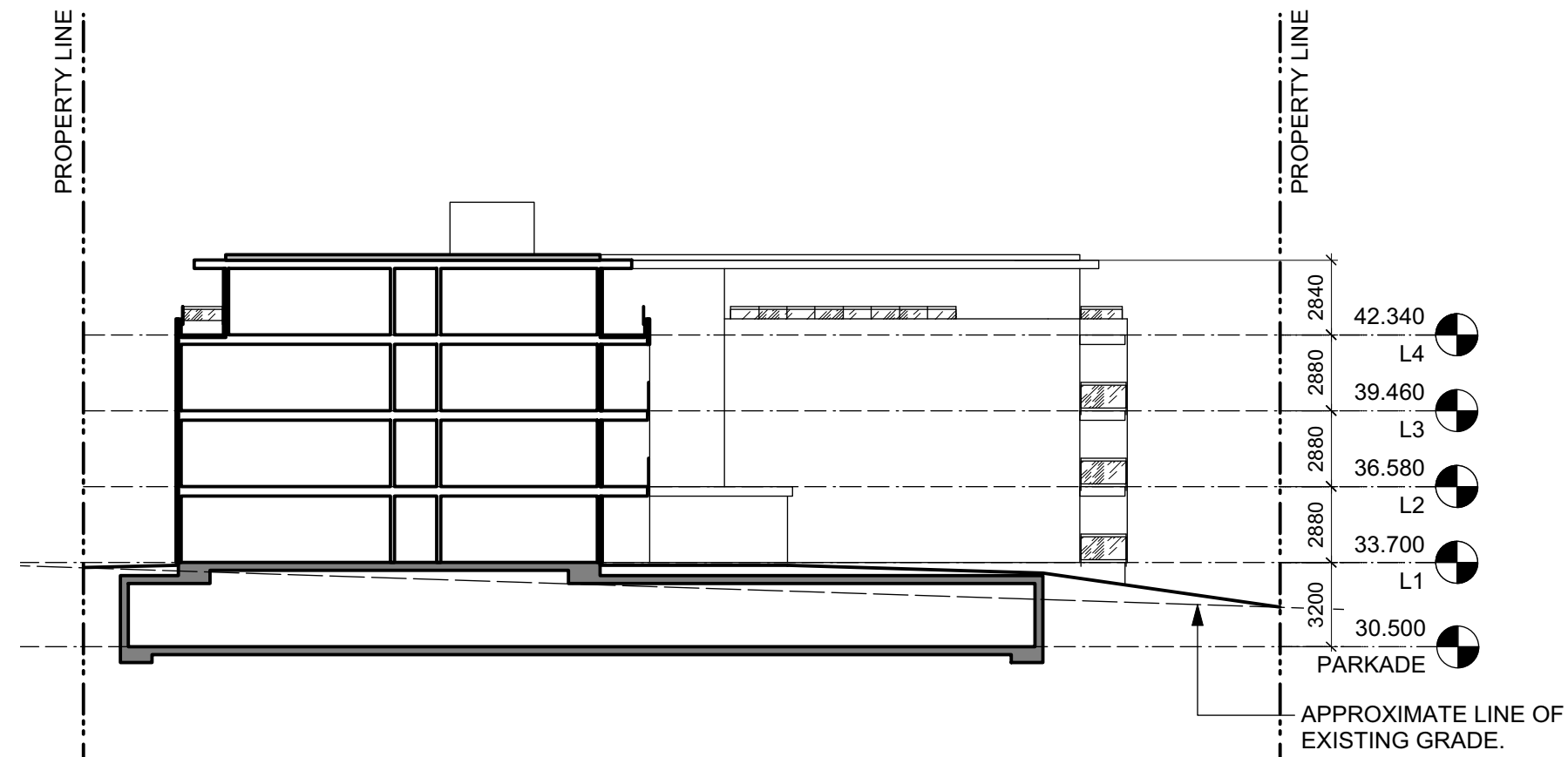
project name  
**Caledonia**  
Victoria BC

drawing no.  
**Building Sections**  
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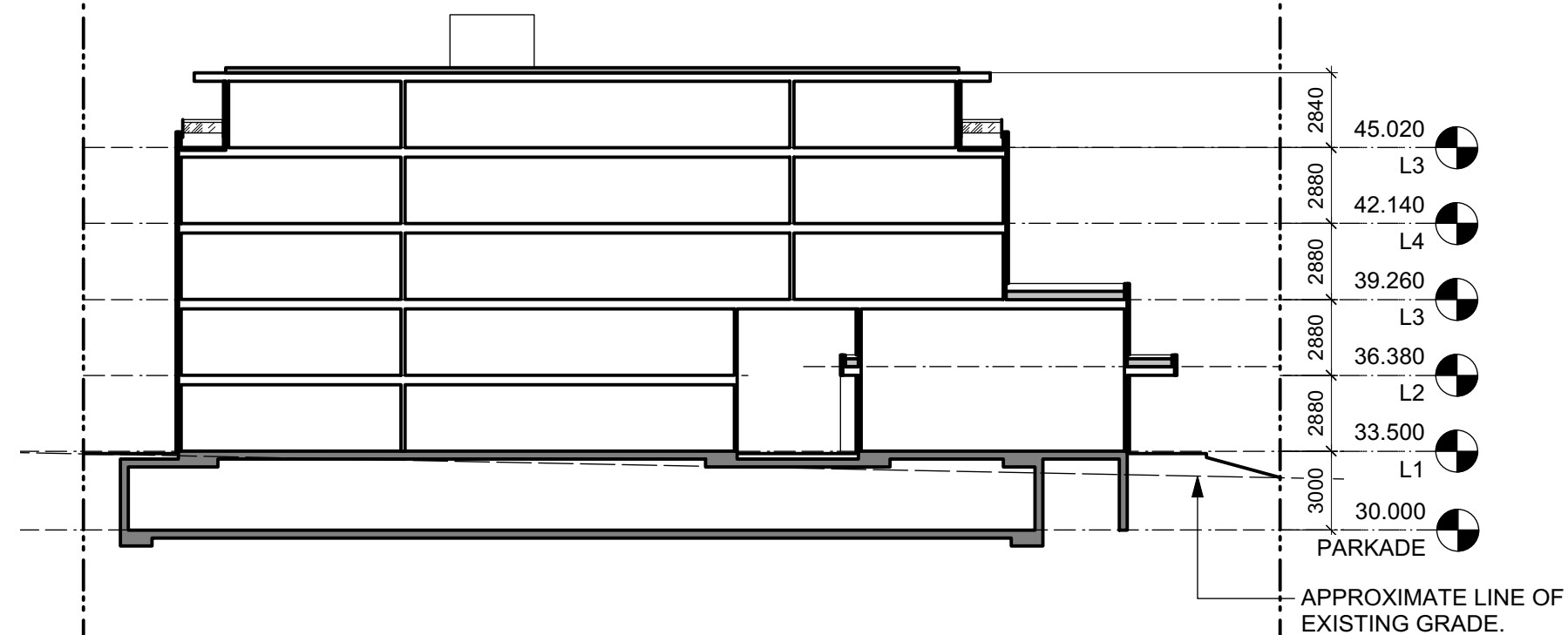
section no.  
**A401**

sheet no.  
**4**

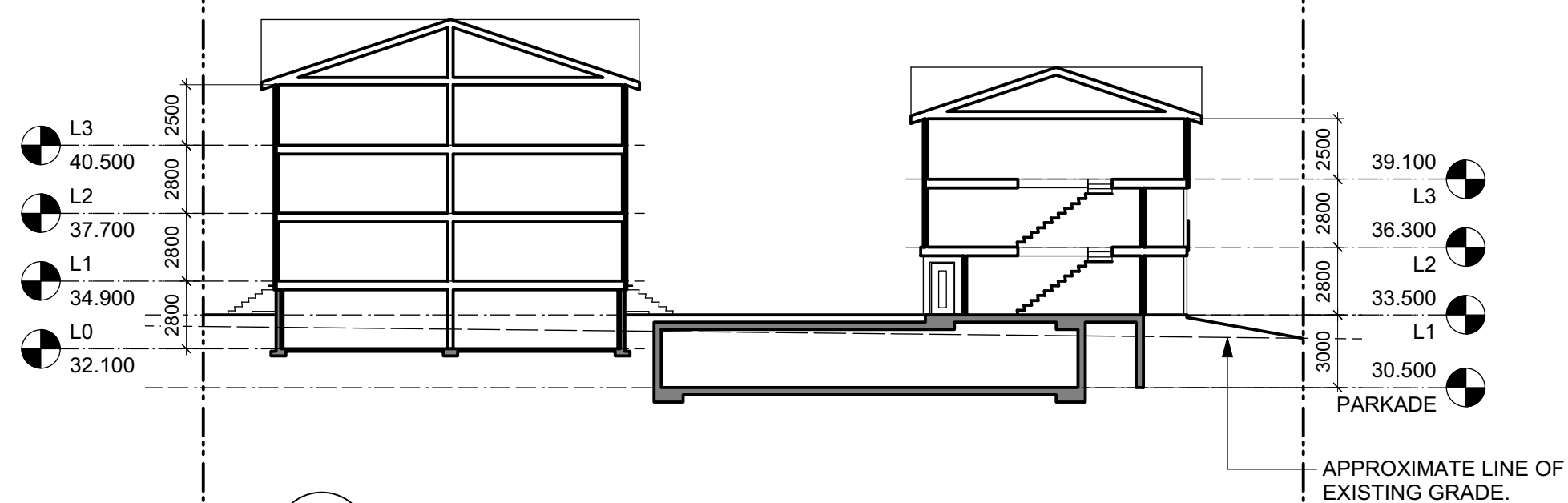




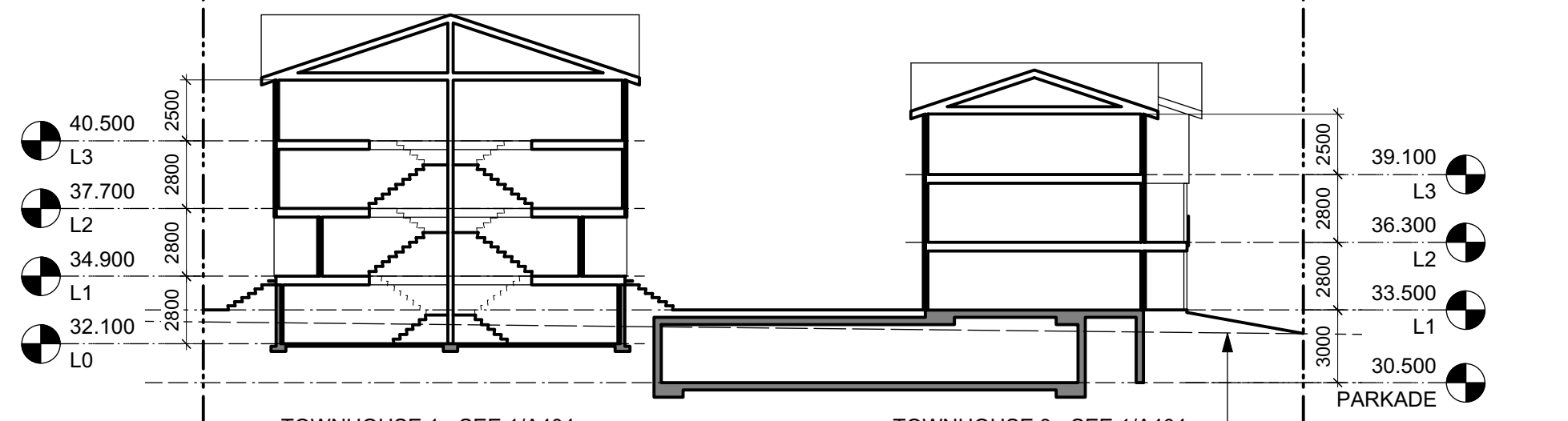
4 Transverse Building Section  
Scale: 1:250



3 Transverse Building Section  
Scale: 1:250



2 Transverse Building Section  
Scale: 1:250




1 Transverse Building Section  
Scale: 1:250

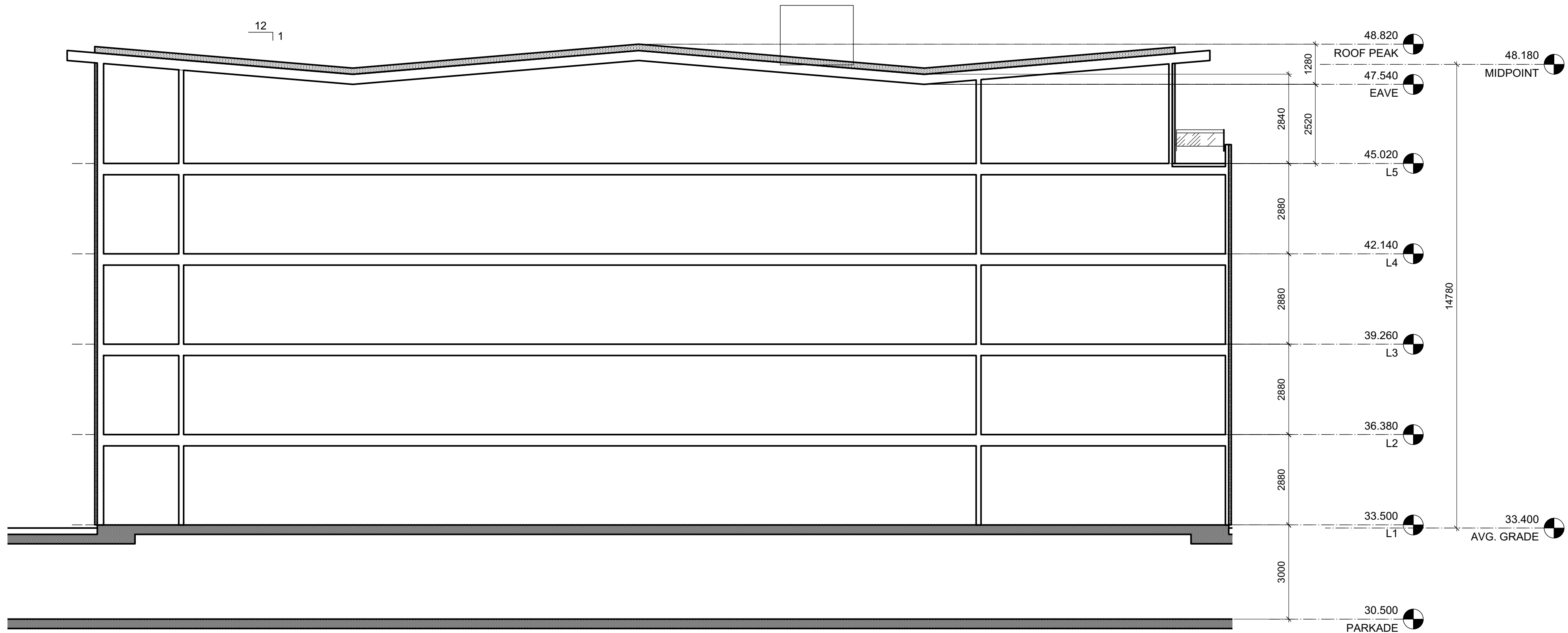
Rev	Date	Description
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3	2019/08	ISSUED FOR COTW
2	2019/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
print date: SEPTEMBER 2019 drawing title: 1907 Current Elevations & Sections view		
drawn by: FWP	checked by: RAW	
scale: 1:250	project number: 1907	

NOTE: All dimensions are shown in millimeters.

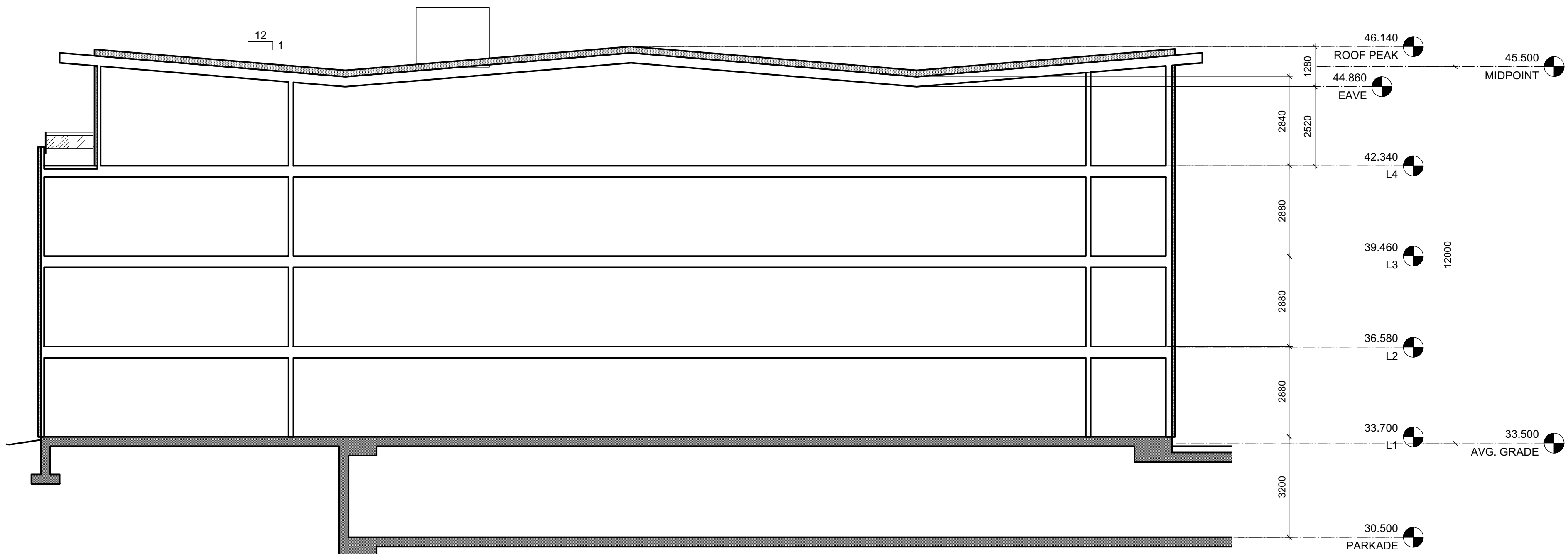
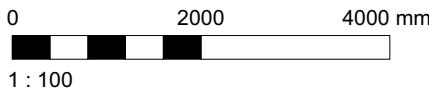
ISSUED FOR DP  
& REZONING

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 1K3 T 1-250-658-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name: <b>Caledonia</b> Victoria BC	
<b>Building Sections</b>	
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drawing no: <b>A402</b>	revision no: <b>4</b>

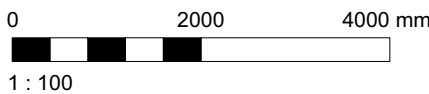




2 Apartment 2 Building Section  
A403 Scale: 1:100




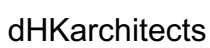
1 Apartment 1 Building Section  
A403 Scale: 1:100



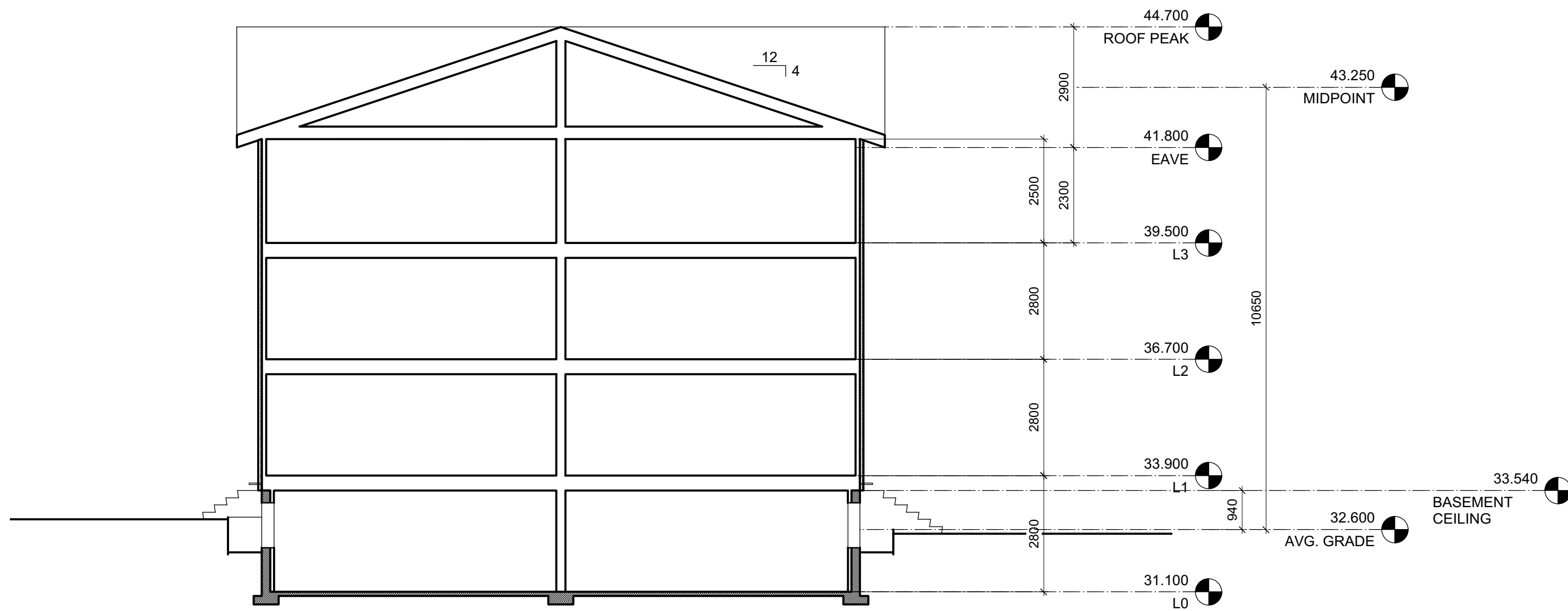
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3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	Issuing the 1907 Current Elevations & Sections view
drawn by	FWP	checked by RAW
scale	1:100	project number 1907

NOTE: All dimensions are shown in millimeters.

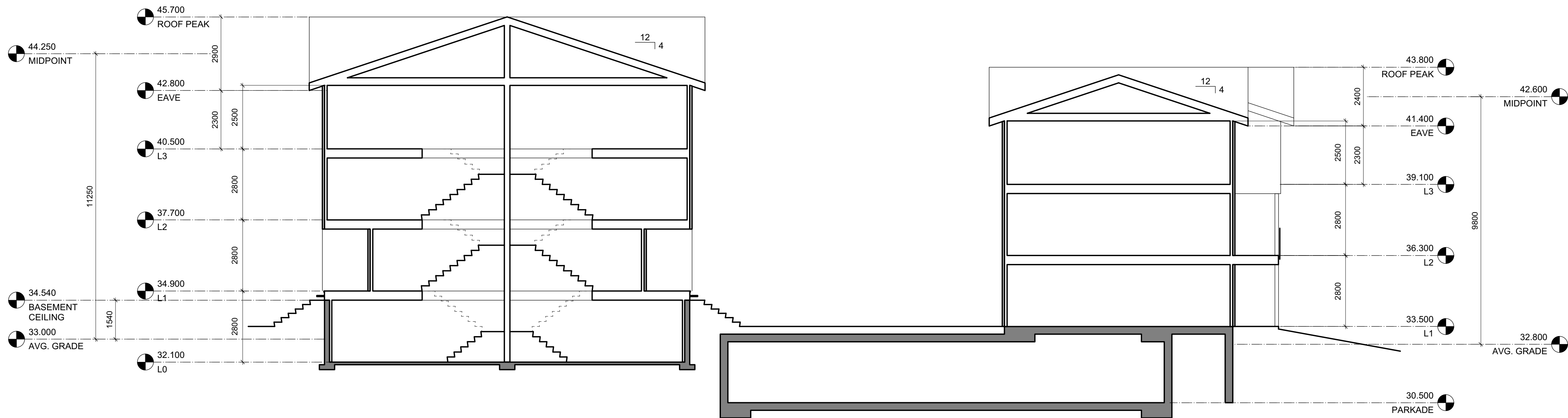
ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 2K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	
Building Sections	
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drawing no. A403	sheet no. 4





2 Townshouse 2 Building Section  
Scale: 1:100



1 Townhouses 1 & 3 Building Section  
Scale: 1:100

Rev	Date	Description
4	2010/13	RE-ISSUED FOR COTW
3	2010/08	ISSUED FOR COTW
2	2010/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
print date: SEPTEMBER 2019 drawing title: 1907 Current Elevations & Sections view		
drawn by: FWP	checked by: RAW	
scale: 1:100	project number: 1907	

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name: Caledonia Victoria BC	
Building Sections	
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sheet no: A404	section no: 4





2 L1 Plan - Apartment 1  
Scale: 1:100



1 L1 Plan - Apartment 2  
Scale: 1:100

Rev	Date	Description
4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW

NOTE: All dimensions are shown in millimeters.

## ISSUED FOR DP & REZONING

### GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

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T 1-250-608-3367

**NANAIMO OFFICE**  
102-5190 Dublin Way  
Nanaimo BC V9T 2K6  
T 1-250-585-5810

project name  
**Caledonia**  
Victoria BC

project title  
**L1 Plan - Apartments**

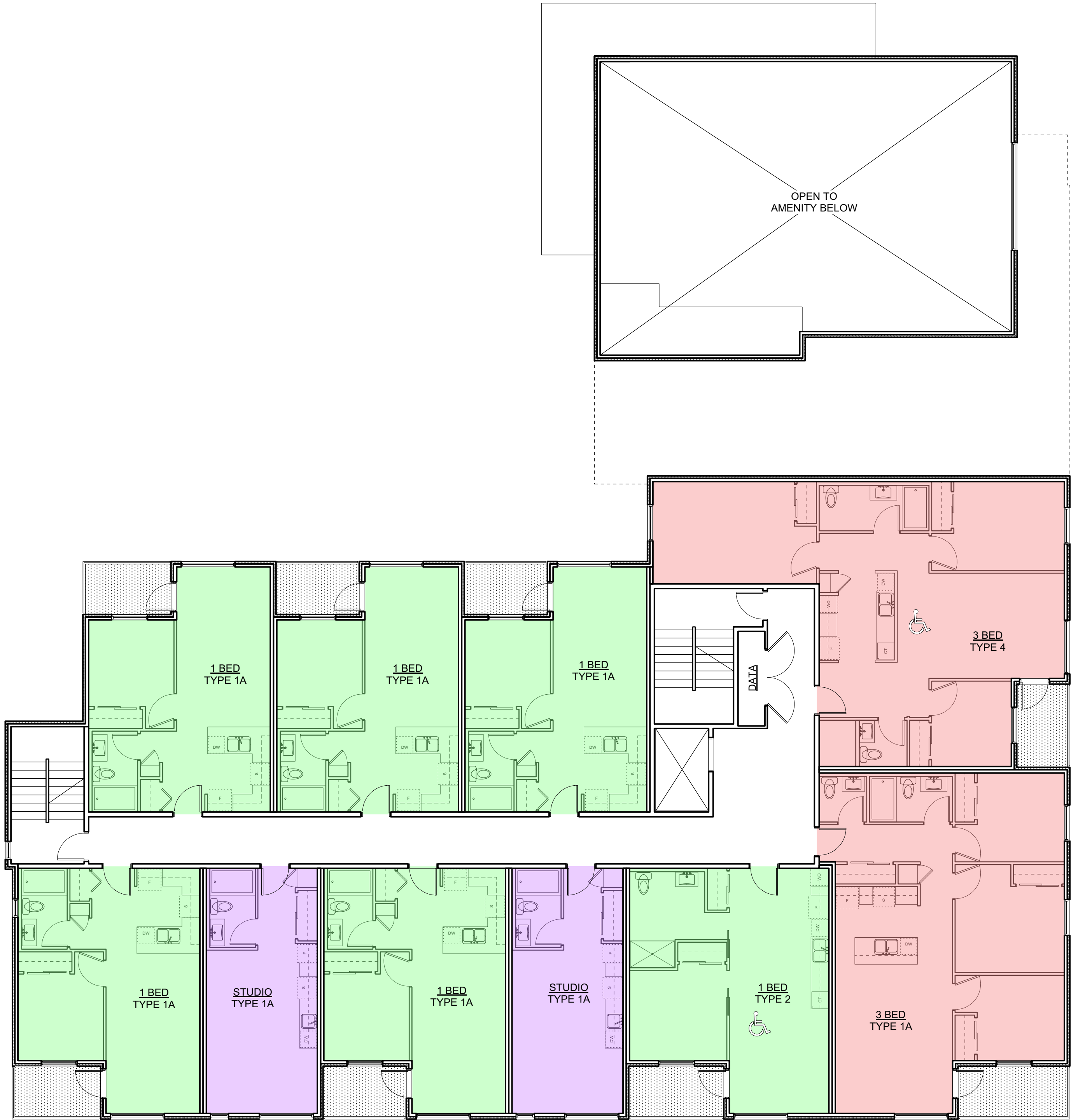
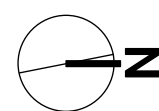
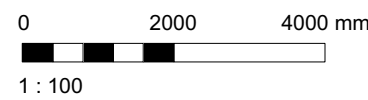
drawing no.  
**A601**

sheet no.  
**4**

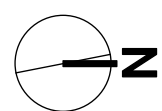
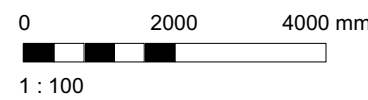




2 L2 Plan - Apartment 1  
Scale: 1:100



1 L2 Plan - Apartment 2  
Scale: 1:100



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

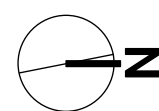
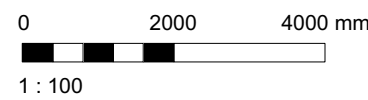
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project name <b>Caledonia</b> Victoria BC	
drawing title <b>L2 Plan - Apartments</b>	
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	sheet no. <b>4</b>

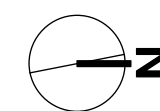
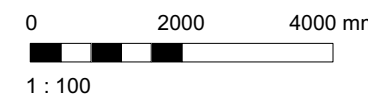




2 L3 Plan - Apartment 1  
Scale: 1:100



1 L3 Plan - Apartment 2  
Scale: 1:100



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	Issued for 1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

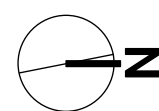
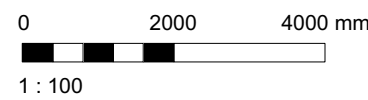
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& REZONING

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project name <b>Caledonia</b> Victoria BC	
project title <b>L3 Plan - Apartments</b>	
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	sheet no. <b>4</b>

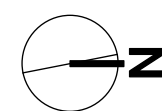
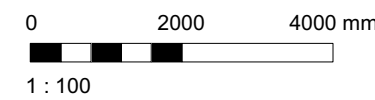




2 L4 Plan - Apartment 1  
Scale: 1:100



1 L4 Plan - Apartment 2  
Scale: 1:100



GRAPHIC LEGEND:

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE

Rev	Date	Description
4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
1	SEPTEMBER 2019	ISSUED FOR DP & REZONING

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

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project name	Caledonia Victoria BC	
project title	L4 Plan - Apartments	
drawing no.	A604	sheet no. 4

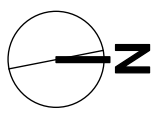




1  
A605

L5 Plan - Apartment 2  
Scale: 1:100

0 2000 4000 mm  
1 : 100




- GRAPHIC LEGEND:
- STUDIO
  - 1 BEDROOM
  - 2 BEDROOM
  - 3 BEDROOM
  - 4 BEDROOM
  - ACCESSIBLE

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING



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T 1-250-608-3367

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T 1-250-585-5810

project name

Caledonia  
Victoria BC

project name

L5 Plan - Apartments

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sheet no.

A605

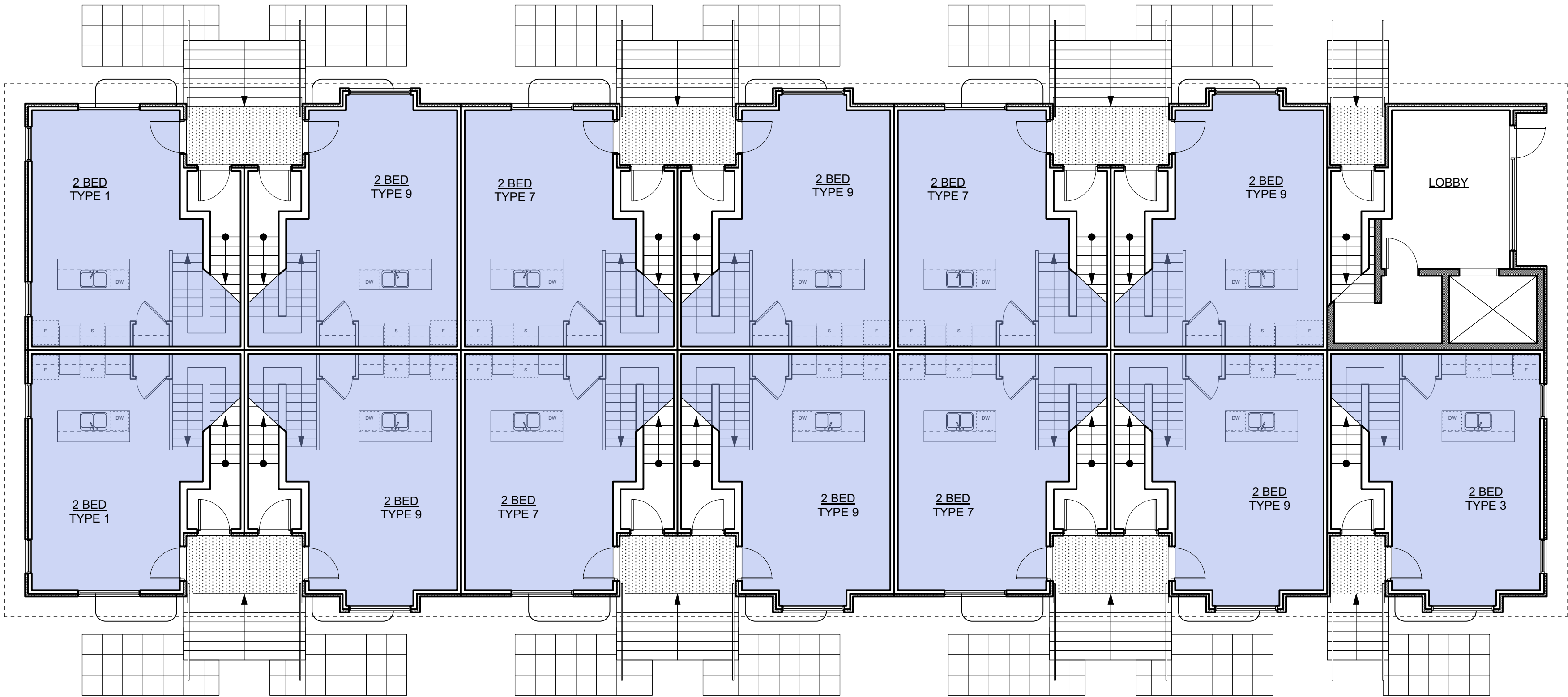
section no.

4

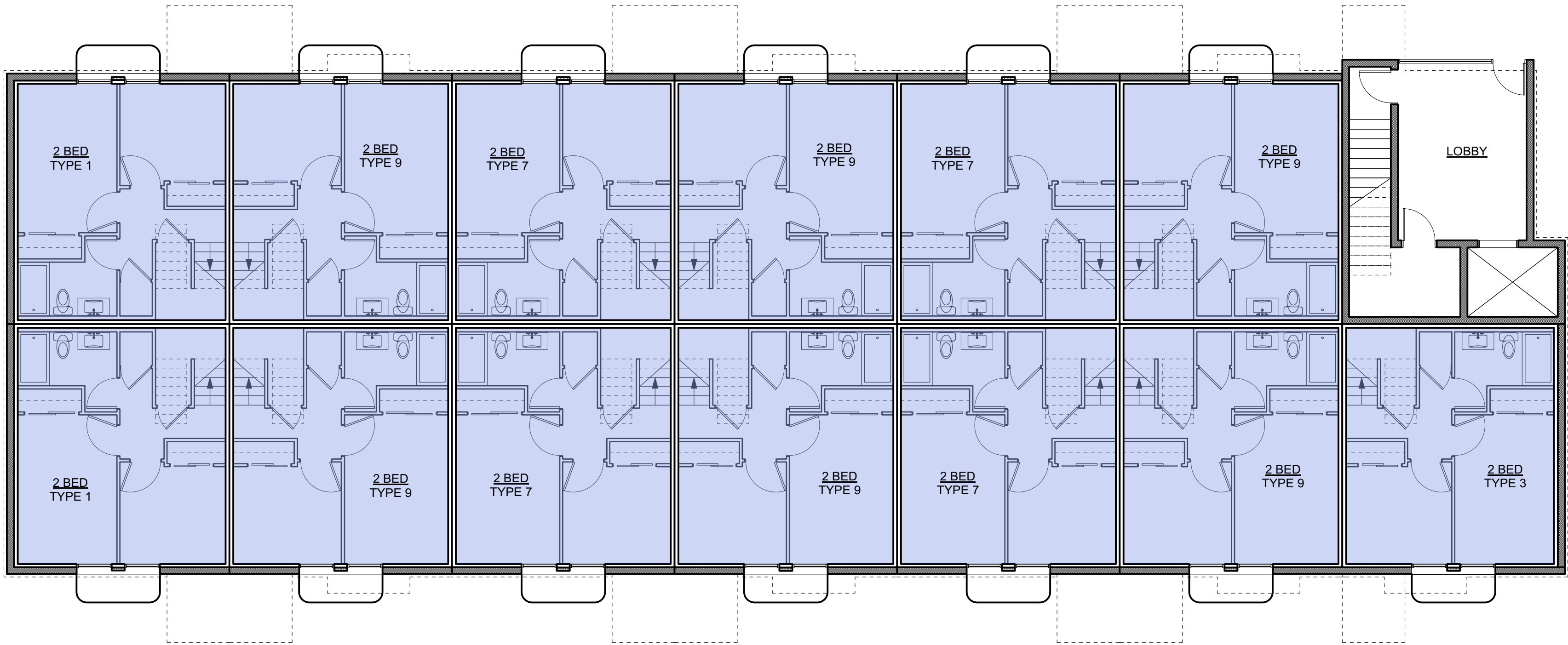
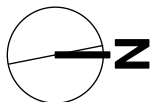
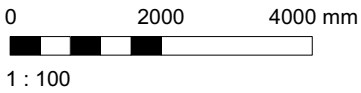


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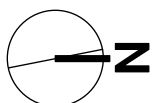
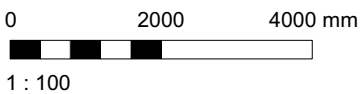
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



2 L1 Plan  
A606 Scale: 1:100





1 L0 Plan  
A606 Scale: 1:100



4	20/03/13	RE-ISSUED FOR COTW
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vxd
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

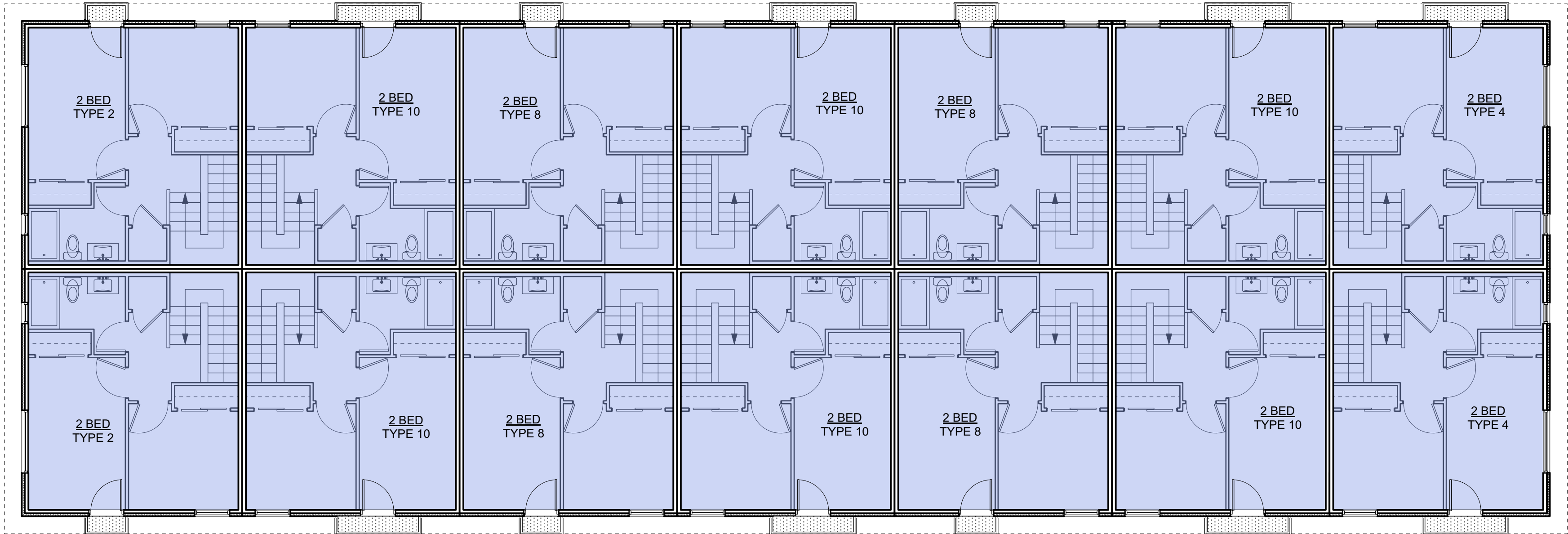
ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810	
project name Caledonia Victoria BC	drawing no. A606	sheet no. 4

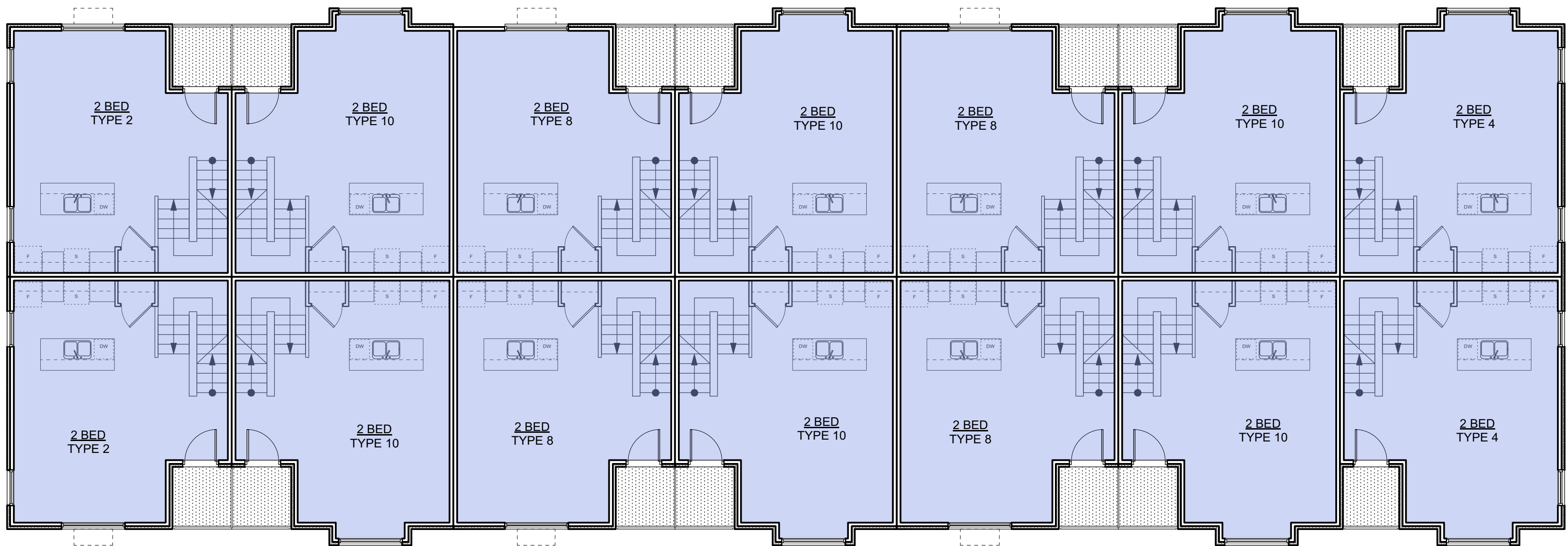
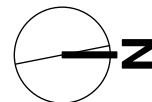
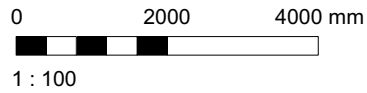


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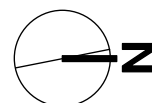
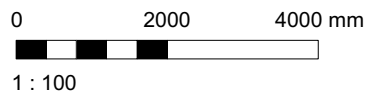
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



2 L3 Plan  
A607 Scale: 1:100



1 L2 Plan  
A607 Scale: 1:100



4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

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& REZONING

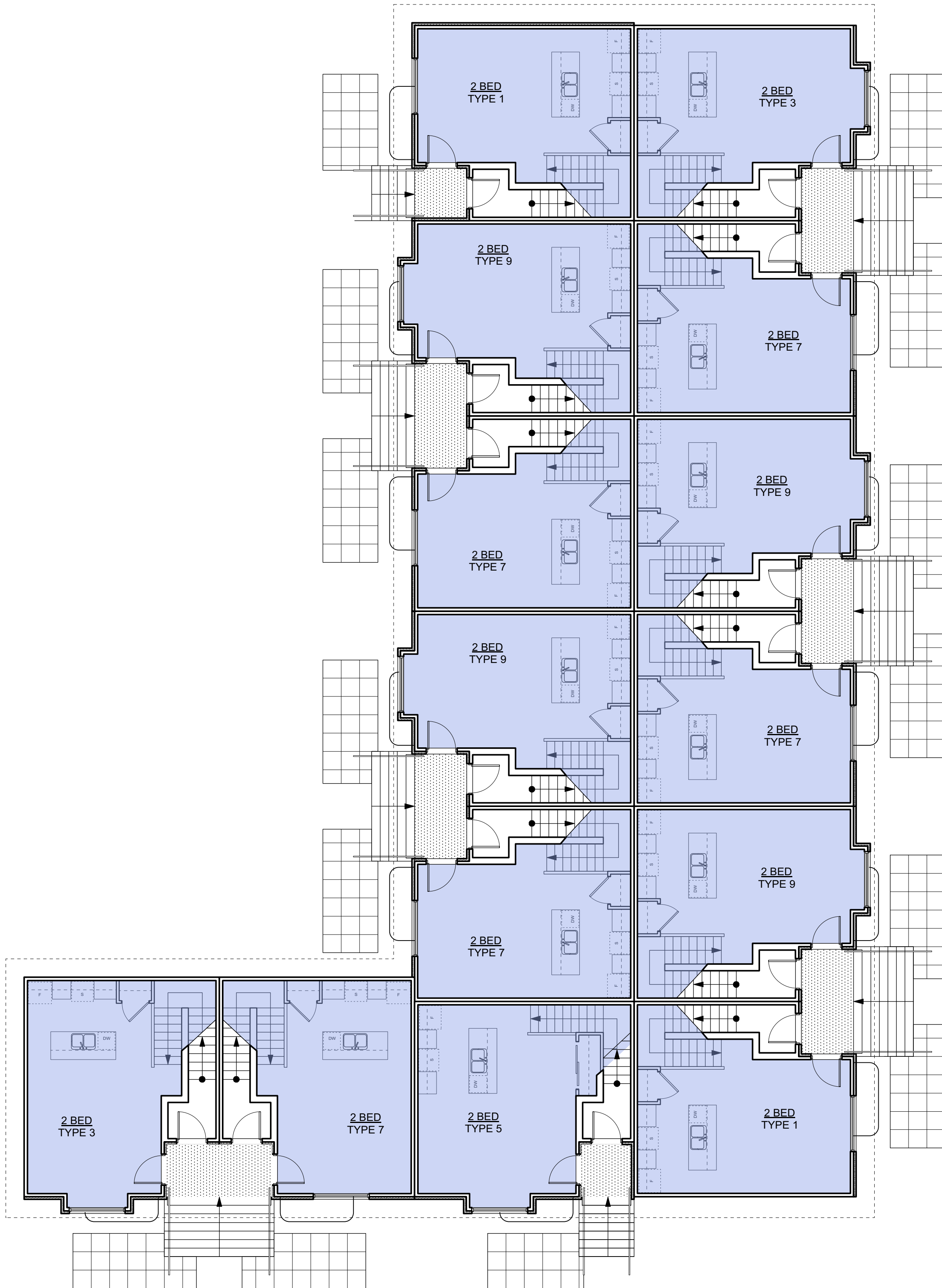
	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A607
drawing no. Townhouse 1	sheet no. 4

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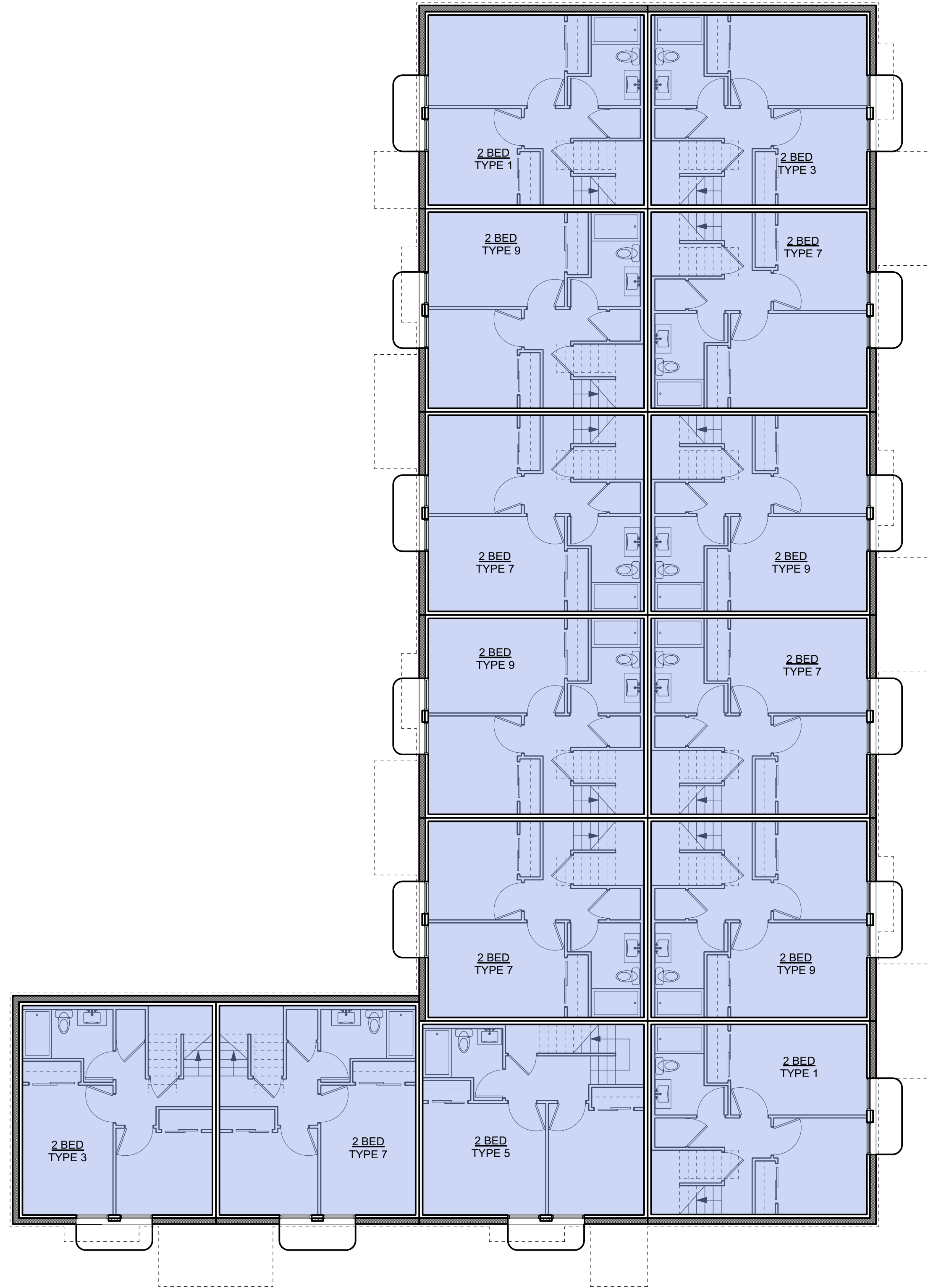
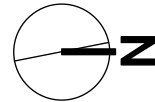
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- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



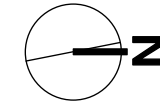
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A608 Scale: 1:100

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1:100



1 L0 Plan  
A608 Scale: 1:100

0 2000 4000 mm  
1:100



Rev	Date	Description
4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW

NOTE: All dimensions are shown in millimeters.

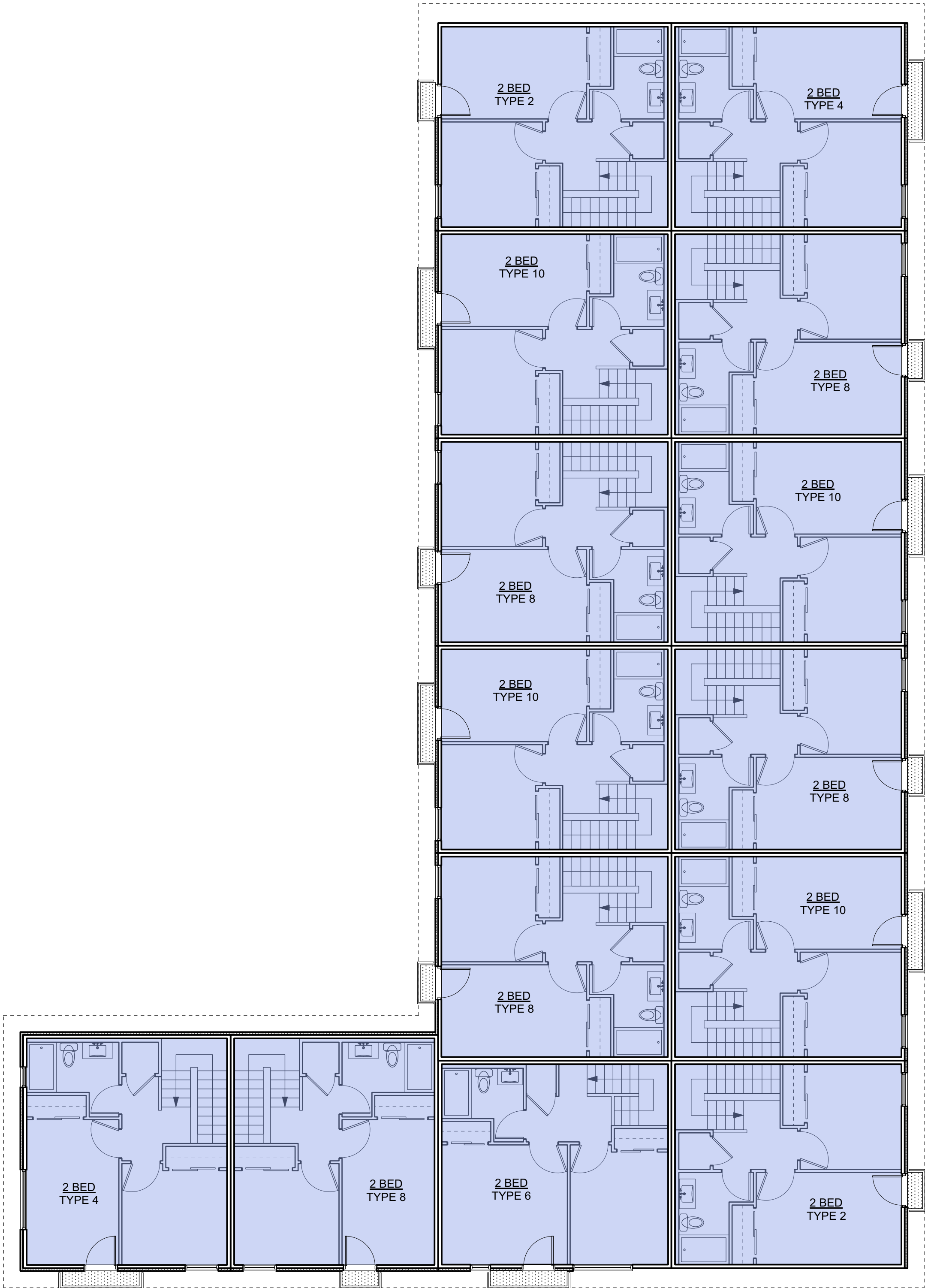
ISSUED FOR DP  
& REZONING

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	project no. A608
revision no. 4	



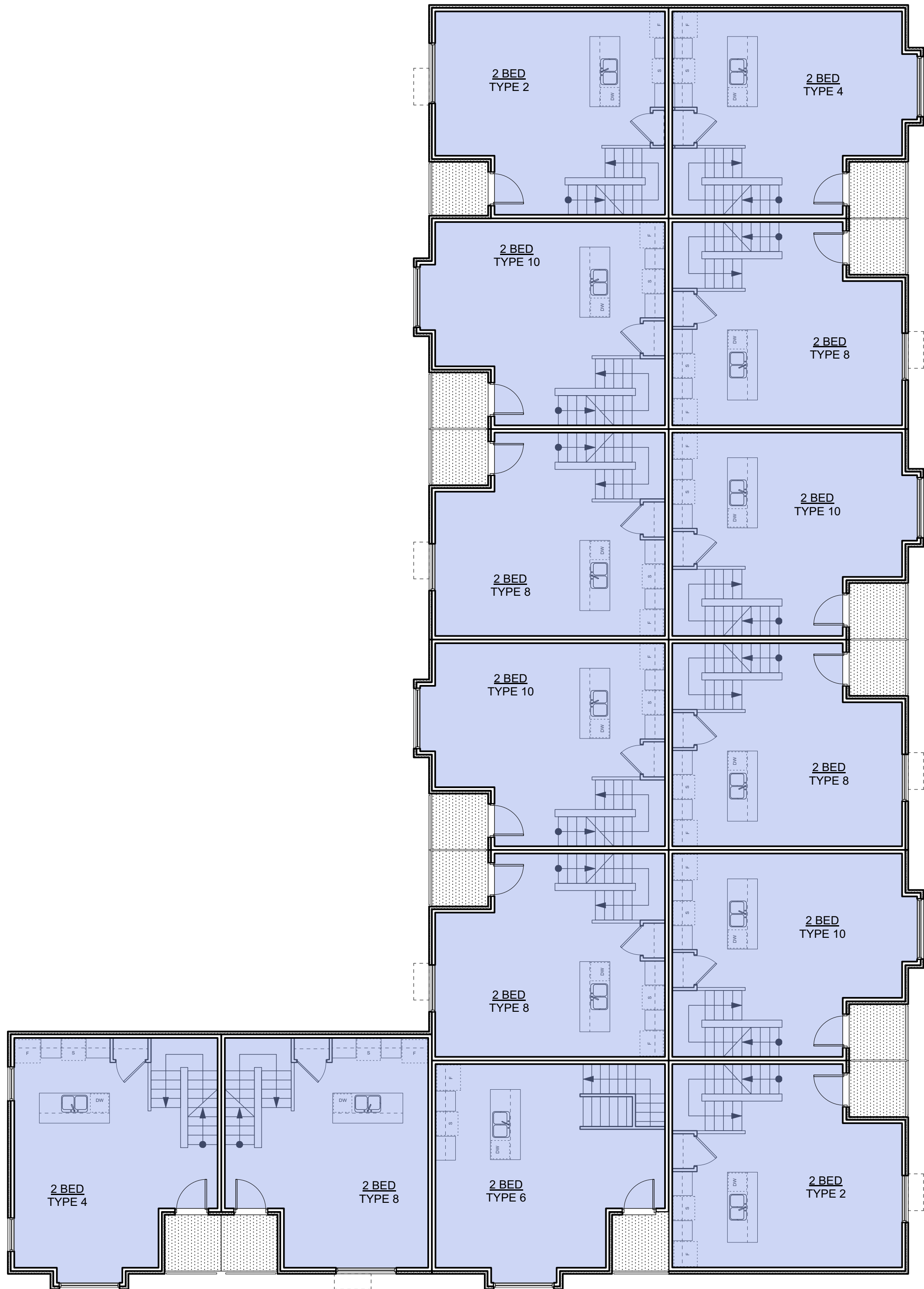
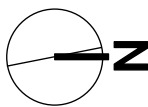
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- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



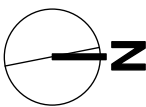
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A609 Scale: 1:100

0 2000 4000 mm  
1:100



1 L2 Plan  
A609 Scale: 1:100

0 2000 4000 mm  
1:100



4	20/03/13	RE-ISSUED FOR COTW
3	20/02/06	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
plot date		SEPTEMBER 2019
drawing file		1907 A200 Plans.vrx
drawn by	FWP	checked by
scale	AS SHOWN	project number
		1907

NOTE: All dimensions are shown in millimeters.

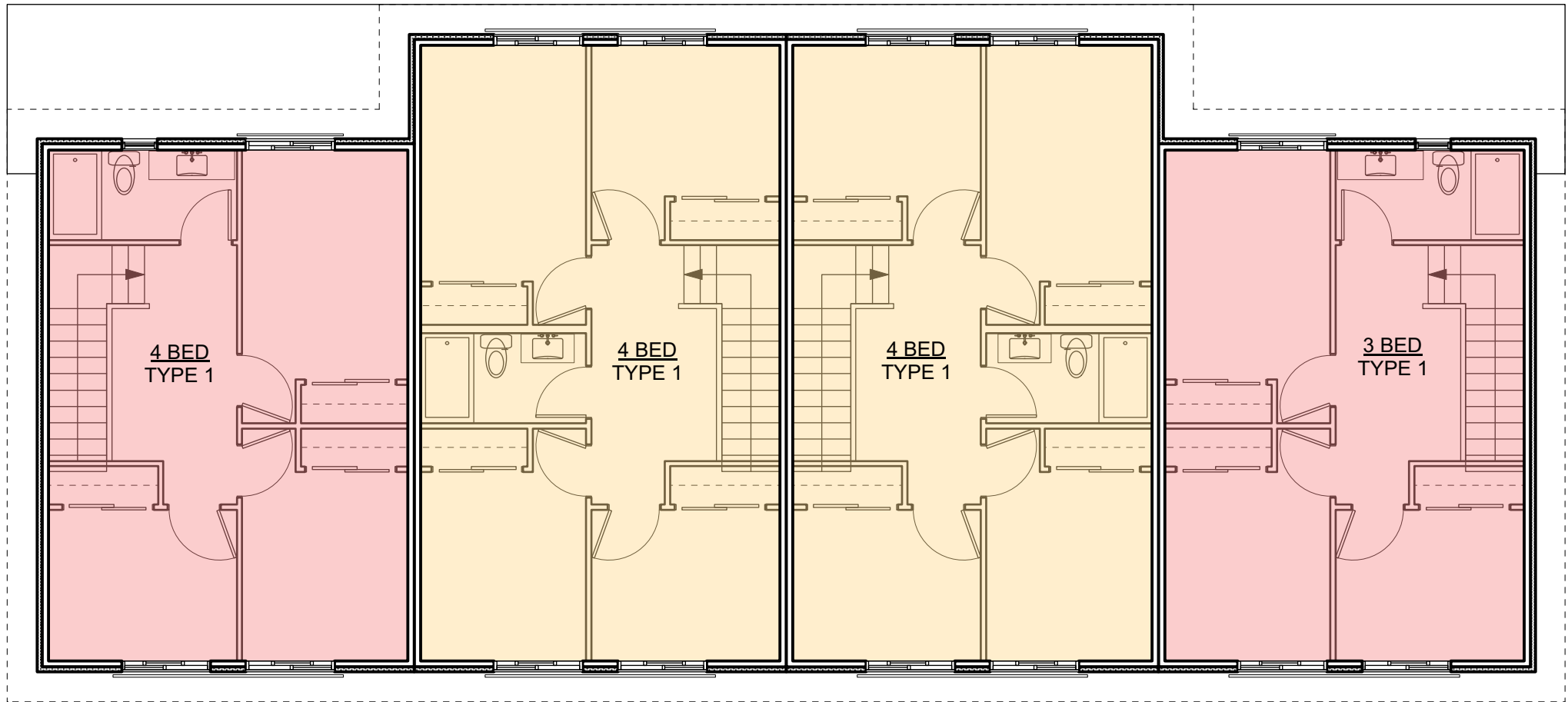
## ISSUED FOR DP & REZONING

	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name	Caledonia
location	Victoria BC
project name	Townhouse 2
copyright reserved. these plans and drawings are not to be used for the project shown and may not be reproduced without written consent.	sheet no. A609
	sheet no. 4

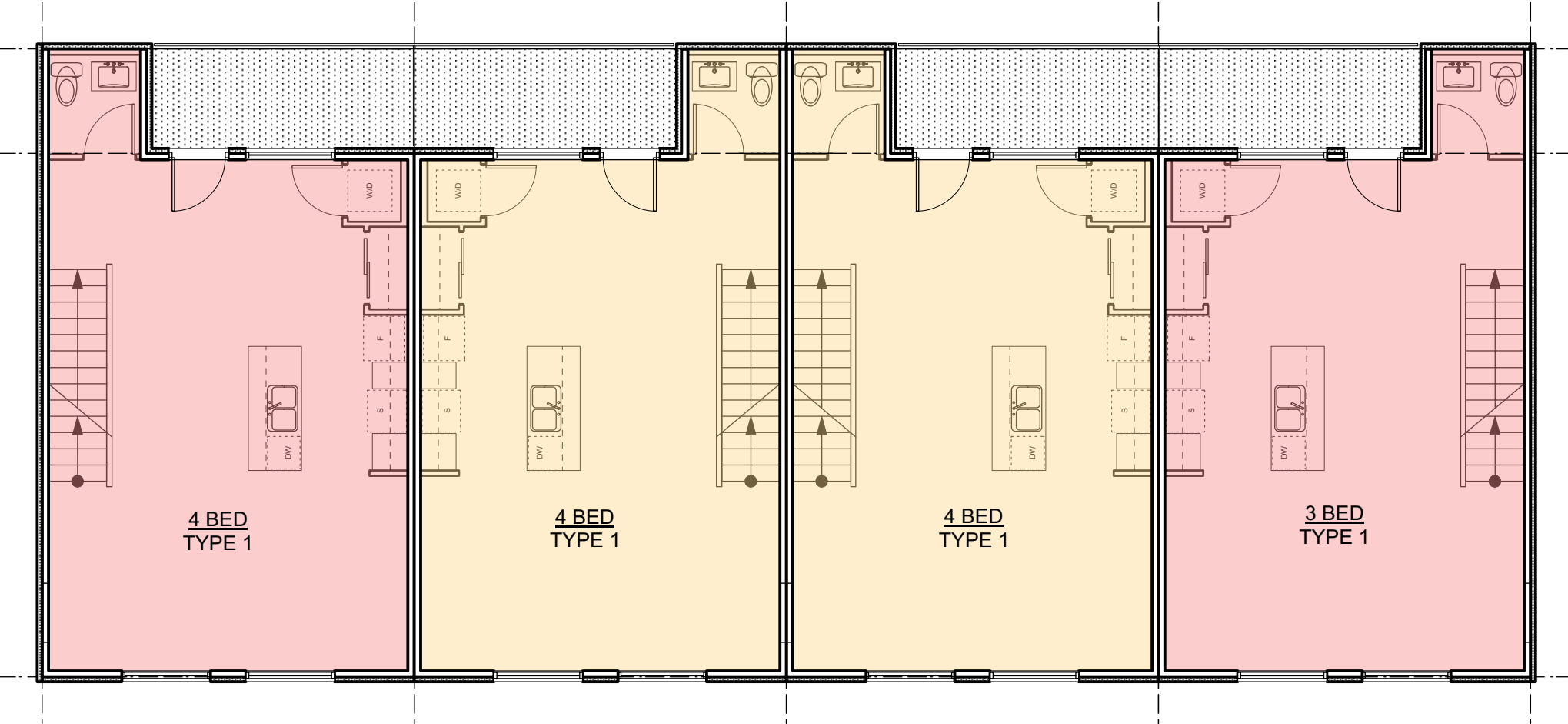


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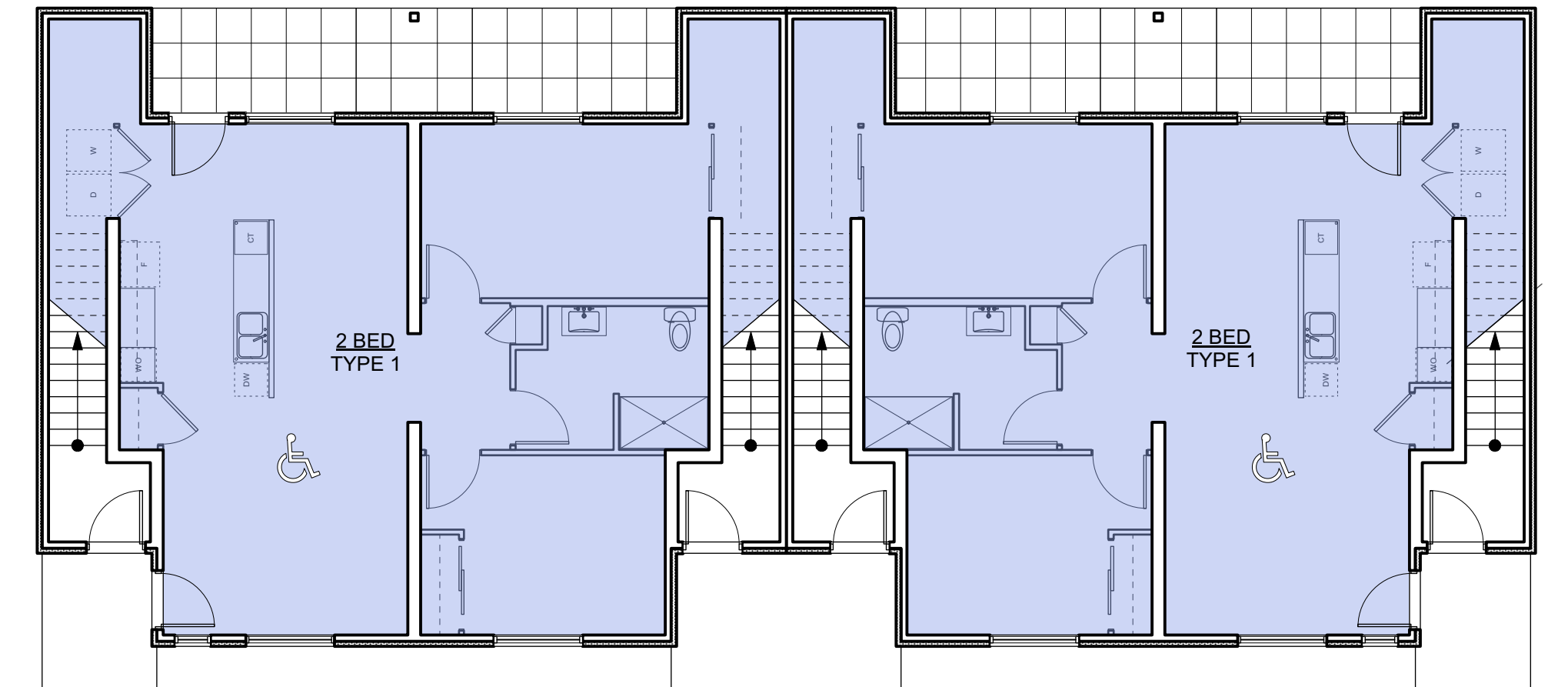
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



3 L3 Plan - Townhouse 3  
Scale: 1:100



2 L2 Plan - Townhouse 3  
Scale: 1:100





1 L1 Plan - Townhouse 3  
Scale: 1:100

4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

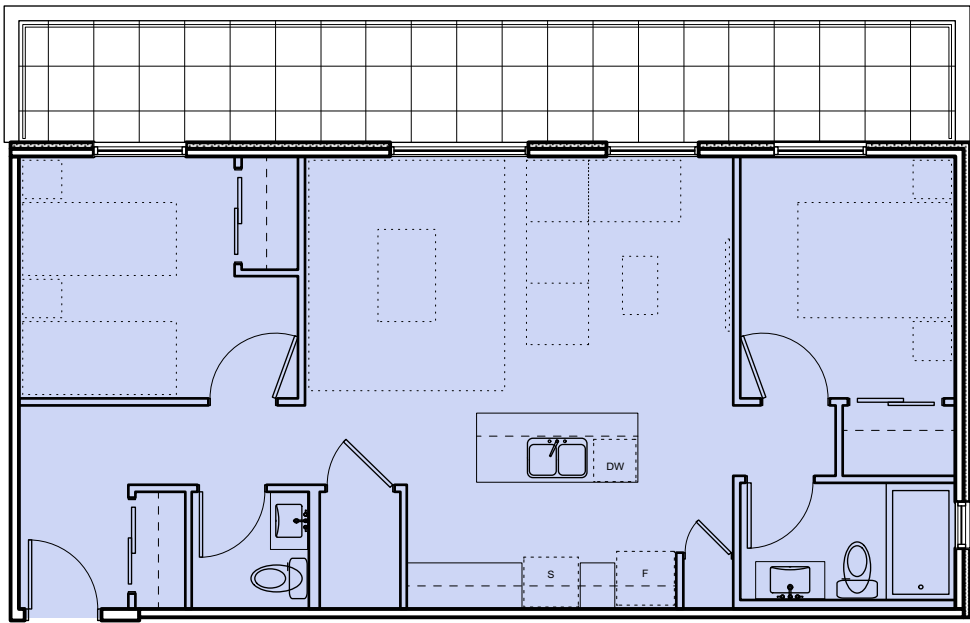
ISSUED FOR DP  
& REZONING

	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. Townhouse 3 sheet no. A610
drawing no. 4	

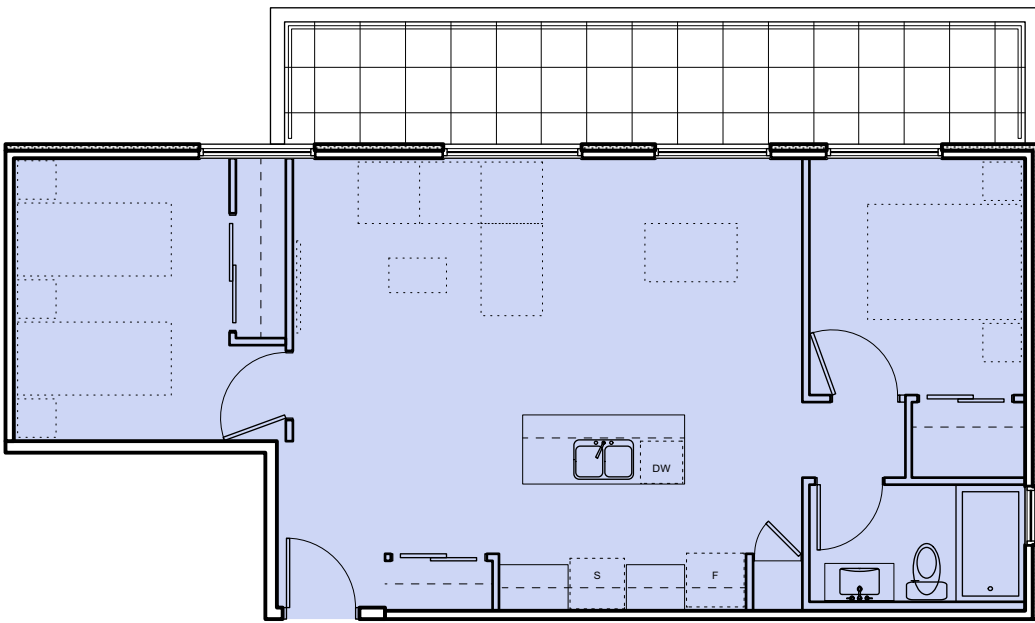


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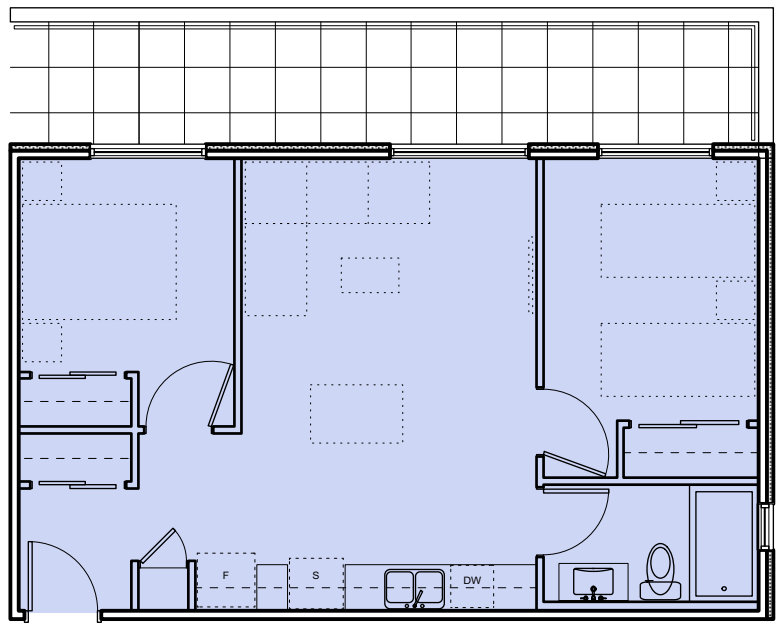
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- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



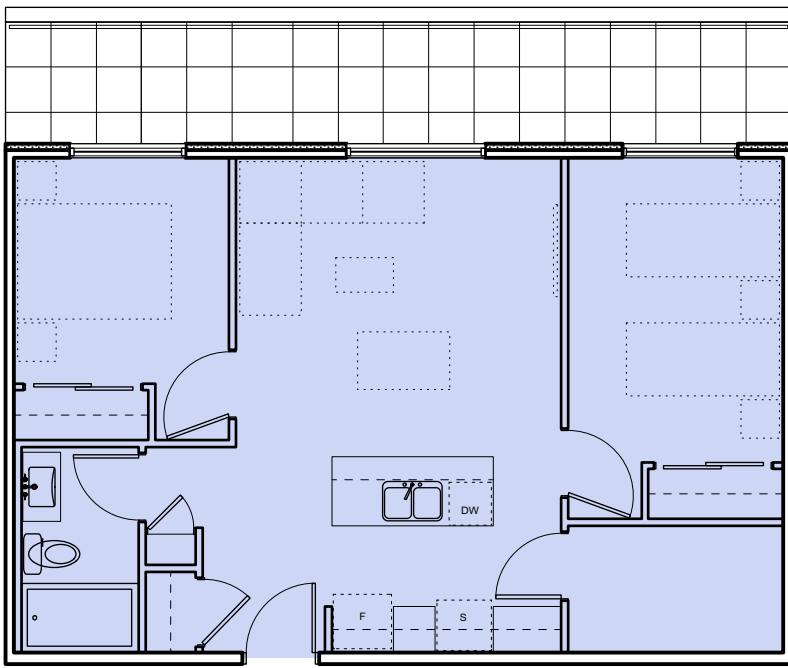
AREA 78 SM  
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A701 Scale: 1:100



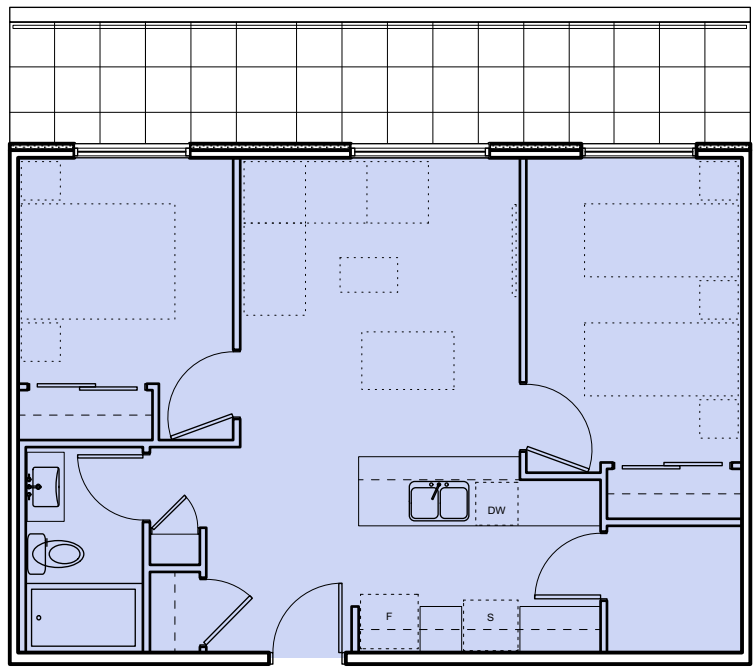
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A701 Scale: 1:100



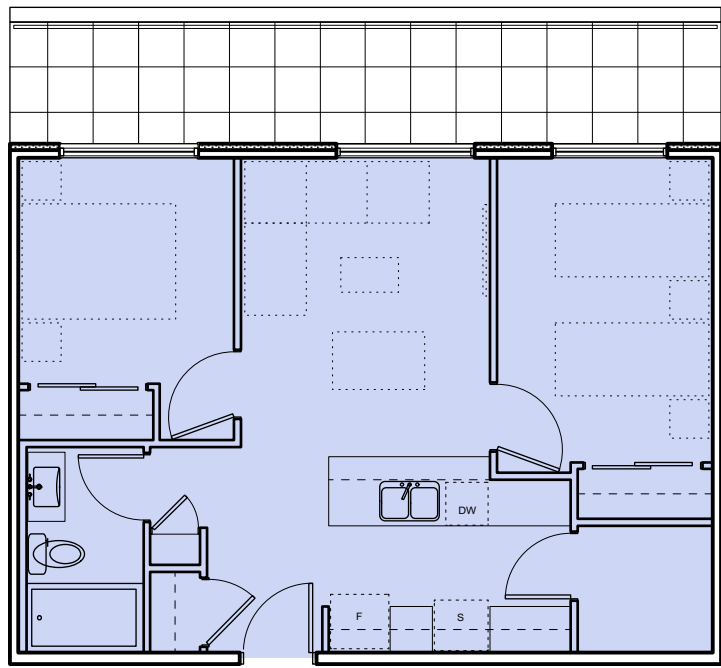
AREA 61 SM  
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12 2 Bed Type 5  
A701 Scale: 1:100



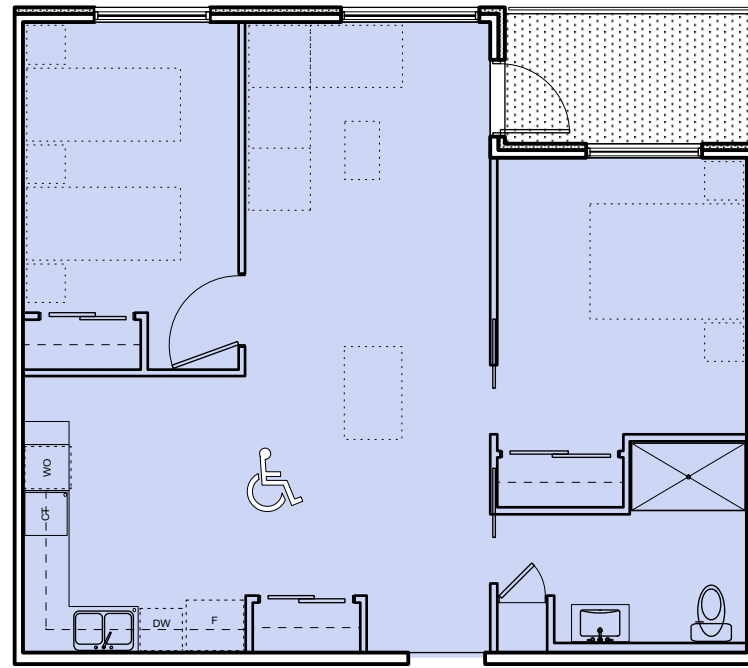
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A701 Scale: 1:100



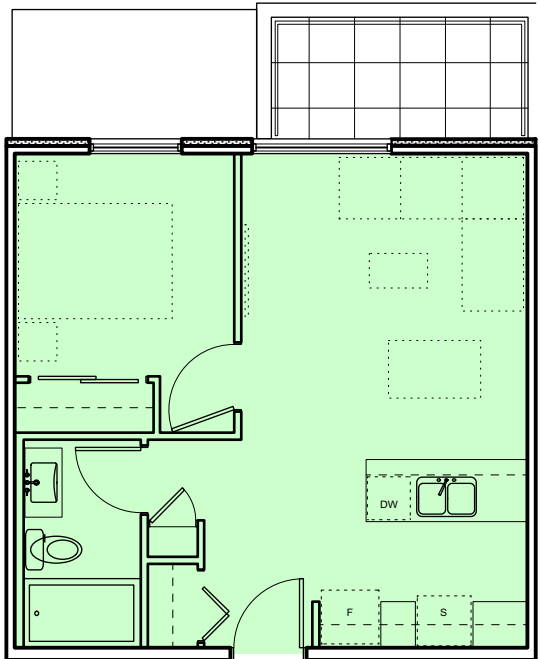
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10 2 Bed Type 3  
A701 Scale: 1:100



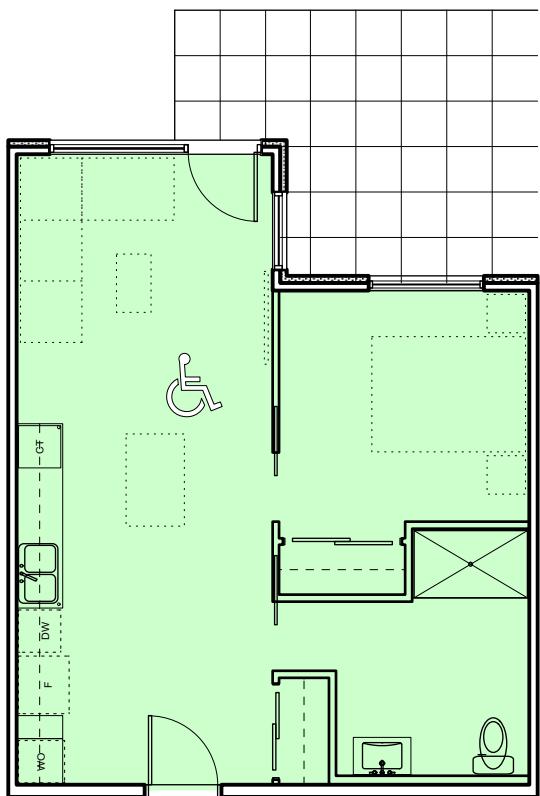
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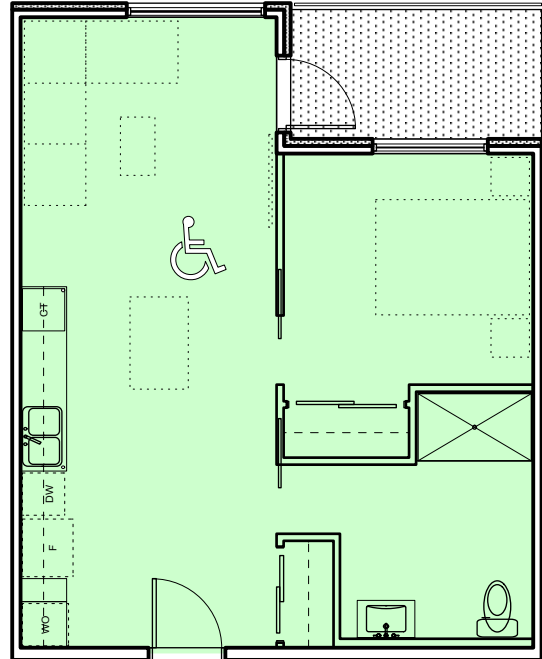
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8 2 Bed Type 1 - Accessible  
A701 Scale: 1:100



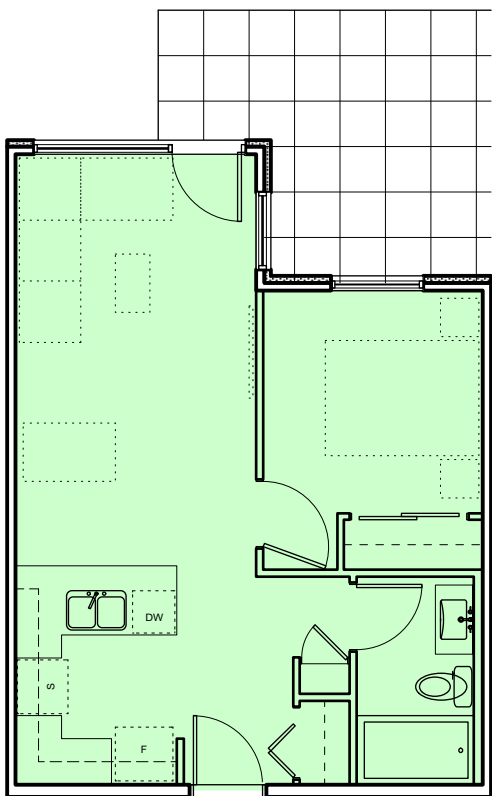
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A701 Scale: 1:100



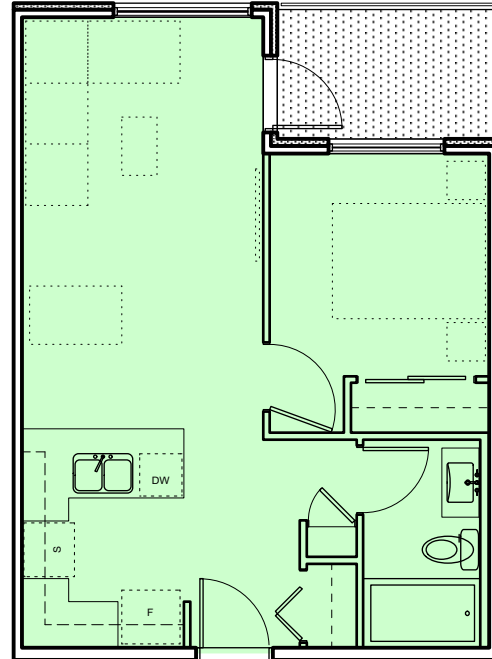
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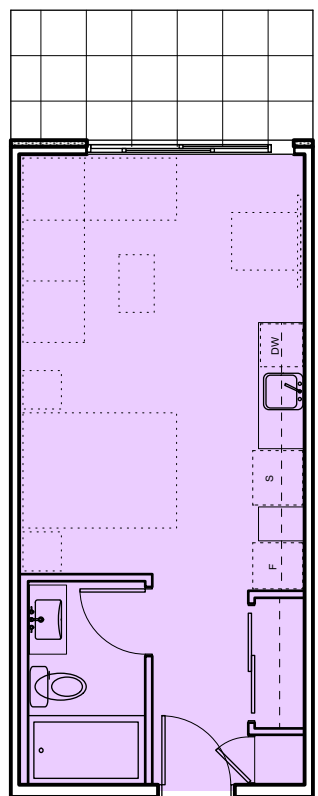
AREA 53 SM  
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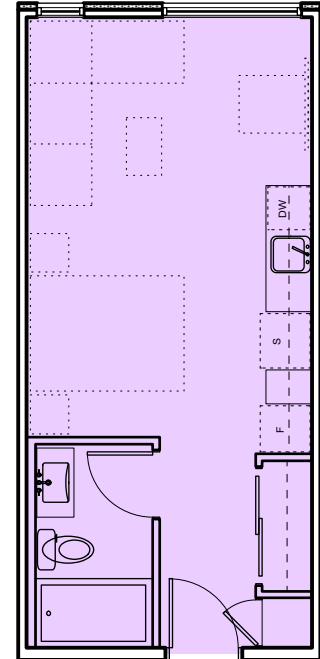
AREA 49 SM  
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4 1 Bed Type 1B  
A701 Scale: 1:100



AREA 49 SM  
QUANTITY 32  
3 1 Bed Type 1A  
A701 Scale: 1:100



AREA 34 SM  
QUANTITY 4  
2 Studio Type 1B  
A701 Scale: 1:100



AREA 34 SM  
QUANTITY 10  
1 Studio Type 1A  
A701 Scale: 1:100

0 2000 4000 mm  
1 : 100

4	20/03/13	RE-ISSUED FOR COTW
3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	1907 A200 Plans view
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

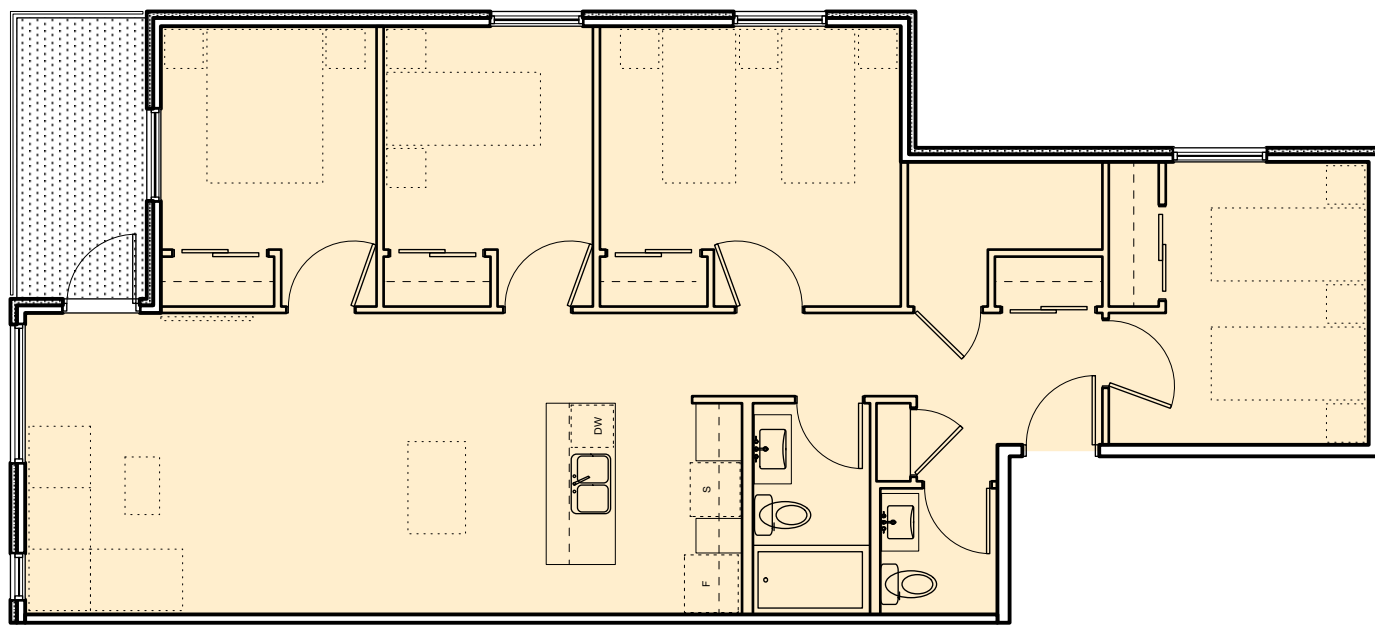
ISSUED FOR DP  
& REZONING

	dHKarchitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5198 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A701
drawing title Apartment Unit Plans	sheet no. 4

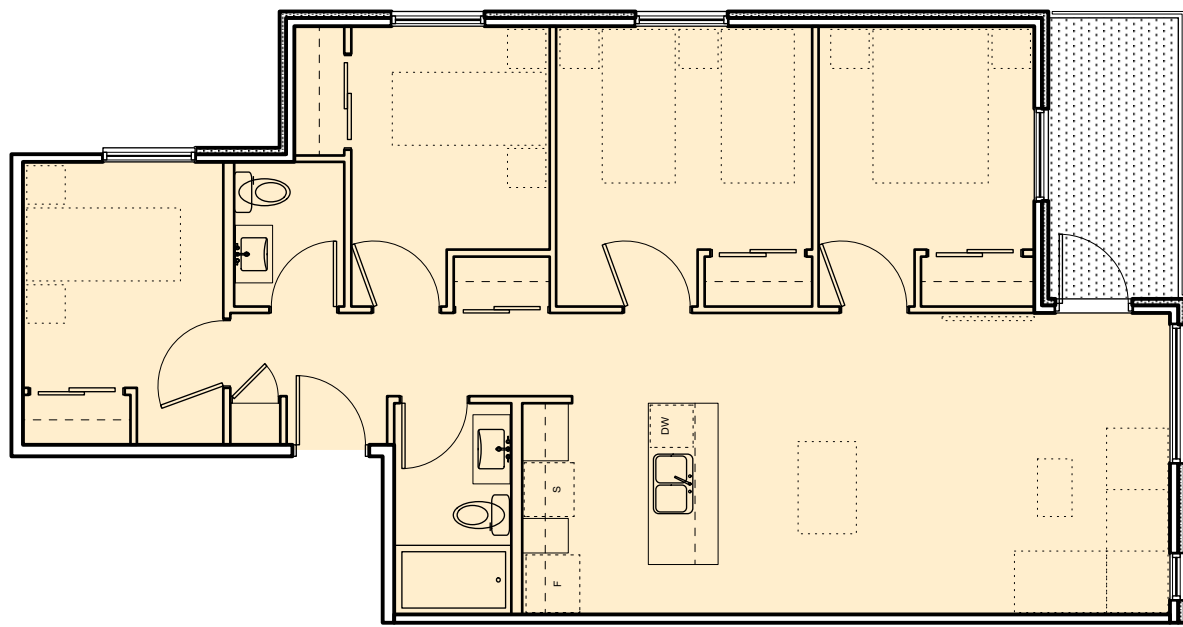


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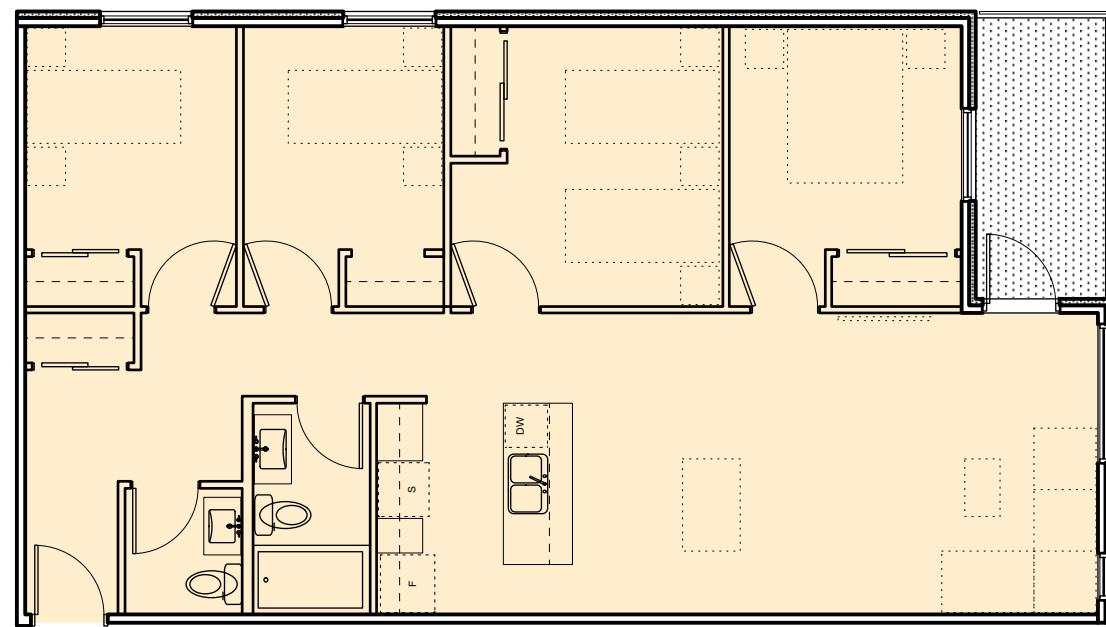
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



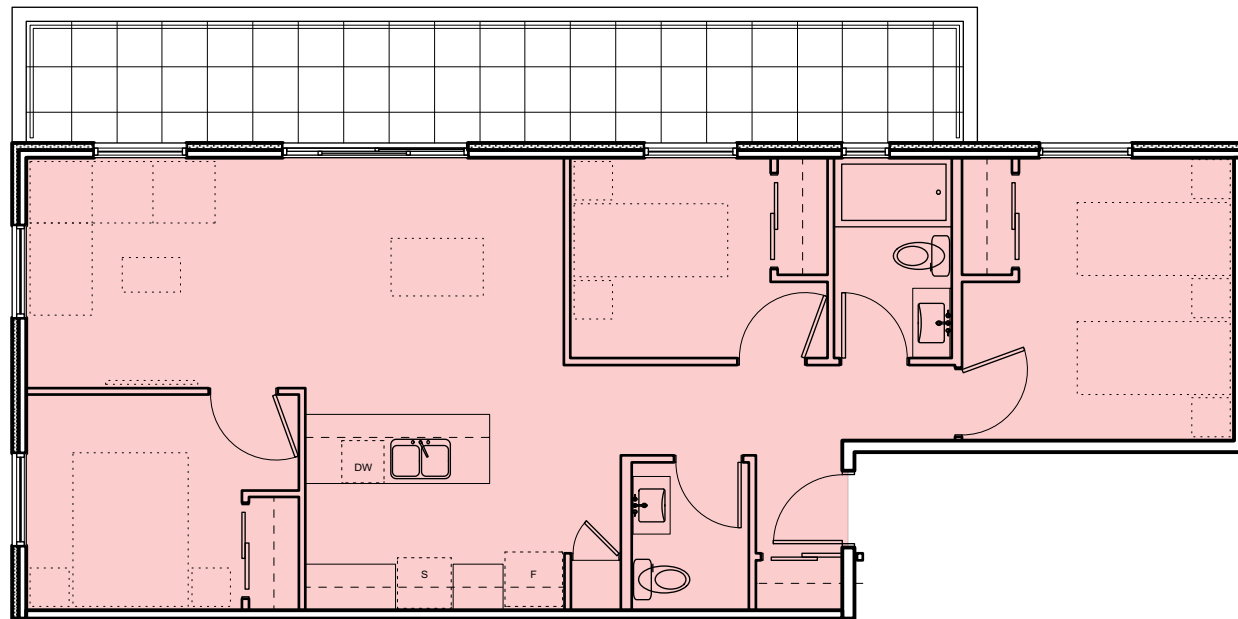
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9 4 Bed Type 3  
A702 Scale: 1:100



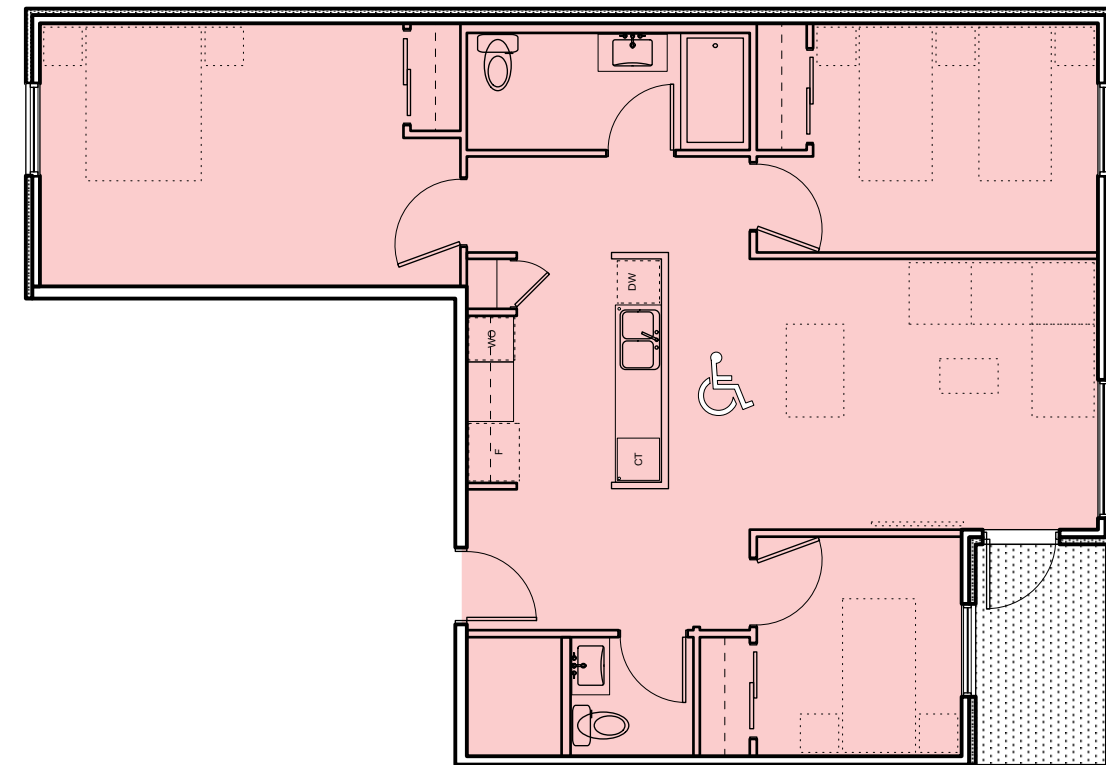
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8 4 Bed Type 2  
A702 Scale: 1:100



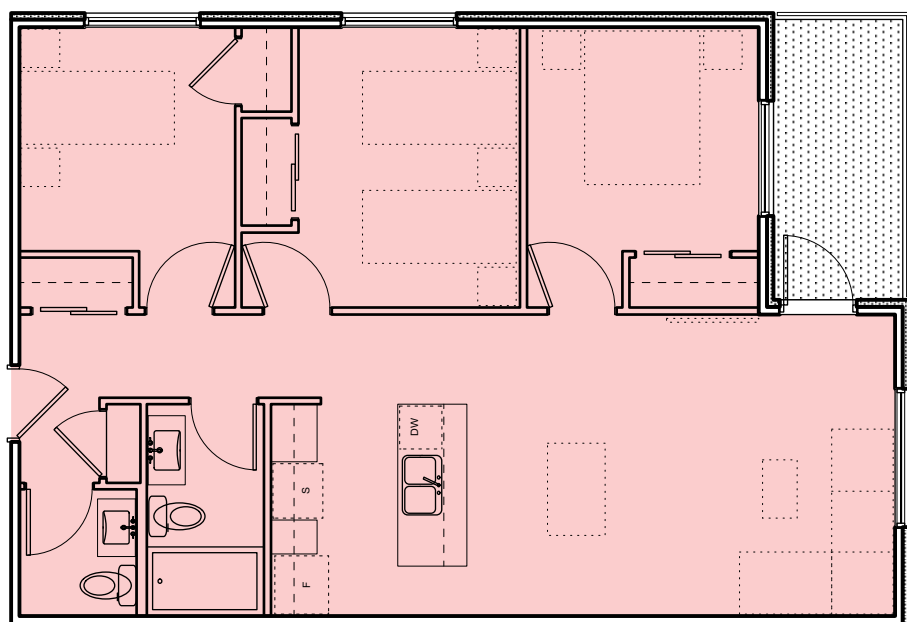
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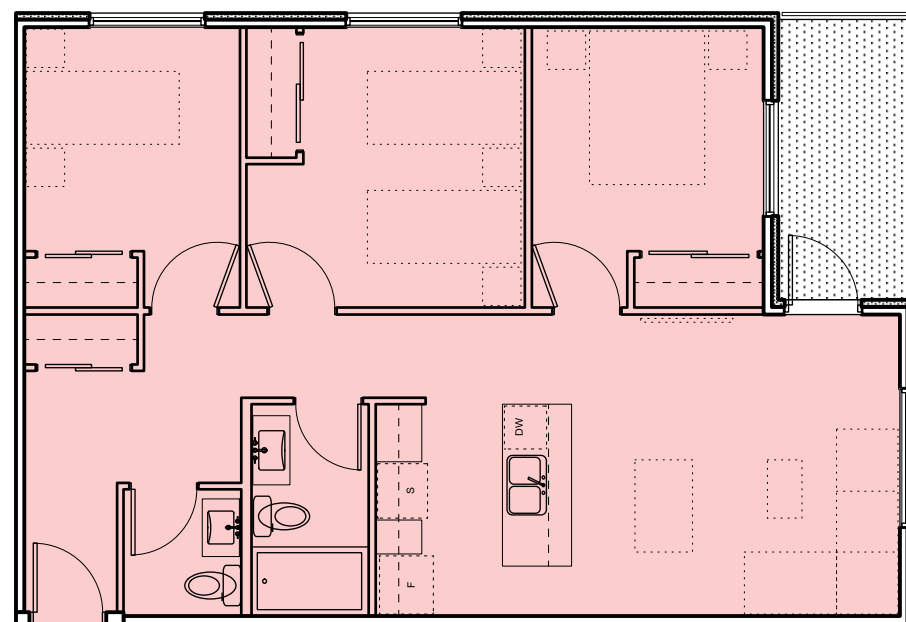
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6 3 Bed Type 5  
A702 Scale: 1:100



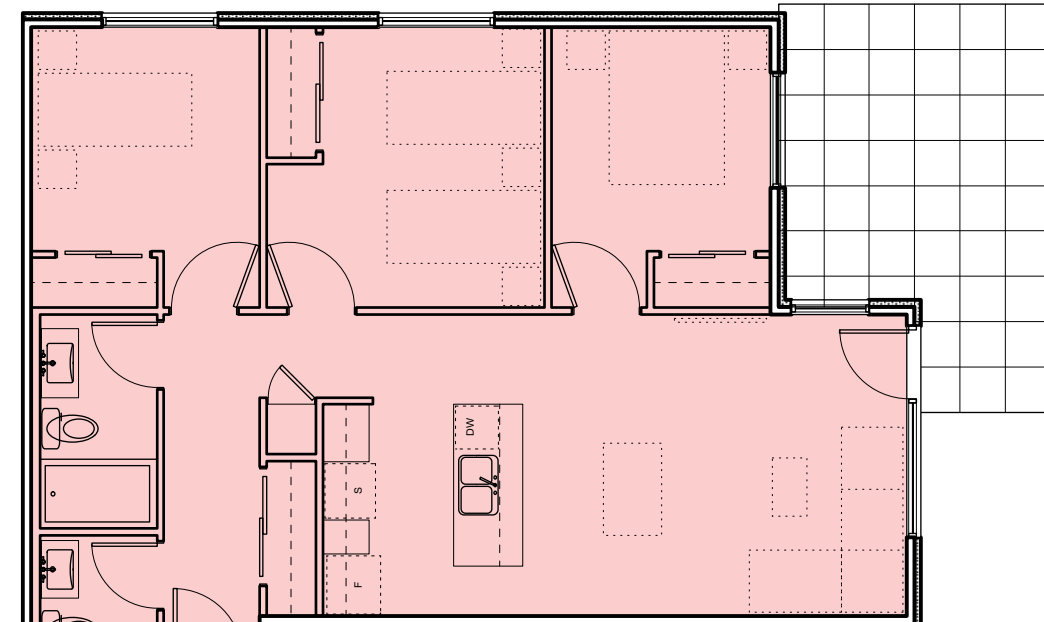
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5 3 Bed Type 4 - Accessible  
A702 Scale: 1:100



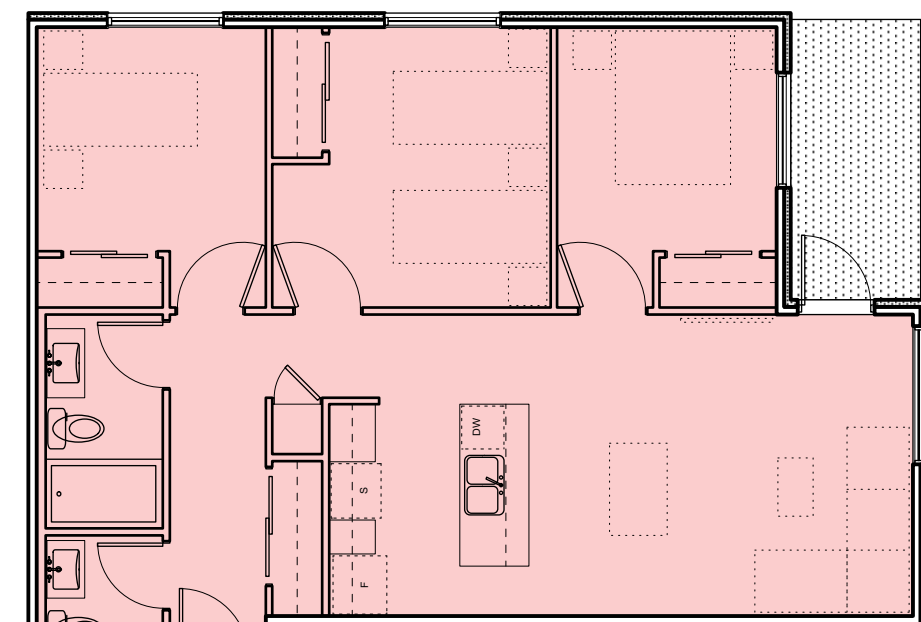
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QUANTITY 1  
4 3 Bed Type 3  
A702 Scale: 1:100



AREA 88 SM  
QUANTITY 2  
3 3 Bed Type 2  
A702 Scale: 1:100



AREA 88 SM  
QUANTITY 2  
2 3 Bed Type 1B  
A702 Scale: 1:100



AREA 88 SM  
QUANTITY 5  
1 3 Bed Type 1A  
A702 Scale: 1:100

0 2000 4000 mm  
1 : 100

4	20/03/13	RE-ISSUED FOR COTW
3	20/02/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vxd
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	 NANAIMO OFFICE 102-5198 Dublin Way Nanaimo BC V9T 2K6 T 1-250-585-5810
project name Caledonia Victoria BC	drawing no. A702
drawing title Apartment Unit Plans	sheet no. 4

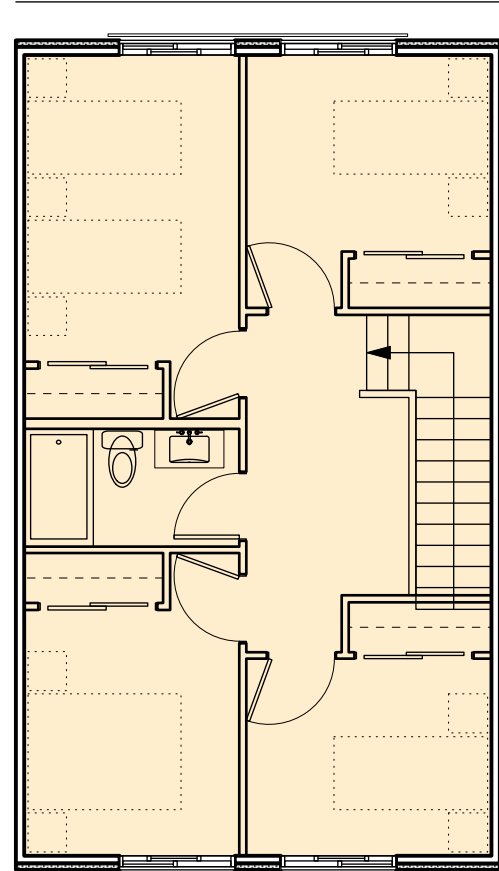




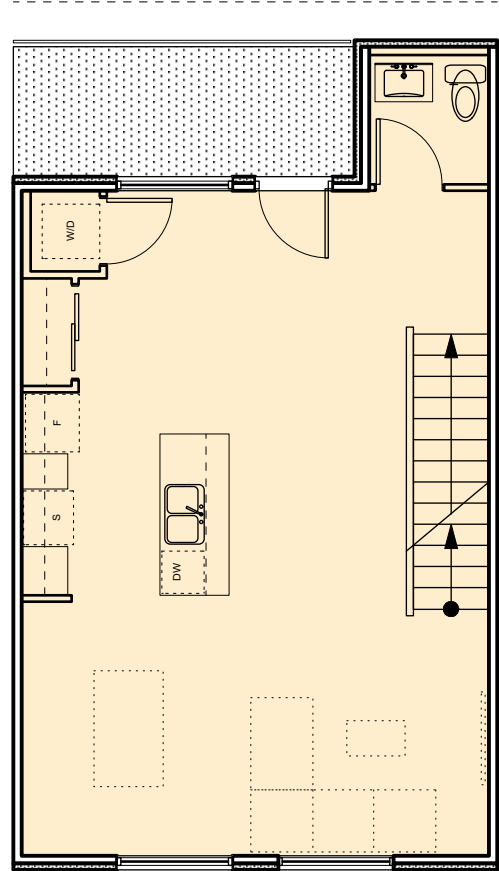


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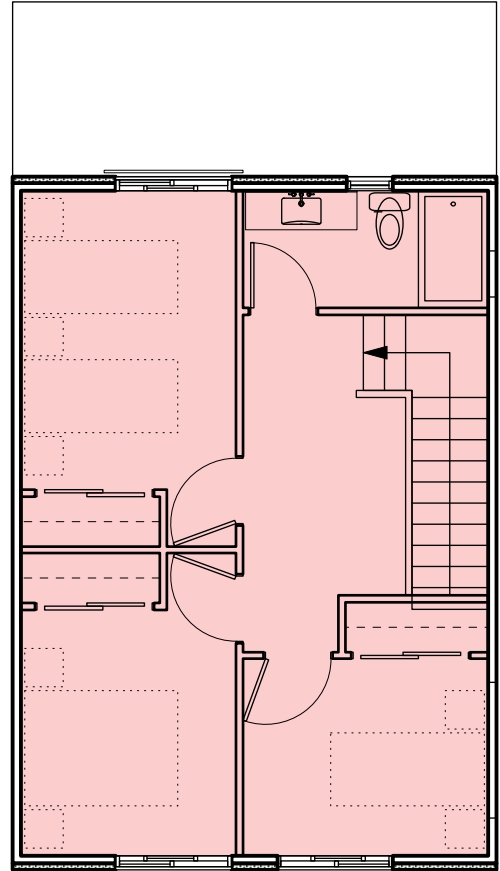
- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- ACCESSIBLE



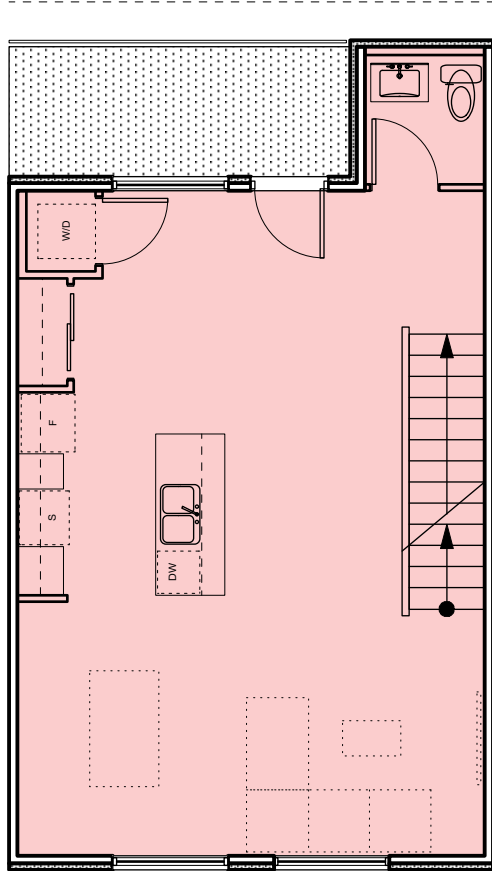
L1 - SECOND FLOOR  
AREA  
QUANTITY 130 SM  
2  
3 4 Bed Type 1  
A704 Scale: 1:100



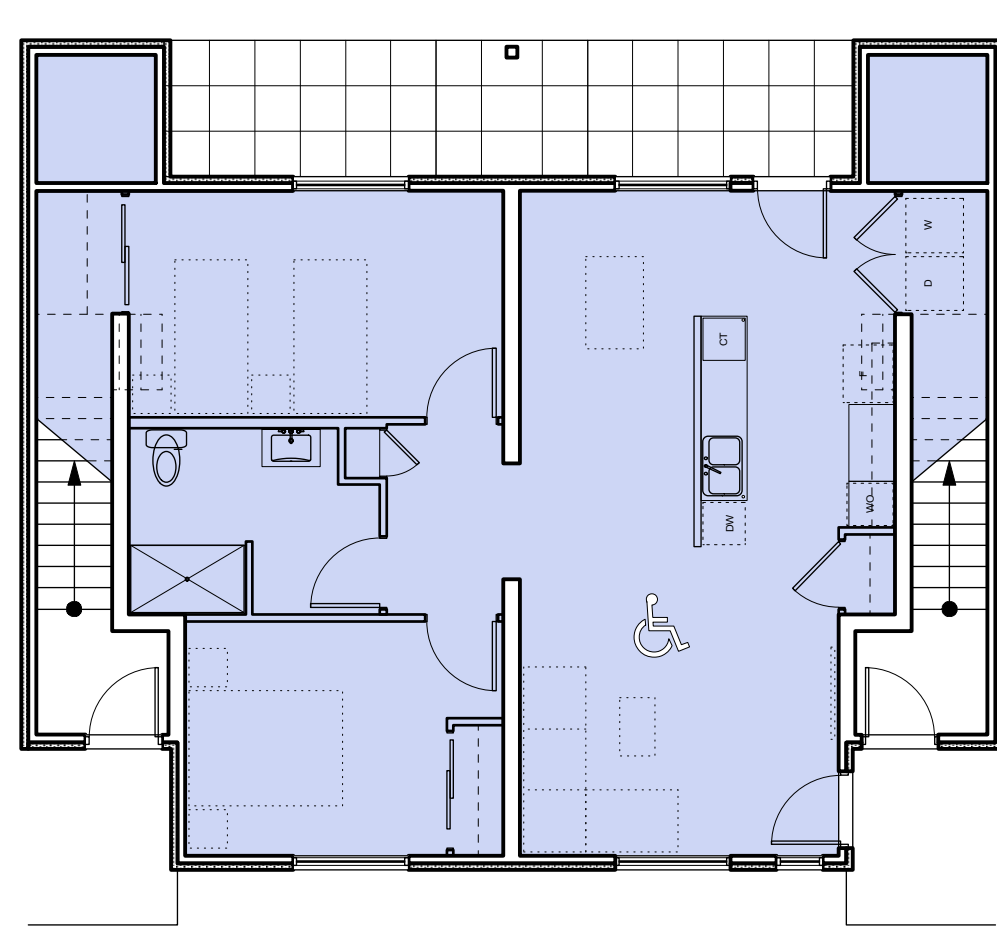
L0 - FIRST FLOOR



L1 - SECOND FLOOR  
AREA  
QUANTITY 118 SM  
2  
2 3 Bed Type 1  
A704 Scale: 1:100



L0 - FIRST FLOOR




AREA  
QUANTITY 104 SM  
2  
1 2 Bed Type 1 - Accessible  
A704 Scale: 1:100  
0 2000 4000 mm  
1 : 100

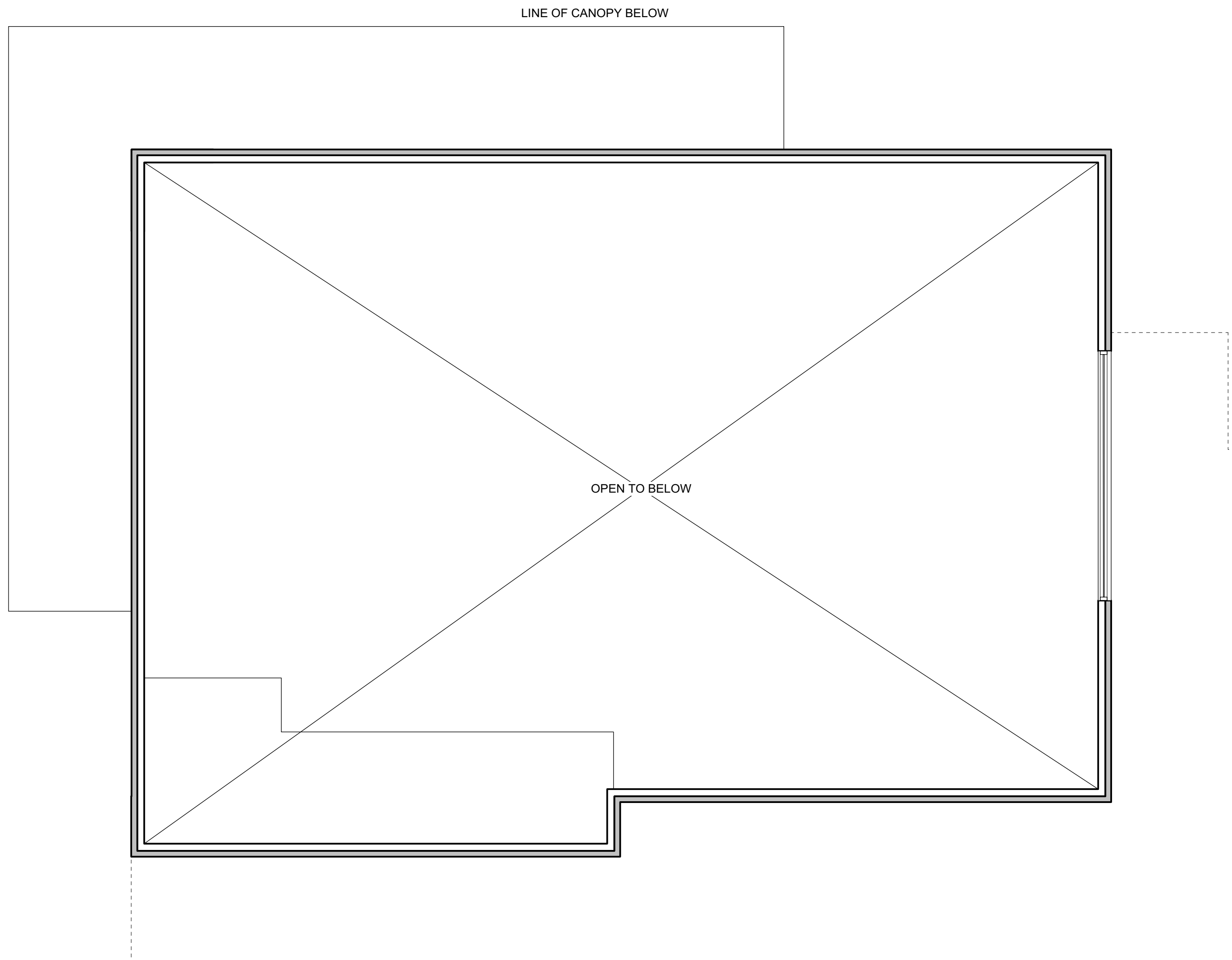
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3	20/03/08	ISSUED FOR COTW
2	20/01/15	ISSUED FOR ADP
1	18/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

ISSUED FOR DP  
& REZONING

	<b>dHKarchitects</b>
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 3K6 T 1-250-585-5810
project name <b>Caledonia</b> Victoria BC	drawing no. <b>Townhouse 3 Unit Plans</b>
copyright reserved. these plans and designs are the property of dHKarchitects and may not be reproduced without written consent.	sheet no. <b>A704</b>
	sheet no. <b>4</b>



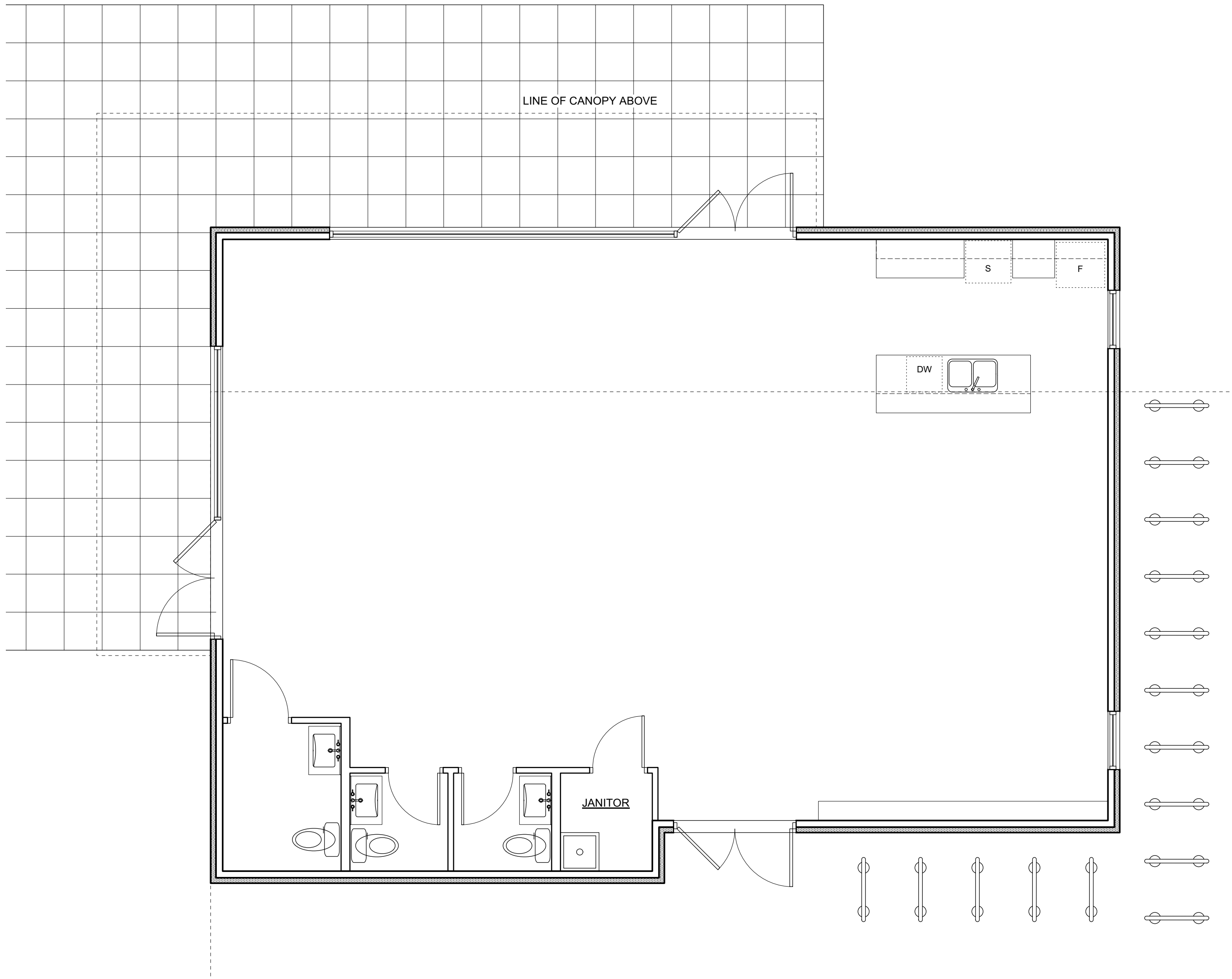


2  
A705

Amenity Room - L2  
Scale: 1:50

0 1000 2000 mm  
1:50

→ Z



1  
A705

Amenity Room - L1  
Scale: 1:50

GROSS AREA: 139 SM


0 1000 2000 mm  
1:50

→ Z

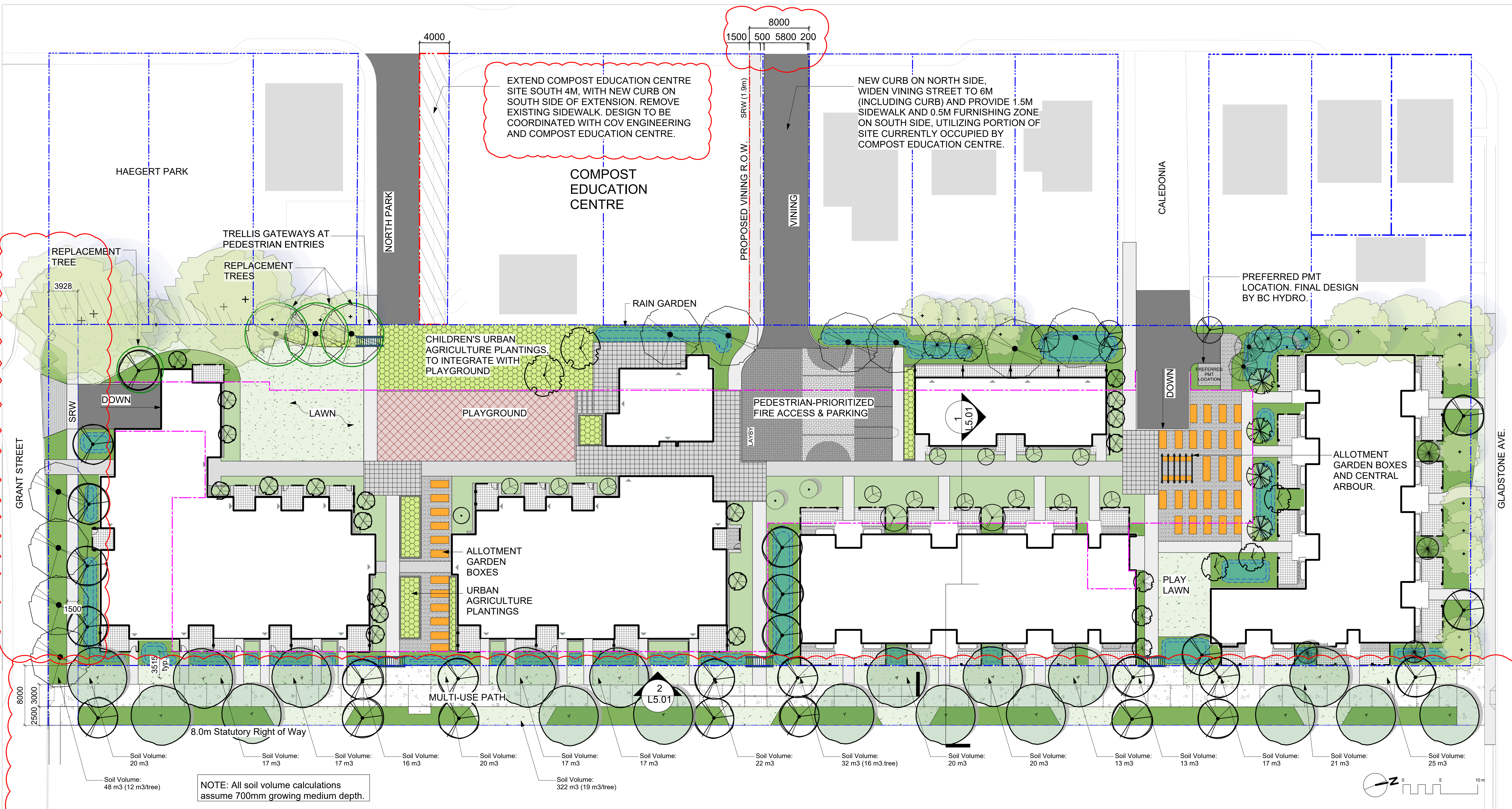
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3	20/03/08	ISSUED FR COTW
2	20/01/15	ISSUED FOR ADP
1	19/12/16	RESPONSE TO PLANNING REVIEW
Rev	Date	Description
print date	SEPTEMBER 2019	drawing file 1907 A200 Plans.vrx
drawn by	FWP	checked by RAW
scale	AS SHOWN	project number 1907

NOTE: All dimensions are shown in millimeters.

## ISSUED FOR DP & REZONING

 VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-608-3367	<b>dHKarchitects</b> NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 3K6 T 1-250-585-5810
project name <b>Caledonia</b> Victoria BC	drawing title <b>Amenity Room</b>
copyright reserved. these plans and designs are not to be used for the project shown and may not be reproduced without written consent.	sheet no. <b>A705</b>
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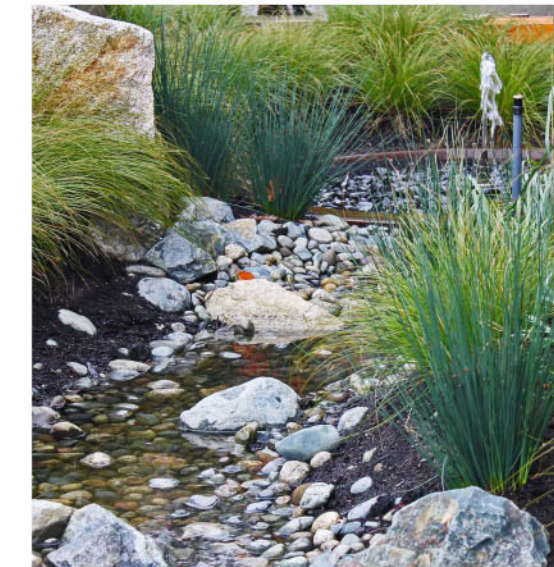




LANDSCAPE TYPOLOGIES



PLAY PLACES that foster fun and creativity.



RAIN GARDENS that slow & cleanse rainwater.



PERSONAL OUTDOOR AREAS that can be modified, beautified and funkified.



GATHERING PLACES that help neighbours get to know each other and support each other.



BICYCLE FACILITIES that make it easy for people of all ages to hop on their bikes.



PLANTINGS that provide food for birds, bees and butterflies.



OUTDOOR SOCIAL SPACES for gathering and sharing food.



PLANTINGS that provide beauty and food for people.



ACTIVE PLAY SPACES that support community sports.



PUBLIC ART that celebrates Fernwood's artistic spirit.



COMMUNITY GARDEN PLOTS that boost local food security.

NOT FOR CONSTRUCTION

rev no	description	date
7	RZ/DP Revision	2020.04.07
6	RZ/DP Revision	20.04.03
5	For COTW	20.02.04
4	Issued for ADP	20.01.15
3	Issued for ADP	20.01.15
2	RZ/DP Revision	19.12.16
1	Rezoning/DP	19.09.26

**Murdoch de Greeff INC**  
Landscape Planning & Design  
200 - 554 Cultural Road  
Victoria, BC V8Z 1G1  
Phone: 250.412.2891  
Fax: 250.412.2892

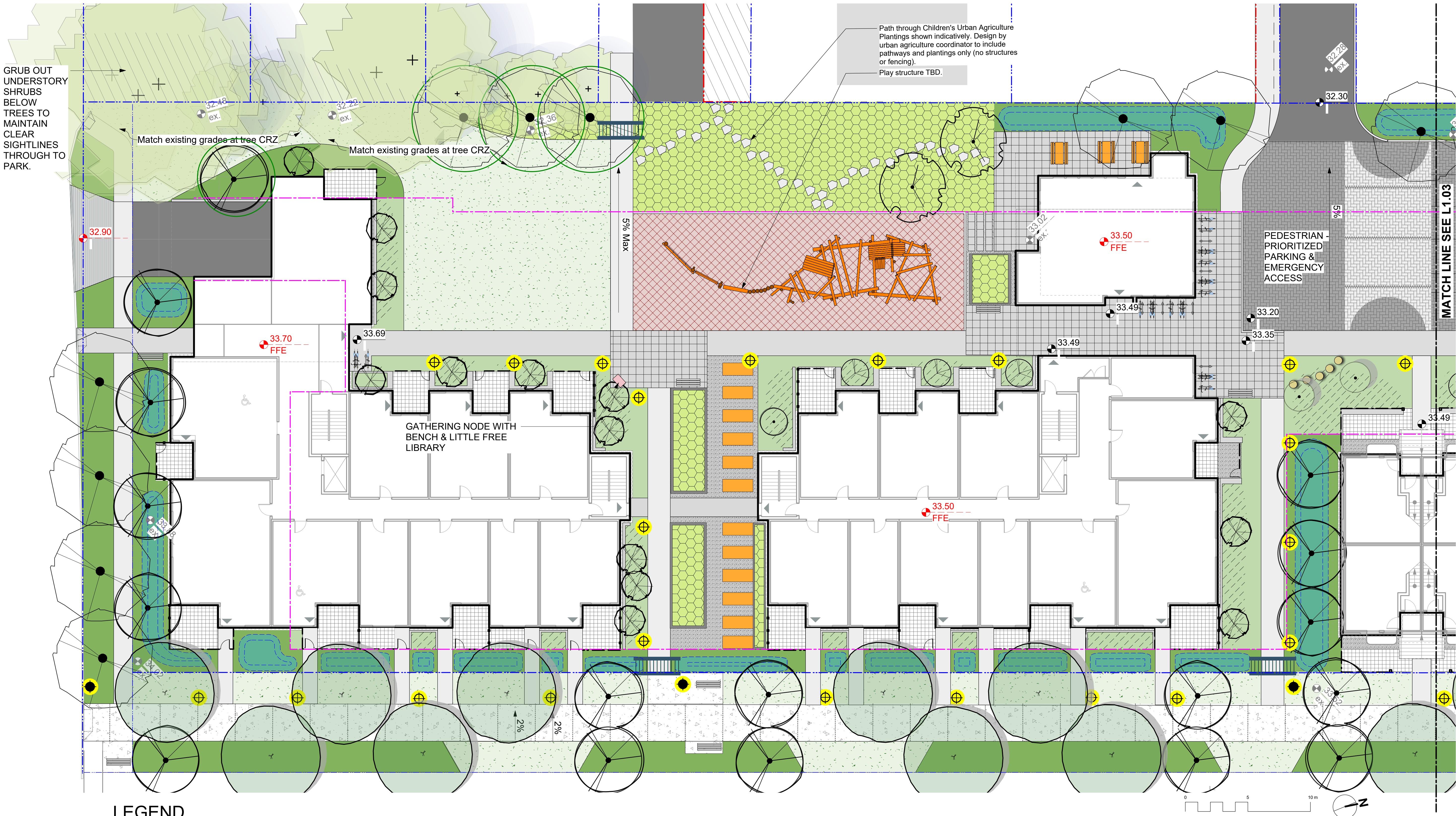
client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title  
**Landscape Overview Plan**

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.





LEGEND

	Property line		Cast in Place Concrete Paving		Proposed Urban Agriculture Plantings		Trellis Gateway at Entries
	Extent of Parkade, below		Cast in Place Concrete Paving: Greenway. Tooled control joints on 3m, spacing with Broom Finish applied after tooling to increase path smoothness.		Raised Planter for Common Urban Agriculture		Picnic Table
	Rain garden - TOP OF POOL		Concrete Unit Paving, Type 1		Lawn Area		Allotment Garden Box
	Rain garden - BOTTOM OF POOL		Concrete Unit Paving, Type 2		Native Plant & Pollinator Planting Area: On Grade		Bench
	Existing Landscape Grade		Crushed Gravel Surfacing (Unbound)		Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.		Bike Rack (2 Stalls): Total 44 Stalls
	Architectural grade, provided for reference only		Vehicular Concrete Unit Paving		Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.		Gravel Maintenance Edge, 300mm wide.
	Proposed Landscape Grade		Asphalt Paving		Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).		Bollard Light: Landscape Forms Ashbery Path Light.
	TW Top of Wall		Rubber Playground Surfacing		Critical Root Zone		Pedestrian Pole Light: Ashbury fixture on B cluster pole, to be supplied by COV.
	BW Bottom of Wall		Rain Garden Area				Replacement Tree Indicated schematically. Replacement trees to be selected with direction from City of Victoria Parks.
	TOC Top of Curb						
	BC Bottom of Curb						
	TP Top of Pool						
	BP Bottom of Pool						
	TS Top of Stairs						
	BS Bottom of Stairs						
	Retaining/Planter Wall						
	Retaining/Planter Seating Wall						
	Landscape Screen, 1800 mm height.						
	Wood Picket Fence, 1000 mm height.						

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION



client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

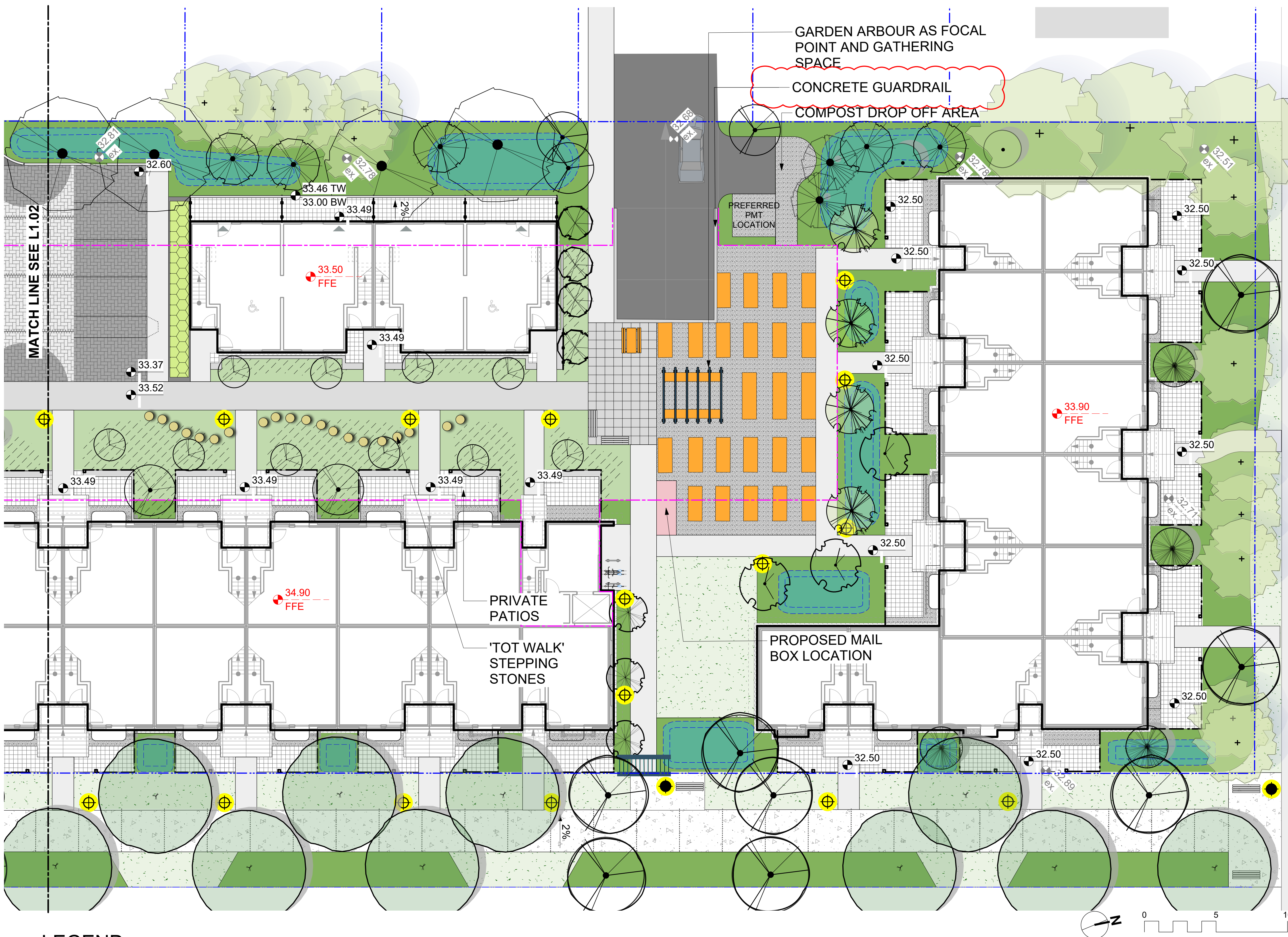
project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title

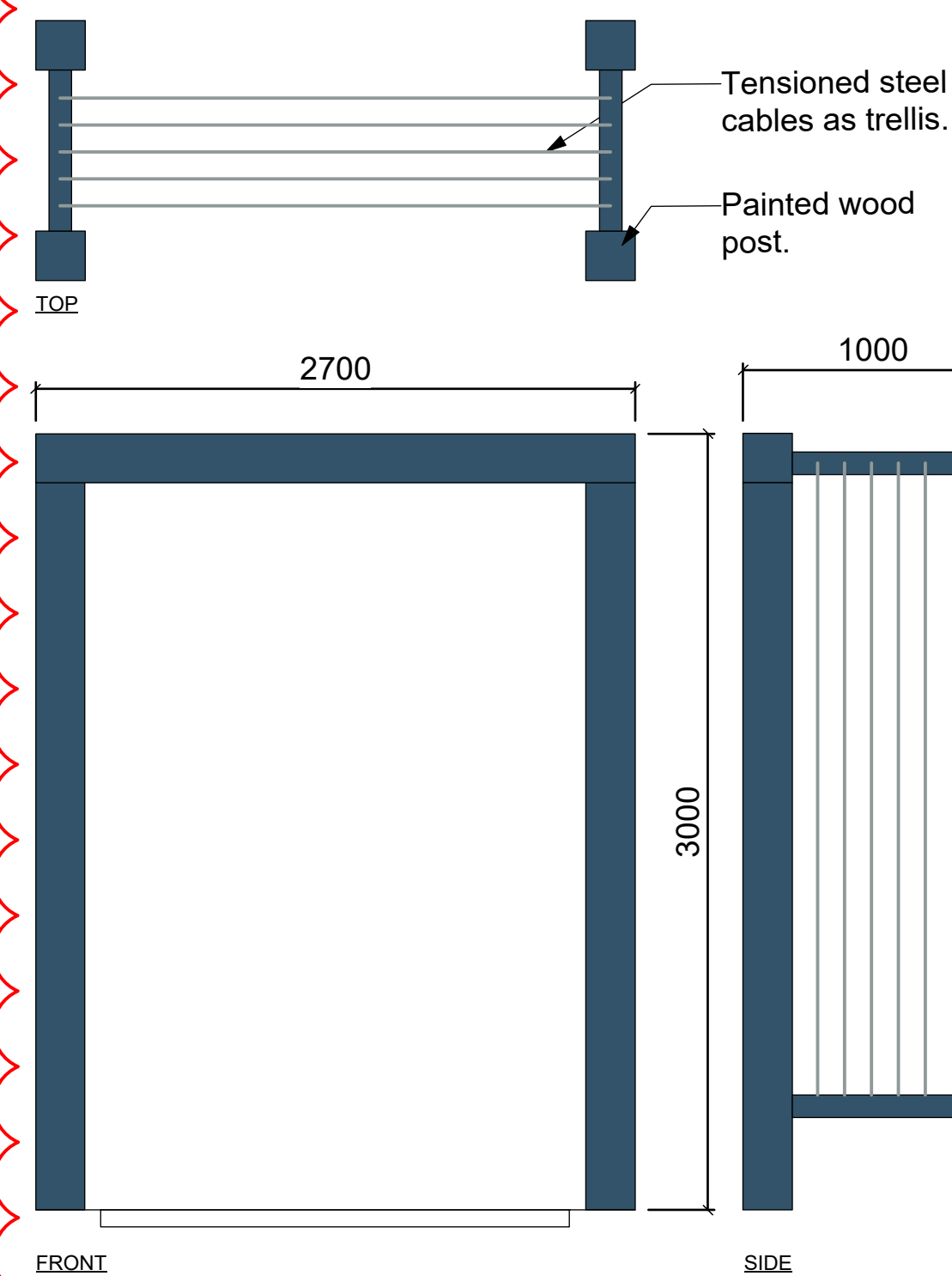
Landscape Materials South

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.
	<b>L1.02</b>





Proposed Picket Fence Detail



Proposed Trellis Detail

## LEGEND

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Existing Landscape Grade
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- TW Top of Wall
- BW Bottom of Wall
- TOC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs
- Retaining/Planter Wall
- Retaining/Planter Seating Wall
- Landscape Screen, 1800 mm height.
- Wood Picket Fence, 1000 mm height.

- Cast in Place Concrete Paving
- Cast in Place Concrete Paving: Greenway. Tooled control joints on 3m, spacing with Broom Finish applied after tooling to increase path smoothness.
- Concrete Unit Paving, Type 1
- Concrete Unit Paving, Type 2
- Crushed Gravel Surfacing (Unbound)
- Vehicular Concrete Unit Paving
- Asphalt Paving
- Rubber Playground Surfacing
- Rain Garden Area

- Proposed Urban Agriculture Plantings
- Raised Planter for Common Urban Agriculture
- Lawn Area
- Native Plant & Pollinator Planting Area: On Grade
- Native Plant, Herb & Pollinator Planting Area: On Slab, 300mm depth.
- Native Plant, Herb & Pollinator Planting Area: Mounded Soil on Slab, to 600mm depth.
- Existing Tree for Retention (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).
- Critical Root Zone

- Trellis Gateway at Entries
- Picnic Table
- Allotment Garden Box
- Bench
- Bike Rack (2 Stalls): Total 44 Stalls
- Gravel Maintenance Edge, 300mm wide.
- Bollard Light: Landscape Forms Ashbery Path Light.
- Pedestrian Pole Light: Ashbury fixture on B cluster pole, to be supplied by COV.
- Replacement Tree Indicated schematically. Replacement trees to be selected with direction from City of Victoria Parks.

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- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
7	RZ/DP Revision	2020.04.07
6	RZ/DP Revision	20.04.03
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client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title

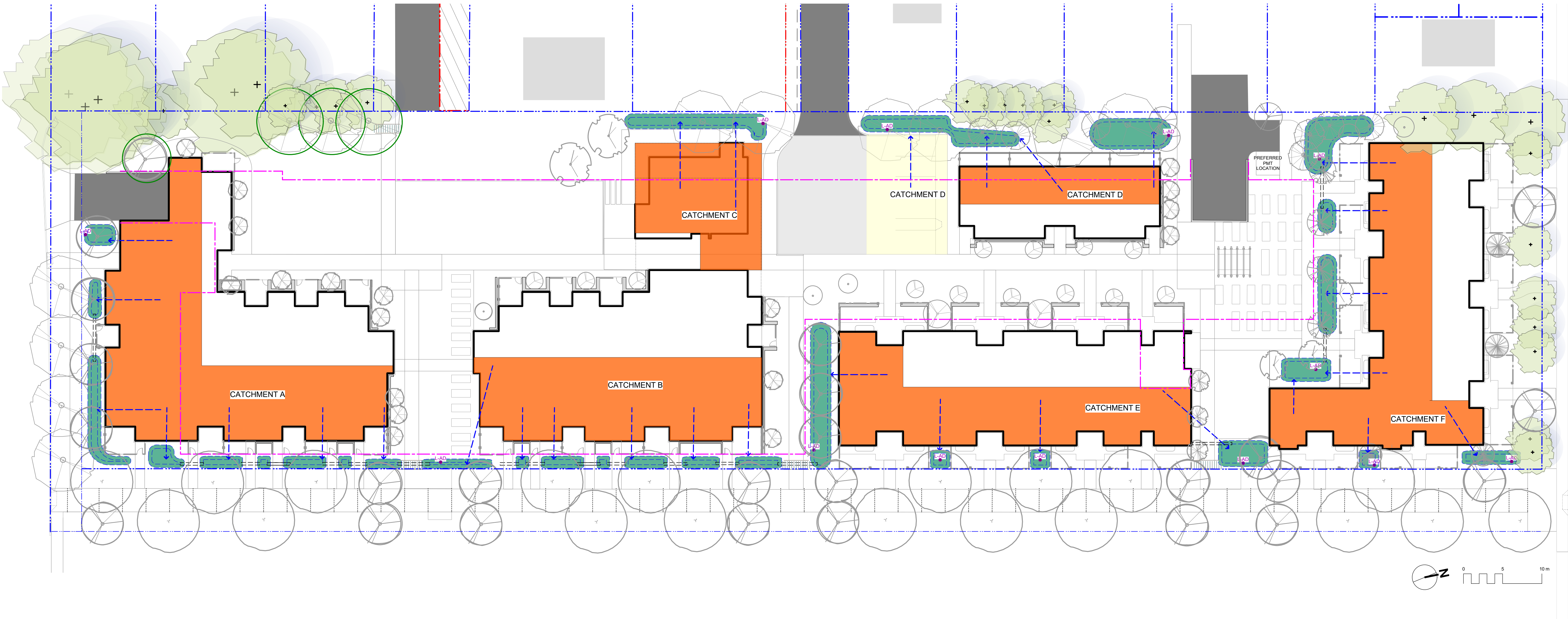
**Landscape Materials North**

project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.



**L1.03**





**Rain Garden Capacity Calculations**

Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Area	Rain Garden Capacity	Excess (+) or Deficient (-) Capacity	Soil Volume
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)	(cu.m./day)	(cu.m.)
Catchment A	560.0	28.0	0.60	0.8	40.0	30.0	2.0	24.0
Catchment B	360.0	18.0	0.60	0.8	25.0	18.8	0.8	15.0
Catchment C	220.0	11.0	0.60	0.8	34.0	25.5	14.5	20.4
Catchment D	280.0	14.0	0.60	0.8	30.0	22.5	8.5	18.0
Catchment E	365.0	18.3	0.60	0.8	33.0	18.5	0.3	19.8
Catchment F	415.0	20.8	0.60	0.8	63.0	47.3	26.5	37.8
total	2200.0	110.0			225.0	162.5	52.5	135.0

**Assumptions**

- Design storm is a 2 year storm event which equals 5 cm of water, in a 24 hr period.
- Rain Garden design based on 150 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hour (or 48 cm per day), via perforated underdrain.

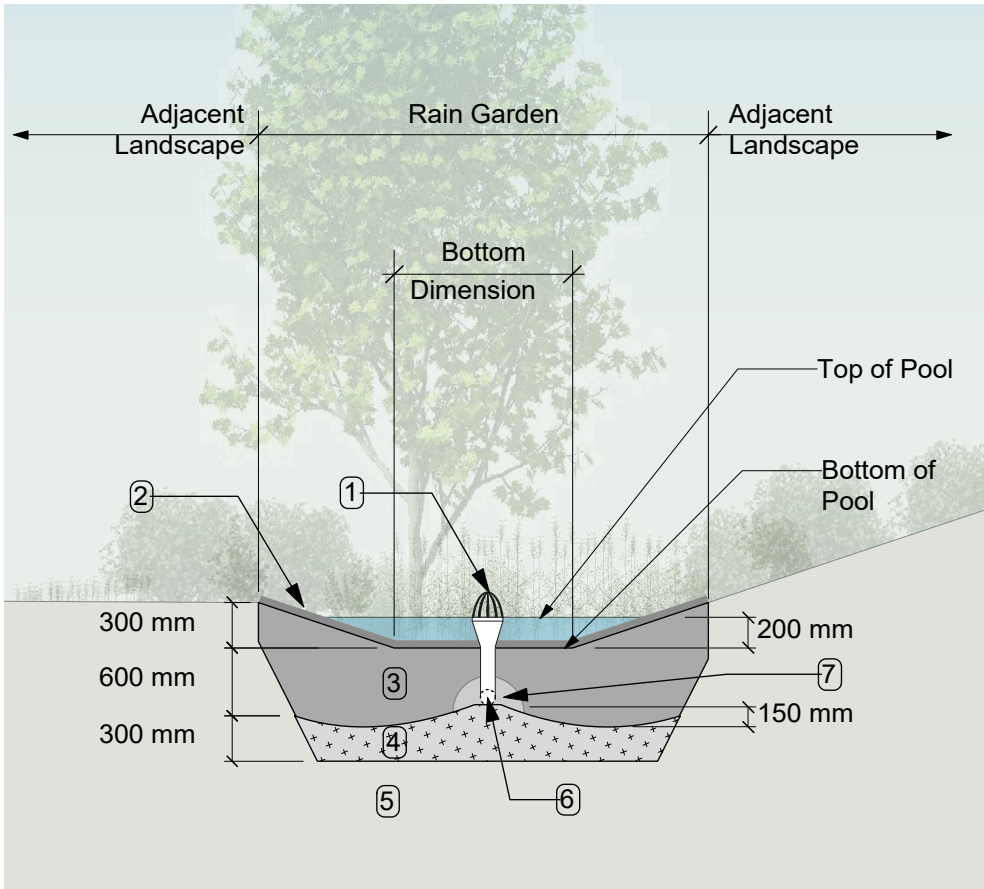
**RAIN WATER MANAGEMENT NOTES**

Water collected from portions of the building roofs flow to the rain gardens located throughout the site. Rain gardens have been situated on-grade.

Rain gardens are designed to capture, slow flows, and treat runoff. Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system. The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area, which is the area required to manage Victoria's 2 year storm event.

Walkways will be sloped to drain to adjacent absorbant landscape. Larger paved areas such as driveways and turnarounds will be drained directly to the storm system.

Portions of the roof which cannot be easily connected to rain gardens will be drained directly to the storm system. The roof catchments are shown schematically and will be refined during detailed design.



**RAIN GARDEN MATERIALS**

- Overflow drain, 200 mm domed grate + adapter
- Composted mulch, 50 -70 mm depth
- Bio-retention growing medium, 600 mm depth
- Scarified/tilled subgrade, 300 mm depth
- Existing subgrade/native material
- 100 mm diameter (min) perforated pipe
- 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden  
Scale: 1:50

**LEGEND**

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Existing Landscape Grade
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- TW Top of Wall TP Top of Pool
- BW Bottom of Wall BP Bottom of Pool
- TOC Top of Curb TS Top of Stairs
- BC Bottom of Curb BS Bottom of Stairs
- Rain Garden on Grade
- Roof Drains to Rain Garden
- Hardscape Drains to Rain Garden
- Roof / Road / Hardscape Drains Directly to Storm System
- Flow Path (Schematic)
- Rain Garden Overflow Drain to Storm System
- Culvert Rain Garden Connection

NOT FOR CONSTRUCTION

**Murdoch de Greeff INC**  
Landscape Planning & Design  
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Phone: 250.412-2891  
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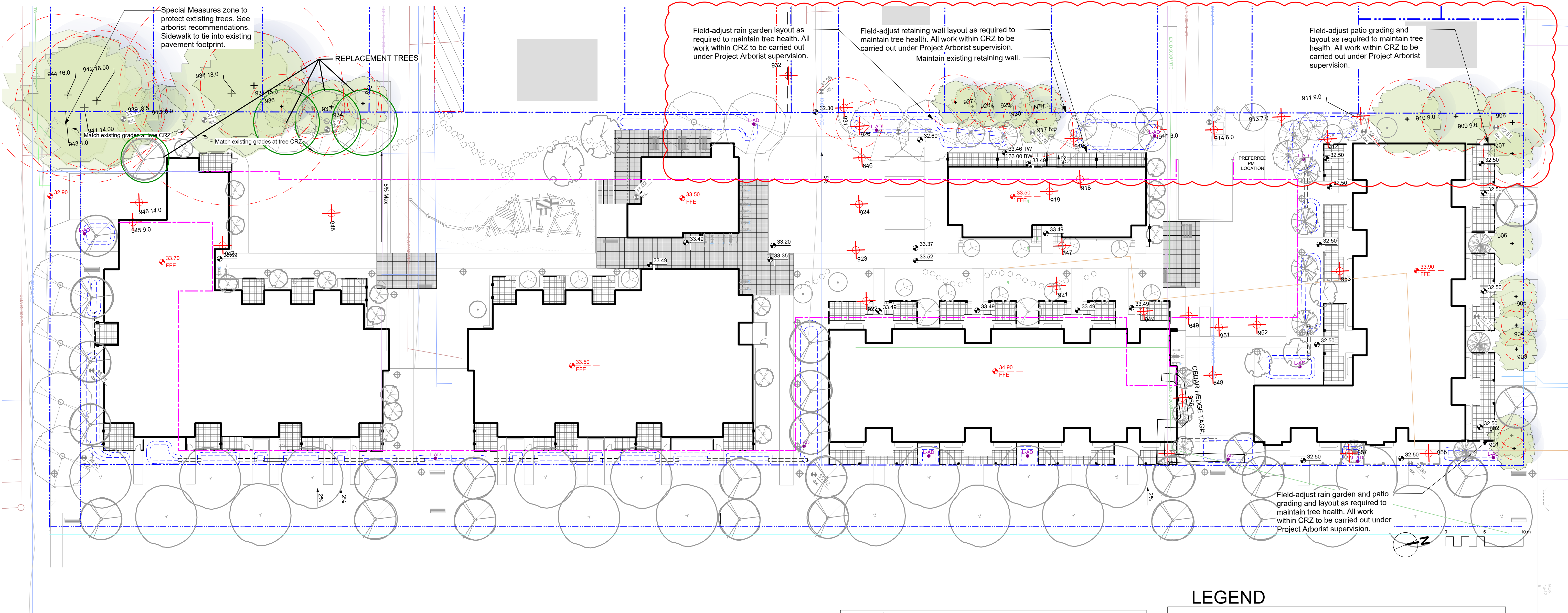
client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
**Caledonia Redevelopment**  
Caledonia Ave.  
Victoria, BC

sheet title  
**Stormwater Management**

project no. 119.18  
scale 1:### @ 24"x36"  
drawn by TB  
checked by PdG  
revision no. 7  
sheet no. **L1.04**





- DRAWING NOTES**
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
  2. All plan dimensions in metres and all detail dimensions in millimetres.
  3. Plant quantities on Plans shall take precedence over plant list quantities.
  4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
  5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
  6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
  7. Landscape installation to carry a 1 year warranty from date of acceptance.
  8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
  9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
  10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

TREE SUMMARY*	
TOTAL TREES TO BE REMOVED:	31
TOTAL TREES TO BE RETAINED:	27
TOTAL BYLAW-PROTECTED TREES TO BE REMOVED:	2
TOTAL PROPOSED REPLACEMENT TREES:	4

\* Based on Arborist's Report recieved from Talbot Mackenzie & Associates, 03/04/2020. Refer to Arborist report for details and Arborist recommendations.

LEGEND

Property line

Extent of Parkade, below

Rain garden - TOP OF POOL

Rain garden - BOTTOM OF POOL

Existing Landscape Grade

Architctural grade, provided for reference only

Proposed Landscape Grade

TW Top of Wall TP Top of Pool

BW Bottom of Wall BP Bottom of Pool

TOC Top of Curb TS Top of Stairs

BC Bottom of Curb BS Bottom of Stairs

Existing Tree for Retention  
(Refer to Arborist Report for full details and management strategies).

Critical Root Zone

Tree Tag

Existing Tree to be Removedd  
(Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies).

Tree Tag

Replacement Tree  
(Species and location to be determined with City of Victoria Parks)

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de Greeff INC

Landscape Planning & Design

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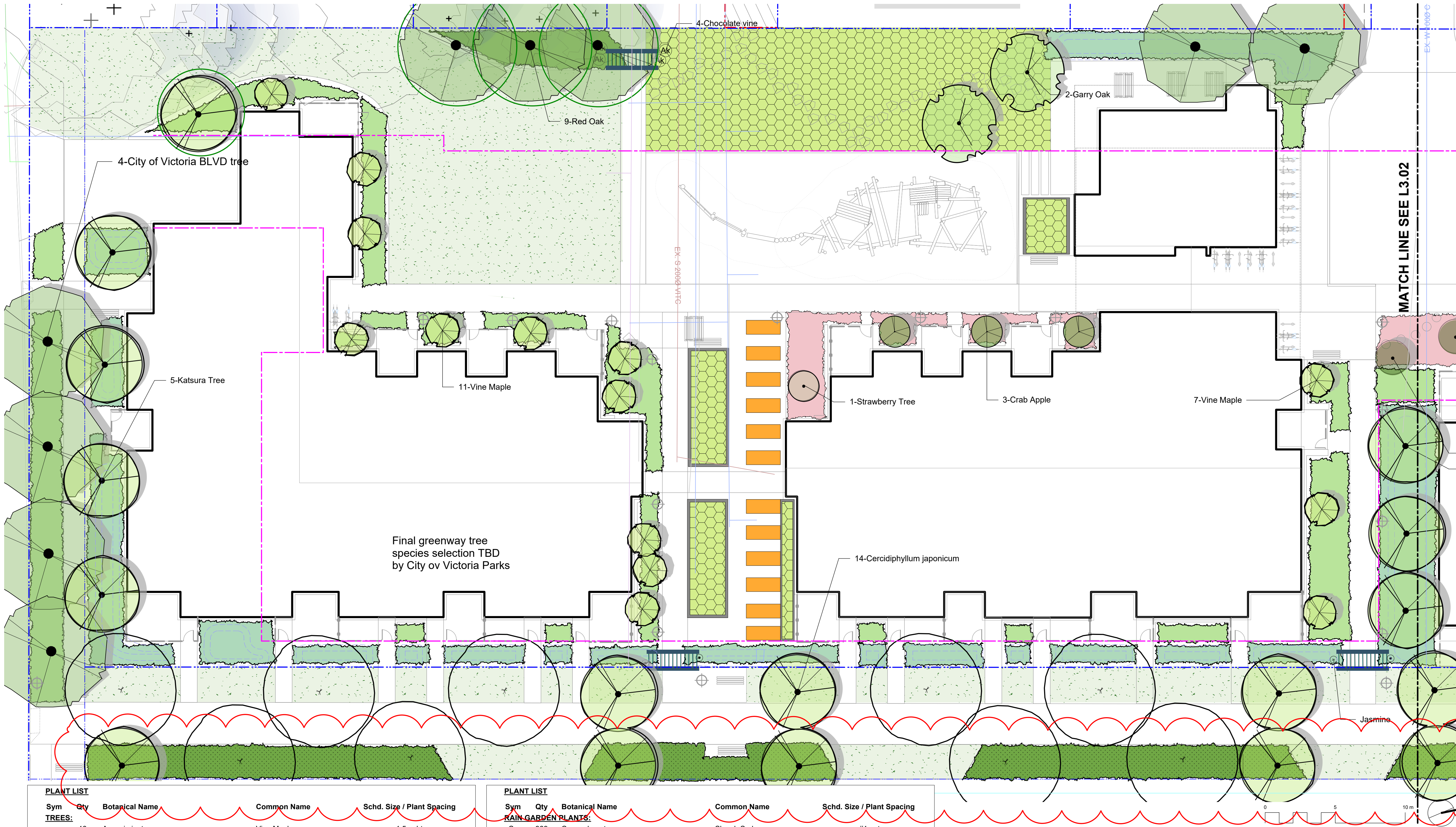
client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
Caledonia Redevelopment  
Caledonia Ave.  
Victoria, BC

sheet title  
**Tree Retention & Removal Plan**

project no.	119.18
scale	1: 250 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.





BOULEVARD PLANTING NOTES

1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. Final selection and placement of boulevard trees to be determined through consultation with municipal parks staff.
4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
5. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Boulevard irrigation point of connection to be 19 mm service from existing water connection on Grant Street, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

GENERAL PLANTING NOTE

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

ON-SLAB TREE PLANTING NOTES

1. For on-slab landscape and rain planter installations, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier in most applications.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

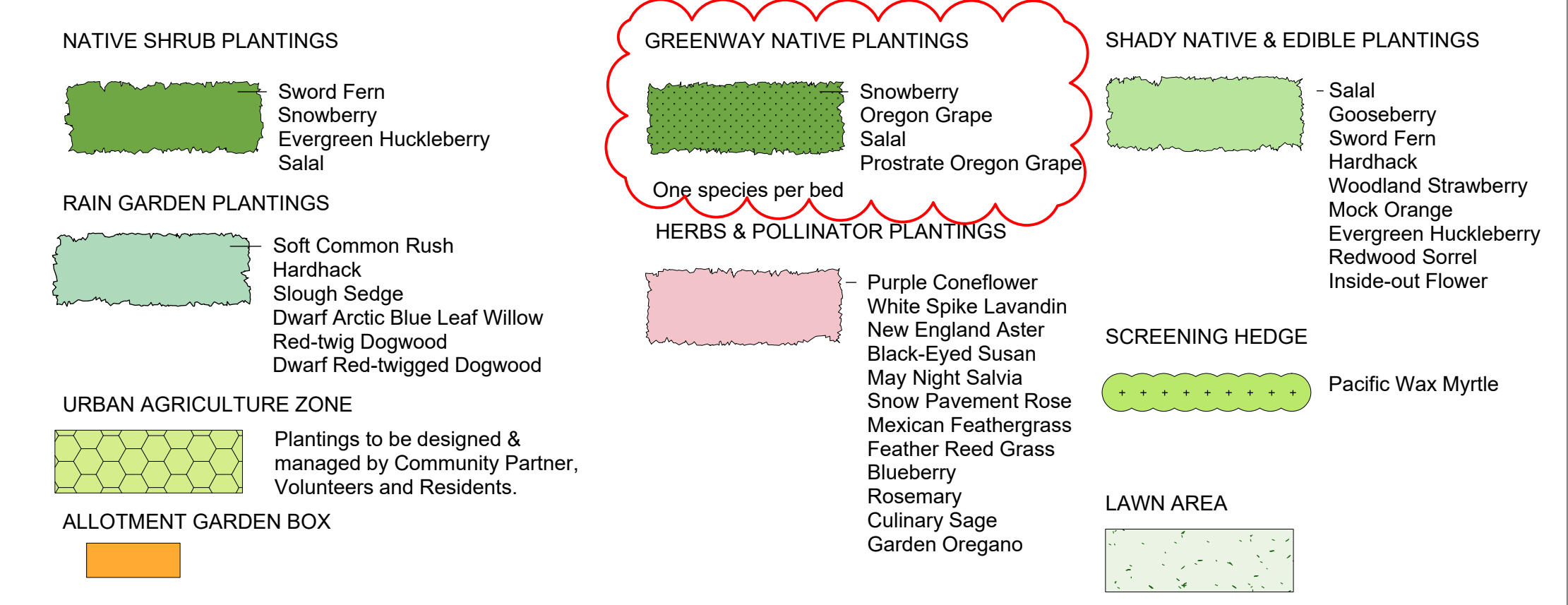
PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
<b>TREES:</b>				
18		Acer circinatum	Vine Maple	1.5 m ht.
1		Arbutus unedo	Strawberry Tree	1.2 m ht, b&b
4		Calocedrus decurrens	Incense Cedar	1.5 m ht,b&b
25		Cercidiphyllum japonicum	Katsura Tree	5.0cm cal, b&b
5		Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	2.5 m ht
4		City of Victoria BLVD tree	As PER COV Parks	5.0cm cal, b&b
2		Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.2 m ht, b&b
2		Cornus mas 'Golden Glory'	Cornelian Cherry Dogwood	4.0 cm cal, b&b
1		Corylus 'Felix'	Felix Hazelnut	1.5m height, b&b
3		Corylus 'Jefferson'	Jefferson Hazelnut	1.5m height, b&b
2		Ficus carica 'Mission'	Black Mission Fig	#10 pot
13		Malus 'Sugar tyme'	Crab Apple	#10 pot, Min 1.2m ht
3		Oxydendrum arboreum	Sourwood Tree	multistem, 1.5m ht, b&b
3		Picea omorika	Serbian Spruce	1.5m ht, b&b
19		Platanus acerifolia	London Planetree	4.0 cm cal, b&b
2		Pseudotsuga menziesii	Douglas Fir	1.5m ht, b&b
5		Quercus garryana	Garry Oak	4.0cm cal, b&b
9		Quercus rubra	Red Oak	5.0cm cal, b&b
<b>HERB &amp; POLLINATOR PLANTINGS</b>				
Ana	134	Aster novae-angliae	New England Aster	#1 pot
Cx	15	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Ep	144	Echinacea purpurea	Purple Coneflower	#1 pot
Lws	110	Lavandula x intermedia 'White Spike'	White Spike Lavandin	#1 pot
Oi	15	Origanum laevigatum 'Herrenhausen'	Garden Oregano	#1 pot
Rrs	144	Rosa rugosa 'Schneekoppe'	Snow Pavement Rose	#2 pot
Rof	33	Rosmarinus officinalis	Rosemary	#2 pot
Rf	144	Rudbeckia fulgida	Black-Eyed Susan	#1 pot
Ssm	134	Salvia 'sylvestris 'Mainacht'	May Night Salvia	#1 pot
Slo	15	Salvia officinalis	Culinary Sage	#1 pot
St	184	Stipa tenuissima	Mexican Feathergrass	#1 pot
Vsb	15	Vaccinium 'Sunshine Blue'	Blueberry	#3 pot
<b>VINES</b>				
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
Jn	4	Jasminum nudiflorum	Jasmine	#1 pot
Ak	4	Akebia quinata	Chocolate vine	#2 pot
Act	4	Actinidia arguta	Hardy Kiwi	#2 pot

PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
<b>RAIN GARDEN PLANTS:</b>				
Co	989	Carex obnupta	Slough Sedge	#1 pot
Csc	110	Cornus sericea	Red-twig Dogwood	#3 pot
Csk	440	Cornus sericea 'Kelseyii'	Dwarf Red-twigged Dogwood	#1 pot
Jcg	989	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Spn	23	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#1 pot
Sd	23	Spiraea douglasii	Hardhack	#1 pot
<b>NATIVE &amp; EDIBLE SHRUB PLANTINGS</b>				
Fve	188	Fragaria vesca	Woodland Strawberry	Sp3 30cm o.c.
Gsh	421	Gaultheria shallon	Salal	#1 pot
Myc	103	Myrica californica	Pacific Wax Myrtle	#3 pot
Oo	292	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Phl	45	Philadelphus lewisii	Mock Orange	#3 pot
Pm	534	Polystichum munitum	Sword Fern	#1 pot
Ruc	188	Ribes uva-crispa	Gooseberry	#2 pot
Rn	113	Rosa nutkana	Nootka Rose	#1 pot
Sd	45	Spiraea douglasii	Hardhack	#1 pot
Sa	113	Symphoricarpos alba	Snowberry	#1 pot
Vo	107	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
Vh	292	Vancouveriana hexandra	Inside-out Flower	Sp3
<b>GREENWAY NATIVE PLANTS:</b>				
Gsh	128	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
Ma	128	Mahonia aquifolium	Oregon Grape	#2 pot
Mar	128	Mahonia repens	Prostrate Oregon Grape	#1 pot
Sa	128	Symphoricarpos alba	Snowberry	#1 pot

PLANTING LEGEND



NOT FOR CONSTRUCTION

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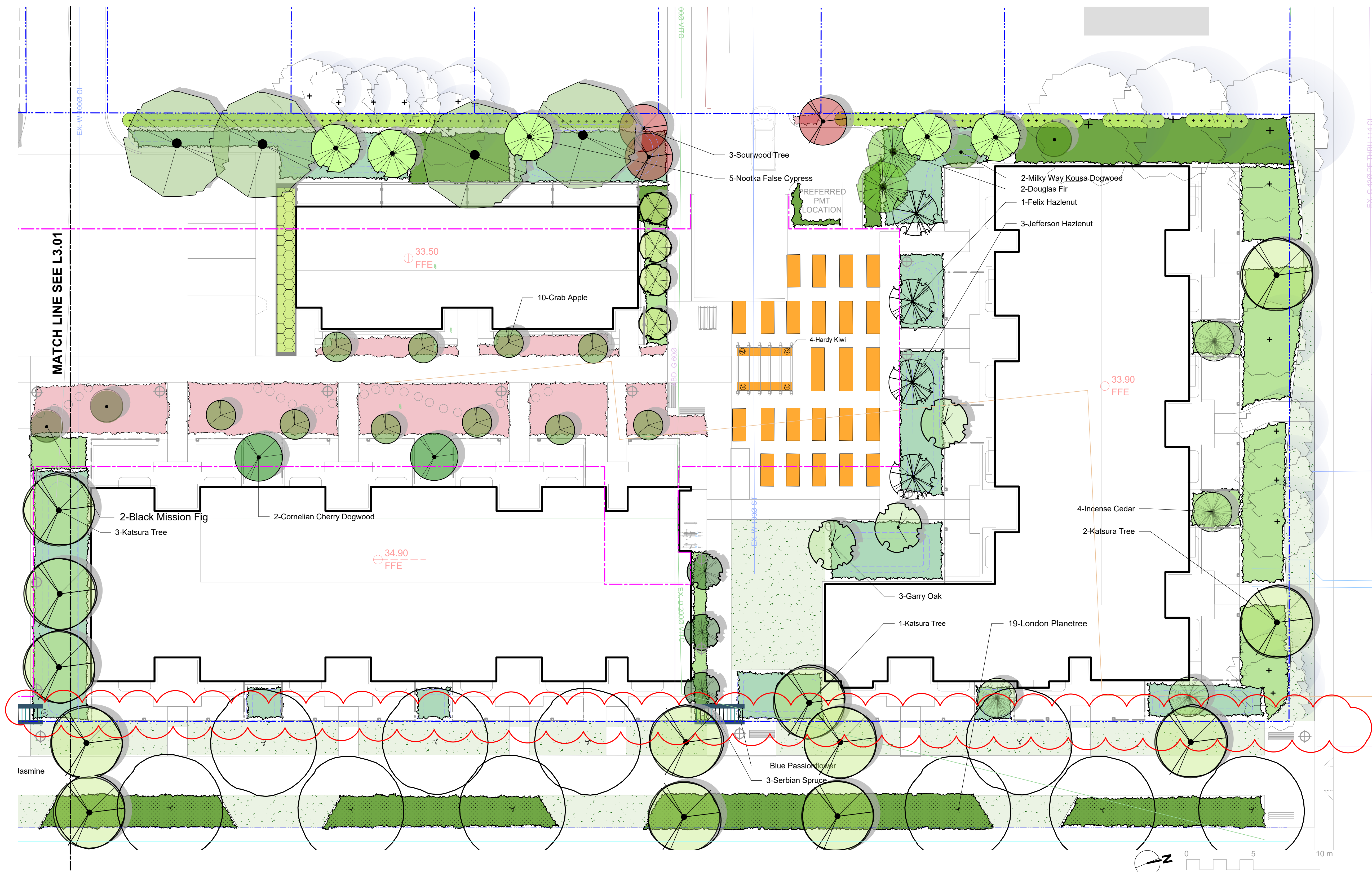
Murdoch de Greeff INC  
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client  
**CRD Housing Corporation**  
631 Fisgard Ave.  
Victoria, BC

project  
**Caledonia Redevelopment**  
Caledonia Ave.  
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sheet title <b>Planting Plan South</b>	
project no.	119.18
scale	1: 150 @ 24"x36"
drawn by	TB
checked by	PdG
revision no.	sheet no.
7	<b>L3.01</b>





MATCH LINE SEE L3.01

lasmine

## PLANTING LEGEND

<b>NATIVE SHRUB PLANTINGS</b> Sword Fern Snowberry Evergreen Huckleberry Salal	<b>GREENWAY NATIVE PLANTINGS</b> Snowberry Oregon Grape Salal Prostrate Oregon Grape One species per bed	<b>SHADY NATIVE &amp; EDIBLE PLANTINGS</b> Salal Gooseberry Sword Fern Hardhack Woodland Strawberry Mock Orange Evergreen Huckleberry Redwood Sorrel Inside-out Flower
<b>RAIN GARDEN PLANTINGS</b> Soft Common Rush Hardhack Slough Sedge Dwarf Arctic Blue Leaf Willow Red-twig Dogwood Dwarf Red-twigged Dogwood	<b>HERBS &amp; POLLINATOR PLANTINGS</b> Purple Coneflower White Spike Lavandin New England Aster Black-Eyed Susan May Night Salvia Snow Pavement Rose Mexican Feathergrass Feather Reed Grass Blueberry Rosemary Culinary Sage Garden Oregano	<b>SCREENING HEDGE</b> Pacific Wax Myrtle
<b>URBAN AGRICULTURE ZONE</b> Plantings to be designed & managed by Community Partner, Volunteers and Residents.	<b>LAWN AREA</b>	
<b>ALLOTMENT GARDEN BOX</b>		

PLANT LIST SEE L3.01

### BOULEVARD PLANTING NOTES

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- Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
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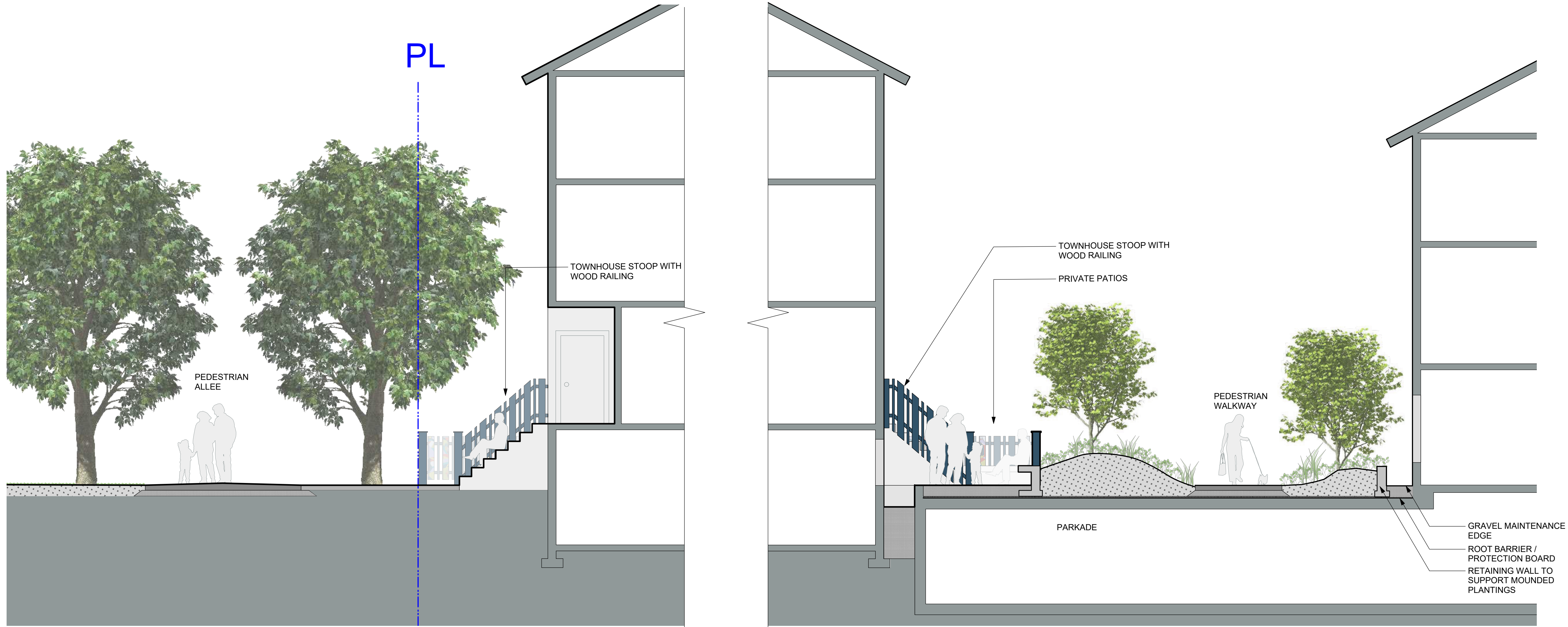
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1 Section at Pedestrian Allee and Townhouses  
Scale: 1:50



2 Section at Pedestrian Walkway  
Scale: 1:50

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L5.01



