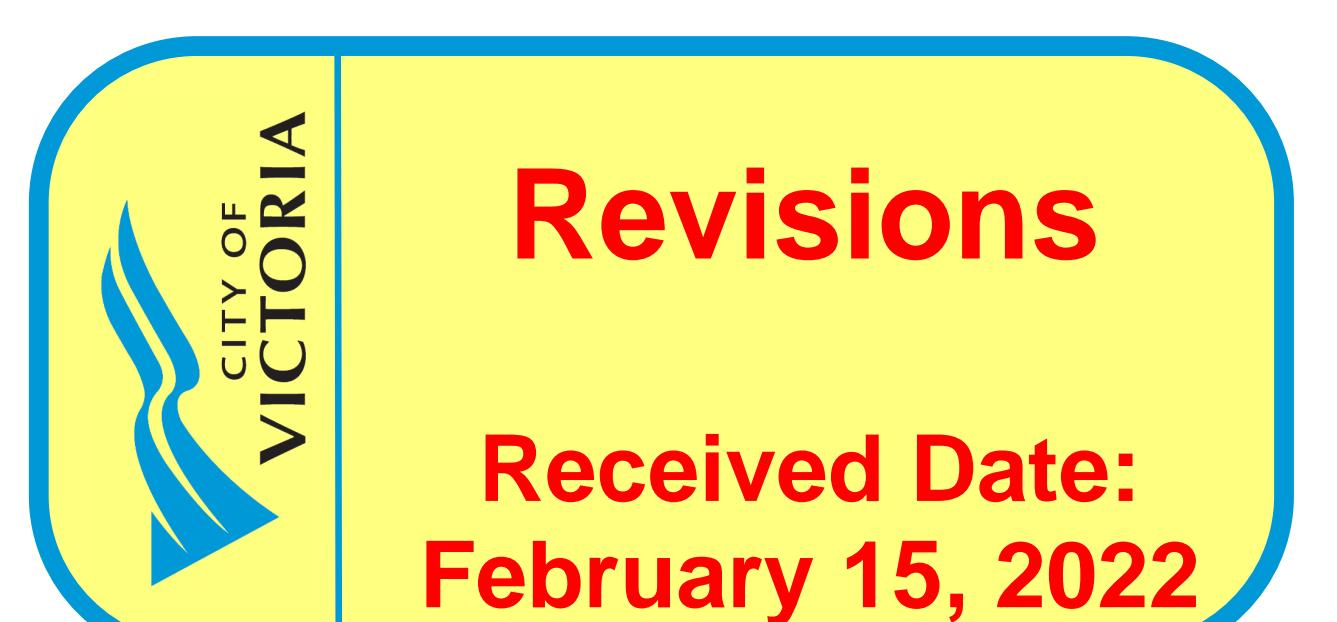


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A							
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No.	Sheet Name
A0.00	COVER PAGE
A0.01	PROJECT GENERAL STATISTICS
A0.02	BUILDING STATISTICS
A0.03	PARKING STATISTICS
A0.04	CONTEXT PLAN
A0.05	CONTEXT PHOTOS
A0.06	STREET SCAPE ELEVATION
A0.07	SETBACK DIAGRAM
A0.08	SITE COVERAGE DIAGRAM
A0.09	OPEN SITE SPACE DIAGRAM
A0.10	AVERAGE GRADE CALCULATION
A0.11	STREET SECTION
A0.12	SHADOW STUDY - VERNAL EQUINOX
A0.13	SHADOW STUDY - SUMMER SOLSTICE
A0.14	SHADOW STUDY - AUTUMNAL EQUINOX
A0.15	SHADOW STUDY - WINTER SOLSTICE
A0.16	SURVEY
A0.17	AERIAL VIEW
A0.18	PRESPECTIVE VIEW FROM YATES STREET
A0.19	PRESPECTIVE VIEW FROM COOK STREET
A0.20	PRESPECTIVE VIEW FROM VIEW STREET
A0.21	OPTED STRATEGY
A1.00	SITE PLAN
A1.01	OVERALL LEVEL P3 PLAN
A1.02	OVERALL LEVEL P2 PLAN
A1.03	OVERALL LEVEL P1 PLAN
A1.04	OVERALL LEVEL 1 PLAN
A1.05	OVERALL LEVEL MEZZANINE PLAN
A1.06	OVERALL LEVEL 2 PLAN
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A1.08	OVERALL LEVEL 04 PLAN
A1.09	OVERALL LEVEL 05 PLAN
A1.10	OVERALL LEVEL 06 PLAN
A1.11	OVERALL TYPICAL TOWER FLOOR PLAN
A1.12	OVERALL LEVEL 21 (TOWER B ROOF)
A1.13	OVERALL LEVEL 22 (TWR (A) & TWR (B) MECH. ROOF)
A1.14	OVERALL LEVEL 23 (TWR (A) MECH. ROOF & TWR (B) UPPER ROOF)
A1.15	OVERALL LEVEL 24 (TWR (A) UPPER ROOF)
A2.01	NORTH ELEVATIONS
A2.02	EAST ELEVATION
A2.03	SOUTH ELEVATIONS
A2.04	WEST ELEVATION
A2.05	COURTYARD KEY PLAN
A2.06	COURTYARD ELEVATION
A2.07	COURTYARD ELEVATION
A2.08	COURTYARD ELEVATION
A3.01	SECTION A Tower A & Podium
A3.02	SECTION B Tower B & Podium
A3.03	SECTION C Tower A & Podium
A3.04	SECTION D Tower B & Podium
A7.00	FSR CALCULATION SUMMARY
A7.01	FSR OVERLAY- Level 01
A7.02	FSR OVERLAY- Level 01-Mezz
A7.03	FSR OVERLAY- Level 02
A7.04	FSR OVERLAY- Level 03
A7.05	FSR OVERLAY- Level 04
A7.06	FSR OVERLAY- Level 05
A7.07	FSR OVERLAY- Level 06
A7.08	FSR OVERLAY- Typical Levels
A7.09	FSR OVERLAY- LEVEL 21 (Tower B Roof)
A7.10	FSR OVERLAY- LEVEL 22 - ROOF TWR (A) - TWR (B) MECH. ROOF
A7.11	FSR OVERLAY- LEVEL 23 - TWR (A) MECH. ROOF - TRW (B) UPPER ROOF



Revisions
Received Date:
February 15, 2022

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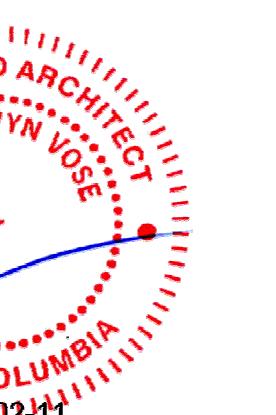
DP RESUBMISSION #5

2022/02/11

Harris Green Village - Phase 01
1045 Yates Street

Victoria, BC

Issued For: DP RESUBMISSION #5
Date: 2022-02-11



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PROJECT TITLE: Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO.: 121123

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2022-02-11

SHEET TITLE: COVER PAGE

SHEET NUMBER: A0.00

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File Location: BIM\360\121123 - YatesStreet - Harris Green Village Ph 1\Roof\2022\2123 - YatesSt-A-Podium\2022\04

Harris Green Village - Phase 1

Site & Project Description

Project Description:

2 Towers on Residential/Amenity/Commercial Podium

Civic Address: Lot A (DD 60683W) Of Lots 979 And 989. Plan 20163. And

Lot 1 Of Lots 986 And 987. Plan 26779. And

Lots 976, 977, 978, 980, 988. Victoria City.

City Plan: Downtown Core Area Plan

Residential floor: S-1, R-48

Current Use: Automobile Dealership and Surface Parking

Adjacent Zoning: R3-C

Rezoned to: CD

SITE AREA CALCULATIONS

	Gross Site Area	
	Metric (m ²)	Imperial (sq.ft.)
1045 Yates Street	6,337.0	68,210.9
Dedications	-	-
Net Site Area (Gross Minus Dedications)	6,337.0	68,210.9
Site Area for calculation of Density (Gross)	6,337.0	68,210.9

SITE COVERAGE CALCULATIONS

	Metric (m ²)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Building Footprint (podium)	5,351	57,597.0
Site Coverage %		84%

OPEN SITE SPACE CALCULATIONS

	Metric (m ²)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Open Site Space Area	761	8,186.0
Open Site Space %		12%

HEIGHT OF BUILDING (MEASURED FROM AVERAGE GRADE)

Height Provided	Tower A (North)		Tower B (South)	
	metric (m)	imperial (ft)	metric (m)	imperial (ft)
NUMBER OF HABITABLE FLOORS (Excluding Mechanical & Roof Access)		21		20
NUMBER OF STOREYS (Including Mechanical & Roof Access)		23		22
HEIGHT OF BUILDING (m) TO TOP OF APPURTENANCE (Excluding Parapet)	75.20	246.72	72.03	236.32
TOP OF Podium Height	21.58	70.80	21.58	70.80
Average Grade	20.20	66.27	20.20	66.27

UNIT COUNT

Type	Rental							TOTAL
	Studio	1 BR	1 BR+D	2 BR	2 BR+D	3 BR	TH (3BR)	
	(340-400 sf)	(450-650 sf)	(700-800 sf)	(850-900 sf.)	(950-1050 sf)	(1100-1400 sf.)		
Tower A	1	96	-	32	-	31	-	160
Tower B	-	90	-	30	-	30	-	150
Podium	47	37	56	45	2	14	7	208
Total	48	223	56	107	2	75	7	518
By Type	48		279		109	75	7	518
Distribution	9.3%		53.9%		20.7%	0.4%	14.5%	1.4% 100%
Family Units				191				37%

PROPOSED FLOOR AREA (FSR)

Provided FSR	Gross Floor Area		Exclusions (see A0.02)		Total Floor Area	
	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)
Tower A	1.55	10,618.0	114,291.2	785.6	8,456.3	9,832.4
Tower B	1.46	9,970.5	107,321.7	744.4	8,013.0	9,226.1
Podium	3.17	21,047.2	226,550.5	930.5	10,015.8	20,116.7
Total	6.18	41,635.7	448,163.4	2,460.6	26,485.1	39,175.2
						421,678.2

FLOOR AREA BREAKDOWN

Residential		Loading / Garbage Rooms		Residential Amenity		Commercial		Daycare	
Metric (m ²)	Imperial (sq.ft.)								
33,871.3	364,588.1	976.4	10,509.5	707.6	7,616.5	3,136.0	33,755.4	483.9	5,208.8

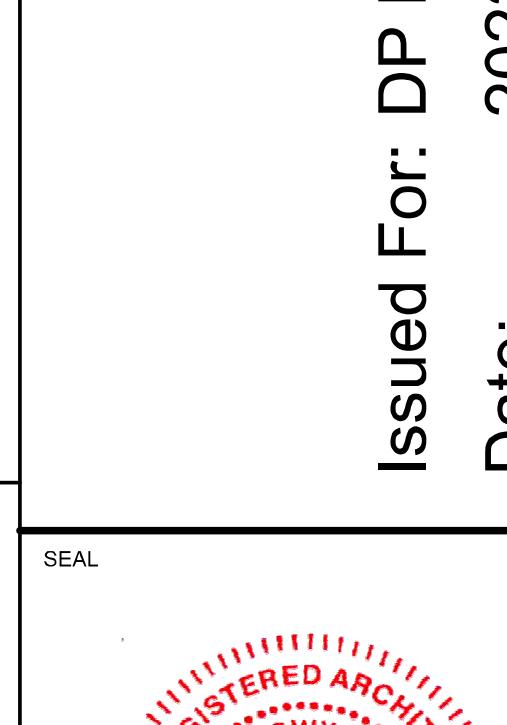
BUILDING SETBACKS

Property Line	Required (m)			Proposed (m)		
	Street Level	Residential Podium	Tower	Street Level	Residential Podium	Tower
Front yard (Yates Street)	3.0	2.0	6.0	3.0	4.5	9.0
Rear yard (View Street)	4.0	3.0	6.0	4.0	5.5	9.0
East Side yard (Cook Street)	3.0	2.0	6.0	3.0	4.5	6.0
West Side Yard (North)	3.0	3.0	16.8	3.0	3.0	16.8
West Side Yard (South)	-	4.6	4.6	-	4.6	7.0

FLOOR PLATE SIZES


Max. Permitted Floor Plate Size	Metric (m ²)	Imperial (sq.ft.)
Provided Floor Plate size	648.4	6,979

Zone (existing)	S-1
Proposed zone	CD
Proposed uses	Residential/Commercial/Childcare
Site area (m ²)	6337.0
Total floor area (m ²)	39175.19
Commercial floor area (m ²)	3135.98
Childcare floor area (m ²)	483.91
Loading / Garbage Rooms (m ²)	976.36
Residential floor area (m ²) (including amenities)	34578.94
Floor space ratio	6.18
Site coverage %	84%
Open site space %	12%
Height of building (m)	75.36 and 72.44
Number of storeys	22 and 23
Parking stalls (number) on site	359
Commercial , Childcare and Visitor	86
Residential	273
Bicycle parking number (storage and rack)	587 Long Term & 70 Short Term
Building Setbacks (m)	
Yates street	2.0
Cook street	2.0
View street	3.0
Side yard (west side south)	0.0
Side yard (west side north)	3.0
Residential Use Detail	
Total number of units	518
Bachelor	48
1 Bedroom	223
1 Bedroom+Den	56
2 Bedroom+Den	107
3 Bedroom	75
Ground-orientated Townhomes	7



PROJECT TITLE: Harris Green Village Phase 01
1045 Yates Street Victoria, BC

PROJECT NO: 121123



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REGISTERED ARCHITECT JOHN GWIN B.C. 2022-02-11

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PRIME CONSULTANT

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PROJECT TITLE: Harris Green Village Phase 01
1045 Yates Street Victoria, BC

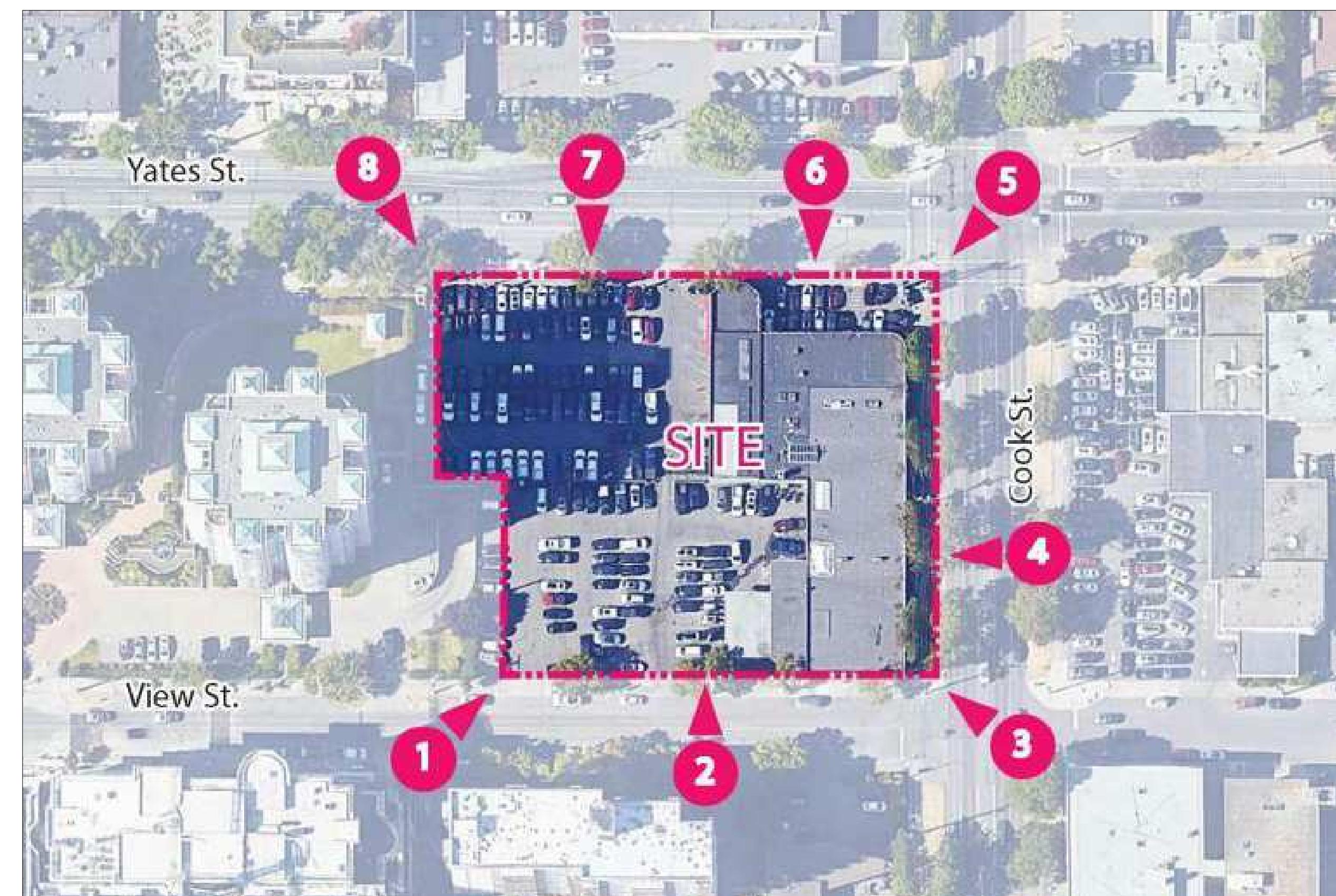
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DATE: 2022-02-11

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SHEET NUMBER: A0.04

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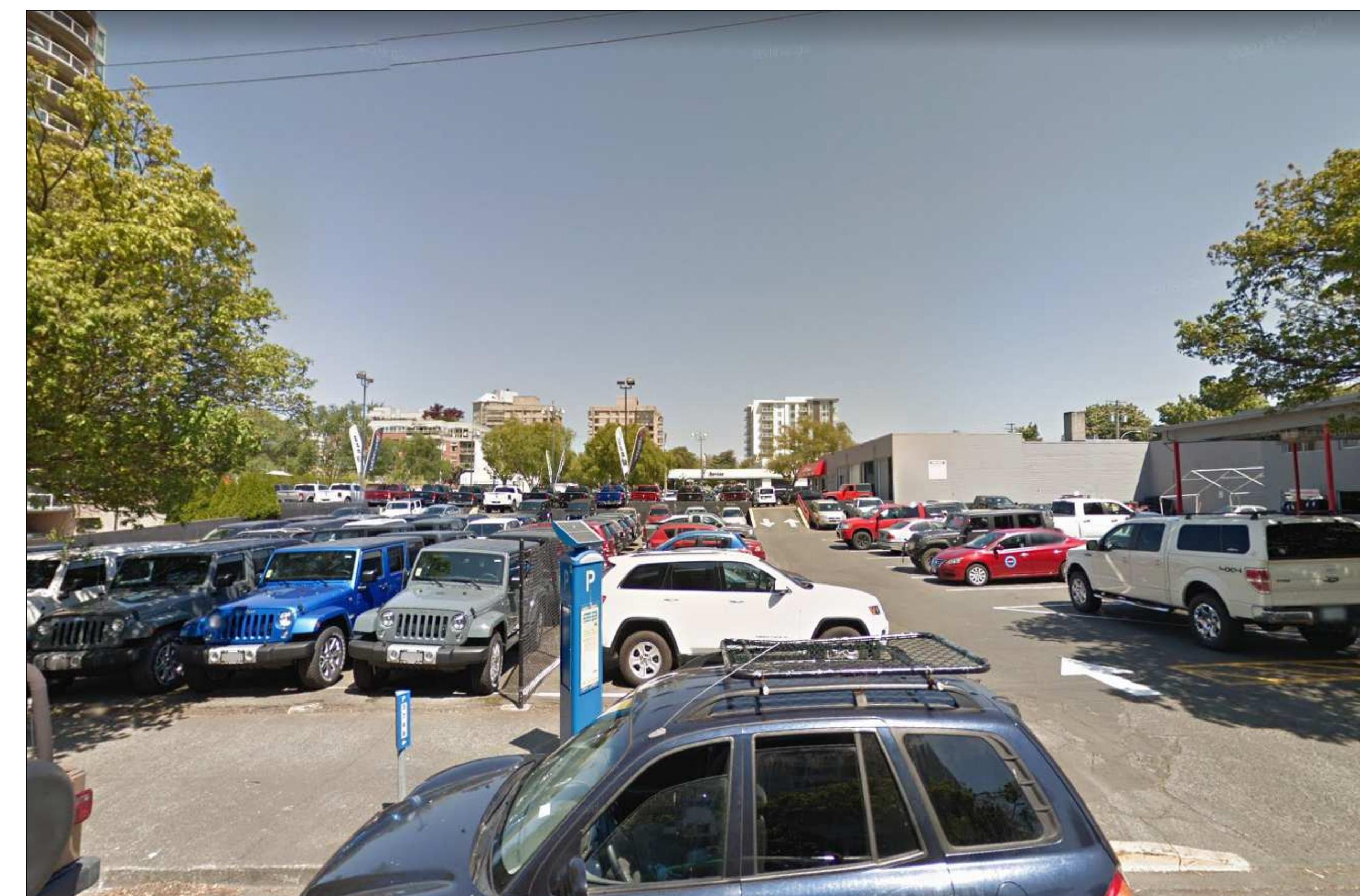
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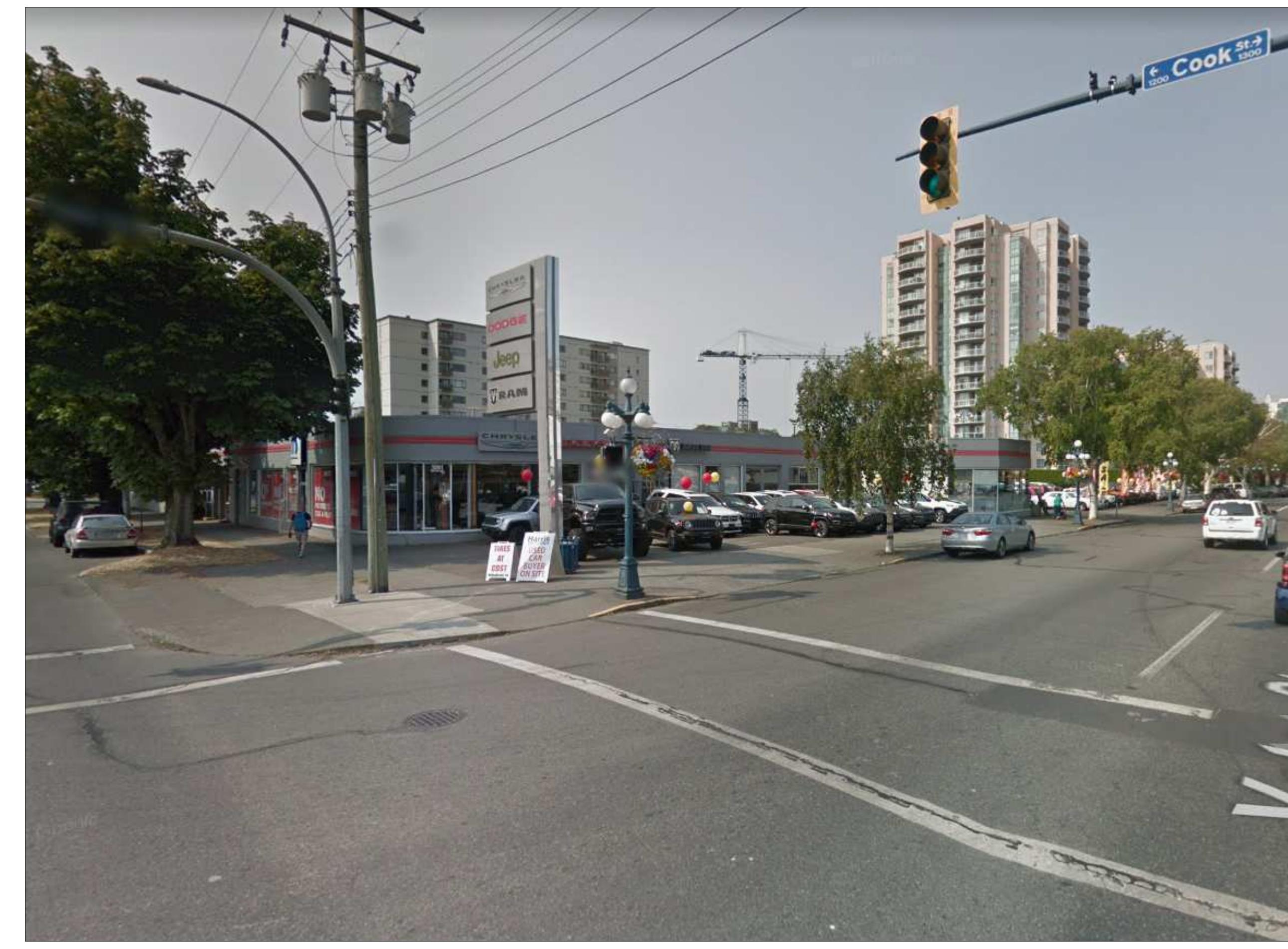


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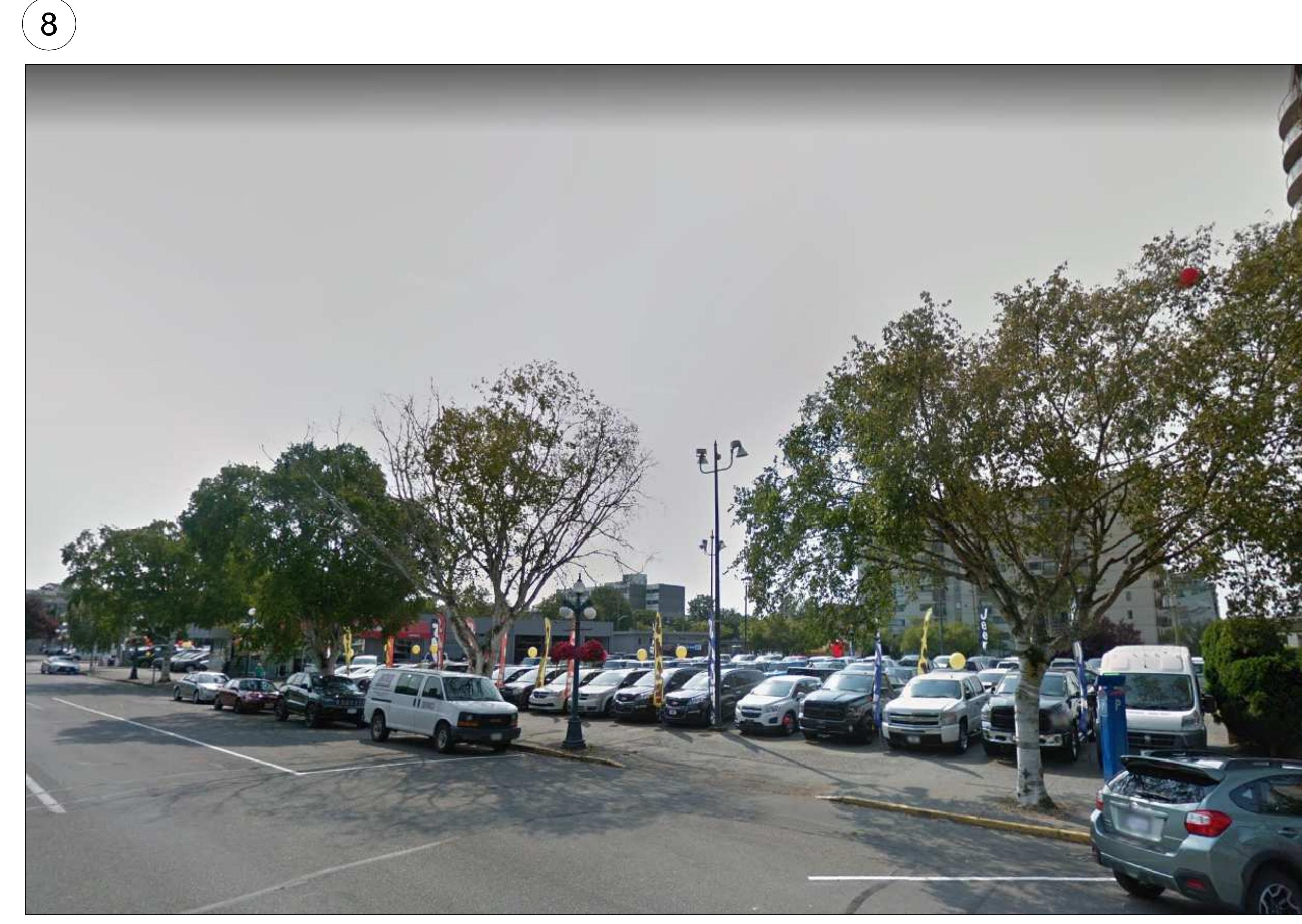


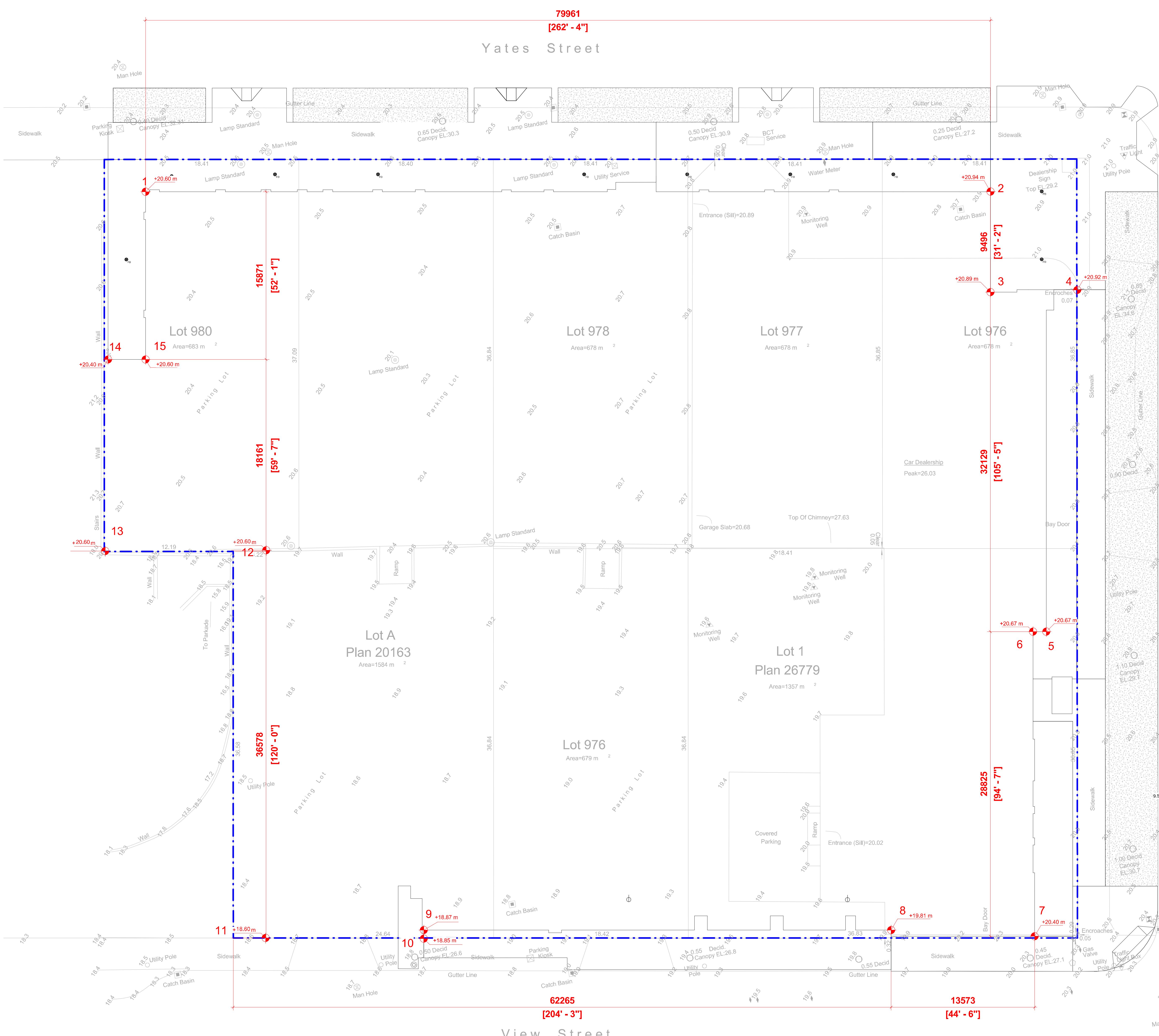
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8





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2	20.9	20.9	20.9	6000	125550
3	20.9	21	20.95	2999	62829.05
4	20.9	21	20.95	45741	949125.75
5	20.6	20.5	20.55	2994	61526.7
6	20.6	20.5	20.55	13420	274439
7	20.4	20.3	20.35	17513	350697.825
8	19.8	19.6	19.7	41157	793301.175
9	18.9	18.8	18.85	4026	75588.15
10	18.8	18.6	18.7	15166	282845.9
11	18.6	18.6	18.6	36708	719476.8
12	20.6	20.6	20.6	9132	188347.5
13	20.6	20.7	20.65	18237	375226.275
14	20.4	20.4	20.4	15845	324030.25
15	20.6	20.4	20.5	15845	325218.625
			SUM=	326312	6597891.525

Perimeter of building = 326312

Grade Calculation =	20.2195798	20.2
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The logo for Starlight Developments. The word "Starlight" is in a large, bold, black serif font, with a small yellow star above the letter "i". The word "Developments" is in a smaller, italicized, black serif font below "Starlight". A green swoosh graphic starts from the top of the "t" in "Starlight" and curves upwards and to the right. A small "TM" symbol is located to the right of the "light" in "Starlight".

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A red circular seal for John Gwyn Vose, Registered Architect, British Columbia. The seal has a double concentric circle with diagonal hatching. The outer ring contains the text 'REGISTERED ARCHITECT' at the top and 'BRITISH COLUMBIA' at the bottom. The inner ring contains the name 'JOHN GWYN VOSE' and a red star at the bottom. A blue signature line is at the bottom.

2022-02-11

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PROJECT TITLE

Harris Green Village

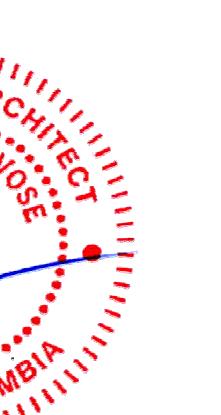
Phase 01

1045 Yates Street
Victoria, BC

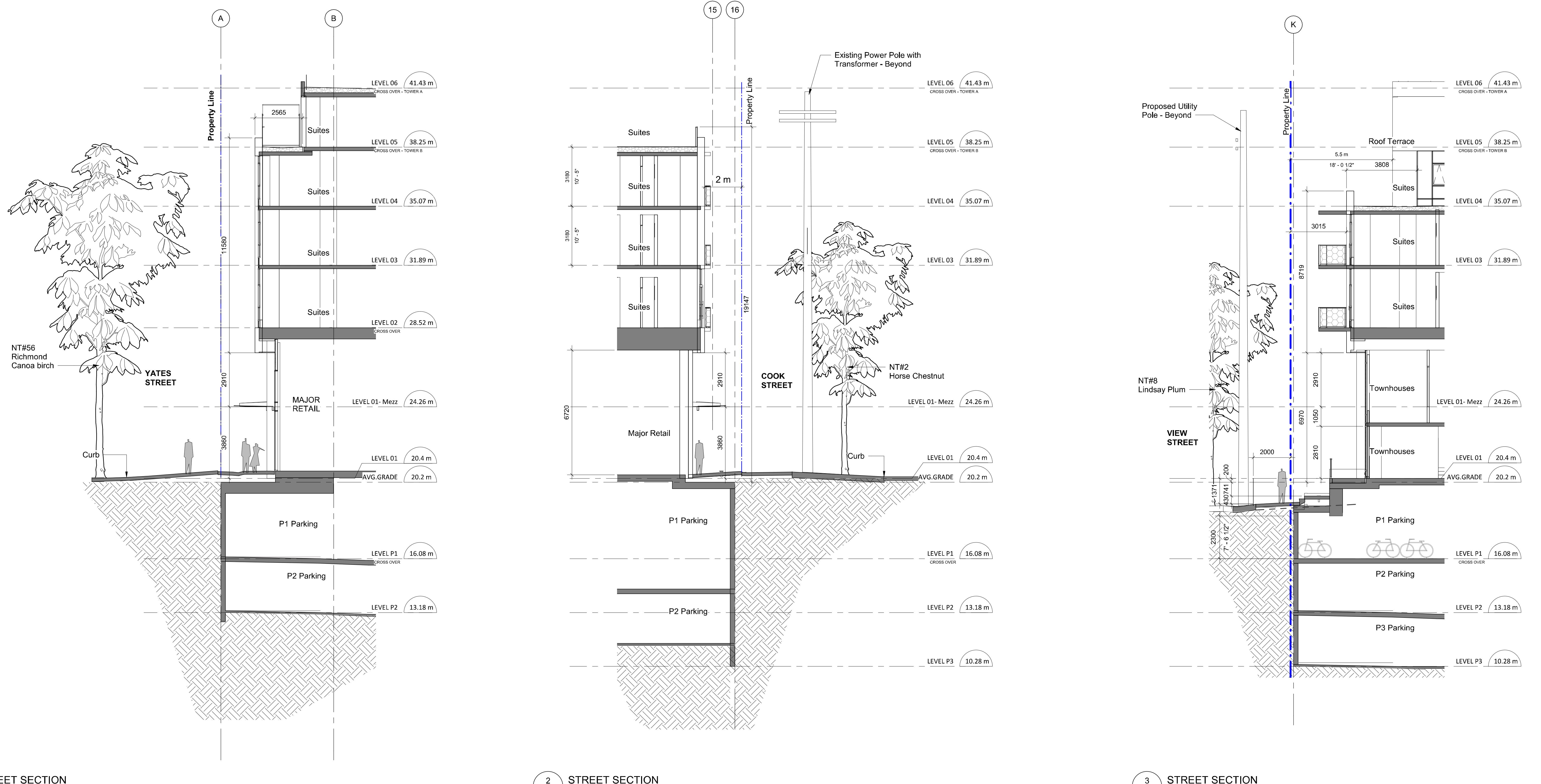
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AVERAGE GRADE CALCULATION	

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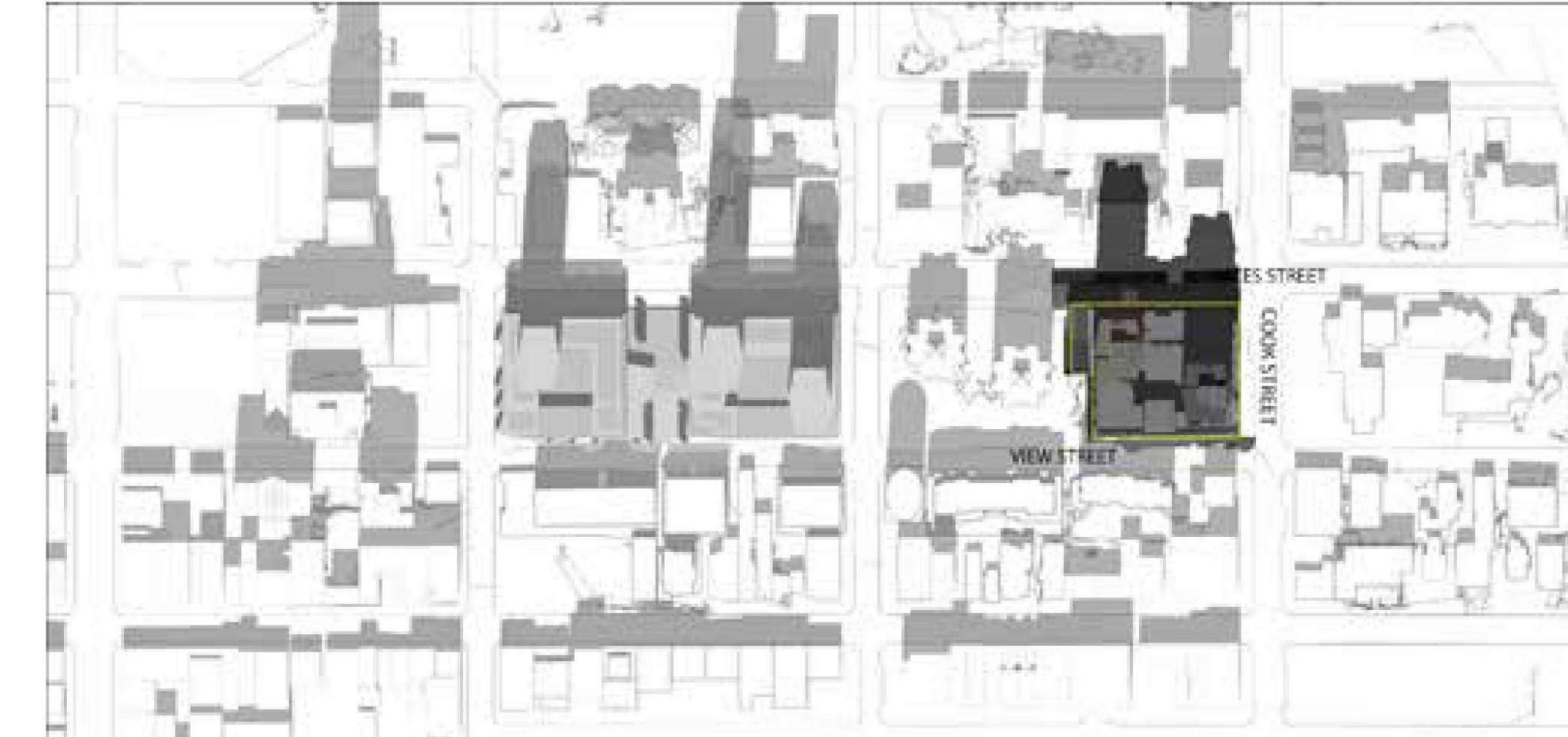
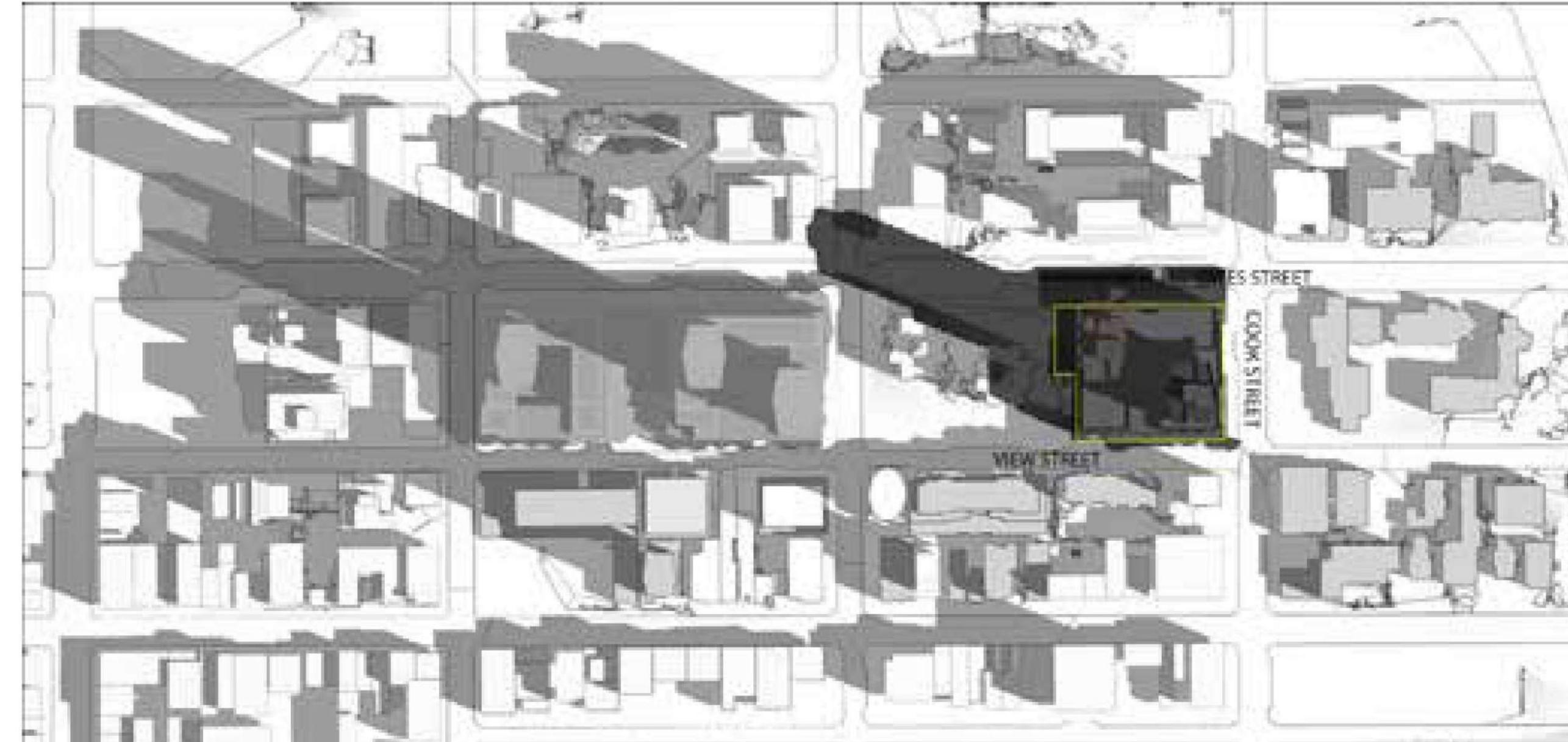
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2022-02-11



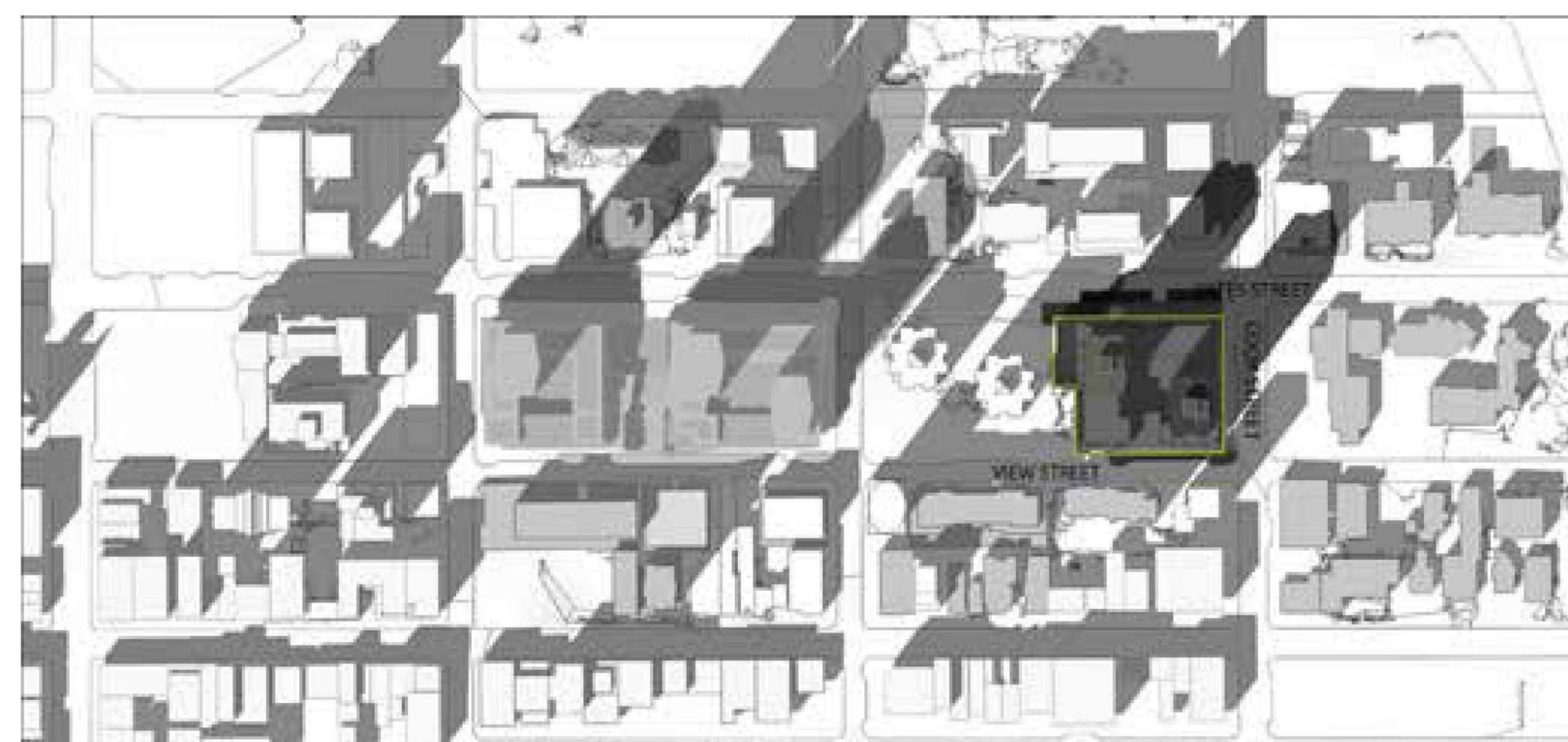
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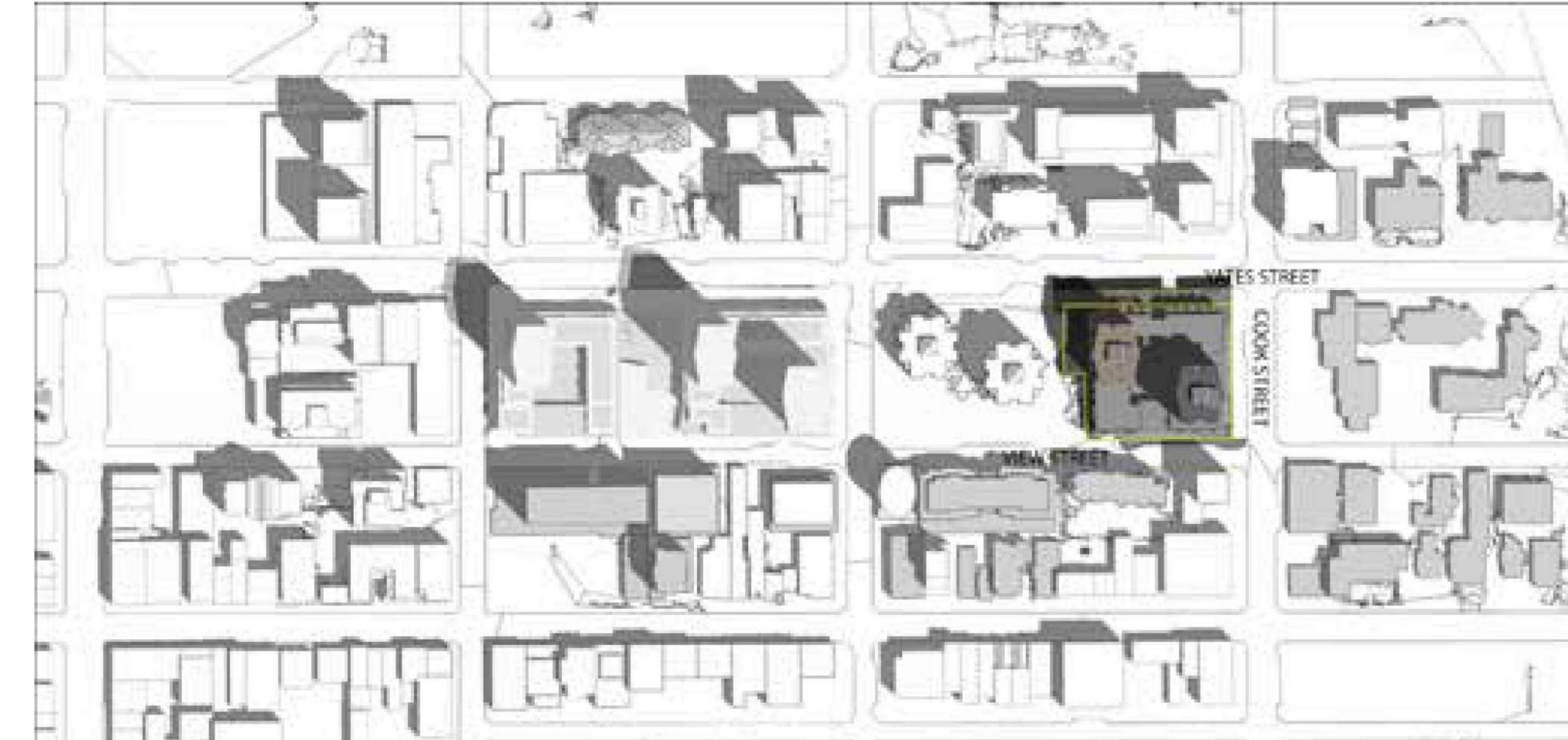
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SUMMER SOLSTICE - JUNE 20TH (DST)



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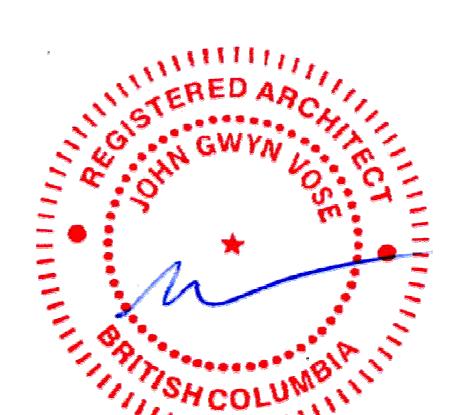


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PROJECT TITLE: Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO.: 121123
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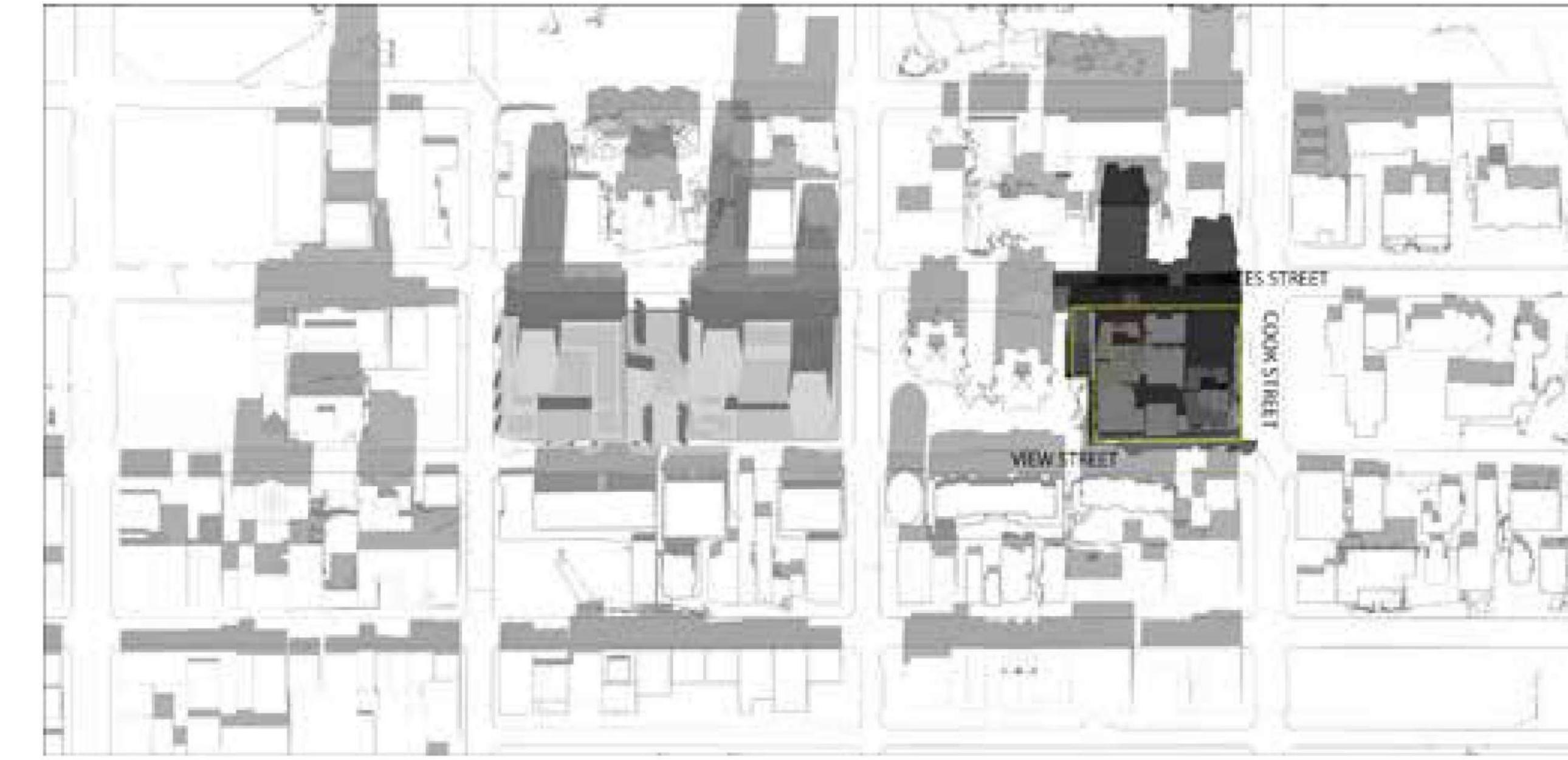
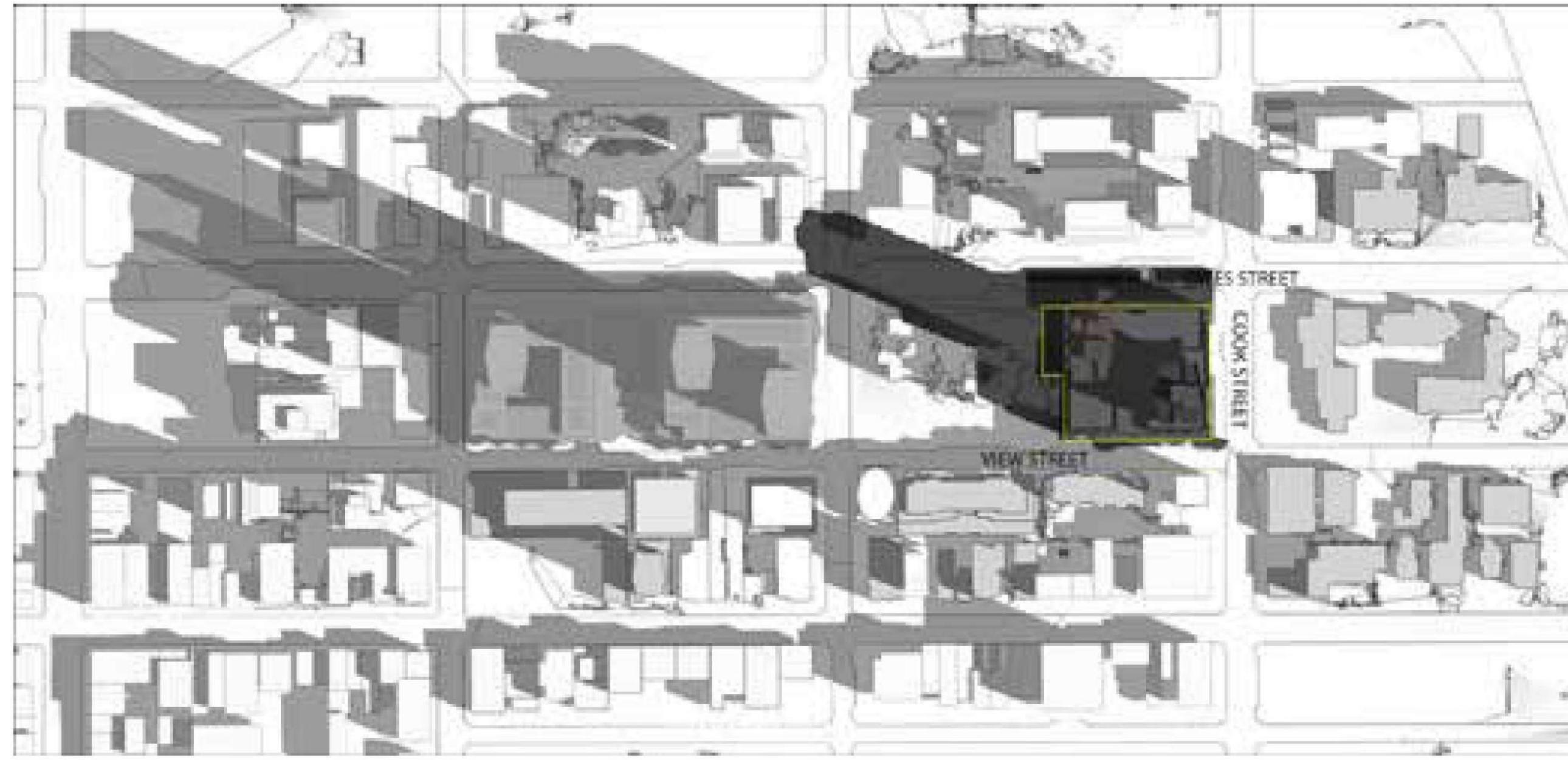
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SUMMER SOLSTICE

SHEET NUMBER: A0.13
REV:

Last Saved: 2022-02-11 3:45:11 PM

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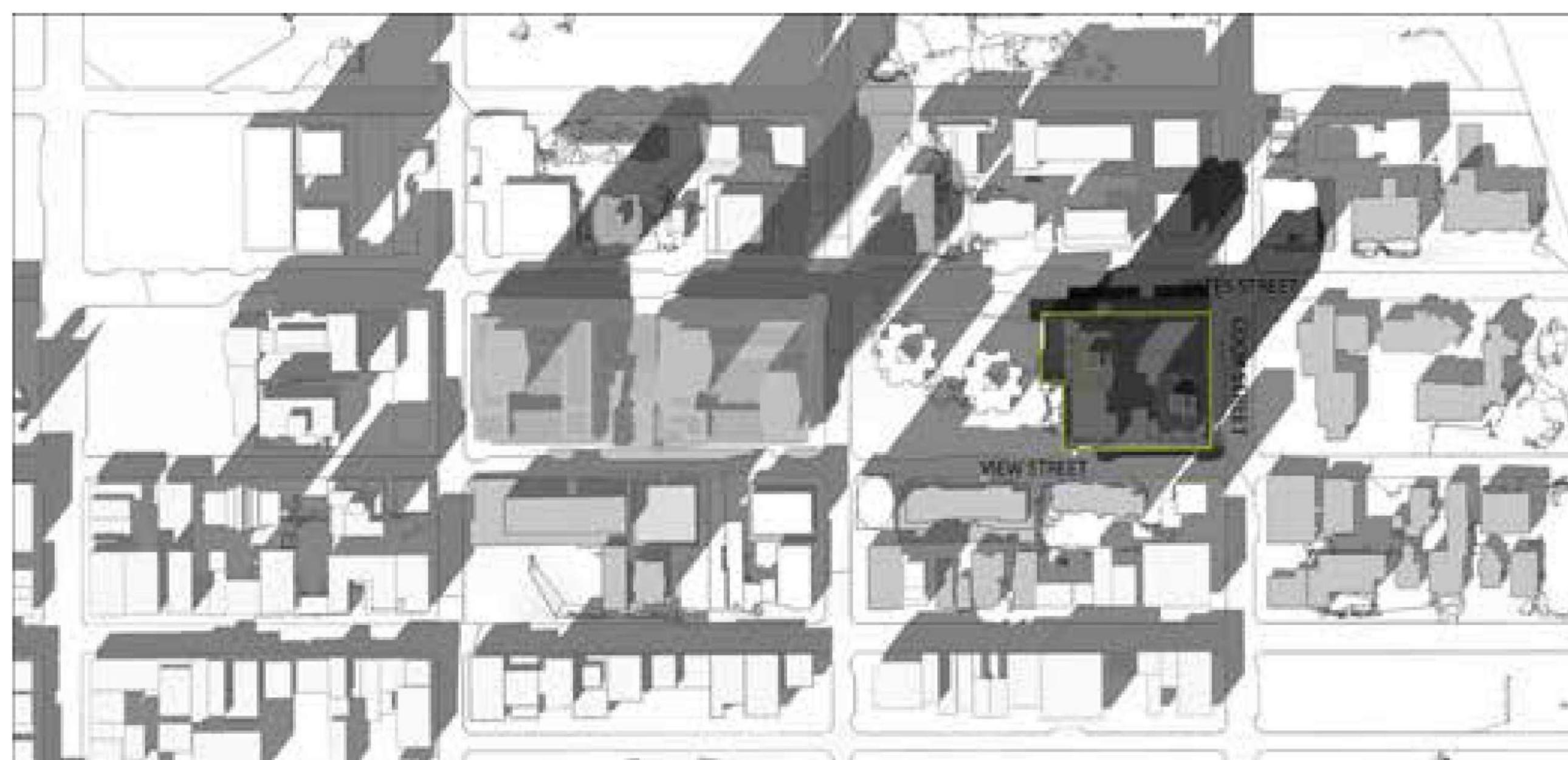
AUTOMNAL EQUINOX - SEPTEMBER 22ND (DST)



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1	2022-02-11	ISSUE FOR BUILDING PERMIT
NO.	DATE	DESCRIPTION

ISSUES

NO.	DATE	DESCRIPTION
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NO.	DATE	DESCRIPTION
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PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

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SHEET TITLE
AERIAL VIEW

SHEET NUMBER
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A red circular stamp with a decorative border. The text "REGISTERED ARCHITECT" is at the top, "JOHN GWYN VOSE" is in the center, and "BRITISH COLUMBIA" is at the bottom. A blue wavy line and a red star are on the left.

SULTANT

ITLE
orris Green Village
Phase 01
1045 Yates Street
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: Checker

2021-03-05

ACTIVE VIEW YATES STREET

NUMBER REV

0.18

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2	2022-02-11	DP RESUBMISSION #5

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1	2022-02-11	DP RESUBMISSION #5
2	2021-03-08	RZDOP Submission #1

NO. DATE DESCRIPTION

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1	2022-02-11	DP RESUBMISSION #5
2	2021-03-08	RZDOP Submission #1

NO. DATE DESCRIPTION

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1	2022-02-11	DP RESUBMISSION #5
2	2021-03-08	RZDOP Submission #1

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2	2021-03-08	RZDOP Submission #1

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REVISIONS

1	2022-02-11	DP RESUBMISSION #5
2	2021-03-08	RZDOP Submission #1

NO. DATE DESCRIPTION

REVISIONS

1	2022-02-11	DP RESUBMISSION #5
2	2021-03-08	RZDOP Submission #1

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REVISIONS

1	2022-02-
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Issued For: DP RESUBMISSION #5
Date: 2022-02-11

A red circular stamp with a decorative border. The text "REGISTERED ARCHITECT" is at the top, "JOHN GWYN VOSE" is in the center, and "BRITISH COLUMBIA" is at the bottom. A blue wavy line and a red star are overlaid on the stamp.

SULTANT

**IBI GROUP
ARCHITECTS (CANADA) INC.**
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

Phase 01
1045 Yates Street
Victoria, BC

NO: 121123

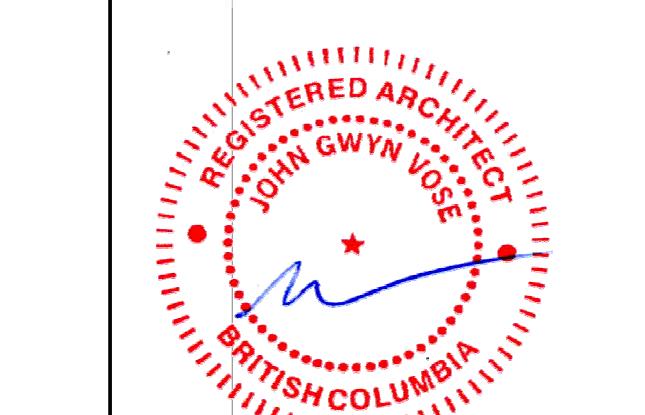
Y: Author

: Checker

2021-03-05

E PECTIVE VIEW VIEW STREET

IBER REV

1	2	3	4	5	6	7	CLIENT  Starlight Developments P.O. Box 1880 Station B Mississauga, Ontario, Canada L4W 3W6
							F COPYRIGHT: This drawing has been prepared solely for the intended use, thus any reproduction, in whole or in part, is prohibited without the written consent of the copyright owner. Contractors shall verify the information contained in this drawing against the original drawing and shall inform of any variations from the dimensions and conditions shown on this drawing. The copyright owner reserves the right to make general conformance before proceeding with fabrication.
							F IBI Group Architects (Canada) Inc. A member of the IBI Group of Companies
							F 2 2022-02-11 DP RESUBMISSION #5 1 2022-02-11 ISSUE FOR BUILDING PERMIT NO. DATE DESCRIPTION ISSUES
							F E NO. DATE DESCRIPTION REVISIONS
							D C B A
							Issued For: DP RESUBMISSION #5 2022-02-11 Date:
							B SUB-CONSULTANT SEAL  PRIME CONSULTANT IBI ARCHITECTS (CANADA) INC. 700-1285 View Street Victoria, BC V8E 4E9, Canada tel 604 683 6279 fax 604 683 0482 bigroup.com
							A PROJECT TITLE: Harris Green Village Phase 01 1045 Yates Street Victoria, BC PROJECT NO.: 121123 DRAWN BY: Author CHECKED BY: Checker SCALE: 1:500 DATE: 2022-02-11 SHEET TITLE: CPTED STRATEGY SHEET NUMBER: A0.21 REV: Last Saved: 2022-02-11 13:49:36 PM
1	2	3	4	5	6	7	

F CPTED Strategy

Following the four main principles of Crime Prevention Through Environmental Design (CPTED) the following strategies will be utilized to decrease the potential for crime in Harris Green Village. More specific CPTED strategies will be outlined in subsequent Development Permit Applications.

1. Natural Surveillance:

Elements of site and building design can maximize opportunities for natural surveillance. This involves achieving the right mix of land uses and activity generators and designing buildings and open spaces to allow people to casually observe activities in their environment. This principle involves putting “eyes on the street” by encouraging pedestrian passage through a space or providing the opportunity for overlook from adjacent buildings and spaces.

- Provide a mix of uses at grade to ensure the presence of people at all times e.g. shops, restaurants, residential entrances, office entrances, etc.
- Locate activity generators and/or seating options around edges to create opportunities for natural surveillance of open spaces, plazas, parks and important pedestrian thoroughfares.
- Configure residential lobbies to provide clear sightlines from within buildings to the street so occupants can clearly see outside before leaving the building.
- Use transparent building materials such as glazing around residential entries and avoid recessed doorways without windows to eliminate entrapment spots.
- Locate visitor bicycle storage facilities near commercial and residential entrances for visibility and ease of access.
- Prepare landscape designs and follow-up maintenance plans to allow clear, unobstructed views of public areas. Landscape elements such as low ground cover and high-canopied trees with no branches below 6 feet should be considered.
- Ensure public walkways and entries are well-lit and overlooked by windows.
- Consider adding a mix of activity generators such as playgrounds, walkways, coffee kiosks and sitting areas to add ‘eyes’ on the plaza and View Street Green.
- Use glazed doors in stairwells and parkade lobbies to reduce hiding places, open up views of the parking areas and use a white or a light colour paint scheme and elimination of sharp corners to reduce concealment opportunities
- Avoid creating “dead zones” where there is little activity or signs of human presence.



900 Block Yates

1045 Yates

2. Legibility/Access Control:

Legibility and access control work together to allow people to move with confidence and ease through the urban environment. Legibility means that people know where they are and how to get where they are going. Access control reinforces legibility by creating clear design cues about what is the public realm and what is not.

- Ensure important services and signs are strategically located and clearly visible.
- Create local landmarks by drawing attention to features such as public art, public squares, or important buildings.
- Use elements such as paving, lighting and landscaping to clearly guide the public to and from entrances and exits.
- Provide adequate lighting around the perimeter of buildings, in plaza spaces and in parkades and common areas.
- Secure all residential entrances including bicycle storage rooms with FOB doors.

3. Image/Maintenance:

If an environment shows signs of neglect or vandalism people are more inclined to engage in unwelcome or criminal behaviour. By enhancing and maintaining the physical appearance of the urban environment it is possible to encourage users of the area to respect their surroundings. Well used and cared-for public spaces encourage ownership and support community pride.

- Install gates at parkade entrances, with secondary gates separating commercial from residential parking areas.
- Provide mirrors in parkades to help users “see around corners”.
- Provide adequate lighting and sightlines to loading areas, parkade entrances and other areas where natural surveillance is reduced.
- Effective lighting should illuminate points of entry, be vandal resistant, give off limited glare, and be automatic such as motion-sensitive lighting fixtures.
- natural surveillance is reduced.
- Effective lighting should illuminate points of entry, be vandal resistant, give off limited glare, and be automatic such as motion-sensitive lighting fixtures.

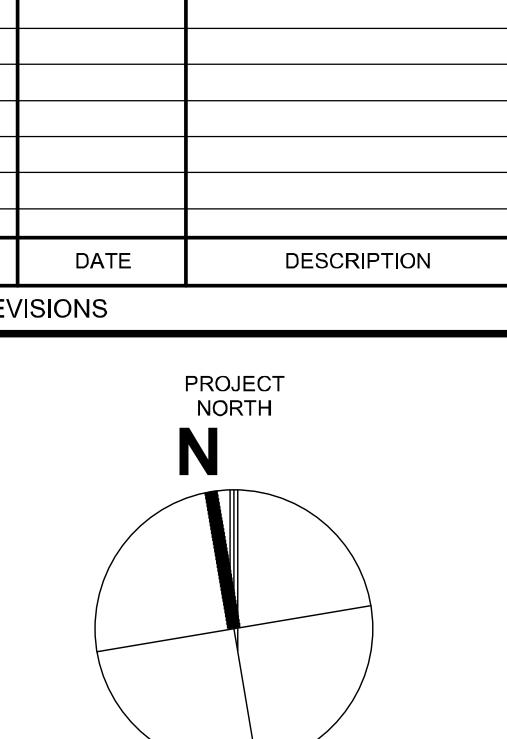
4. Territoriality/Ownership:

Clearly differentiating and demarcating public space from private space reduces the risk of unintentionally trespassing or being trespassed upon.

- Design the built environment with materials and fittings that will hold up to heavy use by the public.
- Use finishes that are resistant to vandalism and are easy to clean, repair or replace.
- Avoid long expanses of light coloured walls that may attract graffiti artists.
- Source tamper-proof lighting fixtures.

5. Control:

Control is the ability to manage and regulate the use of space. It can be achieved through physical barriers, such as fences and gates, as well as through social norms and expectations. By creating clear boundaries and controlling access to certain areas, it is possible to reduce the risk of crime and increase the sense of safety for residents and visitors.



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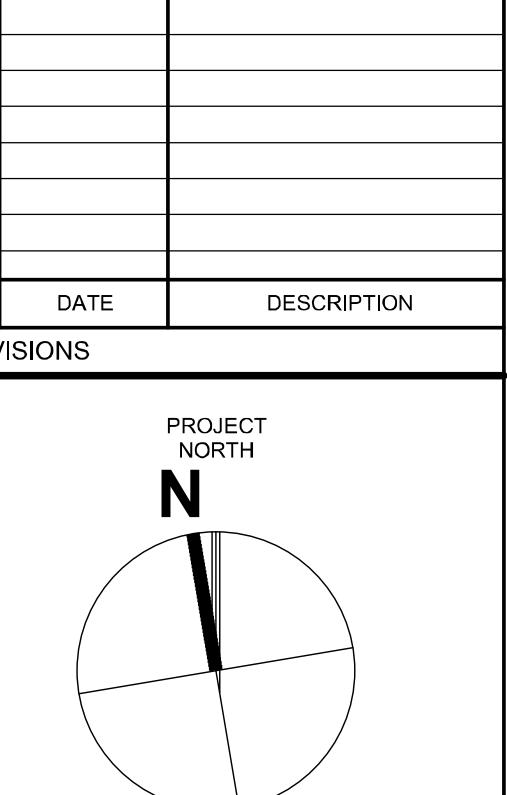
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BRITISH COLUMBIA

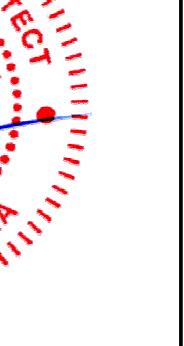
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PRIME CONSULTANT
IBI GROUP
ARCHITECTS (CANADA) INC.
707-1285 Robson Street, Vancouver, BC V6E 4B7, Canada
tel 604 683 2797 fax 604 683 0492
ibigroup.com

PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO.: 121123

DRAWN BY: NV

CHK'D BY: GV

SCALE: As indicated

DATE: 2022-02-11

SHEET TITLE
OVERALL LEVEL P3
PLAN

SHEET NUMBER

REV
A1.01


Issued For: DP RESUBMISSION #5
Date: 2022-02-11

REGISTERED ARCHITECT
JOHN GWYN
2022-02-11

BRITISH COLUMBIA

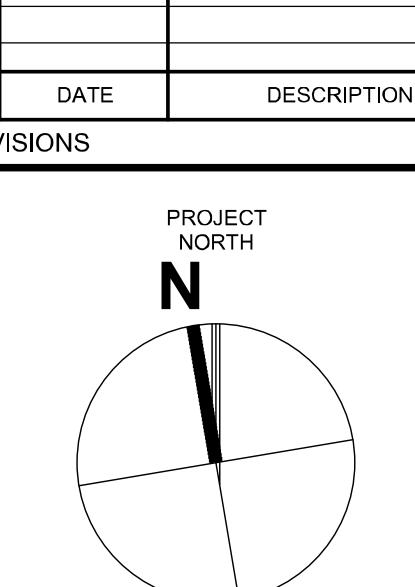
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Issued For: DP RESUBMISSION #5
Date: 2022-02-11

REGISTERED ARCHITECT
JOHN GWYN

2022-02-11

BRITISH COLUMBIA

File Location: BM/360/121123 - Yates Street - Harris Green Village Ptn 1/R2c/20121123_YatesSt-A-Polyum-2020.v4d

PROJECT TITLE: Harris Green Village

Phase 01

1045 Yates Street

Victoria, BC

PROJECT NO.: 121123

DRAWN BY: Author

CHKD BY: Checker

SCALE: 1: 100

DATE: 2022-02-11

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File Location: BM/360/121123 - Yates Street - Harris Green Village Ptn 1/R2c/20121123_YatesSt-A-Polyum-2020.v4d

AREA BY USAGE TYPE

Studio


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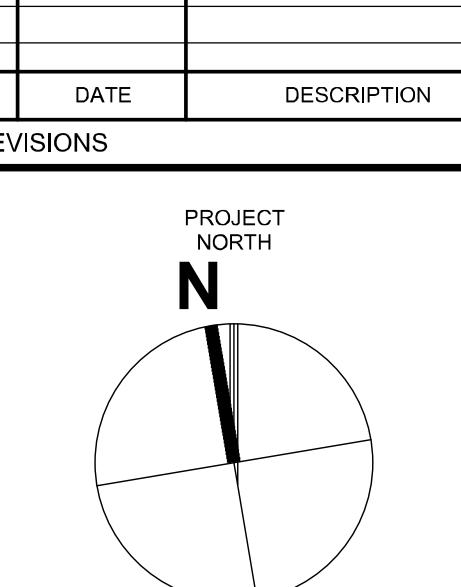
2 Bedroom

3 Bedroom

REV

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Date: 2022-02-11

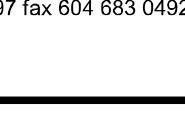


2022-02-11

SEAL

SUB-CONSULTANT

PRIME CONSULTANT



PROJECT TITLE

Harris Green Village
Phase 01

1045 Yates Street
Victoria, BC

PROJECT NO.: 121123

DRAWN BY:

CHKD BY:

SCALE: 1:100

DATE: 2022-02-11

SHEET TITLE

OVERALL TYPICAL
TOWER FLOOR PLAN


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
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



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Date: 2022 02 11

ANT
I GROUP
RCHITECTS (CANADA) INC.
10-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
604 683 8797 fax 604 683 0
group.com

5 Yates Street
Victoria, BC
121123
1 : 100
2022-02-11

LEVEL 21 (B ROOF)





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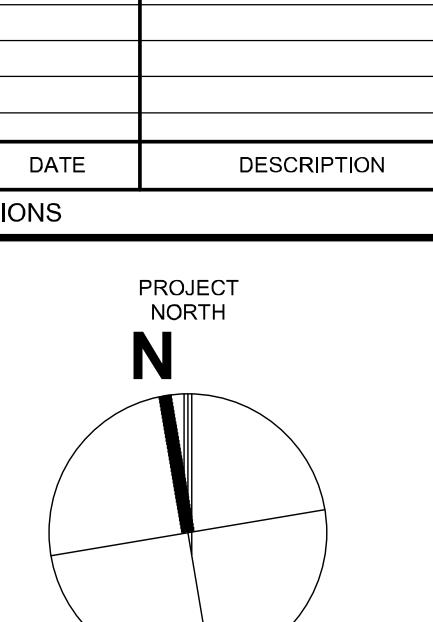
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Green Villa House 01

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 Date: 2022-02-11


B.C.

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI

PROJECT TITLE

Harris Green Village

Phase 01

1045 Yates Street

Victoria, BC

PROJECT NO. 121123

DRAWN BY:

CHKD BY:

SCALE: 1:100

DATE: 2022-02-11


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NORTH ELEVATIONS


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REV

A2.01

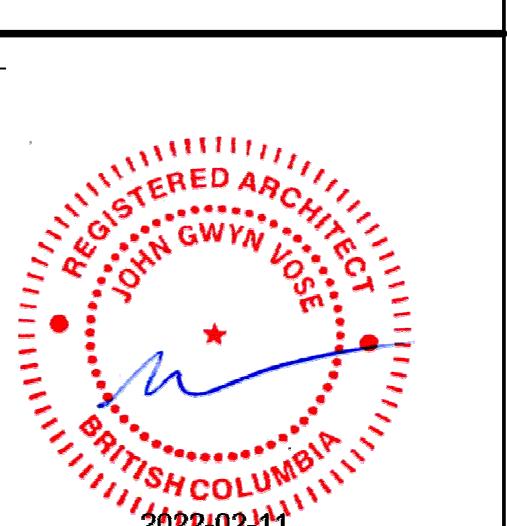






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SUB-CONSULTANT

PRIME CONSULTANT

 PROJECT TITLE: Harris Green Village
 Phase 01
 1045 Yates Street
 Victoria, BC

PROJECT NO.: 121123

DRAWN BY: Author

CHKD BY: Checker

SCALE: 1: 100

DATE: 2022-02-11

SHEET TITLE: COURTYARD ELEVATION

SHEET NUMBER: A2.08

REV

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 9 CY-Elevation 09
 A2.12 SCALE: 1:100

 10 CY-Elevation 10
 A2.12 SCALE: 1:100

 11 CY-Elevation 11
 A2.12 SCALE: 1:100

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Date: 2022-02-11

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TOWER A (21-Storey)

Level (s)	Gross Floor Area		Exclusions								Total Floor Area	
			Exterior Wall		Elevator Shafts		Parking Ramp / Shafts		Sub Total			
	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)
23	69.6	749	14.3	153	-	-	-	-	14.3	153	55.3	596
22	158.3	1,704	16.2	175	16.6	179	-	-	32.8	353	125.5	1,351
21	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
20	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
19	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
18	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
17	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
16	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
15	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
14	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
13	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
12	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
11	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
10	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
9	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
8	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
7	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
6	664.4	7,152	34.0	366	16.5	177	-	-	50.5	543	613.9	6,608
Total	10,618.0	114,291	503.7	5,422	281.9	3,034	-	-	785.6	8,456	9,832.4	105,835

TOWER B (20-Storey)

Level (s)	Gross Floor Area		Exclusions								Total Floor Area	
			Exterior Wall		Elevator Shafts		Parking Ramp / Shafts		Sub Total			
	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)
22	69.5	748	14.2	153	-	-	-	-	14.2	153	55.3	595
21	157.4	1,695	19.3	208	16.6	179	-	-	35.9	387	121.5	1,308
20	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
19	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
18	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
17	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
16	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
15	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
14	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
13	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
12	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
11	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
10	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
9	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
8	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
7	648.4	6,979	29.3	315	16.6	179	-	-	45.9	494	602.5	6,485
6	666.3	7,172	35.7	384	16.5	177	-	-	52.2	561	614.1	6,611
Total	9,970.5	107,322	479.1	5,157	265.3	2,856	-	-	744.4	8,013	9,226.1	99,309

Podium

Level (s)	Gross Floor Area		Exclusions								Total Floor Area	
			Exterior Wall		Elevator Shafts		Parking Ramp / Shafts		Sub Total			
	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)	Metric (m2)	Imperial (ft2)
5	2,881.3	31,014	99.4	1,070	32.9	355	-	-	132.4	1,425	2,748.9	29,589
4	3,519.4	37,882	121.9	1,312	32.9	355	-	-	154.8	1,667	3,364.5	36,215
3	3,966.5	42,695	130.9	1,409	42.3	455	-	-	173.1	1,864	3,793.4	40,832
2	4,007.5	43,137	130.2	1,402	42.3	455	-	-	172.5	1,857	3,835.1	41,280
1 M	1,321.6	14,226	19.3	208	-	-	-	-	19.3	208	1,302.3	14,018
1	5,350.9	57,597	82.7	890	50.9	548	144.8	1,559	2			