



Advisory Design Panel Report

For the Meeting of February 26, 2025

To: Advisory Design Panel **Date:** February 14, 2025
From: Geordie Gordon, Senior Planner – Planning and Development
Subject: **Development Permit with Variances Application No. 000647 for 1909 Cook Street and 1110 & 1112 Caledonia Avenue**

EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Development Permit with Variances Application (DPV) for 1909 Cook Street and 1110 & 1112 Caledonia Avenue Street and provide advice to Council.

The proposal involves the removal of the heritage designation and demolition of the single family dwelling at 1112 Caledonia Avenue and the development of 11 residential units in townhouse form on the existing surface parking lot on Cook Street. The proposal requires a Rezoning, Heritage Alteration Permit and Development Permit with Variances Application. While the applications are related, the ADP is requested to comment only on the DPV application.

Staff are looking for commentary from the Advisory Design Panel with regard to:

- proposed new buildings relationship with Caledonia Avenue and Cook Street
- impact of the removal of the heritage dwelling
- setbacks
- building layout design
- provision of open site space
- any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

BACKGROUND

Applicant:	Fr. Yuriy Vyshnevskyy,
Architect:	Ms. Heather Spinney, Architect AIBC Studio PA
Development Permit Area:	Development Permit Area 17(HC), North Park Village and District
Heritage Status:	1112 Caledonia Avenue – Registered Heritage Building

Description of Proposal

The proposal is to demolish the fire-damaged heritage-designated building at 1112 Caledonia Avenue and construct 11 new rental townhouse style residential dwelling units in two buildings on the current surface parking lot that is accessed off Cook Street. The surface parking is proposed to be relocated to the site of the existing heritage building with access off Caledonia Ave.

The proposal includes the following major design components:

- demolition of the existing heritage designated building at 1112 Caledonia Avenue
- construction of two new three-storey residential buildings containing a total of 11 residential units (10 net new).
- pedestrian walkway from Cook Street to access residential units in the rear building (Building B)
- relocation of surface parking lot and entrance to Caledonia Avenue.

Exterior finishes include:

- hardiplank lap siding in two colours (grey and slate) with red trim
- opaque panel railing system
- black railing system.

Landscaping elements include:

- three additional trees (in addition to those retained onsite)
- hardscape materials: concrete, unit pavers, gravel
- landscape features: log benches, trellis, rocks
- a variety of shrubs and perennials for planting areas.

The following data table compares the proposal with the URMD Zone, Urban Residential Multiple Dwelling District. An asterisk is used to identify where the proposal is less stringent than the existing Zone. Additionally, the key City policy that pertains to the area has been included in this table.

Zoning Criteria	Proposal	Zone Standard (URMD)	OCP Policy	Fernwood Neighbourhood Policy
Site area (m ²) – minimum	1915.00	1840.00	-	-
Density (Floor Space Ratio) – maximum	0.61:1	2.0:1	2.5:1	2.5:1
Total floor area (m ²) – maximum	1168	3830	4,787.5	4,787.5
Height (m) – maximum	14 (existing, TBC) 8.95 (proposed)	18.50	-	-
Storeys – maximum	3	6	4 to 6	4 to 6
Site coverage (%) – maximum	42.50*	40.00	-	-
Open site space (%) – minimum	48.7*(TBC)	50.00	-	-
Setbacks (m) – minimum				
Front (Cook Street, post dedication)	Balcony – 0.485 (TBC) Building face – 2.95 (TBC)	4.00	-	-
Rear (E)	2.00	10.00		
Side (N)	3.5 – Bldg. A 4.00 – Bldg. B	6.00		
Side (Caledonia Avenue)	>4.00 (Bldg. A and B)	4.00		

Zoning Criteria	Proposal	Zone Standard (URMD)	OCP Policy	Fernwood Neighbourhood Policy
Vehicle parking – minimum	10* total	20 total		
Visitor	1	1		
Van Accessible	0*	1	-	-
Accessible	1	0		
Visitor Van Accessible	0	0		
Visitor Accessible	0	0		
Bicycle parking stalls – minimum			-	-
Short term	6*	15		
Long term	18	14		

Sustainability Features

The applicant has not identified any sustainability features beyond the minimum requirements.

Consistency with Policies and Design Guidelines

Official Community Plan

The subject property is designated as Large Urban Village in the Official Community Plan (OCP), which supports low and mid-rise residential and multi-unit mixed use buildings with a height ranging from four to six storeys and a base density of 1.5:1 Floor Space Ratio (FSR) up a maximum of approximately 2.5:1 FSR.

The proposal is consistent with the use envisioned in the OCP, though the built form, height, and density are all significantly lower than envisioned in the Large Urban Village Designation.

While there is no requirement to develop a site to the highest and best use permitted under applicable land development policies, the lower density form may not be the most efficient form of development and have adverse impacts on site design and open space. The OCP presents the preferred pattern of development and resulting urban fabric; this proposal represents a departure from that vision.

The OCP identifies the subject properties within Development Permit Area 17 (HC) North Park Village and District, which establishes objectives for the form and character of multifamily development.

Fernwood and North Park Neighbourhood Plans

The *Fernwood Neighbourhood Plan* (FNP, 2022) is consistent with the OCP and identifies the subject properties in the Large Urban Village Designation and the use and built form policies.

The subject property is within the North Park Village, as a “Shared Large Urban Village” as it sits on the border of Fernwood and North Park neighbourhoods and defers to the North Park Neighbourhood Plan (NPNP, 2022) for future directions for the village area. The NPNP describes the village as the heart of the North Park neighbourhood. Future directions of the North Park Village contained within the Neighbourhood Plan include support for a range of scale in future development, a high quality of urban design, connected public realm, housing choice, and increased urban forestry and landscaping.

Design Guidelines for Development Permit Area 17 (HC)

Relevant Design Guidelines for this DPA are:

- *General Urban Design Guidelines* (2022)
- *Guidelines for Fences, Gates and Shutters* (2010)
- *Standards and Guidelines for the Conservation of Historic Places in Canada*
- *City of Victoria Heritage Program Sign & Awning Guidelines* (1981)

ISSUES AND ANALYSIS

The following sections identify and provide a brief analysis of the areas where the Panel is requested to provide commentary. The Panel’s commentary on any other aspects of the proposal is also welcome.

Relationship with Caledonia Avenue and Cook Street

The General Urban Design Guidelines specify that where a redevelopment is on a corner site, both street frontages should be developed as front elevations. The guidelines also indicate that ground floor units should incorporate individual entrances and that where a residential use is provided at ground level that there should be strong entry features and building design that encourages interaction with the street.

As proposed, the townhouse units have not been developed to address both the Caledonia Avenue and the Cook Street elevations. The location of the existing church on the corner of the site presents obstacles to satisfying this guideline, as the new building placement is not on the corner. Addressing both frontages may be challenging, but staff are seeking ADP input on options to improve the Caledonia Avenue frontage as a front elevation.

Staff are also looking for input on options to improve the Cook Street elevation to improve entry features and interaction with the street.

Removal of the heritage dwelling

While advice to Council on the proposed removal of the heritage-designated dwelling is primarily the purview of the Heritage Advisory Design Panel (HAPL), the removal will have a significant impact on the fabric of the Caledonia Avenue streetscape. The General Urban Design Guidelines specify that new development should respond to the established orientation of building to fronting streets and to established pedestrian friendly streets. The proposed removal of the heritage building will have a negative impact on the established character of Caledonia Avenue. Staff are looking for input on options to mitigate the impact of heritage removal, if authorized by Council.

The removal of the heritage building and replacement with surface parking also presents challenges, as the guidelines specify that parking should be underground or tuck under style. Where this cannot be provided, the parking area should be well screened. There is limited screening of the parking area proposed, and staff are looking for options to improve the parking layout and screening. Options to improve could include additional landscaping elements.

Building layout design

The proposed construction of the new townhouse units consists of two separate buildings. While there are no specific design considerations that require all units be contained within the same building on site, staff are looking for input on the efficiency of the proposed building design and the impact on setbacks and open site space. Providing all units in one building might result in a more efficient site layout and improved setbacks and open space.

Setbacks

The General Urban Design Guidelines suggest an 8m minimum setback from the rear lot line. The proposed rear lot line setback is 2m. The proposed rear yard setback may be insufficient to mitigate privacy and overlook issues for the yard to the east. As noted above, the building layout design may not be suitable for the site when considering the impact to building setbacks. Staff are looking for input on possible revisions that could address site layout and setback conditions.

Provision of open site space

Under the General Urban Design Guidelines, new development should provide a range of common outdoor amenity space that encourages social interaction, play, urban food production, and supports the city's urban forestry goals.

As currently proposed, the application maintains a significant amount of open site space (approximately 49%), but the way the space is intended to be utilized may not achieve the intended goals of the guidelines. Staff are therefore looking for suggestions on how the open space may be improved to provide opportunities for social interaction and play.

OPTIONS

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

Option One

That the Advisory Design Panel recommends to Council that Development Permit Application No. 000647 for 1909 Cook Street and 1110 & 1112 Caledonia Avenue be approved as presented.

Option Two

That Advisory Design Panel recommends to Council that Development Permit Application No. 000647 for 1909 Cook Street and 1110 & 1112 Caledonia Avenue be approved with the following changes:

- as listed by the ADP.

Option Three

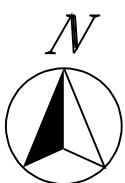
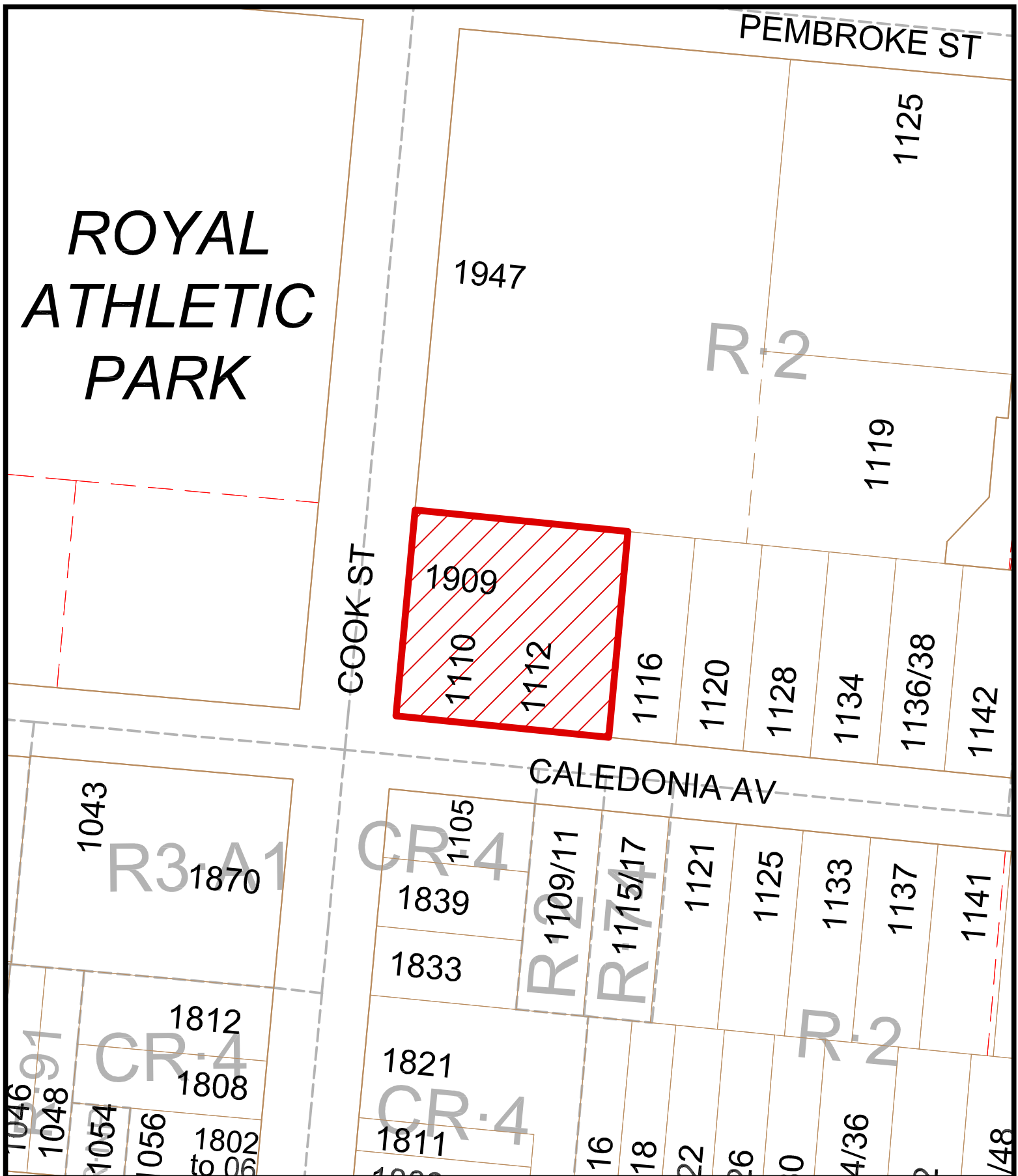
That the Advisory Design Panel recommend to Council that Development Permit Application No. 000647 for 1909 Cook Street and 1110 & 1112 Caledonia Avenue does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

- as listed by the ADP, if there is further advice on how the application could be improved.

ATTACHMENTS

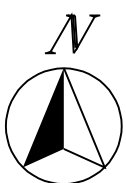
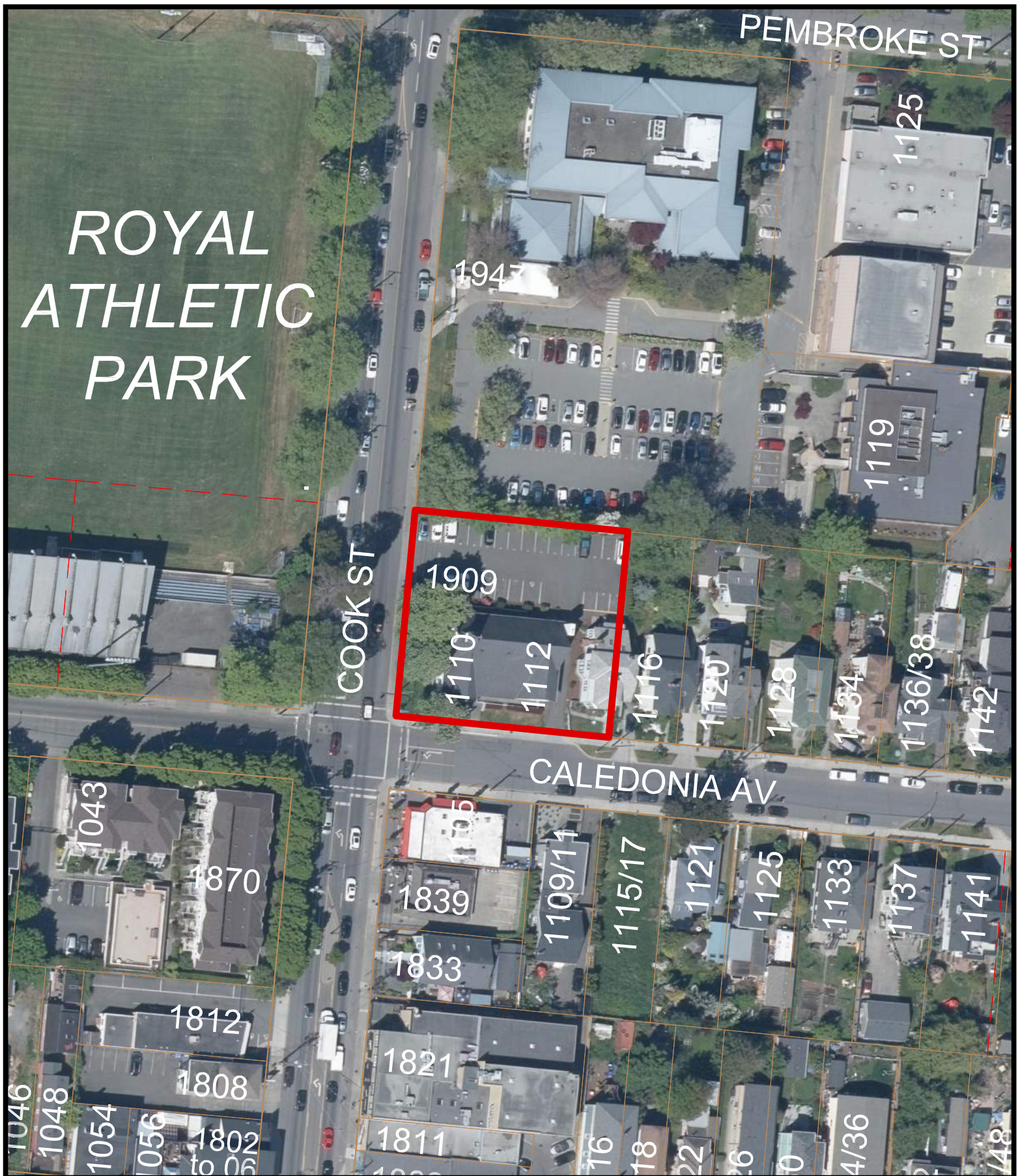
- Subject Map
- Aerial Map
- Plans date stamped November 22, 2024
- Applicant's letters dated November 22, 2024 and January 28, 2025.

cc: Yuriy Vyshnevskyy, Applicant; Heather Spinney, Architect.



1909 Cook Street
Rezoning No.00884





1909 Cook Street
Rezoning No.00884



UKRAINIAN CHURCH - NEW HOUSING

PROPOSED PROJECT INFORMATION

LEGAL ADDRESS	LOT A PLAN VIP52712 VICTORIA SUBURBAN LOT 17, SEC 339 LGA
CIVIC ADDRESS	1909 COOK STREET + 1110 AND 1112 CALEDONIA AVENUE
ESTIMATED SITE AREA	1,915 m ² / 20,613 ft ² / 0.195 Ha. +/-
EXISTING OCP	
URBAN PLACE DESIGNATION (MAP 2):	LARGE URBAN VILLAGE (40% OF POPULATION GROWTH) ENHANCE NORTH PARK VILLAGE WITH NEW PUBLIC SPACES AND BUSINESS AND HOUSING DIVERSITY
BUILT FORM:	LOW-RISE AND MID-RISE MULTI-UNIT BUILDINGS UP TO APPROXIMATELY SIX STOREYS INCLUDING ROW-HOUSES AND APARTMENTS
PLACE CHARACTER FEATURES:	ONE TO THREE STOREY BUILDING FACADES DEFINE THE STREET WALL REGULARLY SPACED BOULEVARD AND STREET TREE PLANTING, WIDE SIDEWALKS OFF-STREET PARKING UNDERGROUND, AT THE REAR OR OTHERWISE SCREENED CENTRAL PUBLIC GREEN SPACE OR SQUARE
DENSITY:	TOTAL FLOOR SPACE RATIOS GENERALLY UP TO 1.5:1
LOCAL AREA PLANNING PRIORITIES (MAP 3):	NORTH PARK VILLAGE = PRIORITY 2
DEVELOPMENT PERMIT	DPA 17 (HCL) (MAP 3A): NORTH PARK VILLAGE AND DISTRICT SUPPORT THE CONTINUES EVOLUTION OF NORTH PARK VILLAGE AS A VIBRANT MIXED-USE CENTRE FOR THE SURROUNDING NEIGHBOURHOODS ENHANCE THE URBAN FOREST IN THE MORE URBAN PARTS OF THE NORTH PARK NEIGHBOURHOOD
EXISTING ZONING	R-2 ZONE, TWO FAMILY DWELLING DISTRICT
PROPOSED RE-ZONING	NEW COMPREHENSIVE DEVELOPMENT
TOTAL FLOOR AREA	EXIST. CHURCH = 628 m ² (ESTIMATED) TOWNHOUSES = 540 m ² TOTAL = 1,168 m ²
BLDG AREA	EXIST. CHURCH = 362 m ² (ESTIMATED) TOWNHOUSES = 289 m ² TOTAL = 651 m ²
FLOOR AREA RATIO	PERMITTED = 1.2 : 1 (BASED ON "HOUSING OPPORTUNITY" URBAN PLACE DESIGNATION) PERMITTED = 1.4 : 1 (BASED ON CR-4 ZONING) PERMITTED = 1.5 : 1 (BASED ON "LARGE URBAN VILLAGE" URBAN PLACE DESIGNATION) PROPOSED = 0.6 : 1
SITE COVERAGE	PERMITTED = MAX. 40% BASED ON R-2 ZONE PROPOSED = 42.5 %
OPEN SITE SPACE	PERMITTED = MIN. 30% BASED ON R-2 ZONE PROPOSED = 48.7 %
HEIGHT	PERMITTED = 12 m (BASED ON CR-4 ZONE) EXISTING CHURCH = 14 m +/- PROPOSED TOWNHOUSES = 8.9 m +/-
NUMBER OF STOREYS	PERMITTED = 4 STOREYS (BASED ON CR-4 ZONE) PROPOSED = 3 STOREYS
PARKING	PER SCHEDULE C = ATTACHED DWELLING ATTACHED DWELLING = 1.0 SPACES PER DWELLING UNIT (6) VISITOR = 0.10 SPACES PER DWELLING UNIT (1) PLACE OF WORSHIP = 1 / 80m ² = 7 TOTAL REQ'D = 14 TOTAL PROVIDED = 10 (INCL. 1 BARRIER-FREE) ENERGIZED EV = 1 PER REQ'D VEHICLE PARKING SPACE
BIKE PARKING	REQUEST PARKING VARIANCE OF 4 TRADE-OFF = GREENSPACE + ENHANCED BIKE PARKING + TRANSIT PASSES PER SCHEDULE C = ATTACHED DWELLING
BUILDING SETBACKS	CLASS 1 (LONG TERM) = 1 PER DWELLING UNIT (11) CLASS 2 (SHORT TERM)=6 SPACES OR 0.1 SPACES / DWELLING UNIT (WHICHEVER IS GREATER) (6) TOTAL REQ'D = 17 TOTAL PROVIDED = 24
RESIDENTIAL USE DETAILS	FRONT YARD = 4.4 m (DEDICATION) REAR YARD = 2.0 m NORTH SIDE YARD = 3.5 m & 4.0 m SOUTH SIDE YARD = 1.38 m (DEDICATION) COMBINED SIDE YARDS = 11.28 m TOTAL NUMBER OF UNITS = 11 1 BEDROOM = 5 3 BEDROOM = 6 GROUND-ORIENTED UNITS = 11 MINIMUM UNIT FLOOR AREA = 54 m ² TOTAL RESIDENTIAL FLOOR AREA = 573 m ²



CONCEPTUAL VIEW FROM CALEDONIA



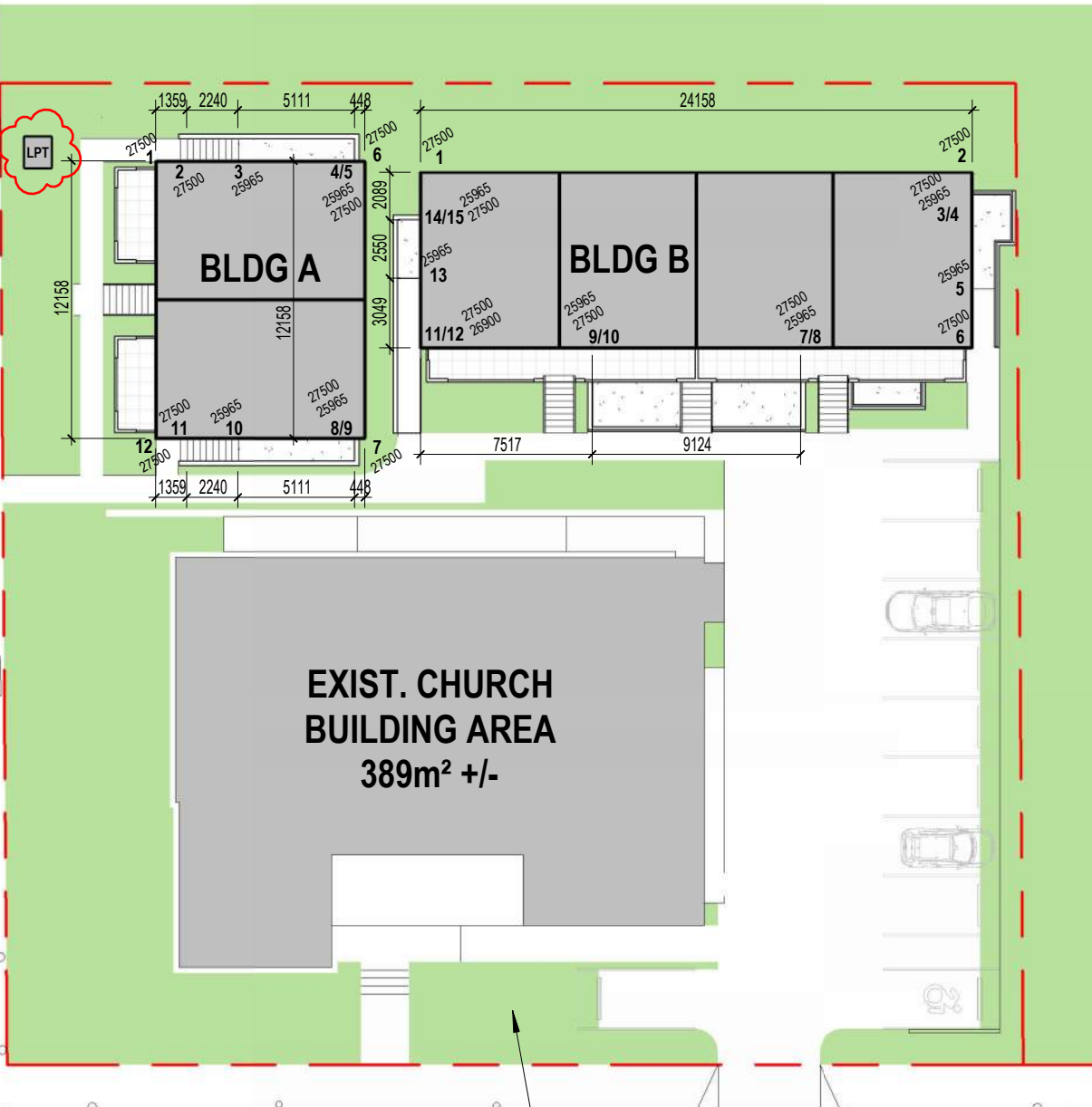
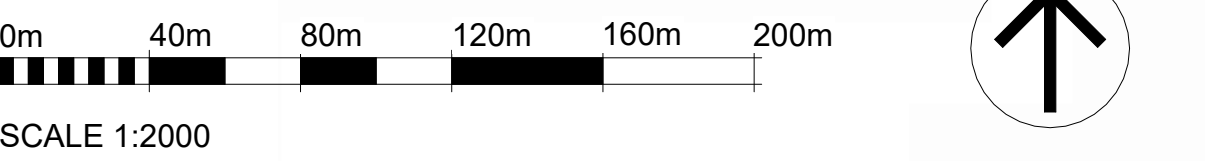
PHOTO OF EXISTING SITE

AVERAGE GRADE CALCULATION BLDG A					
Grade Pts	Grade	Grade Points	Avg of Pts	Distance	Totals
1	27.50	1 and 2	27.50	1359	37372.50
2	27.50	2 and 3	26.73	2240	59680.80
3	25.97	3 and 4	25.97	5111	132707.12
4	25.97	5 and 6	27.50	448	12320.00
5	27.50	6 and 7	27.50	12158	334345.00
6	27.50	7 and 8	27.50	448	12320.00
7	27.50	9 and 10	25.97	5111	132707.12
8	27.50	10 and 11	26.73	2240	59680.80
9	25.97	11 and 12	27.50	1359	37372.50
10	25.97	12 and 1	27.50	12158	334345.00
11	27.50	16 and 17			
12	27.50	18 and 19			
Total / perimeter of building = 42632				1153250.83	TOTALS
Grade Calculation				27.05	AVERAGE GRADE BLDG A

AVERAGE GRADE CALCULATION BLDG B					
Grade Pts	Grade	Grade Points	Avg of Pts	Distance	Totals
1	27.50	1 and 2	27.50	24158	664345.00
2	27.50	2 and 3	27.50	2089	57447.50
3	27.50	4 and 5	25.97	3036	78629.74
4	25.97	5 and 6	26.73	2563	68515.40
5	25.97	6 and 7	27.50	7517	206717.50
6	27.50	8 and 9	25.97	9124	236904.66
7	27.50	10 and 11	27.50	7517	206717.50
8	25.97	12 and 13	26.43	3049	80592.66
9	25.97	13 and 14	25.97	2550	66210.75
10	27.50	15 and 1	27.50	2089	57447.50
11	27.50				
12	26.90				
13	25.97				
14	25.97				
15	27.50				
Total / perimeter of building = 63692				1723728.24	TOTALS
Grade Calculation				27.06	AVERAGE GRADE BLDG B



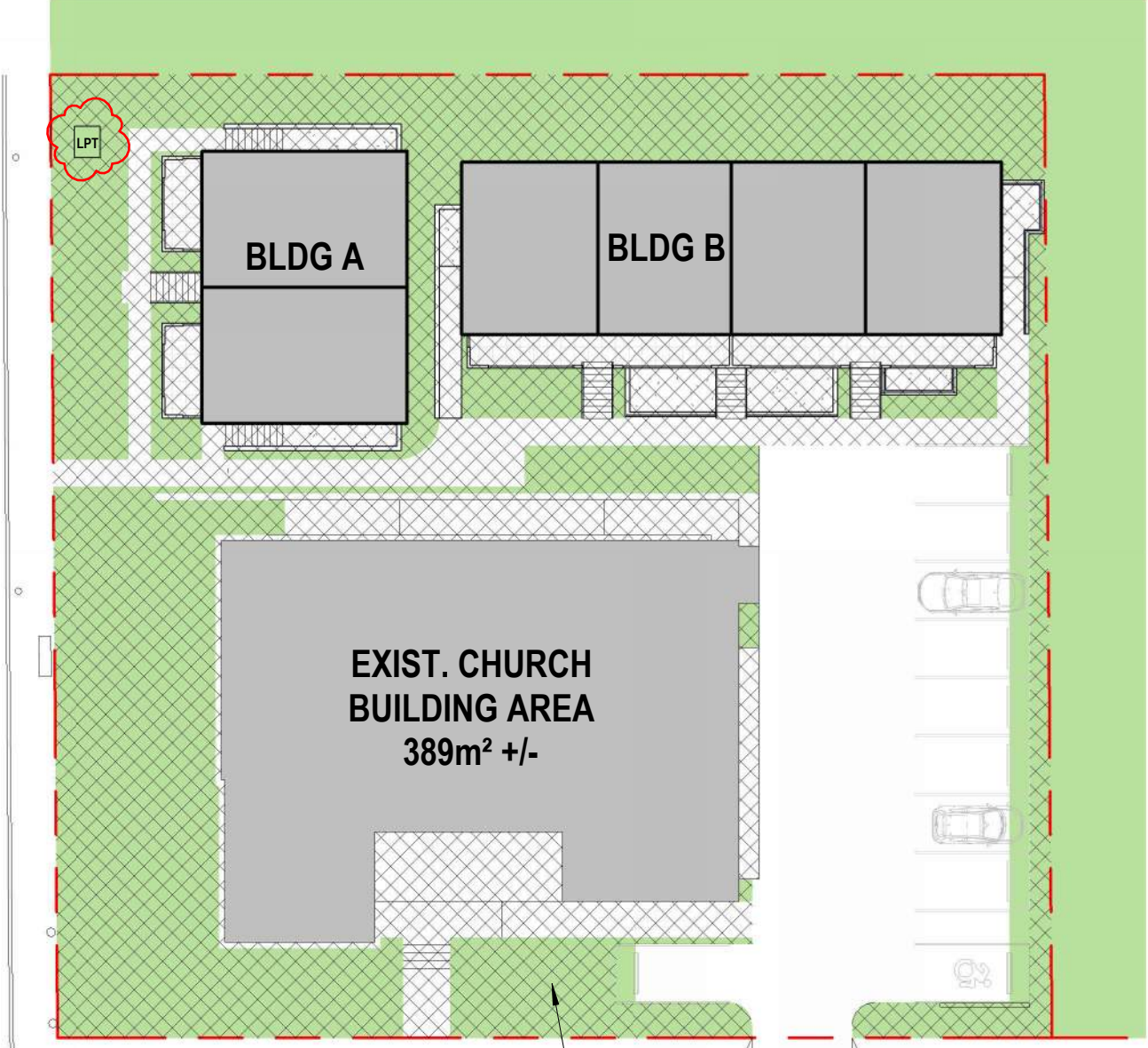
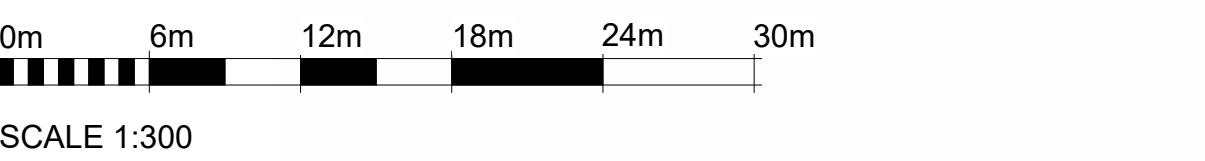
CONTEXT PLAN



CALEDONIA AVENUE

AVERAGE GRADE = 27.0m

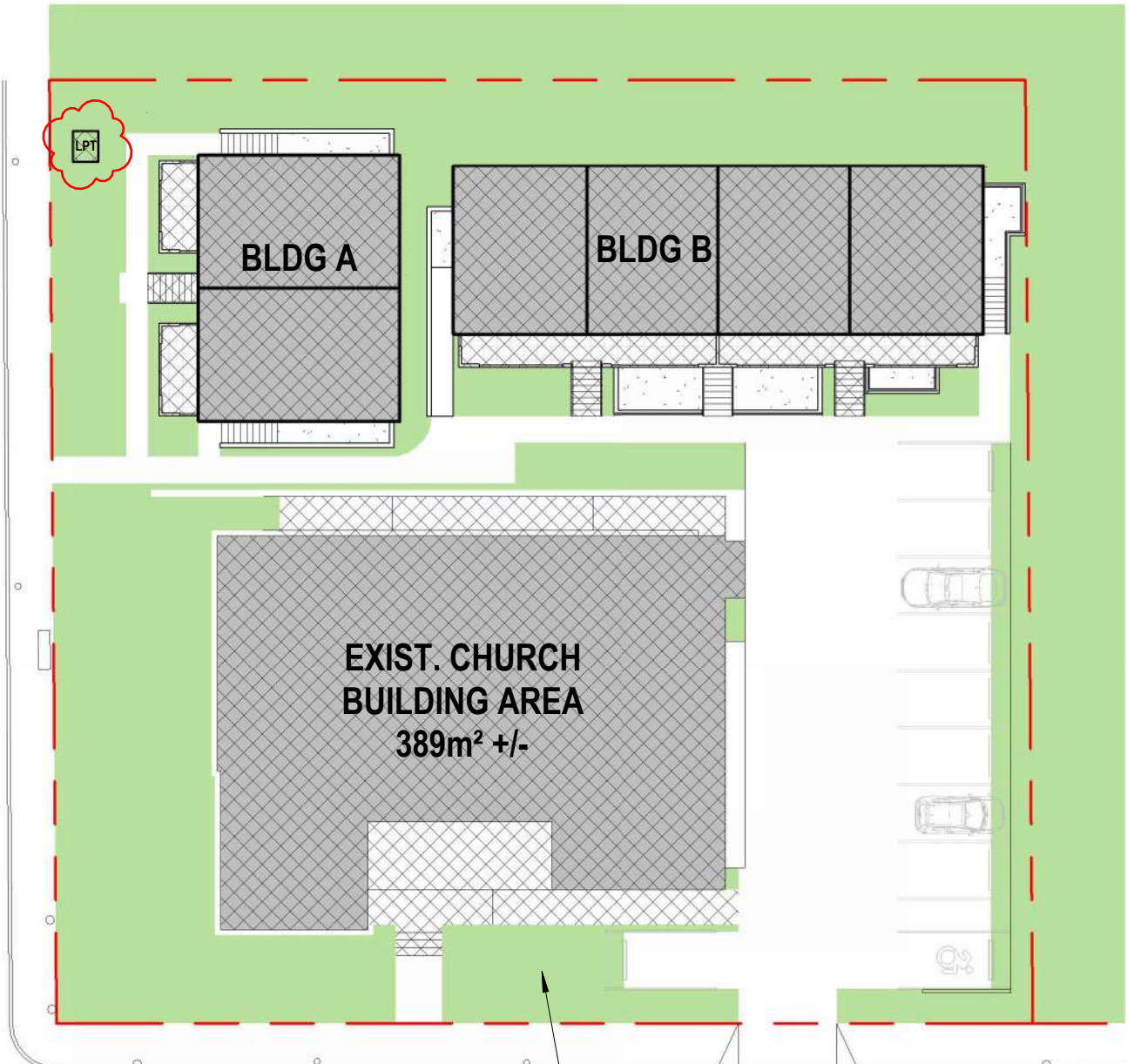
AVERAGE GRADE



CALEDONIA AVENUE

OPEN SITE SPACE = 932 m² = 48.7% INCLUDING PATIOS AND WALKWAYS EXCLUDING DRIVEWAYS AND LPT

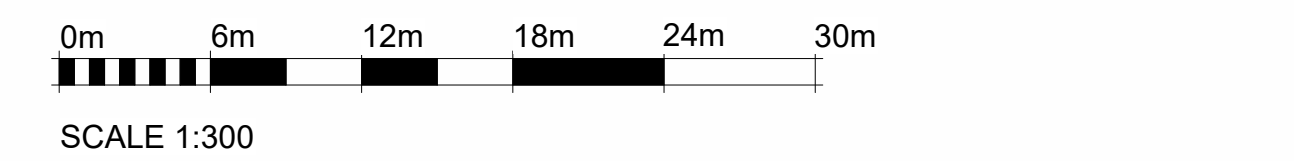
OPEN SITE SPACE



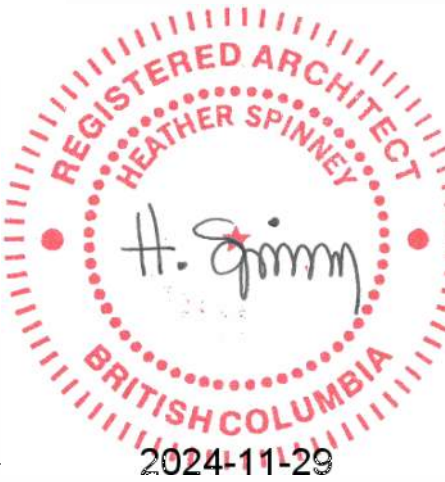
CALEDONIA AVENUE

SITE COVERAGE = 814 m² = 42.5% INCLUDING STRUCTURE, BALCONIES, DECKS AND STAIRS TO LEVEL 1

SITE COVERAGE



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250 475 2702
office@studiopa.ca
studiopa.ca



UKRAINIAN CHURCH - NEW HOUSING

1909 Cook Street / 1110 + 1112 Caledonia Avenue
Victoria BC V8T 1G1
PROJECT NUMBER 23-005

COVER + PROJECT INFO

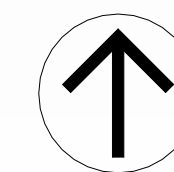
2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS



A0.0

UKRAINIAN CHURCH - NEW HOUSING

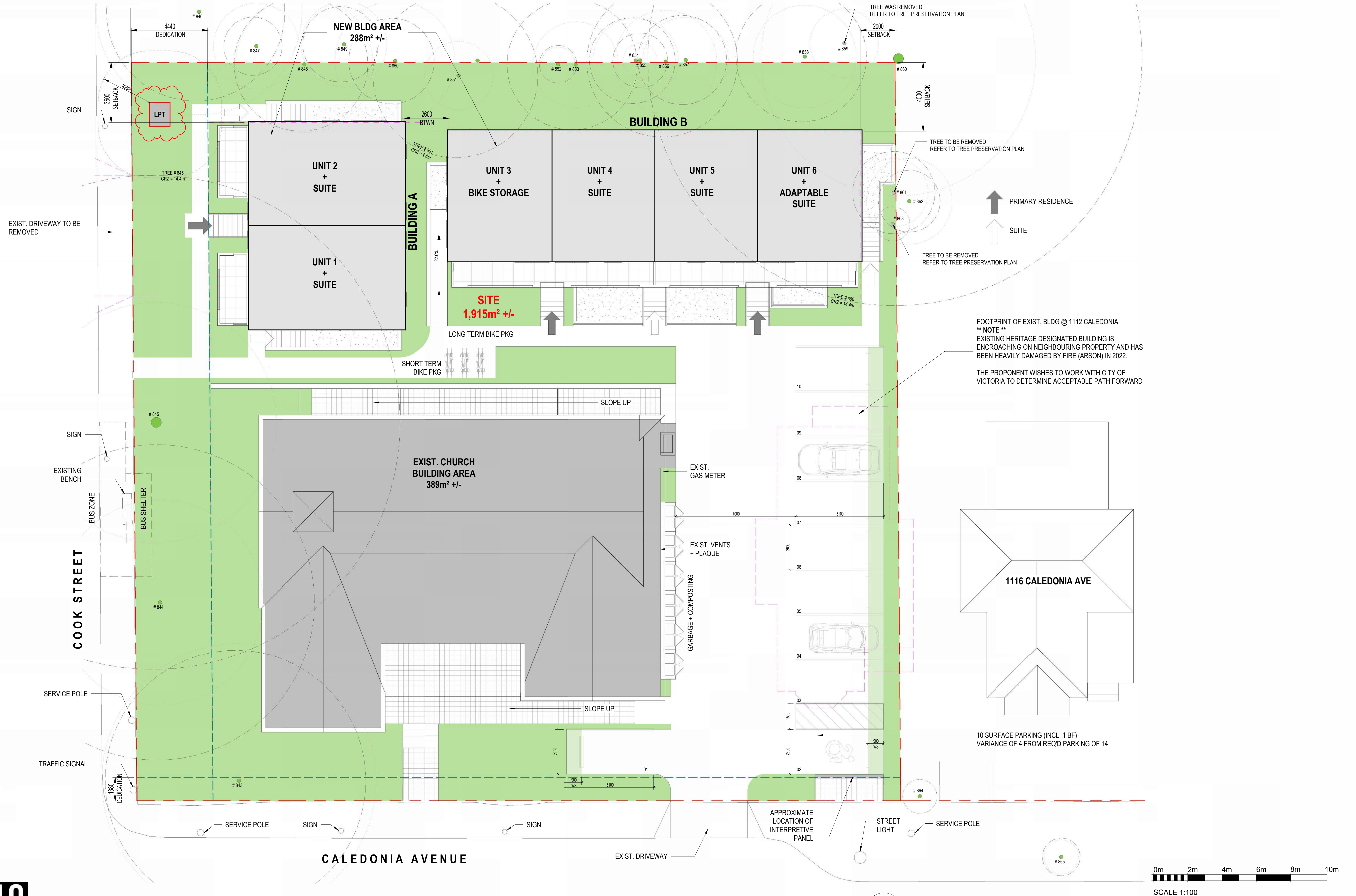
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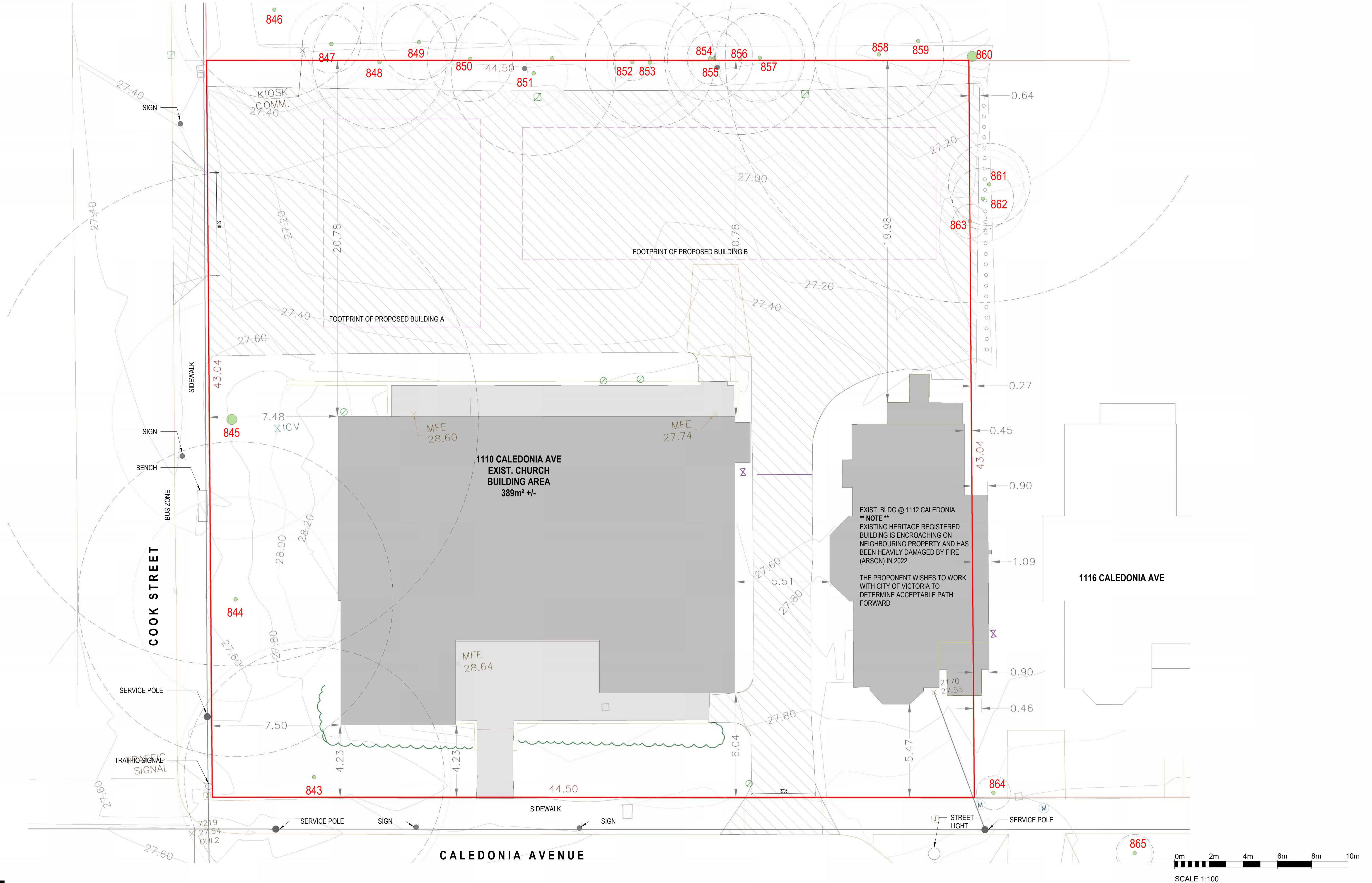


SITE - PROPOSED

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS

A1.0



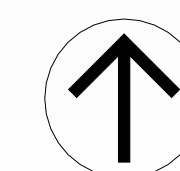


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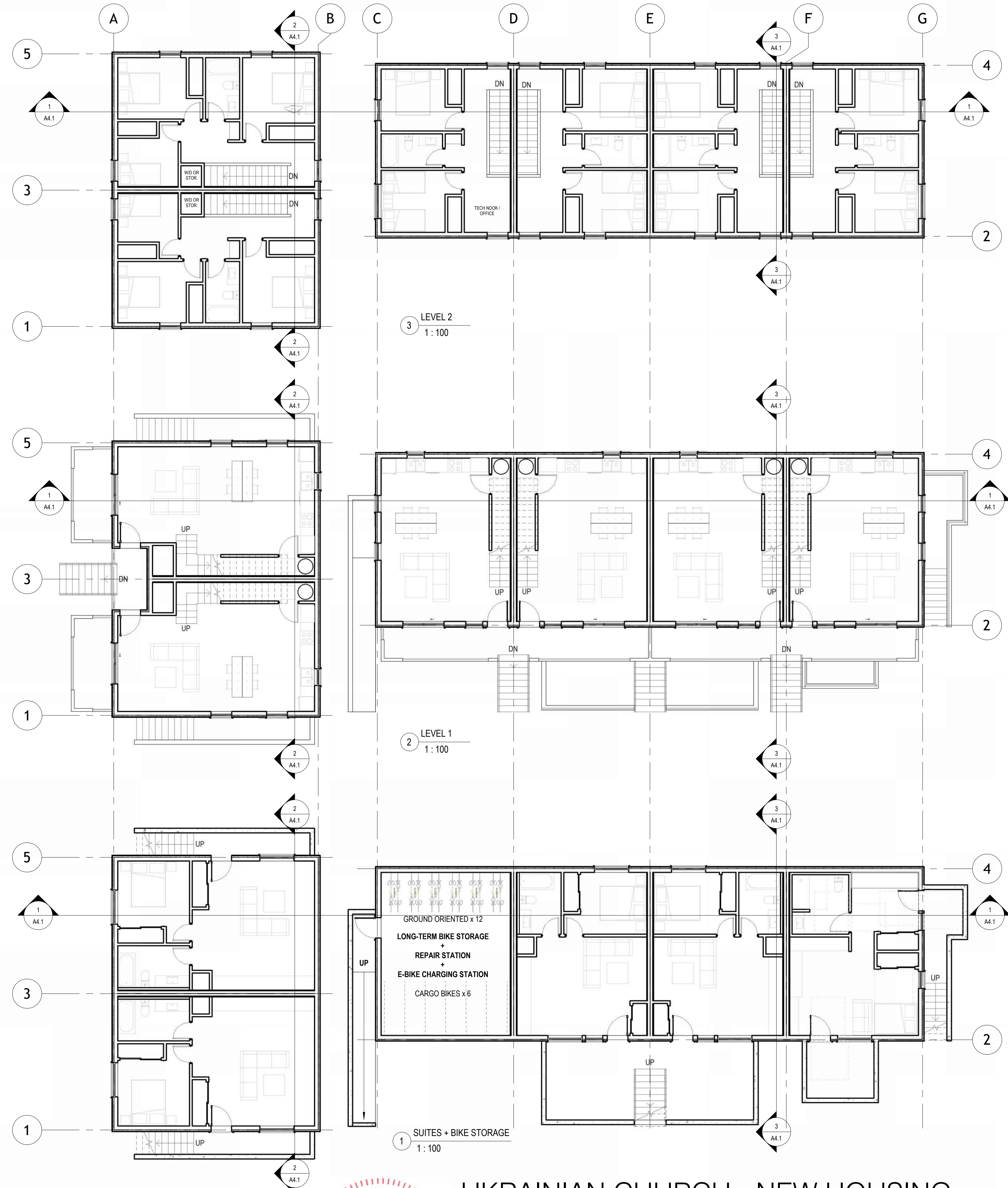
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SITE - EXISTING

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS

A1.1

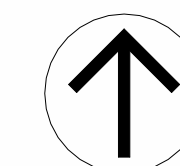


VIEW FROM CALEDONIA AVENUE



VIEW FROM COOK STREET

0m 2m 4m 6m 8m 10m
SCALE 1:100



FLOOR PLANS + 3D VIEWS

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS

A2.1

UKRAINIAN CHURCH - NEW HOUSING

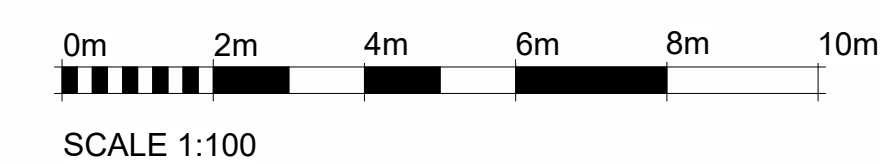
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2 ELEVATION - NORTH
1 : 100



3 ELEVATION - SOUTH (CALEDONIA)
1 : 100



ELEVATIONS - NORTH + SOUTH

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2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS



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UKRAINIAN CHURCH - NEW HOUSING

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A3.1



1 ELEVATION - EAST
1:100



2 ELEVATION - WEST (COOK)
1:100



ELEVATIONS - EAST + WEST

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS



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UKRAINIAN CHURCH - NEW HOUSING

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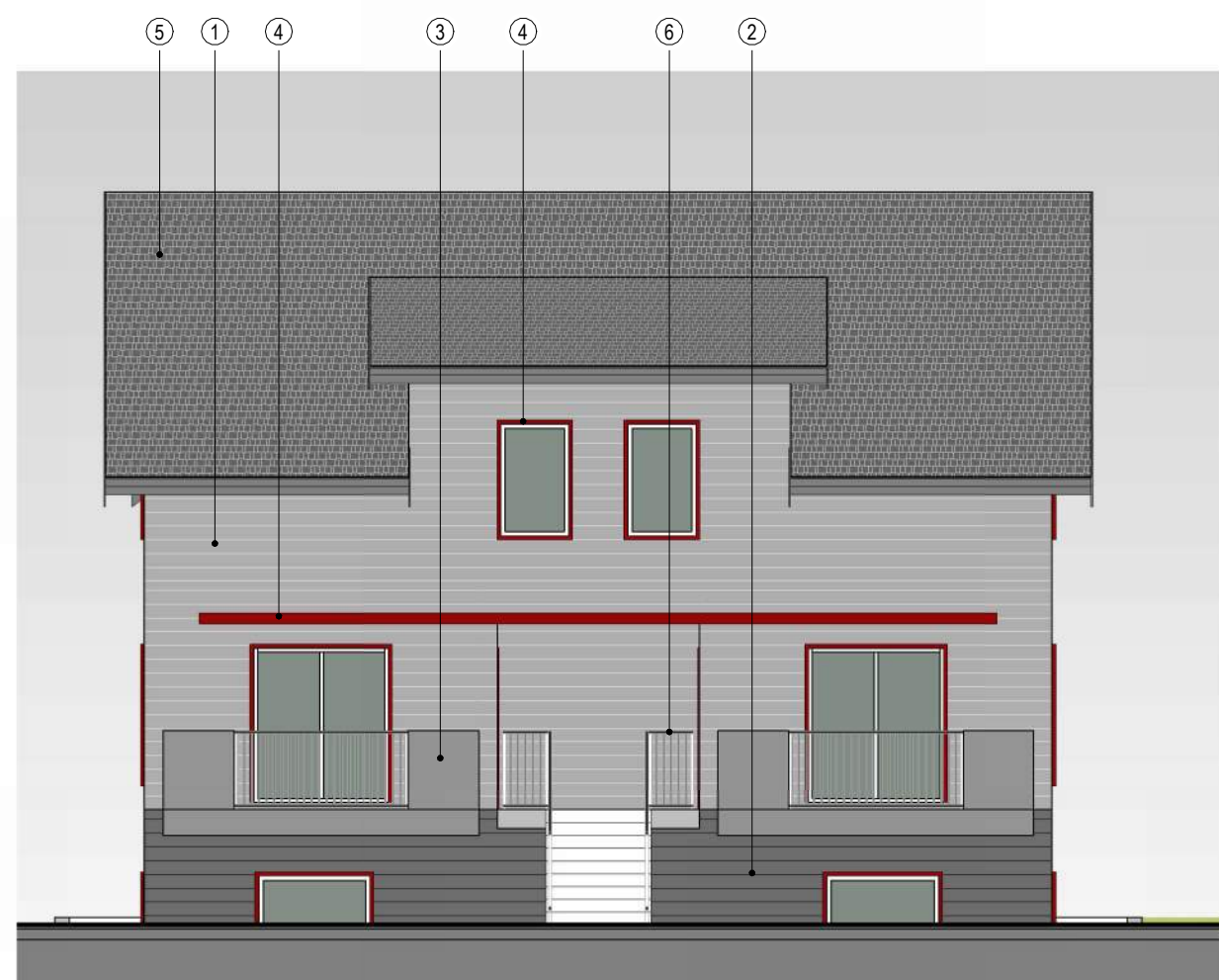
A3.2



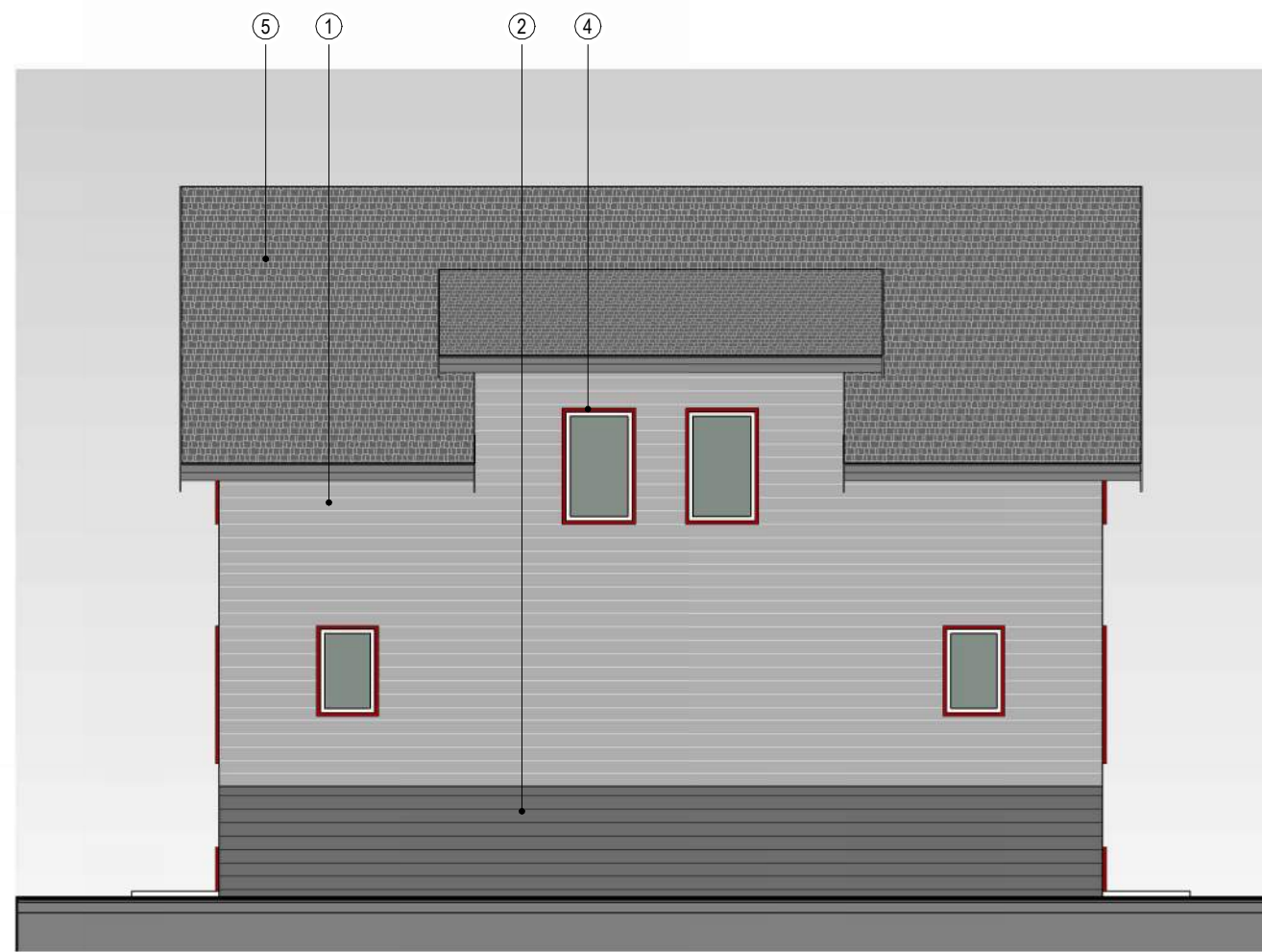
1 NORTH ELEVATION - BLDG A + BLDG B
1 : 100



2 SOUTH ELEVATION - BLDG A + BLDG B
1 : 100



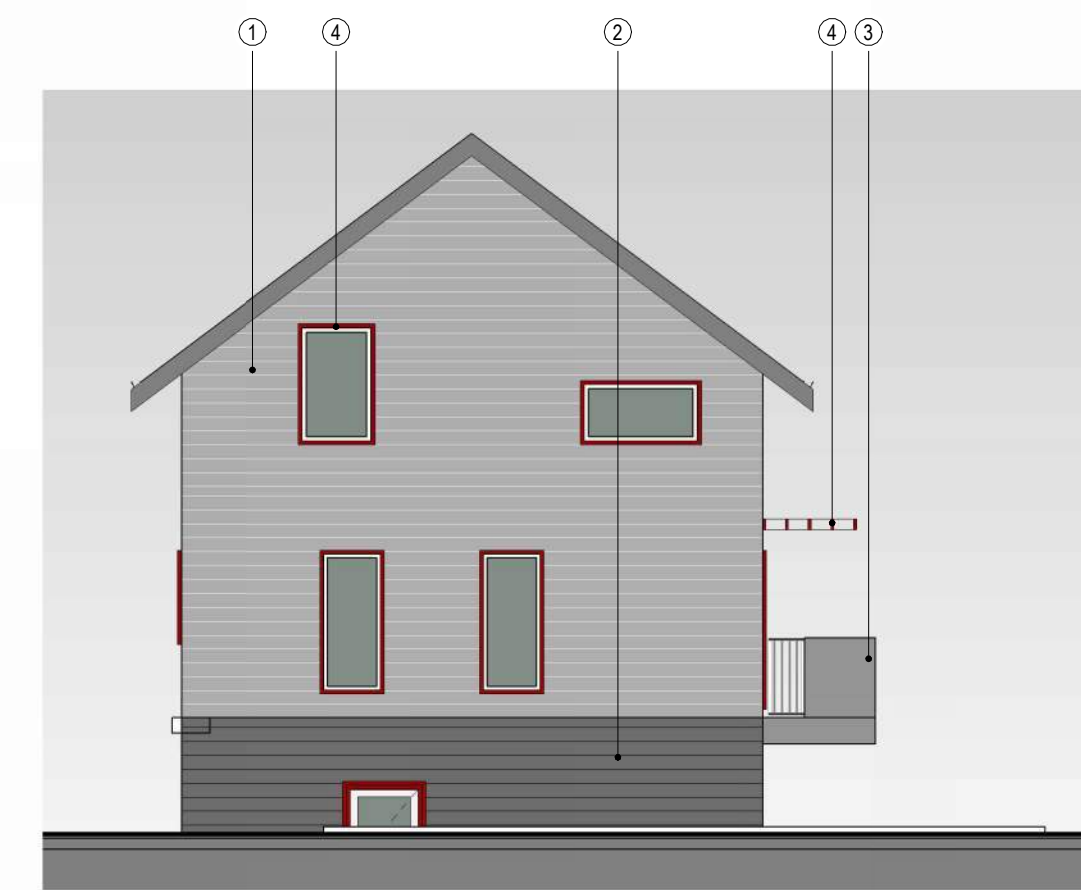
3 WEST ELEVATION - BLDG A
1 : 100



4 EAST ELEVATION - BLDG A
1 : 100

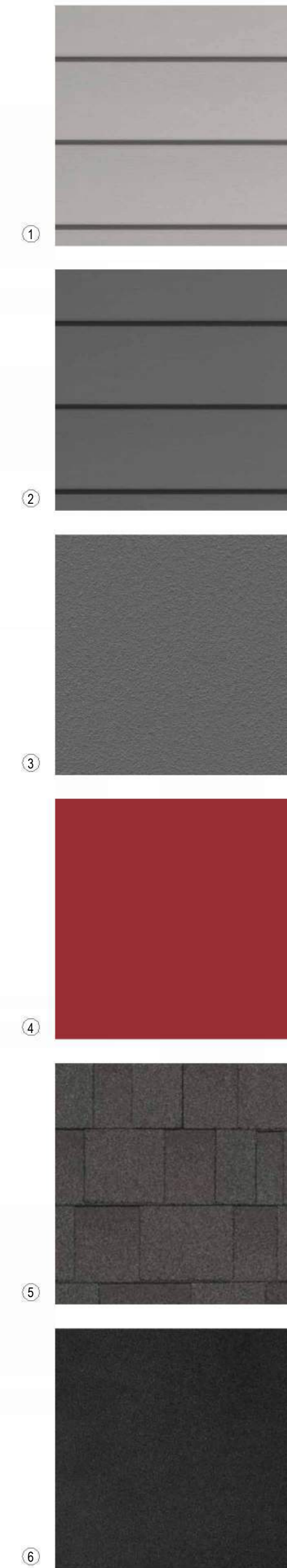


5 WEST ELEVATION - BLDG B
1 : 100



6 EAST ELEVATION - BLDG B
1 : 100

0m 2m 4m 6m 8m 10m
SCALE 1:100



- 1 EXTERIOR CLADDING - HARDPLANK LAP SIDING - CUSTOM COLOUR TO MATCH BENJAMIN MOORE PM-7 PLATINUM GREY
- 2 EXTERIOR CLADDING - HARDPLANK LAP SIDING - CUSTOM COLOUR TO MATCH BENJAMIN MOORE PM-8 CHARCOAL SLATE
- 3 OPAQUE PANEL IN RAILING SYSTEM - GREY TO MATCH CLADDING
- 4 WINDOW / DOOR TRIM, EXTERIOR SHADING DEVICE - PAINTED BENJAMIN MOORE CC-66 RAPTURE
- 5 ROOFING SHINGLES - IKO ARCHITECTURAL - GRAPHITE BLACK
- 6 RAILINGS - BLACK



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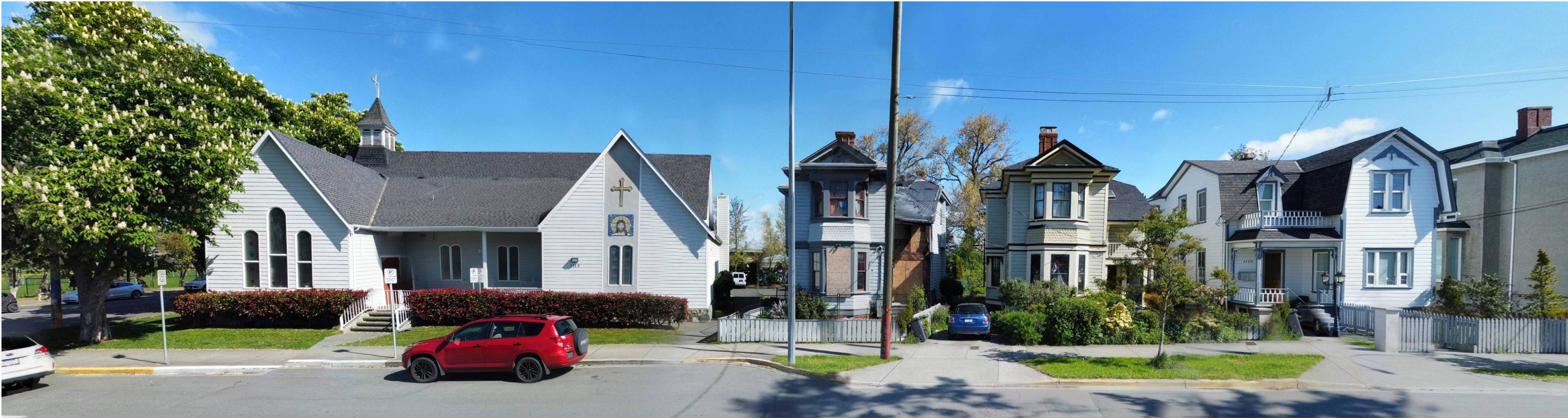
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PROJECT NUMBER 23-005

ELEVATIONS AND MATERIAL FINISHES

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11 28 REVISED LPT LOCATION PER HYDRO COMMENTS

A3.3



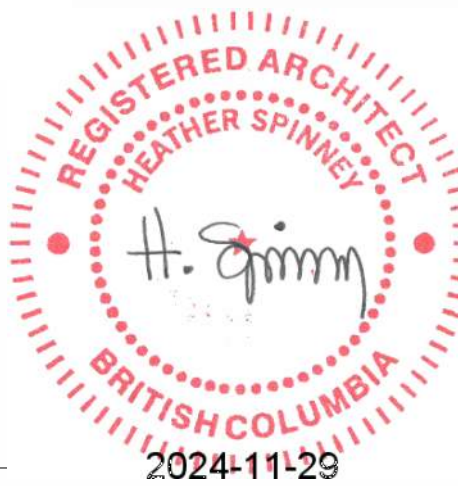
CALEDONIA STREET VIEW - EXISTING



CALEDONIA STREET VIEW - PROPOSED



401 – 1245 Esquimalt Rd. Victoria, BC V9A 3P2
250 475 2702
office@studiopa.ca
studiopa.ca



UKRAINIAN CHURCH - NEW HOUSING

1909 Cook Street / 1110 + 1112 Caledonia Avenue
Victoria BC V8T 1G1
PROJECT NUMBER 23-005

STREET VIEWS - CALEDONIA

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS

A3.4



COOK STREET VIEW - EXISTING



COOK STREET VIEW - PROPOSED



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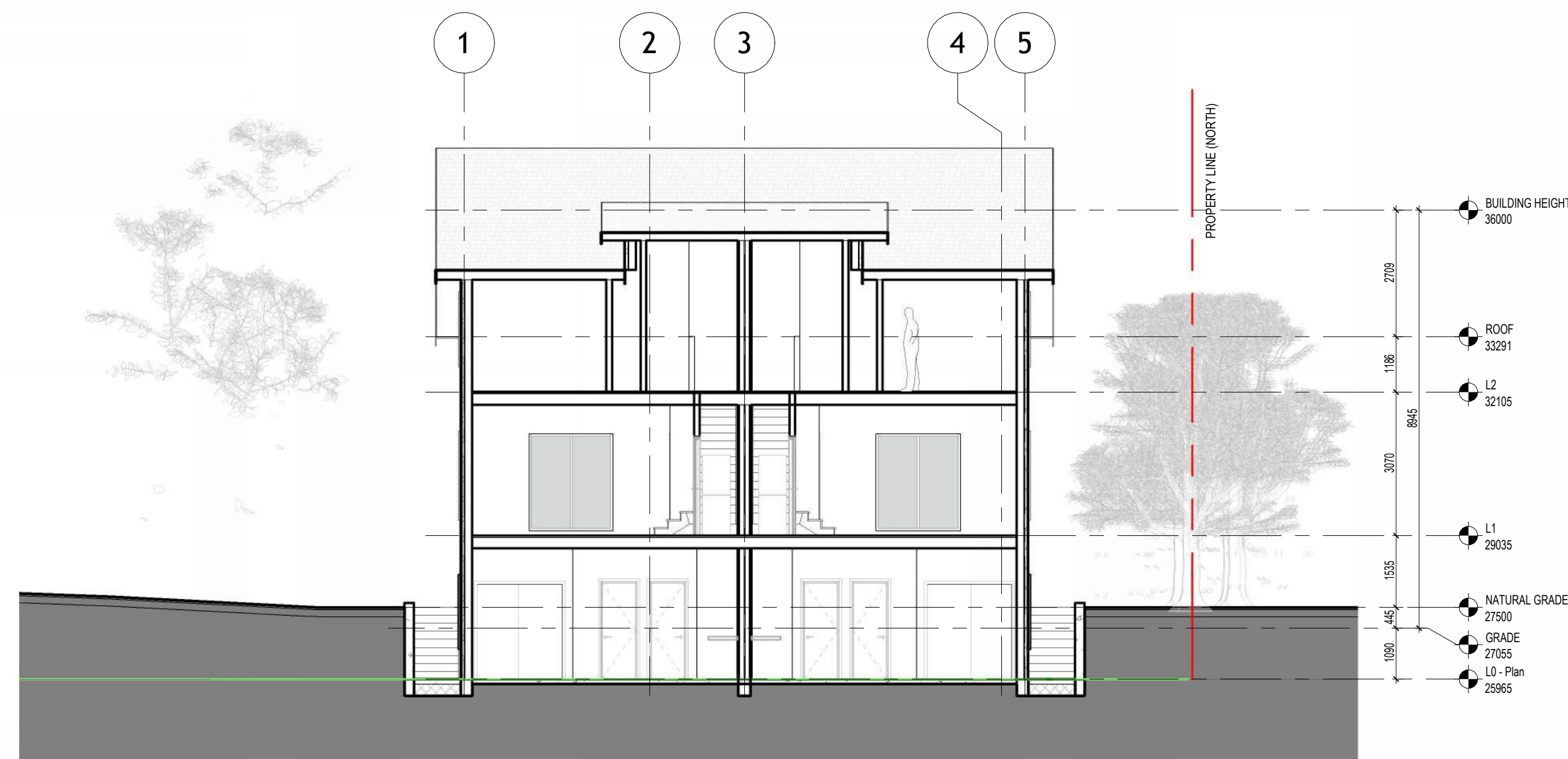
UKRAINIAN CHURCH - NEW HOUSING

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Victoria BC V8T 1G1
PROJECT NUMBER 23-005

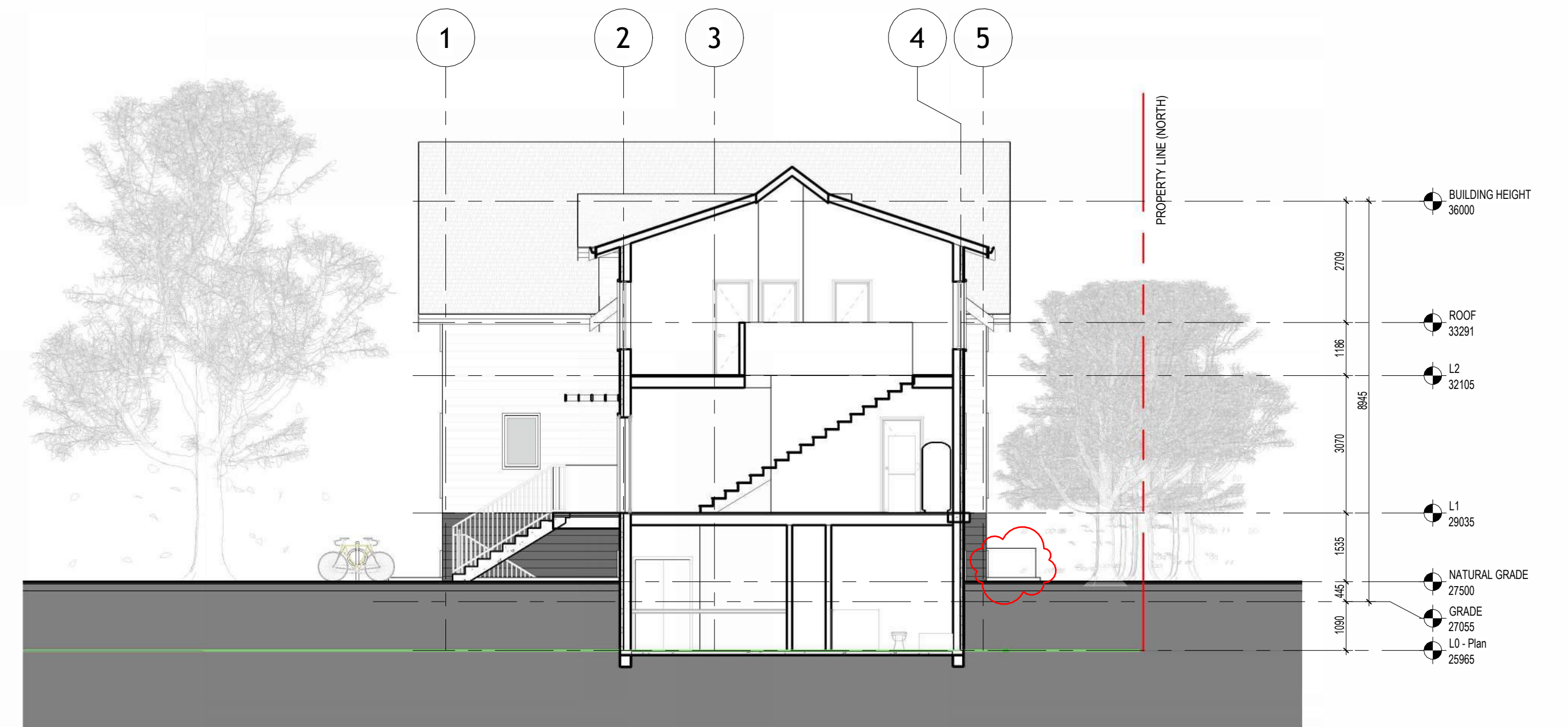
STREET VIEWS - COOK

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS

A3.5



2 SECTION - SOUTH / NORTH BLDG A
1 : 100



3 SECTION - SOUTH / NORTH BLDG B
1 : 100



1 SECTION - EAST / WEST
1 : 100



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UKRAINIAN CHURCH - NEW HOUSING

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Victoria BC V8T 1G1
PROJECT NUMBER 23-005

SECTIONS

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11-28 REVISED LPT LOCATION PER HYDRO COMMENTS

A4.1



1 SHADOW STUDY - SUMMER 06.42
1:1200



2 SHADOW STUDY - SUMMER 12.00
1:1200



3 SHADOW STUDY - SUMMER 16.00
1:1200



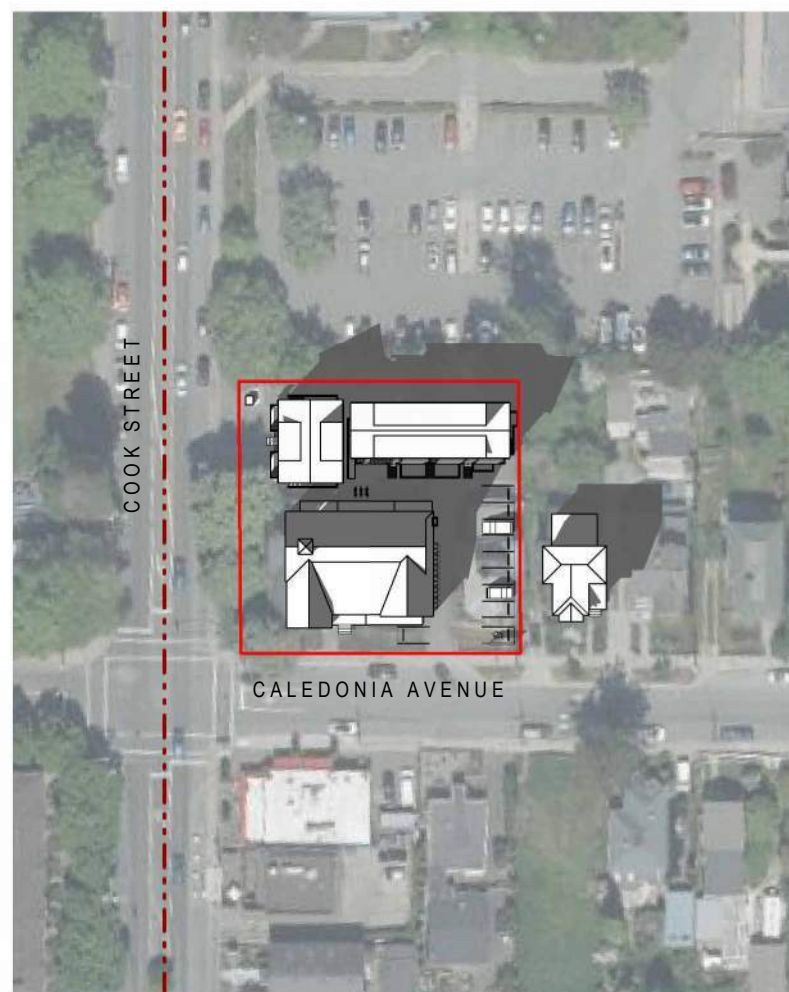
4 SHADOW STUDY - SUMMER 19.49
1:1200



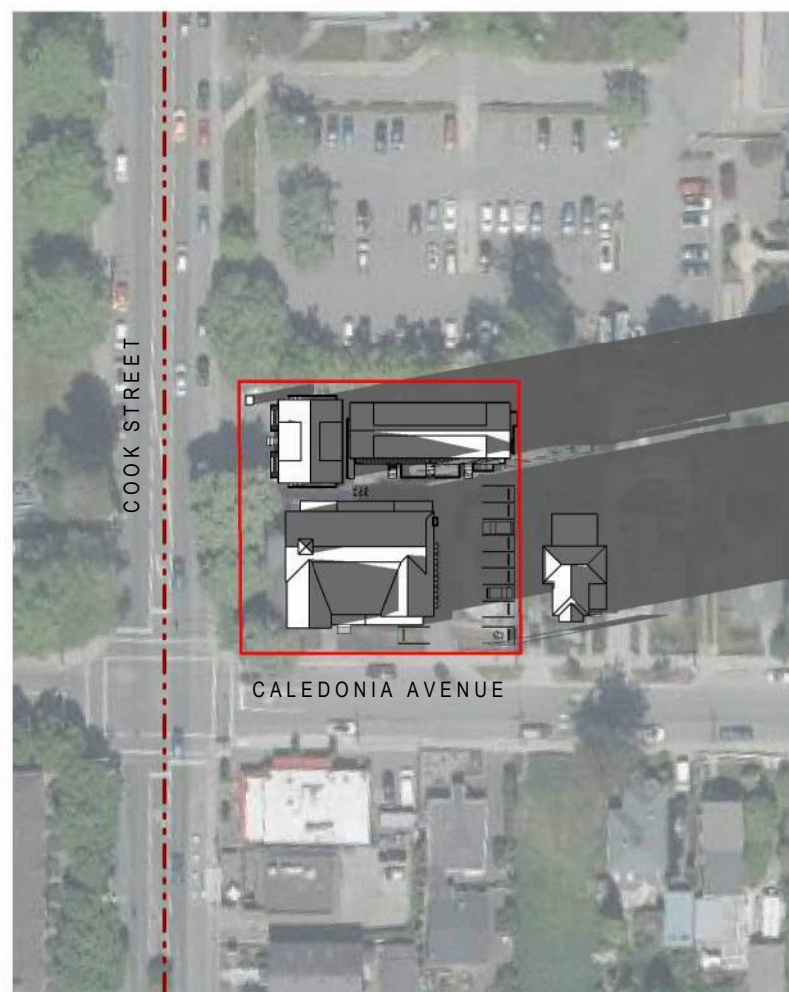
9 SHADOW STUDY - SPRING/FALL 08.47
1:1200



10 SHADOW STUDY - SPRING/FALL 12.00
1:1200



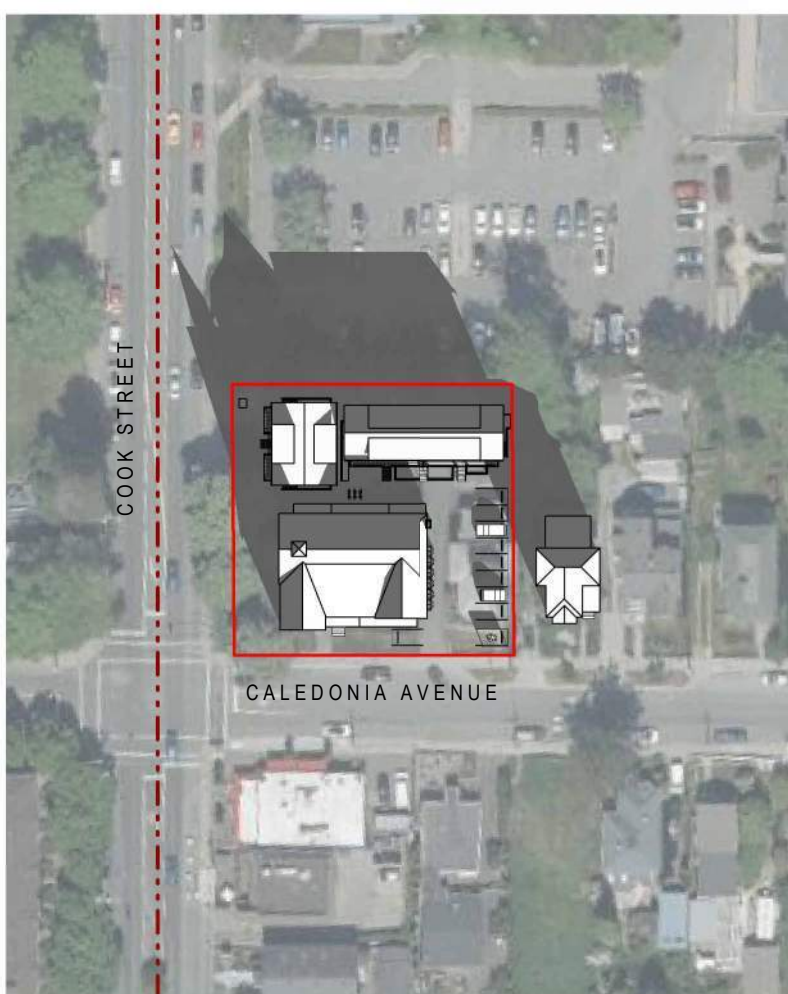
11 SHADOW STUDY - SPRING/FALL 15.00
1:1200



12 SHADOW STUDY - SPRING/FALL 17.56
1:1200



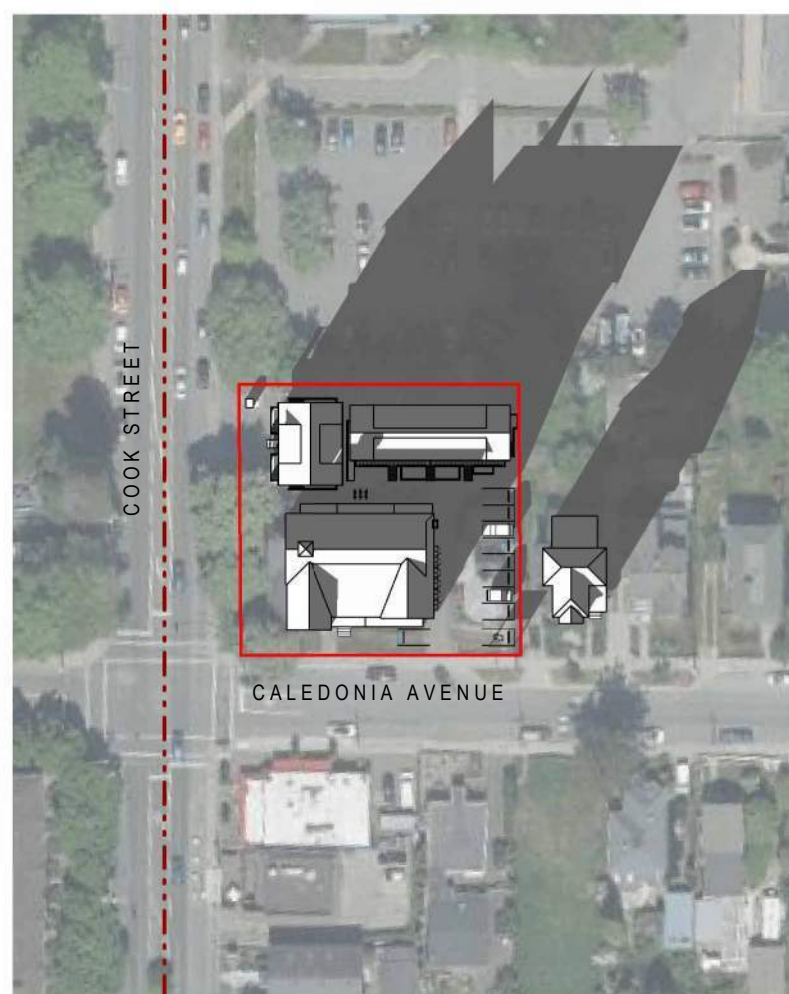
5 SHADOW STUDY - WINTER 09.32
1:1200



6 SHADOW STUDY - WINTER 11.00
1:1200

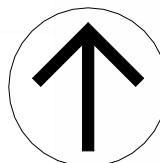


7 SHADOW STUDY - WINTER 13.00
1:1200



8 SHADOW STUDY - WINTER 14.51
1:1200

WINTER SOLSTICE - DECEMBER 21



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UKRAINIAN CHURCH - NEW HOUSING

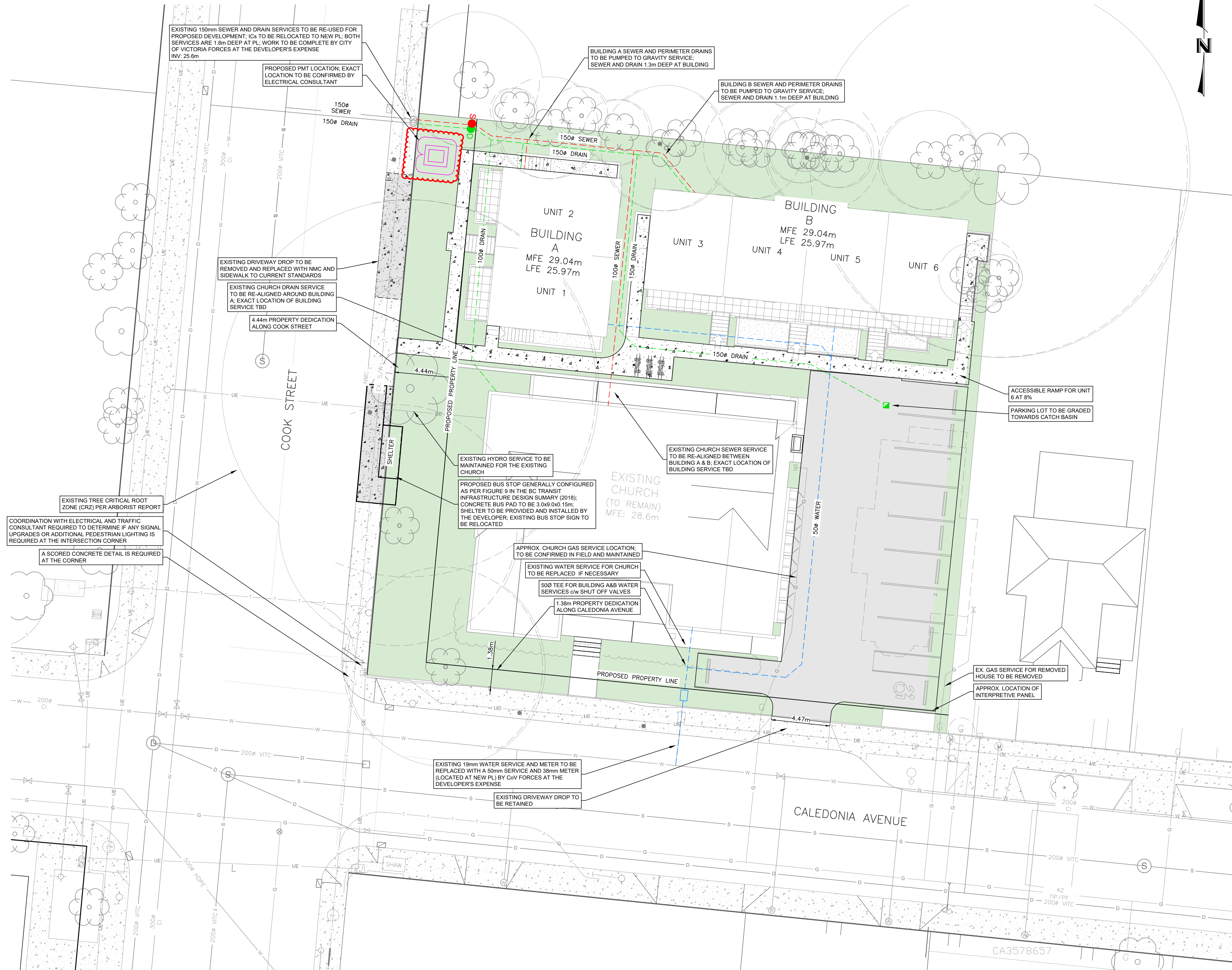
1909 Cook Street / 1110 + 1112 Caledonia Avenue
Victoria BC V8T 1G1
PROJECT NUMBER 23-005

SHADOW STUDY

2024-11-20 ISSUED FOR REZONING AND DP / HAP
2024-11 28 REVISED LPT LOCATION PER HYDRO COMMENTS

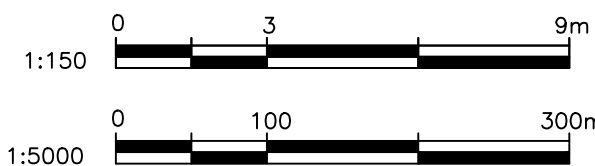
A5.0

1909 COOK STREET
UKRAINIAN CHURCH - NEW HOUSING



GENERAL LOCATION PLAN
SCALE: 1:5,000
CIVIC ADDRESS: 1909 COOK STREET, VICTORIA, BC
LEGAL DESCRIPTION: LOT A, SUBURBAN LOT 17, VICTORIA CITY, PLAN VIP52712

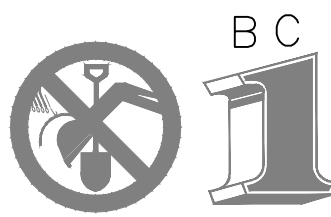
CONCEPTUAL SITE SERVING PLAN
SCALE: 1:150



NOVEMBER 28, 2024
SUBMITTED FOR REZONING /
DEVELOPMENT PERMIT
APPLICATION



ISLANDER
ENGINEERING
623 DISCOVERY STREET
VICTORIA, B.C. V8T5G4
PHONE 250.580.1200
www.islandereengineering.com



THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain — D —
Proposed Municipal Infrastructure	Ditch — D —
Existing External U/G Utilities	Sewer — S —
Proposed External U/G Utilities	Water — W —
Street Lighting	Pole Mount — P —
Post Top	Pedestrian Signal — P —
	Traffic Signal — T —
	Ctrl Monument — C —
	Traverse Hub — H —
	Concrete Box — C —
	Wood Box — W —
	Catch Basin — C —
	Culvert — C —
	Silt Trap — S —
	Cap / Plug — C —
	Gas Valve — G —
	Valve — V —
	Flush Valve — F —
	Hydrant — H —
	Reducer — R —
	Air Valve — A —
	Water Meter — M —

REVISIONS	
6	
5	
4	
3	
2	
1	

REVISIONS		APPROVED	
REVISION # 1		REVISION # 2	
Approved	Date	Approved	Date
Design Engineer		Design Engineer	
Manager of Development		Manager of Development	
Development Coordinator		Development Coordinator	

DESIGN APPROVED	
Approved By	Date
Design Engineer	
Manager of Development	
Development Coordinator	

CITY OF VICTORIA		ISLANDER	2913
1909 COOK STREET		MUNICIPAL DESIGN #	—
CONCEPTUAL SERVING PLAN		REV. #	—
B.M. : 16-25	Elev: 24.911m	DRAWING #	C01
Design: JRCE	Drawn: JRCE	Checked: JJB	
Scale: Hor: 1:150	Vertical: —	Date: 2024-11-28	
SHEET #		1 OF 1	

ST.NICHOLAS UKRAINIAN CATHOLIC CHURCH

1110/1112 CALEDONIA AVE. - LANDSCAPE DRAWINGS

SHEET LIST			
L0	Cover Page & General Notes	L6.1	Details - Paving
L1	Site Plan	L6.2	Details - Site Furnishings
L2	Material Plan	L6.3	Details - Planting
L3	Layout & Grading Plan	L6.4	Details - Planting
L4	Planting Plan		
L5	Lighting Plan		

GENERAL NOTES

- EXISTING SURVEY INFORMATION IS BASED ON THE FOLLOWING DRAWING:
2327 - DWG - Landscape Base
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CAREFULLY EXAMINE THE EXISTING SITE SURFACE CONDITIONS AND TOPOGRAPHY AND INFORM THE LANDSCAPE ARCHITECT OF ANY UNSATISFACTORY CONDITIONS. NO ALLOWANCES WILL BE MADE LATER FOR ANY EXPENSES INCURRED DUE TO FAILURE TO IDENTIFY UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY.
- DO NOT SCALE DRAWINGS. USE DIMENSIONAL INFORMATION AS PROVIDED IN THE DRAWINGS. CONTACT THE LANDSCAPE ARCHITECT IF THERE IS ANY AMBIGUITY, LACK OF INFORMATION, OR INCONSISTENCY.
- THE CONTRACTOR SHALL CLEAN AND RESTORE ALL AREAS DAMAGED OR AFFECTED BY WORKS OUTSIDE THE LIMIT OF WORK TO THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION OR IMPROVED, TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON THE DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE LIMIT OF WORK LINE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES AND TAKING THE NECESSARY PRECAUTIONS PRIOR TO AND DURING CONSTRUCTION. REFER TO CIVIL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF EXCESS FILL OFF-SITE.
- ARCHITECTURAL AND CIVIL DESIGN SHOWN FOR INFORMATION ONLY.
- REFER TO ARCHITECTURAL AND CIVIL DRAWINGS FOR DISCIPLINE SPECIFIC REMOVALS.

MATERIALS PLAN NOTES:

- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
- REFER TO CITY OF COLWOOD STANDARDS FOR WORK ON TYPICAL SIDEWALKS.
- BOULDER PLACEMENT: COORDINATE REVIEW, SELECTION, AND PLACEMENT WITH LANDSCAPE ARCHITECT.

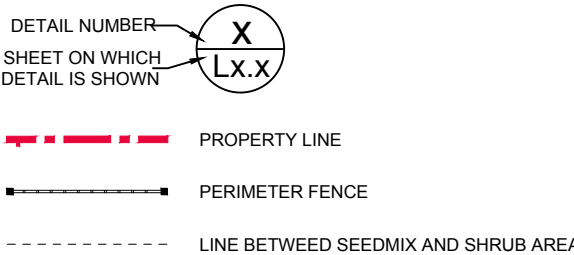
LAYOUT PLAN NOTES:

- ALL DIMENSIONS ARE NOMINAL; DIMENSIONS ARE BASED ON STATIONING POINTS PROVIDED BY CIVIL.
- REFER TO THE GRADING PLAN FOR HORIZONTAL CONTROL OF PAVING AND LANDSCAPE AREAS.
- ALL SITE FURNISHING LOCATIONS MUST BE CONFIRMED WITH THE LANDSCAPE ARCHITECT ON SITE PRIOR TO INSTALLATION.
- REFER TO CIVIL DRAWINGS FOR PATHWAY AND CURB ALIGNMENTS AND DETAILS.

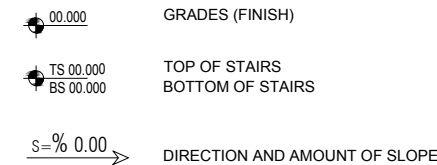
GRADING PLAN NOTES:

- ALL ELEVATIONS ARE NOMINAL AND ARE BASED ON SURVEY AND ELEVATIONS PROVIDED BY ARCHITECT AND CIVIL. THE CONTRACTOR MUST VERIFY ALL MEASUREMENTS.
- ALL PROPOSED ELEVATIONS ARE TO THE TOP OF FINISHED GRADE UNLESS OTHERWISE NOTED.
- PAVING IS GRADED TO A TYPICAL DIMENSION ABOVE STRUCTURAL SLABS. REFER TO THE ARCHITECT FOR THE TYPICAL ELEVATION OF SLABS.
- ALL UTILITY COVERS INSIDE THE LANDSCAPE AREA MUST BE ADJUSTED TO FINAL GRADE.
- CONDUCT A GRADING START-UP MEETING WITH THE LANDSCAPE ARCHITECT IN THE FIELD TO CONFIRM THE GRADING DESIGN.

GENERAL LEGEND



GRADING LEGEND



CLIENT:
ST NICHOLAS UKRAINIAN
CATHOLIC CHURCH

ADDRESS:
1110/1112 CALEDONIA AVENUE,
VICTORIA BC. V8T 1G1

DRAWING ISSUED TABLE:
1- 2024-11-20 ISSUED FOR REZONING & DP/HAP
2- 2024-11-28 REVISED LPT LOCATION PER
HYDRO COMMENTS

OASIS LANDSCAPE DESIGN

451 Regency Place / Victoria BC, V9C 0J7
PH: +1 (236) 882-30-51
www.oasislandscapedesign.ca



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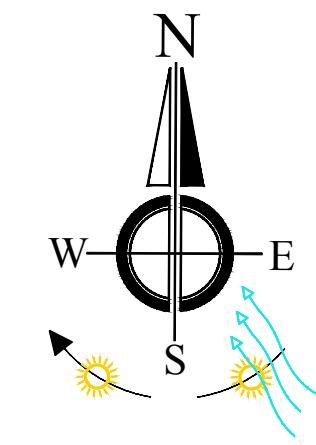
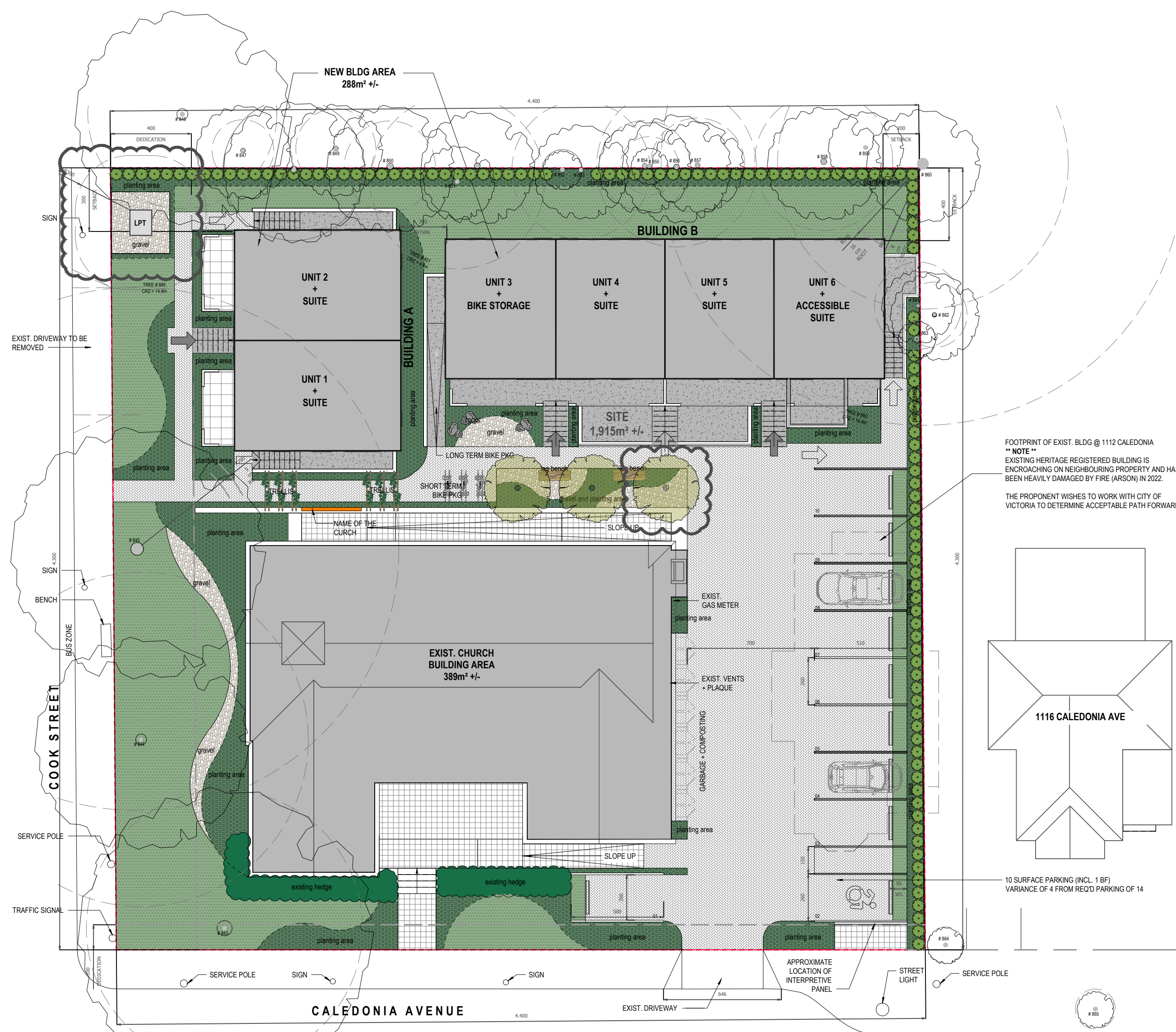
PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
COVER SHEET AND
GENERAL NOTES

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER

L0



GENERAL LEGEND

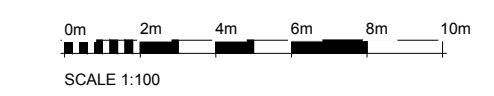
- PROPERTY LINE
- PERIMETER FENCE
- LINE BETWEEN SEEDMIX AND SHRUB AREA
- PRIMARY RESIDENCE
- SUITE

SURFACE MATERIAL LEGEND

SYMBOL	DESCRIPTION	LOCATION	QUANTITY
HARD LANDSCAPE			
[Symbol]	CONCRETE	ON STAIRS, UPPER LANDINGS AND BIKING STORAGE RAMP	96.30 m2
[Symbol]	UNIT PAVERS	ON VEHICLE ROADS, PARKING AREAS & PEDESTRIAN PATHS	398.65 m2
[Symbol]	GRAVEL	IN VARIOUS LANDSCAPE AREAS	41.90 m2

URBAN MATERIALS		
[Symbol]	LOG BENCH	IN THE NATURAL LANDSCAPE AREA BEHIND
[Symbol]	TRELLIS	ON PEDESTRIAN PATHS
[Symbol]	ROCKS	IN THE NATURAL LANDSCAPE AREA BEHIND

SOFT LANDSCAPE		
[Symbol]	PLANTING AREAS (PA)	233.20 m2
[Symbol]	SEED MIX AREAS	306.40 m2
[Symbol]	EXISTING TREES TO REMAIN	
[Symbol]	PROPOSED TREES	



CLIENT:
ST NICHOLAS UKRAINIAN
CATHOLIC CHURCH

ADDRESS:
1110/1112 CALEDONIA AVENUE,
VICTORIA BC. V8T 1G1

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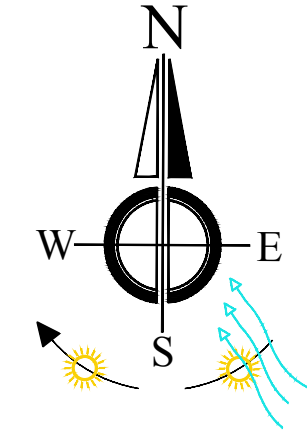
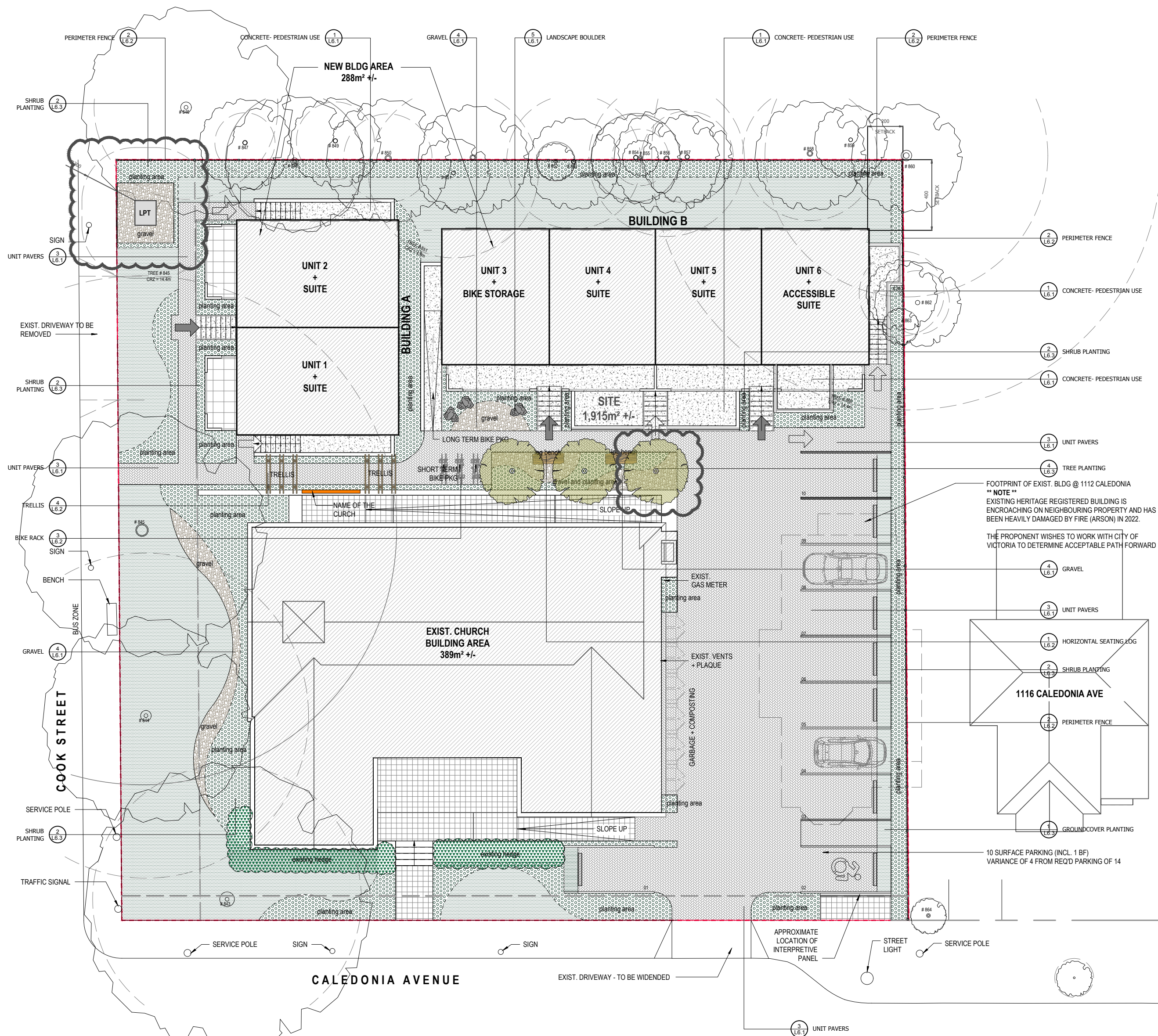
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PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
SITE PLAN

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER
L1



GENERAL LEGEND

	PROPERTY LINE
	PERIMETER FENCE
	LINE BETWEEN SEEDMIX AND SHRUB AREA
	PRIMARY RESIDENCE
	SUITE

SURFACE MATERIAL LEGEND

SYMBOL	DESCRIPTION	LOCATION	QUANTITY
HARD LANDSCAPE			
	CONCRETE	ON STAIRS, UPPER LANDINGS AND BRINK STORAGE PAMP	96.30 m2
	UNIT PAVERS	ON VEHICLE ROADS, PARKING AREAS & PEDESTRIAN PATHS	398.65 m2
	GRAVEL	IN VARIOUS LANDSCAPE AREAS	41.90 m2

URBAN MATERIALS			
	LOG BENCH	IN THE NATURAL LANDSCAPE AREA BEHIND	2
	TRELLIS	ON PEDESTRIAN PATHS	6
	ROCKS	IN THE NATURAL LANDSCAPE AREA BEHIND	6

SOFT LANDSCAPE			
	PLANTING AREAS (PA)		233.20 m2
	SEED MIX AREAS		306.40 m2
	EXISTING TREES TO REMAIN		
	PROPOSED TREES		



CLIENT:
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CATHOLIC CHURCH

ADDRESS:
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VICTORIA BC. V8T 1G1

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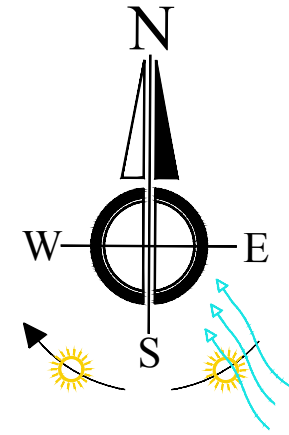
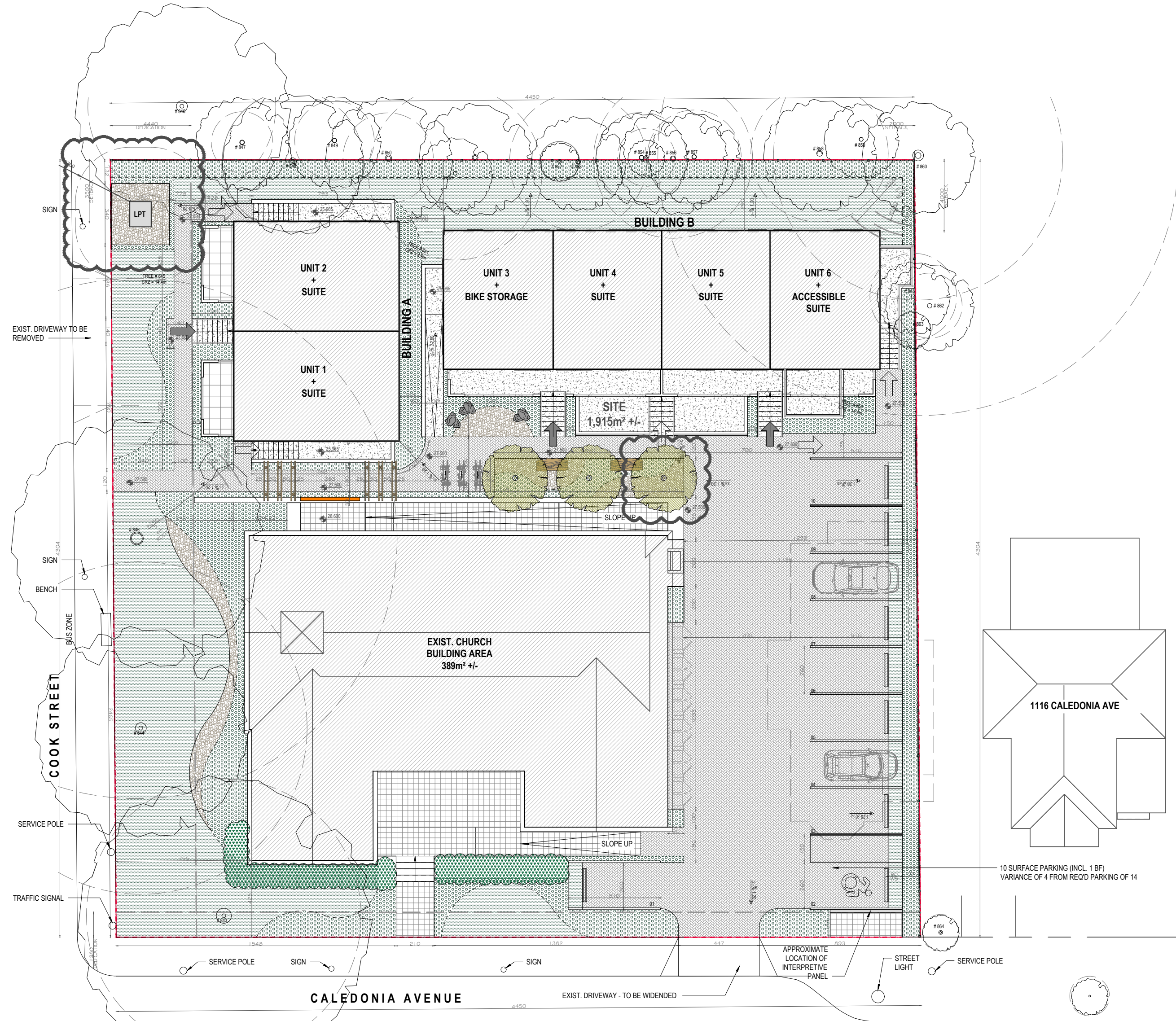
PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
MATERIAL PLAN

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER

L2



GENERAL LEGEND

- PROPERTY LINE
- PERIMETER FENCE
- LINE BETWEEN SEEDMIX AND SHRUB AREA

GRADING LEGEND

- GRADES (FINISH)
- DIRECTION AND AMOUNT OF SLOPE

LAYOUT NOTES

- ALL DIMENSIONS ARE NOMINAL.
- LANDSCAPE SITE ELEMENTS TO BE DETERMINED ON SITE BY LANDSCAPE ARCHITECT.

0m 2m 4m 6m 8m 10m
SCALE 1:100

CLIENT:
ST NICHOLAS UKRAINIAN
CATHOLIC CHURCH

ADDRESS:
1110/1112 CALEDONIA AVENUE,
VICTORIA BC. V8T 1G1

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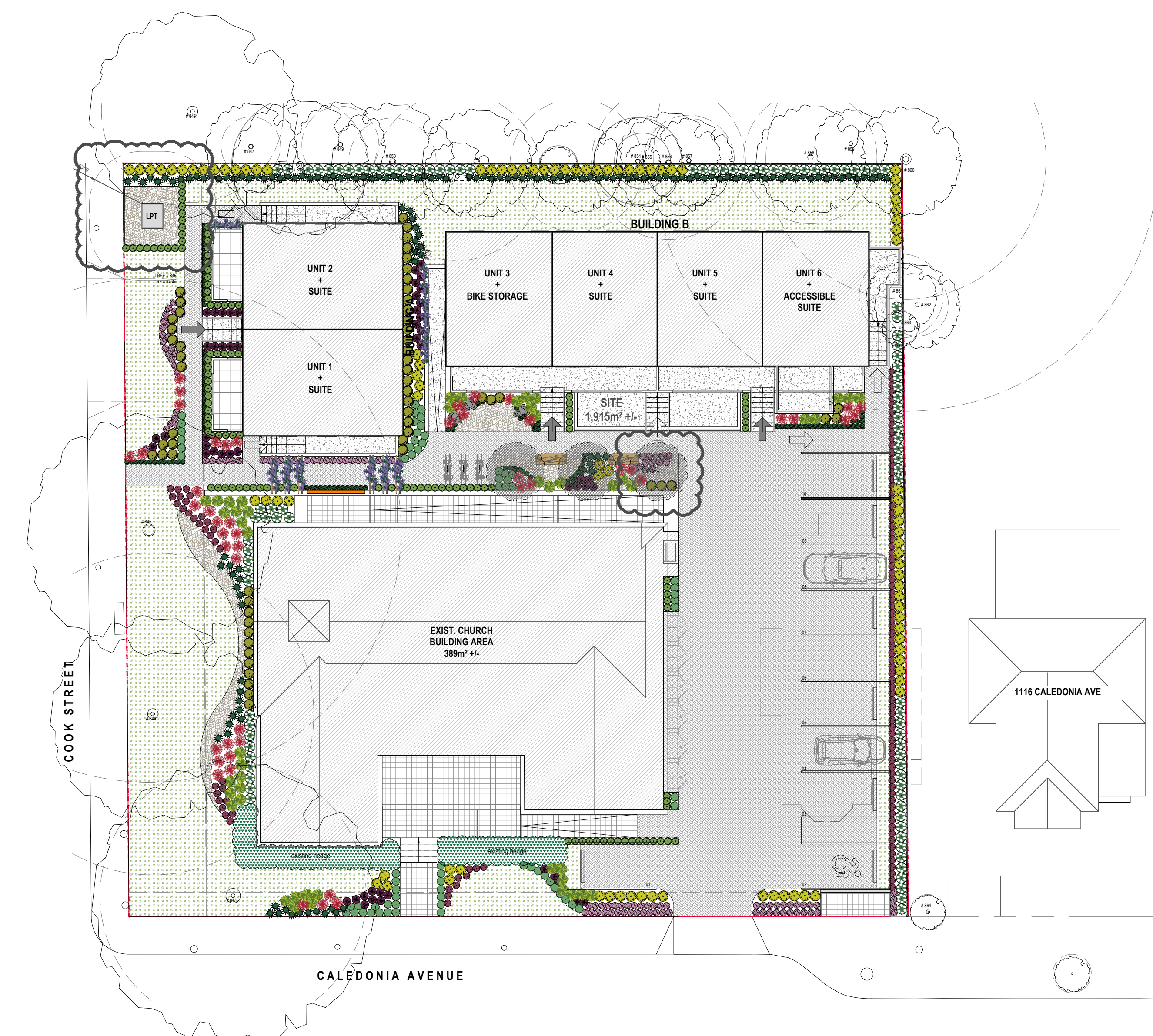
PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
LAYOUT AND
GRADING PLAN

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER

L3



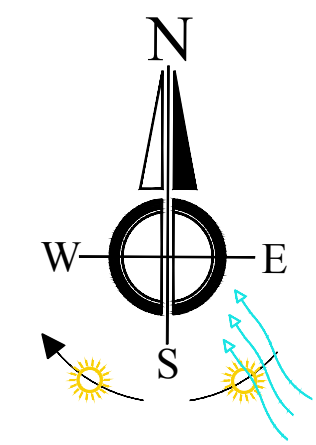
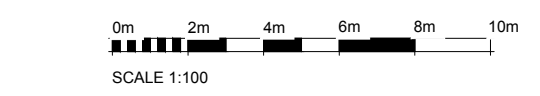
PLANTING NOTES

- * PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK.
- * SEE MATERIAL SPECIFICATIONS ON COVER SHEET AND PLANTING DETAILS FOR SEEDING RATE, FERTILIZER AND APPLICATION SPECIFICATIONS.

PLANT SCHEDULE				
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QUANTITY
TREES				
	CON	CORNUS NUTTALLII PACIFIC DOGWOOD	1.8m Ht.	3

SHRUBS AND PERENNIALS			
	ARC	ARCTOSTAPHYLOS UVA-URSI COMMON DOGWOOD	# 1 POT 119
	CAL	CALAMAGROSTIS x ACUTIFOLIA FORESTORY FAWN LEAF GRASS	# 2 POT 49
	CDS	CORNUS SERICEA RED DOGWOOD	# 1 POT 48
	COT	COTINUS COGCOGRIA SHRUB BUSH	# 1 POT 116
	HOL	HOLDOUSCUS DISCOLOR JEWEL SPRAY	# 2 POT 93
	GAS	GALLTHERIA SHALLOON SHAL	# 1 POT 60
	MAH	MAHONIA REPENS CREEPING OREGON GRAPE	# 1 POT 53
	POL	POLYSTICHUM MUNITUM SWORD FERN	# 1 POT 144
	PHL	PHILADELPHUS LEWISII MOCK ORANGE	# 1 POT 68
	ROS	ROSA NUTKANNA NODDY ROSE	# 1 POT 108
	SYM	SYMPHORICARPOS ALBUS SNOWBERRY	# 2 POT 98
	VAC	VACCINIUM OVATUM EVERGREEN HUCKLEBERRY	# 2 POT 235
	WIS	WISTERIA FLOREBUNDA ALBA JAPANESE WISTERIA	# 2 POT 28

NATIVE SEED MIX - GARRY OAK MEADOW	
	306,40 m2



CLIENT:
ST NICHOLAS UKRAINIAN
CATHOLIC CHURCH

ADDRESS:
1110/1112 CALEDONIA AVENUE,
VICTORIA BC, V8T 1G1

DRAWING ISSUED TABLE:
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2- 2024-11-28REVISED LPT LOCATION PER
HYDRO COMMENTS

OASIS LANDSCAPE DESIGN

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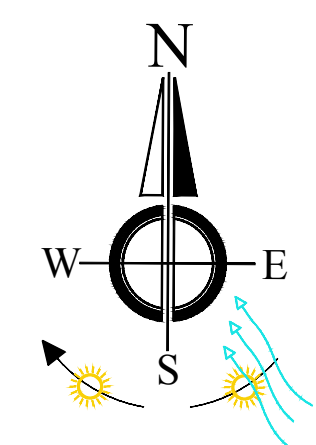
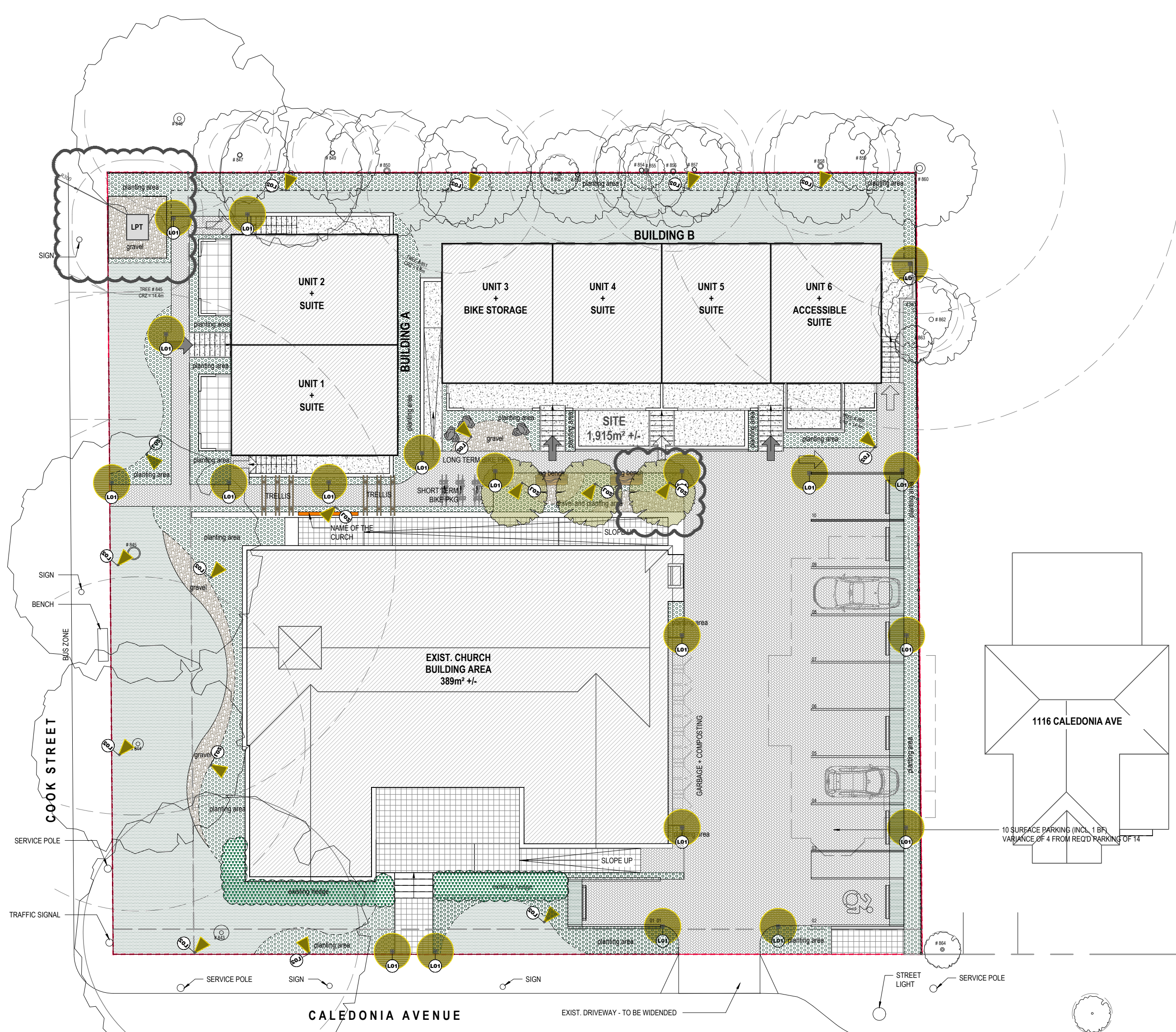
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PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
PLANTING PLAN

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER
L4

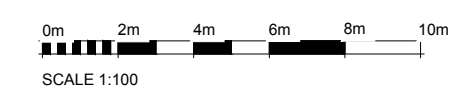
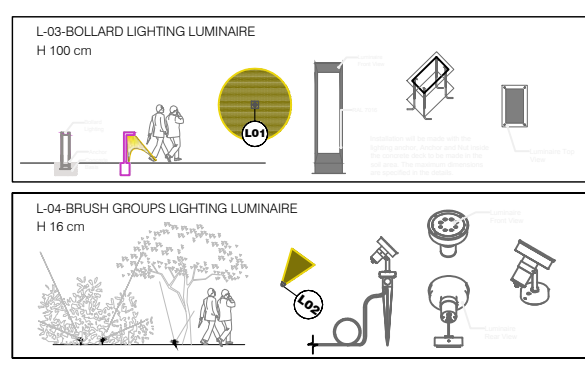


LIGHTING NOTES

SEE ELECTRICAL FOR LIGHTING FIXTURE SPECIFICATIONS.

LANDSCAPE LIGHTING SCHEDULE						
SYMBOL	CODE	LOCATION	MATERIAL	PROPERTY	QUANTITY	UNIT
LIGHTING LUMINAIRES						
	L-01	Pedestrian paths and seating areas	Bollard luminaire 300mm x 200mm H=1000mm	100% 4170-KLM-30000LM 30000LM 100% 4170-KLM-30000LM 30000LM 100% 4170-KLM-30000LM 30000LM	20	price
	L-02	Bush groups lighting	Small armature pole 8.50m x 4.50m H=1500mm	100% 4170-KLM-30000LM 30000LM 100% 4170-KLM-30000LM 30000LM 100% 4170-KLM-30000LM 30000LM	18	price

LIGHTING FIXTURES



CLIENT:
ST NICHOLAS UKRAINIAN
CATHOLIC CHURCH

ADDRESS:
1110/1112 CALEDONIA AVENUE,
VICTORIA BC. V8T 1G1

DRAWING ISSUED TABLE:
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2- 2024-11-28 REVISED LPT LOCATION PER
HYDRO COMMENTS

OASIS LANDSCAPE DESIGN

451 Regency Place / Victoria BC, V9C 0J7
PH: +1 (236) 882-30-51
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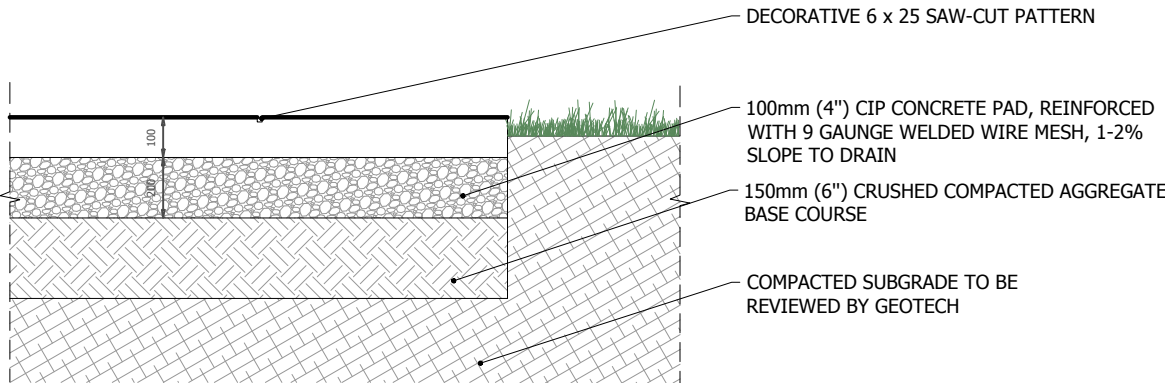
PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
LIGHTING PLAN

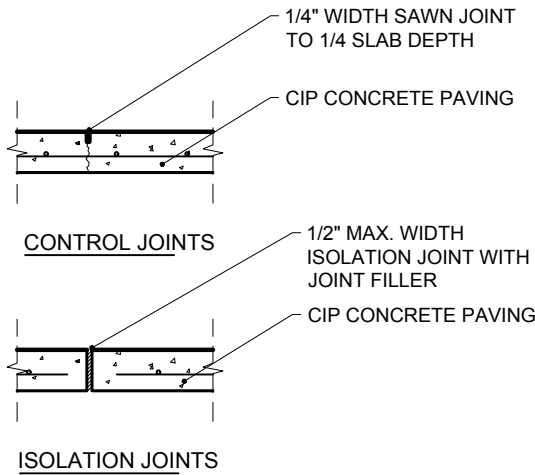
DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER
L5

NOTES:
1- SIDEWALK TYP. 1.5m CLEAR WIDTH OR AS SPECIFIED BY CITY ENGINEER.
2- DIMENSIONS 3 SHALL BE EQUAL SPACING FOR THE ENTIRE SIDEWALK BLOCK AT A DESIRED LENGTH OF 1.5m/1.8m STONES TO BE AS CLOSE TO SQUARE AS POSSIBLE.
3- PRIOR NOTICE AND APPROVAL OF THE CITY ENGINEER, OR REPRESENTATIVE INSPECTOR, IS REQUIRED BEFORE SIDEWALK RESTORATIONS CAN COMMENCE.
4- WHERE SPECIAL TREATMENT ZONES EXIST, THOSE STANDARDS MUST BE FOLLOWED.
5- USE ONLY CITY APPROVED MON. 32 MPa CONCRETE MIX.
6- SIDEWALK WIDTHS REFER TO THE CLEAR WIDTHS.
7- CUT JOINTS SHALL BE SAWS INTO THE SIDEWALK WITHIN 24 HOURS AFTER THE POUR TO MINIMIZE ANY CRACKING.
8- ALL DIMENSIONS IN MILLIMETERS UNLESS STATED OTHERWISE.



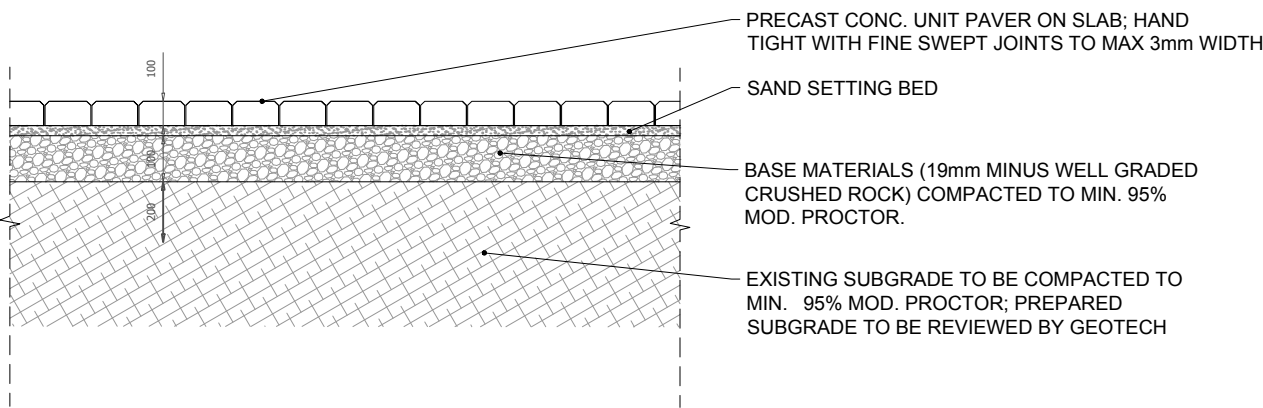
1
L6.1 CONCRETE PAVING - PEDESTRIAN USE 1/10



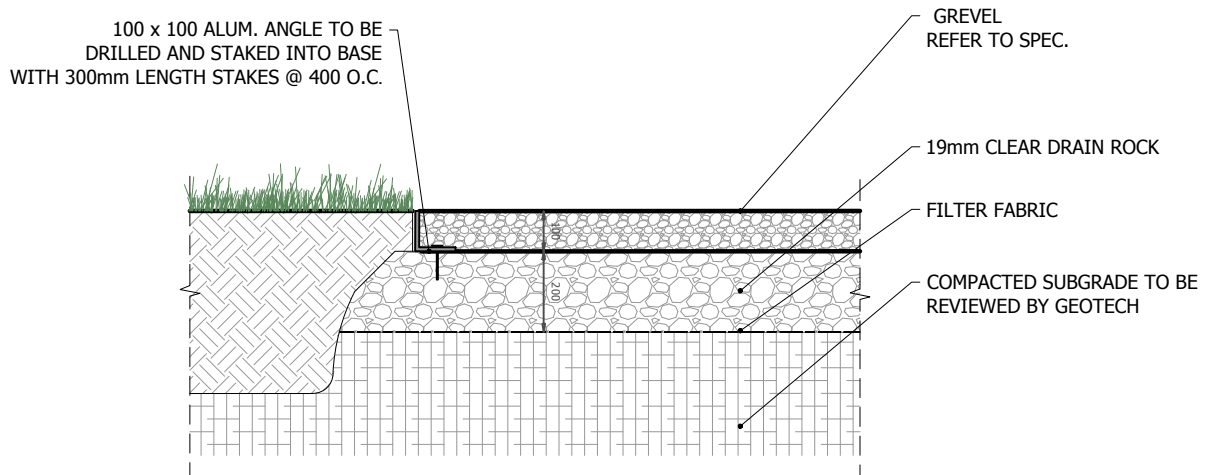
NOTES:
1- CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH.
2- CUT JOINTS BEFORE RANDOM CRACKING OCCURS.
3- C-2 SAWCUT CONTROL JOINTS WITHIN 18 HOURS OF FINISHING SLABS SEE LAYOUT PLAN. ZIP STRIP MUST BE APPROVED BY ARCHITECT.

2
L6.1 CIP CONCRETE PAVING JOINTS 1/10

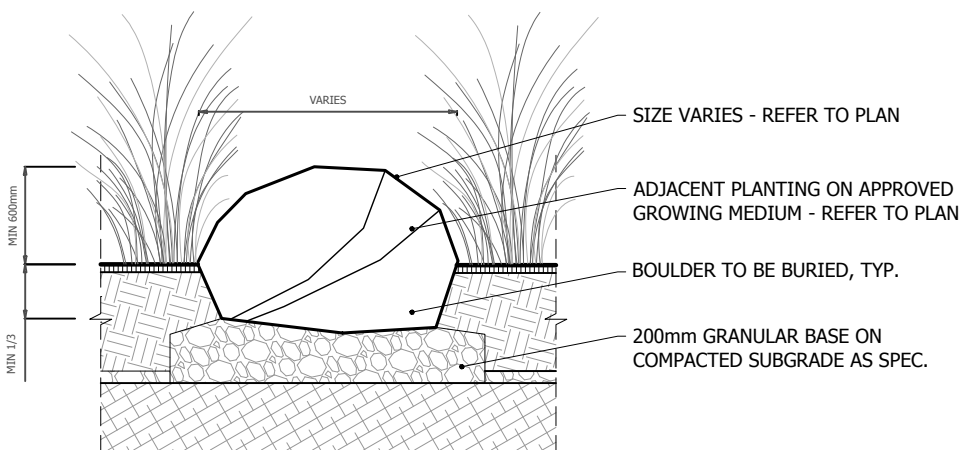
NOTES:
1- SEE WRITTEN SPECIFICATIONS FOR AGGREGATES.
2- PAVER AND PAVER INSTALLATION TO MANUFACTURER'S SPECIFICATION UNLESS NOTED OTHERWISE.
3- PERMEABLE JOINTING MORTAR TO BE ROMEX ROMPOX - EASY ECOFINE - COLOR: GREY - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
4- DO NOT CUT PAVERS TO MEET DIMENSIONS ON PLAN. CONFIRM WITH LANDSCAPE ARCHITECT IN FIELD.



3
L6.1 UNIT PAVERS - PEDESTRIAN AND VEHICLE USE 1/10



4
L6.1 GRAVEL 1/10



5
L6.1 LANDSCAPE BOULDER 1/10

CLIENT:
ST NICHOLAS UKRAINIAN
CATHOLIC CHURCH

ADDRESS:
1110/1112 CALEDONIA AVENUE,
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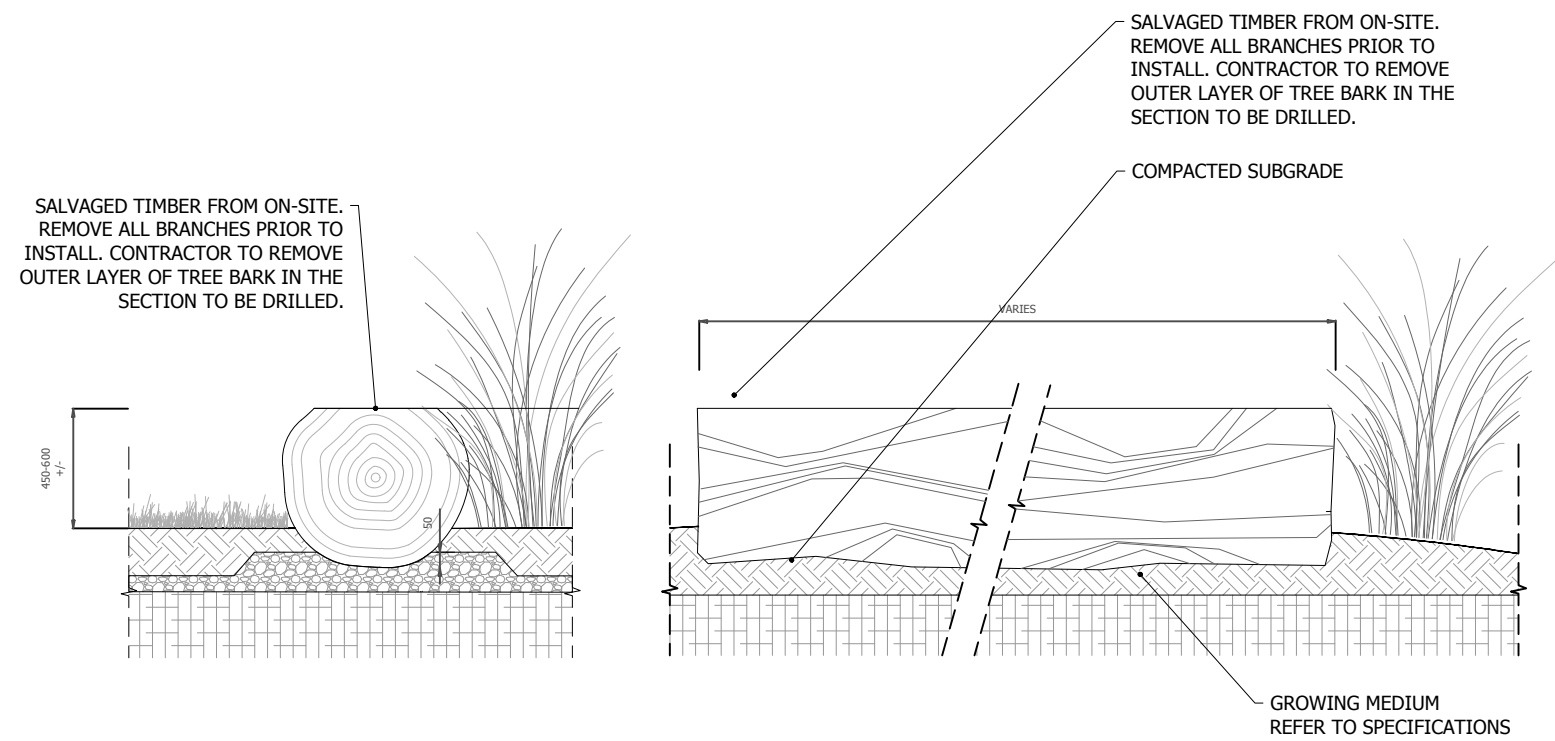
PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
TYPICAL DETAILS
PAVING

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER

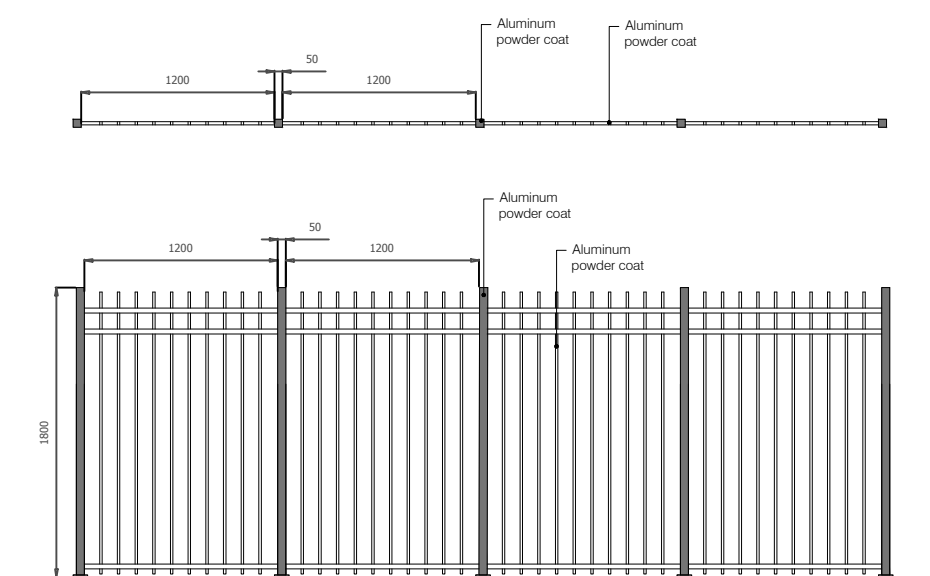
L6.1



1
L6.2 HORIZONTAL SEATING LOG

1/10

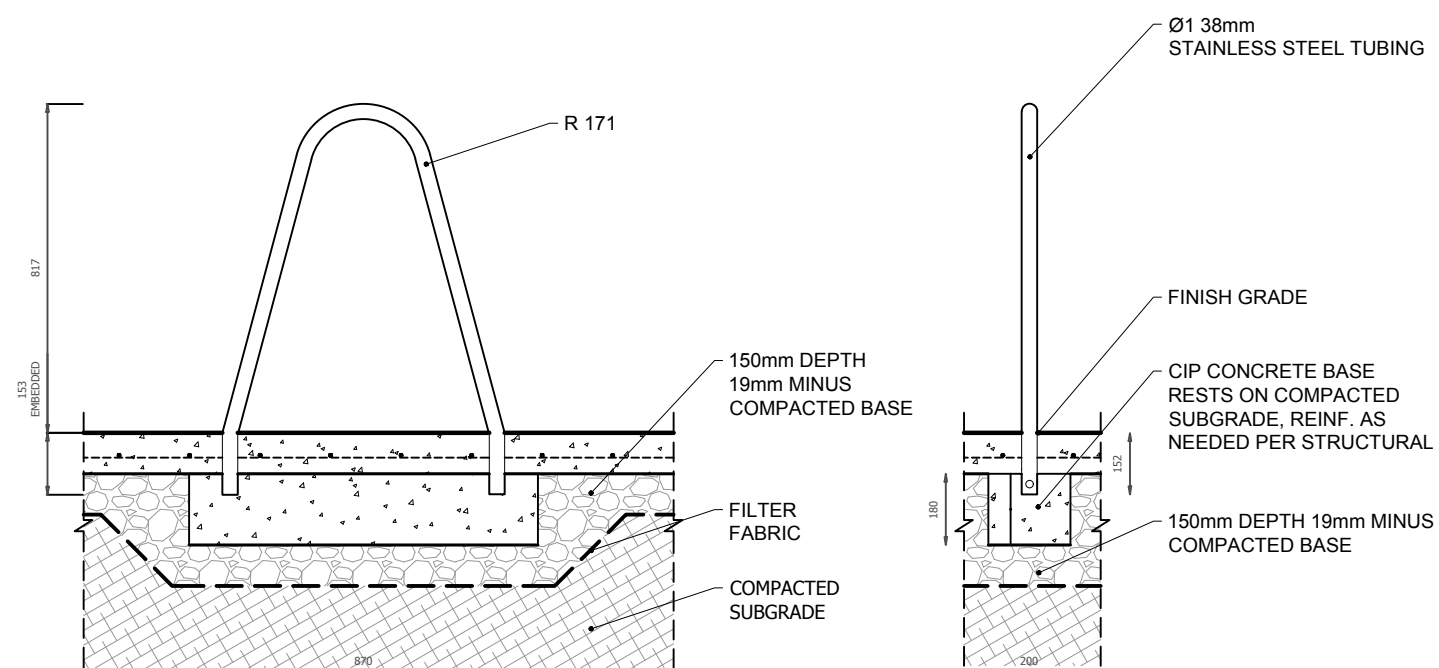
- NOTES:
- 1- PROVIDE SHOP DRAWINGS FOR ALL GUARDRAIL ELEMENTS AND, CONNECTIONS, SIGNED AND SEALED BY STRUCTURAL ENGINEER REGISTERED IN BRITISH COLUMBIA,
 - 2- ALL GUARDRAIL METAL TO BE ALUMINUM; ALL HARDWARE FASTENERS TO BE COATED STEEL TO PREVENT CONTACT OF DISSIMILAR METALS,
 - 3- EXTERIOR PAINT FINISH: POWDERCOAT ALUMINUM TO SMOOTH GLOSS, SUITABLE FOR OUTDOOR APPLICATION, TYP. COLOUR: TO BE CONFIRMED,
 - 4- COLOUR SAMPLE TO BE PROVIDED FOR REVIEW FOR APPROVAL BY LANDSCAPE ARCH,
 - 5- GRIND ALL CUT/WELDED SURFACES TO SMOOTH UNIFORM FINISH.



2
L6.2 PERIMETER FENCE

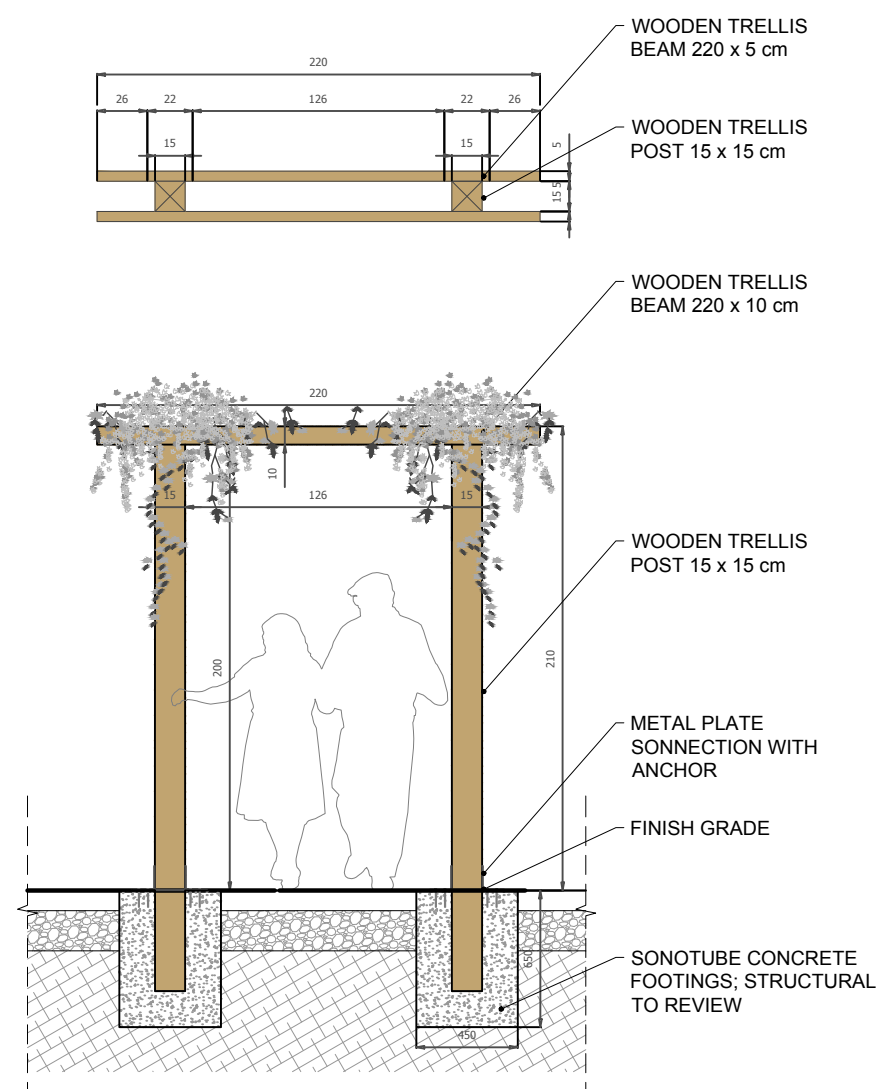
1/20

- NOTES:
- 1- INSTALL PER MANUFACTURER'S INSTRUCTION
 - 2- BOLA RACK IN STAINLESS STEEL BY LANDSCAPE FORMS



3
L6.2 BIKE RACK

1/10



4
L6.2 TRELLIS

1/20

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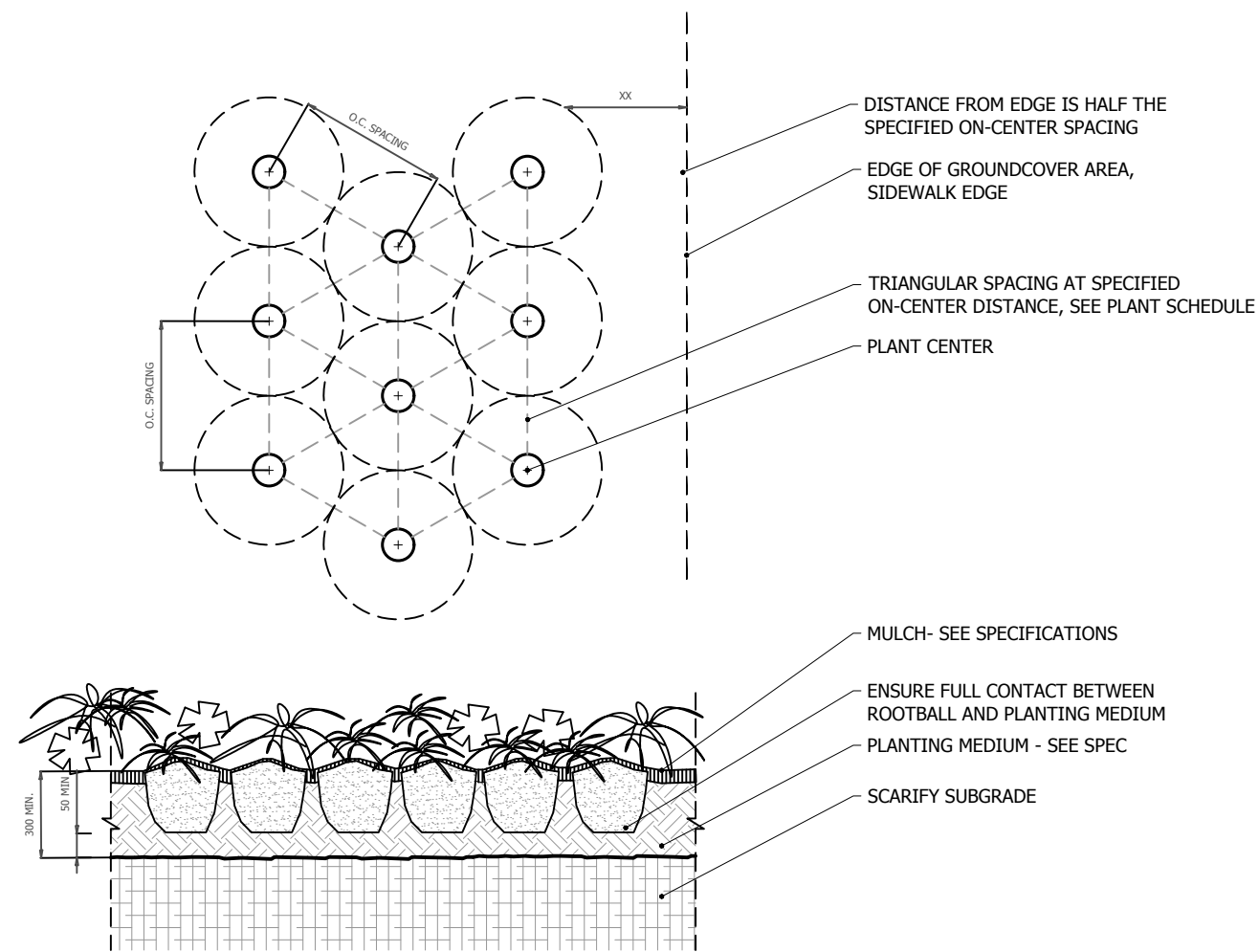
PROJECT NAME:
UKRAINIAN CHURCH

DRAWING NAME:
TYPICAL DETAILS
SITE FURNISHINGS

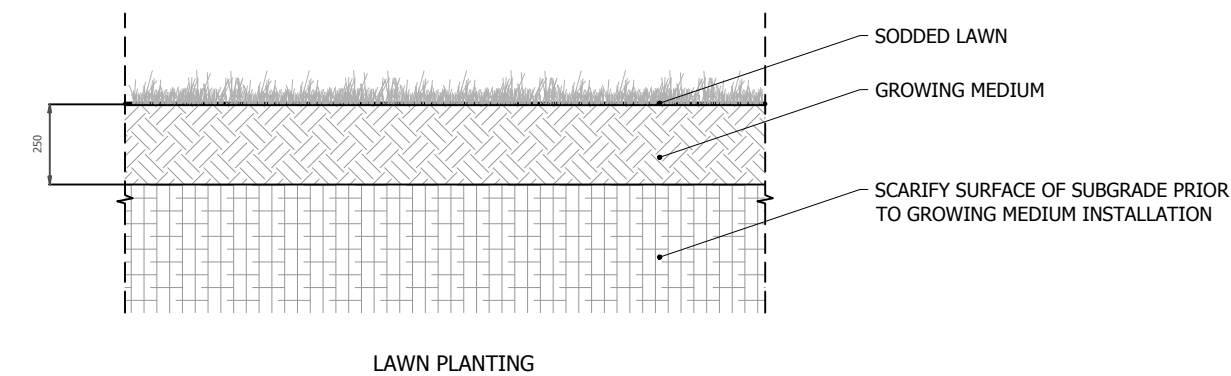
DATE: NOV. 2024
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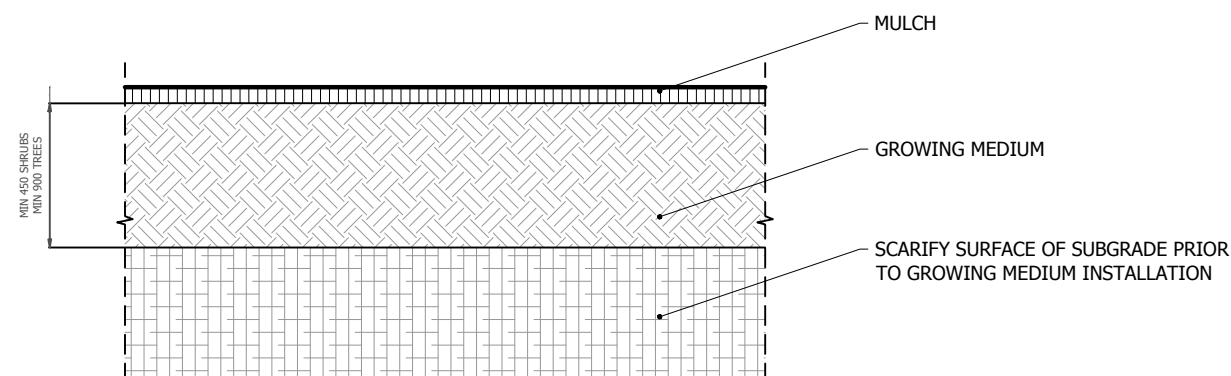
L6.2



1
L6.3 GROUND COVER PLANTING NTS

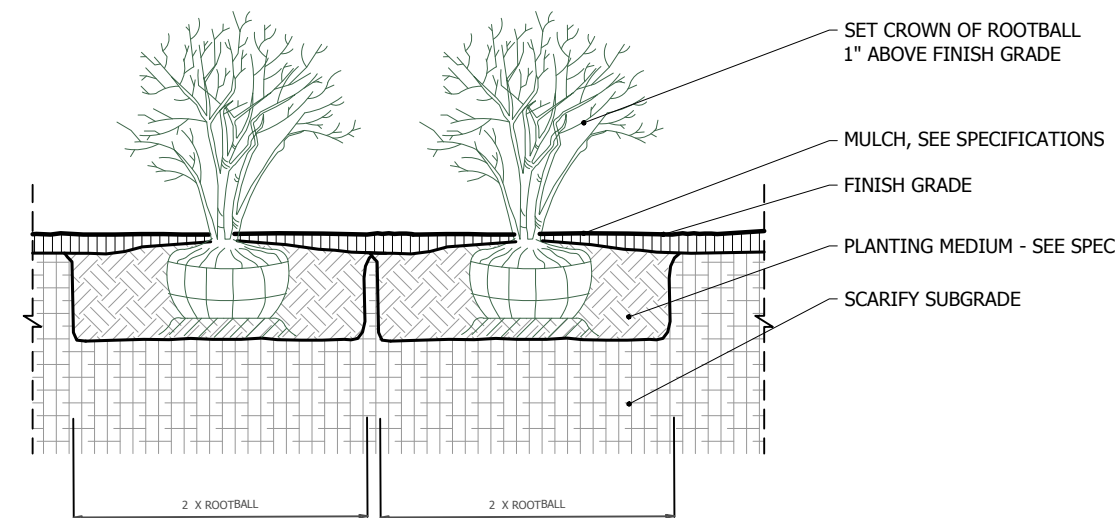


LAWN PLANTING

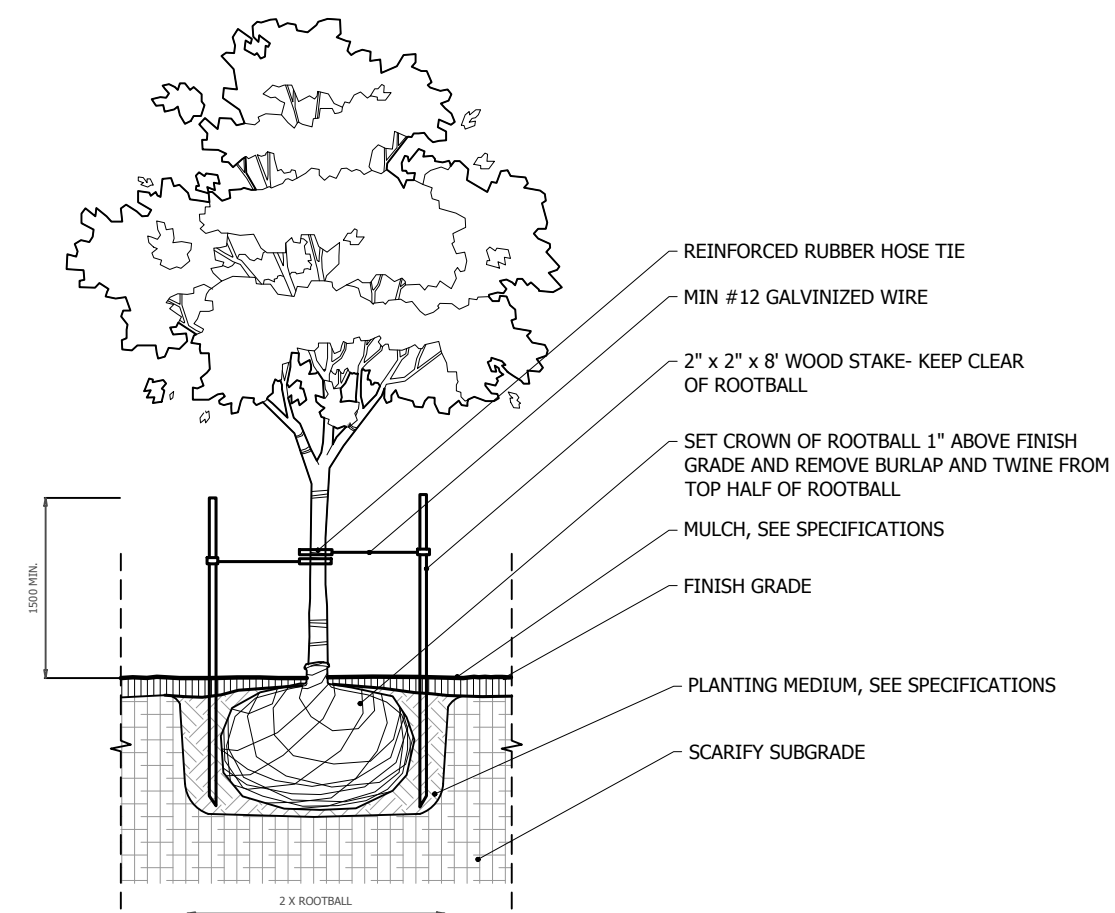


SHRUB / TREE PLANTING

3
L6.3 SOIL PROFILES ON GRADE 1/10



2
L6.3 SHRUB PLANTING NTS



4
L6.3 TREE PLANTING - ON GRADE 1/10

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PROJECT NAME:
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DRAWING NAME:
TYPICAL DETAILS
PLANTING

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CHECKED: BE

DRAWING NUMBER

L6.3

GENERAL PLANTING NOTES

PLANT MATERIAL INSTALLATION

- All trees, shrubs and groundcovers shall be planted as detailed & as shown on the planting plan. All beds to receive a cover of clean mulch to a minimum depth of 50mm (2").
- Plant material sizes and conditions is indicated on the landscape drawings.
- The total of individual plant groupings shown on the planting plan is specified on the master plant list (plant legend). The contractor must notify the landscape architect in writing before starting any work if there are any discrepancies. If the landscape architect is not notified of discrepancies, the contractor will assume full responsibility.
- Mulch - shredded pine mulch by "Gro Bark" or equal. Landscape architect to approve mulch before installation.

GENERAL MAINTENANCE

- Proper maintenance procedures are to be fully administrated for all newly constructed landscape work. This shall apply only during the construction period, unless otherwise specified. Contractor is responsible for maintenance of seeded and planting areas until final appeptance by landscape architect.
- Rodent protection - the contractor shall be responsible for the protection of all trees and shrubs for winter protection and from rodent injury for the duration of the one (1) year warranty and maintenance period. Protective guards shall be employed around all deciduous trees. Installed prior to the application of the mulch and should be placed a minimum of 100mm (4") out from the tree trunk on all sides.
- All shrubs and coniferous trees shall have an application of "skoot" or approved equivalent rodent formula, to be applied at the end of October. Follow manufacturer's directions for application.

GENERAL REQUIREMENTS

- Use the above specifications in conjunction with the general landscape guidelines set forth by the Victoria CNLA, the Nursery Sod Growers Association of Victoria, and the Canadian Nursery Stock Standards outlined on the planting plan. Ensure that each specimen or bundle is clearly labeled or marked with the appropriate variety, size, and grade, in compliance with these standards.
- Substitutions in variety, size, or grade must be approved by the landscape architect. Only nursery stock grown according to proper horticultural practices shall be used. All utility lines must be staked out prior to excavation. The contractor must obtain all necessary permits before proceeding with work. Specifications and contract documents should be submitted to the landscape architect before the end of the bidding process and commencement of construction. Note that these specifications may be superseded by additional details provided in the tender documents. The contractor is responsible for reviewing all documents thoroughly.

WARRANTY & MAINTENANCE PERIOD

- Provide one (1) year warranty and maintenance period on all landscape work from date of final acceptance by landscape architect. If any materials are replaced within the one (1) year warranty period, the City of Colwood will require a further one (1) year warranty on the replaced materials.

LANDSCAPE SPECIFICATIONS

ROUGH GRADING

- Rough grade and fill areas to establish subgrade as required. Provide drainage pattern as indicated on drawings. Round smoothly all tops and toes of slopes. Compact all areas to 95% standard proctor density unless specified otherwise.

FINE GRADING

- All areas must be fine-graded to the finished elevations as indicated in the layout, grading plan, or civil site plan, following the applicable standards and procedures as per the City of Colwood's guidelines.

SPREADING OF TOPSOIL

- Scarify the subsoil prior to the spreading the topsoil. Remove all debris and leave a fine textured even surface. All topsoil to be imported unless previously approved by landscape architect. Obtain approval for the quality of any imported topsoil before delivery to the site. Topsoil is to be compacted to create a firm and even surface.

MINERAL FERTILIZER

- Apply the following mineral fertilizer unless soils tests show other requirements:

1- Seeded areas - 11% nitrogen, 8% phosphorus and 4% potash (11-8-4) at the rate of 4,5kg over m2 (10 LBS over 1000 SQ. Ft.)
2- Planting beds - 7% nitrogen, 7% phosphorus and 7% potash (7-7-7) at the rate of 40 grams (4 OZ.) for every bushel of topsoil.

PRPERATION OF PLANTING BEDS

- All plant beds to be continuous.
- Excavate all planting beds to the depth as indicated on the drawings and details. Backfill all planting beds with a soil mixture consisting of six (6) parts of sand loam, one (1) part of finely pulverized peat moss, two (2) parts of well-rotted manure and the mineral fertilizer as specified above. Also add 58 kilos bonemeal/cubic meter of planting soil (1LB./cubic yard). Prepare the planting beds for planting before the delivery of the plant material to the job site.

NOTE: If the existing soil conditions are clay or wet in nature, contact the landscape architect for instructions of a suitable soil mixture. Failure to do this may result in delay of approval and acceptance.

PLANT MATERIALS

- All plant material shall conform to the standards of the Canadian Nursery Trades Association for size and species.
- All shrub and tree material shall be container grown, potted, S/B or B/B. Unless otherwise noted. Bare root planting shall be acceptable for certain species durind early spring or late fall planting season. Contractor shall make requests for root condition substitution in writing to the landscape architect prior to commencement of planting operations. All plant materais to be clay grown stock unless otherwise noted.
- Confirm with Landscape Architect the pre-purchase of any plant materials or requirements for contract growing due to plant availability.

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UKRAINIAN CHURCH

DRAWING NAME:
TYPICAL DETAILS
PLANTING

DATE: NOV. 2024
SCALE: AS INDICATED
DRAWN: AK
CHECKED: BE

DRAWING NUMBER

L6.4

PROJECT:

UKRAINIAN CHURCH – NEW HOUSING
1909 Cook Street / 1110 + 1112 Caledonia Avenue

Architect's Project Number:

23-005

Date:

November 20, 2024

RE: LETTER TO MAYOR AND COUNCIL

Dear Mayor and Council –

This letter is being submitted in support of the Development Permit Application

DESCRIPTION OF PROPOSAL:

Current zoning = R2 Zone, Two Family Dwelling District

Proposed re-zoning = New Comprehensive Development

Existing Zoning Density = 0.5 : 1

Proposed Density = 0.6 : 1

Rental Units

Total of 11 units, each has direct access to the outside for entrance and exit:

- 6 – 2 bedroom units
- 5 – 1 bedroom suites

Inclusion of adaptable housing features: 1 unit designed as adaptable

GOVERNMENT POLICIES: CONFORMANCE WITH OCP + Neighbourhood / Precinct Plan

Urban Place Designations (Map 2) – Large Urban Village – North Park Village, Fernwood

- Built Form is described as low- and mid-rise multi-unit, mixed use, and freestanding commercial
- Uses are described as residential and mixed use, commercial, including visitor accommodation, live/work, home occupations.
- In terms of Density, total floor space ratios up to 1.5:1 is permitted (proposal = 0.8)

30 Year Growth Management Concept (Figure 3)

- Site is located within the Remainder of the City which is expected to see 10% of the population growth (2,000 new ppl by 2041)

Regional Growth Strategy

- Victoria supporting RGS target of accommodating 95% of new dwelling units within the regional urban containment policy area, some of which will be located in human-scaled neighborhoods such as North Park Village / Fernwood
- Victoria helps to protect Capital Region's rural communities by housing a significant proportion of regional population growth in walkable, transit accessible communities
- Improved Multi-Modal Connectivity and Mobility – there are options for walking, taking transit or biking to nearby services and amenities
- Supporting reduction in Community-Based GHG Emissions by minimizing vehicle emissions, providing EV infrastructure and choosing renewable energy over fossil fuels

Fernwood Strategic Directions (Map 24)

- Accommodate new population and diverse housing choices between North Park and Fernwood Villages
- Improve cycling and pedestrian connections to downtown and other parts of the City and region
- Maintain heritage character, buildings and streetscapes of significance

Climate Change and Energy

- Climate Leadership Plan Progress Report 2022
- (overall community GHG emissions are down 24% since 2007)

- (2021 Victoria) 42% of emissions from transportation (down from 43% in 2007) and 16% from single family homes. Overall, buildings account for 50% of Victoria's community emissions.
- Proposed development has the potential to minimize emissions from transportation due to realistic alternatives to use of single occupancy vehicle
- The site achieves a Walk Score of 81 (very walkable – most errands can be accomplished on foot) a Transit Score of 64 (good transit – many nearby public transportation options) and a Bike Score of 81 (very bikable – daily errands can be accomplished on a bike) according to www.walkscore.com
- Low Carbon Mobility – consider infrastructure for EV
- Low Carbon High-Performance Buildings - Design and Build well:
 - with high performing durable and resilient materials to protect building envelope
 - ensure building is airtight to reduce heat loss and energy demand
 - minimize thermal bridging
 - ensure insulation is adequate and continuous as possible
 - consider ductless dryers to reduce air leakage and heat loss
 - discourage the use of fossil fuels such as natural gas
 - encourage electrification as much as possible
 - consider off-site prefabrication to significantly minimize waste, improve quality of construction and reduce construction time

PROJECT BENEFITS AND AMENITIES:

- Supply of desperately needed housing for families in established neighbourhood with gentle densification. Enhance the sense of community by providing diverse housing options that cater to families, singles, and seniors
- Encourage local engagement through proximity to the Ukrainian Church and its cultural activities
- Increase biking activity in the area by providing more bike parking than required, promoting eco-friendly transportation options and encouraging a healthier lifestyle
- Well-lit common areas to increase pedestrian activity and safety in the area
- Opportunities for hosting community events and activities within the church property, fostering neighborly connections and cultural exchange.
- Urban Agriculture: proposed development includes areas for planting which will also provide habitat for pollinators

NEED AND DEMAND:

- In order to help support expected population growth, property needs to be rezoned for greater density.
- Outward expansion of Victoria's housing stock is limited, so it is necessary to create more compact built environment which in this case includes gentle densification
- It is anticipated that Victoria will need an additional 2,700 ground-oriented housing units over the next 30 years.

NEIGHBOURHOOD:

- Appropriate scale within the context of adjacent buildings
- Existing Ukrainian Church is located on the property
- North property line borders Health Services parking lot, East property line borders single family dwelling lot
- A corner lot is an ideal location for gentle densification by providing multiple access points and minimizing impact on neighbouring properties.

IMPACTS:

- We feel the development will improve the existing neighbourhood by adding much needed housing stock, as well as enhancing public street, providing street vitality, pedestrian and biking activity, safety, and 'eyes on the street'.

DESIGN AND DEVELOPMENT PERMIT GUIDELINES:

OFFICIAL COMMUNITY PLAN:

DPA 17 (HC): NORTH PARK VILLAGE AND DISTRICT GUIDELINES:

General Urban Design Guidelines (2022):

5.0 Open Space and Landscaping: provided open space is usable, attractive and well-integrated with the design of the building; species selection provides interest year-round

7.1 Buildings with industrial uses: not applicable

7.2 Heritage building context and skyline: not applicable, heritage designated single family dwelling heavily

damaged by fire to be removed

7.3 Universal Accessible Design and Safety: common outdoor areas are accessible and safe for people of all abilities

8.3 Supplementary design guidelines for urban villages: located at the north-east corner of North Park Village, proposed development creates a visual transition to adjacent areas ('Housing Opportunity' and 'Traditional Residential' as per Map 24, Fernwood Strategic Directions, OCP)

Guidelines for Fences, Gates and Shutters (2010)

Fence: aluminium picket fence complimented with planting proposed at north and east property line, no fence at south and west property lines.

Gates and Shutters: not applicable.

Standards and Guidelines for the Conservation of Historic Places in Canada

Property contains existing heritage designated building heavily damaged by fire and encroaching on neighbouring property. The proponent wishes to work with City of Victoria to determine acceptable path forward.

City of Victoria Heritage Program Sign & Awning Guidelines (1981)

Not applicable

SAFETY AND SECURITY:

CPTED – Crime Prevention Through Environmental Design (5 key principles)

- Natural Surveillance – maximize visibility to be able to identify suspicious behaviour
- Territorial Reinforcement – clear distinction between public and private areas
- Natural Access Control – discourage access to private areas
- Maintenance – appropriate care of property for continued intended use
- Activity Support – engage and interact on property as appropriate to discourage criminal acts

TRANSPORTATION:

- Parking has been provided in accordance with Schedule P, Attached Dwelling. Total required = 14 parking spaces, proposed variance = 10 parking spaces
- Bike parking has been provided in accordance with Schedule P, Attached Dwelling. Total required = 17 parking spaces, total provided = 24 parking spaces

HERITAGE:

- Property contains existing heritage designated building heavily damaged by fire and encroaching on neighbouring property.
- The proponent wishes to work with City of Victoria to determine acceptable path forward.
- Heritage Consultant is involved to provide a heritage report.

CLIMATE-FORWARD GREEN BUILDING FEATURES THE CLIENT IS WILLING TO CONSIDER:

• Near Zero Emissions:

Design mechanical systems as fully electric.

• Building Retention and Reuse:

Increase waste reduction and landfill diversion to exceed requirements.

• Low Carbon Materials and Construction:

Prioritize and specify the use of low embodied carbon materials and/or carbon-sequestering materials

• Transportation:

Speak with City staff about transportation demand management alternatives to minimize parking.

Ensure bicycle parking includes gear storage, a repair station and heavy-duty locks, while considering all bike types, including cargo and e-bikes

Exceed requirements for EV charging, such as providing charging for e-bikes

Provide transit passes for occupants

• Rainwater Management and Green Infrastructure:

Support native plants and pollinators

• Landscaping and Native Plants:

Plants are native to southern Vancouver Island, climate-adapted, food-bearing and/or provide pollinator habitats

- **Urban Gardening and Food Production:**

- Incorporate pollinator gardening into landscaped areas

- **Climate Change Adaptation:**

- Minimize overheating risk using mechanical and passive cooling techniques

- Use future climate predictions to design mechanical systems

- Include measures to ensure indoor air quality during forest fire smoke events

URBAN FORESTRY:

- Two unprotected trees potentially to be removed; two new trees are proposed.

- Urban Agriculture: planted areas will provide habitat for pollinators

EXISTING INFRASTRUCTURE

- Existing Major Water Main (300mm ø or greater) – Map 13

- No Major Sanitary Sewer Main (250mm ø or greater) – Map 14

- Major Stormwater Main (250mm ø or greater) – Map 15

Sincerely,

A handwritten signature in black ink, appearing to read "H Spinney".

Heather Spinney, Architect AIBC, CPHD
Principal, Studio PA | Praxis Architects Inc.