


Seven-36 Princess Ave.



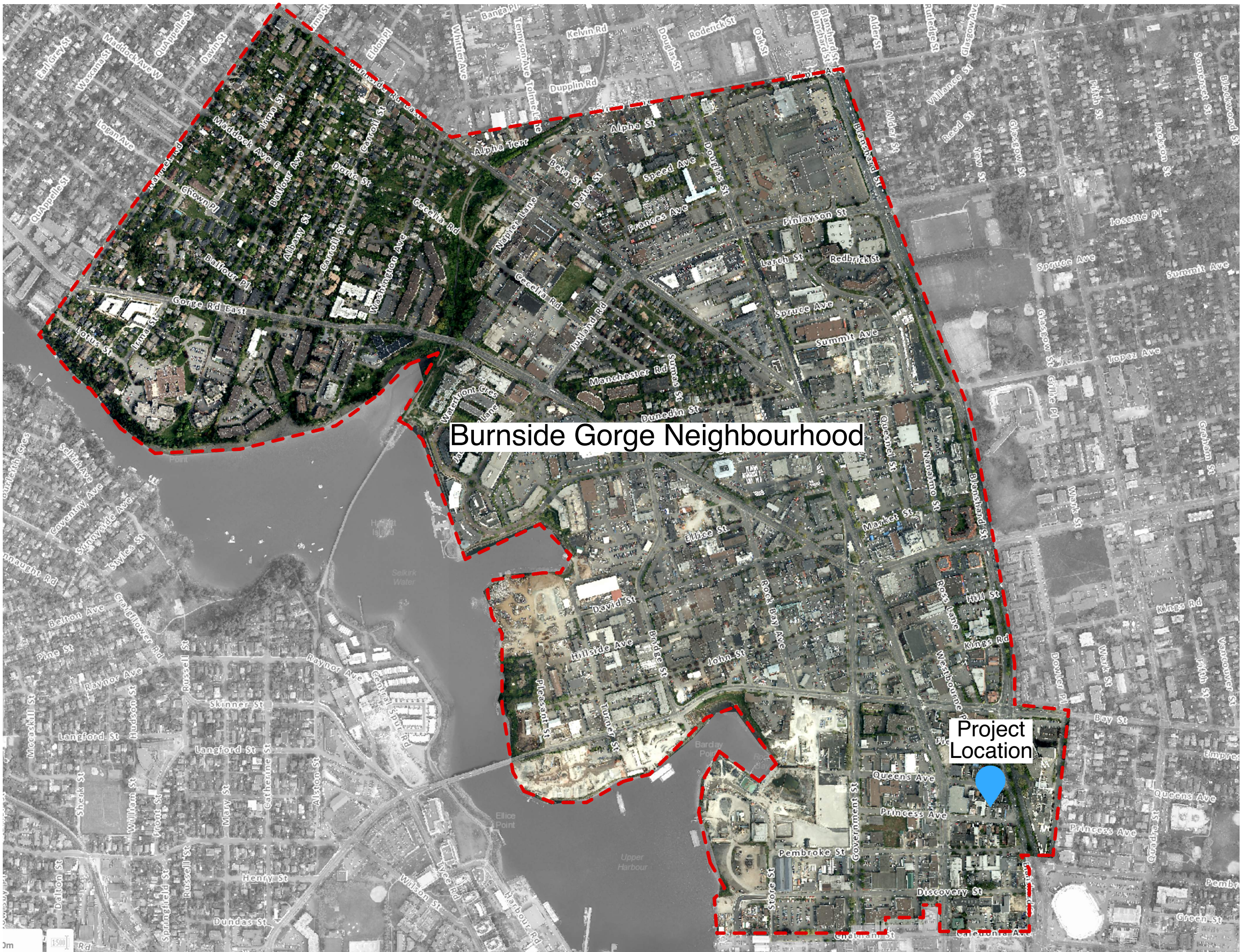


**Original
Submission**

**Received Date:
July 21, 2017**

PROJECT:	SEVEN-36
736 Princess Ave.	
CLIENT:	
The Arcata Collective Ltd.	<small>• designers • urban planners • photographers • collaborators •</small> 924 McClure Street Victoria BC V8Y 3E7 Tel. 250.413.7307 email: cecoco@telus.net
JC SCOTT DESIGN	<small>17-1/2 Fan Tan Alley Victoria, BC V8W 3G9 P. 250.217.7195 F. 250.385.9575 jc@jscott.com www.jscott.com</small>
LADR LANDSCAPE ARCHITECTS	
ISSUED FOR:	DATE:
Rezoning	07.20.17
PROJECT NO.:	
DRAWN BY:	
DATE:	07.20.17
SCALE:	as shown
DRAWING TITLE:	Title Sheet
DRAWING NUMBER:	A 0.0

Project Data 736 Princess Ave.	
Civic Address	736 Princess Ave.
Legal Description	Lot 12, Block B, Section 3, Victoria, Plan 8
Zoning Existing	Existing: M-1, Limited Light Industrial District
Zoning Proposed	New Zone
Site Area	556 sq.m (5,982 sq. ft.)
Floor Areas (Gross) Basement area: Level 1 area: Level 2 area: Level 3 area: Level 4 area: Level 5 area: Level 6 area:	442 sq m (4760 sq ft) 286 sq m (3084 sq ft) 439 sq m (4720 sq ft) 439 sq m (4720 sq ft) 448 sq m (4824 sq ft) 448 sq m (4824 sq ft) 448 sq m (4824 sq ft)
Total Gross Floor Area	2,950 sq m (31,756 sq ft)
Commercial Floor Area (portion of Level 1)	73.8 sq m (795 sq ft) Seating Capacity 22
Floor Space Ratio Allowed	3:1
Floor Space Ratio Proposed Calculation Total floor area for calc. Levels 1-6: 26,996 sqft. Lot Area: 5,982 sqft. 26,996 / 5,982 = 4.5:1	4.5:1
Floor Space Ratio Residential Levels 2-6 23,912 / 5982 = 3.9:1	3.9:1
Site Coverage (%) (5,134 sq. ft. / 5,982 sq. ft.) * 100	85.8%
Open site space (%) (Open space 1,850 sq.ft. / 5,982 sq. ft.)	30.9%
Height of Building Proposed (from average grade)	20.3m
Number of Storeys	6
Parking Proposed - Residential Proposed - Commercial	17 electric car share fleet in stacked formation 0
Bicycle Parking Proposed Class 1 Proposed Class 2	26 plus 9 electric bikes 6
Building Setbacks Required	None
Total Number of Units	75 (includes 5 accessible units)
Unit Type	Studios
Unit Size	19.5 sq.m. - 29.7 sq.m. (210 sq.ft. - 320 sq.ft.)
Total Residential Floor Area Levels 2-6	2221.5 sq.m. (23,912 sq.ft.)



1 Neighbourhood Context



2 Block Context

PROJECT:

SEVEN-36

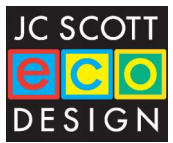
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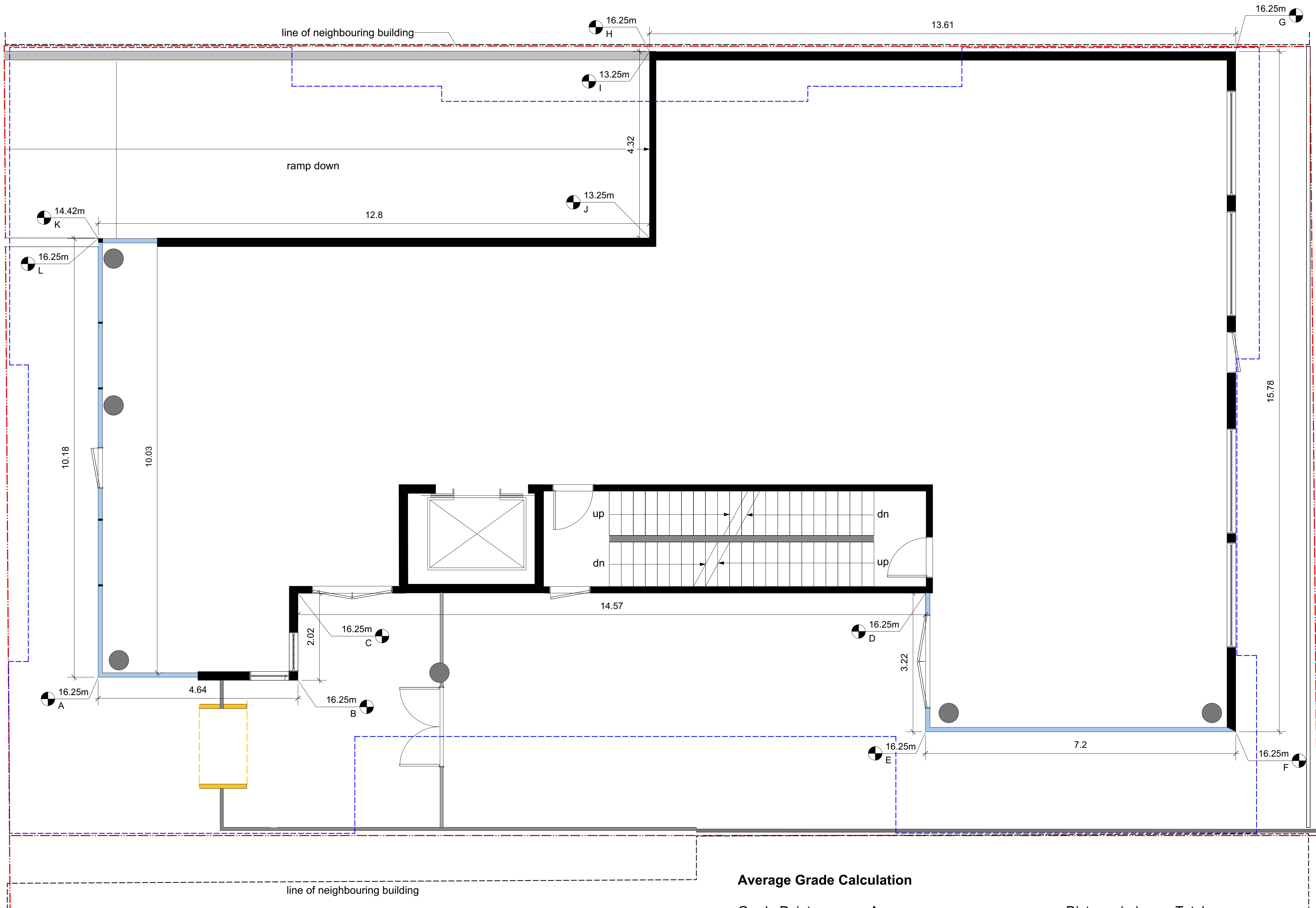
SCALE:
as shown

DRAWING TITLE:
Project Data &
Context Plan

DRAWING NUMBER:

A 0.1

PRINCESS AVE.



1 Average Grade Calculation
Scale: 1:50

Average Grade Calculation

Grade Points	Average	Distance(m)	Totals
A & B	$((16.25 + 16.25) / 2)$	x 4.64	= 75.40
B & C	$((16.25 + 16.25) / 2)$	x 2.02	= 32.82
C & D	$((16.25 + 16.25) / 2)$	x 14.57	= 236.76
D & E	$((16.25 + 16.25) / 2)$	x 3.22	= 52.32
E & F	$((16.25 + 16.25) / 2)$	x 7.2	= 117.00
F & G	$((16.25 + 16.25) / 2)$	x 15.78	= 256.42
G & H	$((16.25 + 16.25) / 2)$	x 13.61	= 221.16
H & I	$((16.25 + 13.25) / 2)$	x 0	= 0.00
I & J	$((13.25 + 13.25) / 2)$	x 4.32	= 57.24
J & K	$((13.25 + 14.42) / 2)$	x 12.8	= 177.08
K & L	$((14.42 + 16.25) / 2)$	x 0	= 0.00
L & A	$((16.25 + 16.25) / 2)$	x 10.18	= 165.43

1,391.63

Building Perimeter

88.29 m

Average Grade 1391.63 / 88.29 = 15.76M

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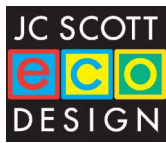
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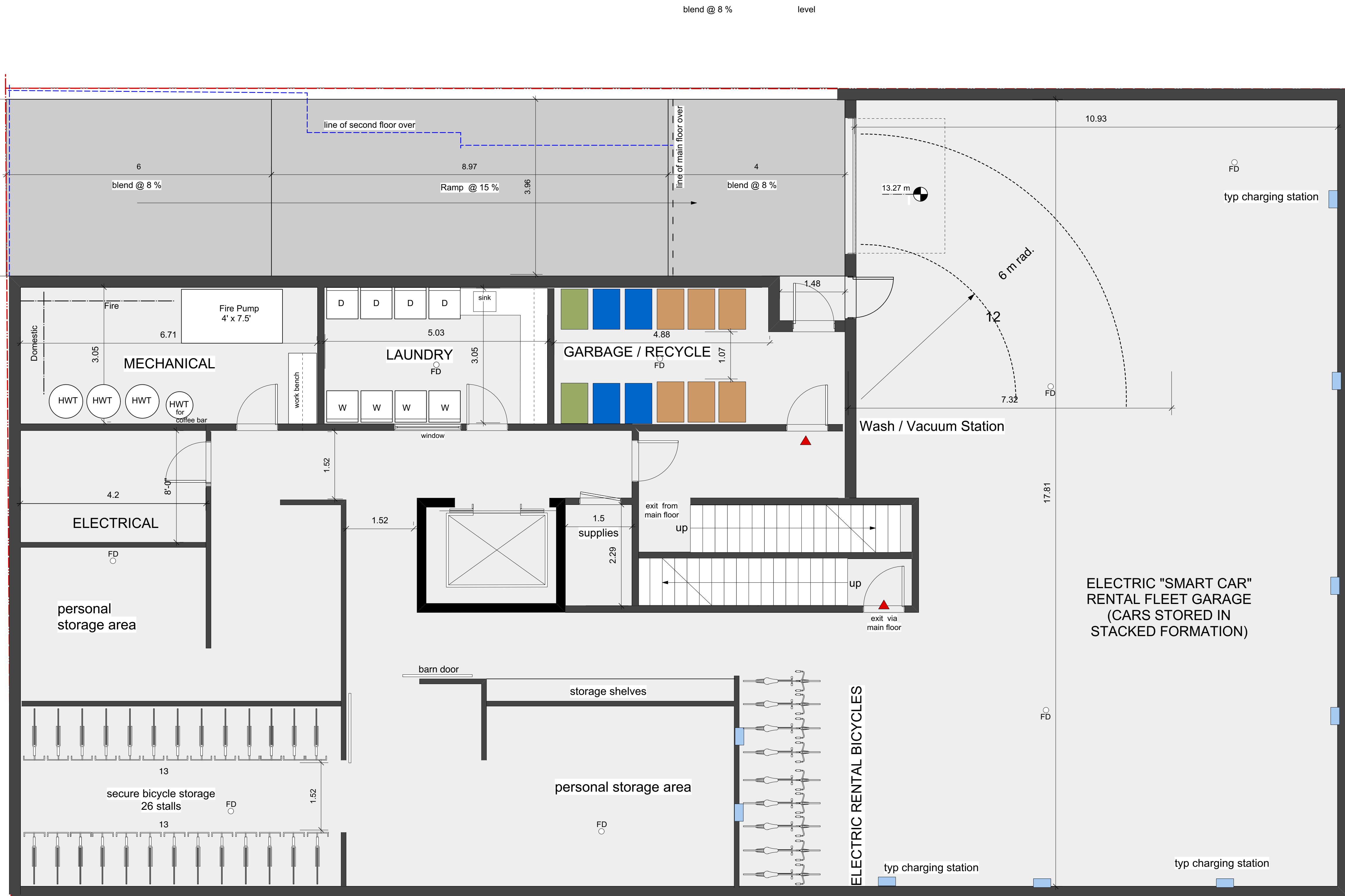
as shown

DRAWING TITLE:

Average Grade
Calculation

DRAWING NUMBER:

A 0.3




1 Lower Level
Scale: 1:50


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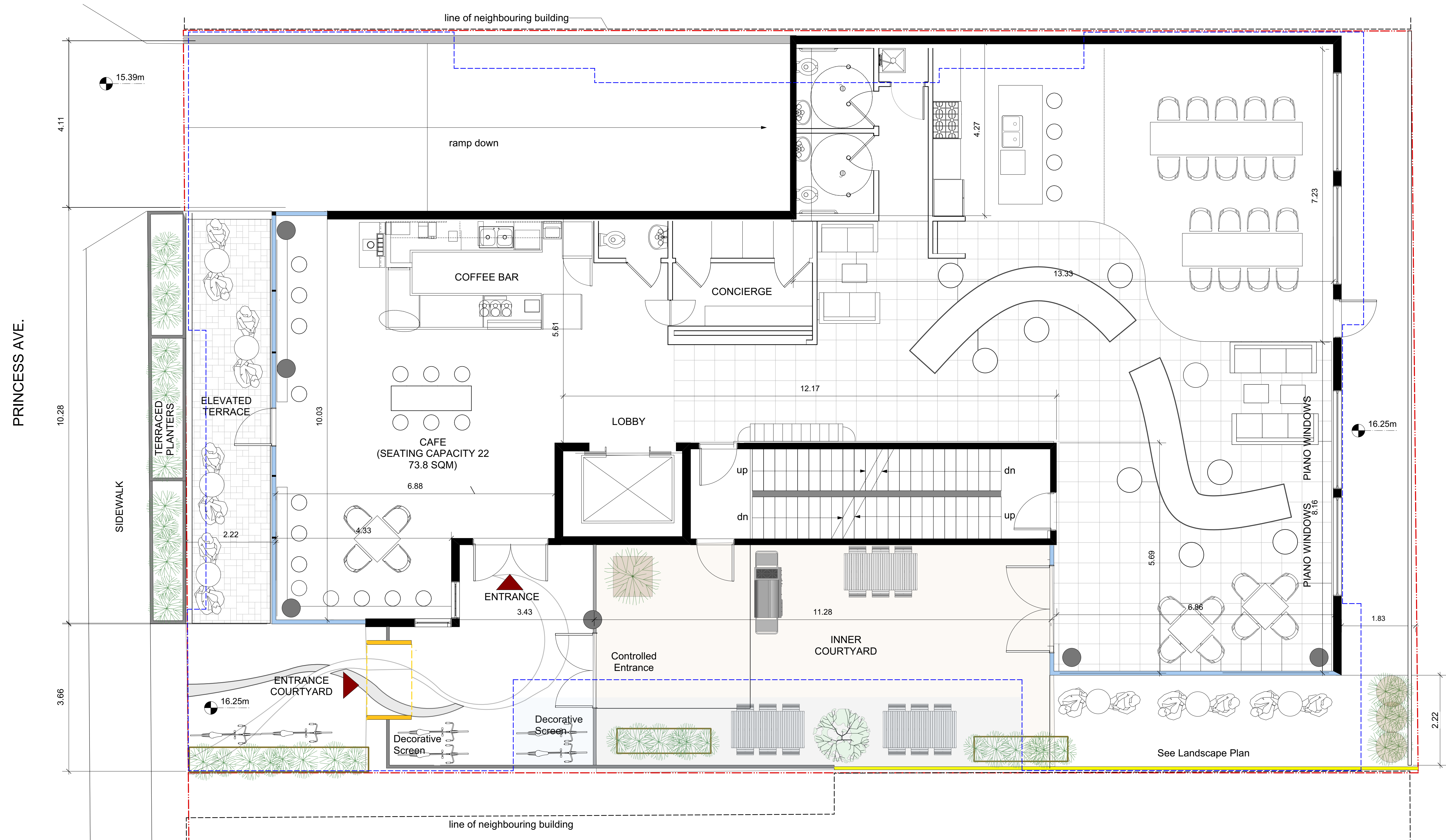
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DATE:
07.20.17

SCALE:
as shown

DRAWING TITLE:
Lower Level Plan

DRAWING NUMBER:
A 1.0



1 Main Level
Scale: 1:50

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SCALE:
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DRAWING TITLE:
Main Level Plan

DRAWING NUMBER:

A 1.1

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PROJECT NO.:

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SCALE:
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DRAWING TITLE:

Level 2-3

DRAWING NUMBER:

A 1.2



Level 2-3 Typ. Plan
Scale: 1:50

Princess Ave.



1 Level 4-6 Typ. Plan
Scale: 1:50

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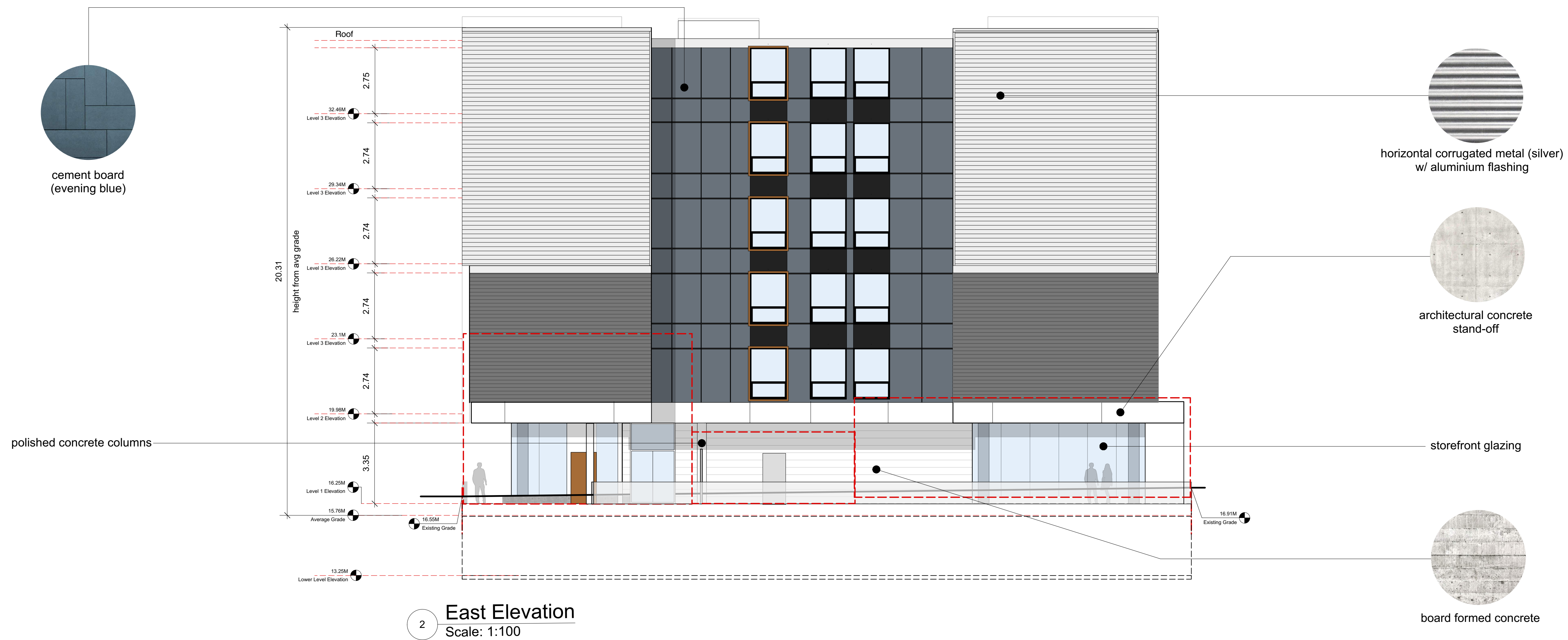
SCALE:
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DRAWING TITLE:
Level 4-6

DRAWING NUMBER:

A 1.3

Materials



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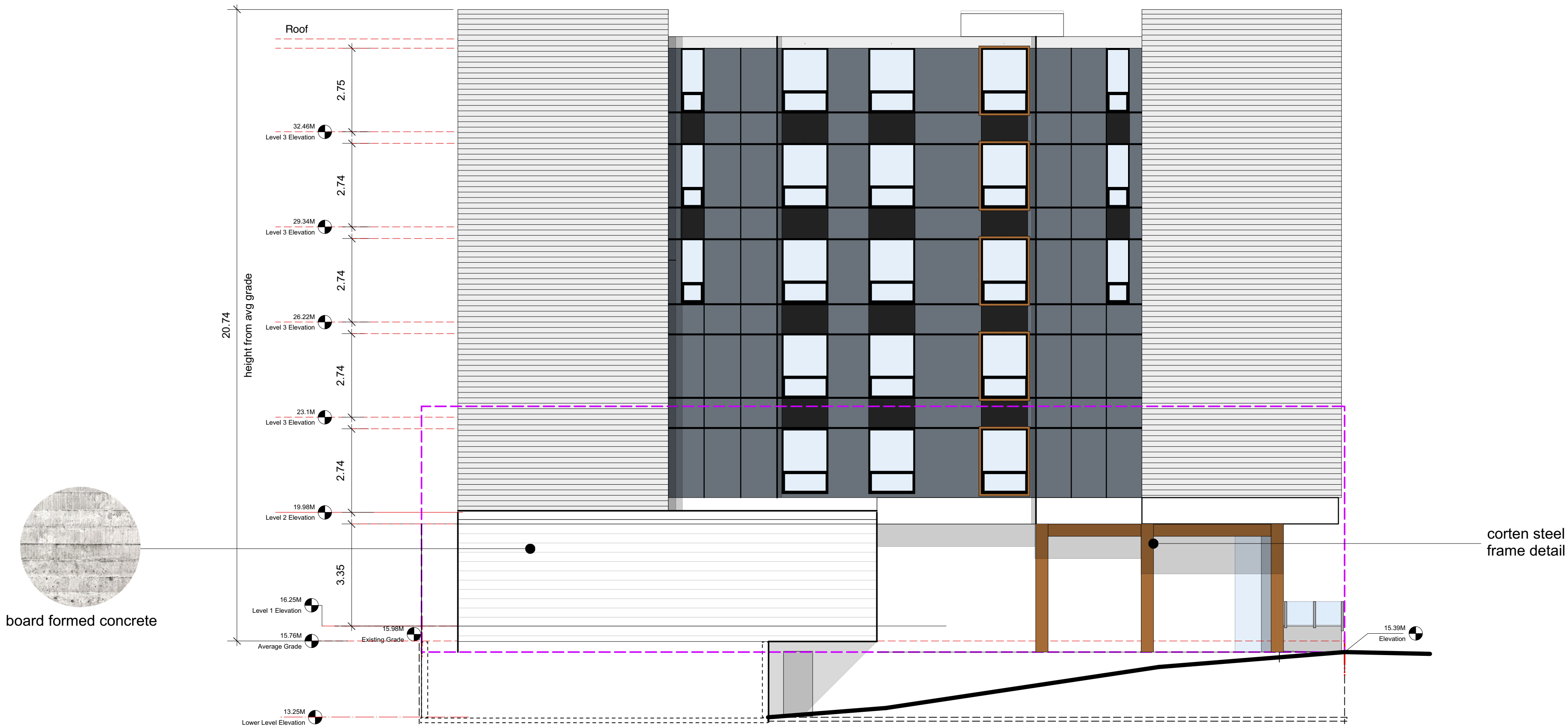
SCALE:
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DRAWING TITLE:
Elevations S-E

DRAWING NUMBER:
A 2.0



1 North Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

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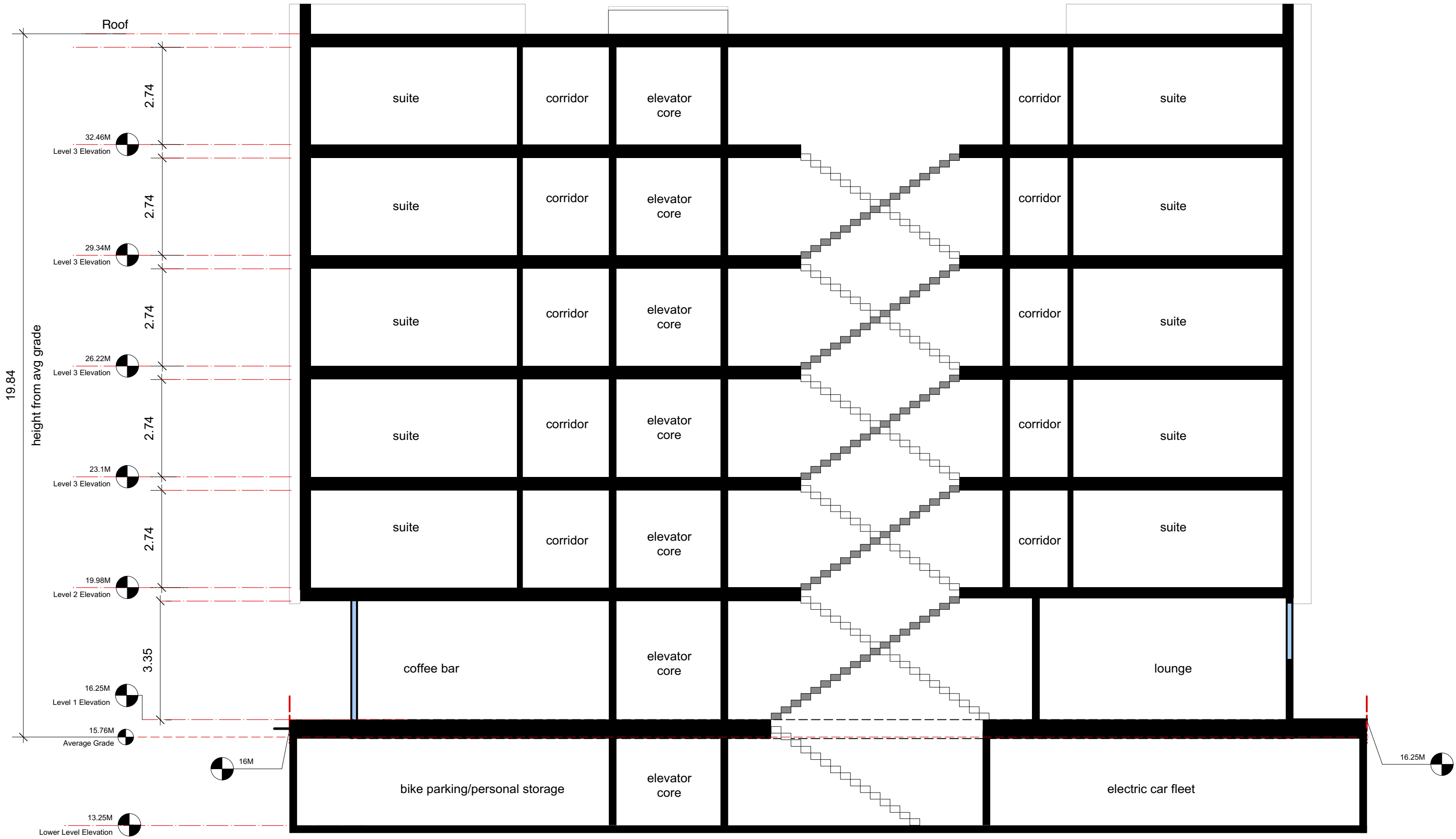
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DRAWING TITLE:

Elevations N-W

DRAWING NUMBER:

A 2.1



1 East Section
Scale: 1:100

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SCALE:

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DRAWING TITLE:

Section

DRAWING NUMBER:

A 2.2



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DRAWING TITLE:

Perspectives

DRAWING NUMBER:

A 3.0



Douglas St. and Queens Ave. looking south.



Blanshard St. and Pembroke St. looking north.



Douglas St. and Pembroke St. looking north.



Blanshard St. and Bay St. looking south.

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SCALE:

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DRAWING TITLE:

Perspectives

DRAWING NUMBER:

A 3.1



Summer Solstice: Morning



Summer Solstice: Noon



Summer Solstice: Evening



Equinox: Morning



Equinox: Noon



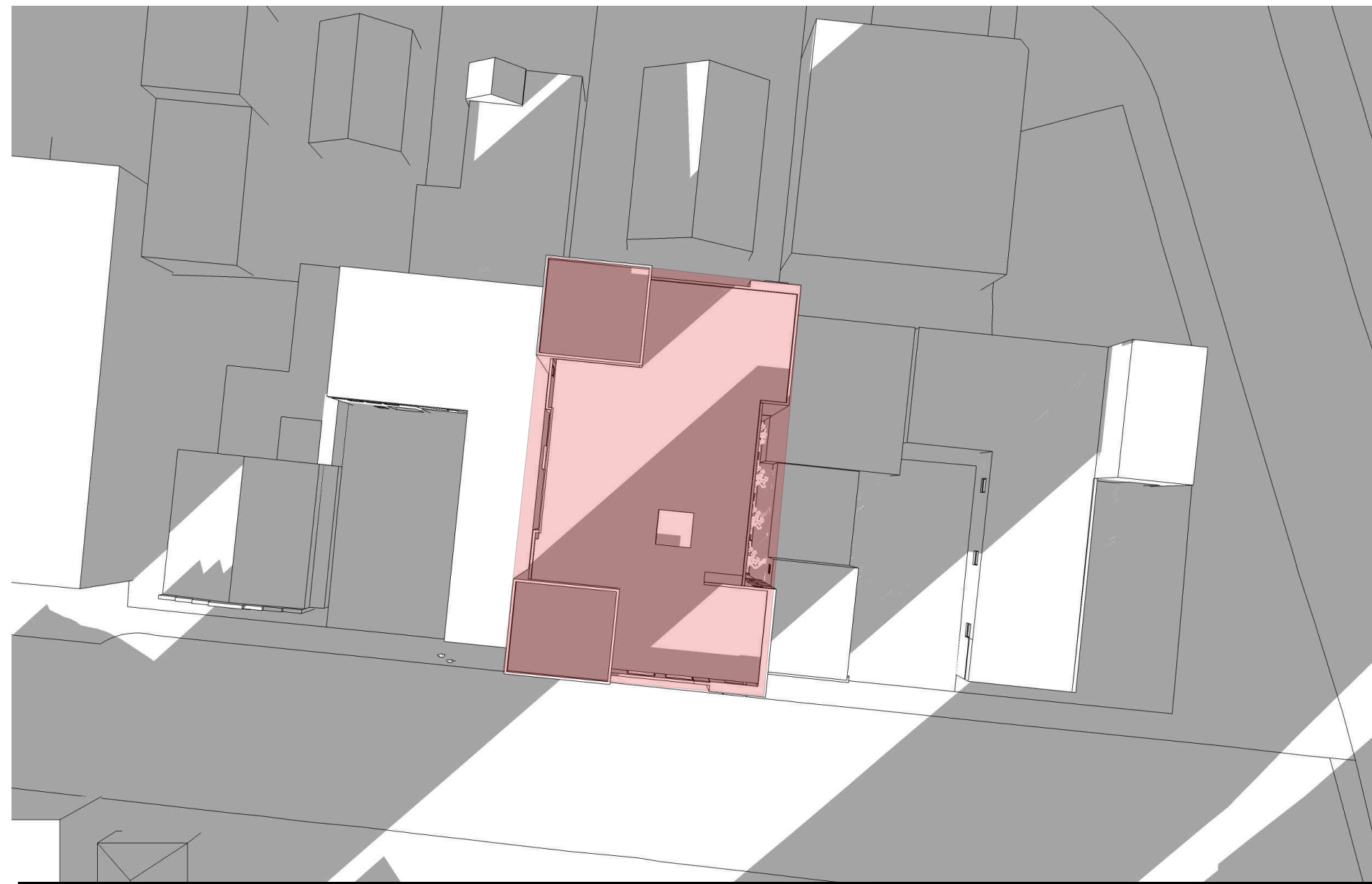
Equinox: Evening



Winter Solstice: Morning



Winter Solstice: Noon



Winter Solstice: Evening

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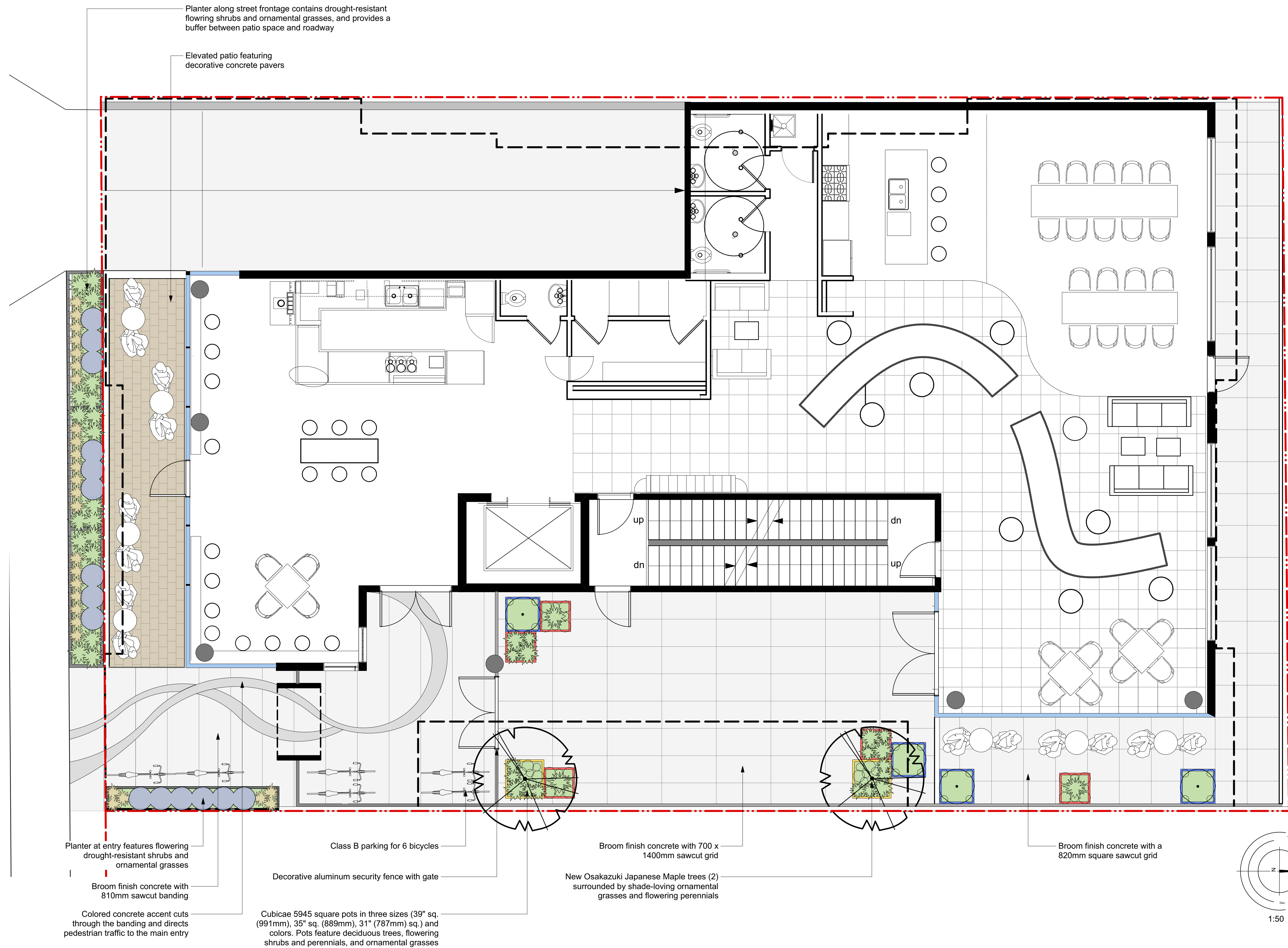
SCALE:
as shown

DRAWING TITLE:

Shadow Study

DRAWING NUMBER:

A 3.2



Recommended Nursery Stock

Trees Total: 2	Botanical Name Acer palmatum 'Osakazuki'	Common Name Osakazuki Japanese Maple	Size 6cm cal.
Medium Shrubs Total: 4	Botanical Name Hydrangea macrophylla 'Lanarth White'	Common Name Lanarth White Hydrangea	Size #5 pot
Small Shrubs Total: 15	Botanical Name Lavandula stoechas 'Otto Quast'	Common Name Spanish Lavender	Size #1 pot
Perennials, Annuals and Ferns Total: 118	Botanical Name Ajuga reptans Carex oshimensis 'Evergold' Convallaria majalis Helictotrichon sempervirens Stipa tenuissima	Common Name Bugleweed Evergold Sedge Lily of the Valley Blue Oat Grass Mexican Feather Grass	Size #1 pot #1 pot #1 pot #1 pot #1 pot

- Notes:
1. All work to be completed to current BCSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system



'Osakazuki' Japanese Maple



'Sango Kaku' Japanese Maple



'Lanarth White' Hydrangea



Blue Oat Grass



Bugleweed



Lily of the Valley



Evergold Sedge

736 Princess Avenue | Landscape Plan | L1.0