

PROJECT:
SEVEN-36

736 Princess Ave.

CLIENT:



Seven-36 Princess Ave.

The Arcata Collective Ltd.
+ designers + urban planners + filmmakers + craftspeople +
924 McClure Street Victoria BC V8V 3E7
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LADR LANDSCAPE ARCHITECTS

ISSUED FOR: DATE:
Rezoning 07.20.17

PROJECT NO.:

DRAWN BY:

DATE:
07.20.17

SCALE:
as shown

DRAWING TITLE:
Title Sheet

DRAWING NUMBER:

A 0.0



**Original
Submission**
Received Date:
July 21, 2017

736 Princess Ave.

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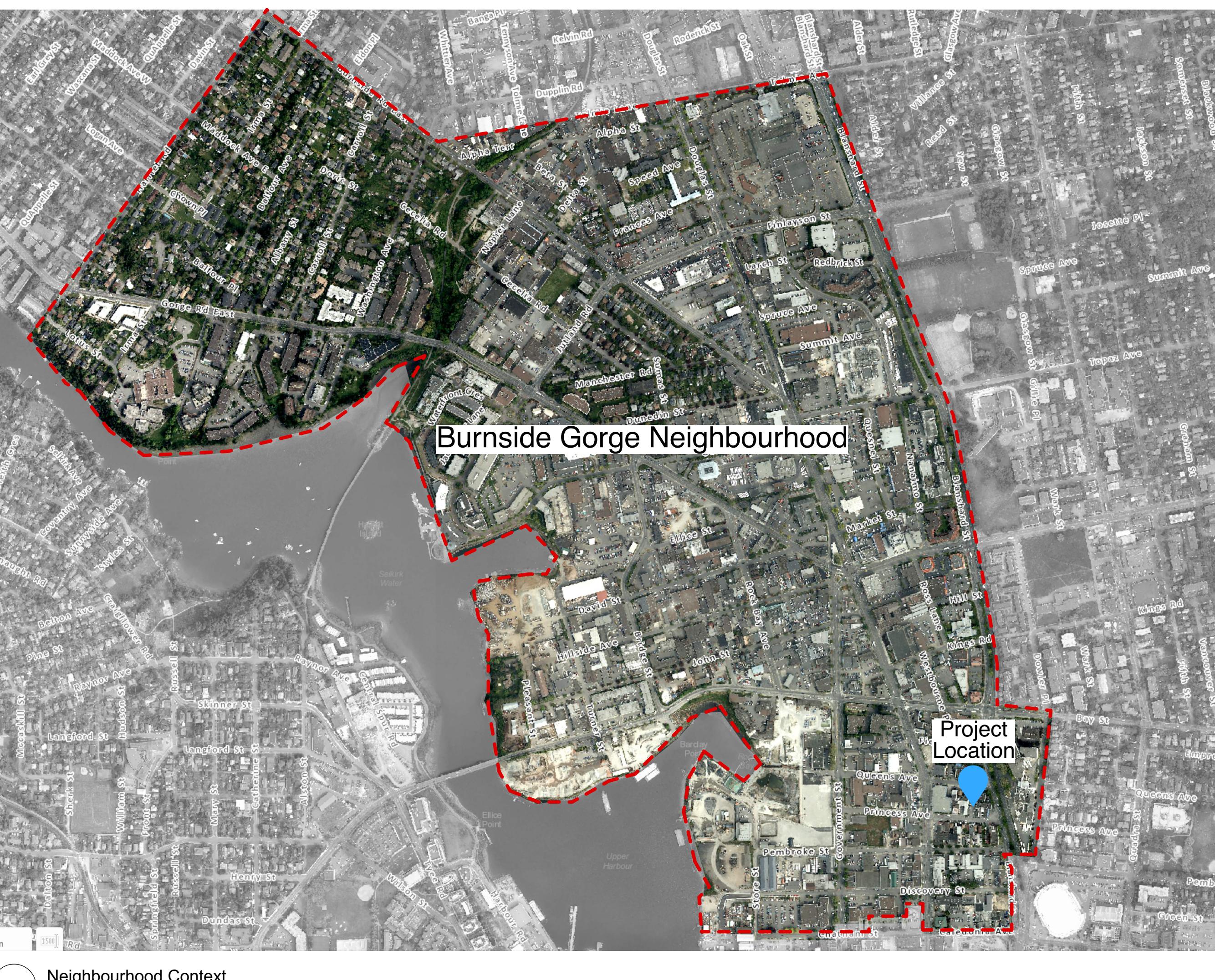
DRAWING TITLE:
Project Data &
Context Plan

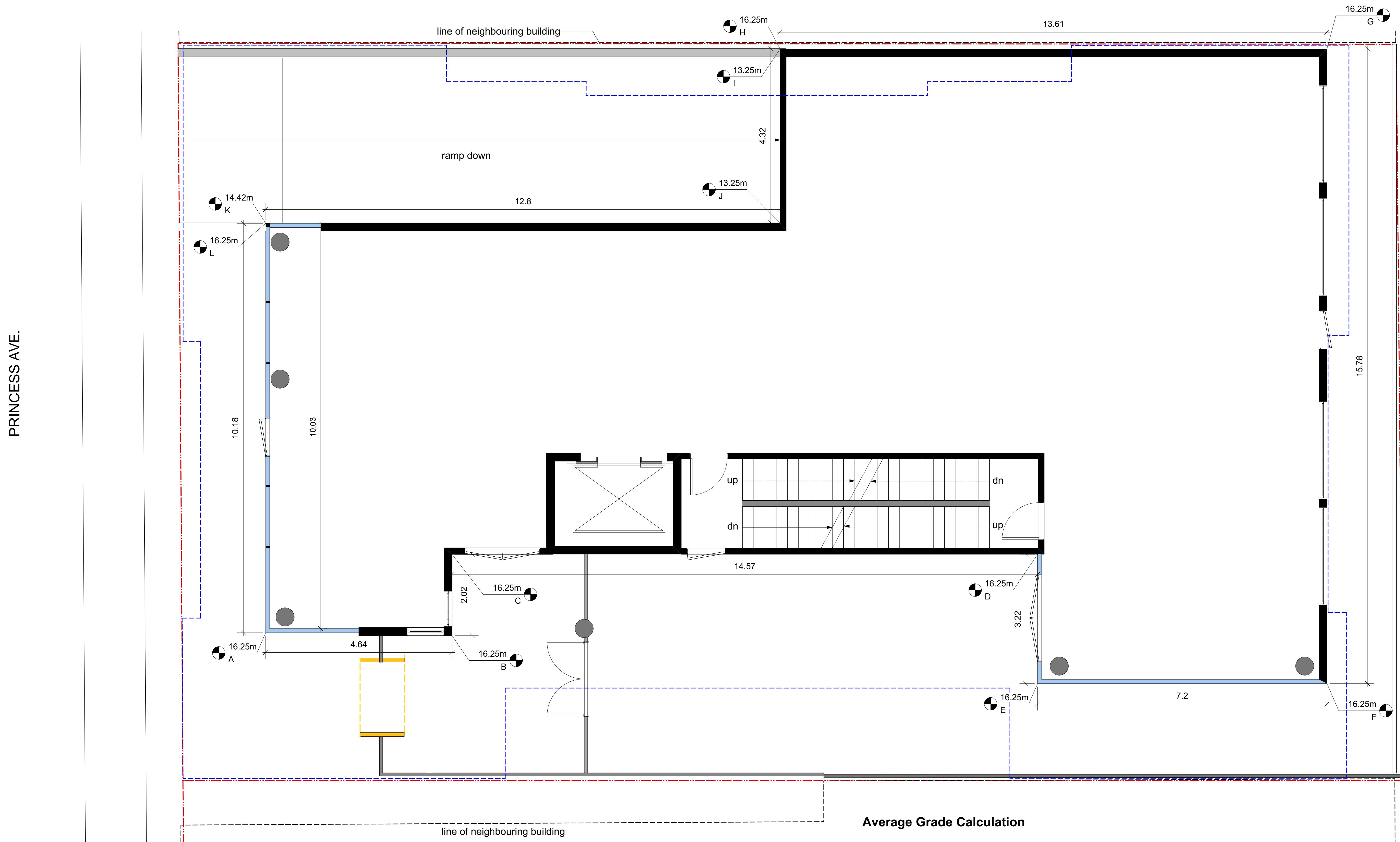
DRAWING NUMBER:

A 0.1

Project Data 736 Princess Ave.

Civic Address	736 Princess Ave.
Legal Description	Lot 12, Block B, Section 3, Victoria, Plan 8
Zoning Existing	Existing: M-1, Limited Light Industrial District
Zoning Proposed	New Zone
Site Area	556 sq.m (5,982 sq. ft.)
Floor Areas (Gross)	
Basement area:	442 sq m (4760 sq ft)
Level 1 area:	286 sq m (3084 sq ft)
Level 2 area:	439 sq m (4720 sq ft)
Level 3 area:	439 sq m (4720 sq ft)
Level 4 area:	448 sq m (4824 sq ft)
Level 5 area:	448 sq m (4824 sq ft)
Level 6 area:	448 sq m (4824 sq ft)
Total Gross Floor Area	2,950 sq m (31,756 sq ft)
Commercial Floor Area (portion of Level 1)	73.8 sq m (795 sq ft) Seating Capacity 22
Floor Space Ratio Allowed	3:1
Floor Space Ratio Proposed	4.5:1
Calculation	
Total floor area for calc. Levels 1-6: 26,996 sqft.	
Lot Area: 5,982 sqft.	
$26,996 / 5,982 = 4.5:1$	
Floor Space Ratio Residential Levels 2-6	3.9:1
$23,912 / 5982 = 3.9:1$	
Site Coverage (%)	85.8%
$(5,134 \text{ sq. ft.} / 5,982 \text{ sq. ft.}) * 100$	
Open site space (%)	30.9%
$(\text{Open space } 1,850 \text{ sq.ft.} / 5,982 \text{ sq. ft.})$	
Height of Building	
Proposed (from average grade)	20.3m
Number of Storeys	6
Parking	
Proposed - Residential	17 electric car share fleet in stacked formation
Proposed - Commercial	0
Bicycle Parking	
Proposed Class 1	26 plus 9 electric bikes
Proposed Class 2	6
Building Setbacks Required	None
Total Number of Units	75 (includes 5 accessible units)
Unit Type	Studios
Unit Size	19.5 sq.m. - 29.7 sq.m. (210 sq.ft. - 320 sq.ft.)
Total Residential Floor Area Levels 2-6	2221.5 sq.m. (23,912 sq.ft.)





1 Average Grade Calculation

Average Grade Calculation				
<u>Grade Points</u>	<u>Average</u>	<u>Distance(m)</u>	<u>Totals</u>	
A & B	$((16.25 + 16.25) / 2)$	x 4.64	=	75.40
B & C	$((16.25 + 16.25) / 2)$	x 2.02	=	32.82
C & D	$((16.25 + 16.25) / 2)$	x 14.57	=	236.76
D & E	$((16.25 + 16.25) / 2)$	x 3.22	=	52.32
E & F	$((16.25 + 16.25) / 2)$	x 7.2	=	117.00
F & G	$((16.25 + 16.25) / 2)$	x 15.78	=	256.42
G & H	$((16.25 + 16.25) / 2)$	x 13.61	=	221.16
H & I	$((16.25 + 13.25) / 2)$	x 0	=	0.00
I & J	$((13.25 + 13.25) / 2)$	x 4.32	=	57.24
J & K	$((13.25 + 14.42) / 2)$	x 12.8	=	177.08
K & L	$((14.42 + 16.25) / 2)$	x 0	=	0.00
L & A	$((16.25 + 16.25) / 2)$	x 10.18	=	165.43

1,391.63

Building Perimeter

88.29 m

Average Grade 1391.63 / 88.29 = 15.76M

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ISSUED FOR: DATE:

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DRAWING NUMBER:

A0.3

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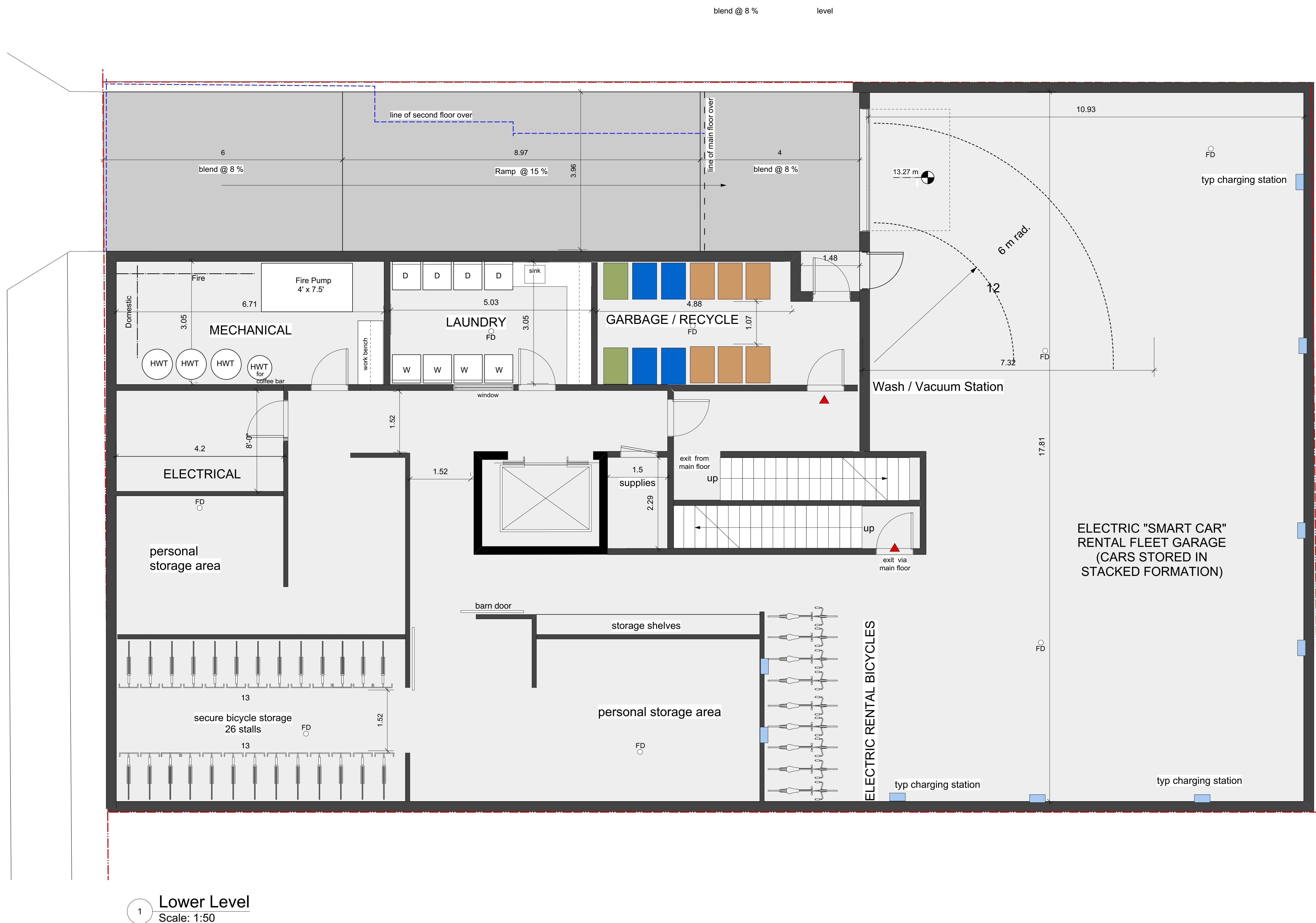
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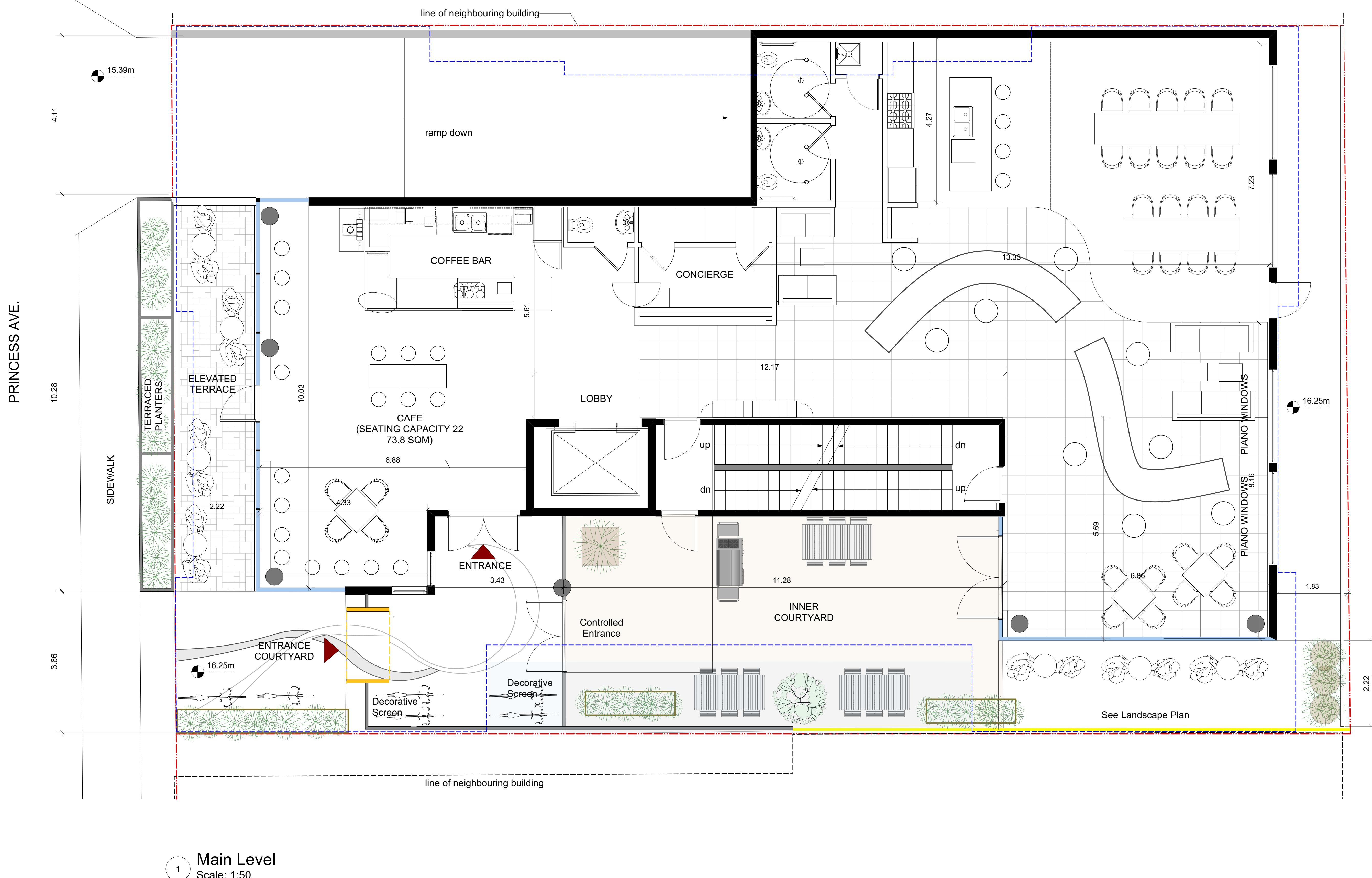
COAL.

DRAWING TITLE:

DRAWING NUMBER:



A 1.0



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DRAWING TITLE:
Main Level Plan

DRAWING NUMBER:

A 1.1



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DRAWING TITLE:
Level 2-3

DRAWING NUMBER:

A 1.2

Princess Ave.



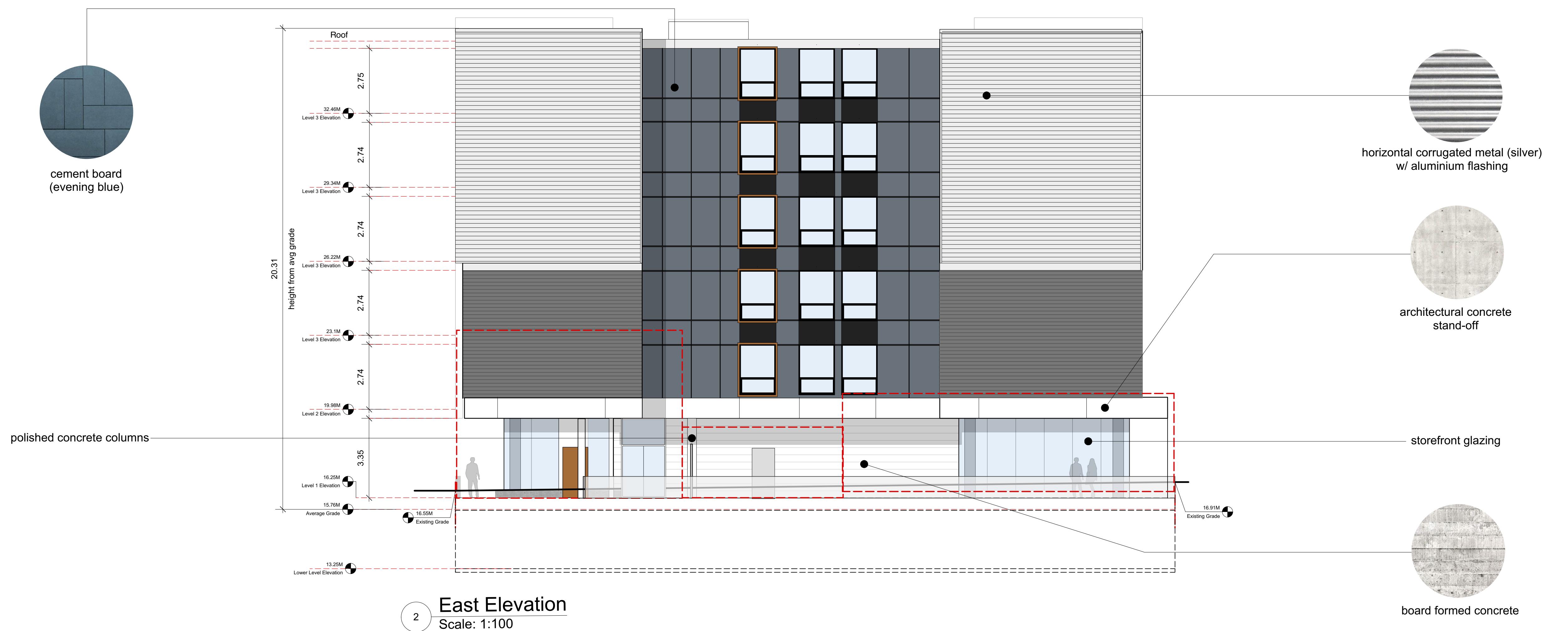
A 1.2

Princess Ave.



1 **Level 4-6 Typ. Plan**
Scale: 1:50

Materials



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DRAWING TITLE:
Elevations S-E

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A 2.0

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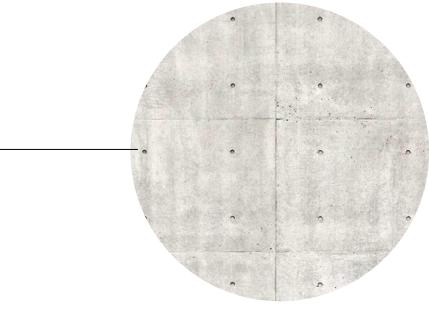
Elevations N-W

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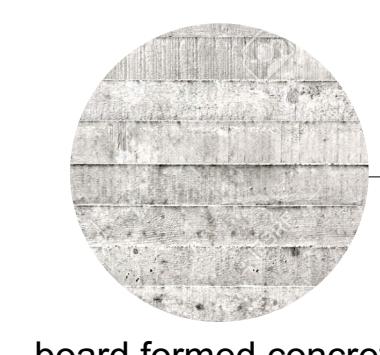
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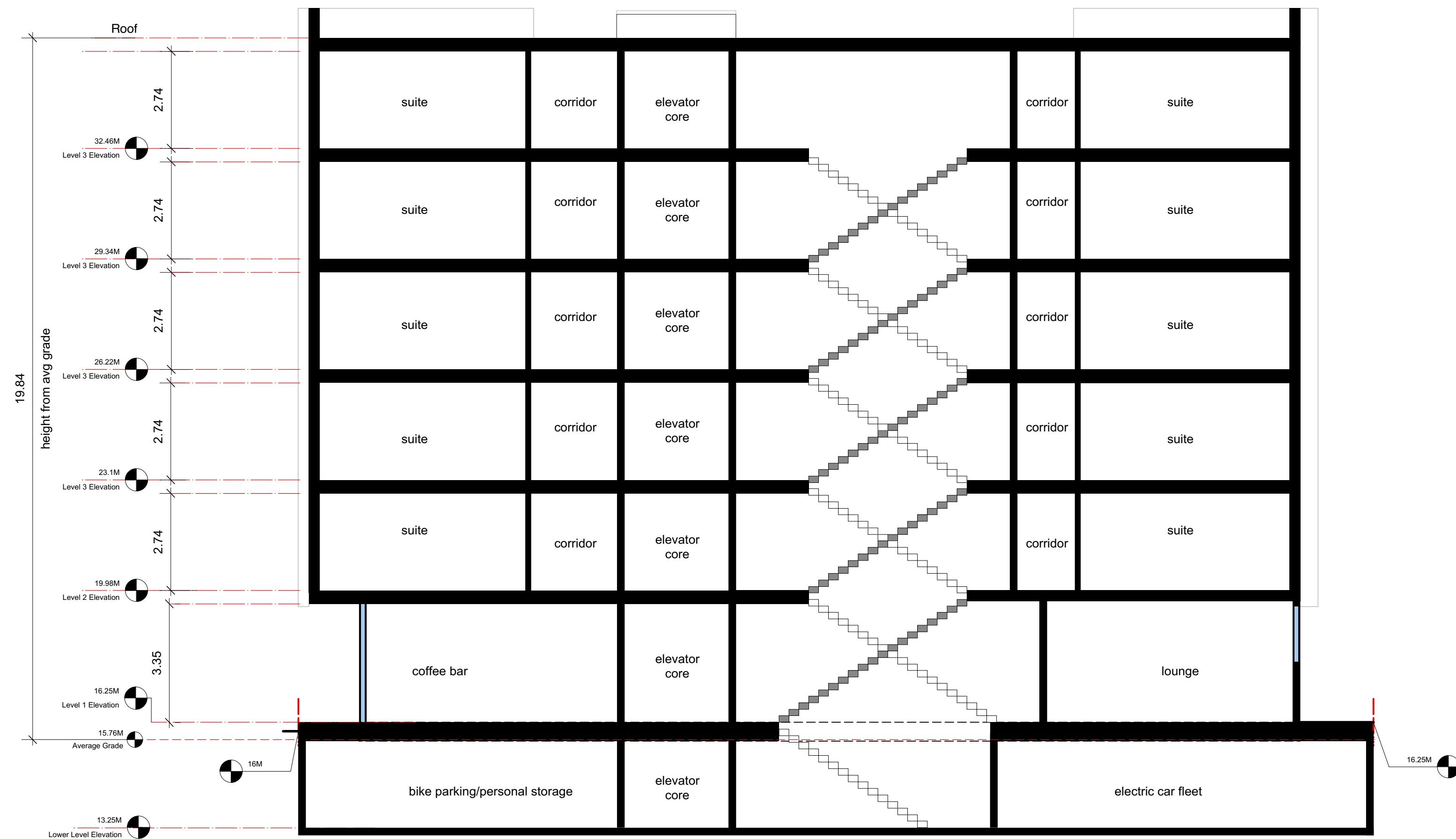


1 North Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

corten steel
frame detail



1
East Section
Scale: 1:100

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Princess Ave. looking toward Blanshard St.



South side of Princess Ave. looking north



Princess Ave. looking toward Douglas St.



Entrance, street side patio, and transparent treatment along street edge.

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Perspectives

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Douglas St. and Queens Ave. looking south.



Blanshard St. and Pembroke St. looking north.



Douglas St. and Pembroke St. looking north.



Blanshard St. and Bay St. looking south.

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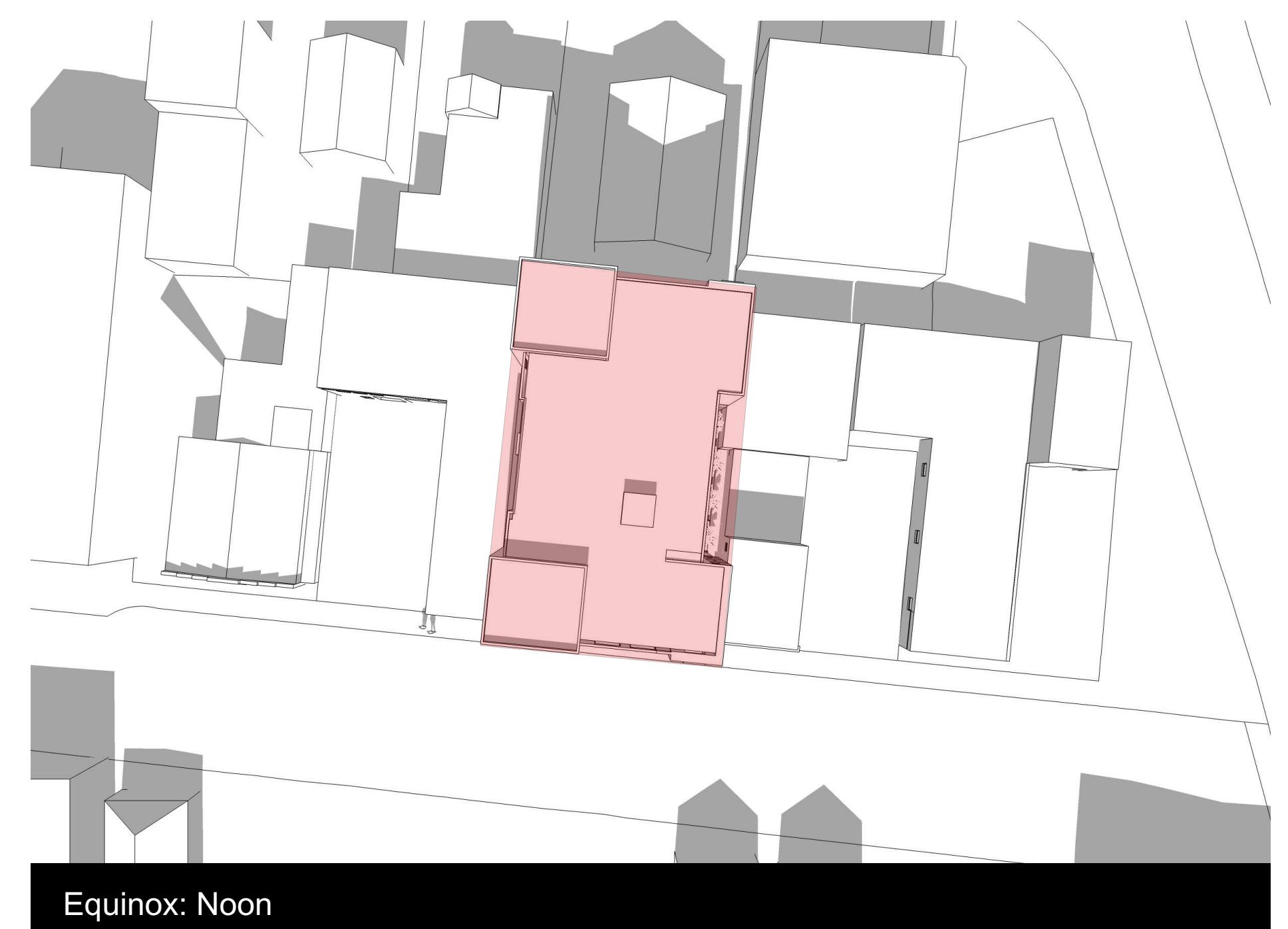
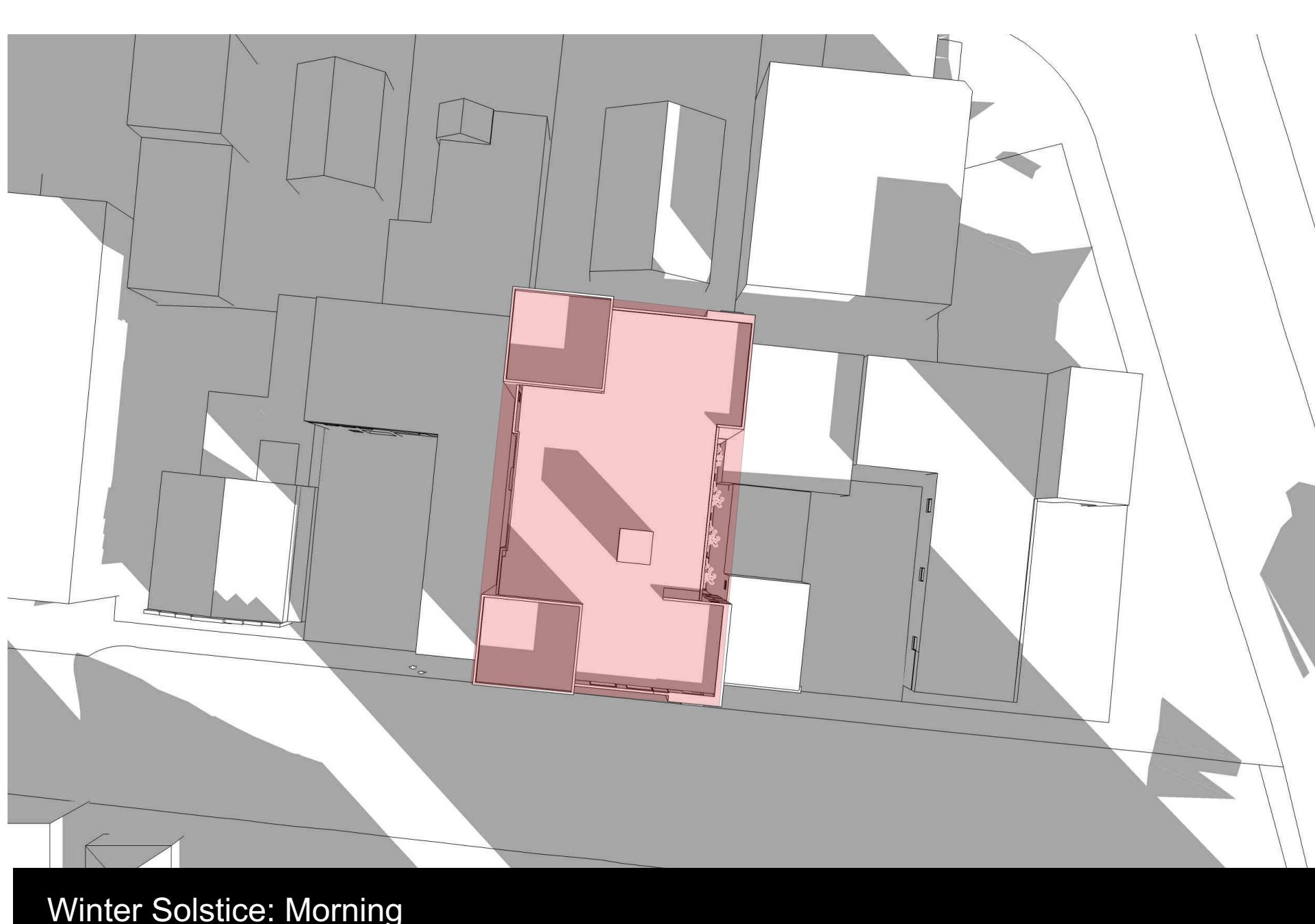
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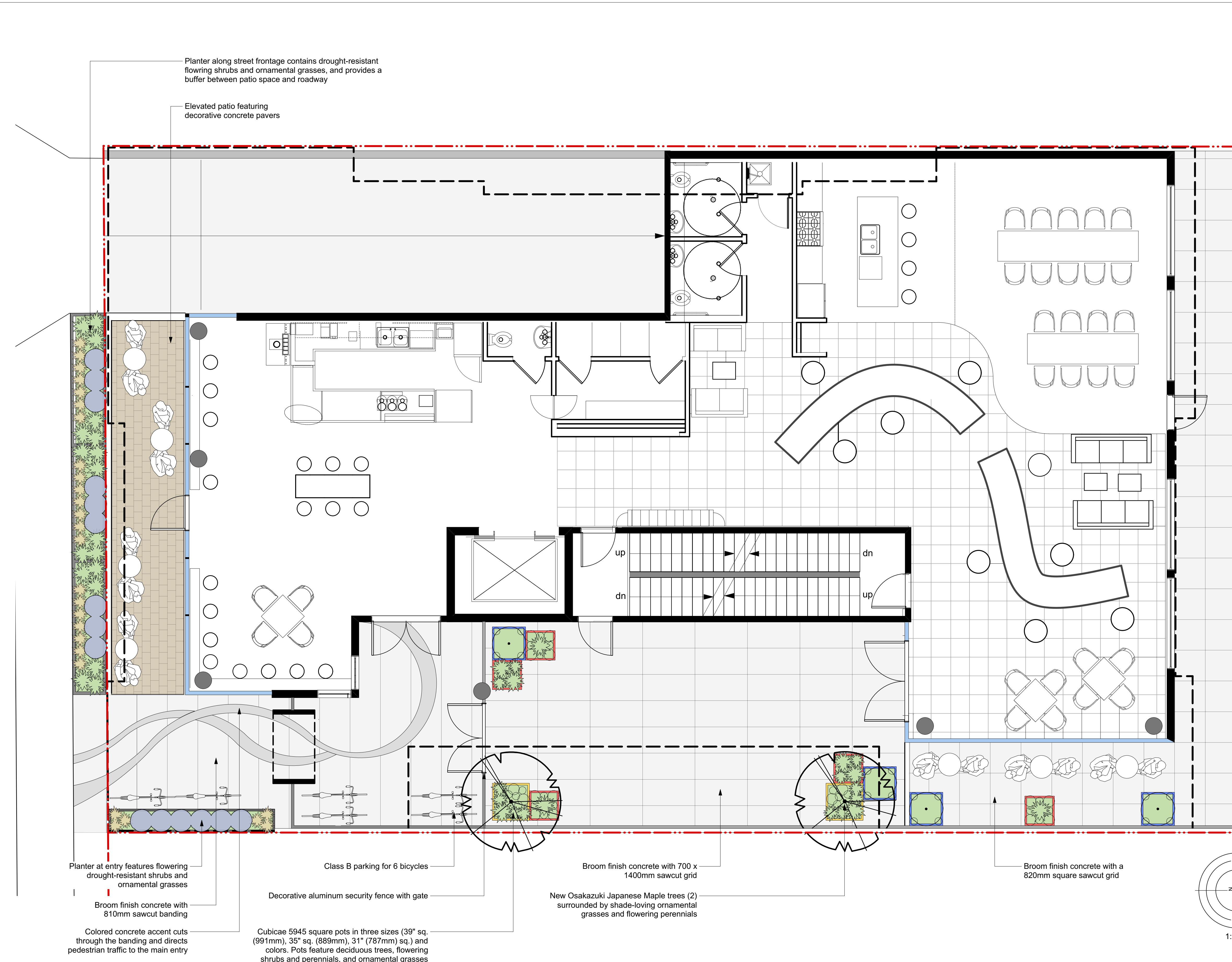
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Shadow Study

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A 3.2





Recommended Nursery Stock

Trees

Total:	Botanical Name	Common Name	Size
2	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	6cm cal.

Medium Shrubs

Total:	Botanical Name	Common Name	Size
4	Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#5 pot

Small Shrubs

Total:	Botanical Name	Common Name	Size
15	Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 pot

Perennials, Annuals and Ferns

Total:	Botanical Name	Common Name	Size
118	Ajuga reptans	Bugleweed	#1 pot
	Carex oshimensis 'Evergold'	Evergold Sedge	#1 pot
	Convallaria majalis	Lily of the Valley	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	Stipa tenuissima	Mexican Feather Grass	#1 pot

Notes:

1. All work to be completed to current BCSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system



'Osakazuki' Japanese Maple



'Sango Kaku' Japanese Maple



'Lanarth White' Hydrangea



Blue Oat Grass



Bugleweed



Lily of the Valley

Evergold Sedge