

BUILDING SETBACKS

Property Line	Required (m)			Proposed (m)		
	Street Level	Residential Podium	Tower	Street Level	Residential Podium	Tower
Front yard (Yates Street)	3.0	2.0	6.0	3.0	4.5	9.0
Rear yard (View Street)	4.0	3.0	6.0	4.0	5.5	9.0
East Side yard (Cook Street)	3.0	2.0	6.0	3.0	4.5	6.0
West Side Yard (North)	3.0	3.0	16.8	3.0	3.0	16.8
West Side Yard (South)	-	4.6	4.6	-	4.6	7.0

CLIENT

Starlight Developments

Starlight Developments  
1111 West 10th Avenue, Suite 100, Vancouver, BC V6H 1T1, Canada  
417 3015

COPYRIGHT

This drawing is the property of Starlight Developments and is not to be reproduced or distributed for any purpose other than that authorized by Starlight Developments. All rights are reserved. The user shall be responsible for all dimensions and construction details. The user shall be responsible for all dimensions and construction details. The user shall be responsible for all dimensions and construction details.

IBI Group Architects (Canada) Inc.  
a member of the IBI Group of Companies

2

2022-02-11

DP RESUBMISSION #5

1

2022-02-11

ISSUE FOR SUBMISSION #5

NO.

DATE

DESCRIPTION

ISSUES

NO.

DATE

DESCRIPTION

REVISIONS

Issued For: DP RESUBMISSION #5

Date: 2022-02-11

SEAL

REGISTERED ARCHITECT

JOHN GUYN LEE

BRITISH COLUMBIA

2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP ARCHITECTS (CANADA) INC.

705-1285 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
Tel: 604-681-1707 Fax: 604-681-0562  
ibi@ibi.com

PROJECT TITLE

Harris Green Village  
Phase 01  
1045 Yates Street  
Victoria, BC

PROJECT NO.

121123

DRAWN BY:

Author

CHKD BY:

Checker

SCALE:

1 : 150

DATE:

2022-02-11

SHEET TITLE

SETBACK DIAGRAM

SHEET NUMBER

A0.07

REV

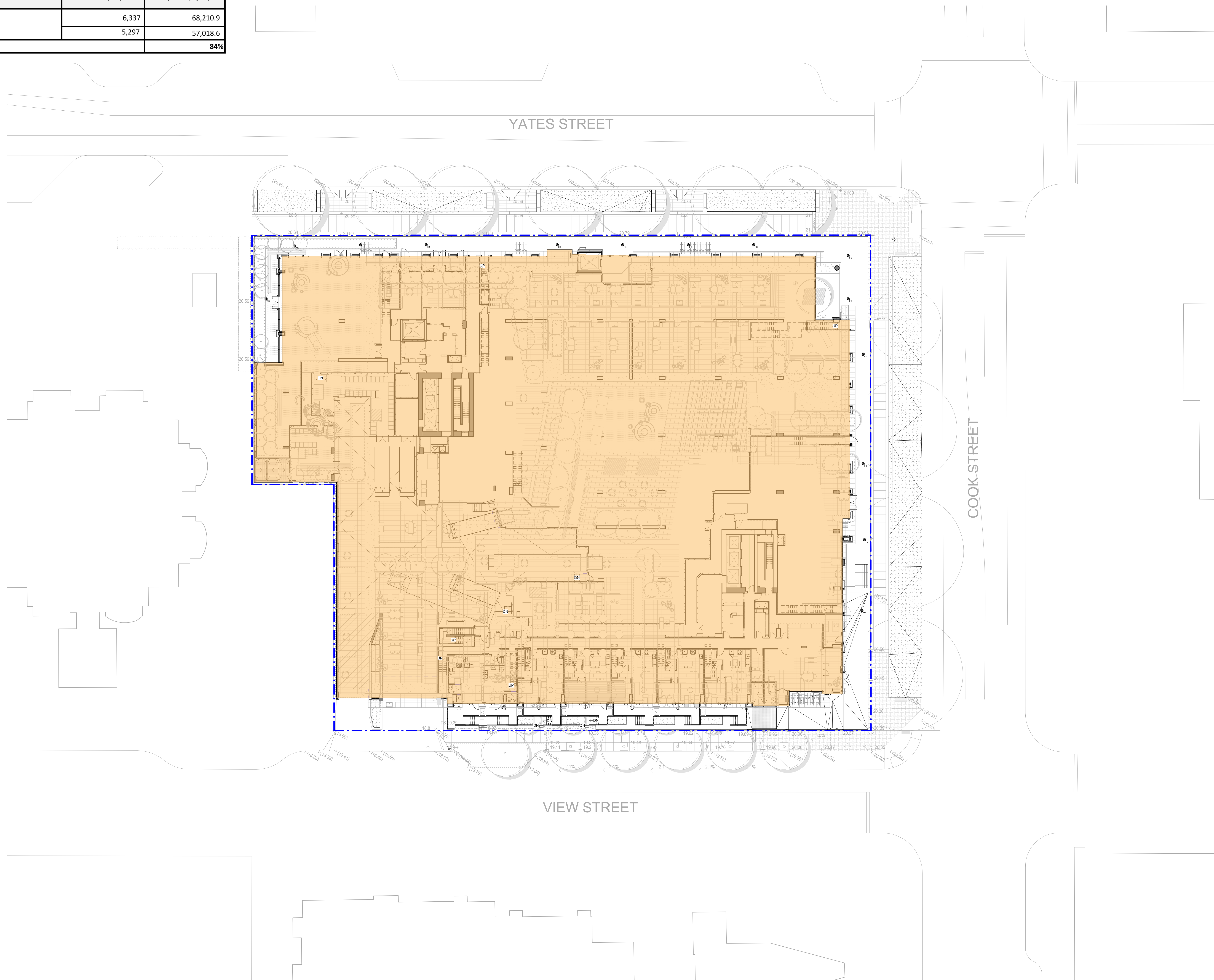
File Location: B:\12000\121123\_Yates Green Village\PH 1\2022\02-11\2022-02-11\_YatesSA-A-Setback-2020.dwg

Last Saved: 2022-02-11 14:48:29 PM



	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Building Footprint (podium)	5,297	57,018.6
Site Coverage %		84%

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Building Footprint (podium)	5,297	57,018.6
Site Coverage %		84%







OPEN SITE SPACE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Open Site Space Area	761	8,186.0
Open Site Space %		12%

CLIENT

Starlight  
Developments

Starlight Developments  
1111 12th Ave, 10th Floor, Vancouver, BC V6Z 1G6, Canada  
417-3015

COPYRIGHT

This drawing has been prepared solely for the intended use. No part of this drawing may be reproduced or distributed for any purpose other than that authorized by IBI Group Architects (Canada) Inc. without the prior written consent of IBI Group Architects (Canada) Inc. IBI Group Architects (Canada) Inc. is a member of the IBI Group of companies.

2

2022-02-11

DP RESUBMISSION #5

1

2022-02-11

ISSUE FOR SUBMISSION #5

NO.

DATE

DESCRIPTION

ISSUES

NO.

DATE

DESCRIPTION

REVISIONS

Issued For: DP RESUBMISSION #5

Date: 2022-02-11

SEAL

REGISTERED ARCHITECT

JOHN GWIN

2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP ARCHITECTS (CANADA) INC.

700-1205 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
Tel: 604-683-1707 Fax: 604-683-0562  
ibigroup.com

PROJECT TITLE

Harris Green Village  
Phase 01  
1045 Yates Street  
Victoria, BC

PROJECT NO.

121123

DRAWN BY:

Author

CHKD BY:

Checker

SCALE:

1:150

DATE:

2022-02-11

SHEET TITLE

OPEN SITE SPACE  
DIAGRAM

SHEET NUMBER

A0.09

REV

File Location: B:\1205\121123\_Yates\Drawings\A0.09.dwg

Last Saved: 2022-02-11 14:27:29 PM












2022-02-11	DP RESUBMISSION #3
2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

[illegible]

DATE	DESCRIPTION
DIVISIONS	

\_\_\_\_\_

Date: 2022-02-11



	I-CONSULTANT
--	--------------

**ME CONSULTANT**

**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700-1285 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

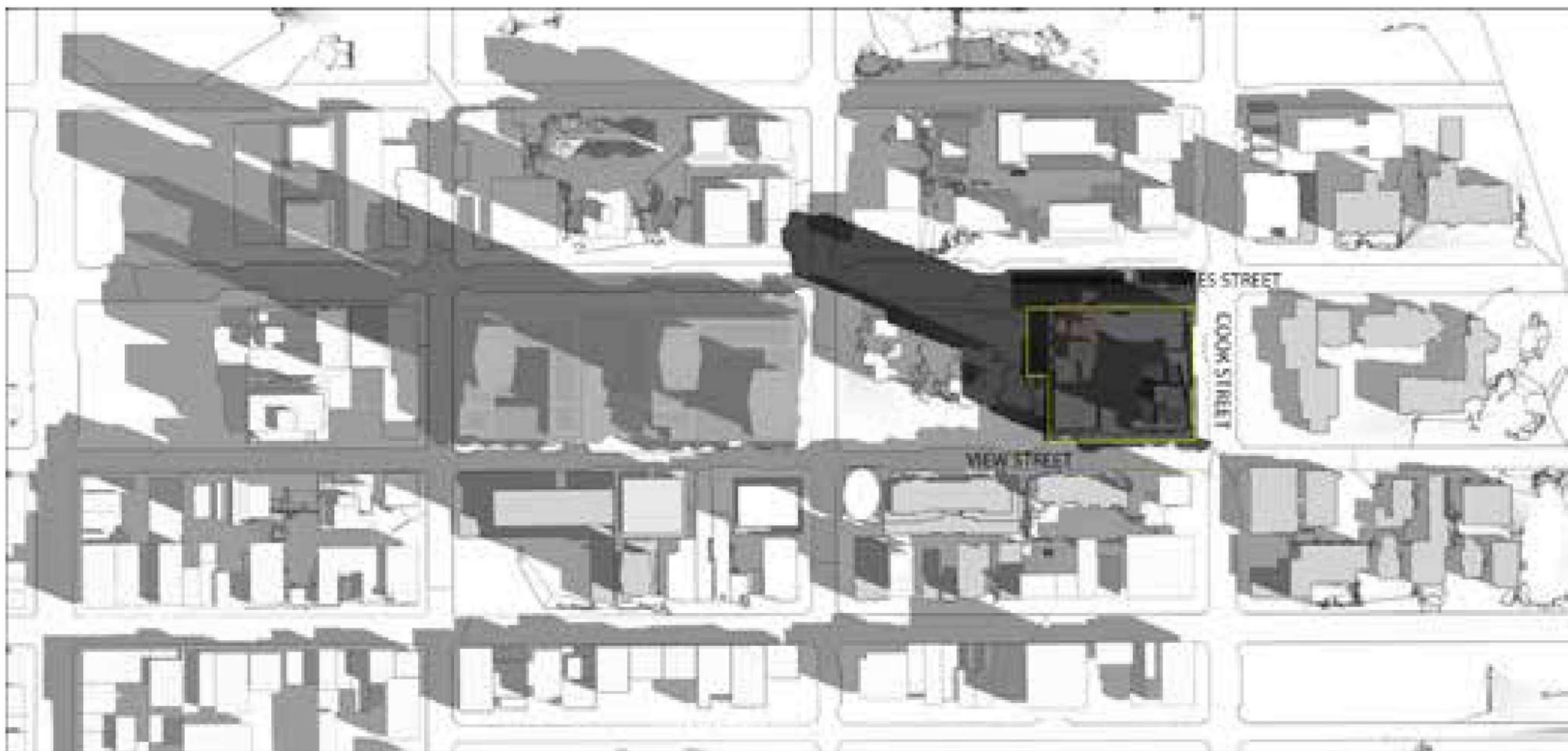
**PROJECT TITLE**  
**Harris Green Village**  
**Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	Author
CHECK'D BY:	Checker
SCALE:	1 : 5
DATE:	2022-02-11

PROJECT TITLE  
**SHADOW STUDY -  
INTERNAL EQUINOX**

SHEET NUMBER <b>A0.12</b>	REV
------------------------------	-----

VERNAL EQUINOX - MARCH 20TH (DST)



10 AM



12 PM

2 PM<sub>D</sub>

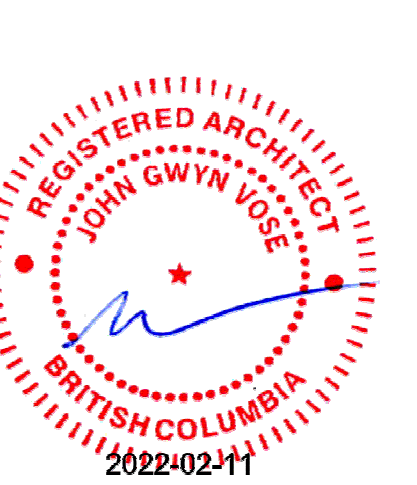
4 PM



5 PM



Issued For: DP RESUBMISSION #5  
Date: 2022-02-11



I-CONSULTANT

**ME CONSULTANT**

**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700-1285 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel 604 683 8797 fax 604 683 0492  
[ibigroup.com](http://ibigroup.com)

**PROJECT TITLE**  
**Harris Green Village**  
**Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	Author
CHECK'D BY:	Checker
SCALE:	1 : 5
DATE:	2022-02-11

# SHADOW STUDY - SUMMER SOLSTICE

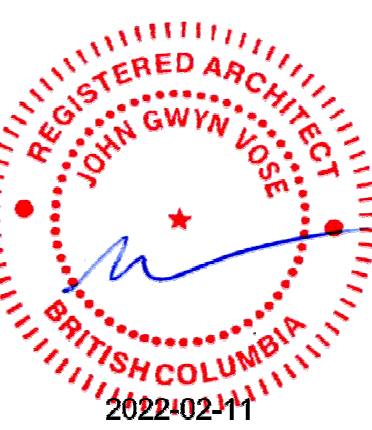
SHEET NUMBER <b>A0.13</b>	REV
------------------------------	-----



## An aerial photograph of a city block, likely in San Francisco, showing a grid of streets and buildings. A specific building at the intersection of View Street and Coon's Hill is highlighted with a yellow rectangular box. The surrounding area includes various other buildings, streets, and green spaces. Labels for 'VIEW STREET' and 'COON'S HILL' are visible on the image.

An aerial photograph of a city block. A yellow rectangular box highlights a building located at the intersection of View Street and Elmwood. The street names are labeled on the image: 'VIEW STREET' and 'ELMWOOD'. The building within the box is a multi-story structure with a dark roof and light-colored walls. The surrounding area includes other buildings, streets, and some greenery.

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11



I-CONSULTANT

**ME CONSULTANT**

**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700-1285 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

**PROJECT TITLE**  
**Harris Green Village**  
**Phase 01**  
1045 Yates Street  
Victoria, BC

AWN BY:	Author
K'D BY:	Checker
SCALE:	1 : 5
DATE:	2022-02-11

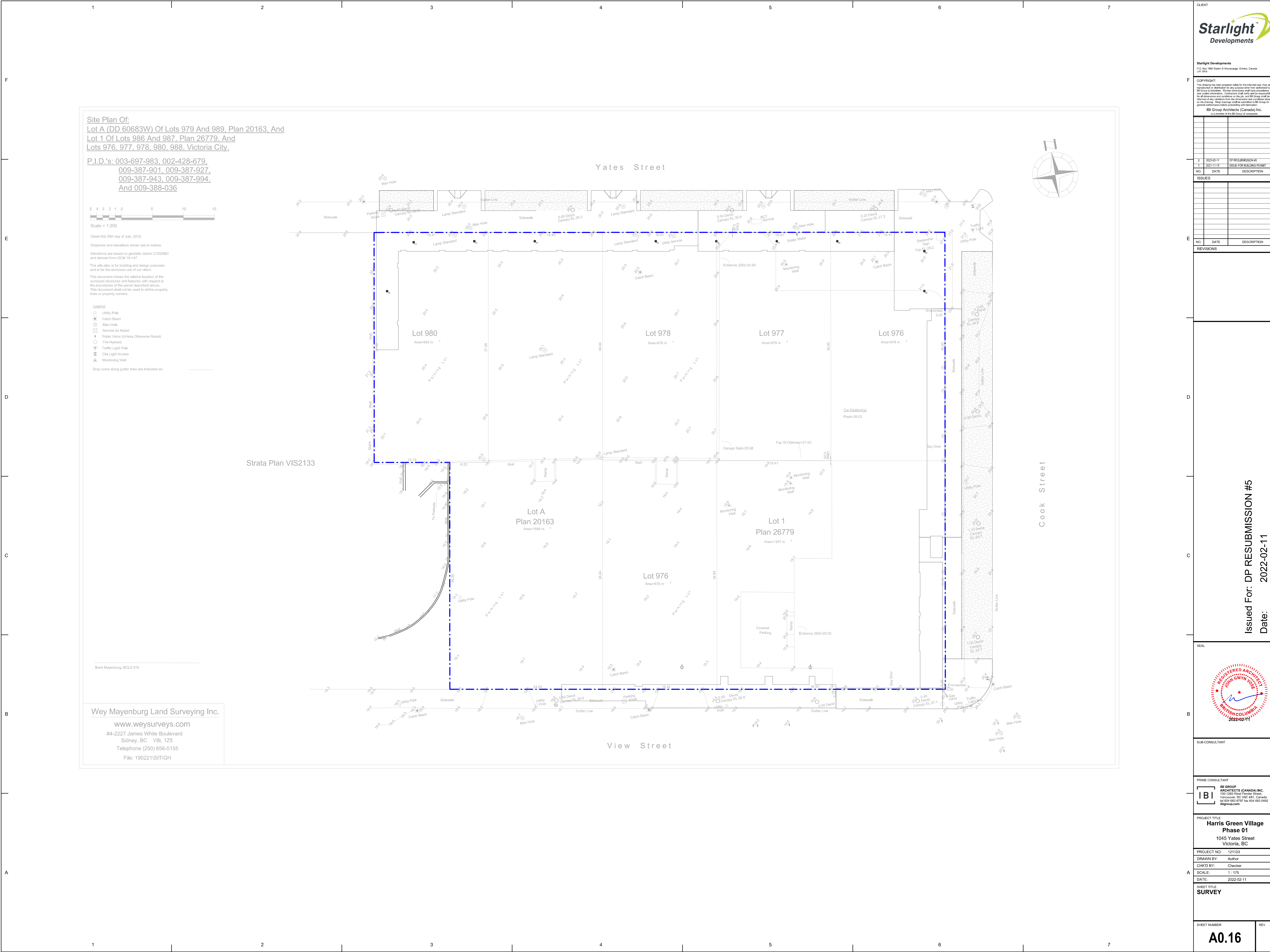
# SHADOW STUDY - AUTOMNAL EQUINOX

SHEET NUMBER <b>A0.14</b>	REV
------------------------------	-----



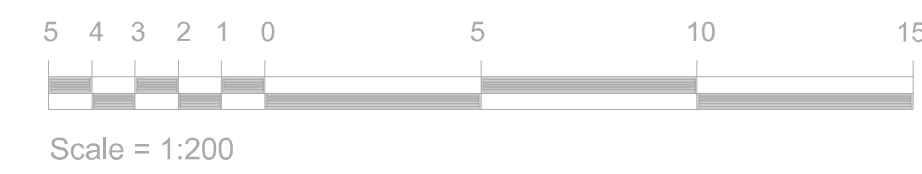






Site Plan Of:  
Lot A (DD 60683W) Of Lots 979 And 989, Plan 20163, And  
Lot 1 Of Lots 986 And 987, Plan 26779, And  
Lots 976, 977, 978, 980, 988, Victoria City.

P.I.D.'s: 003-697-983, 002-428-679,  
009-387-901, 009-387-927,  
009-387-943, 009-387-994,  
And 009-388-036



Dated this 29th day of July, 2018.  
Distances and elevations shown are in metres.  
Elevations are based on geoidetic datum CVD288C  
and derived from OCM 16-147.  
This site plan is for building and design purposes  
and is for the exclusive use of our client.  
This document shows the relative location of the  
surveyed structures and features with respect to  
the boundaries of the parcel described above.  
This document shall not be used to define property  
lines or property corners.

- Legend:
- Utility Pole
  - Catch Basin
  - Man Hole
  - Service As Noted
  - Water Valve (Unless Otherwise Noted)
  - Fire Hydrant
  - Traffic Light Pole
  - City Light Access
  - Monitoring Well
- Drop curbs along gutter lines are indicated as:

Brent Mayenburg, BCLS 910

Wey Mayenburg Land Surveying Inc.  
www.weysurveys.com  
#4-2227 James White Boulevard  
Sidney, BC V8L 1Z5  
Telephone (250) 656-5155  
File: 190221\SIT\IGH

Starlight  
Developments

Starlight Developments  
P.O. Box 980 Station B Vancouver, British Columbia, Canada  
V6T 3B5

**COPYRIGHT:**  
The attached has been prepared solely for the intended use. No part  
reproduction or distribution for any purpose other than intended by  
IBI Group is authorized. No part of this document shall be reproduced  
in any form or by any means, electronic or mechanical, including  
photocopying, recording, or by any information storage and retrieval  
system, without prior written permission from IBI Group. IBI Group shall  
not be liable for any damages or losses arising from the use of this  
document. Any changes or modifications to this document shall be  
indicated by a revision number and date. This document is the property  
of IBI Group and shall remain the property of IBI Group for  
general reference only. No part of this document shall be  
reproduced or distributed without the written permission of IBI Group.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of companies

NO.	DATE	DESCRIPTION
1	2021-11-15	ISSUE FOR SUBMISSION
2	2022-02-11	DP RESUBMISSION #5

**REVISIONS**

NO.	DATE	DESCRIPTION
-----	------	-------------

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

SUB-CONSULTANT
----------------

PRIME CONSULTANT
<p>IBI GROUP ARCHITECTS (CANADA) INC. 705-225 West Pender Street Vancouver, BC V6E 4B1, Canada Tel: 604-683-1707 Fax: 604-683-0852 ibigroup.com</p>

PROJECT TITLE
Harris Green Village Phase 01 1045 Yates Street Victoria, BC

PROJECT NO.
121123

DRAWN BY:
Author

CHKD BY:
Checker

SCALE:
1 : 175

DATE:
2022-02-11

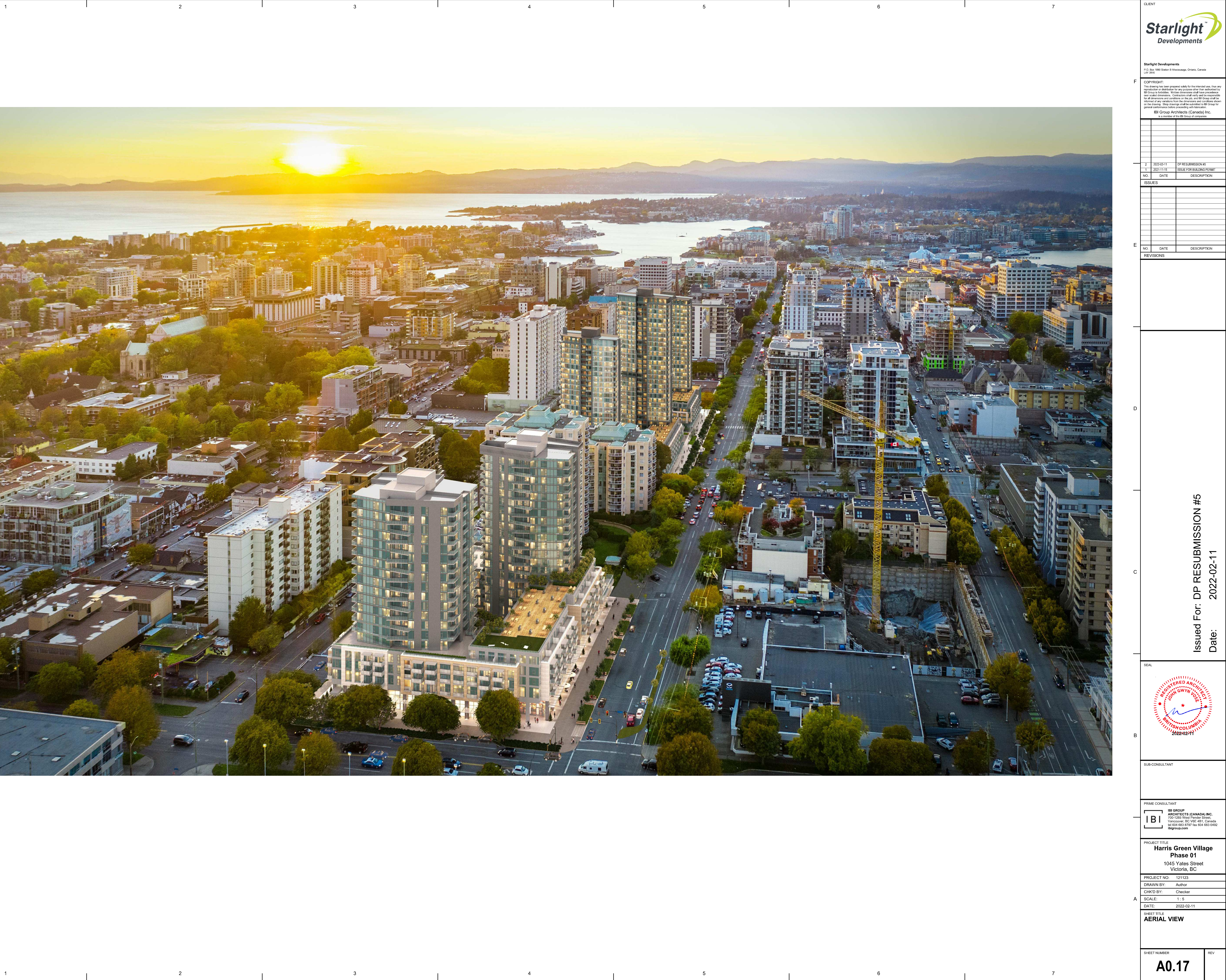
SHEET TITLE
SURVEY

SHEET NUMBER
A0.16

REV
-----

File Location: BML\2020\121123\_Yates Street - Harris Green Village\PH 1\2020\121123\_Yates Street\A0-16.dwg  
Last Saved: 2022/02/11 14:49:14 PM













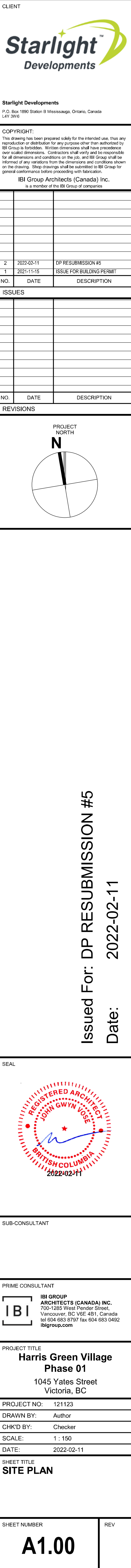




















Starlight  
Developments

Starlight Developments  
1111 West 10th Street, Vancouver, BC V6H 1T1, Canada  
417 3015

COPYRIGHT:  
The drawings are the property of Starlight Developments Inc. and shall not be reproduced or distributed for any purpose other than that intended by Starlight Developments Inc. without the prior written consent of Starlight Developments Inc. All rights reserved.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of Companies

NO.	DATE	DESCRIPTION
1	2022-02-11	DP RESUBMISSION #1
2	2022-02-11	ISSUE FOR SUBMISSION #1
3	2022-02-11	ISSUE FOR SUBMISSION #1
4	2022-02-11	ISSUE FOR SUBMISSION #1
5	2022-02-11	ISSUE FOR SUBMISSION #1
6	2022-02-11	ISSUE FOR SUBMISSION #1
7	2022-02-11	ISSUE FOR SUBMISSION #1
8	2022-02-11	ISSUE FOR SUBMISSION #1
9	2022-02-11	ISSUE FOR SUBMISSION #1
10	2022-02-11	ISSUE FOR SUBMISSION #1
11	2022-02-11	ISSUE FOR SUBMISSION #1
12	2022-02-11	ISSUE FOR SUBMISSION #1
13	2022-02-11	ISSUE FOR SUBMISSION #1
14	2022-02-11	ISSUE FOR SUBMISSION #1
15	2022-02-11	ISSUE FOR SUBMISSION #1
16	2022-02-11	ISSUE FOR SUBMISSION #1

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER WILSON  
VICTORIA, BRITISH COLUMBIA  
128249-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP  
ARCHITECTS (CANADA) INC.  
200-1200 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
Tel: 604 683 1707 Fax: 604 683 0562  
ibi-group.com

PROJECT TITLE  
Harris Green Village  
Phase 01  
1045 Yates Street  
Victoria, BC

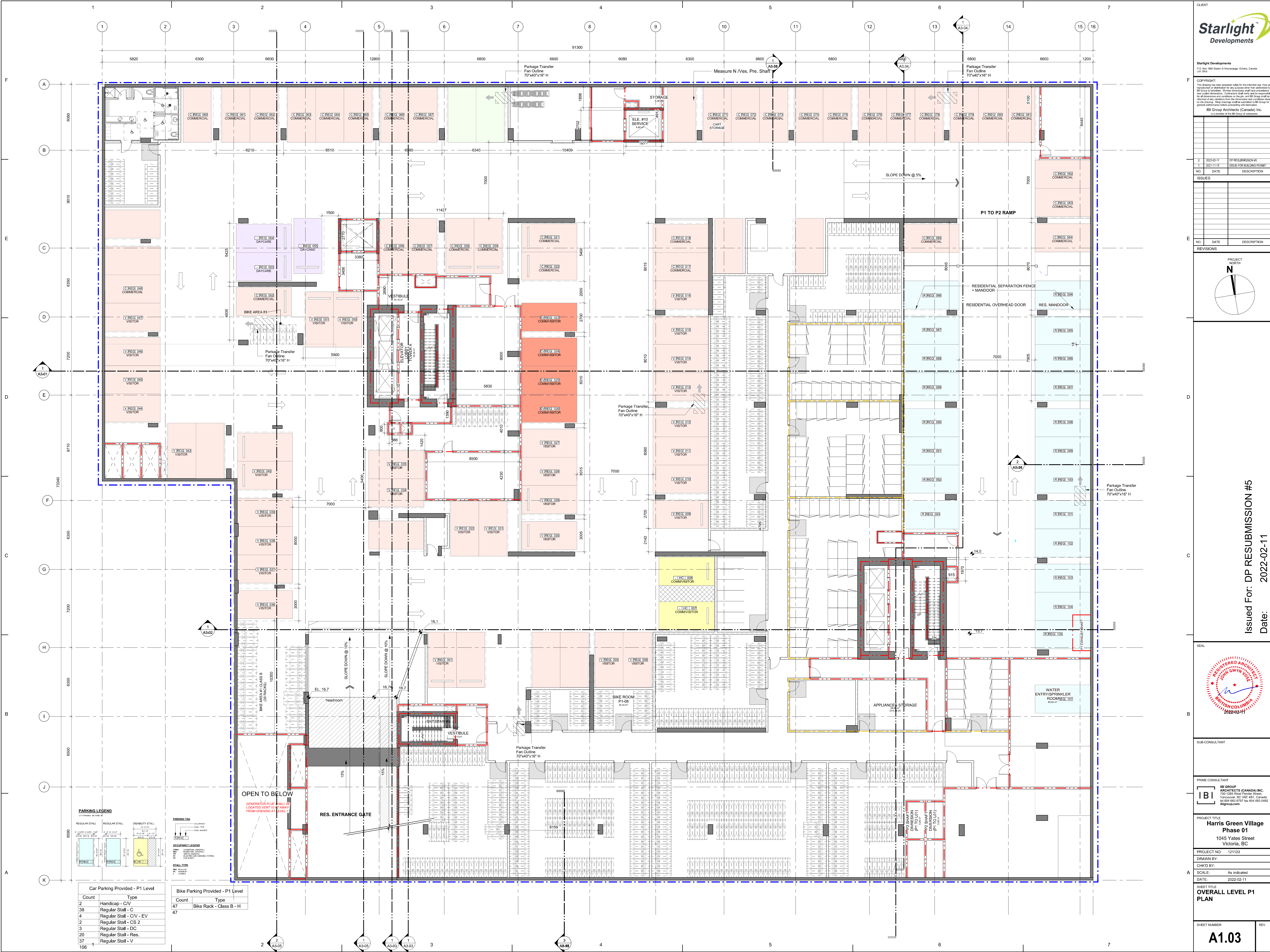
PROJECT NO.: 121123  
DRAWN BY: [blank]  
CHKD BY: [blank]  
SCALE: As indicated  
DATE: 2022-02-11

SHEET TITLE  
OVERALL LEVEL P2  
PLAN

SHEET NUMBER	REV
A1.02	

File Location: B:\1200-121123\_Victoria Green Village\Phase 01\20220211\_P2\_Plan\_Victoria\A1.02\_Plan\_Victoria.dwg  
Last Saved: 2022-02-11 13:09:54 PM





Starlight  
Developments

Starlight Developments  
1110 West 10th Street, Vancouver, BC V6H 2G6, Canada  
417 3015

COPYRIGHT:  
The design is the property of Starlight Developments and shall not be reproduced or distributed for any purpose other than that authorized by Starlight Developments. The design is provided for the use of the client and is not to be used for any other purpose without the written consent of Starlight Developments. The design is provided for the use of the client and is not to be used for any other purpose without the written consent of Starlight Developments.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of companies

NO.	DATE	DESCRIPTION
1	2022-01-11	DP RESUBMISSION #1
2	2022-02-11	DP RESUBMISSION #2
3	2022-02-11	DP RESUBMISSION #3
4	2022-02-11	DP RESUBMISSION #4
5	2022-02-11	DP RESUBMISSION #5

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

SEAL

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP  
ARCHITECTS (CANADA) INC.  
200-1000 West Pender Street  
Vancouver BC V6E 4B1, Canada  
Tel: 604 681 1707 Fax: 604 681 0562  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY: [Signature]

CHKD BY: [Signature]

SCALE: As indicated

DATE: 2022-02-11

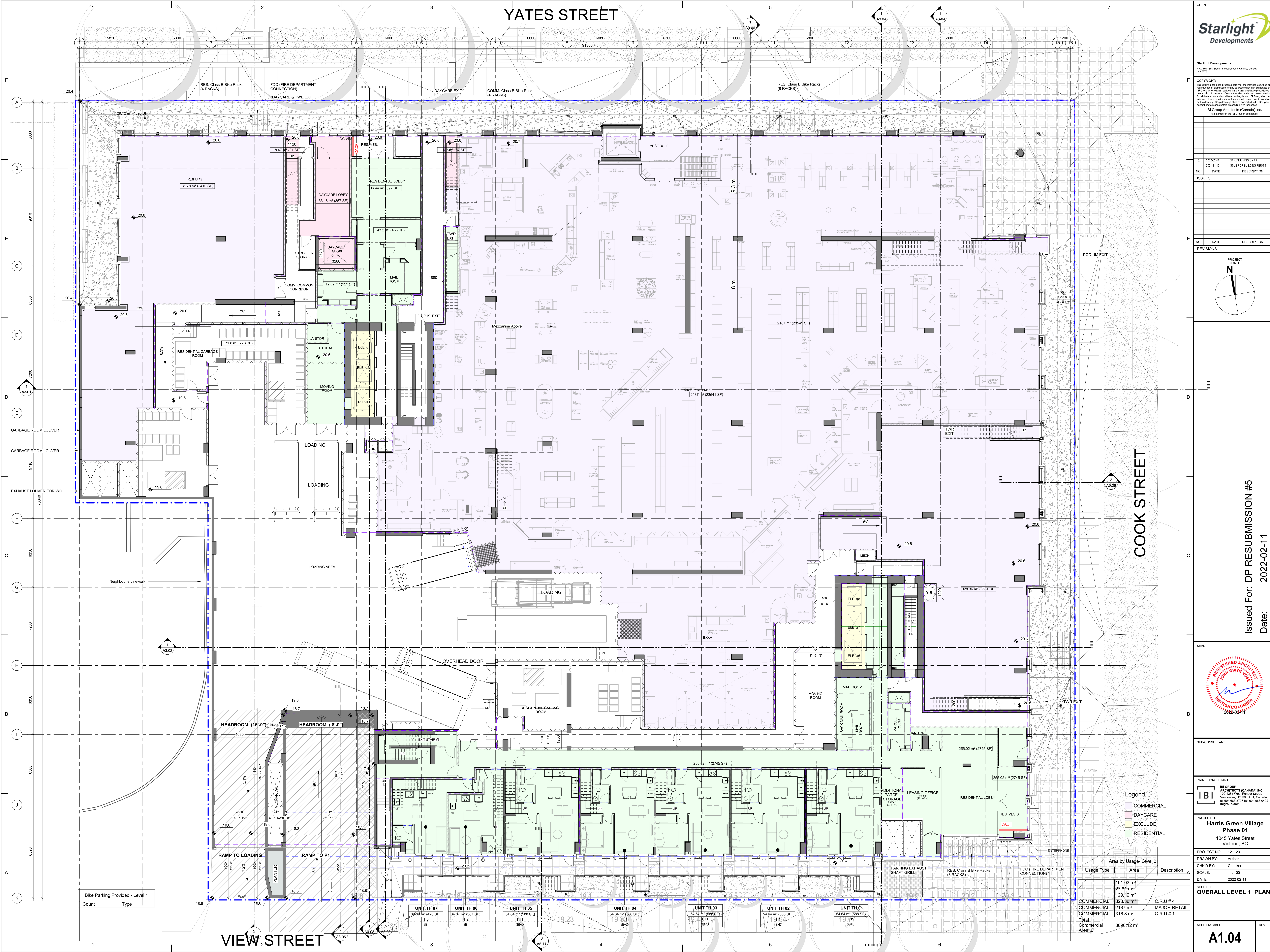
SHEET TITLE  
**OVERALL LEVEL P1  
PLAN**

SHEET NUMBER	REV
A1.03	

Car Parking Provided - P1 Level	
Count	Type
2	Handicap - C/V
38	Regular Stall - C
4	Regular Stall - C/V - EV
2	Regular Stall - CS 2
3	Regular Stall - DC
20	Regular Stall - Res.
37	Regular Stall - V
106	

Bike Parking Provided - P1 Level	
Count	Type
47	Bike Rack - Class B - H
47	





CLIENT

Starlight  
Developments

Starlight Developments  
1110 West 10th Street • Vancouver, British Columbia, Canada  
V6H 3B5

COPYRIGHT

The architect has been prepared to take no responsibility for the reproduction or distribution of any portion of this plan without the written consent of the architect. The architect shall not be responsible for any errors or omissions in this plan, and the user shall assume all responsibility for the use of this plan. The architect shall not be responsible for any damage or injury resulting from the use of this plan.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of Companies

NO.

DATE

DESCRIPTION

2

2022-02-11

DP RESUBMISSION #5

1

2021-11-15

ISSUE FOR SUBMISSION

NO.

DATE

DESCRIPTION

1

2021-11-15

ISSUE FOR SUBMISSION

PROJECT NORTH

Issued For: DP RESUBMISSION #5

Date: 2022-02-11

REGISTERED ARCHITECT

JOHN COWIN

2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP

ARCHITECTS (CANADA) INC.

700-1250 West Pender Street  
Vancouver BC V6E 4B1, Canada  
Tel: 604 683 1707 Fax: 604 683 0562  
ibigroup.com

PROJECT TITLE

Harris Green Village  
Phase 01

1045 Yates Street  
Victoria, BC

PROJECT NO.

121123

DRAWN BY:

Author

CHKD BY:

Checker

SCALE:

1 : 100

DATE:

2022-02-11

SHEET TITLE

OVERALL LEVEL 1 PLAN

SHEET NUMBER

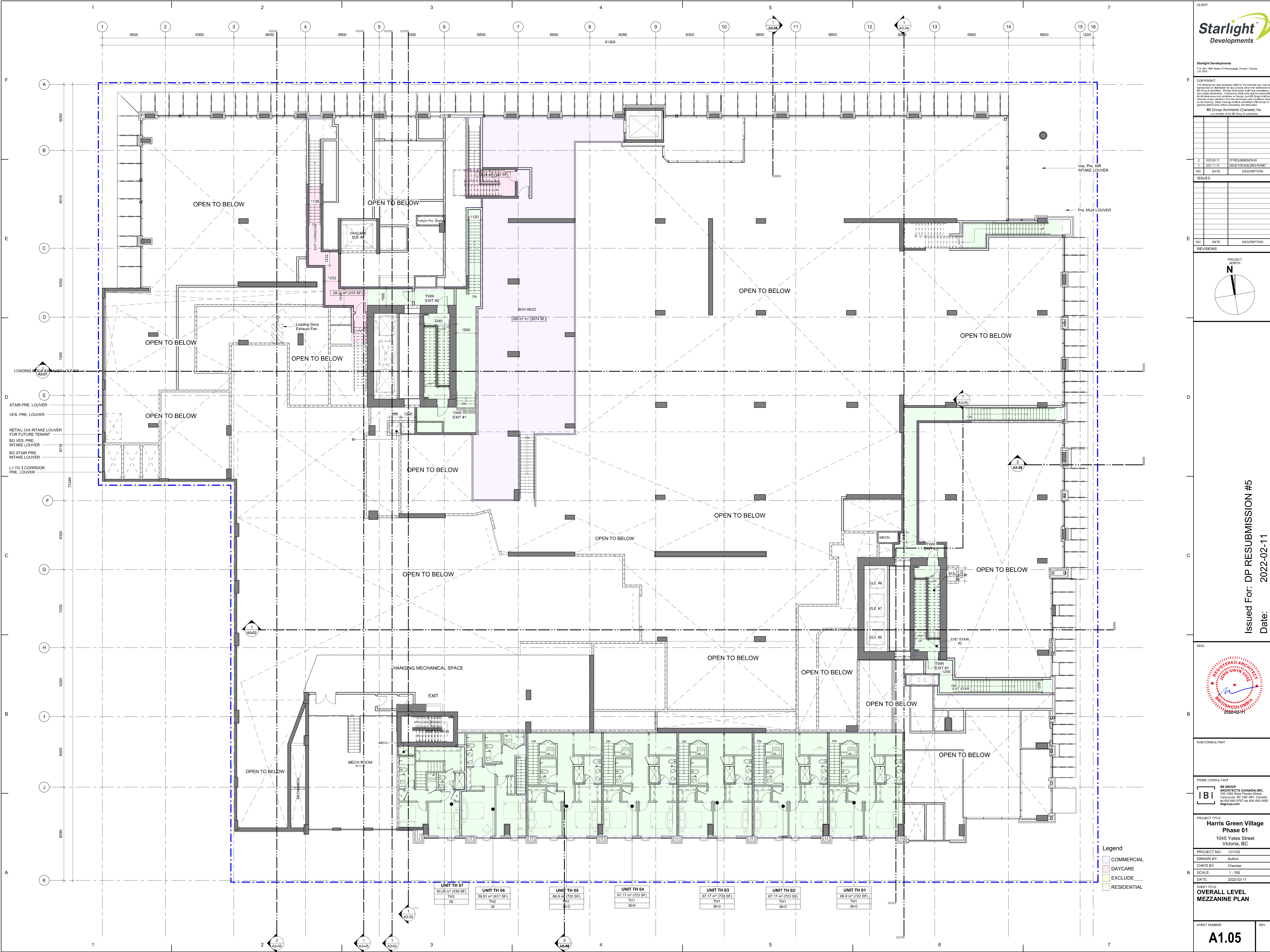
A1.04

REV

Area by Usage - Level 01

Usage Type	Area	Description
COMMERCIAL	101.03 m²	C.R.U. # 4
COMMERCIAL	27.81 m²	MAJOR RETAIL
COMMERCIAL	129.12 m²	C.R.U. # 1
COMMERCIAL	328.36 m²	
COMMERCIAL	2187 m²	
COMMERCIAL	316.8 m²	
Total	3090.12 m²	





Starlight  
Developments

Starlight Developments  
1111 West 10th Avenue, Suite 100, Vancouver, BC V6H 3G5, Canada  
417-3015

**COPYRIGHT:**  
All rights reserved. This drawing is the property of Starlight Developments. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Starlight Developments. The user of this drawing is to be held responsible for any errors or omissions. The user of this drawing is to be held responsible for any errors or omissions. The user of this drawing is to be held responsible for any errors or omissions.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of Companies

NO.	DATE	DESCRIPTION
1	2022-02-11	DP RESUBMISSION #1
2	2022-02-11	DP RESUBMISSION #1

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER WILSON  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP  
ARCHITECTS (CANADA) INC.  
700-1200 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
417-3015 / 604-683-0502  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY: Author

CHKD BY: Checker

SCALE: 1:100

DATE: 2022-02-11

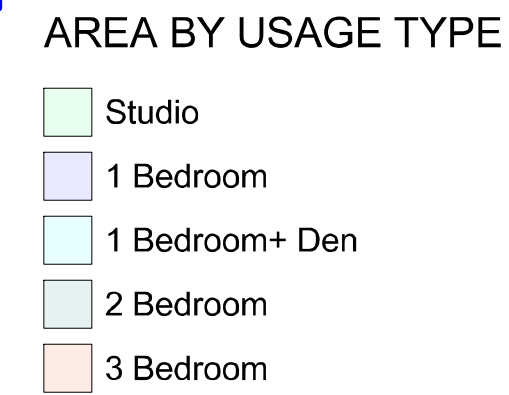
SHEET TITLE  
**OVERALL LEVEL  
MEZZANINE PLAN**

SHEET NUMBER	REV
A1.05	

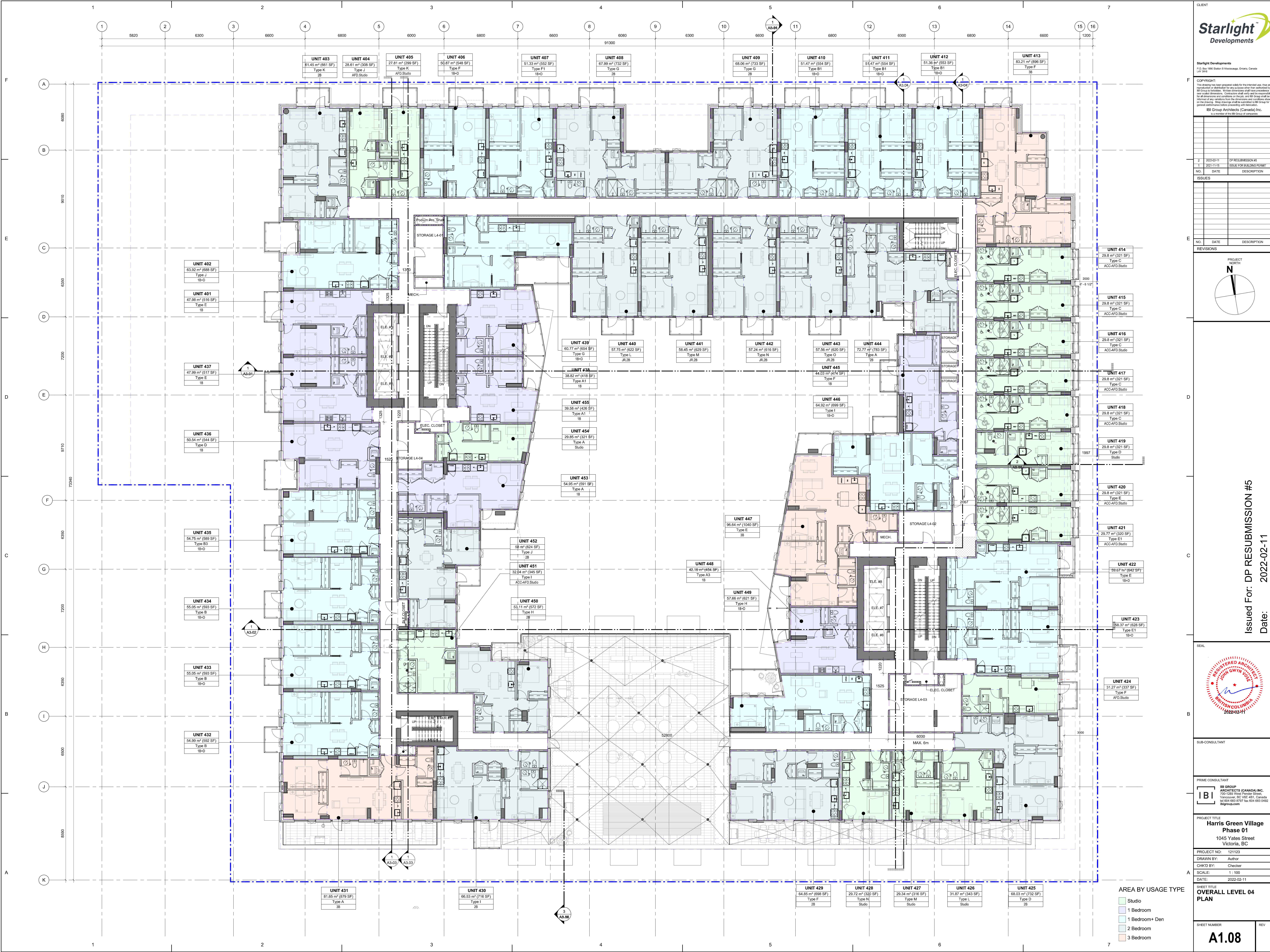












Starlight  
Developments

Starlight Developments  
110 Ave. 100 Street • Vancouver, British Columbia, Canada  
V4T 3G5

COPYRIGHT:  
The user is not permitted to reproduce or distribute this document for any purpose other than that intended by the client. The user is not permitted to use the information contained herein for any other project without the written consent of the client. The user is not permitted to use the information contained herein for any other project without the written consent of the client. The user is not permitted to use the information contained herein for any other project without the written consent of the client.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of Companies

NO.	DATE	DESCRIPTION
1	2022-02-11	ISSUE FOR SUBMISSION #5
2	2022-02-11	ISSUE FOR SUBMISSION #5

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER WILSON  
BRITISH COLUMBIA  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP  
ARCHITECTS (CANADA) INC.  
220-225 West Pender Street  
Vancouver BC V6E 4B1, Canada  
Tel: 604.681.7777 Fax: 604.681.0552  
ibi@ibi.com

PROJECT TITLE  
Harris Green Village  
Phase 01  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY: Author

CHKD BY: Checker

SCALE: 1:100

DATE: 2022-02-11

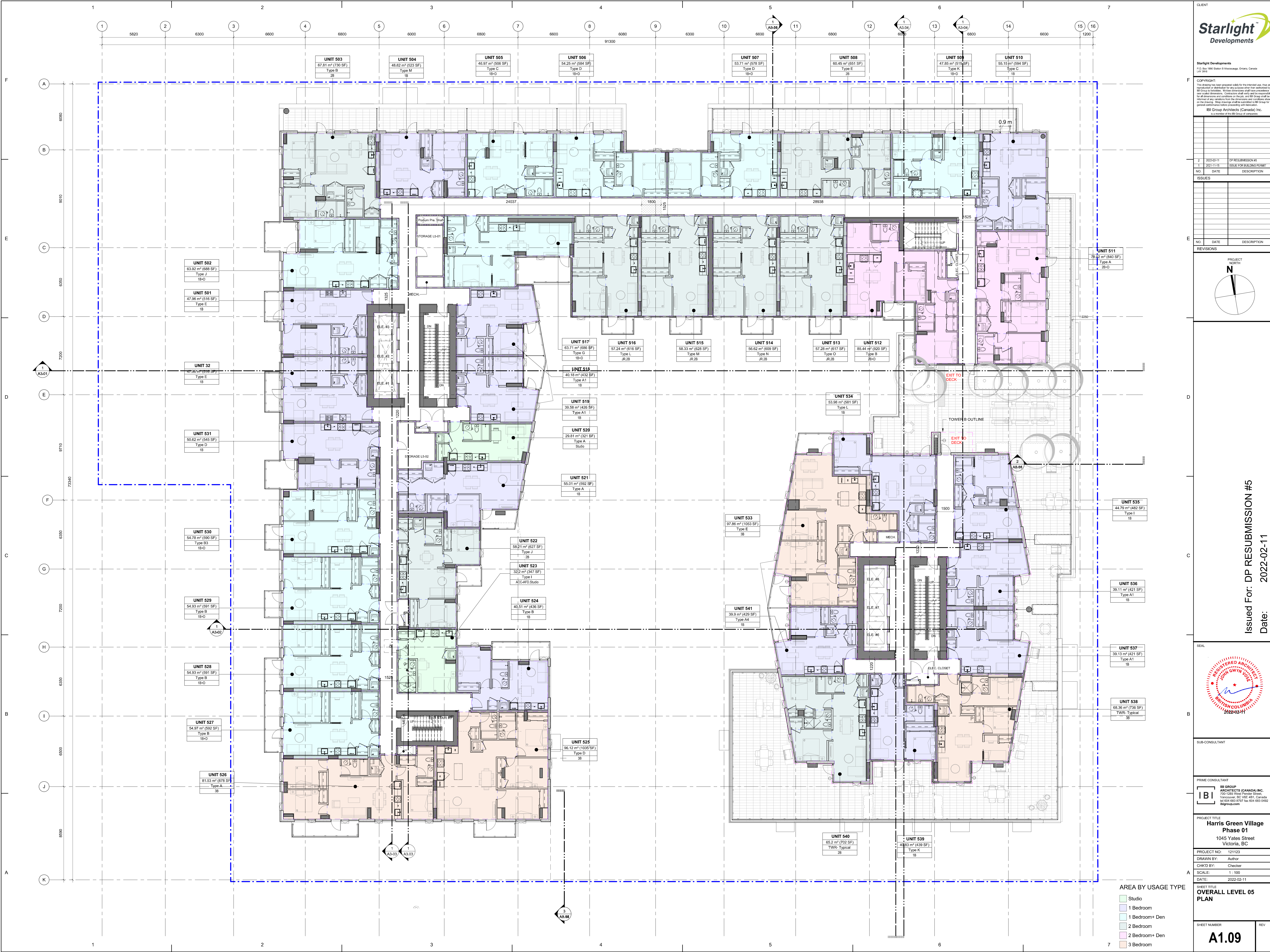
SHEET TITLE  
OVERALL LEVEL 04  
PLAN

SHEET NUMBER	REV
A1.08	

AREA BY USAGE TYPE

- Studio
- 1 Bedroom
- 1 Bedroom + Den
- 2 Bedroom
- 3 Bedroom





Starlight  
Developments

Starlight Developments  
1110 Ave. 2800 Suite 200 Mississauga, Ontario, Canada  
L4T 3B5

COPYRIGHT:  
The owner hereby grants the user permission to use this document for the intended use. This permission is granted on the condition that the user shall not reproduce or distribute this document in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the owner. The user shall also ensure that the document is not used for any purpose other than the intended use. The user shall also ensure that the document is not used for any purpose other than the intended use. The user shall also ensure that the document is not used for any purpose other than the intended use.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of Companies

NO.	DATE	DESCRIPTION
1	2022-02-11	DP RESUBMISSION #5
2	2022-02-11	ISSUE FOR SUBMISSION #5

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER LEE  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP  
ARCHITECTS (CANADA) INC.  
200-225 West Pender Street  
Vancouver BC V6E 4B1, Canada  
Tel: 604 683 7727 Fax: 604 683 0562  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY: Author

CHKD BY: Checker

SCALE: 1:100

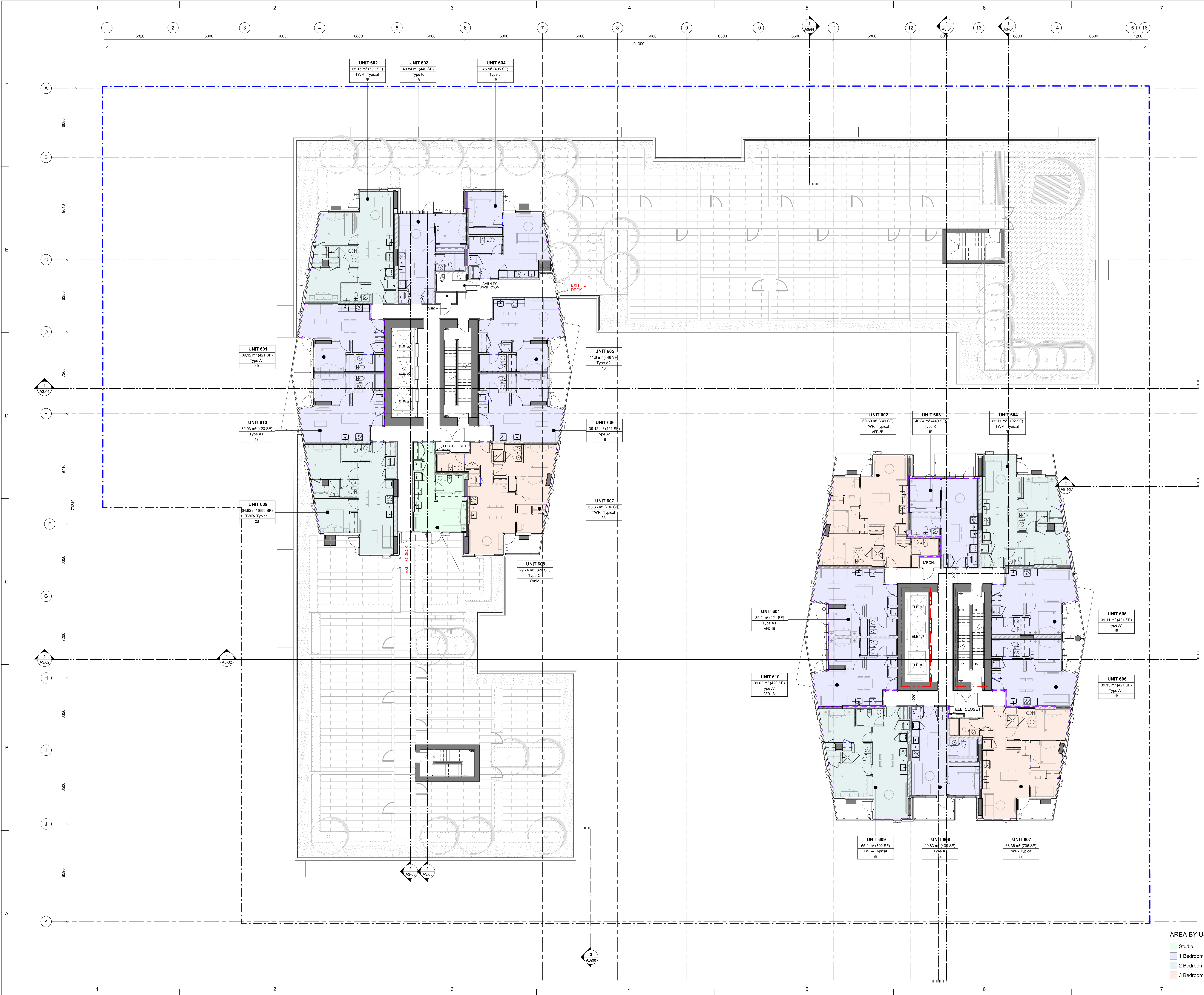
DATE: 2022-02-11

SHEET TITLE  
**OVERALL LEVEL 05  
PLAN**

SHEET NUMBER	REV
A1.09	

File Location: B:\1200\121123\_Victoria Street - Harris Green Village\Phase 01\20220211\220211\_OverallLevel05Plan.dwg  
Last Saved: 2022-02-11 10:28:38 AM





Starlight<sup>TM</sup>  
Developments

**Light Developments**

Box 1290 Station 15 Mississauga, Ontario, Canada  
M9G 1W6

---

**PYRIGHT:**

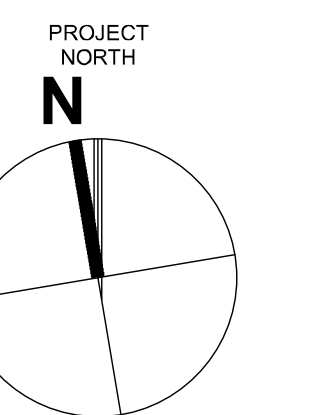
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by the group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be freed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for final confirmation before proceeding with fabrication.

**IBI Group Architects (Canada) Inc.**

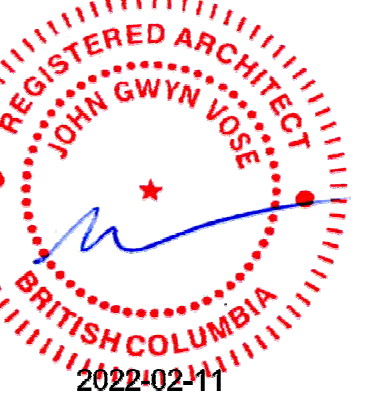
is a member of the IBI Group of companies

2022-02-11	DP RESUBMISSION #5
2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION


DATE	DESCRIPTION
UNION	



Date: 2022-02-11



I-CONSULTANT

**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700-1285 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel 604 683 8797 fax 604 683 0492  
[ibigroup.com](http://ibigroup.com)

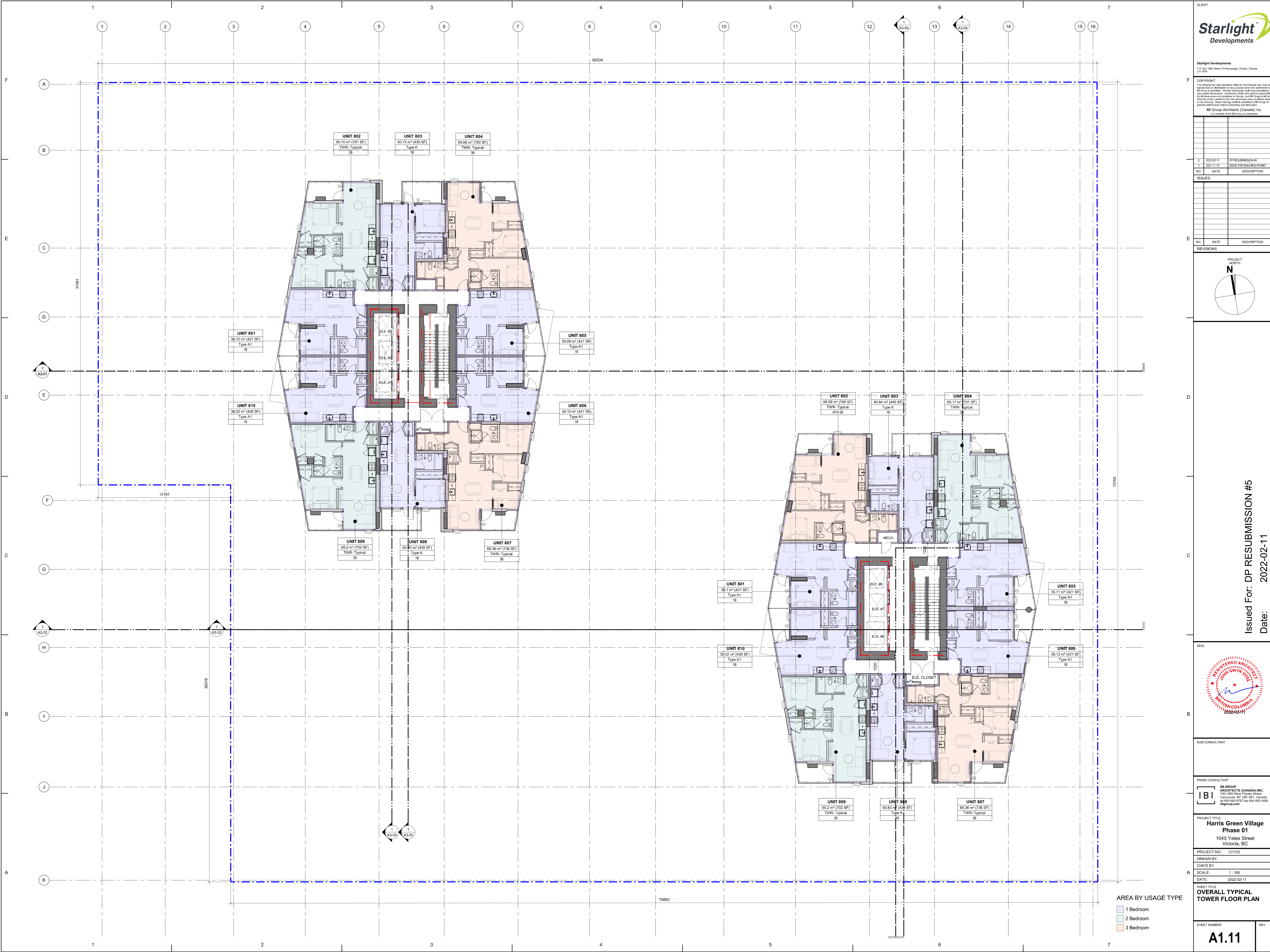
**PROJECT TITLE**  
**Harris Green Village**  
**Phase 01**  
1045 Yates Street  
Victoria, BC

AWN BY:	Author
K'D BY:	Checker
SCALE:	1 : 100
DATE:	2022-02-11

OVERALL LEVEL 06  
PLAN

SHEET NUMBER <b>A1.10</b>	REV
------------------------------	-----





Starlight  
Developments

Starlight Developments  
1111 West 10th Street, Suite 100, Vancouver, BC V6H 3G5, Canada  
417 3015

**COPYRIGHT:**  
This drawing is the property of Starlight Developments and is not to be reproduced or distributed for any purpose other than that authorized by Starlight Developments. All rights are reserved. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Starlight Developments. The drawings are provided for general information only and are not to be used for construction or other purposes without the written consent of Starlight Developments.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of companies

NO.	DATE	DESCRIPTION
1	2022-02-11	DP RESUBMISSION #5
2	2022-02-11	ISSUE FOR SUBMISSION #5

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER WILSON  
BRITISH COLUMBIA  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP  
ARCHITECTS (CANADA) INC.  
250-250 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
417 3015 / 604 680 0502  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY:

CHKD BY:

SCALE: 1 : 100

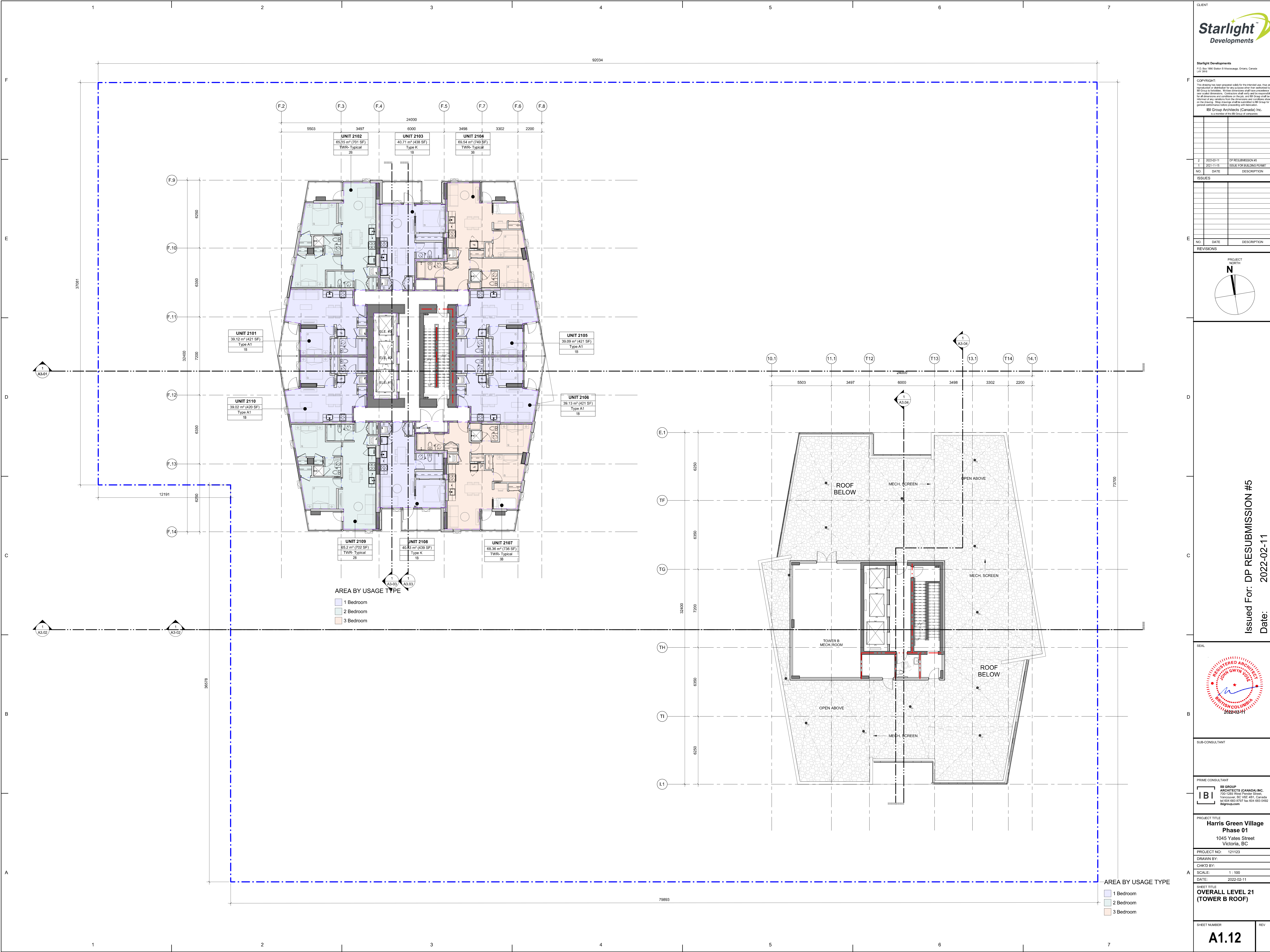
DATE: 2022-02-11

SHEET TITLE  
**OVERALL TYPICAL  
TOWER FLOOR PLAN**

SHEET NUMBER	REV
A1.11	

- AREA BY USAGE TYPE
- 1 Bedroom
  - 2 Bedroom
  - 3 Bedroom





Starlight  
Developments

Starlight Developments  
1111 West 10th Avenue, Suite 100, Vancouver, BC V6H 1T5, Canada  
417.3015

**COPYRIGHT:**  
The drawings are the property of the architect and shall not be reproduced or distributed for any purpose other than that authorized by the architect. The drawings are the property of the architect and shall not be reproduced or distributed for any purpose other than that authorized by the architect. The drawings are the property of the architect and shall not be reproduced or distributed for any purpose other than that authorized by the architect.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of companies

NO.	DATE	DESCRIPTION
1	2022-02-11	DP RESUBMISSION #1
2	2022-02-11	ISSUE FOR SUBMISSION #1

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER WYSE  
BRITISH COLUMBIA  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP ARCHITECTS (CANADA) INC.  
725-125 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
Tel: 604.683.1707 Fax: 604.683.0502  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY:

CHKD BY:

SCALE: 1 : 100

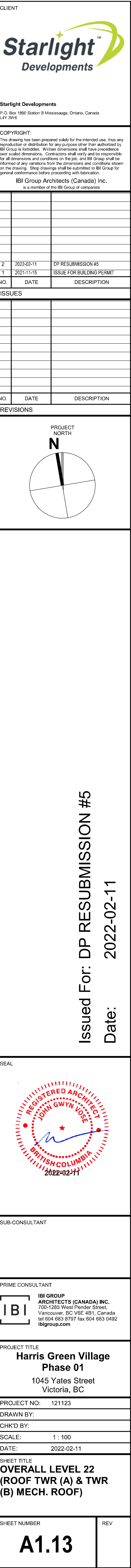
DATE: 2022-02-11

SHEET TITLE  
**OVERALL LEVEL 21  
(TOWER B ROOF)**

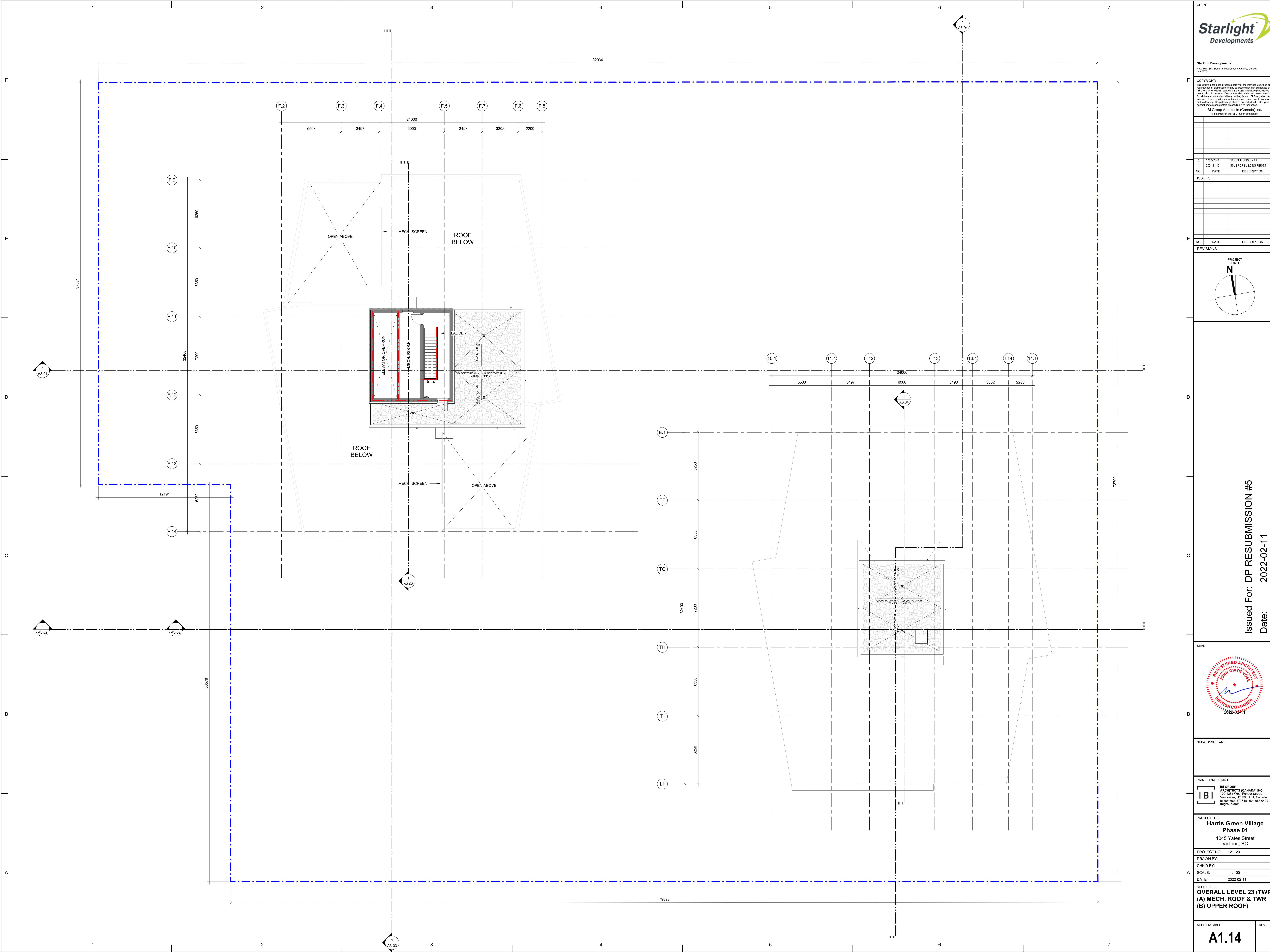
SHEET NUMBER	REV
A1.12	

File Location: B:\12000\121123\_Village Green\_Village Ph 1\2022\02-11\21\_Tower B\_Roof.dwg  
Last Saved: 2022-02-11 1:53:29 PM









Starlight  
Developments

Starlight Developments  
1111 12 Ave. 1900 Steeles W. Scarborough, Ontario, Canada  
L4T 3B5

**COPYRIGHT:**  
This drawing has been prepared solely for the intended use. No part of this drawing or any part thereof may be reproduced or distributed for any purpose other than that intended by IBI Group Architects (Canada) Inc. without the prior written consent of IBI Group Architects (Canada) Inc. IBI Group Architects (Canada) Inc. is a member of the IBI Group of Companies.

NO.	DATE	DESCRIPTION
1	2022-02-11	ISSUE FOR SUBMISSION #5
2	2022-02-11	DP RESUBMISSION #5

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JON GWIN  
BRITISH COLUMBIA  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

**IBI GROUP ARCHITECTS (CANADA) INC.**  
705-225 West Pender Street  
Vancouver BC V6E 4B1, Canada  
Tel: 604 683 1707 Fax: 604 683 0562  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO.: 121123

DRAWN BY:

CHKD BY:

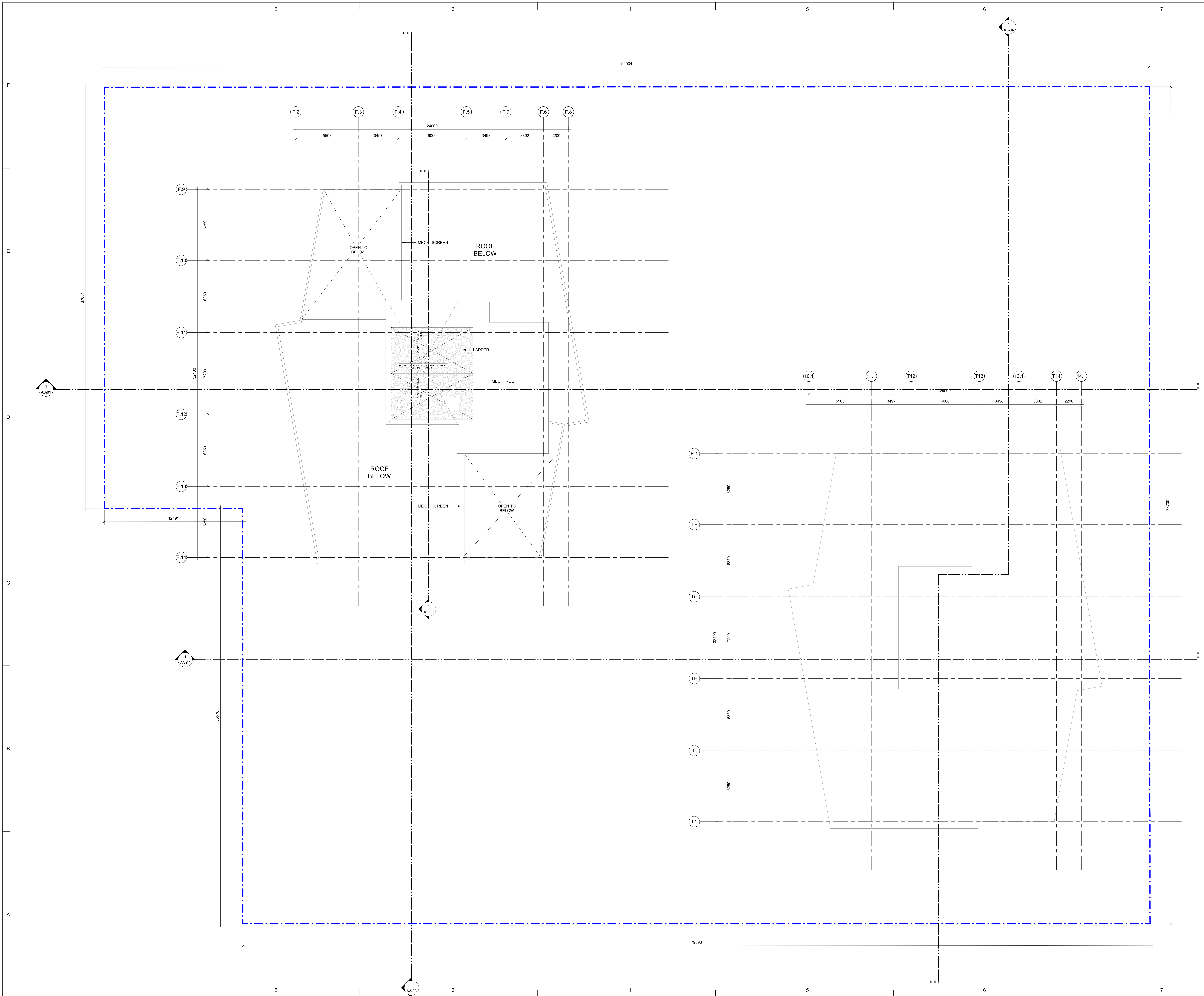
SCALE: 1 : 100

DATE: 2022-02-11

SHEET TITLE  
**OVERALL LEVEL 23 (TWR  
(A) MECH. ROOF & TWR  
(B) UPPER ROOF)**

SHEET NUMBER	REV
<b>A1.14</b>	





**Light Developments**  
 1500 Station 5 Mississauga, Ontario, Canada  
 DWG

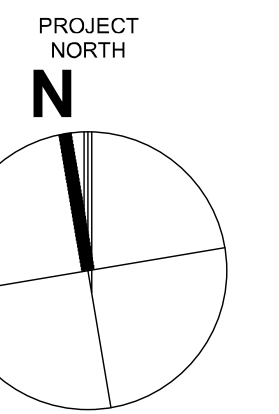
**PYRIGHT:**  
 Drawing has been prepared solely for the intended use, thus any  
 duplication or distribution for any purpose other than authorized by  
 IBI Group is forbidden. Written dimensions shall have precedence  
 over verbal dimensions. Contractors shall verify and be responsible  
 for all dimensions and conditions on the job, and IBI Group shall be  
 relieved of any variations from the dimensions and conditions shown  
 on the drawing. Shop drawings shall be submitted to IBI Group for  
 final conformance before proceeding with fabrication.

**IBI Group Architects (Canada) Inc.**  
 is a member of the IBI Group of companies

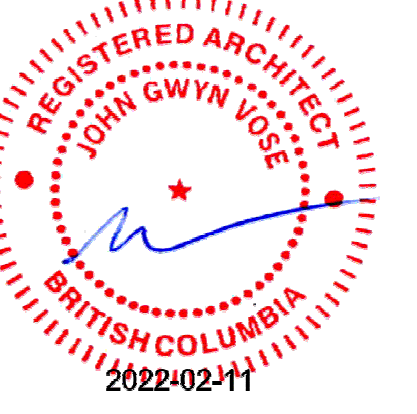
2022-02-11	DP RESUBMISSION #3
2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION
UES	

[illegible]

DATE	DESCRIPTION
DIVISIONS	



Date: 2022-02-11



1-CONSULTANT	12112
--------------	-------

**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700-1285 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel 604 683 8797 fax 604 683 0482  
[ibigroup.com](http://ibigroup.com)

**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

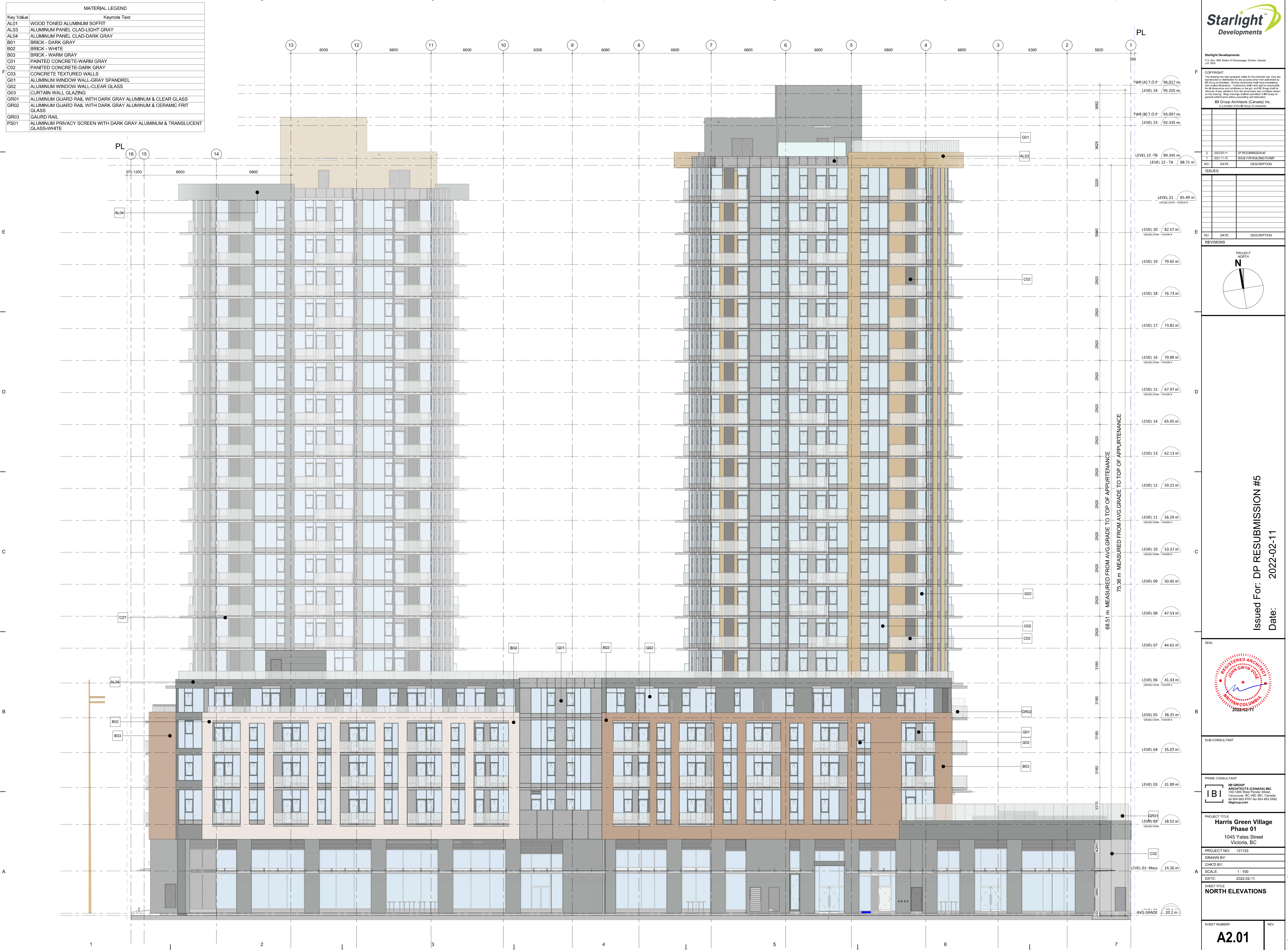
PROJECT NO:	121123
DRAWN BY:	
CHECKED BY:	
SCALE:	1 : 100
DATE:	2022-02-11

OVERALL LEVEL 24 (TWR  
) UPPER ROOF)

SHEET NUMBER <div style="font-size: 2em; font-weight: bold;">A1.15</div>	REV 
---	---------

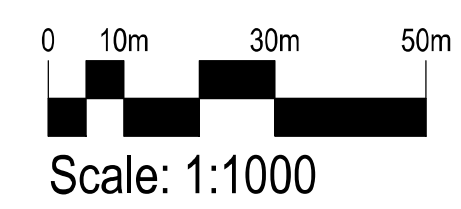
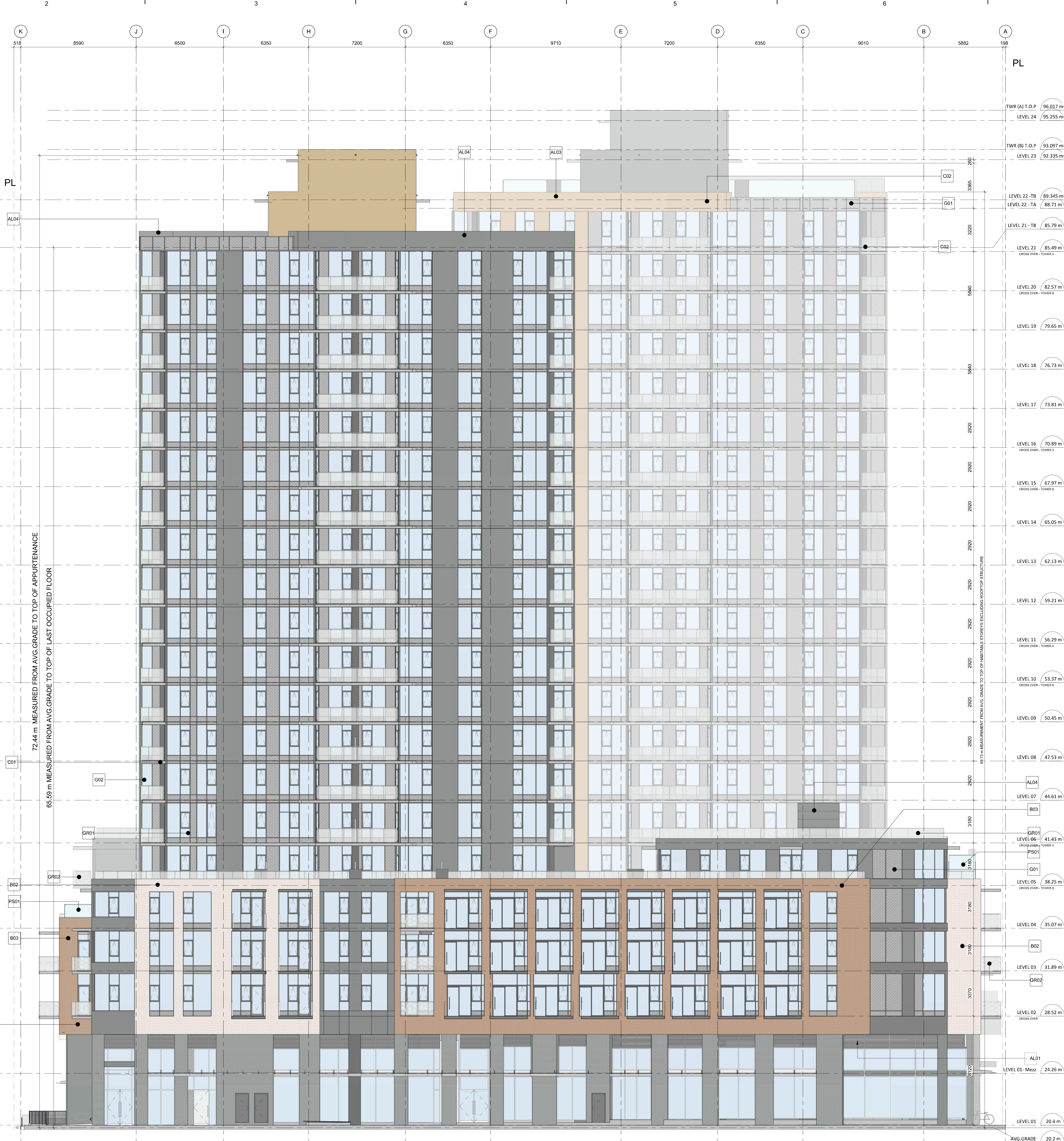


MATERIAL LEGEND		
Key Value	Keynote Text	
AL01	WOOD TONED ALUMINUM SOFFIT	
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY	
AL04	ALUMINUM PANEL CLAD-DARK GRAY	
B01	BRICK - DARK GRAY	
B02	BRICK - WHITE	
B03	BRICK - WARM GRAY	
C01	PAINTED CONCRETE-WARM GRAY	
C02	PAINTED CONCRETE-DARK GRAY	
C03	CONCRETE TEXTURED WALLS	
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL	
G02	ALUMINUM WINDOW WALL-CLEAR GLASS	
G03	CURTAIN WALL GLAZING	
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS	
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS	
GR03	GAIRD RAIL	
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE	

[illegible]



MATERIAL LEGEND		
Key Value		Keynote Text
AL01	WOOD TONED ALUMINUM SOFFIT	
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY	
AL04	ALUMINUM PANEL CLAD-DARK GRAY	
B01	BRICK - DARK GRAY	
B02	BRICK - WHITE	
B03	BRICK - WARM GRAY	
C01	PAINTED CONCRETE-WARM GRAY	
C02	PAINTED CONCRETE-DARK GRAY	
G01	CONCRETE TEXTURED WALLS	
G02	ALUMINUM WINDOW WALL-GRAY SPANDREL	
G03	CURTAIN WALL GLAZING	
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS	
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS	
GR03	GAURD RAIL	
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE	



Starlight  
Developments

Starlight Developments  
1110 Ave. 1900 Suite 10 Vancouver, British Columbia, Canada  
V6T 1A5

**COPYRIGHT:**  
This drawing is the copyrighted work of the architect. It is not to be reproduced or distributed for any purpose other than that authorized by the architect. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any construction or other work that may be done in reliance on this drawing. The architect is not responsible for any construction or other work that may be done in reliance on this drawing. The architect is not responsible for any construction or other work that may be done in reliance on this drawing.

IBI Group Architects (Canada) Inc.  
is a member of the IBI Group of Companies

NO.	DATE	DESCRIPTION
1	2022-02-11	ISSUE FOR SUBMISSION
2	2022-02-11	DP RESUBMISSION #5

PROJECT NORTH

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER LEE  
BC REG. NO. 12222  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT
<p>IBI GROUP ARCHITECTS (CANADA) INC. 705-625 West Pender Street Vancouver BC V6E 4B1, Canada Tel: 604 681 7777 Fax: 604 681 0502 ibigroup.com</p>

PROJECT TITLE
<b>Harris Green Village Phase 01</b> 1045 Yates Street Victoria, BC

PROJECT NO.
121123

DRAWN BY:
CHKD BY:

SCALE:
1:100

DATE:
2022-02-11

SHEET TITLE
<b>EAST ELEVATION</b>

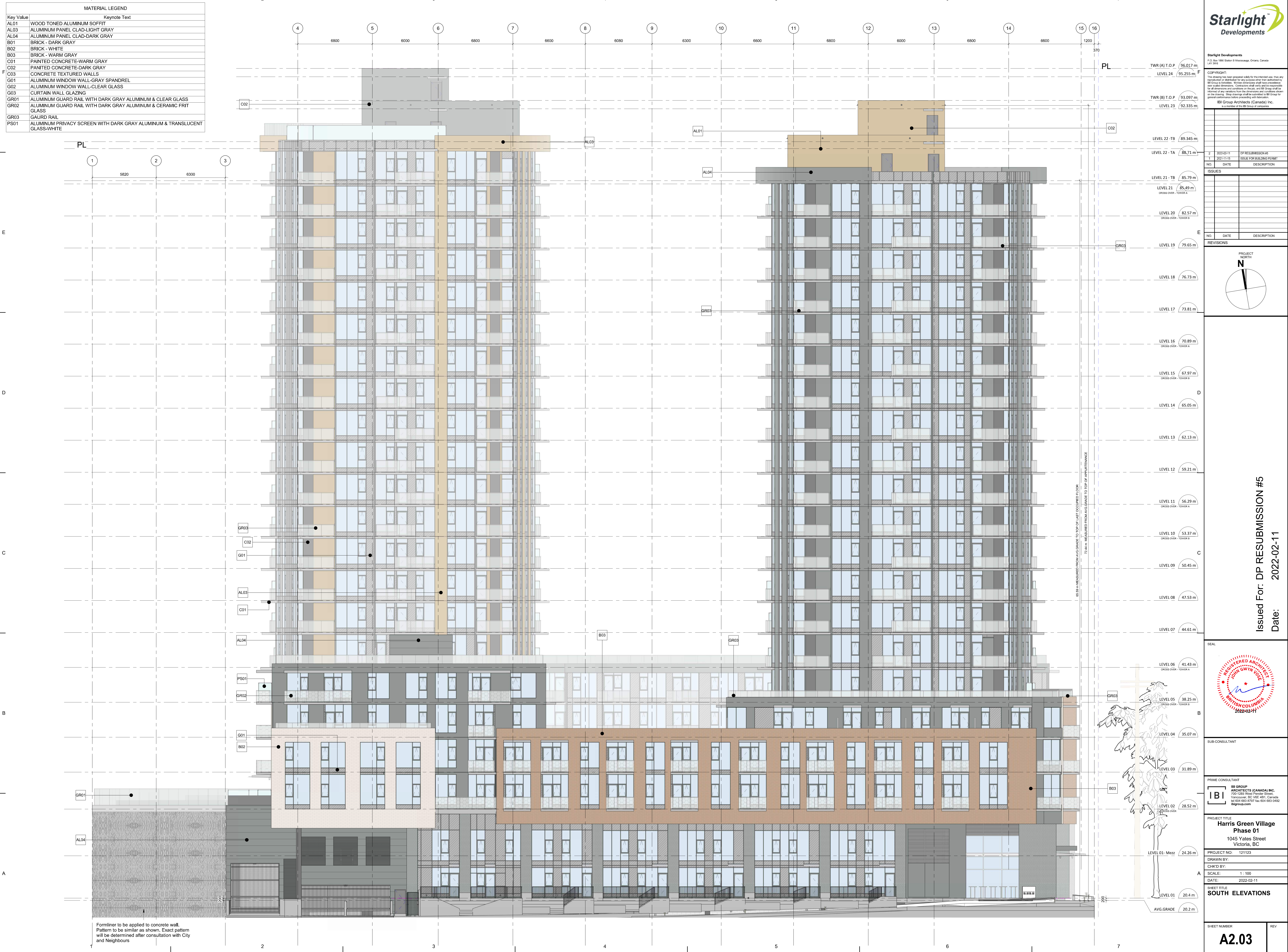
SHEET NUMBER
<b>A2.02</b>

REV

File Location: B:\12000\121123\_Village Green Village\Phase 01\2022\02-11\A2.02.dwg  
Last Saved: 2022-02-11 1:37:46 PM

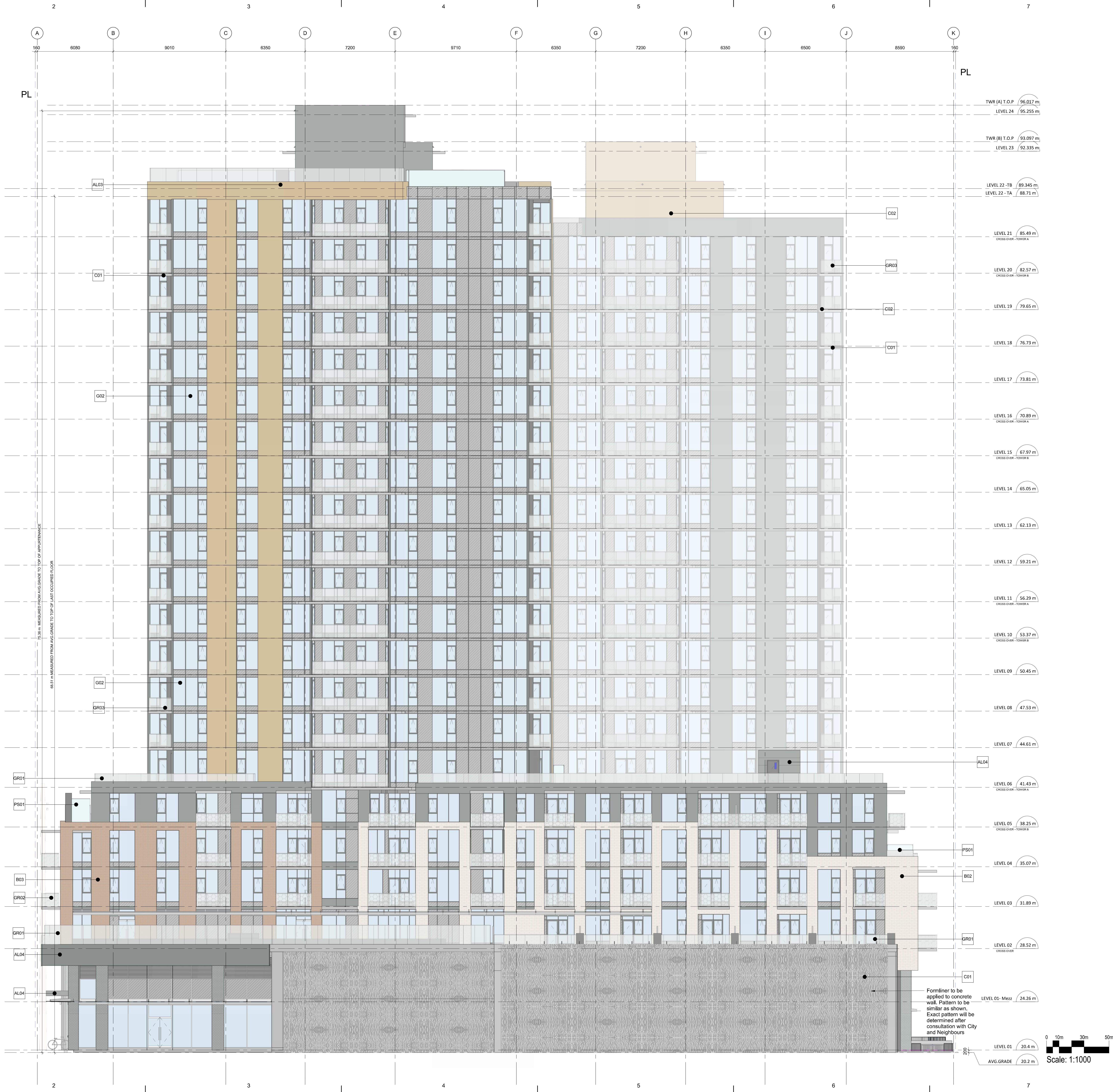


MATERIAL LEGEND	
Key Value	Keynote Text
AL01	WOOD TONED ALUMINUM SOFFIT
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY
AL04	ALUMINUM PANEL CLAD-DARK GRAY
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
G01	ALUMINUM WINDOW WALL-LIGHT GRAY SPANDREL
G02	ALUMINUM WINDOW WALL-CLEAR GLASS
G03	CURTAIN WALL GLAZING
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAUDD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE

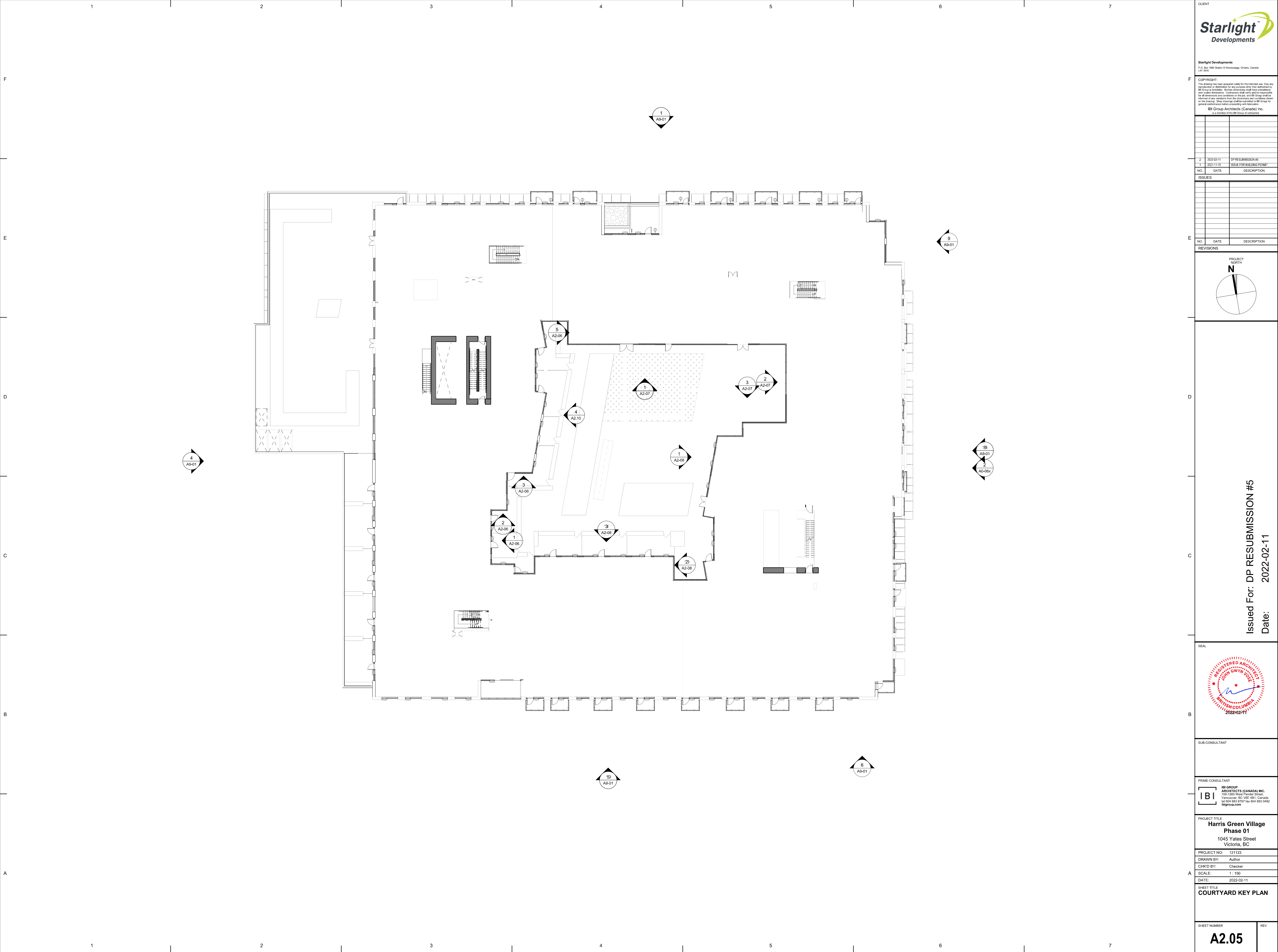




MATERIAL LEGEND	
Key Value	Keynote Text
AL01	WOOD TONED ALUMINUM SOFFIT
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY
AL04	ALUMINUM PANEL CLAD-DARK GRAY
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL
G02	ALUMINUM WINDOW WALL-CLEAR GLASS
G03	CURTAIN WALL GLAZING
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAIRD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE

[illegible]







MATERIAL LEGEND	
Key Value	Keynote Text
AL01	WOOD TONED ALUMINUM SOFFIT
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY
AL04	ALUMINUM PANEL CLAD-DARK GRAY
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL
G02	ALUMINUM WINDOW WALL-CLEAR GLASS
G03	CURTAIN WALL GLAZING
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAIRD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE

[illegible]





CLIENT

Starlight Developments

Starlight Developments

1111 West 10th Avenue, Suite 100, Vancouver, BC V6H 1A1, Canada

COPYRIGHT

© 2022 Starlight Developments. All rights reserved. This drawing is the property of Starlight Developments and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Starlight Developments. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of this drawing is also responsible for ensuring that the drawing is used in accordance with the terms and conditions of the license agreement.

IBI Group Architects (Canada) Inc.

is a member of the IBI Group of Companies

2

2022-02-11

DP RESUBMISSION #1

1

2022-02-11

ISSUE FOR SUBMISSION #1

NO.

DATE

DESCRIPTION

ISSUES

NO.

DATE

DESCRIPTION

REVISIONS

Issued For: DP RESUBMISSION #5

Date: 2022-02-11

REGISTERED ARCHITECT

JOHN GWIN

2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP ARCHITECTS (CANADA) INC.

200-205 West Pender Street

Vancouver, BC V6E 4B1, Canada

tel: 604 683 1707 fax: 604 683 0562

ibigroup.com

PROJECT TITLE

Harris Green Village Phase 01

1045 Yates Street

Victoria, BC

PROJECT NO.

121123

DRAWN BY:

Author

CHKD BY:

Checker

SCALE:

1:100

DATE:

2022-02-11

SHEET TITLE

COURTYARD ELEVATION

SHEET NUMBER

A2.07

REV

6

CY-Elevation 06

A2.11

SCALE: 1:100

7

CY-Elevation 07

A2.11

SCALE: 1:100

8

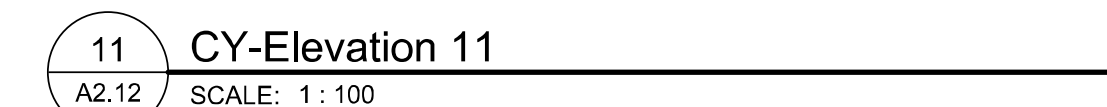
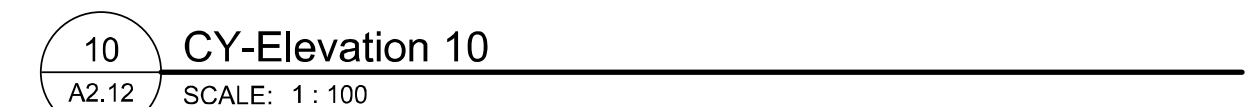
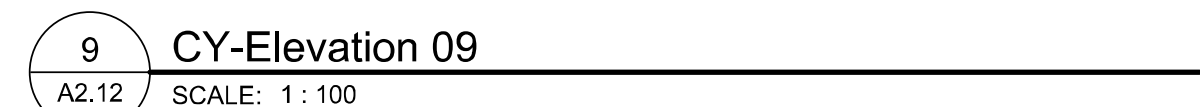
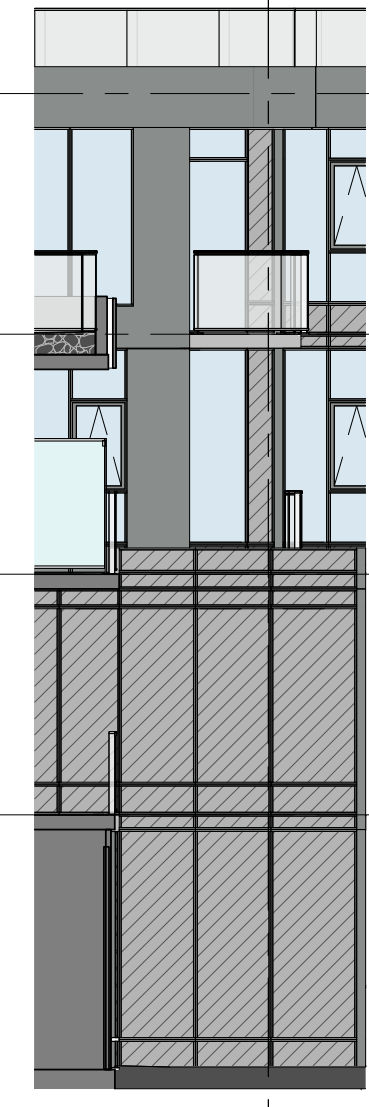
CY-Elevation 08

A2.11

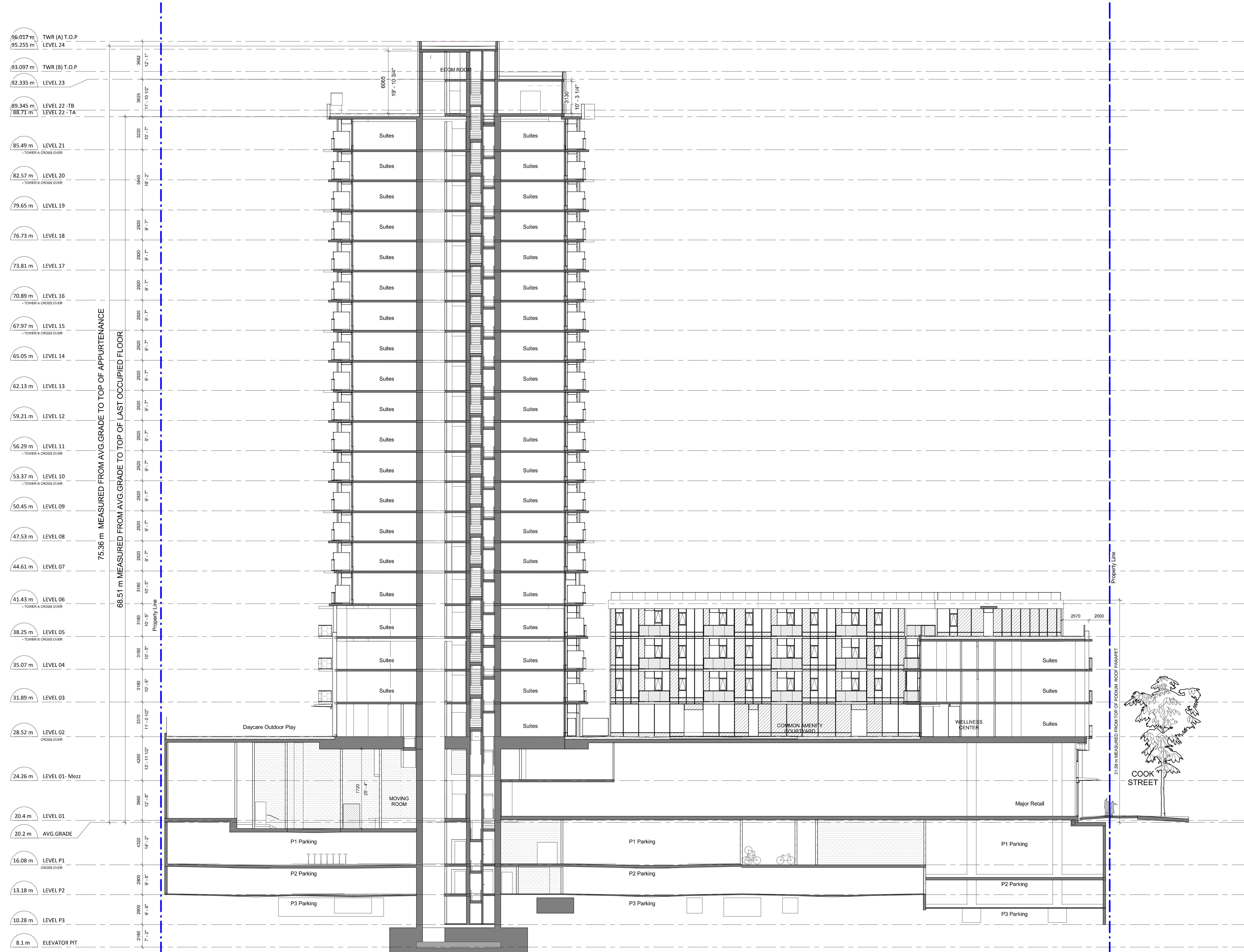
SCALE: 1:100



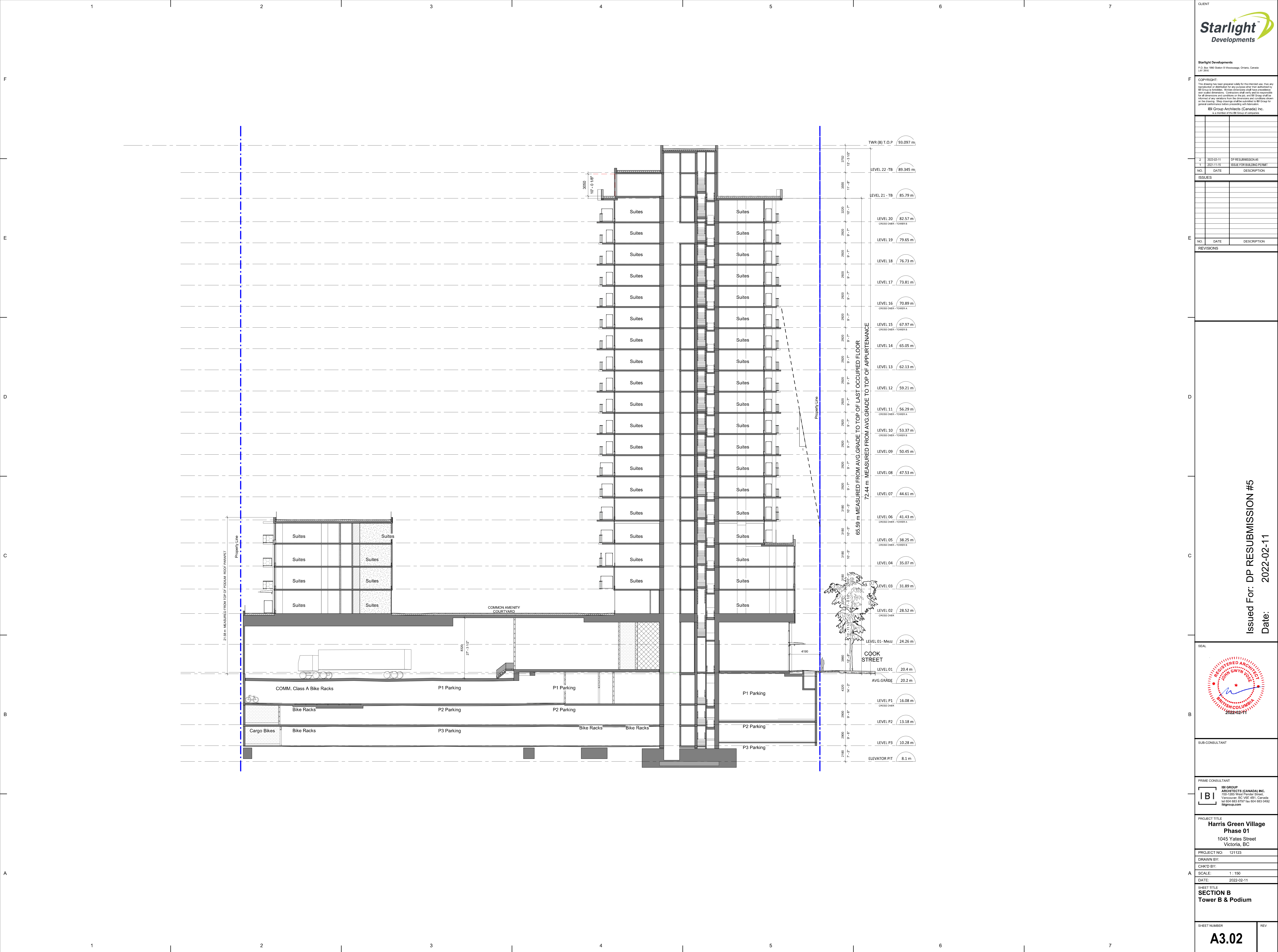
MATERIAL LEGEND	
Key Value	Keynote Text
AL01	WOOD TONED ALUMINUM SUFFIT
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY
AL04	ALUMINUM PANEL CLAD-DARK GRAY
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL
G02	ALUMINUM WINDOW WALL-CLEAR GLASS
G03	CURTAIN WALL GLAZING
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAURD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE











Starlight  
Developments

Starlight Developments  
1111 12th Ave, 1900 Suite 10, Vancouver, BC, Canada  
V6Z 1G5

**COPYRIGHT:**  
This drawing has been prepared solely for the intended use. No part of this drawing may be reproduced or distributed for any purpose other than that intended by IBI Group Architects (Canada) Inc. without the prior written consent of IBI Group Architects (Canada) Inc. All rights are reserved. IBI Group Architects (Canada) Inc. is a member of the IBI Group of Companies.

NO.	DATE	DESCRIPTION
1	2022-11-15	ISSUE FOR SUBMISSION #5
2	2022-11-15	DP RESUBMISSION #5

NO.	DATE	DESCRIPTION
1	2022-11-15	ISSUE FOR SUBMISSION #5
2	2022-11-15	DP RESUBMISSION #5

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

REGISTERED ARCHITECT  
JENNIFER WILSON  
VICTORIA, BRITISH COLUMBIA  
2022-02-11

SUB-CONSULTANT

PRIME CONSULTANT

**IBI GROUP ARCHITECTS (CANADA) INC.**  
720-1250 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
Tel: 604-683-1707 Fax: 604-683-0562  
ibigroup.com

PROJECT TITLE  
**Harris Green Village  
Phase 01**  
1045 Yates Street  
Victoria, BC

PROJECT NO: 121123

DRAWN BY:

CHKD BY:

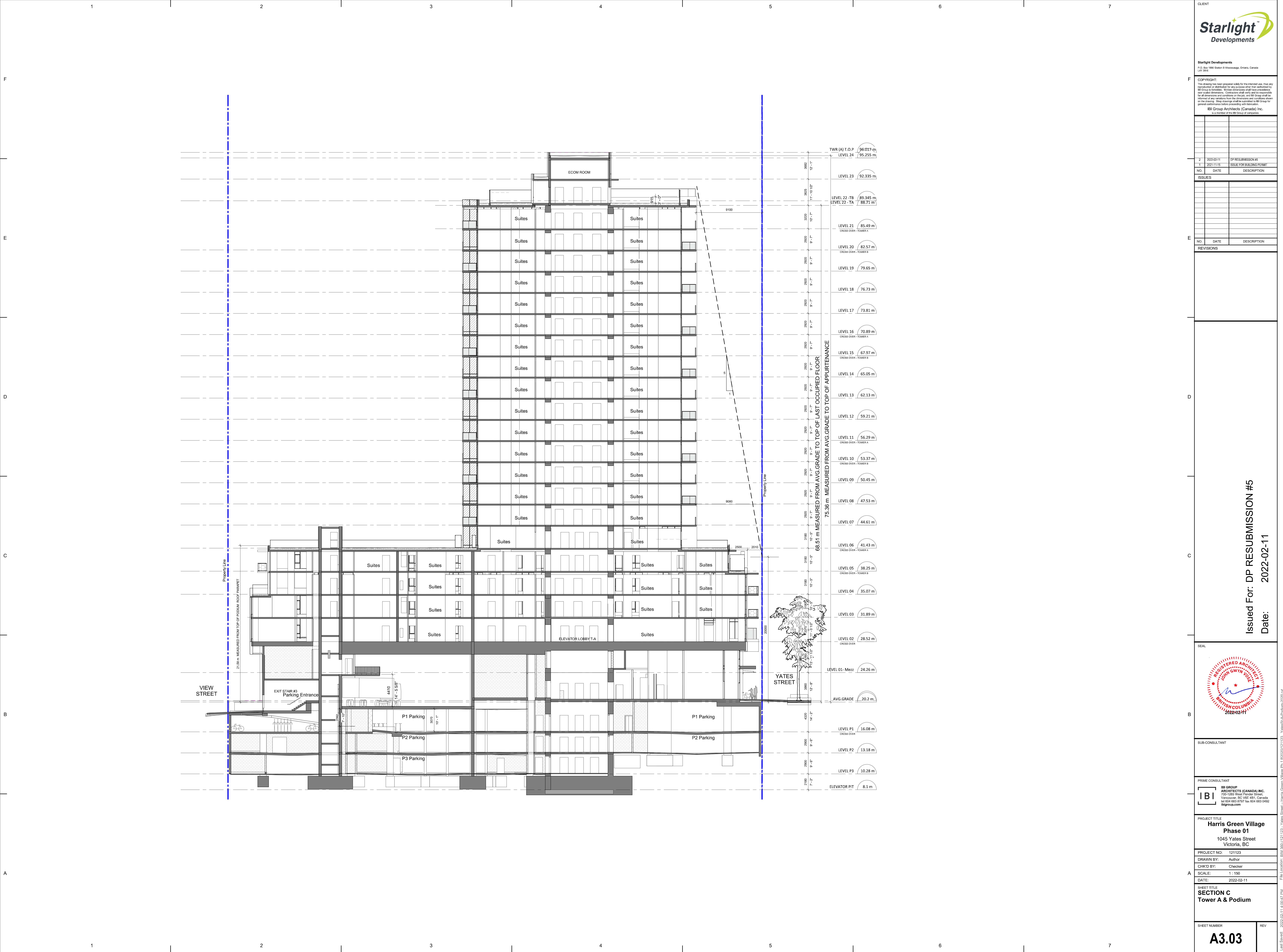
SCALE: 1:150

DATE: 2022-02-11

SHEET TITLE  
**SECTION B  
Tower B & Podium**

SHEET NUMBER	REV
<b>A3.02</b>	





Starlight  
Developments

Starlight Developments  
1111 West 10th Avenue, Suite 100, Vancouver, BC V6H 1T5, Canada  
417-3015

**COPYRIGHT:**  
This drawing has been prepared solely for the intended use. No part of this drawing may be reproduced or distributed for any purpose other than that intended by IBI Group Architects (Canada) Inc. without the prior written consent of IBI Group Architects (Canada) Inc. IBI Group Architects (Canada) Inc. is a member of the IBI Group of Companies.

NO.	DATE	DESCRIPTION
1	2022-02-11	ISSUE FOR SUBMISSION #5
2	2022-02-11	DP RESUBMISSION #5

**REVISIONS**

NO.	DATE	DESCRIPTION
-----	------	-------------

**Issued For: DP RESUBMISSION #5**  
**Date: 2022-02-11**

**REGISTERED ARCHITECT**  
**JOHN GWIN**  
**BRITISH COLUMBIA**  
**2022-02-11**

**SUB-CONSULTANT**

**PRIME CONSULTANT**

**IBI GROUP ARCHITECTS (CANADA) INC.**  
705-125 West Pender Street  
Vancouver, BC V6E 4B1, Canada  
Tel: 604-683-1707 Fax: 604-683-0852  
ibigroup.com

**PROJECT TITLE**  
**Harris Green Village Phase 01**  
1045 Yates Street  
Victoria, BC

**PROJECT NO:** 121123

**DRAWN BY:** Author

**CHKD BY:** Checker

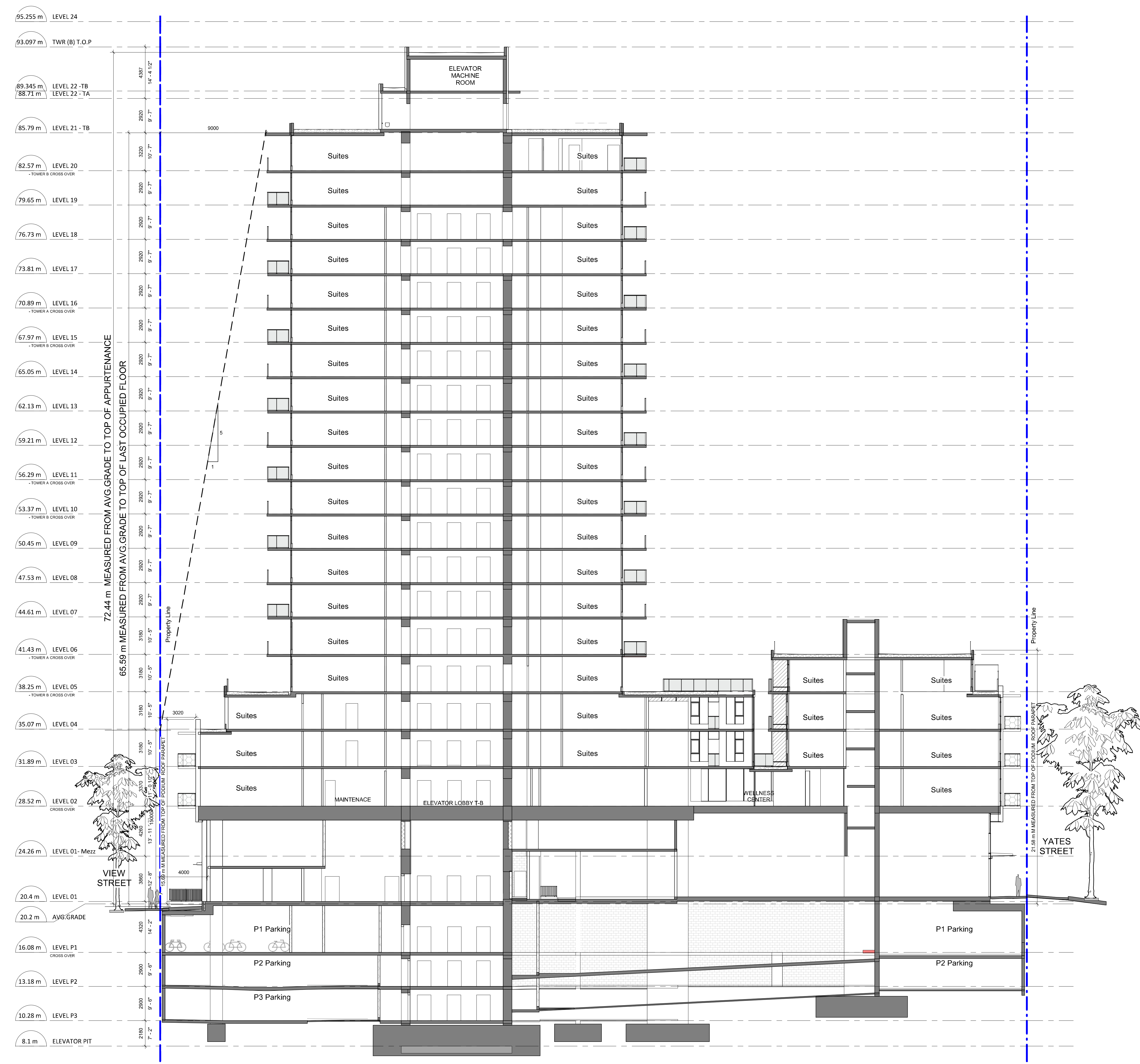
**SCALE:** 1:150

**DATE:** 2022-02-11

**SHEET TITLE**  
**SECTION C**  
**Tower A & Podium**

SHEET NUMBER	REV
<b>A3.03</b>	







**COPYRIGHT:**

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBIG is prohibited. Within the authorized use, no reproduction or use of any drawings, and/or information contained herein, may be made without the written consent of the author and/or responsible for the drawings. The drawings and/or information contained herein are the property of the author and/or responsible for the drawings. Any violation of any provision from the drawings and/or information contained herein shall be considered a breach of the copyright. Group copyright shall be retained by IBIG Group for general communication purposes notwithstanding such limitation.

© IBIG Group Architects (Canada) Inc.  
is a member of the IBIG Group of companies.

NO.	DATE	DESCRIPTION	
2	2023-02-01	DP RE SUBMISSION #5	
1	2021-11-15	ISSUE FOR BUILDING PERMIT	
ISSUES	NO.	DATE	DESCRIPTION
REVISIONS	NO.	DATE	DESCRIPTION

Issued For: DP RESUBMISSION #5  
Date: 2022-02-11

**SUB-CONSULTANT**

---

**PRIME CONSULTANT**



**IBI GROUP**  
**ARCHITECTS (CANADA) INC.**  
700-1285 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel 604 683 8797 fax 604 683 0482  
[ibigroup.com](http://ibigroup.com)

PROJECT TITLE	
<b>Harris Green Village</b>	
<b>Phase 01</b>	
1045 Yates Street	
Victoria, BC	
PROJECT NO:	121123
DRAWN BY:	MP
CHECK BY:	DP
SCALE:	1 : 1
DATE:	2022-02-11
SHEET TITLE	
<b>FSR CALCULATION</b>	
<b>SUMMARY</b>	
SHEET NUMBER	REV
<b>A7-00</b>	

SCALE:	1 : 1
DATE:	2022-02-11

---

SHEET TITLE  
**FSR CALCULATION  
SUMMARY**

---

SHEET NUMBER  <b>A7-00</b>	REV
----------------------------------	-----