

PROJECT TEAM

Mechanical/Electrical

INTEGRAL GROUP
101-1019 Wharf Street
Victoria BC
Tel: (250) 418-1288

Code Consultant

Murray Johnson
Engineering Ltd.
212 5th Ave., New
Westminster, BC V3L 1R4
T: (604) 526-3335

Geotechnical

Ryzuk
28 Crease Avenue,
Victoria, BC V8Z 1S3
T: (250) 475-3131

Transportation

Burnt and Associates
Engineering
421 - 645 Fort Street,
Victoria, BC V8W 1G2
T: (250) 592-6122

Civil

WSP
301-3600 Uptown Blvd.,
Victoria, BC V8Z 0B9
T: (250) 389-8015

Owner / Developer

Crosstown Properties
(Wharf St.) (Managed by
Reliance Properties Ltd.)
305 - 111 Water St.
Vancouver, BC V6B 1A7
T: (604) 694-8896
F: (604) 683-6719

Architect

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Architects
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T: (236) 521-5568

Landscape Architect

PWL Partnership
500 - 1201 West Pender St.
Vancouver, BC V6E 2V2
T: (604) 639-5313
F: (604) 688-6112

Heritage Consultant

Donald Luxton &
Associates
1030-470 Granville St.,
Vancouver, BC V6C 1V5
T: (604) 688-1216

Structural

DIALOG
406 - 611 Alexander St.
Vancouver, BC V6A 1E1
T: (604) 255-1169
F: (604) 255-1790



Boniface
Oleksiuk
Politano
Architects



ISSUED FOR

- A 2019-06-19 REZONING / HERITAGE ALTERATION PERMIT
- B 2019-10-11 REZONING / HERITAGE ALTERATION PERMIT R1
- C 2020-08-07 REZONING / HERITAGE ALTERATION PERMIT R2
- D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3



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ARCHITECT

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info@bonifacemetro.com

SEAL



Northern Junk

PROJECT NAME: NORTHERN JUNK
PROJECT ADDRESS: 1314 WHARF STREET
LEGAL DESCRIPTION: LOT 182F (001-005-723)
GOVERNING BUILDING CODE: BCBC 2018

REZONING/HERITAGE ALTERATION PERMIT APPLICATION R3

JANUARY 11, 2021

1314-1316 Wharf Street, Victoria BC

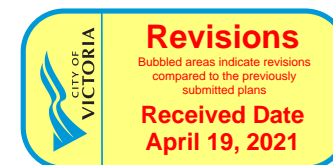
Cover Sheet

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-000

19004C



PROJECT DATA

PROJECT NAME: NORTHERN JUNK
PROJECT ADDRESS: 1314 WHARF STREET
LEGAL DESCRIPTION: LOT 182F (001-005-723)
GOVERNING BUILDING CODE: BCBC 2018

DRAWING LIST

ARCHITECTURAL

- A000 COVER SHEET
- A001 PROJECT DATA
- A002 SITE SURVEY
- A010 AREA PLANS
- A011 AREA PLANS
- A012 AREA PLANS
- A013 AREA PLANS
- A014 AREA PLANS
- A101 SITE PLAN
- A201 PLAN - LEVEL 00
- A202 PLAN - LEVEL 01
- A203 PLAN - LEVEL 02
- A204 PLAN - LEVEL 03-04
- A205 PLAN - LEVEL 05
- A206 PLAN - ROOF
- A401 SOUTH ELEVATION
- A402 WEST ELEVATION
- A403 NORTH ELEVATION
- A404 EAST ELEVATION
- A405 CONTEXT ELEVATIONS
- A501 SECTION - A
- A502 SECTION - A2

LANDSCAPE

SEE LANDSCAPE SET

PROJECT INFORMATION TABLE		
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT	
NET SITE AREA (sqm) Above Natural Boundary		1218 sqm
GROSS SITE AREA (sqm)		1375 sqm
TOTAL FLOOR AREA		4095 sqm
COMMERCIAL FLOOR AREA		831.5 sqm
FLOOR SPACE RATIO		3.36
SITE COVERAGE %		85.5%
OPEN SITE SPACE %		14.5 %
HEIGHT OF BUILDING FROM STREET GRADE (m)		19.1 (m)
NUMBER OF STOREYS	5 STOREYS FROM WHARF @ FROM HARBOUR	
PARKING STALLS ON SITE		0
BICYCLE PARKING (LONG TERM)		56 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)		
FRONT YARD (EAST)		0 m
REAR YARD (WEST)		15.83 m
SIDE YARD (NORTH)		0 m
SIDE YARD (SOUTH)		0 m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)		
TOTAL NUMBER OF UNITS		47
UNIT TYPE (SEE UNIT TYPE TABLE)		STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS		0
MINIMUM UNIT FLOOR AREA		37.5 sqm
TOTAL RESIDENTIAL FLOOR AREA		2693 sqm

PROJECT DATA SUMMARY

AREA SUMMARY

ASSUMPTIONS			
SITE AREA (ABOVE PRESENT NATURAL BOUNDARY)	13,136	1218	
MAX ALLOWABLE DENSITY (4.4)	57,673	5358	
EXISTING FOOTPRINTS	5,175	481	
AREAS BY USE			
CRU 2 - L01	220.7 sqm		
CRU 1 - L01	243.2 sqm		
CRU 1 - L02	204.5 sqm		
CRU 2 - L03	157.0 sqm		
TOTAL COMMERCIAL	831.5 sqm	8,949.5 sqf	
Building Gross Area	4095.4 sqm	(44,083 sf)	
Total Commercial Area	831.5 sqm	(8,950 sf)	
TOTAL RESIDENTIAL	2693.5 sqm	(28,930 sqf)	
NET RESIDENTIAL	2652.8 sqm	(28,555.3 sqf)	
NET RENTABLE (RES+COMM)	3,484.3 sqm	(37,505.2 sqf)	
SITE AREAS (SEE AREA PLANS A-010)			
GROSS SITE AREA	1375 sqm		
NET SITE AREA	1218 sqm		
VOLUMETRIC SRV	253 sqm		
OPEN AREA	420 sqm		
BUILDING FOOTPRINT	797 sqm		
OPEN AREA %	34.5%		
NET SITE AREA - DFW S/R/W AREA	904.24 sqm		
BUILDING GROSS AREA			
L01 Gross	544 sqm		
L02 TOTAL	544 sqm		
L01 Gross	315 sqm		
L01 Gross	265 sqm		
L03 TOTAL	585 sqm		
L02 Gross	739 sqm		
L02 TOTAL	739 sqm		
L03 Gross	739 sqm		
L03 TOTAL	739 sqm		
L04 Gross	739 sqm		
L04 TOTAL	739 sqm		
L05 Gross	739 sqm		
L05 TOTAL	739 sqm		
Roof Gross	14 sqm		
L05 TOTAL	14 sqm		
BUILDING GROSS	4,095 sqm		
SITE AREA FOR FSR	1,218 sqm		
FSR	3.36		
NET RENTABLE (RES+COMM)	3,484 sqm		

UNIT SUMMARY

UNIT TYPE	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL	0	0	0	0	0
LEVEL P1	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	1	8	2	1	12
LEVEL 03	1	8	2	1	12
LEVEL 04	1	8	2	1	12
LEVEL 05	1	6	3	1	11
LEVEL 06	0	0	0	0	0
TOTAL	4	30	9	4	47
PERCENTAGE	9%	64%	19%	9%	100%
FAMILY UNITS					

AVERAGE UNIT SIZES					
	TOTAL AREA PER FLOOR BY TYPE				
LEVEL	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL 05	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	38	390	152	83	663
LEVEL 03	38	390	152	83	663
LEVEL 04	38	390	152	83	663
LEVEL 05	38	289	253	83	663
TOTAL	152 sqm	1,459 sqm	710 sqm	352 sqm	2,653 sqm
Unit Count	4	30	9	4	47
AVG SIZES	38 sqm	48.6 sqm	78.9 sqm	88.0 sqm	56.9 sqm
AVG SIZES (SF)	409.8 sf	523.3 sf	849.3 sf	893.2 sf	607.6 sf

PARKING SUMMARY

NOTE: NO VEHICLE PARKING PROVIDED ON SITE. SEE TRAFFIC REPORT FOR TRAFFIC MANAGEMENT STRATEGY

BICYCLE PARKING				Bike Storage			
Residential	Count	Reqmt	Provided	Residential	Count	Reqmt	Provided
1 of Unit < 45m2	12	12		In-Suite	22	0	
1.25/ Unit > 45m2	35	43.75		Bike/Locker Combo	25	0	
Total Residential	47	55.75	56	Total Residential	47	0	47
Commercial							
Commercial	Area	Reqmt	Provided				
1.0/ 200 m2	#	4.2					
Total	5	5					



- ISSUED FOR:
- A 2019-06-19 REZONING / HERITAGE ALTERATION PERMIT
 - B 2019-10-11 REZONING / HERITAGE ALTERATION PERMIT R1
 - C 2020-08-07 REZONING / HERITAGE ALTERATION PERMIT R2
 - D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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ARCHITECT

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Northern Junk

1314-1318 Wharf Street, Victoria BC

Project Data

DRAWN: AP CHECKED: AB
PLOT DATE:

A-001

File No: 171-10644-00

To: Crosstown Properties (Wharf Street) Ltd.
300 - 111 Water Street
Vancouver, BC V6B 1A7

Date: July 26th, 2017

From: Mich Laseur, BCLS
WSP Canada
301 - 3600 Updown Boulevard
Victoria, BC V8T 0B9
Phone 250.384.52010

Attention: Alan Pereira

RE: AREA CALCULATION – ABOVE AND BELOW PRESENT NATURAL BOUNDARY
LOT 182F, LOT 182G, LOT 182A, and CLOSED ROAD PLAN EPP#864:
BING THE PROPOSED JOHNSON STREET GATEWAY SITE

This letter is written to verify the areas of the above noted properties. The properties in question contain land falling below the Present Natural Boundary. We confirm that our interpretation of the Present Natural Boundary is consistent with the definition of the Ordinary High Water Mark.

To clarify the allocation of these areas we have prepared the attached sketch detailing those areas above and below the Present Natural Boundary.

In summary:

The total area above the Present Natural Boundary for these properties is **4,152 square meters**.

The total area below the Present Natural Boundary for these properties is **640 square meters**.

Regards,

Mich Laseur, BCLS
Branch Manager / Land Surveyor, Victoria Geomatics
Co: Adrian Paterson, Rory O'Connell, Sheila Middleton

WSP
301 - 3600 Updown Boulevard
Victoria, BC V8T 0B9
Phone: 1-877-254-2410
www.wsp.com

TABLE OF AREAS			
LOT	ABOVE PNB	BELOW PNB	TOTAL
182G	304 m ²	199 m ²	503 m ²
182A	724 m ²	289 m ²	1013 m ²
182F	1218 m ²	158 m ²	1376 m ²
Closed Road	1905 m ²		1905 m ²
TOTALS	4152	646	4798

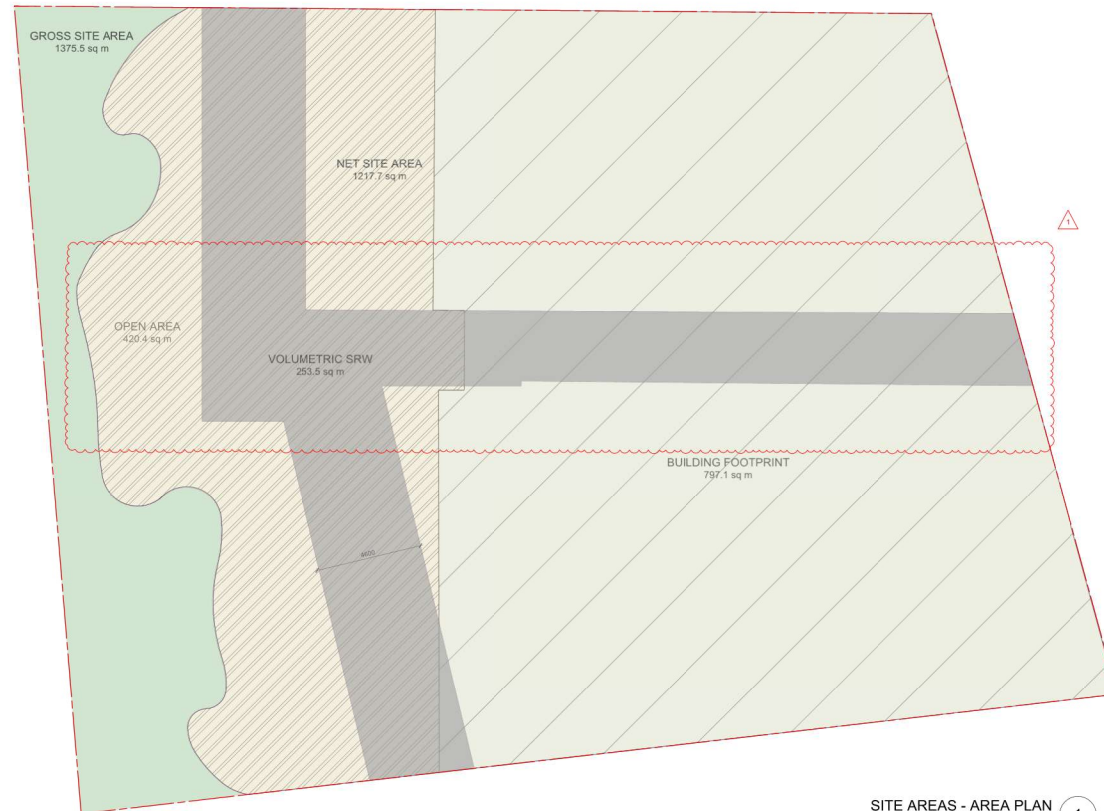
WSP
301 - 3600 Updown Boulevard
Victoria, BC V8T 0B9
Phone: 1-877-254-2410
www.wsp.com

CROSSTOWN PROPERTIES (WHARF ST) LTD.

171-10644-00-000-00-830SK001-02

SITE AREAS (SEE AREA PLANS A-010)	
GROSS SITE AREA	1,375 sm
NET SITE AREA	1,218 sm
VOLUMETRIC SRW	253 sm
OPEN AREA	420 sm
BUILDING FOOTPRINT	797 sm
OPEN AREA %	34.5%
NET SITE AREA - BFW SRW AREA	964.24 sm

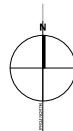
*NET SITE AREA IS ABOVE PRESENT NATURAL BOUNDARY



SITE AREAS - AREA PLAN

SCALE: 1:100

1



1 VOLUMETRIC SRW ADDED; AREAS
UPDATED



ISSUED FOR	
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D	2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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SEAL



Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP
PLOT DATE:

A-010

19004C

AREAS ADJUSTED FOR NEW INTERIOR LAYOUT



- ISSUED FOR:
- A 2019-06-19 REZONING / HERITAGE ALTERATION PERMIT
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 - D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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 info@bonifacemetro.com



Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP PLOT DATE: CHECKED: AB

A-011

19004C

LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L00	204.5 sq m
CRU2	CRU 2 - L00	157.0 sq m
Total Suite Area		361.6 sq m
Total Gross Area		544.0 sq m
EFFIC		66%

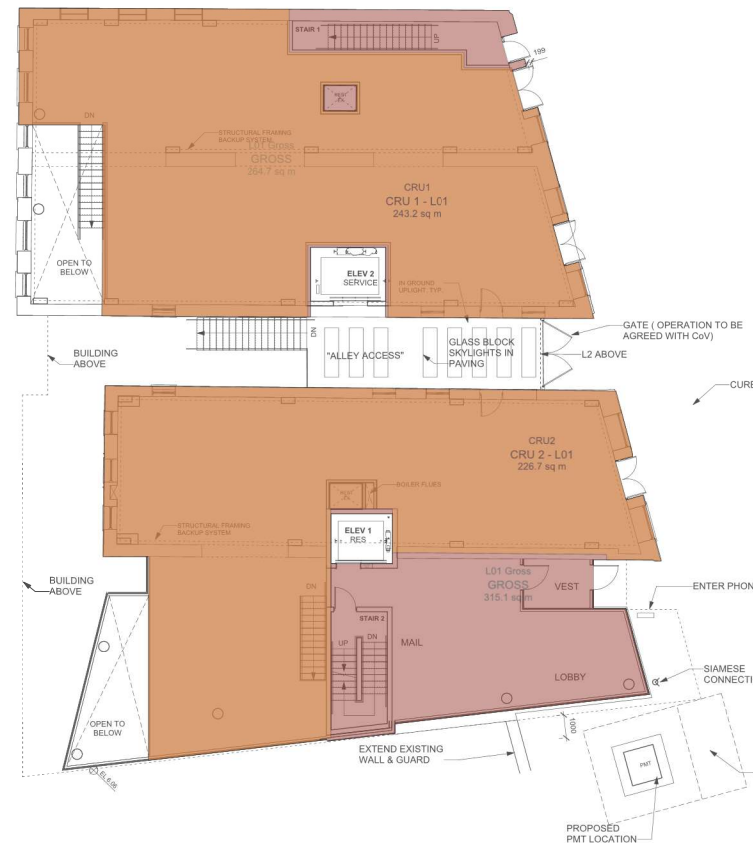
AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA



LEVEL 00 - FSR AREA PLAN 1
SCALE: 1:100

LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L01	243.2 sq m
CRU2	CRU 2 - L01	226.7 sq m
Total Suite Area		469.9 sq m
Total Gross Area		579.8 sq m
EFFIC		81%



LEVEL 01 - FSR AREA PLAN 2
SCALE: 1:100



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SEAL



Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-012

19004C

AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA

LEVEL 02 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
201	3BD	83 sm
202	2BD	86 sm
203	1BD	53 sm
204	1BD	53 sm
206	1BD	40 sm
206	1BD	46 sm
207	1BD	46 sm
208	1BD	55 sm
209	1BD	58 sm
210	1BD	38 sm
211	ST	38 sm
212	2BD	66 sm
Total Suite Area		663 sm
		GROSS 739 sm
Total Gross Area		739 sm
EFFIC		90%



LEVEL 02 - FSR AREA PLAN

SCALE: 1:100

1

LEVEL 03-04 AREAS sm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD	83 sm
302 sm	2BD	86 sm
303 sm	1BD	53 sm
304 sm	1BD	53 sm
306 sm	1BD	40 sm
306 sm	1BD	46 sm
307 sm	1BD	46 sm
308 sm	1BD	55 sm
309 sm	1BD	58 sm
310 sm	1BD	38 sm
311 sm	ST	38 sm
312 sm	2BD	66 sm
Total Suite Area sm		663 sm
		GROSS 739 sm
Total Gross Area sm		739 sm
EFFIC		90%



LEVEL 03 - FSR AREA PLAN

SCALE: 1:100

2



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Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

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PLOT DATE:

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A-013

19004C

LEVEL 03-04 AREAS sqm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	83 sm
302 sm	2BD sm	86 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	46 sm
307 sm	1BD sm	46 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm		663 sm
GROSS sm		739 sm
Total Gross Area sm		739 sm
EFFIC		90%

AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA



LEVEL 04 - FSR AREA PLAN

1

SCALE: 1:100

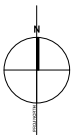
LEVEL 05 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
501	3BD	83 sm
502	2BD	86 sm
503	1BD	53 sm
504	1BD	53 sm
505	1BD	40 sm
506	1BD	46 sm
507	2BD	101.2 sm
508	1BD	58.5 sm
509	1BD	38 sm
510	ST	38 sm
511	2BD	66 sm
Total Suite Area		663 sm
GROSS		739 sm
Total Gross Area		739 sm
EFFIC		90%



LEVEL 05 - FSR AREA PLAN

2

SCALE: 1:100



NEW SHEET FOR ROOFTOP ACCESS
START AREA

ROOF AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
Total Suite Area	0	0 sqm
Total Gross Area	GROSS	14 sqm
EFFIC		0%



ISSUED FOR

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SEAL



Northern Junk

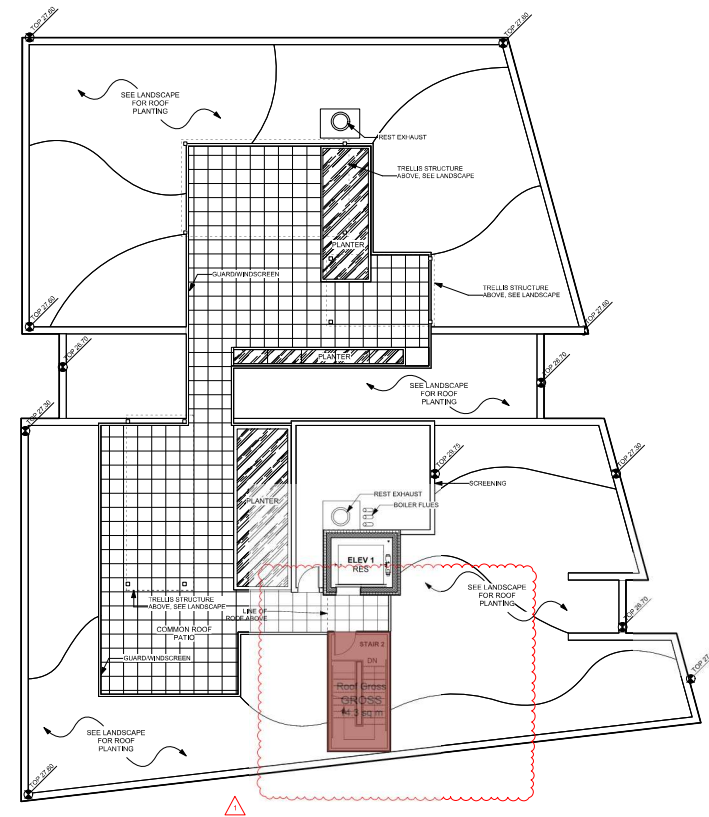
1314-1318 Wharf Street, Victoria BC

Area Plans

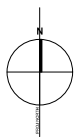
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19004C

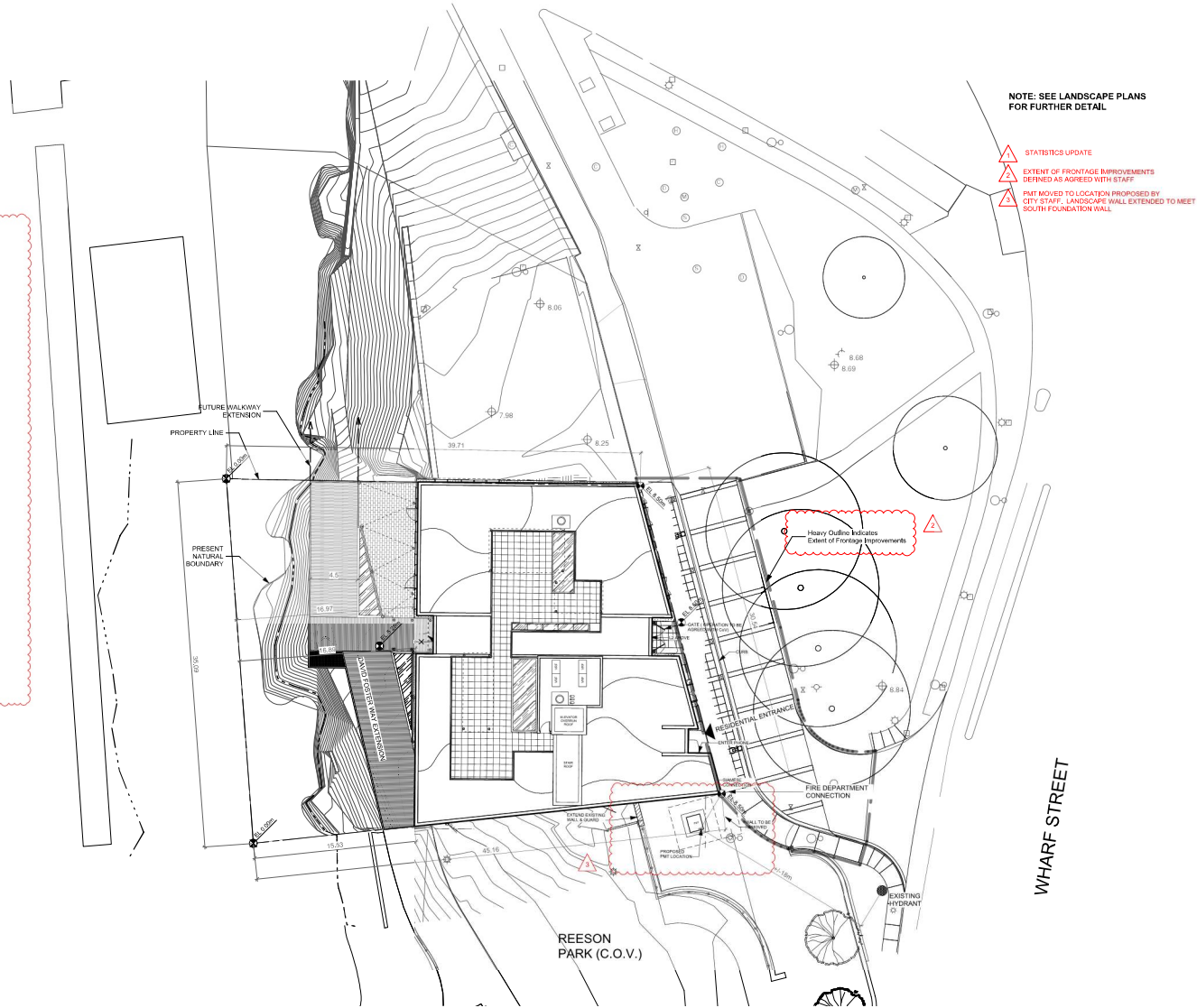


1 ROOF AREAS
Scale: 1:100



Address: 1314 WHARF ST
PID: 001-005-723
Folio: 01074004
Legal Information: LOT 182-F,
VICTORIA

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT
NET SITE AREA (sqm) Above Natural Boundary	12,18 sqm
GROSS SITE AREA (sqm)	13,95 sqm
TOTAL FLOOR AREA	4,095 sqm
COMMERCIAL FLOOR AREA	831.5 sqm
FLOOR SPACE RATIO	3.33
SITE COVERAGE %	65.6%
OPEN SITE SPACE %	34.4 %
HEIGHT OF BUILDING FROM STREET GRADE (m)	13.1 (28)
NUMBER OF STOREYS	5 STOREYS FROM WHARF (6 FROM HARBOUR)
PARKING STALLS ON SITE	0
BIKE/PARKING (long term)	56 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)	
FRONT YARD (EAST)	0 m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0 m
SIDE YARD (SOUTH)	0 m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)	
TOTAL NUMBER OF UNITS	47
UNIT TYPE (SEE UNIT TYPE TABLE)	STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA	37.5 sqm
TOTAL RESIDENTIAL FLOOR AREA	265.3 sqm



NOTE: SEE LANDSCAPE PLANS
FOR FURTHER DETAIL

STATISTICS UPDATE
EXTENT OF FRONTAGE IMPROVEMENTS
DEFINED AS AGREED WITH STAFF
PMT MOVED TO LOCATION PROPOSED BY
CITY STAFF. LANDSCAPE WALL EXTENDED TO MEET
SOUTH FOUNDATION WALL

Boniface
Oleksiuk
Politano
Architects

RELIANCE
PROPERTIES

CROSTOWN
PROPERTIES LTD.

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B	2019-10-11 REZONING / HERITAGE ALTERATION PERMIT R1
C	2020-08-07 REZONING / HERITAGE ALTERATION PERMIT R2
D	2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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Northern Junk

1314-1318 Wharf Street, Victoria BC

Site Plan

DRAWN: AP
PLOT DATE: CHECKED: AB

A-101

19004C

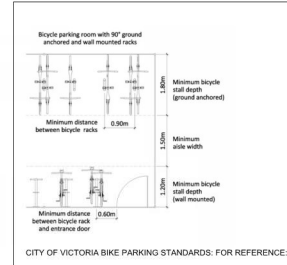
GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SUITE AREAS
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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- D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3



- REVISIONS TO INTERNAL LAYOUT TO ACCOMMODATE ELECTRICAL ROOM/PUT RELOCATION, BIKE RACKS REPLACE LOCKERS
- ELECTRICAL ROOM RELOCATED FOR BC HYDRO ACCESS
- SOUTH FOUNDATION WALL MOVED NORTH TO ACCOMMODATE PORTS GAS LINE, REGULATOR ENCLOSURE ADDED

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Northern Junk

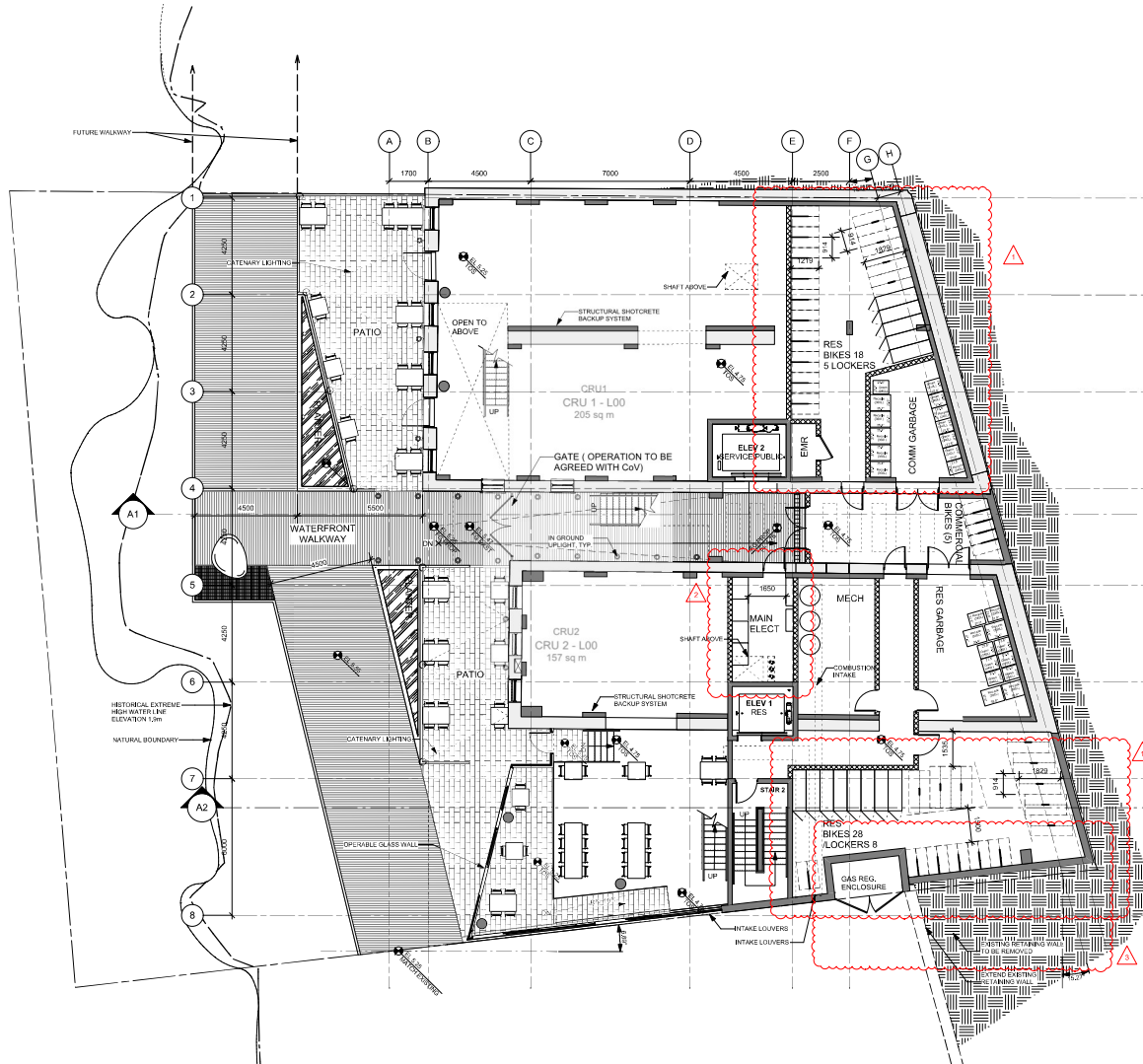
1314-1318 Wharf Street, Victoria BC

Plans - L00

DRAWN: AP CHECKED: AB

A-201

19004C



PLAN L00
SCALE: 1:100

1

- △ PMT MOVED TO LOCATION PROPOSED BY CITY STAFF. LANDSCAPE WALL EXTENDED TO MEET SOUTH FOUNDATION WALL
- △ EXTENT OF FRONTAGE IMPROVEMENTS DEFINED AS AGREED WITH STAFF
- △ GAS METERS REMOVED FROM HERITAGE BUILDING FACE. REGULATIONS LOCATED ON SOUTH ELEVATION

GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SUITE AREAS
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



ISSUED FOR:

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Northern Junk

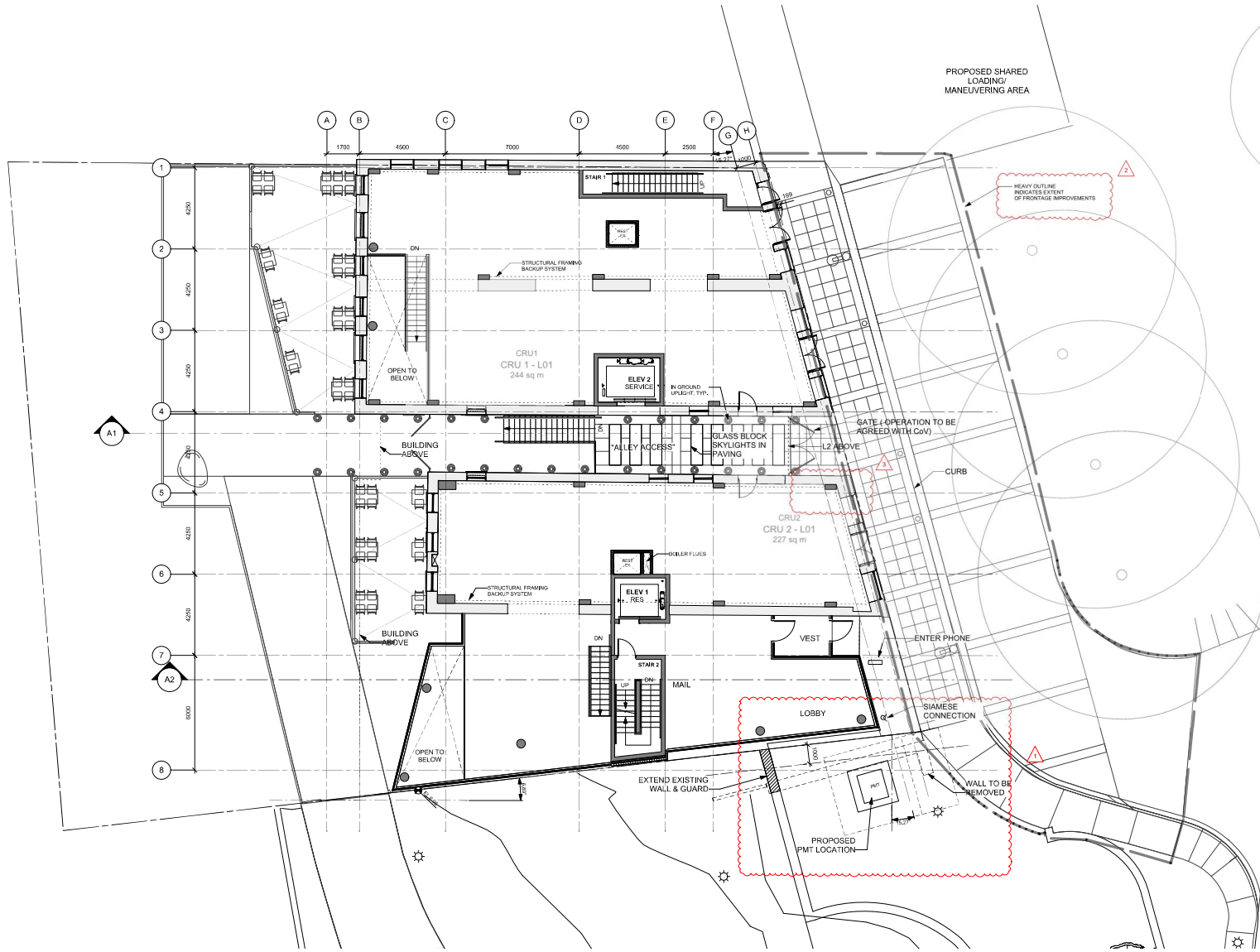
1314-1318 Wharf Street, Victoria BC

Plan - Level 01

DRAWN: AP CHECKED: AB
 PLOT DATE:

A-202

19004C



PLAN L1
 SCALE: 1:100

1

GENERAL PLAN NOTES:
- SEE AREA PLANS FOR FLOOR AND SUITE AREAS.
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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Northern Junk

1314-1318 Wharf Street, Victoria BC

Plan - Level 02

DRAWN: AP
PLOT DATE: CHECKED: AB

A-203

19004C



PLAN L2
SCALE: 1:100

1

GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SUITE AREAS.
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS.



- ISSUED FOR:
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Plan - Level 03-04

DRAWN: AP PLOT DATE: CHECKED: AB

A-204

19004C



PLAN L3-4 1
 SCALE: 1:100

GENERAL PLAN NOTES:
 - SEE AREA PLANS FOR FLOOR AND SUITE AREAS.
 - SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS.



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Northern Junk

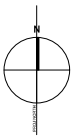
1314-1318 Wharf Street, Victoria BC

Plan - Level 05

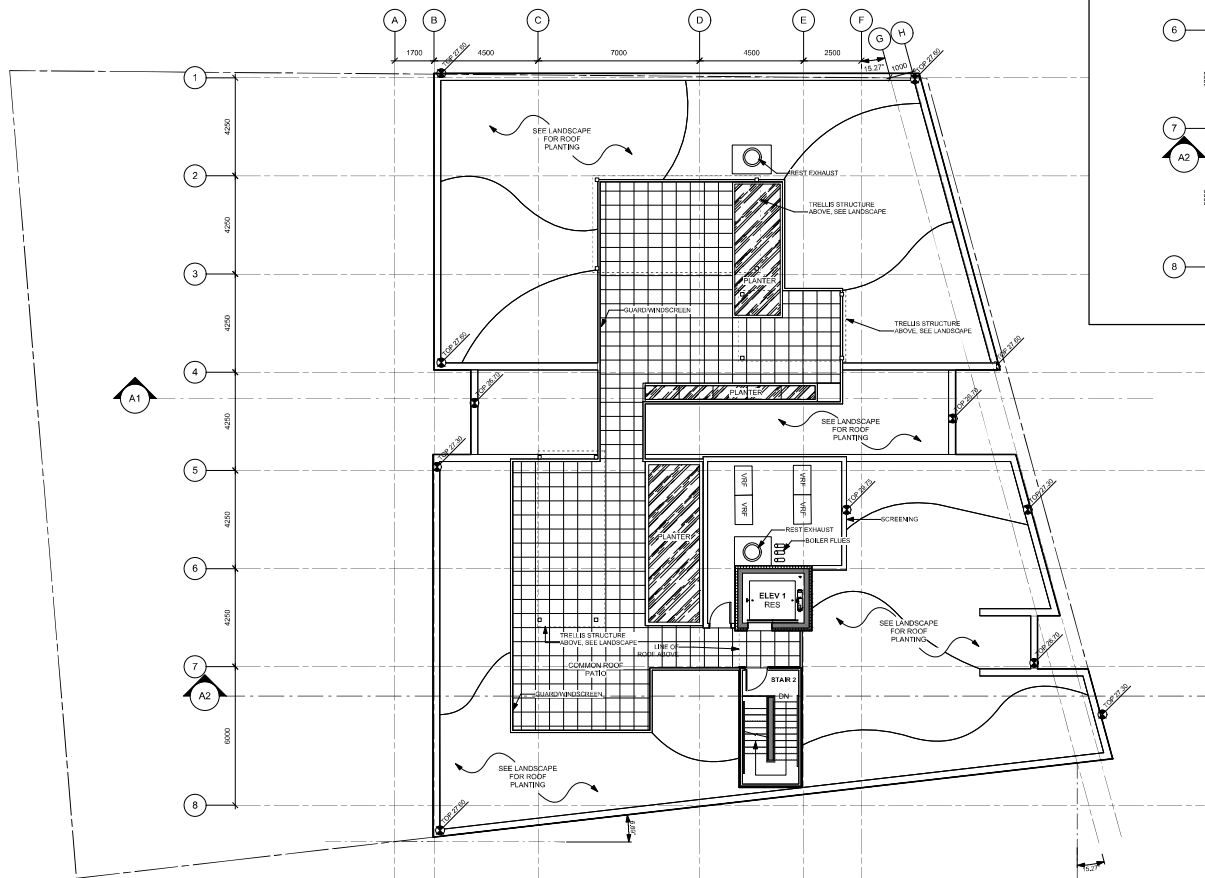
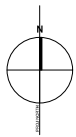
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 PLOT DATE: CHECKED: AB

A-205

19004C

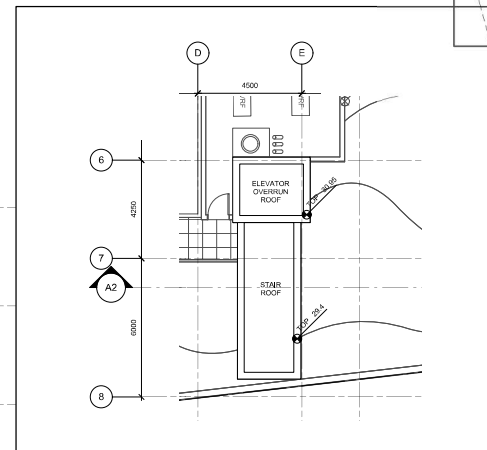


PLAN L5
 SCALE: 1:100



UPPER ROOF PLAN
Scale: 1:100

GENERAL PLAN NOTES:
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- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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Northern Junk
1314-1318 Wharf Street, Victoria BC
Plan - Roof

ROOF PLAN
Scale: 1:100

DRAWN: AP
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A-206

19004C

△ EXTENSION OF RESSON PARK
PLATFORM AND PM LOCATION SHOWN
FORTE GAS REGULATOR ENCLOSURE
ADDED



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D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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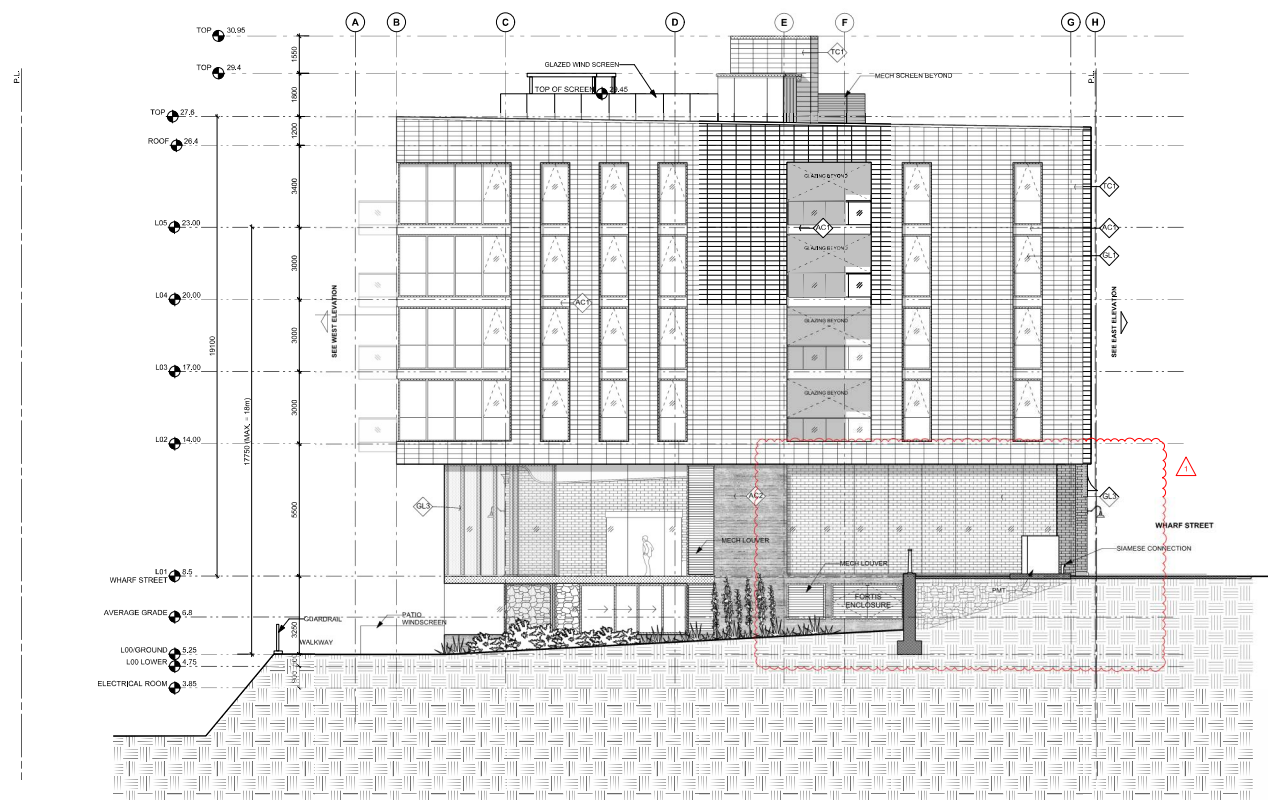
1314-1318 Wharf Street, Victoria BC

South Elevation

DRAWN: AP
PLOT DATE: CHECKED: AB

A-401

19004C



SOUTH ELEVATION
SCALE: 1:100

MATERIAL LEGEND	
[Symbol]	GL1 - NEW RESIDENTIAL GLAZING
[Symbol]	GL2 - HERITAGE STYLE GLAZING
[Symbol]	GL3 - COMMERCIAL GLAZING
[Symbol]	CMP1 - METAL PANEL TYPE 1
[Symbol]	ACC1 - PRECAST ARCH CONCRETE
[Symbol]	ACC2 - BOARD FORM ARCH CONCRETE
[Symbol]	BM1 - EXTERIOR BRICK MASONRY
[Symbol]	BM2 - NEW BRICK MASONRY TYPE 1
[Symbol]	TM1 - TERRAZZO MASONRY
[Symbol]	MB1 - STAINLESS STEEL BOOTH
[Symbol]	PM1 - DARK PAINTED METAL
[Symbol]	PM2 - MEDIUM PAINTED METAL



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D 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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SEAL



Northern Junk

1314-1318 Wharf Street, Victoria BC

West Elevation

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-402

19004C



WEST ELEVATION

SCALE: 1:100

1

MATERIAL LEGEND	
[Symbol]	GL1 - NEW RESIDENTIAL GLAZING
[Symbol]	GL2 - HISTORIC STEEL GLAZING
[Symbol]	GL3 - COMMERCIAL GLAZING
[Symbol]	CMFL - METAL PANEL TYPE 1
[Symbol]	ACC1 - PRECAST ARCH CONCRETE
[Symbol]	ACC2 - BOARD FORM ARCH CONCRETE
[Symbol]	BR1 - EXISTING BRICK MASONRY
[Symbol]	BR2 - NEW BRICK MASONRY TYPE 1
[Symbol]	TM1 - TERRAZZO MASONRY
[Symbol]	MB1 - STAINLESS STEEL BOOTH
[Symbol]	PM1 - DARK PAINTED METAL
[Symbol]	PM2 - MEDIUM PAINTED METAL



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SEAL



Northern Junk

1314-1318 Wharf Street, Victoria BC

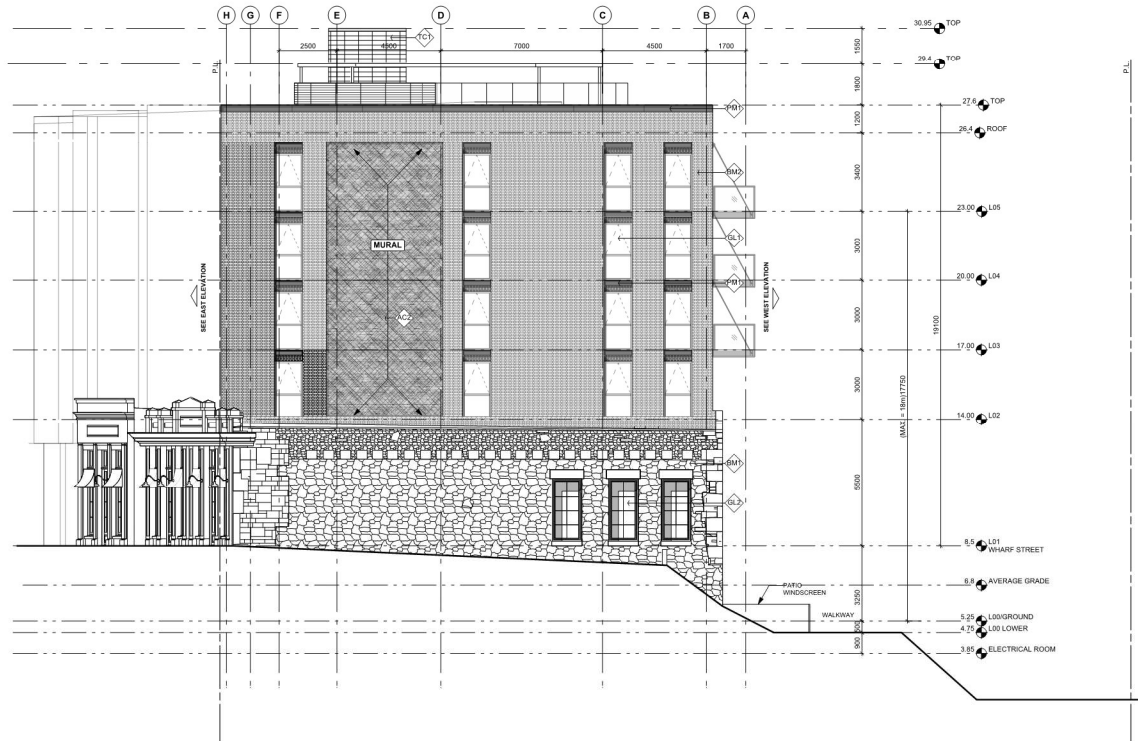
North Elevation

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-403

19004C



NORTH ELEVATION

SCALE: 1:100

1

MATERIAL LEGEND	
GL1	NEW RESIDENTIAL GLAZING
GL2	HERITAGE STYLE GLAZING
GL3	COMMERCIAL GLAZING
CMP1	METAL PANEL TYPE 1
AC1	PRECAST ARCH CONCRETE
AC2	BOARD FORM ARCH CONCRETE
BM1	EXISTING BRICK MASONRY
BM2	NEW BRICK MASONRY TYPE 1
TM1	TERRAZZOTA MASONRY
MS1	STAMPED METAL SOFFIT
PM1	DARK PAINTED METAL
PM2	MEDIUM PAINTED METAL











A	2019-06-19	REZONING / HERITAGE ALTERATION PERMIT
B	2019-10-11	REZONING / HERITAGE ALTERATION PERMIT R1
C	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT R2
D	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT R3

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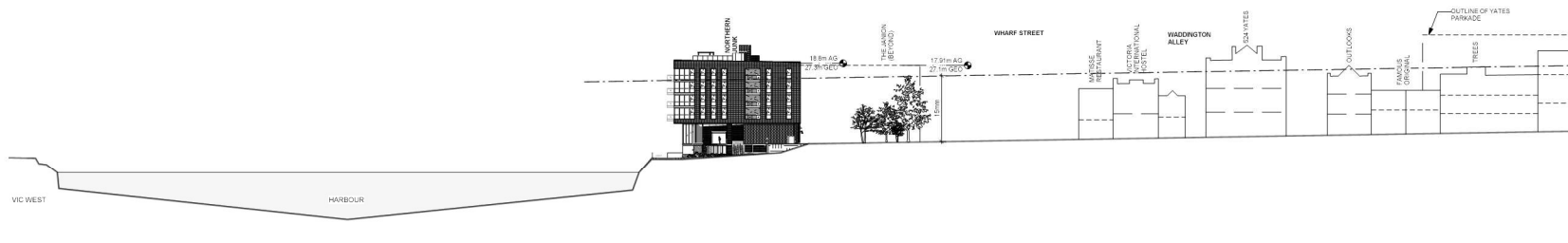
MATERIAL LEGEND	
	GL1 - NEW RESIDENTIAL GLAZING GL2 - HERITAGE STYLE GLAZING GL3 - COMMERCIAL GLAZING
	CMP1 - METAL PANEL TYPE 1
	AC1 - PRECAST ARCH CONCRETE AC2 - BOARD FORM ARCH CONCRETE
	BM1 - EXISTING BRICK MASONRY BM2 - NEW BRICK MASONRY TYPE 1
	TM1 - TERRACOTTA MASONRY
	MS1 - STAMPED METAL SOFFIT
	PM1 - DARK PAINTED METAL
	PM2 - MEDIUM PAINTED METAL



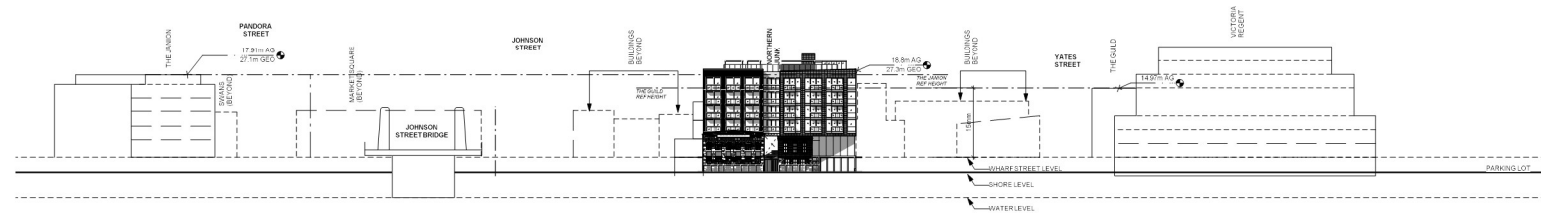
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A-404

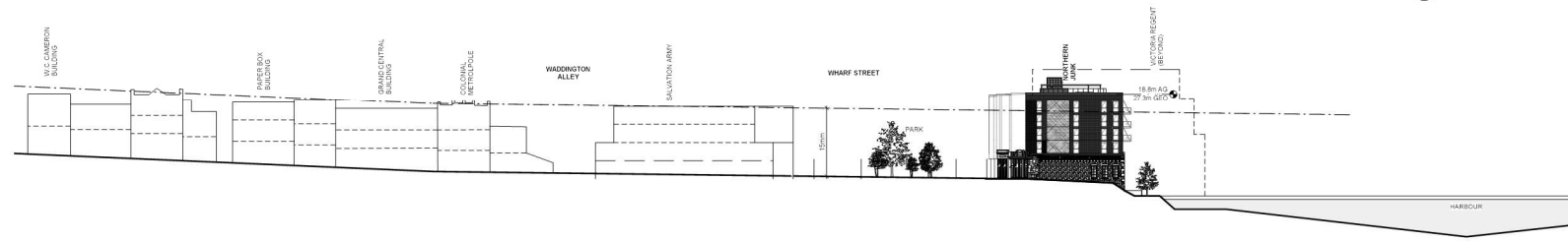
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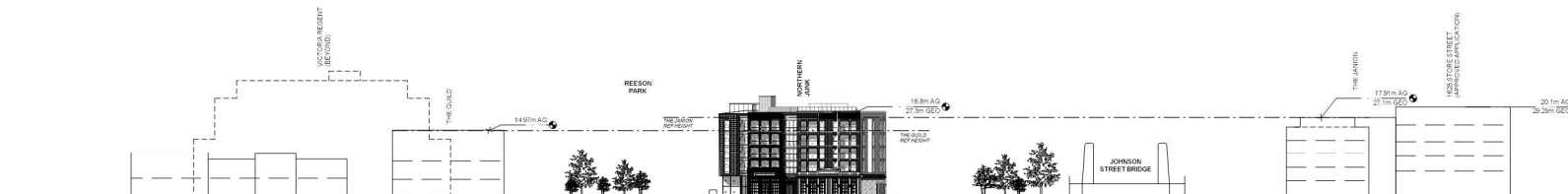
1 CONTEXT ELEVATION SOUTH
1:500



2 CONTEXT ELEVATION WEST
1:500



3 CONTEXT ELEVATION NORTH
1:500



4 CONTEXT ELEVATION EAST
1:500

NOTE: CONTEXT ELEVATIONS ARE APPROXIMATE BASED ON BEST ESTIMATES AND AVAILABLE INFORMATION.

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 - 2021-01-11 REZONING / HERITAGE ALTERATION PERMIT R3

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Northern Junk

1314-1318 Wharf Street, Victoria BC

Context Elevations

DRAWN: SO CHECKED: AB
PLOT DATE:

A-405

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SEAL



Northern Junk

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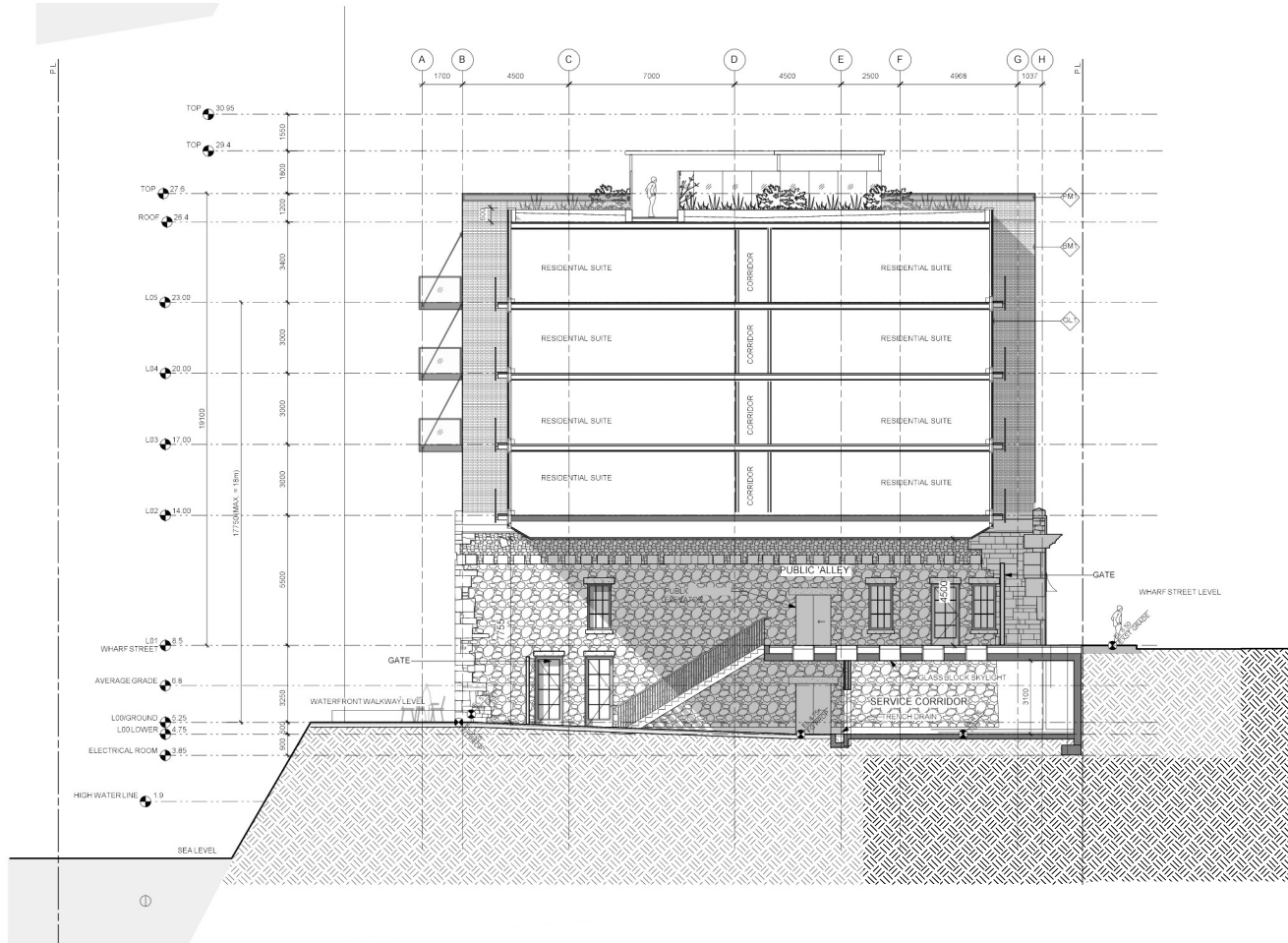
Section - A

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PLOT DATE:

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A-501

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Northern Junk

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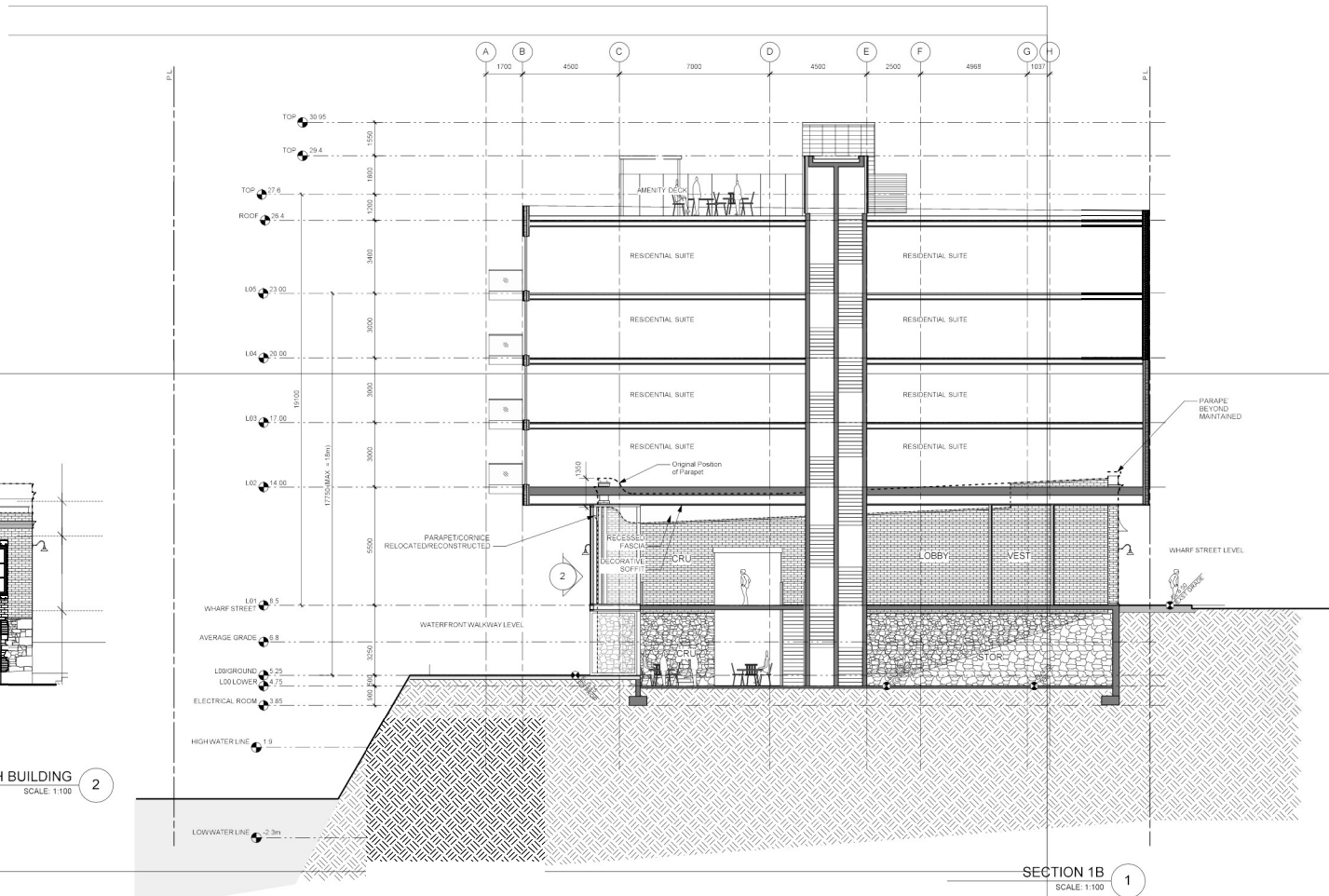
Section - A2

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CHECKED: AB

A-502

19004C

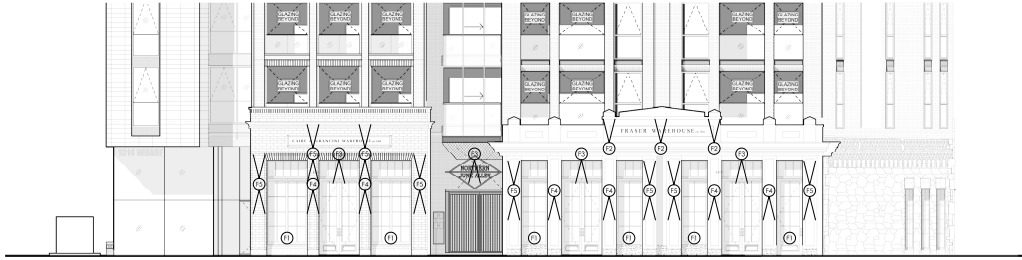


WEST ELEVATION OF SOUTH BUILDING
SCALE: 1:100

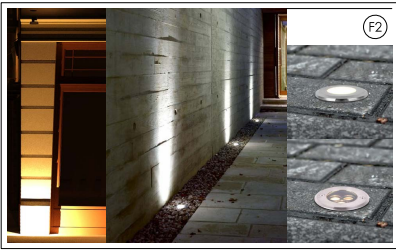
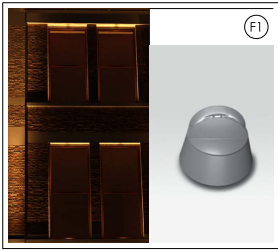
2

SECTION 1B
SCALE: 1:100

1



1 EAST ELEVATION
SCALE : 1:100



3 FIXTURE TYPES
N.T.S.

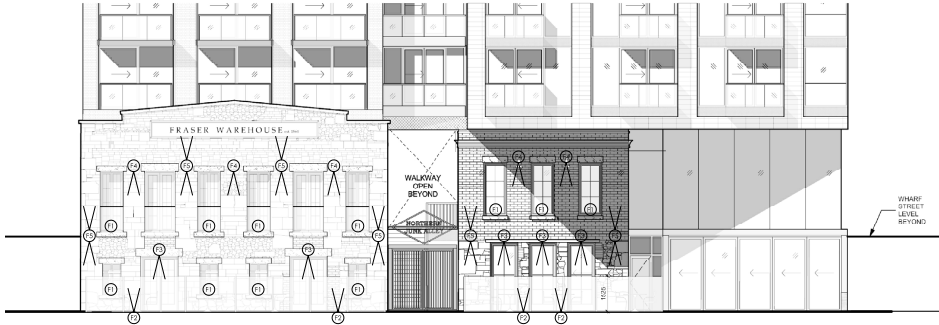
LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	PRODUCT	MOUNTING	LAMP				REMARKS	
				WATTS (W)	TYPE	LED Lumens	COLOUR		
1	180 DEG WINDOW SILL MOUNTED LUMINAIRE C/W NARROW BEAM TO FRAME WINDOW	IGUZZINI TRICK 1 BU16-UNV-XX	SURFACE	3	LED	77	3000	120	SILVER COLOUR FIXTURE
2	IN GROUND STAINLESS STEEL HOUSING UPLIGHT 24DEG NARROW FLOOD	LITEHARBOR VOLTECH ROUND IN-GROUND MR16 LED BULB 1V6.30 H-ST	IN-GROUND	10	LED	600	3000	120	STAINLESS STEEL HOUSING
3	2.5 DIA IP44 24DEG RECESSED DOWNLIGHT WITH CLEAR GLASS LENS	HONTECH HT-THD10W4 C/W REMOTE DRIVER	RECESSED	10	LED	850	3000	120	ALUMINUM FINISH TRIM COLOUR
4	2374 X 18" W X 40" D SLOPING GOOSENECK SINGLE BULB FIXTURE	LONGSHIRE TIDES - HALEIGH OUTDOOR BARN LIGHT	WALL SURFACE MOUNTED	8	LED	650	2700	120	GALVANIZED SILVER
5	16" IS ADJUSTABLE SQUARE NARROW BEAM UPLIGHT - DOWNLIGHT WITH BLENDING LENS	ERCO 34500-000 C/W MOUNTING PLATE	WALL	20	LED	1800	3000	120	ALUMINUM FINISH FIXTURE

NOTES

1. THESE LUMINAIRES ARE OPTIONAL. THESE SHALL BE NOT BE INCLUDED IN THE BASE BID AND SHALL BE SHOWN AS A BREAKOUT "ADD PRICE" PRICE. PRICE SHALL INCLUDE ALL COMPONENTS FOR LUMINAIRE TO BE OPERATIONAL INCLUDING TAXES, INSTALLATION, HANDLING, SHIPPING, WIRING.
2. FINAL CALCULATIONS WITH STREET LIGHTING SHOULD BE ADVANCED TO AVOID LIGHT POLLUTION. PROCESS TO BE VERIFIED DURING CONSTRUCTION DRAWINGS PRIOR TO TENDER OR PROCUREMENT OF NOTED FIXTURES.

GENERAL NOTES

- A. DUE TO CONSTANT CHANGES IN CATALOGUE NUMBERS, ALL NUMBERS INDICATED MUST BE VERIFIED WITH THE MANUFACTURER PRIOR TO ORDERING.
- B. ALL LUMINAIRE FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
- C. TYPE OF CONSTRUCTION FOR ALL CEILINGS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING. MOUNTING ITS. CONTRACTOR TO OBTAIN A SET OF ARCHITECTURAL DRAWINGS AND COORDINATE MOUNTING WITH CEILING TYPES SHOWN. NO EXTRAS WILL BE ALLOWED FOR ROUGH IN.
- D. CONTRACTOR TO ALLOW A MINIMUM 2 WEEKS FOR IN-REVIEW OF ENTIRE LIGHTING SHOP DRAWING PACKAGE. NO DELAY CLAIMS WILL BE ALLOWED FOR ANY SUBSEQUENT REVIEW TIME REQUIRED DUE TO INCORRECT SHOP DRAWINGS.
- E. ALL CONTROLS INTEGRATED WITH LUMINAIRES TO BE COMMISSIONED ON SITE AFTER INSTALL. CONTRACTOR TO ENSURE THAT ALLOWANCE IS MADE FOR ADJUSTING AND COMMISSIONING OF ALL CONTROLS AS REQUIRED.
- F. COORDINATE MOUNTING HEIGHT OF ALL WALL MOUNTED LUMINAIRES WITH ARCHITECT PRIOR TO ROUGH IN.
- G. ALL JUNCTION BOXES FOR SURFACE MOUNT LUMINAIRES SHALL NOT BE WIDER THAN THE LUMINAIRE MOUNTING PLATE.
- H. ALL LED LUMINAIRES ARE BE INCLUDED WITH CONSTANT CURRENT DRIVERS UNLESS SPECIFIED.
- I. ALL LUMINAIRES SHALL BE APPROVED AS DEFINED IN CURRENT CANADIAN ELECTRICAL CODE (CNEC).



2 WEST ELEVATION
SCALE : 1:100

METRIC
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VERIFY DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

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info@bonifacpolitano.ca

SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Lighting Plan

DRAWN:
PLOT DATE:

CHECKED:

A-600

JOHNSON STREET NORTHERN JUNK

REZONING /HERITAGE ALTERATION PERMIT_R3

DRAWING LIST:

- L0.00 COVER
- L0.01 DESIGN RATIONALE
- L0.02 HIGH AND LOW TIDE DIAGRAM
- L1.01 LAYOUT PLAN - SURFACE LOT LOADING OPTIONS
- L1.02 LAYOUT AND MATERIALS PLAN - GROUND LEVEL
- L1.03 LAYOUT AND MATERIALS PLAN - ROOF
- L2.01 SECTIONS
- L2.02 SECTIONS



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT

Johnson Street
Northern Junk
Site Layout

ADDRESS

1314 WHARF STREET

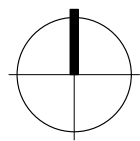
Lot 182F (001-005-723)

DRAWING TITLE

COVER

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NORTH



SCALE

PROJECT NO.	15030		
DATE	October 2019		
FILE NAME	15030 Northern Junk Plan.vwx		
PLOTTED	2021-01-13		
DRAWN	TK	REVIEWED	JO

DRAWING

DRAWING

L0.00

Northern Junk Design Rationale

The landscape design associated with the updated Northern Junk building creates a functional and vibrant urban waterfront space that celebrates City of Victoria’s shoreline. The public will benefit from the extended connection of the David Foster Way, proximities to Reeson Park and Johnson Street Bridge Public Realm.

Wharf Street Connection

The cast in place concrete sidewalk follows the requirements outlined in the Downtown Public Realm Plan and Streetscape Standards for the district of Inner Harbour. While there isn’t room to include street trees between the existing buildings and the curb line, by not shifting the curb to achieve the necessary space we are able to protect the mature trees opposite the building. The hardscape paving in the passage between the buildings uses the same rhythm as the jointing in the sidewalk to create unity of the two spaces. The passageway also benefits from the glass tiles that create a light well into the spaces below. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. A gate located in line with the building faces and designed with historical reference can be used to secure the passageway after business hours.

Reeson Park Interface

The building design promotes an eyes-on-the park relationship of the CRU, the lobby and the residential units above Reeson Park. This is not only a benefit to the residents but provides a significant CPTED improvement as the sunken park is not in view from the street.

David Foster Way

The public extension of David Foster Way matches and aligns with the existing 4.5-meter width. The walkway is constructed from heavy timber members that evoke the industrial historical significance of the site. Emphasizing this relationship between the built and natural environment is a large precast “stone” seating feature. It provides a place to rest, wait for a table at the restaurant or simply enjoy the view.

The two outdoor patios are surfaced with stone pavers that create significant visual distinction between private and public spaces and also carry the historical connotation. These patios will provide animation along the David Foster Way. The comfortable atmosphere of the outdoor dining patios is created by discrete glass enclosures and two planters defining the spaces and protecting from the ocean winds. It is further emphasized by catenary lighting that defines the space with open canopy and provides soft ambient light.

The lower level of the passageway between the historical buildings uses heavy timber paving to create visual unity between the passageway and David Foster Way. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. As at the top on Wharf Street, a gate In line with the buildings provides after business hour security.

Rooftop

The rooftop includes an extensive sedum grass and perennial green roof and patios for residents. The patios are paved with hydrapressed pavers to allow for ease of removal for replacement and access to the slab for maintenance. There are three large cast in place planters located on the roof, one of which will serve as urban agricultural plot for the residents. Three shade structures will be providing comfort for residents using the roof for gardening or for leisure. The plant palette includes small native trees and native adapted plants with a variety of bloom periods and textures to reduce the need for watering while delivering all season interest.

Sustainability

Locally sourced stone pavers, manufactured timber and paving slabs have been selected as the paving material for their durability. A high efficiency, fully automated drip irrigation system with rain sensor will ensure healthy plant growth while keeping water use to a minimum. The green roof improves air quality, provides significant areas of planted space which will contribute to the reduction of heat island effect, reduce the urban storm water runoff and increases the habitat area along the shoreline.



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PROJECT

Johnson Street
Northern Junk
Site Layout

ADDRESS

1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE

DESIGN RATIONALE

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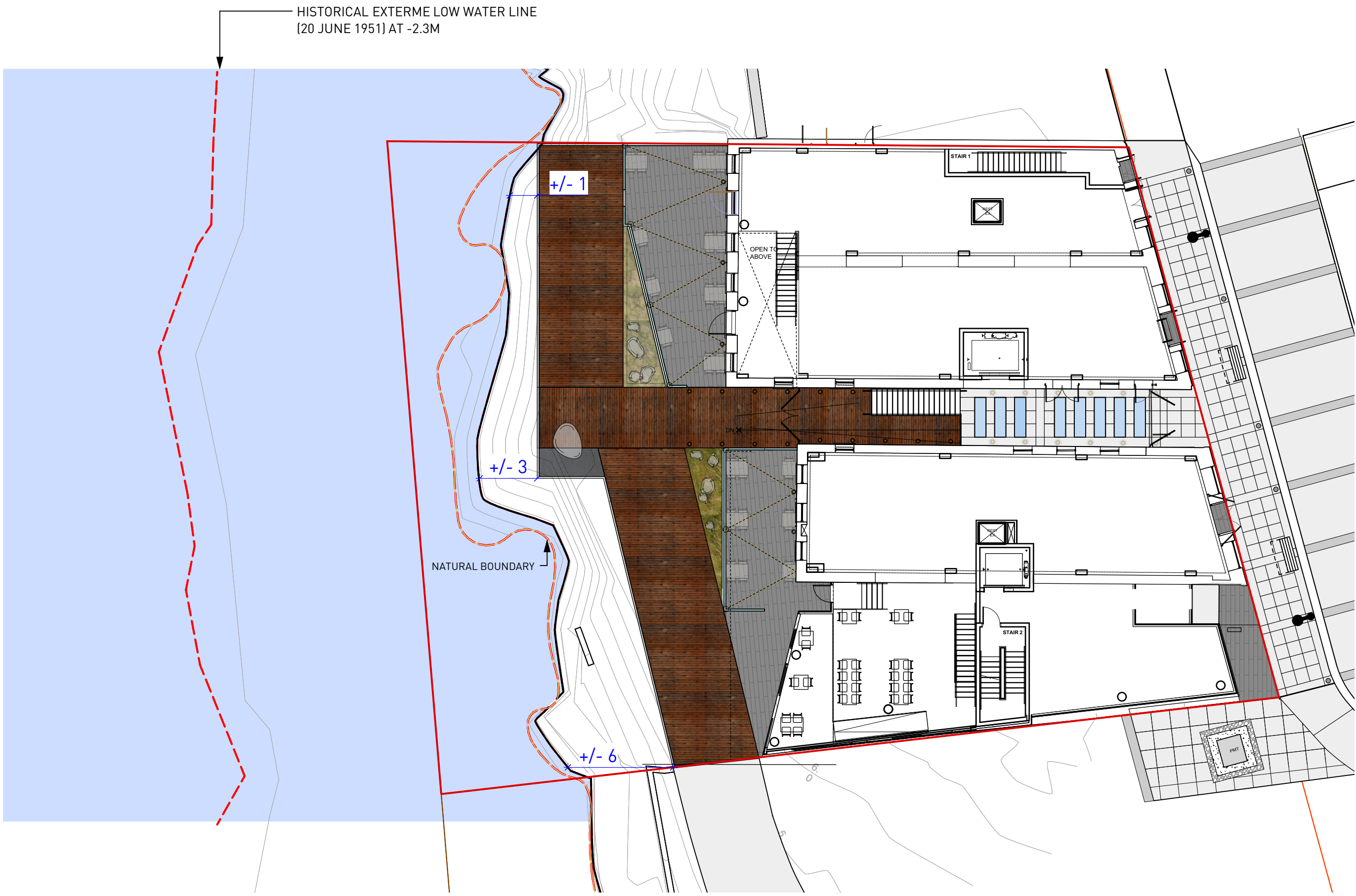
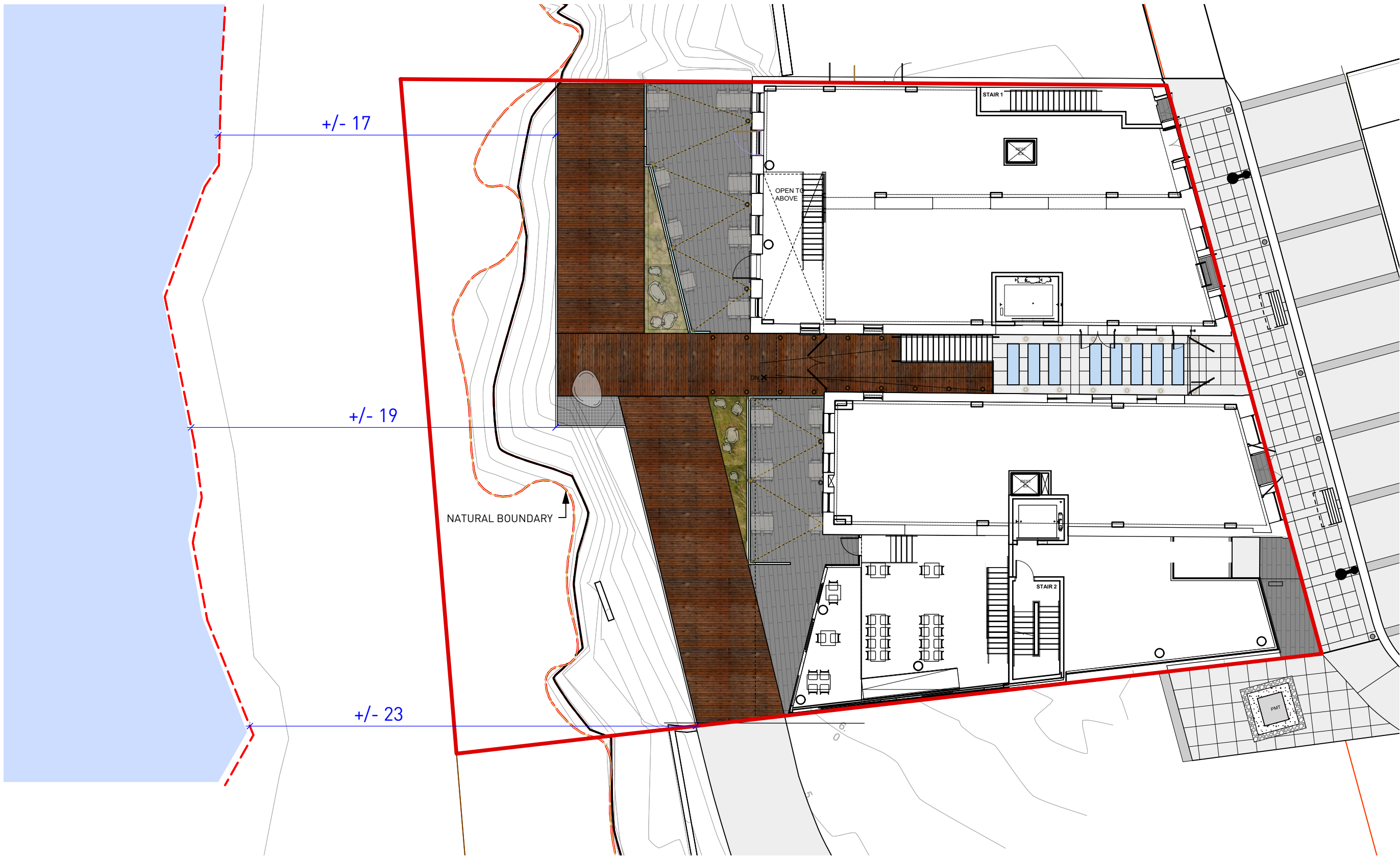
NORTH

SCALE

PROJECT NO.	15030		
DATE	October 2019		
FILE NAME	15030 Northern Junk Plan.vwx		
PLOTTED	2021-01-13		
DRAWN	TK	REVIEWED	JO

DRAWING

REVISIONS AND ISSUES		
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4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3



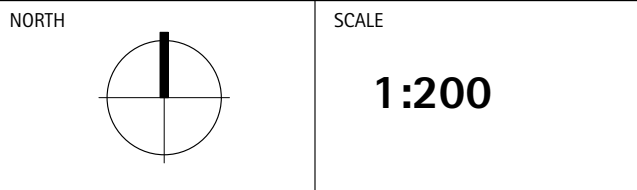
PROJECT
**Johnson Street
Northern Junk
Site Layout**

ADDRESS
1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE
**HIGH AND LOW TIDE
DIAGRAM**

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DRAWN	TK
REVIEWED	JO

DRAWING

L0.02

The site plan illustrates the proposed development on a triangular lot. The building footprint is shown with internal room divisions, including a large open area, a patio, and a rear garden. Key features include a 'NATURAL BOUNDARY' on the left, a 'HISTORICAL FEATURE TO BE RETAINED' (a high water line), and a 'RECENTLY CONSTRUCTED DAVID FOSTER WAY' on the right. The plan also shows 'EXISTING LOT AND ASPHALT' areas, 'EXISTING SIDEWALK', and 'EXISTING CURB CUT - LOT ENTRANCE'. A 'PROPOSED SIDEWALK TO MEET WITH PARKING LOT SIDEWALK' is indicated. The building is surrounded by 'EXISTING TREES' with specific root zones and a 'ROLL CURB' along the street. A 'WALK STREET CONNECTION' is shown leading to 'REESON PARK (CITY OF VICTORIA)'. The plan includes various annotations for materials like 'CIP CONCRETE' and 'BAND', and a 'PROPOSED PMT LOCATION'. A red triangle with 'R3' is located near the bottom right corner.

[illegible]

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NO.	DATE	DESCRIPTION
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4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT

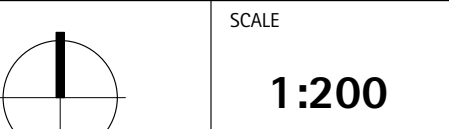
Johnson Street Northern Junk Site Layout

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Lot 182F (001-005-723)

DRAWING TITLE

LAYOUT - SURFACE LOT
LOADING OPTION

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FILE NAME	15030 Northern Junk Plan.vwx		
PLOTTED	2021-01-13		
DRAWN	TK	REVIEWED	JO
DRAWING			

L1.01

- LAYOUT AND MATERIALS GENERAL NOTES
- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
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 - FOR TREE MANAGEMENT PLAN, REFER TO ARBORIST REPORT

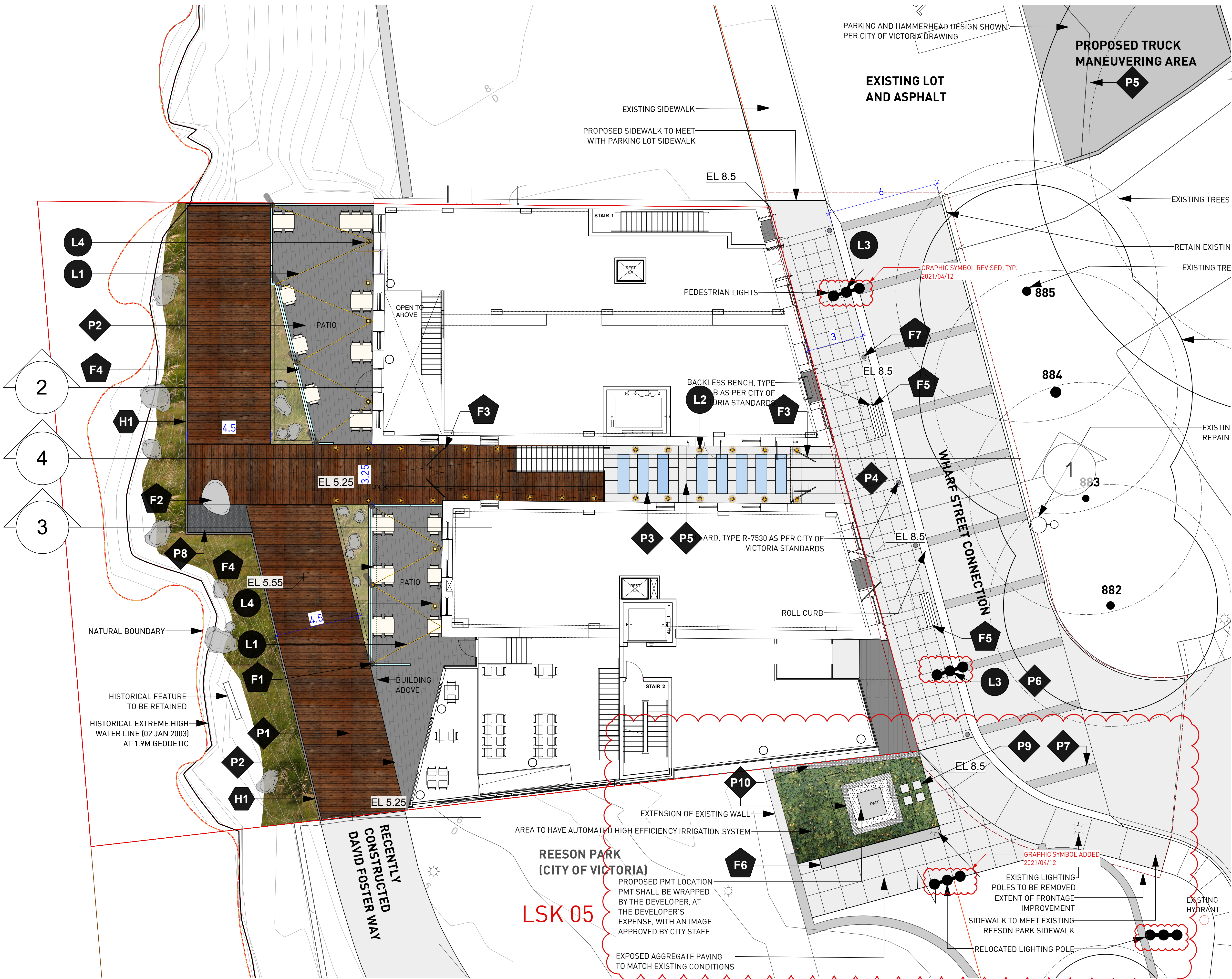
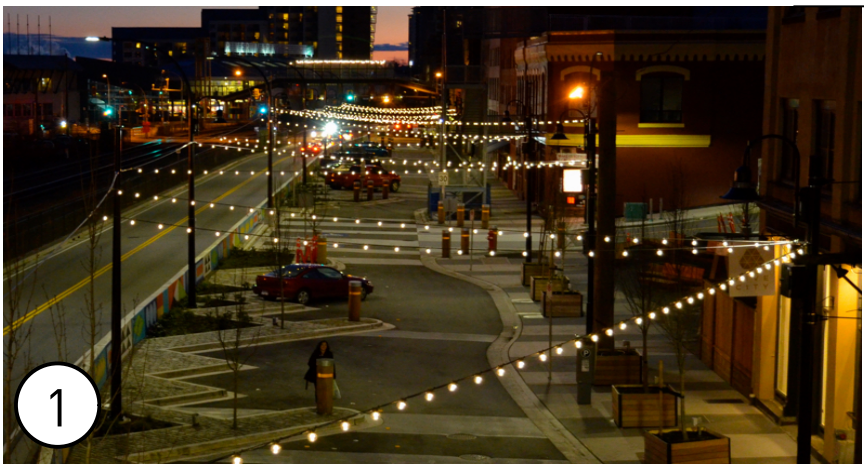
HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Metal Guard Rail As per City of Victoria Standards for David Foster Way
H2	Parapet Wall Refer to Architecture

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Timber Decking
P2	Stone Paving
P3	Light Wells
P4	CIP Concrete Sidewalk As per City of Victoria Standards
P5	CIP Concrete
P7	Stamped Asphalt (Street Bond) As per City of Victoria Standards
P8	Metal Grate Platform
P9	Asphalt
P9	Hydrapressed Pavers
P10	Maintenance Strip

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Catenary Light Post
F2	Metaco Stone Free Shape Seat
F3	Metal Gate
F4	Glass Guardrail Refer to Architecture
F6	Backless Bench As per City of Victoria Standards
F7	Bollard As per City of Victoria Standards
F8	Custom Bench
F8	Trellis Structure
F9	Urban Agriculture Potting Table With Storage
F10	Urban Agriculture Planters
F11	CIP Concrete Planters

LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
L1	Catenary Lights
L2	In Ground Lights
L3	Proposed Pedestrian Lights
L4	Lighting for Heritage Building

- IMAGES AS PER FOLLOWING:
- CATENARY LIGHTING
 - IN GROUND LIGHTING
 - STONE PAVING
 - STONE SHAPESEAT
 - TIMBER DECKING



PWL partnership

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4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3
5	2021-03-04	REZONING / HERITAGE ALTERATION PERMIT_R3 UPDATED
6	2021-04-12	REZONING / HERITAGE ALTERATION PERMIT_R3 UPDATED V

PROJECT

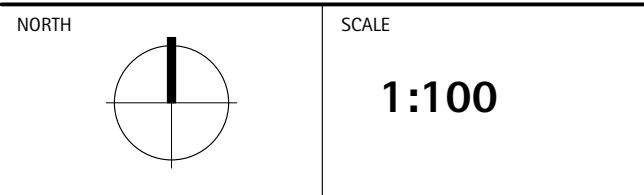
Johnson Street Northern Junk Site Layout

ADDRESS
1314 WHARF STREET
Lot 182F (001-005-723)

DRAWING TITLE

LAYOUT AND MATERIALS PLAN - GROUND LEVEL

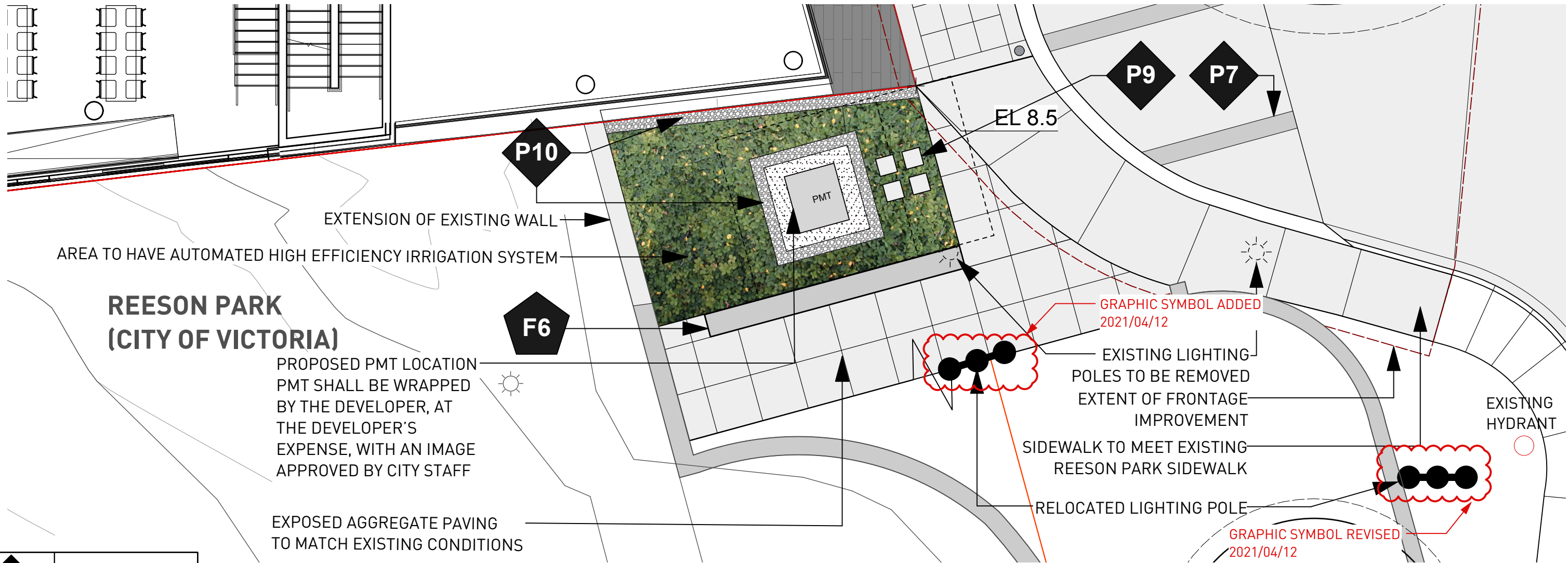
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PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-04-19
DRAWN	TK
REVIEWED	JO

DRAWING

L1.02



P9	Hydrapressed Pavers
P10	Maintenance Strip
F6	Custom Bench

Revised:



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KEY	DESCRIPTION
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PROJECT
**Johnson Street
Northern Junk
Site Layout**

ADDRESS
1314 WHARF STREET
Lot 182F (001-005-723)

DRAWING TITLE
**LAYOUT AND MATERIALS
PLAN - ROOF LEVEL**

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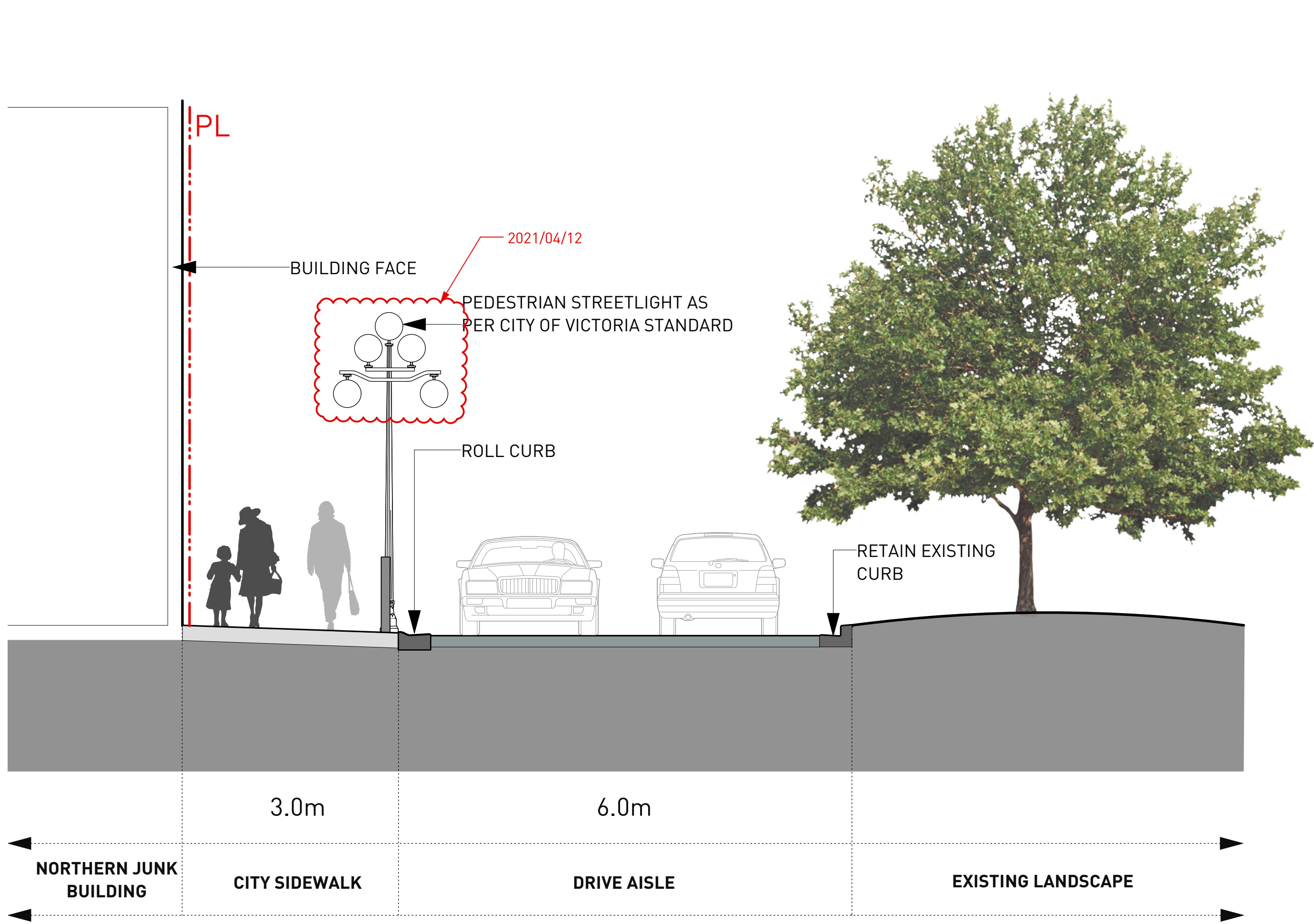
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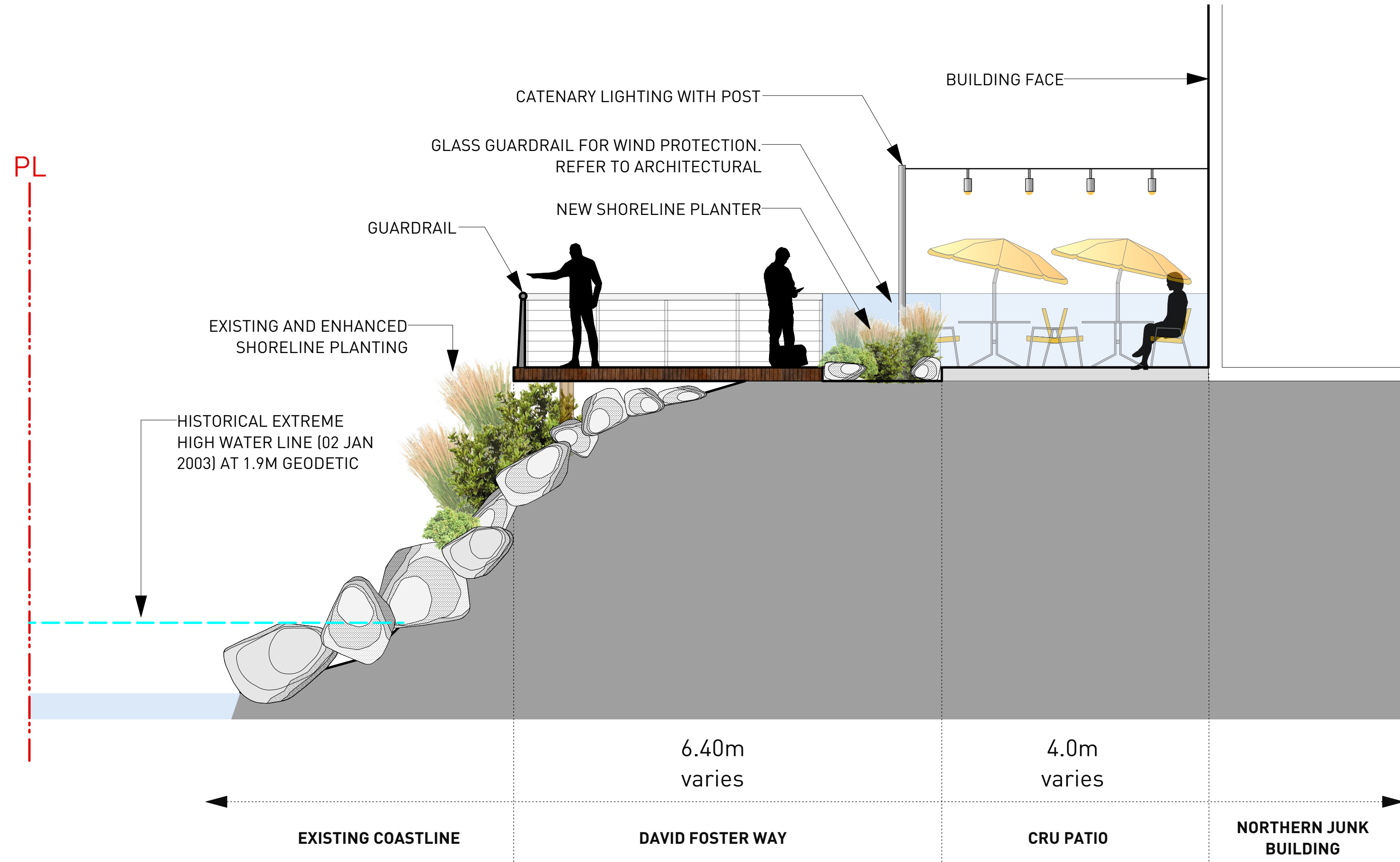
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FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING

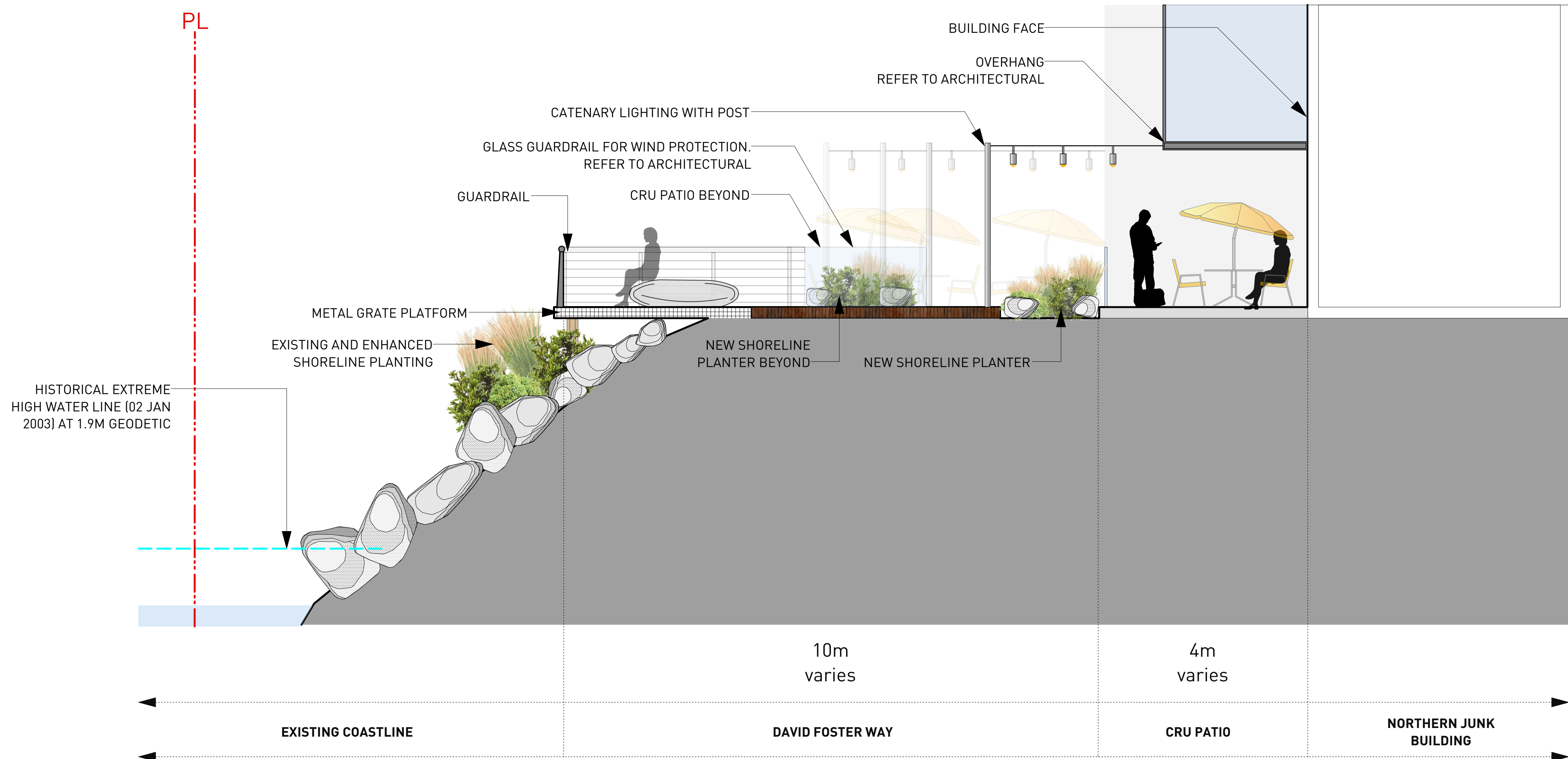
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1 SECTION
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2 SECTION
Scale: 1:50



3 SECTION
Scale: 1:50

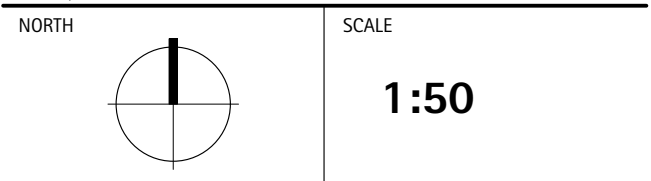
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4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3
5	2021-04-12	REZONING / HERITAGE ALTERATION PERMIT_R3_V2

PROJECT
**Johnson Street
Northern Junk**

ADDRESS
1314 WHARF STREET
Lot 182F (001-005-723)

DRAWING TITLE
SECTIONS

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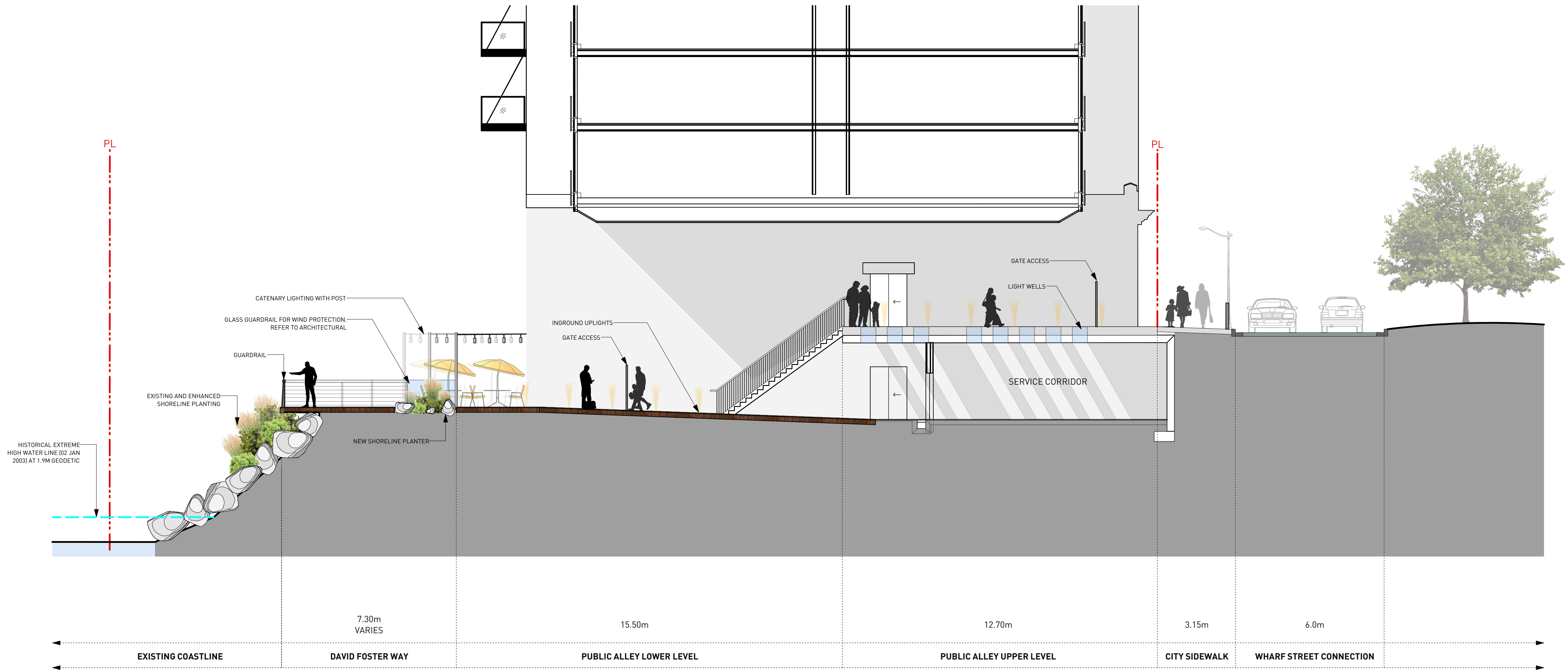
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO

DRAWING

L2.01

REVISIONS AND ISSUES

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4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3



4 SECTION
Scale: 1:100

PROJECT

Johnson Street
Northern Junk

ADDRESS

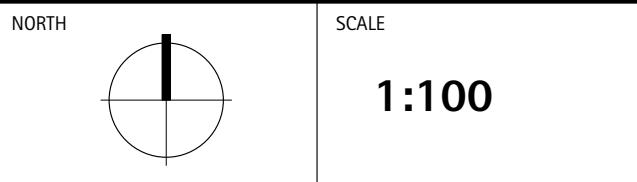
1314 WHARF STREET

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PLOTTED	
DRAWN	TK
REVIEWED	JO

DRAWING

L2.02

