

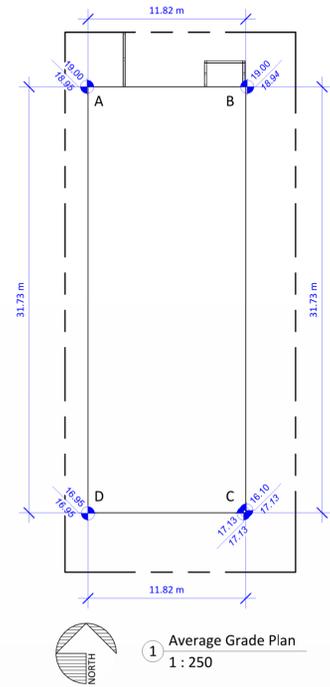
915 McClure St

FOR DEVELOPMENT PERMIT

Christine Lintott Architects Inc.



Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca



SEGMENT	START	END	AVG	DISTANCE	AVG x DIST
A - B	18.950	18.940	18.945	11.940	226.203
B - C	18.940	16.100	17.520	31.730	555.910
C - D	17.130	16.950	17.040	11.850	201.924
D - A	16.950	18.950	17.950	31.730	569.554
TOTAL PERIMETER				87.250	1553.590
AVERAGE GRADE				17.806	

Property Data

GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	A PROPOSAL TO DEMOLISH AN EXISTING DETACHED SINGLE FAMILY DWELLING AND CONSTRUCT AND CREATE GENTLE DENSITY WITH A 6 STOREY APARTMENT BUILDING, PROVIDING 22 RENTAL UNITS
CIVIC ADDRESS	915 MCCLURE ST, VICTORIA, BC V8V 3E8
LEGAL DESCRIPTION	LOT 1191, VICTORIA CITY
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	002-466-384
AUTHORITY HAVING JURISDICTION	THE CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2024 EDITION, INCLUDING ALL AMENDMENTS



AERIAL CONTEXT MAP



Drawing List

ARCHITECTURAL	
A0.00	COVER
A0.01	CODE ANALYSIS (PART 3)
A0.02	CODE ANALYSIS (PART 3)
A0.03	FLOOR AREA PLANS
A1.00	SITE PLAN
A1.01	SURVEY PLAN
A1.02	STREET ELEVATION
A1.03	SHADOW STUDIES
A2.00	FLOOR PLANS - BASEMENT, LEVEL 1, & TYPICAL
A2.01	LEVEL 6 & ROOF PLANS
A3.00	BUILDING ELEVATIONS
A3.10	EXTERIOR MATERIALS
A4.00	BUILDING SECTIONS

OWNER

Harbinger Properties Inc.
1153 Burdett Avenue
Victoria, B.C. V8V 3H3
250-415-6240

Contact: Tim Stemp

ARCHITECTURAL

Christine Lintott Architects Inc.
Unit 1 - 864 Queens Avenue
Victoria, B.C. V8T 1M5
250-384-1969

Contact: Christine Lintott

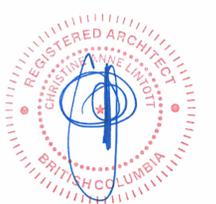
Issue Date

FOR DEVELOPMENT PERMIT 2025-12-17

Revision

No.	Description	Date

Consultant Seal



915 McClure St

915 McClure Street,
Victoria, BC V8V 3E8

COVER

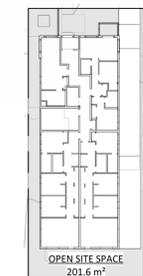
Date 2025-12-23 11:03:40 AM

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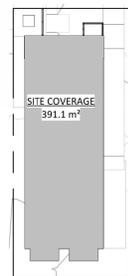
Checked by CL

A0.00

Project # 24-08 Scale As indicated



4 Area - Open Site Space
1 : 500



5 Area - Site Coverage
1 : 500

Zoning Floor Area	
Area	
Basement	0 m ²
Level 1	344 m ²
Level 2	350 m ²
Level 3	350 m ²
Level 4	350 m ²
Level 5	350 m ²
Level 6	169 m ²
Total	1913 m²

City of Victoria - Project Information Table

PROJECT INFORMATION TABLE		PROPOSED DESIGN
ZONING DISTRICT		-
SITE AREA (m ²)		694.7
TOTAL FLOOR AREA (m ²)		1913
FLOOR SPACE RATIO		2.75
SITE COVERAGE (%)		56.3
OPEN SITE SPACE (%)		29.0
REAR YARD OPEN SITE SPACE (%)		11.0
HEIGHT OF BUILDING (m)		20.5
NUMBER OF STOREYS		6
PARKING STALLS ON SITE		7
BICYCLE PARKING ON SITE		32 - SECURE
		6 - VISITOR
BUILDING SETBACKS:		
FRONT YARD (m)		4.16
FRONT STEPS (m)		-
FRONT PORCH (m)		-
BAY WINDOWS (m)		-
REAR YARD (m)		4.47
SIDE YARD - WEST (m)		1.75
SIDE YARD - EAST (m)		3.79
COMBINED SIDE YARDS (m)		5.54
EAVE PROJECTION IN SETBACKS (m)		-
RESIDENTIAL USE DETAILS:		
TOTAL NUMBER OF UNITS		22
UNIT TYPES		STUDIO, 1 BED
		2 BED, 3 BED
GROUND-ORIENTED UNITS		
MINIMUM UNIT FLOOR AREA (m ²)		37
TOTAL RESIDENTIAL UNIT AREA (m ²)		1716



CIVIL

McElhanney
3960 Quadra Street
Victoria, B.C. V8X 4A3
778-506-2251

Contact: Andre Prohoroff

LANDSCAPE

LADR Landscape Architects
Unit 3 - 864 Queens Avenue
Victoria, B.C. V8T 1M5
250-598-0105

Contact: Cameron North

ARBORIST

Capital Tree Service Inc.
7199 Lochside Drive
Victoria, B.C. V8M 1W4
250-415-7244

Contact: Keegan Durovich



Building Code Analysis - Overview

1 - GENERAL INFORMATION																																																																																													
NO.	ITEM	DESCRIPTION	REFERENCES																																																																																										
1-1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENO. <input type="checkbox"/> ADDITION <input type="checkbox"/> TENANT IMPROVEMENT	-																																																																																										
1-2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2024, INCLUDING ALL AMENDMENTS	-																																																																																										
1-3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A B C D	DIV A - 1.1.2																																																																																										
1-4	MAJOR OCCUPANCY(IES)	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	3.1.2.																																																																																										
1-5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.3.																																																																																										
1-6	HEAVY TIMBER CONSTRUCTION ALTERNATE	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.1.4.6.																																																																																										
1-7	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.10.																																																																																										
1-8	OCCUPANT LOAD	<input type="checkbox"/> 105 TOTAL	3.1.17.																																																																																										
<table border="1"> <thead> <tr> <th>ROOM</th> <th>UNITS</th> <th>AREA (m²)</th> <th>OCCUPANT</th> <th>BEDROOMS</th> <th>OCCUPANTS</th> </tr> </thead> <tbody> <tr> <td>PARKING</td> <td>-</td> <td>180</td> <td>46.0</td> <td>-</td> <td>4</td> </tr> <tr> <td>BIKE STORAGE</td> <td>-</td> <td>64</td> <td>46.0</td> <td>-</td> <td>2</td> </tr> <tr> <td>UNIT STORAGE</td> <td>-</td> <td>15</td> <td>46.0</td> <td>-</td> <td>1</td> </tr> <tr> <td colspan="6">BASEMENT SUBTOTAL 7</td> </tr> <tr> <td>DWELLING</td> <td>1</td> <td>-</td> <td>2/BEDROOM</td> <td>1</td> <td>2</td> </tr> <tr> <td>DWELLING</td> <td>1</td> <td>-</td> <td>2/BEDROOM</td> <td>2</td> <td>4</td> </tr> <tr> <td>DWELLING</td> <td>2</td> <td>-</td> <td>2/BEDROOM</td> <td>3</td> <td>12</td> </tr> <tr> <td colspan="6">LEVEL 1 SUBTOTAL 18</td> </tr> <tr> <td>DWELLING</td> <td>1x4</td> <td>-</td> <td>2/BEDROOM</td> <td>1x4</td> <td>2x4</td> </tr> <tr> <td>DWELLING</td> <td>1x4</td> <td>-</td> <td>2/BEDROOM</td> <td>2x4</td> <td>4x4</td> </tr> <tr> <td>DWELLING</td> <td>2x4</td> <td>-</td> <td>2/BEDROOM</td> <td>3x4</td> <td>12x4</td> </tr> <tr> <td colspan="6">LEVEL 2-5 SUBTOTAL 18x4+72</td> </tr> <tr> <td>DWELLING</td> <td>2</td> <td>-</td> <td>2/BEDROOM</td> <td>2</td> <td>8</td> </tr> <tr> <td colspan="6">LEVEL 6 SUBTOTAL 8</td> </tr> </tbody> </table>				ROOM	UNITS	AREA (m ²)	OCCUPANT	BEDROOMS	OCCUPANTS	PARKING	-	180	46.0	-	4	BIKE STORAGE	-	64	46.0	-	2	UNIT STORAGE	-	15	46.0	-	1	BASEMENT SUBTOTAL 7						DWELLING	1	-	2/BEDROOM	1	2	DWELLING	1	-	2/BEDROOM	2	4	DWELLING	2	-	2/BEDROOM	3	12	LEVEL 1 SUBTOTAL 18						DWELLING	1x4	-	2/BEDROOM	1x4	2x4	DWELLING	1x4	-	2/BEDROOM	2x4	4x4	DWELLING	2x4	-	2/BEDROOM	3x4	12x4	LEVEL 2-5 SUBTOTAL 18x4+72						DWELLING	2	-	2/BEDROOM	2	8	LEVEL 6 SUBTOTAL 8					
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1-9	BUILDING AREA (m ²)	350	1.4.1.2.																																																																																										
1-10	GRADE ELEVATION (m, GEODETIC)	17.1	1.4.1.2.																																																																																										
1-11	BUILDING HEIGHT (STOREYS)	6 ABOVE GRADE 6 BELOW GRADE 6 TOTAL	3.2.1.1.																																																																																										
1-12	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.4.1.																																																																																										
1-13	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.12.																																																																																										
1-14	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.																																																																																										
1-15	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2.																																																																																										
1-16	NUMBER OF STREETS FACING	1 STREET FACING	1.4.1.2.																																																																																										
1-17	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.4-6.																																																																																										
1-18	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.																																																																																										
1-19	ROOF ACCESS	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.3.																																																																																										
1-20	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.8.																																																																																										
1-21	PORTABLE FIRE EXTINGUISHERS	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED	3.2.5.16.																																																																																										
1-22	LIGHTING AND EMERGENCY POWER	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.7.																																																																																										
1-23	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.7.																																																																																										
1-24	ACCESS FOR PERSONS W/ DISABILITIES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.8.2.																																																																																										
1-25	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input type="checkbox"/> NO	DIV A - 1.2.1.1.(1)(B) & DIV C - 2.3.																																																																																										
CONSTRUCTION CLASSIFICATION GROUP C, UP TO 6 STOREYS, SPRINKLERED 3.2.2.51.																																																																																													
1-26	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A																																																																																											
1-27	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.B. (HOURS): 1 FLOOR N/A MEZZANINE 1 ROOF																																																																																											
1-28	BUILDING HEIGHT (m)	18 MAXIMUM 17.1 PROPOSED																																																																																											
1-29	BUILDING AREA (m ²)	1,500 MAXIMUM 350 PROPOSED																																																																																											

Building Code Analysis - Accessibility & Design of Areas and Spaces

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES			
NO.	ITEM	DESCRIPTION	REFERENCES
2-1	PLUMBING FIXTURES	WATER CLOSETS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A PROVIDED IN DWELLINGS	3.7.2.2.
ACCESSIBILITY			
2-2	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	APPLICATION (3.8.2.) DESIGN (3.8.3.) ALTERATIONS (3.8.4.) ADAPTABLE DWELLING UNITS (3.8.5.)	3.8.
2-3	ENTRANCES & POWER DOOR OPERATORS	ALL PEDESTRIAN ENTRANCES TO AN ACCESSIBLE STOREY DESCRIBED BY 3.8.2.1(1) TO BE ACCESSIBLE TO 3.8.3. & CONNECT TO ACCESSIBLE EXTERIOR PATH OF TRAVEL. <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A POWER DOOR OPERATOR AT REQUIRED ACCESSIBLE ENTRANCES, INCLUDING VESTIBULES WHERE PROVIDED: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A POWER DOOR OPERATOR AT ENTRANCES DESCRIBED BY 3.8.2.2. SERVED BY A PUBLIC CORRIDOR OR CORRIDOR USED BY PUBLIC: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A UNIT STORAGE AND RECYCLING ENTRANCES REQUIRED TO BE ACCESSIBLE POWER DOOR OPERATORS NOT REQUIRED FOR RESIDENTIAL OCCUPANCY	3.8.2.2., 3.8.2.7.
2-4	AREAS REQUIRING ACCESS	ACCESSIBLE PATH OF TRAVEL FROM 3.8.2.2. ENTRANCES THROUGHOUT ENTRANCE STOREYS AND NORMALLY OCCUPIED AREAS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ACCESS NOT REQUIRED TO SERVICE JANITORIAL, ELEVATOR MACHINE, CRAWL, ATTIC & ROOF SPACES OR ROOMS: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ACCESS NOT REQUIRED TO FLOOR LEVELS ABOVE/BELOW ENTRANCE LEVEL, IN SUITES WITH MORE THAN ONE LEVEL, PROVIDED NO ELEVATOR SERVING LEVEL AND CONTAINS FACILITIES ALSO ON ENTRANCE LEVEL: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ACCESS NOT REQUIRED TO RESIDENTIAL SUITE WHERE NOT DESIGNATED BY CODE OR A/N TO BE ACCESSIBLE OR ADAPTABLE DWELLING UNIT: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.2.3.
2-5	PATHS OF TRAVEL TO BUILDING ENTRANCES AND EXTERIOR PASSENGER-LOADING ZONES	DIRECT EXTERIOR ACCESSIBLE PATH OF TRAVEL BETWEEN 3.8.2.2. ACCESSIBLE ENTRANCES, ACCESSIBLE PARKING, PASSENGER-LOADING ZONES, COMMON ANCILLARY BUILDINGS AND A PUBLIC THROUGHFARE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.2.5.
2-6	CONTROLS AND OUTLETS (FOR OCCUPANT USE) ¹	CONTROLS INTENDED FOR OCCUPANT USE (SWITCHES, THERMOSTATS, FAUCETS, DOOR & WINDOW HARDWARE, ETC.) TO COMPLY WITH 3.8.3.2.: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A LOCATED 400 - 1,200 mm ABOVE FLOOR: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ADJACENT TO AND CENTERED ON CLEAR FLOOR SPACE 800 x 1,350 mm: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ONE HANDED, CLOSET FIRST OPERATION WITH ≤ 22 N FORCE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.2.6., 3.8.3.8.
2-7	PLUMBING FACILITIES	AT LEAST 1 UNIVERSAL WASHROOM TO BE PROVIDED AT EACH LOCATION. WASHROOMS PROVIDED IN A STOREY WASHROOMS FOR REQUIRED TO HAVE AN ACCESSIBLE PATH OF TRAVEL: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.8.

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES (CONTINUED)			
NO.	ITEM	DESCRIPTION	REFERENCES
2-8	SIGNS AND INDICATORS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.10., 3.8.3.9.
2-9	COUNTERS (FOR PUBLIC SERVICE)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.11.
2-10	SLEEPING ROOMS AND BED SPACES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.2.13.(1) (8)
2-11	DESIGN STANDARDS	ACCESSIBLE APPLICATION: INT. ACCESSIBLE ROUTES EXT. ACCESSIBLE ROUTES N/A PASSENGER PICK-UP AREAS N/A RAMP(S) DOORS AND DOORWAYS ELEVATORS & LIFTS OPERATING CONTROLS SIGNAGE N/A DRINKING FOUNTAINS N/A WASHROOM FACILITIES N/A BATHING FACILITIES N/A COMMUNICATION N/A COUNTERS N/A SPACES IN SEATING AREAS	3.8.2.2., 3.8.3.2., 3.8.3.3., 3.8.3.4., 3.8.3.5., 3.8.3.6., 3.8.3.7., 3.8.3.8., 3.8.3.9., 3.8.3.10., 3.8.3.12.-16., 3.8.3.17.-18., 3.8.3.19. & -21., 3.8.3.20.-21., 3.8.3.22., 3.8.3.23., 3.8.3.24., 3.8.3.25., 3.8.3.26., 3.8.3.27., 3.8.3.28., 3.8.3.29., 3.8.3.30., 3.8.3.31., 3.8.3.32., 3.8.3.33., 3.8.3.34., 3.8.3.35., 3.8.3.36., 3.8.3.37., 3.8.3.38., 3.8.3.39., 3.8.3.40., 3.8.3.41., 3.8.3.42., 3.8.3.43., 3.8.3.44., 3.8.3.45., 3.8.3.46., 3.8.3.47., 3.8.3.48., 3.8.3.49., 3.8.3.50., 3.8.3.51., 3.8.3.52., 3.8.3.53., 3.8.3.54., 3.8.3.55., 3.8.3.56., 3.8.3.57., 3.8.3.58., 3.8.3.59., 3.8.3.60., 3.8.3.61., 3.8.3.62., 3.8.3.63., 3.8.3.64., 3.8.3.65., 3.8.3.66., 3.8.3.67., 3.8.3.68., 3.8.3.69., 3.8.3.70., 3.8.3.71., 3.8.3.72.
2-12	ACCESSIBLE PATH OF TRAVEL	WIDTH OF ACCESSIBLE PATH OF TRAVEL, UP TO 24m (mm): ≥ 1,500 REQUIRED <input type="checkbox"/> 1,500 PROPOSED WIDTH OF ACCESSIBLE PATH OF TRAVEL < 12m (mm): ≥ 1,000 REQUIRED <input type="checkbox"/> 1,000 PROPOSED REDUCTION TO ≥ 850 mm FOR LENGTH ≤ 600 mm PERMITTED WHERE 1.0 m WIDE x 1.5 m LONG CLEAR RECTANGULAR AREA PROVIDED EITHER END: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A STAIRS, RAMP, SLIP-RESISTANT SURFACE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BROOMED CONCRETE NO OPENING PERMITTING PASSAGE OF SPHERE > 13 mm DIAMETER: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ANY ELONGATED OPENINGS ORIENTED PERPENDICULAR TO PATH OF TRAVEL: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A CROSS SLOPE MAXIMUM 1 IN 50 (2%): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A REVELED MAX 1 IN 2 AT LEVEL CHANGES ≤ 13 mm: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A RAMPS OR SLOPED FLOORS AT LEVEL CHANGES > 13 mm: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A SLOPING ≥ 1:20 (5%) OR DESIGN AS RAMP TO 3.8.3.5: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ALL SLOPES < 5% PATHS OF TRAVEL > 24 m TO BE WIDENED TO 1.7 x 1.7 m AT INTERVALS ≤ 24 m: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WHERE PATHS OF TRAVEL < 1.5 m WIDE FOR DISTANCE > 12 m, PROVIDE 1.7 m CLEAR OR "Y" SHAPED CLEAR FLOOR SPACE PER 3.8.3.2.(6)(C): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A LIMITED TO 3.2.2.7.1	3.8.3.2., 3.2.7.1.
2-13	EXTERIOR WALKS (FORMING PART OF AN ACCESSIBLE PATH OF TRAVEL)	SLIP-RESISTANT, CONTINUOUS, EVEN SURFACE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BROOMED CONCRETE WIDTH OF EXTERIOR WALK (mm): ≥ 1,600 REQUIRED <input type="checkbox"/> 1,600 PROPOSED AT ENTRANCE DOORWAYS, LEVEL AREAS TO 3.8.3.5.(1)(C): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A DESIGNED IN ACCORDANCE WITH CLAUSE 8.2 OF CSA B651 STANDARD: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A AT PATH EDGE ADJACENT PARKING, HIGH CONTRAST PAINT STRIP TO BE PROVIDED	3.8.3.3. & CSA B651: 8.2.1
2-14	PASSENGER-LOADING ZONES	WHERE PROVIDED, PARALLEL ACCESS AISLE MIN. 1.5 m WIDE x 6 m LONG: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WHERE PROVIDED, CURB RAMP TO 3.8.3.3 OF CSA B651 STANDARD: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WHERE PROVIDED, VERTICAL CLEARANCE MIN. 2.25m: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.3.4.
2-15	RAMP(S)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.3.5.
2-16	DOORWAYS AND DOORS (IN ACCESSIBLE PATHS OF TRAVEL)	DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED <input type="checkbox"/> 850 PROPOSED ¹ DOOR CLEAR WIDTH (mm) TO AT LEAST ONE BATHROOM WITHIN A SUITE OF RESIDENTIAL OCCUPANCY: ≥ 850 REQUIRED <input type="checkbox"/> 850 PROPOSED ¹ GRASPABLE HARDWARE 900 - 1,100 mm ABOVE FLOOR: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A THRESHOLDS ≤ 13 mm HIGHER THAN ADJACENT FLOOR SURFACES: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A PULL SIDE LATCH SIDE CLEAR WIDTH (mm): ≥ 600 REQUIRED <input type="checkbox"/> 600 PROPOSED PUSH LATCH SIDE CLEAR WIDTH (mm): ≥ 800 REQUIRED <input type="checkbox"/> 800 PROPOSED VESTIBULES TO ALLOW CLEAR SPACE ≥ 1,350 mm LONG BETWEEN DOOR SWINGS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A PULL SIDE CLEAR FLOOR SPACE TO BE LEVEL AND ≥ 1.2 m WIDE x 1.5 m DEEP: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A EXCEPT FOR LEVEL AREAS AT RAMPS OR WHERE AUTO OPERATOR PROVIDED, PULL SIDE CLEAR FLOOR SPACE TO BE LEVEL AND ≥ 1.5 m WIDE x 1.2 m DEEP: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WHERE AUTO OPERATOR PROVIDED, WIDTH OF CLEAR FLOOR SPACE EITHER SIDE PERMITTED REDUCED TO 1.0 m: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.3.6.
ADAPTABLE DWELLING UNITS			
2-17	APPLICATION (FOR ADAPTABLE DWELLING UNITS)	ONE STOREY DWELLING UNITS SERVED BY ACCESSIBLE INTERIOR PUBLIC CORRIDOR AND ACCESSIBLE COMMON BUILDING ENTRANCE PER 3.8.2.2.: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A COMMON SPACES & FACILITIES INTENDED FOR RESIDENT USE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BIKE ROOM & REFUSE BUILDINGS DESCRIBED BY 3.8.2.1(1)(A) TO PROVIDE AT LEAST ONE BATHROOM WITH WALL REINFORCING TO 3.8.3.7.(1)(E): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ALL NEW DWELLINGS	3.8.5.1., 3.8.5.2.
2-18	BUILDING ACCESS REQUIREMENTS (FOR ADAPTABLE DWELLING UNITS)	COMMON AREAS, SPACES & FACILITIES AND ALL COMMON PATHS OF TRAVEL SERVING ADAPTABLE DWELLING UNITS TO BE ACCESSIBLE PER 3.8.2.2.: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BIKE ROOM & REFUSE COMMON CORRIDORS & PASSAGEWAYS FLOORS ILLUMINATED TO ≥ 50 LUX: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ADAPTABLE DWELLING UNITS TO BE PROVIDED WITH SPECIAL OUTLET BOXES AND COVER PLATES PER 3.2.4.19(7), WITH MIN. 20% OF OUTLETS OF STROBE TYPE TO SERVE AS VISUAL SIGNALS FOR SMOKE ALARMS OR DETECTORS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.5.3., 3.2.4.19.(7)
2-19	ADAPTABLE DWELLING UNIT DOORWAYS	PRINCIPAL ENTRANCE DOOR CLEAR WIDTH (mm): 1915 mm WIDE DOOR PANELS YIELD ≥ 855 ≥ 850 REQUIRED <input type="checkbox"/> 850 PROPOSED ¹ WITHIN ADAPTABLE DWELLING UNIT, EVERY DOOR CONNECTING ENTRANCE WITH LIVING, ADAPTABLE BEDROOM, ADAPTABLE BATHROOM, AND KITCHEN, DOOR CLEAR WIDTH (mm): ≥ 850 REQUIRED <input type="checkbox"/> 850 PROPOSED ¹ UNLESS EQUIPPED WITH OR DESIGNED FOR INSTALLATION OF POWER OPERATOR, CLEAR FLOOR SPACE EITHER SIDE OF PRINCIPAL ENTRANCE AND DOORS FOR ADAPTABLE ACCESS TO HAVE CLEAR FLOOR AREAS MEETING 3.8.3.6.(1)(B)(1): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.5.4.
2-20	ADAPTABLE DWELLING UNIT HALLWAYS AND CORRIDORS	CLEAR WIDTH OF HALLWAYS AND CORRIDORS PROVIDING PATH OF TRAVEL FOR ADAPTABLE DWELLING UNITS, PER 3.8.3.2.(1): ≥ 1,000 REQUIRED <input type="checkbox"/> 1,000 PROPOSED	3.8.5.5.
2-21	ADAPTABLE DWELLING UNIT BEDROOMS	IN ONE BEDROOM OR SLEEPING SPACE, TURNAROUND ADJACENT BED AND IN FRONT OF CLOSET (m): ≥ 1.7 x 1.5 REQUIRED <input type="checkbox"/> 1.7 x 1.5 PROPOSED CLEAR FUNCTIONAL PATH WIDTH IN BEDROOM, UNOBSTRUCTED BY BED (mm): ≥ 850 REQUIRED <input type="checkbox"/> 850 PROPOSED CLEAR OPENING WIDTH, CLOSET (mm): ≥ 900 REQUIRED <input type="checkbox"/> 900 PROPOSED	3.8.5.6.

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES (CONTINUED)			
NO.	ITEM	DESCRIPTION	REFERENCES
2-22	ADAPTABLE DWELLING UNIT BATHROOMS	IN ONE BATHROOM, CLEAR LATERAL TRANSFER SPACE ADJACENT WATER CLOSET, TO 3.8.3.12.(1)(B) (m): ≥ 1.5 x 0.9 REQUIRED <input type="checkbox"/> 1.5 x 0.9 PROPOSED IN ONE BATHROOM, 400 - 480 mm WALL TO WATER CLOSET CENTRE CLEARANCE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ACCOMMODATE FUTURE INSTALLATION OF LAVATORY WITH 0.8 m WIDE x 1.35 m DEEP CLEAR SPACE TO 3.8.3.16.(1)(E) WITHOUT IMPEDING OTHER ITEMS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ACCOMMODATE FUTURE INSTALLATION OF BATHUB DESCRIBED BY 3.8.3.18.(1) WITHOUT IMPEDING OTHER ITEMS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A REINFORCE WALLS ADJACENT WATER CLOSET AND SHOWER/BATHUB FOR FUTURE INSTALLATION OF GRAB BARS TO 3.8.3.12.(1)(F)(G) AND 3.8.3.17.(1)(F) OR 3.8.3.18.(1)(F): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.5.7.
2-23	ADAPTABLE DWELLING UNIT KITCHENS	COOKTOP AND SINK TO BE ADJACENT OR HAVE CONTINUOUS COUNTER BETWEEN: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A 1.7 x 1.5 m CLEAR FLOOR SPACE IN KITCHEN: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ACCOMMODATE FUTURE INSTALLATION OF KITCHEN SINK THAT WOULD MEET LAVATORY REQUIREMENTS OF 3.8.3.16.(1)(B)(1): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.5.8.
2-24	CONTROLS, SWITCHES AND OUTLETS (FOR ADAPTABLE DWELLING UNITS)	CONTROLS AND SWITCHES INTENDED FOR FREQUENT OCCUPANT USE TO BE OPERABLE BETWEEN 400 - 1,200 mm ABOVE FLOOR: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.8.5.9.
2-25	ACCESSIBLE WASHROOMS	UNIVERSAL WASHROOM(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE WATER CLOSET STALL(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE WATER CLOSET(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE URINAL(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE LAVATORY(IES): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE WASHROOM(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE DRINKING FOUNTAIN(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A WATER BOTTL FILLING STATION(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE SHOWER(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A ACCESSIBLE BATHUB(S): <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A	3.8.3.12. - 3.8.3.18.

Building Code Analysis - Fire Ratings and Separations

3 - FIRE RATINGS AND SEPARATIONS			
NO.	ITEM	MIN. F.R.R. OF FIRE SEPARATIONS (HOURS)	REFERENCES
3-1	TRAVEL MAJOR OCCUPANCIES	<input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A 1°C ONLY	3.1.7., 3.1.8.
3-2	STORAGE GARAGE BASEMENT CONSIDERED AS A SEPARATE BUILDING (FOR PURPOSES OF SUBSECTION 3.2)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A	3.1.3.1.
3-3	FIRE BLOKS IN CONCEALED SPACES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	3.1.11.
3-4	SUITES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A	3.1.11., 3.3.4.2.
3-5	PUBLIC CORRIDORS	3/4 REQUIRED <input type="checkbox"/> 3/4 PROPOSED <input type="checkbox"/> N/A	3.1.14., 3.3.2.6., 3.3.3.3.
3-6	JANITORS' ROOMS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	NO JANITORS' ROOMS 3.1.22.
3-7	COMMON LAUNDRY ROOMS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	NO LAUNDRY ROOMS 3.1.23.
3-8	RESIDENTIAL STORAGE ROOMS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A	3.3.4.3.
3-9	STORAGE GARAGE USE SEPARATION	1.5 REQUIRED <input type="checkbox"/> 2 PROPOSED <input type="checkbox"/> N/A	SEE ALSO 3.2.1.2.
3-10	EXIT ENCLOSURES	2 REQUIRED <input type="checkbox"/> 2 PROPOSED <input type="checkbox"/> N/A	3.2.10.2.(3)(A)
3-11	ELEVATOR HOISTWAYS & MACHINE ROOMS	1 REQUIRED <input type="checkbox"/> 1 PROPOSED <input type="checkbox"/> N/A	3.5.3.1., 3.5.3.3., 3.2.6.5.
3-12	SERVICE ROOMS	1 REQUIRED <input type="checkbox"/> 1 PROPOSED <input type="checkbox"/> N/A	3.6.2.1.
3-13	ELECTRICAL SERVICE ROOMS	1 REQUIRED <input type="checkbox"/> 1 PROPOSED <input type="checkbox"/> N/A	3.6.2.1.(6)
3-14	ELECTRICAL EQUIPMENT VAULTS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.6.2.7.
3-15	VERTICAL SERVICE SPACES	3/4 REQUIRED <input type="checkbox"/> 3/4 PROPOSED <input type="checkbox"/> N/A	3.6.3.1.
3-16	HORIZONTAL SERVICE SPACES	3/4 REQUIRED <input type="checkbox"/> 3/4 PROPOSED <input type="checkbox"/> N/A	3.6.4.2.
3-17	ATTIC OR ROOF SPACE ACCESS	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	STAIR OR HATCH ≥ 550 x 900 mm 3.6.4.4.

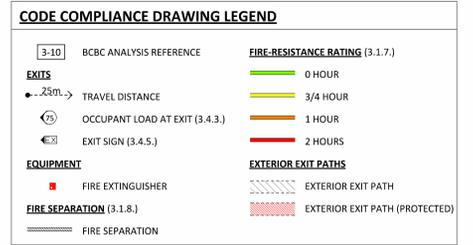
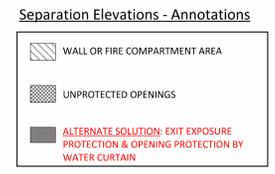
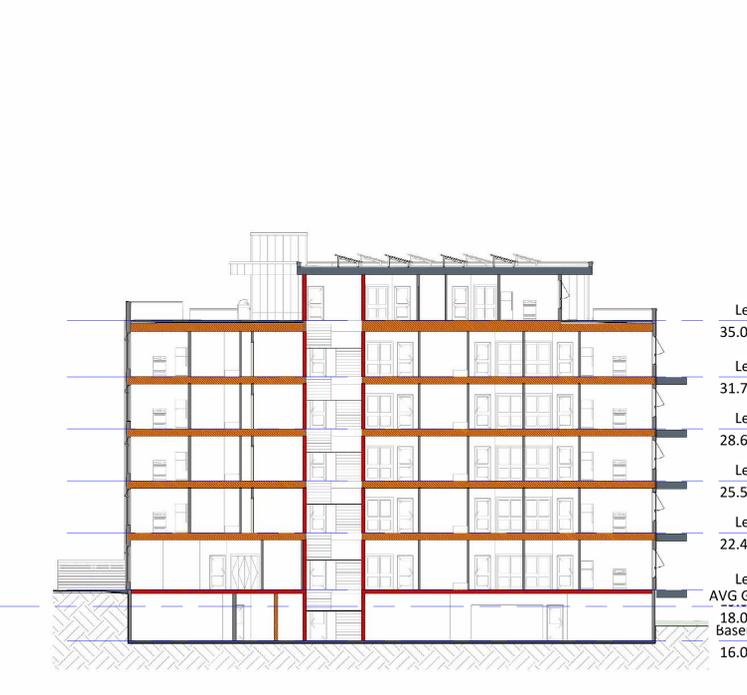
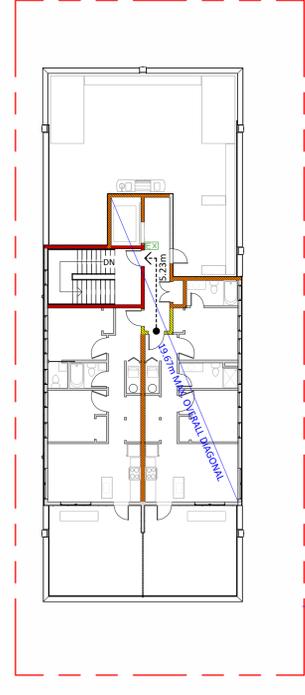
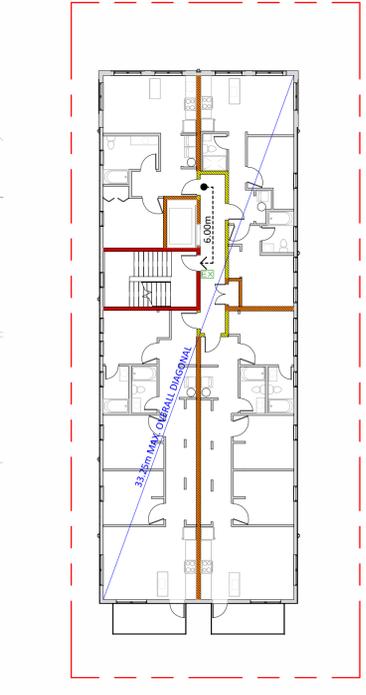
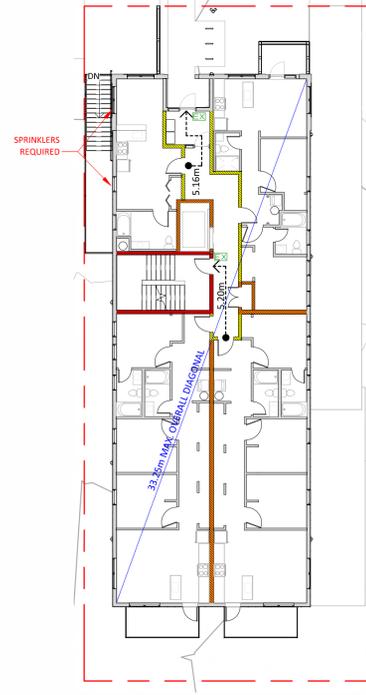
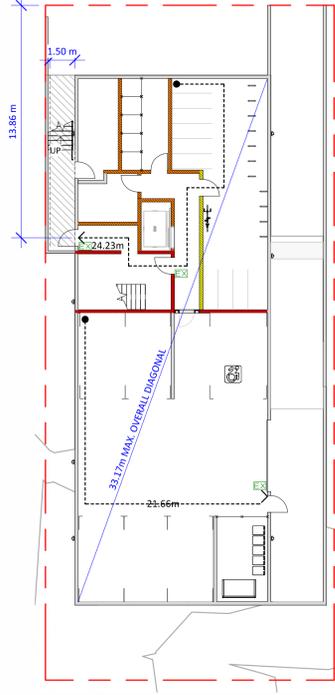
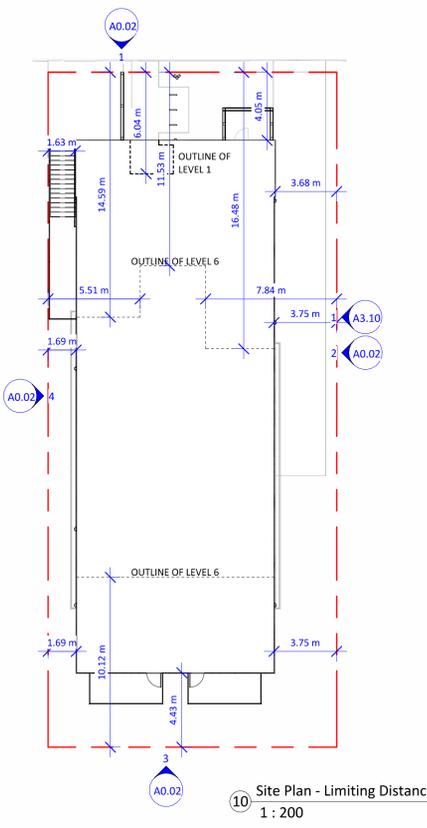
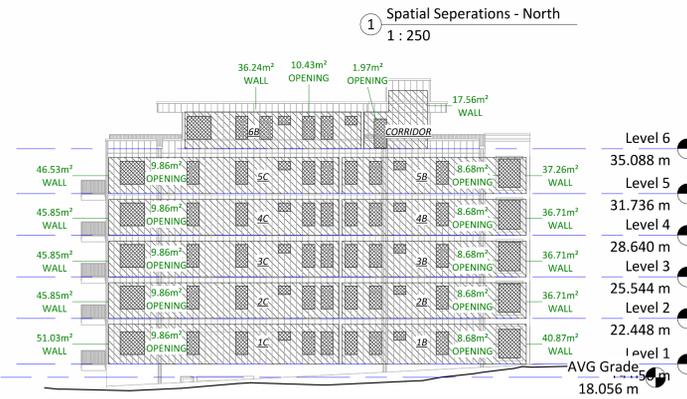
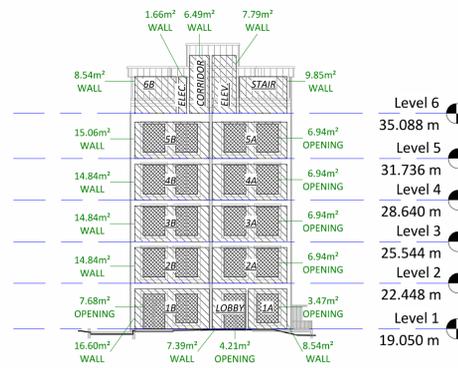
Building Code Analysis - Mezzanines and Interconnected Floor Spaces

5 - MEZZANINES AND INTERCONNECTED FLOOR SPACES			
NO.	ITEM	DESCRIPTION	REFERENCES
5-1	EXCEPTIONS IN DETERMINING BUILDING HEIGHT	N/A FLOOR AREA (m ²) N/A MEZZANINE MAX. AREA, 10% (m ²) N/A PROPOSED MEZZANINE (m ²)	3.2.1.1.
5-2	MEZZANINE	VERTICAL FIRE SEPARATION: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A FLOOR FIRE SEPARATION F.R.B. (HOURS): <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A	3.2.8.2.
5-3	INTERCONNECTED FLOOR SPACES	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.2.8.2., 3.2.8.4.
5-4	MEANS OF EGRESS FROM MEZZANINES	VERTICAL FIRE SEPARATION REQUIREMENT WAIVED: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A MEZZANINE OCCUPANT LOAD: - - - PROPOSED <input checked="" type="checkbox"/> N/A MEZZANINE AREA (m ²) FOR 3.2.2.2(1) EXEMPTION: - - - REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A TRAVEL DISTANCE LIMIT TO EGRESS DOOR OR STAIR: - - - REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.4.2.2.

Building Code Analysis - Floor Safety, Exits and Stairs

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7 - SPATIAL SEPARATIONS											3.2.3.
NO.	ANALYSIS										REFERENCE
7-1	SUITE	OCCUPANCY	WALL AREA (m ²)	U.P.O. AREA (m ²)	LIMITING DISTANCE (m)	MAX. OPEN (%)	OPEN (%)	E.R.R. (HR.)	N.C. WALL (Y/N)	N.C. CLAD (Y/N)	3.2.3.1.-0 3.2.3.7.
NORTH											
1A	C	C	8.61	3.47	4.05	100.00	40.3	-	N	N	
LOBBY	C	C	7.25	4.21	5.97	100.00	58.07	-	N	N	
1B	C	C	16.74	7.68	4.05	100.00	45.88	-	N	N	
2A, 2B	C	C	15.09	6.94	4.05	100.00	45.99	-	N	N	
3A, 3B	C	C	15.09	6.94	4.05	100.00	45.99	-	N	N	
4A, 4B	C	C	15.09	6.94	4.05	100.00	45.99	-	N	N	
5A, 5B	C	C	15.09	6.94	4.05	100.00	45.99	-	N	N	
STAIR	C	C	9.85	0.00	14.59	100.00	0.00	-	N	N	
ELEVATOR	C	C	7.79	0.00	11.53	100.00	0.00	-	N	N	
CORRIDOR	C	C	6.69	0.00	11.53	100.00	0.00	-	N	N	
ELECTRICAL	C	C	1.66	0.00	16.48	100.00	0.00	-	N	N	
6B	C	C	8.54	0.00	16.48	100.00	0.00	-	N	N	
EAST											
1B	C	C	41.20	8.70	3.68	49.60	21.12	3/4	N	Y	
1C	C	C	51.45	9.88	3.75	45.50	19.20	3/4	N	Y	
2B	C	C	37.35	8.70	3.68	56.32	23.29	3/4	N	N	
2C	C	C	46.64	9.88	3.75	51.00	21.18	3/4	N	N	
3B	C	C	37.35	8.70	3.68	56.32	23.29	3/4	N	N	
3C	C	C	46.64	9.88	3.75	51.00	21.18	3/4	N	N	
4B	C	C	37.35	8.70	3.68	56.32	23.29	3/4	N	N	
4C	C	C	46.64	9.88	3.75	51.00	21.18	3/4	N	N	
5B	C	C	37.35	8.70	3.68	56.32	23.29	3/4	N	N	
5C	C	C	46.64	9.88	3.75	51.00	21.18	3/4	N	N	
CORRIDOR	C	C	17.57	1.97	7.84	100.00	11.21	-	N	N	
6B	C	C	36.24	10.46	3.75	58.00	28.86	3/4	N	N	
SOUTH											
1C, 1D	C	C	16.65	5.07	4.43	100.00	30.45	-	N	N	
2C, 2D	C	C	15.09	5.07	4.43	100.00	33.60	-	N	N	
3C, 3D	C	C	15.09	5.07	4.43	100.00	33.60	-	N	N	
4C, 4D	C	C	15.09	5.07	4.43	100.00	33.60	-	N	N	
5C, 5D	C	C	15.09	5.07	4.43	100.00	33.60	-	N	N	
6A, 6B	C	C	15.29	5.07	10.12	100.00	33.16	-	N	N	
WEST											
1A	C	C	30.73	0.00	1.63	17.56	0.00	1	N	Y	
STAIR	C	C	62.28	2.85	1.69	16.76	4.78	1	N	Y	
1D	C	C	51.53	6.78	1.69	17.52	13.16	1	N	Y	
2A	C	C	27.86	2.14	1.63	19.56	7.68	1	N	Y	
2D	C	C	46.71	6.78	1.69	17.52	14.52	1	N	Y	
3A	C	C	27.86	2.14	1.63	19.56	7.68	1	N	Y	
3D	C	C	46.71	6.78	1.69	17.52	14.52	1	N	Y	
4A	C	C	27.86	2.14	1.63	19.56	7.68	1	N	Y	
4D	C	C	46.71	6.78	1.69	17.52	14.52	1	N	Y	
5A	C	C	27.86	2.14	1.63	19.56	7.68	1	N	Y	
5D	C	C	46.71	6.78	1.69	17.52	14.52	1	N	Y	
6A	C	C	31.70	5.23	1.69	18.28	16.50	1	N	Y	
ELEVATOR	C	C	12.32	0.00	5.51	100.00	0.00	-	N	Y	



Christine Lintott Architects Inc.
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

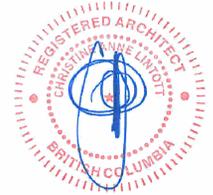
Issue Date

FOR DEVELOPMENT PERMIT 2025-12-17

Revision

No.	Description	Date
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Consultant Seal



915 McClure St

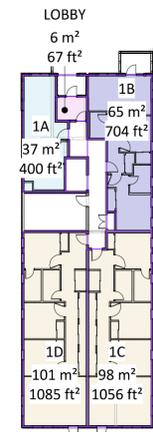
915 McClure Street,
Victoria, BC V8V 3E8

CODE ANALYSIS (PART 3)

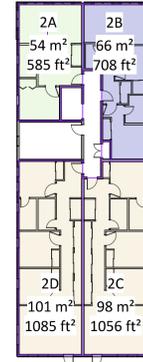
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Checked by CLA

A0.02

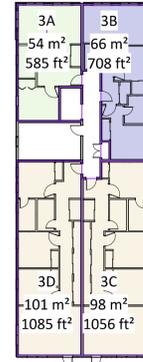
Project # 24-08 Scale As indicated



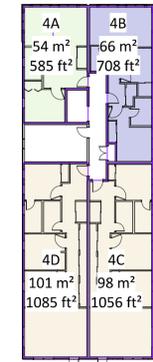
① Unit Area - Level 1
1 : 300



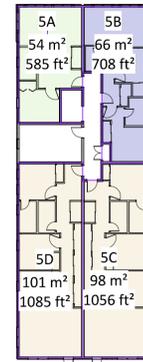
② Unit Area - Level 2
1 : 300



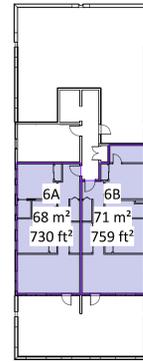
③ Unit Area - Level 3
1 : 300



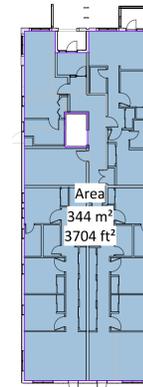
④ Unit Area - Level 4
1 : 300



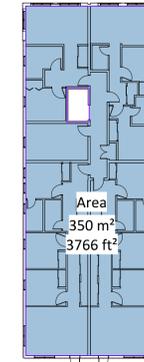
⑤ Unit Area - Level 5
1 : 300



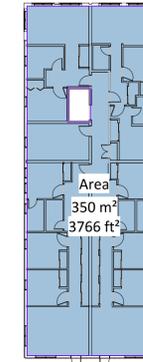
⑥ Unit Area - Level 6 / Roof
1 : 300



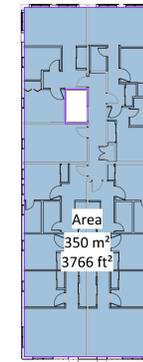
⑦ Floor Area - Level 1
1 : 300



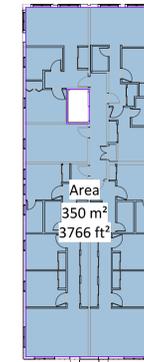
⑧ Floor Area - Level 2
1 : 300



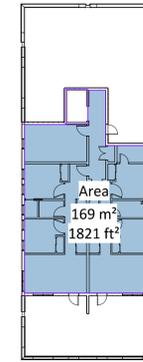
⑨ Floor Area - Level 3
1 : 300



⑩ Floor Area - Level 4
1 : 300



⑪ Floor Area - Level 5
1 : 300



⑫ Floor Area - Level 6 / Roof
1 : 300

Area Schedule (Unit Area)			
Name	Residential Unit Type	Area	Area (Imperial)

Level 1			
1A	STUDIO - ADAPTABLE	37 m ²	400 ft ²
1B	2 BED	65 m ²	704 ft ²
1C	3 BED	98 m ²	1056 ft ²
1D	3 BED	101 m ²	1085 ft ²
4		301 m ²	3244 ft ²

Level 2			
2A	1 BED - ADAPTABLE	54 m ²	585 ft ²
2B	2 BED	66 m ²	708 ft ²
2C	3 BED	98 m ²	1056 ft ²
2D	3 BED	101 m ²	1085 ft ²
4		319 m ²	3433 ft ²

Level 3			
3A	1 BED - ADAPTABLE	54 m ²	585 ft ²
3B	2 BED	66 m ²	708 ft ²
3C	3 BED	98 m ²	1056 ft ²
3D	3 BED	101 m ²	1085 ft ²
4		319 m ²	3433 ft ²

Level 4			
4A	1 BED - ADAPTABLE	54 m ²	585 ft ²
4B	2 BED	66 m ²	708 ft ²
4C	3 BED	98 m ²	1056 ft ²
4D	3 BED	101 m ²	1085 ft ²
4		319 m ²	3433 ft ²

Level 5			
5A	1 BED - ADAPTABLE	54 m ²	585 ft ²
5B	2 BED	66 m ²	708 ft ²
5C	3 BED	98 m ²	1056 ft ²
5D	3 BED	101 m ²	1085 ft ²
4		319 m ²	3433 ft ²

Level 6			
6A	2 BED	68 m ²	730 ft ²
6B	2 BED	71 m ²	759 ft ²
2		138 m ²	1490 ft ²
22		1716 m ²	18467 ft ²

NOTE:
AREAS MEASURED TO THE CENTRELINE OF EXTERIOR WALLS, CENTERLINE OF PARTITION WALLS, & CENTERLINE OF CORRIDOR WALLS.

Area Schedule (Floor Area)		
Level	Area	Area (Imperial)

Level 1	344 m ²	3704 ft ²
Level 2	350 m ²	3766 ft ²
Level 3	350 m ²	3766 ft ²
Level 4	350 m ²	3766 ft ²
Level 5	350 m ²	3766 ft ²
Level 6	169 m ²	1821 ft ²
	1913 m ²	20588 ft ²

FLOOR AREA 1913 m²
LOT AREA 694.7 m²
FSR 2.75

NOTE:
THE ABOVE AREAS ARE USED FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS.

BASEMENT AREAS ARE NOT INCLUDED IN THE ABOVE CALCULATIONS.

Christine Lintott Architects Inc.

Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

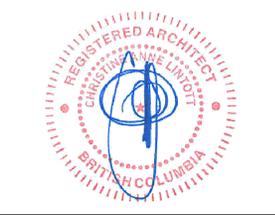
Issue Date

FOR DEVELOPMENT PERMIT 2025-12-17

Revision

No.	Description	Date
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Consultant Seal



915 McClure St

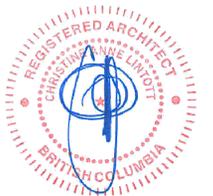
915 McClure Street,
Victoria, BC V8V 3E8

FLOOR AREA PLANS

Date 2025-12-23 11:03:57 AM
Drawn by HJ
Checked by CLA

A0.03

Project # 24-08 Scale As indicated



City of Victoria - Project Information Table

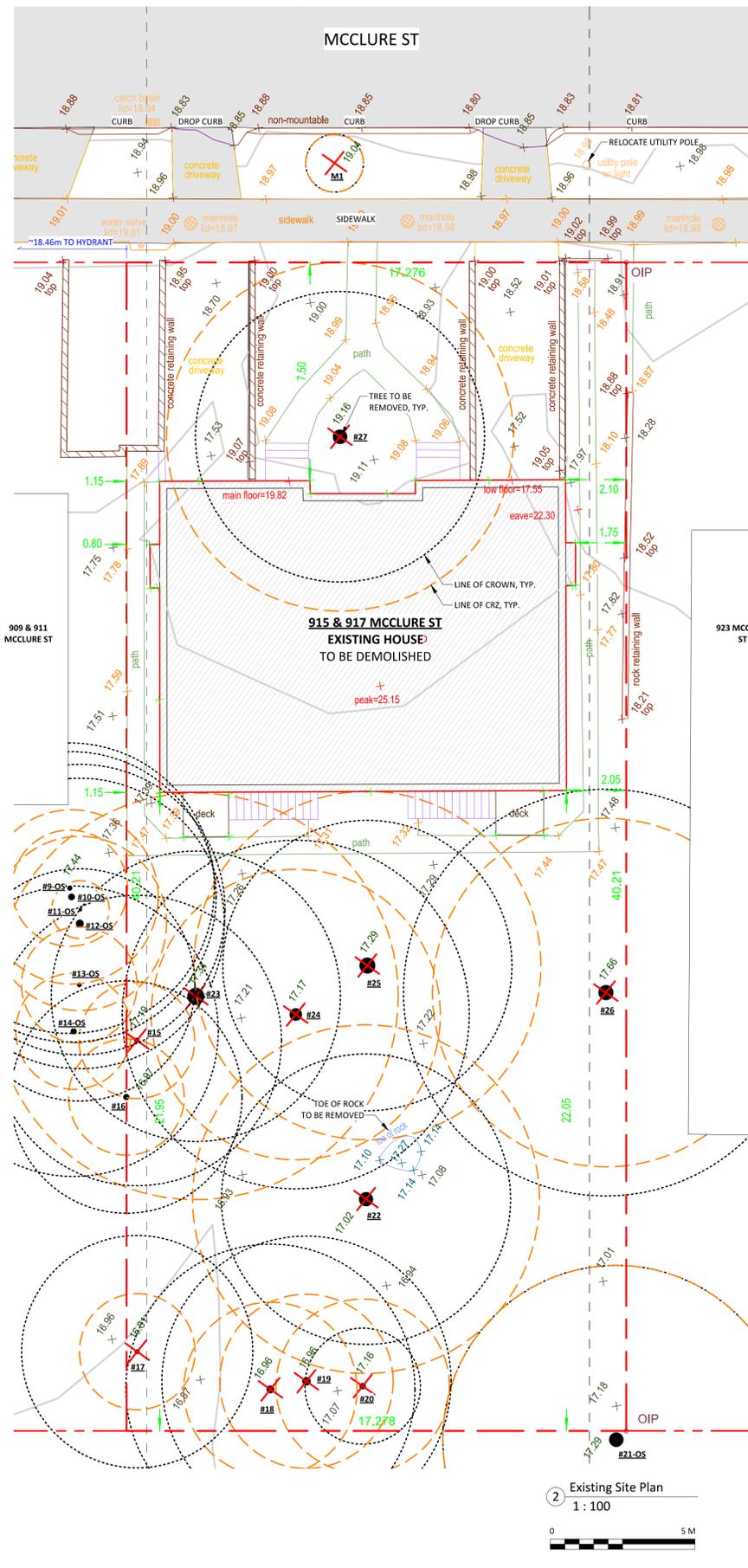
PROJECT INFORMATION TABLE	PROPOSED DESIGN
ZONING DISTRICT	-
SITE AREA (m ²)	694.7
TOTAL FLOOR AREA (m ²)	1913
FLOOR SPACE RATIO	2.75
SITE COVERAGE (%)	56.3
OPEN SITE SPACE (%)	29.0
REAR YARD OPEN SITE SPACE (%)	11.0
HEIGHT OF BUILDING (m)	20.5
NUMBER OF STOREYS	6
PARKING STALLS ON SITE	7
BICYCLE PARKING ON SITE	32 - SECURE
	6 - VISITOR
BUILDING SETBACKS:	
FRONT YARD (m)	4.16
FRONT STEPS (m)	-
FRONT PORCH (m)	-
BAY WINDOWS (m)	-
REAR YARD (m)	4.47
SIDE YARD - WEST (m)	1.75
SIDE YARD - EAST (m)	3.79
COMBINED SIDE YARDS (m)	5.54
EAVE PROJECTION IN SETBACKS (m)	-
RESIDENTIAL USE DETAILS:	
TOTAL NUMBER OF UNITS	22
UNIT TYPES	STUDIO, 1 BED
	2 BED, 3 BED
GROUND-ORIENTED UNITS	2
MINIMUM UNIT FLOOR AREA (m ²)	37
TOTAL RESIDENTIAL UNIT AREA (m ²)	1716

SITE LEGEND

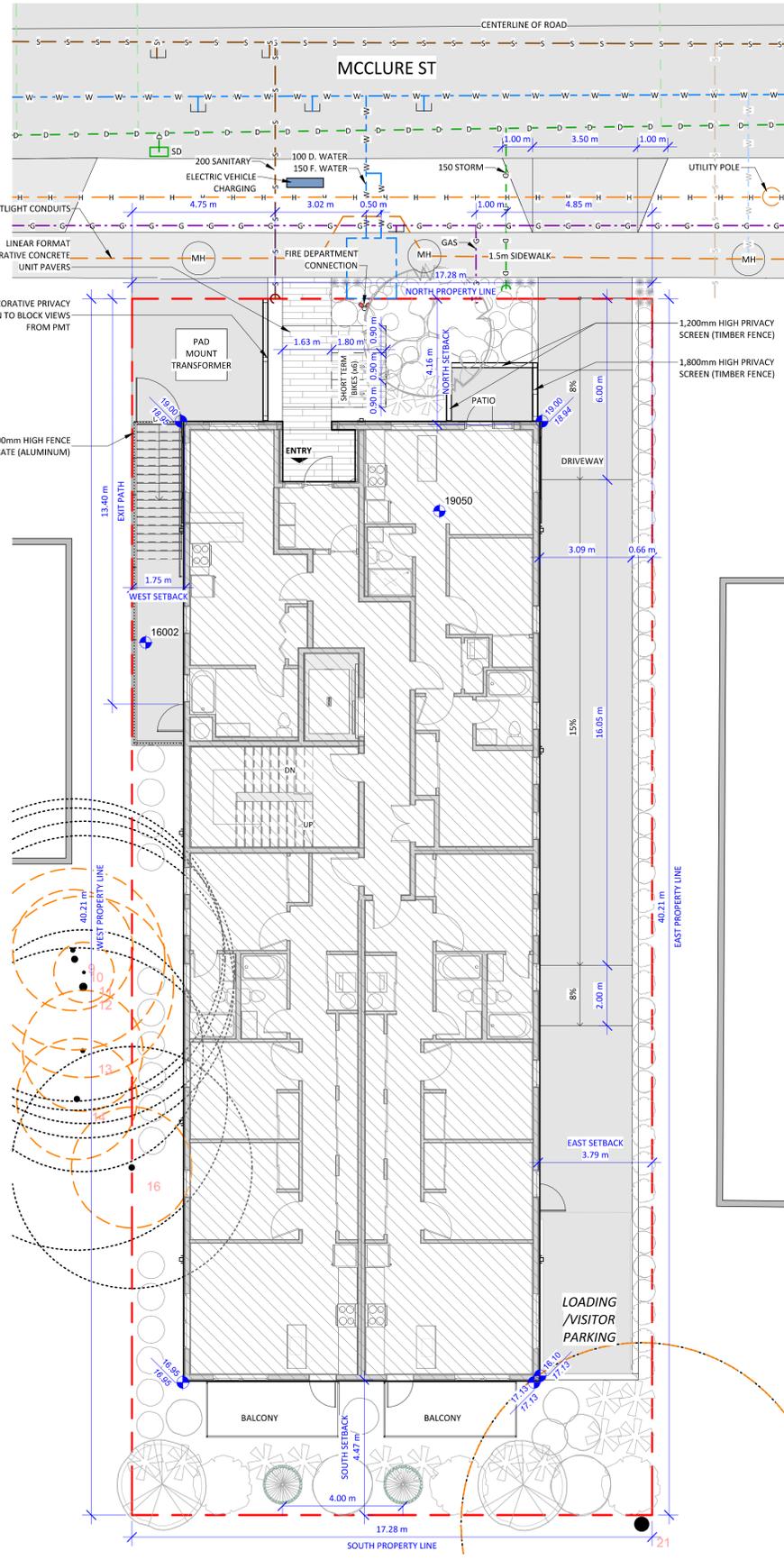
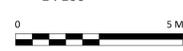
— G — G —	SITE - Easement
— G — G —	SITE - Gas Services
— H — H —	SITE - Hydro/Tel/Cable
— PL — PL —	SITE - Property Line
— S — S —	SITE - Sanitary Sewer
— D — D —	SITE - Storm Service
— TD — TD —	SITE - Travel Distance
— W — W —	SITE - Water Service

Tree Inventory (all measurements in mm)

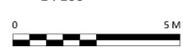
NO.	COMMON NAME	D.B.H.	CANOPY	C.R.Z.	PROTECTED	RETAINED
M1	JAPANESE ZELKOVA	80	2000	1000	YES	No
27	KOBUS MAGNOLIA	490	10000	6000	YES	No
26	EUROPEAN ASH	510	14000	6000	YES	No
25	PURPLE LEAF PLUM	540	10000	6000	YES	No
24	CHERRY	420	12000	5000	YES	No
23	DOUGLAS FIR	580	10000	7000	YES	No
22	APPLE	480	10000	6000	YES	No
21-OS	SYCAMORE MAPLE	490	12000	6000	YES	Yes
20	ENGLISH HOLLY	210	4000	3000	NO	No
19	PLUM	280	10000	3000	NO	No
18	PLUM	260	10000	3000	NO	No
17	PLUM	160	8000	2000	NO	No
16	PLUM	200	8000	2000	NO	Yes
15	CHERRY	170	10000	2000	NO	No
14-OS	CHERRY	200	10000	2000	NO	Yes
13-OS	CHERRY	150	8000	2000	NO	Yes
12-OS	CHERRY	260	10000	3000	NO	Yes
11-OS	CHERRY	110	10000	1000	NO	Yes
10-OS	CHERRY	220	10000	3000	NO	Yes
9-OS	CHERRY	160	10000	2000	NO	Yes



Existing Site Plan 1:100



Proposed Site Plan 1:100





BC LAND SURVEYORS SITE PLAN OF:

915/917 McClure Street

Legal: Lot 1191, Victoria City

Parcel Identifier: C02-466-384
in the City of Victoria

SCALE 1 : 150



All distances are shown in metres.

Plot on 18" x 24" sheet (ARCH C Size).

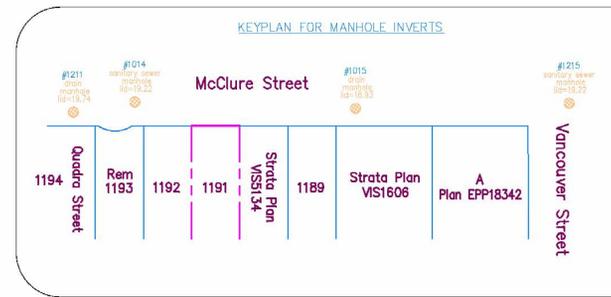
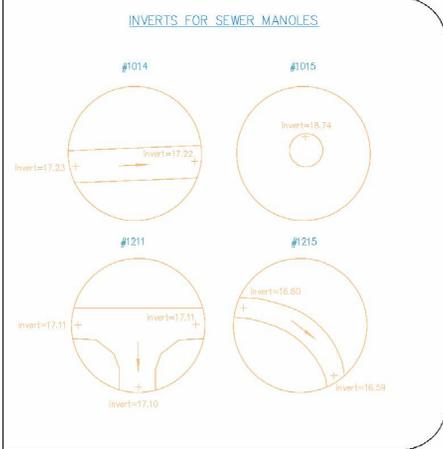
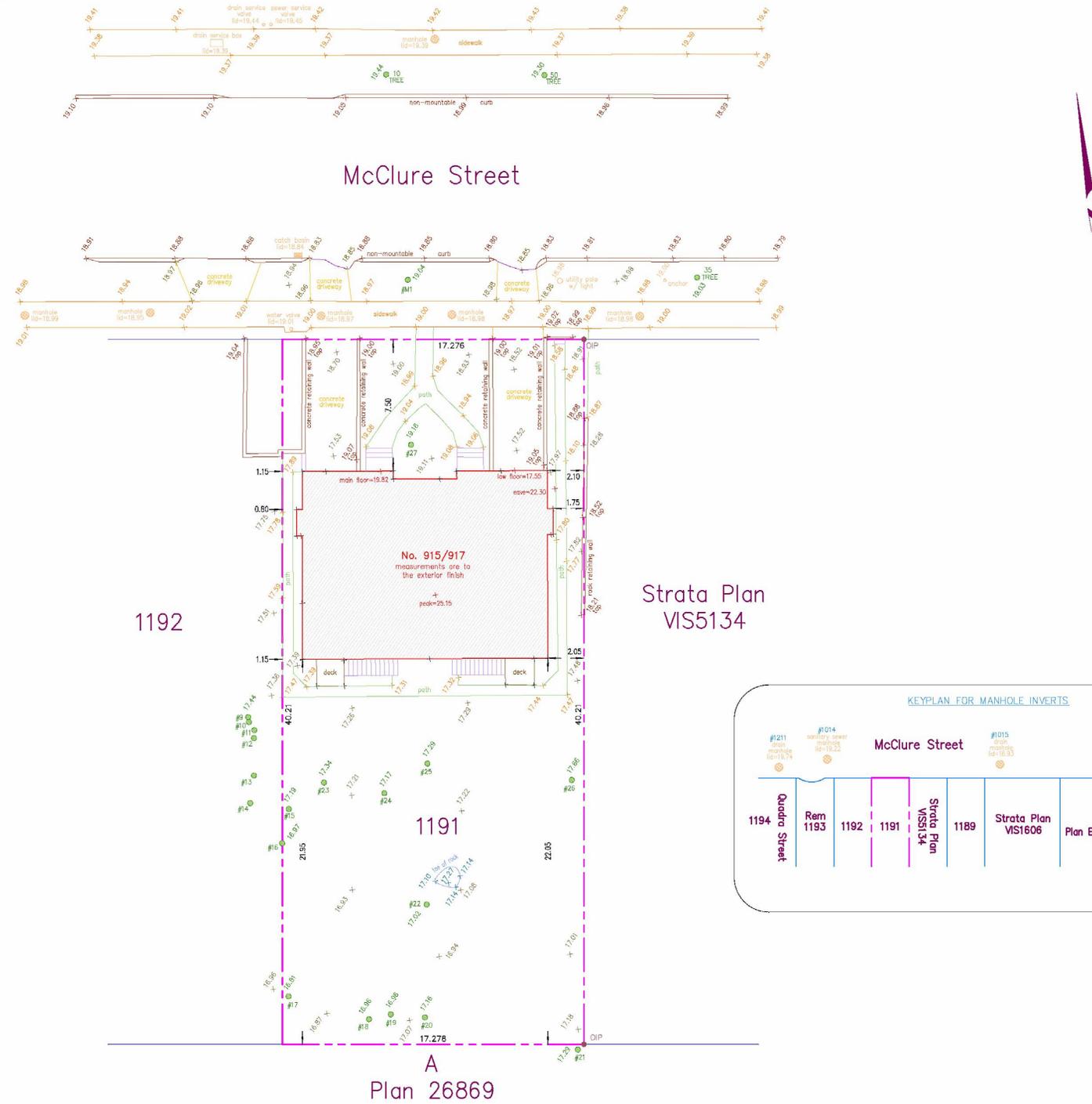
LEGEND

Elevations are geodetic and referenced to the GVD2880 datum.

- ## + - denotes - existing elevation
- # - denotes - tree tag number
- OIP - denotes - Found property corner post

Refer to Capital Tree Service Inc. tree inventory for tree type and size.
Tree diameters are in centimetres.

Lot Area = 694.7 m²



Date	November 21, 2025
File	14657-9
V.I. POWELL & ASSOCIATES Land Surveying 250-2950 Douglas Street Victoria, BC V8T 4N4 phone (250) 382-8855	

Issue	Date
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FOR DEVELOPMENT PERMIT	2025-12-17
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Revision		
No.	Description	Date

Consultant Seal

SURVEY DRAWING
ARCHITECTURAL SEAL NOT REQUIRED

915 McClure St

915 McClure Street,
Victoria, BC V8V 3E8

SURVEY PLAN

Date	2025-12-23 11:04:03 AM
Drawn by	Author
Checked by	CLA

A1.01

Project #	24-08	Scale
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VIEW FROM MCCLURE LOOKING SOUTH-WEST



VIEW FROM MCCLURE LOOKING SOUTH-EAST



VIEW FROM 918 COLLINSON ST LOOKING NORTH



① McClure St Context Elevation North
1 : 200



② McClure St Context Elevation East
1 : 200

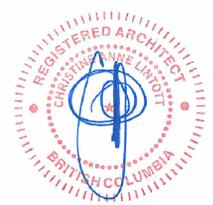
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Revision		
No.	Description	Date

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Consultant Seal



915 McClure St

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STREET ELEVATION

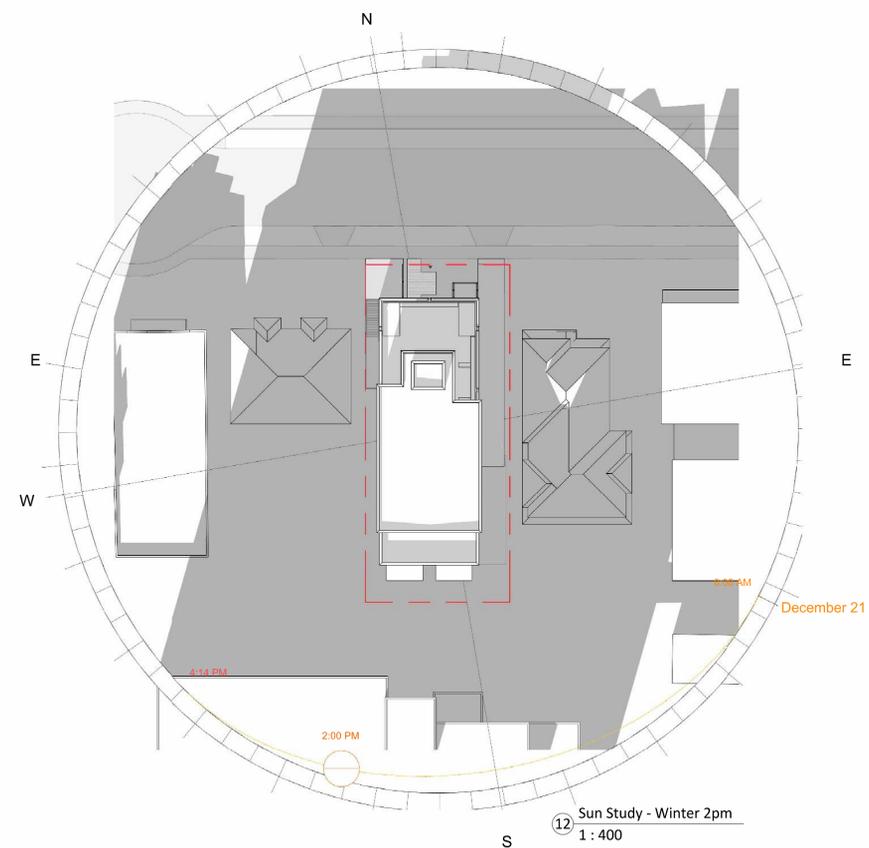
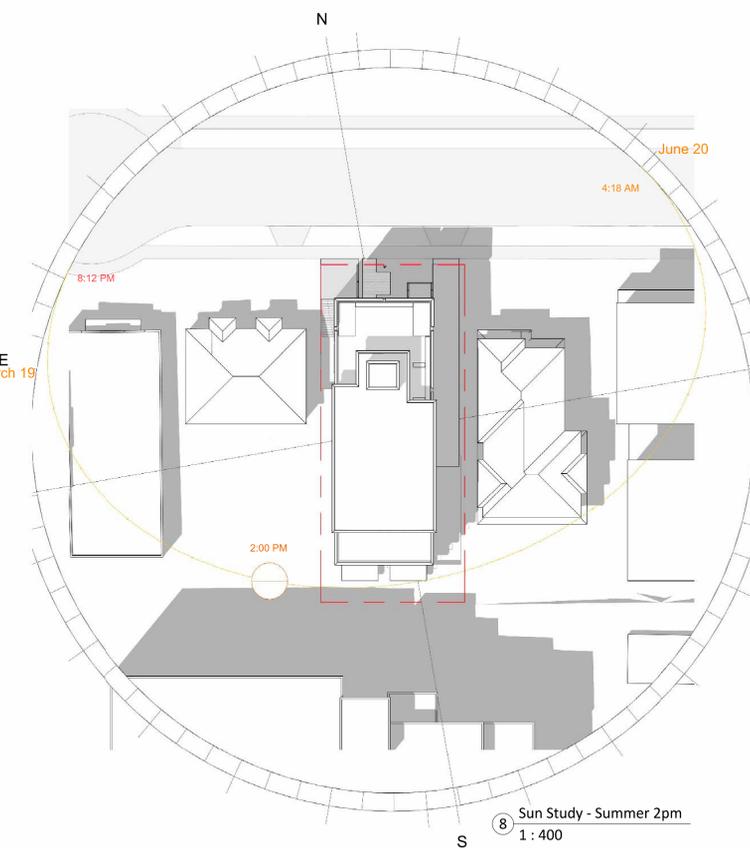
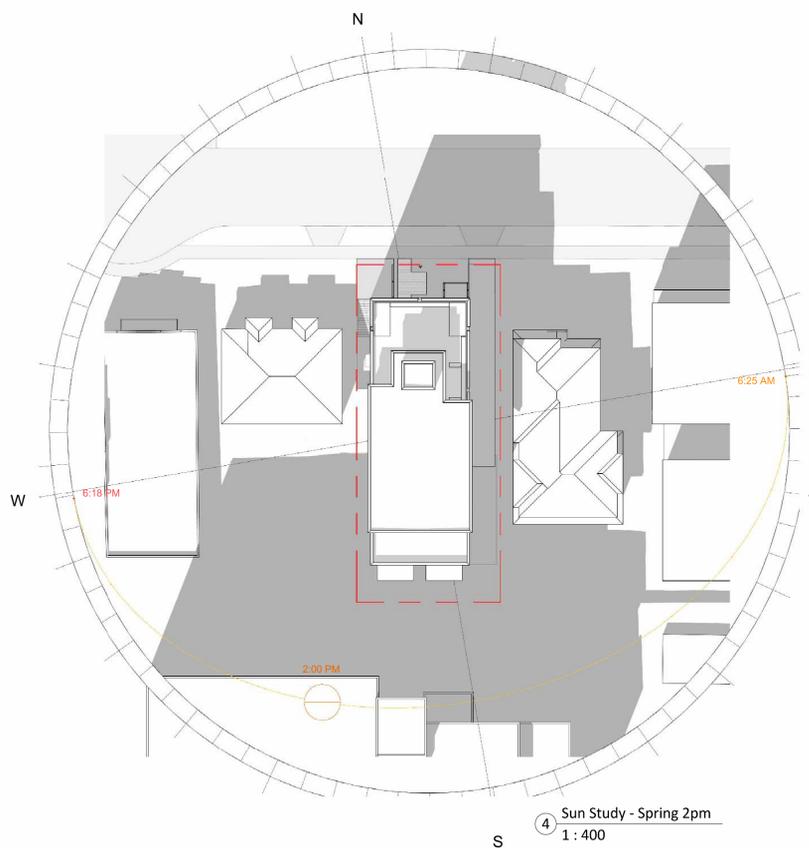
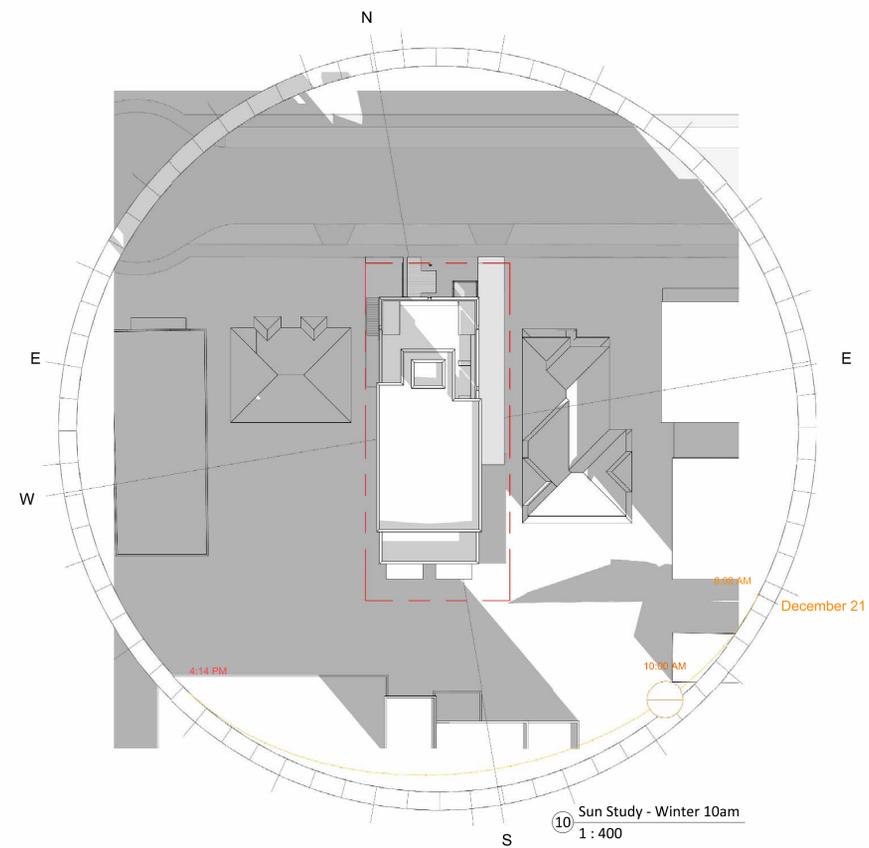
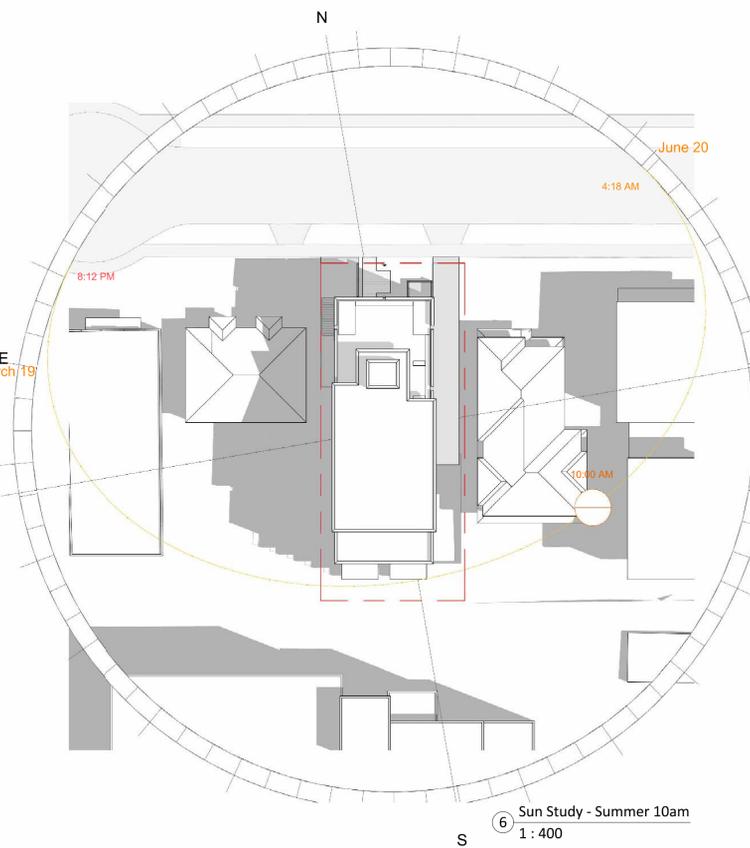
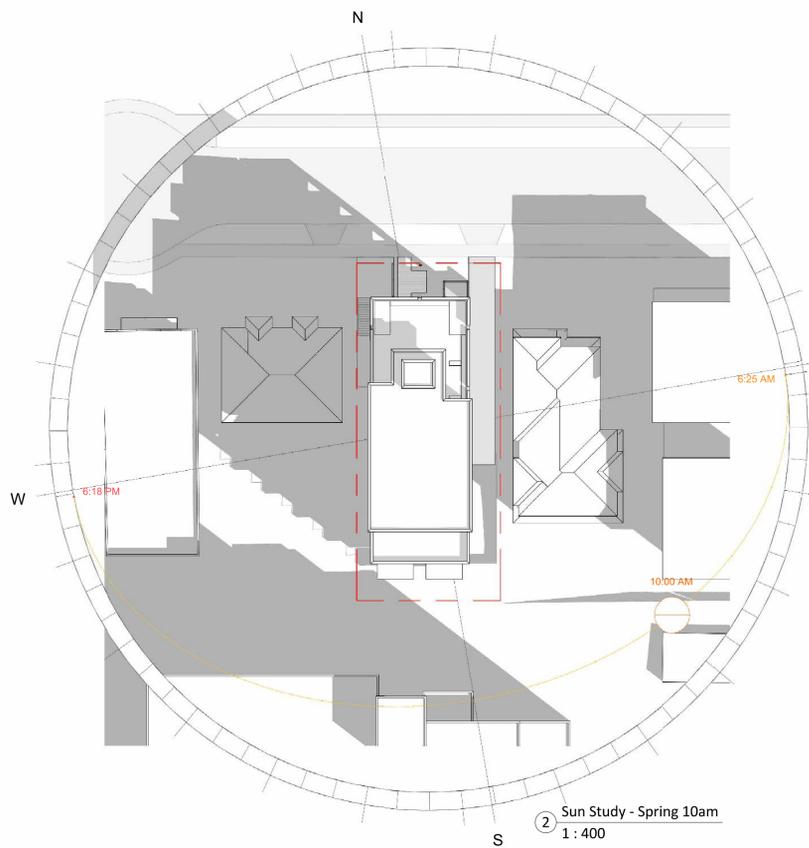
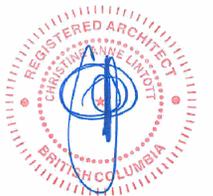
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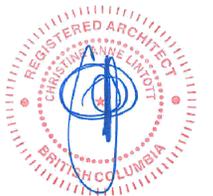
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Checked by CLA

A1.02

Project # 24-08 Scale 1 : 200





915 McClure St

915 McClure Street,
Victoria, BC V8V 3E8

**FLOOR PLANS -
BASEMENT, LEVEL 1, &
TYPICAL**

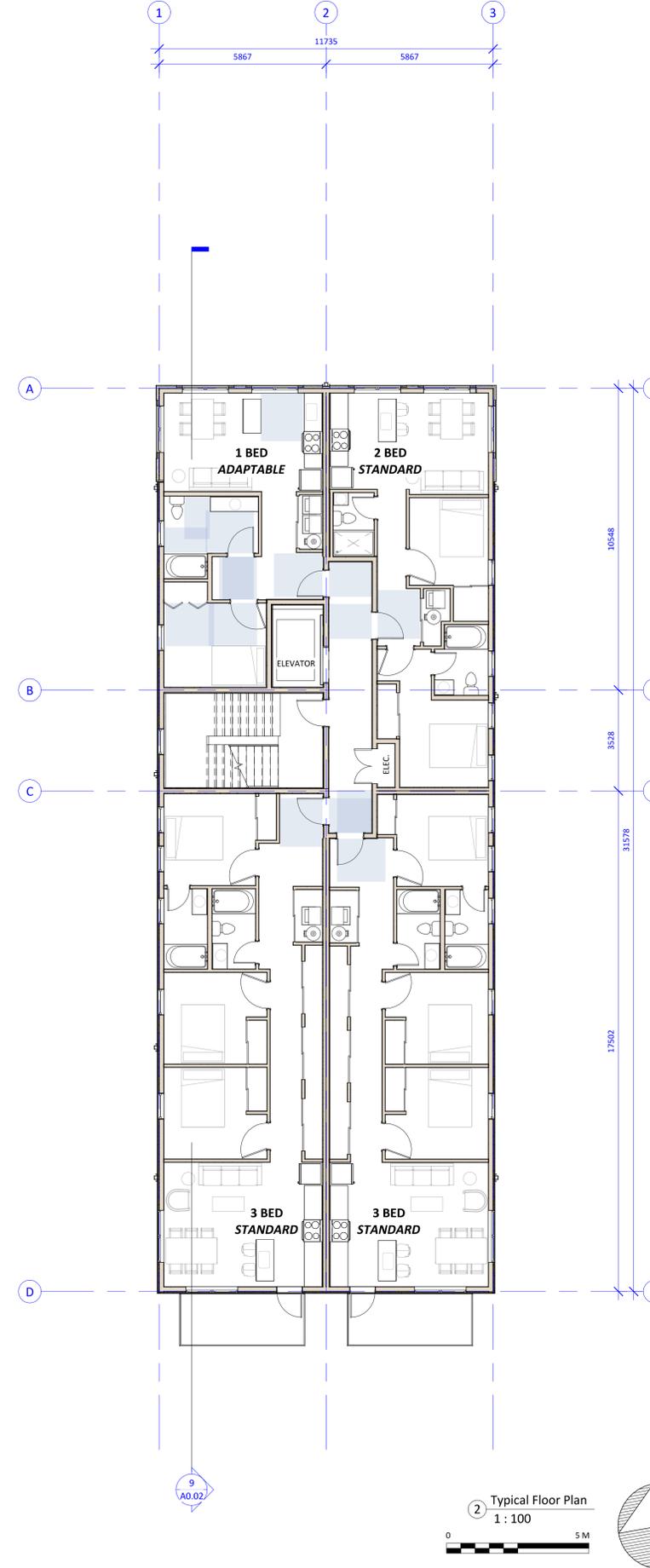
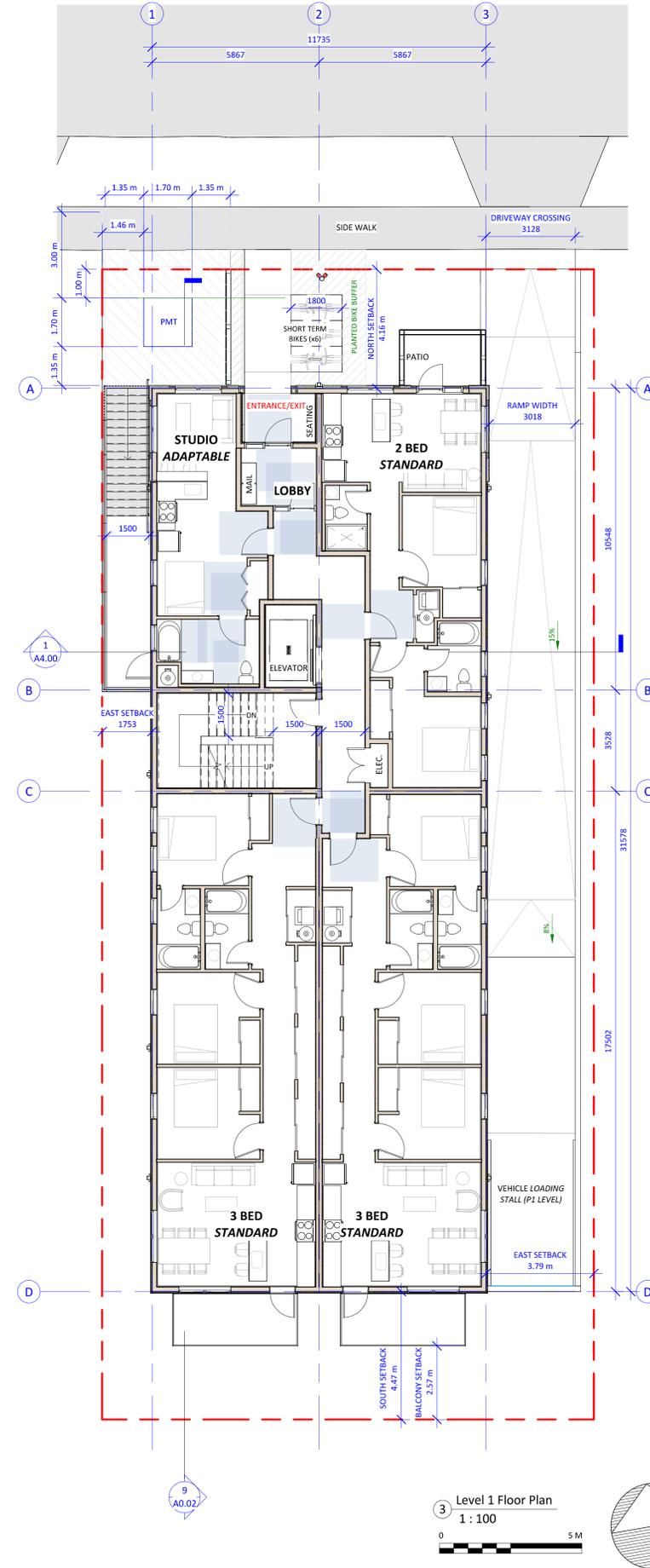
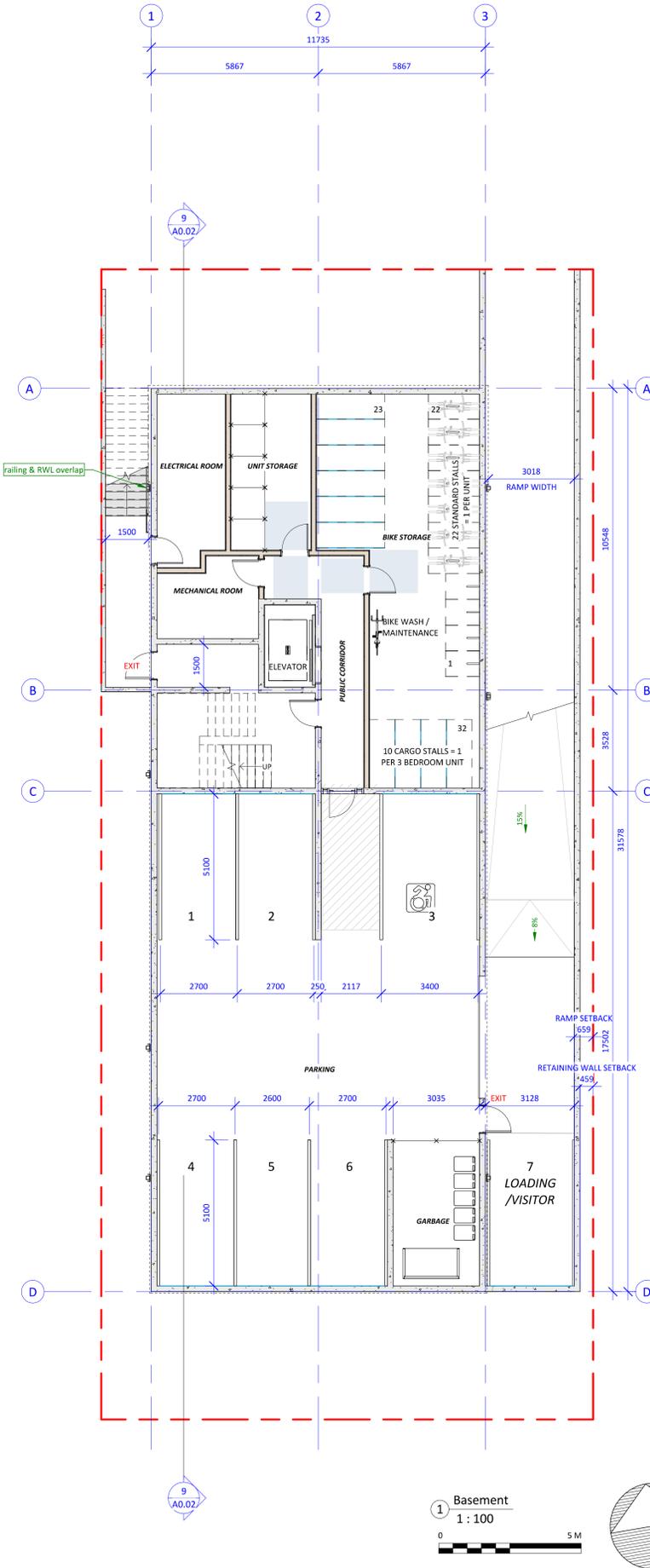
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Drawn by HJ

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A2.00

Project # 24-08 Scale 1 : 100





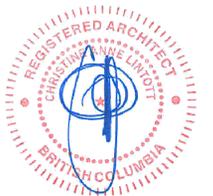
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915 McClure St

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LEVEL 6 & ROOF PLANS

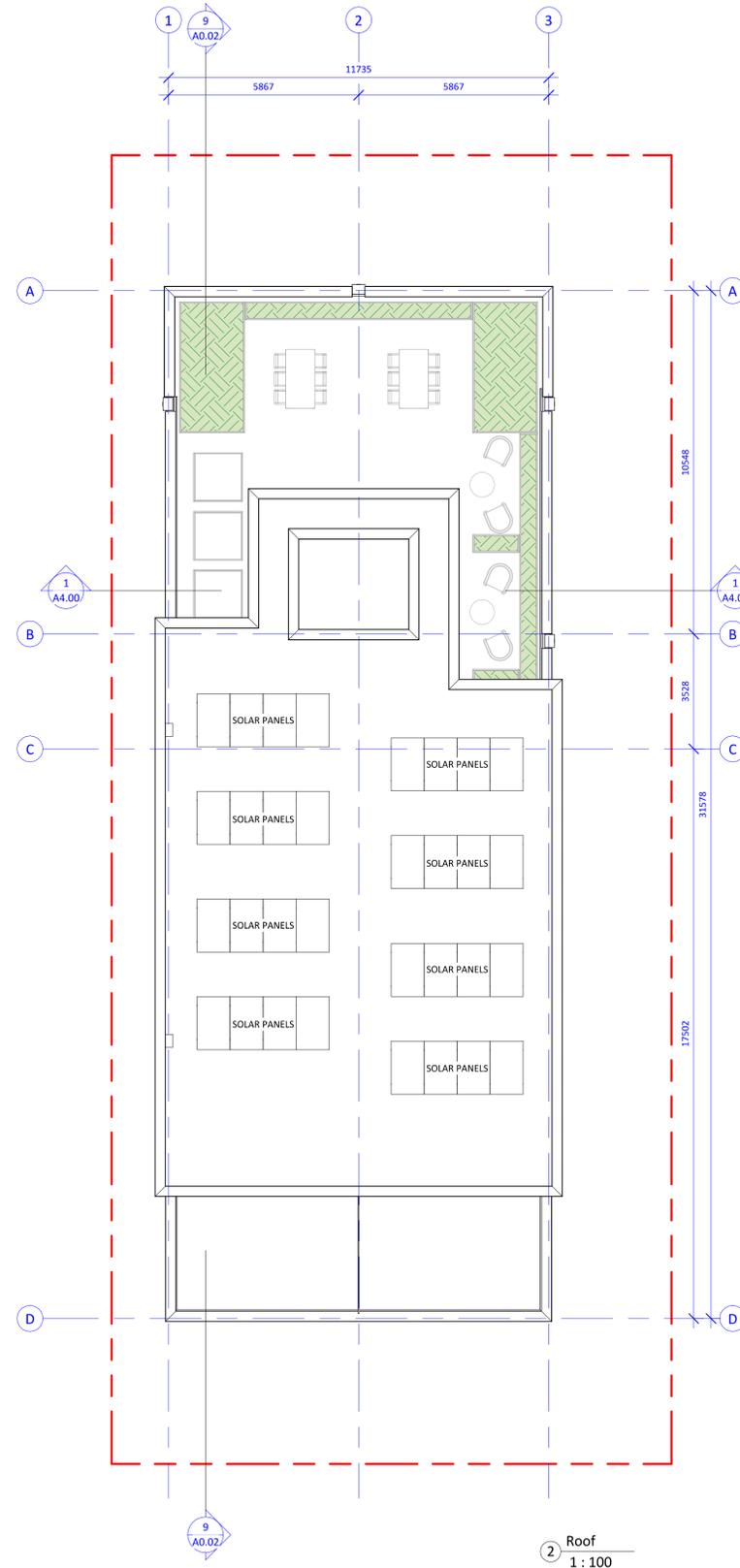
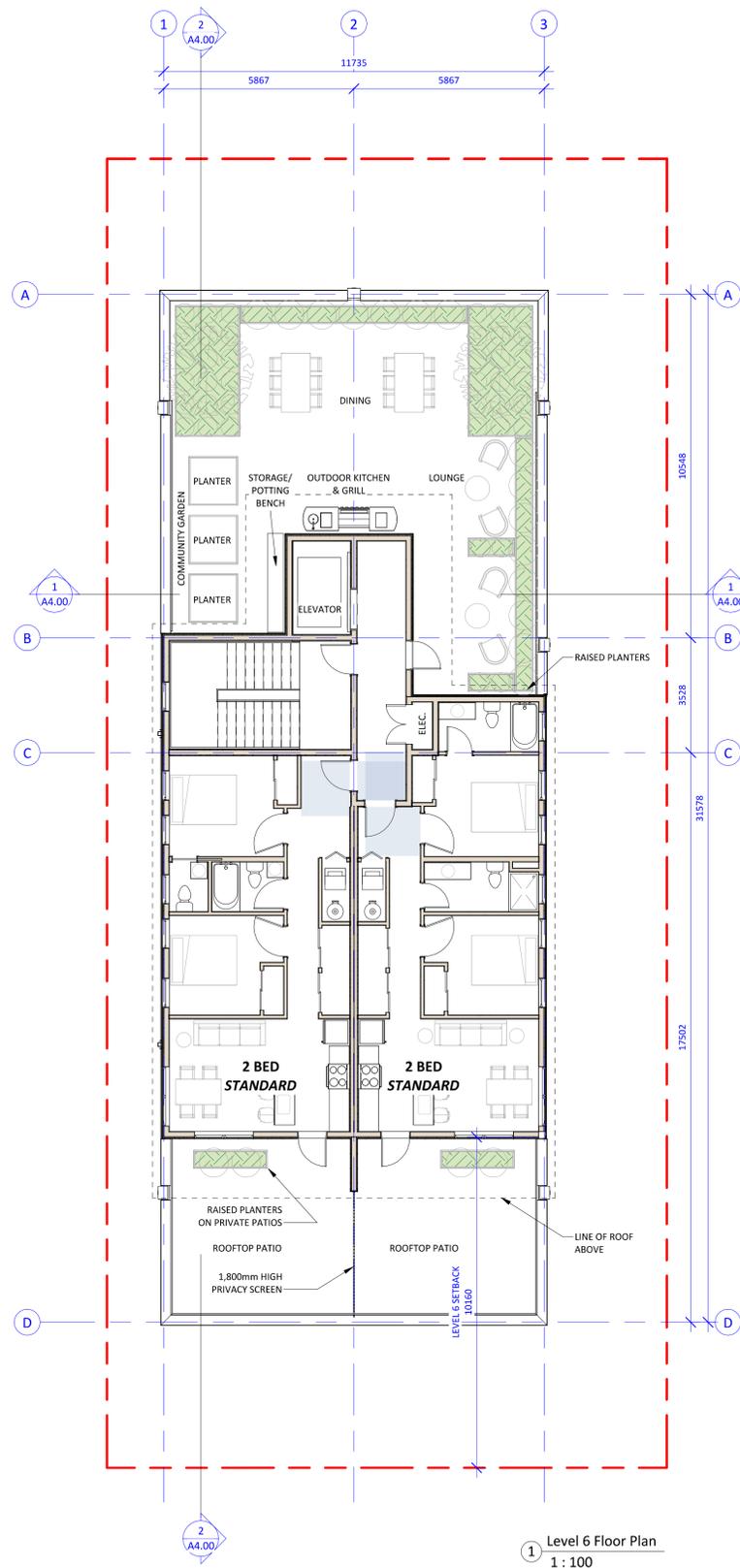
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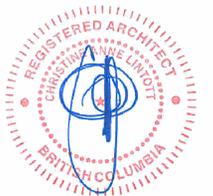
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A2.01

Project # 24-08 Scale 1 : 100







915 McClure St

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EXTERIOR MATERIALS

Date 2025-12-23 11:04:56 AM

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Checked by Checker

A3.10

Project # 24-08 Scale As indicated



1 Exterior Materials - Partial East Elevation
1 : 50



2 Exterior Materials - 3D Isometric

EXTERIOR MATERIALS LEGEND	
1	BRICK VENEER
2	VERT. CERACLAD, COLOUR: "ASHLAR SLATE"
3	VERT. CERACLAD, COLOUR: "ARCTIC WHITE"
4	CONCRETE
5	METAL FLASHING, COLOUR: "BLACK"
6	METAL FLASHING, COLOUR: "GREY"
7	METAL RAILING, COLOUR: "BLACK"
8	EXTERIOR DOOR & WINDOW FRAME, COLOUR: "BLACK"
9	RAINWATER LEADERS, COLOUR: "BLACK"

PROPOSED EXTERIOR MATERIALS



BRICK VENEER
STOCAST BRICK VENEER, RED 04, TINTED MORTAR



VERTICAL CLADDING
CERACLAD, ARCTIC WHITE



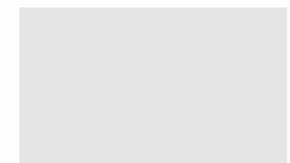
BLACK
PRIMARY FLASHINGS
RAILINGS
DOOR & WINDOW FRAME
SCUPPERS & DOWNSPOUTS



CAST-IN PLACE CONCRETE
CONCRETE FOUNDATION WALLS



VERTICAL CLADDING
CERACLAD, ASHLAR SLATE



GREY
WALL FLASHINGS



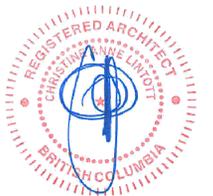
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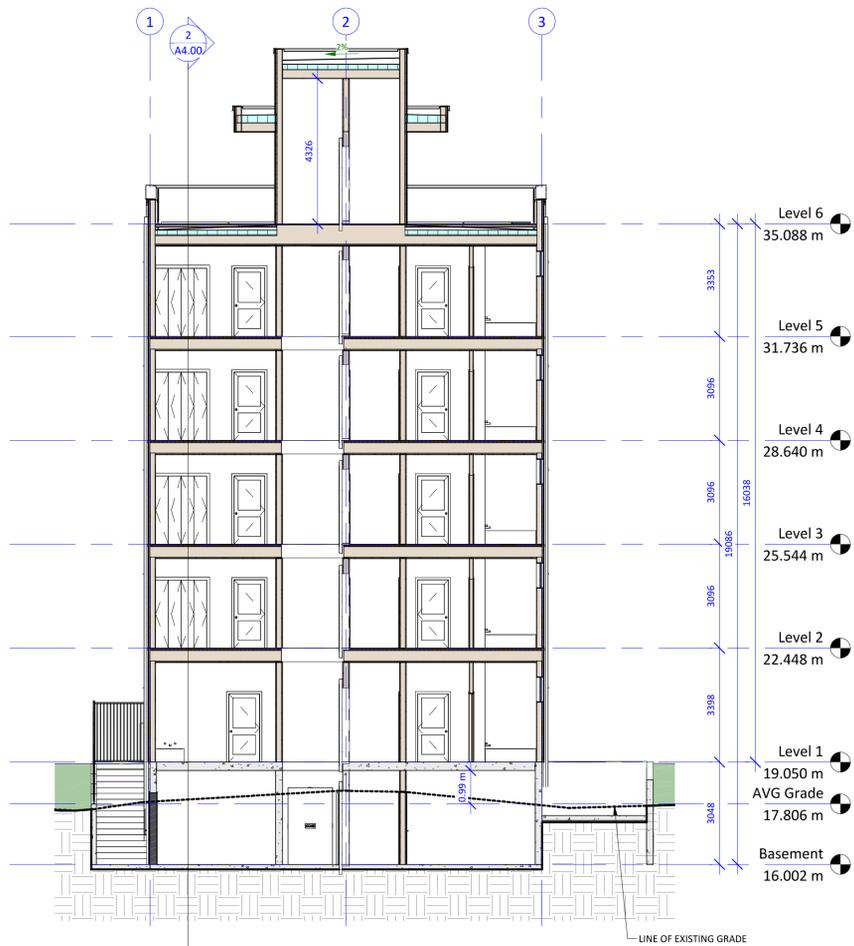
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BUILDING SECTIONS

Date 2025-12-23 11:04:58 AM
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A4.00

Project # 24-08 Scale 1 : 100



① BUILDING SECTION 1
1 : 100



② BUILDING SECTION 2
1 : 100



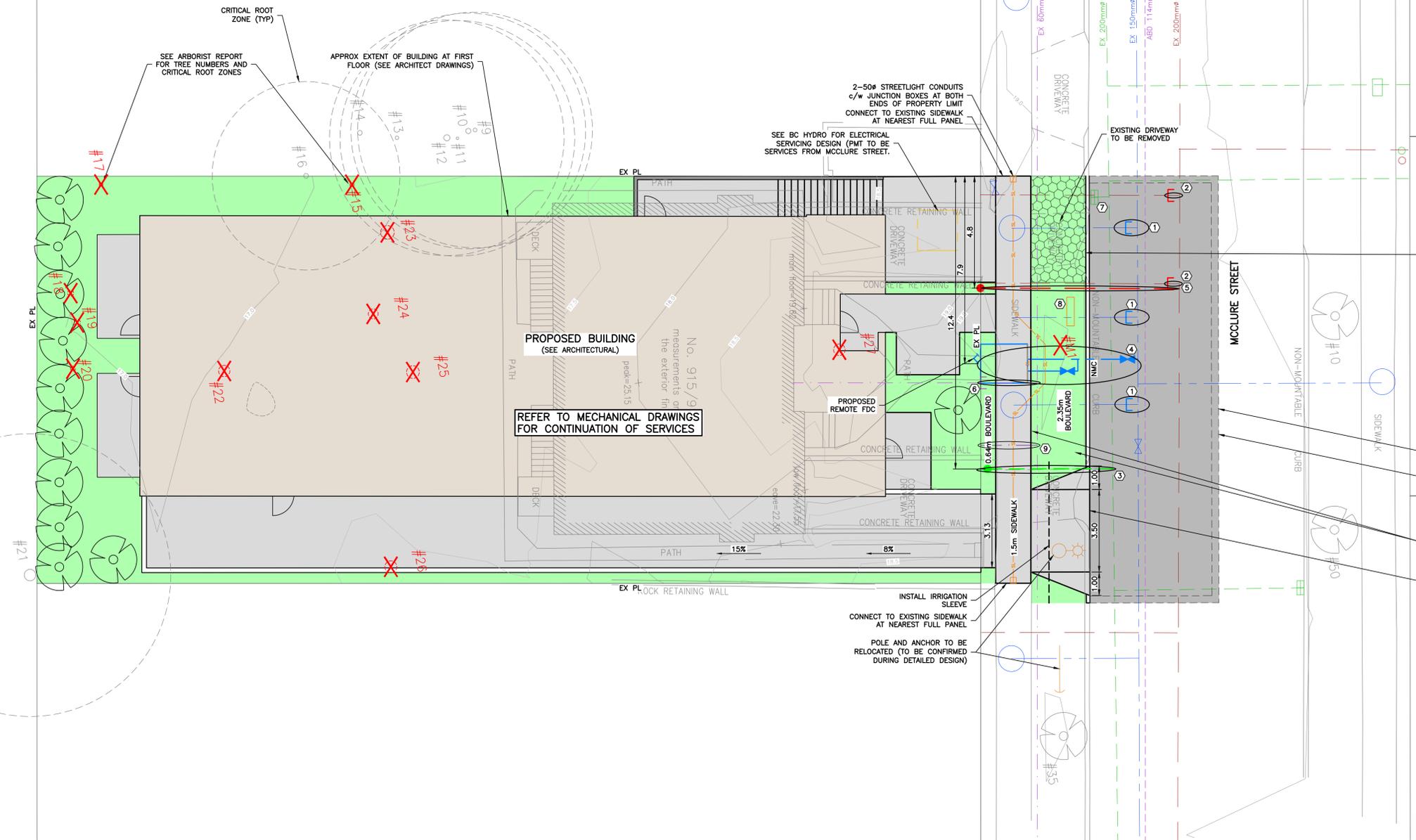
- PLAN NOTES:**
- 1) FOR BUILDING INFORMATION, SEE DRAWINGS BY CHRISTINE LINTOTT ARCHITECTS INC.
 - 2) FOR LANDSCAPING, SEE DRAWINGS BY LADR LANDSCAPE ARCHITECTS.
 - 3) UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - 4) FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT).
 - 5) ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE.
 - 6) BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
 - 7) ONSITE WALKWAYS, WALLS, BENCHES, BICYCLE STALLS AND OTHER LANDSCAPE FEATURES NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

SHEET NOTES

No.	DESCRIPTION
①	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE. EXISTING WATER METER TO BE REMOVED.
②	EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
③	EXISTING STORM SERVICE (DIAMETER UNKNOWN) TO BE REMOVED. NEW 150# STORM SERVICE CONNECTION AND INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
④	NEW 100# DOMESTIC WATER AND 150# FIRE WATER SERVICE CONNECTION c/w CHECK VALVE BY CoV FORCES AT DEVELOPER'S EXPENSE AS PER CoV STD. DWG. SDW2g.
⑤	NEW 200# SANITARY SERVICE AND INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑥	EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY FORTISBC FORCES.
⑦	REMOVE AND REPLACE CATCH BASIN TO SUIT NEW CURB INSTALLATION BY CoV FORCES AT DEVELOPER'S EXPENSE.
⑧	PROPOSED ELECTRIC VEHICLE CHARGER (LOCATION TO BE CONFIRMED DURING DETAILED DESIGN)
⑨	NEW GAS SERVICE BY CoV FORCES AT DEVELOPER'S EXPENSE.

○ EXISTING TREE TO REMAIN, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST INVENTORY BY CAPITAL TREE SERVICE INC.)

✗ EXISTING TREE TO BE REMOVED, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST INVENTORY BY CAPITAL TREE SERVICE INC.)



SIDEWALK TO BE 150mm THICK FOR HYDRO MAINTENANCE VEHICLE ACCESS. STABILIZATION (E. GRASSCRETE OR SIMILAR) REQUIRED WITHIN BOULEVARD FOR HYDRO MAINTENANCE VEHICLE

ASPHALT LAP JOINT

PAVEMENT RESTORATION TO CENTERLINE OF MCCLURE STREET. CONCRETE ROAD BASE IN MCCLURE STREET

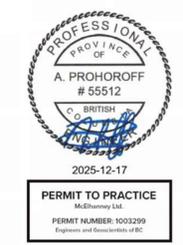
SEE LANDSCAPE DRAWINGS FOR SIDEWALK DETAILS INCLUDING PATTERNS AND COLOURS (TYP)

LETDOWNS AS PER CITY OF VICTORIA SPECIFICATIONS (FINAL CONFIGURATION TO BE CONFIRMED DURING DETAILED DESIGN). ADJUST CROSSWALKS/ STOP BARS TO SUIT LETDOWN LOCATIONS. INSTALL TACTILE WARNING STRIPS.

PLAN
1:100

LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY V.I. POWELL & ASSOCIATES

SEE AND ARCHITECTURAL, LANDSCAPE DRAWINGS



DECEMBER 17, 2025

ISSUED FOR DEVELOPMENT PERMIT

NOT FOR CONSTRUCTION



N:\CADD\24-001\PROJECTS\24-022-001\DWG\24-022-001-010.DWG 12/17/2025 10:25 AM LAYOUT1

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NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS

McElhanney

500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3 PH (250) 370-9221

SEAL

PROJECT:
915 MCCLURE STREET
VICTORIA, BC

TITLE:
PRELIMINARY CIVIL PLAN

SCALE
HORIZ: AS NOTED VERT: AS NOTED

PROJECT NO. 25-022 ISSUED/REVISION 1

APPROVING AUTHORITY FILE NO.

DRAWING NO. 25-022-C01

Recommended Nursery Stock

Botanical Name	Common Name	Size
Trees		
On Site Total: 7		
Arbutus unedo	Strawberry Tree	6cm Cal.
Fagus sylvatica 'Dawyck Purple'	Dawyck Purple Beech	6cm cal.
Magnolia kobus	Kobus Magnolia	6cm cal.
Thuja occidentalis 'American Pillar'	American Pillar Arborvitae	2m ht.
Large Shrubs		
Total: 44		
Cornus stolonifera	Redtwig Dogwood	#5 pot
Cornus stolonifera 'Flaviramea'	Yellowtwig Dogwood	#5 pot
Ilex crenata 'Sky Pencil'	Sky Pencil Holly	2.0m ht.
Prunus laurocerasus 'Schiplausis'	Skip Laurel	2.0m ht.
Medium Shrubs		
Total: 44		
Azalea japonica 'Herbert'	Herbert Evergreen Azalea	#3 pot
Azalea 'Snowbird'	Snowbird Azalea	#3 pot
Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#3 Pot
Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	#3 Pot
Rhododendron 'Fantastica'	Fantastica Rhododendron	#3 pot
Rhododendron macrophyllum	Pacific Rhododendron	#3 pot
Small Shrubs		
Total: 66		
Escallonia 'Newport Dwarf'	Newport Dwarf Escallonia	#1 pot
Gaultheria shallon	Salal	#1 pot
Mahonia nervosa	Low Oregon Grape	#1 pot
Perennials, Annuals and Ferns		
Total: 55		
Camassia leichlinii	Great camas	#1 pot
Carex 'Ice Dance'	Variiegated Sedge	#1 pot
Festuca idahoensis	Idaho Fescue	#1 pot
Polystichum munitum	Sword Fern	#1 pot
Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	#1 pot
Groundcovers		
Total: 18		
Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnickinick	#1 pot
Fragaria chiloensis	Coastal Strawberry	#1 pot
Sedum spatulifolium 'Cape Blanco'	Broad Leaved Stonecrop	#1 pot

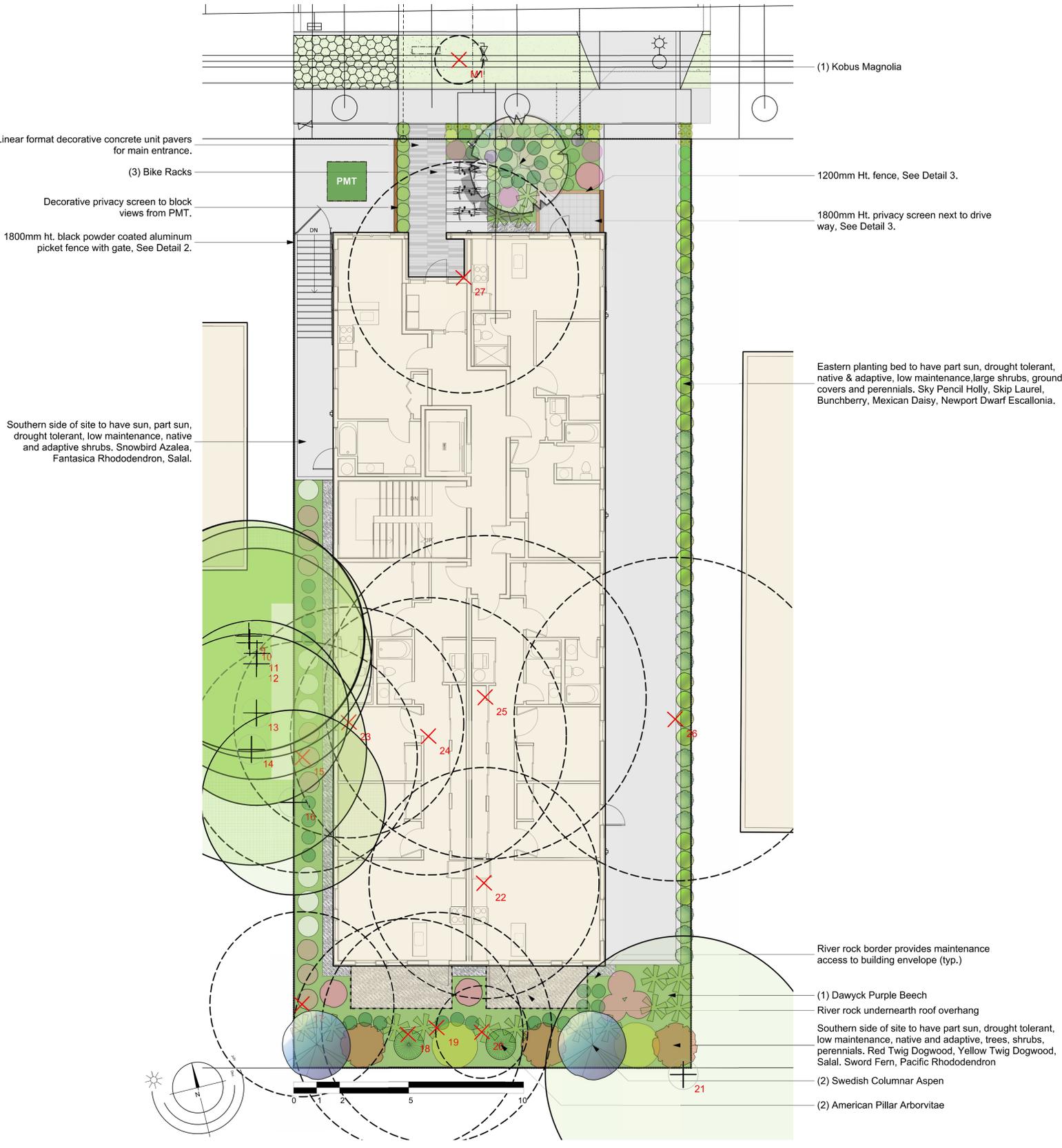
Notes:
 1. All work to be completed to current CSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system

PLANTING IMAGES

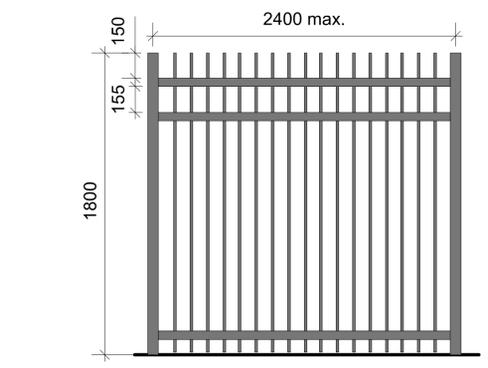


MATERIALS LEGEND

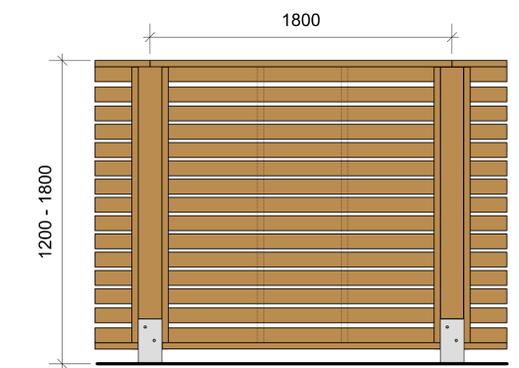
- Planting Bed
- Concrete
- Linear Decorative Concrete Unit Pavers
- Hydrapressed Slabs
- Grass Lawn
- River Rock
- 1800mm Ht. Timber Fence
- 1200mm Ht. Timber Fence
- 1800mm Ht. Black Powder Coat Aluminum Picket Fence



1 915-917 McClure Street | Landscape Concept Plan | GF
 Scale: 1:100

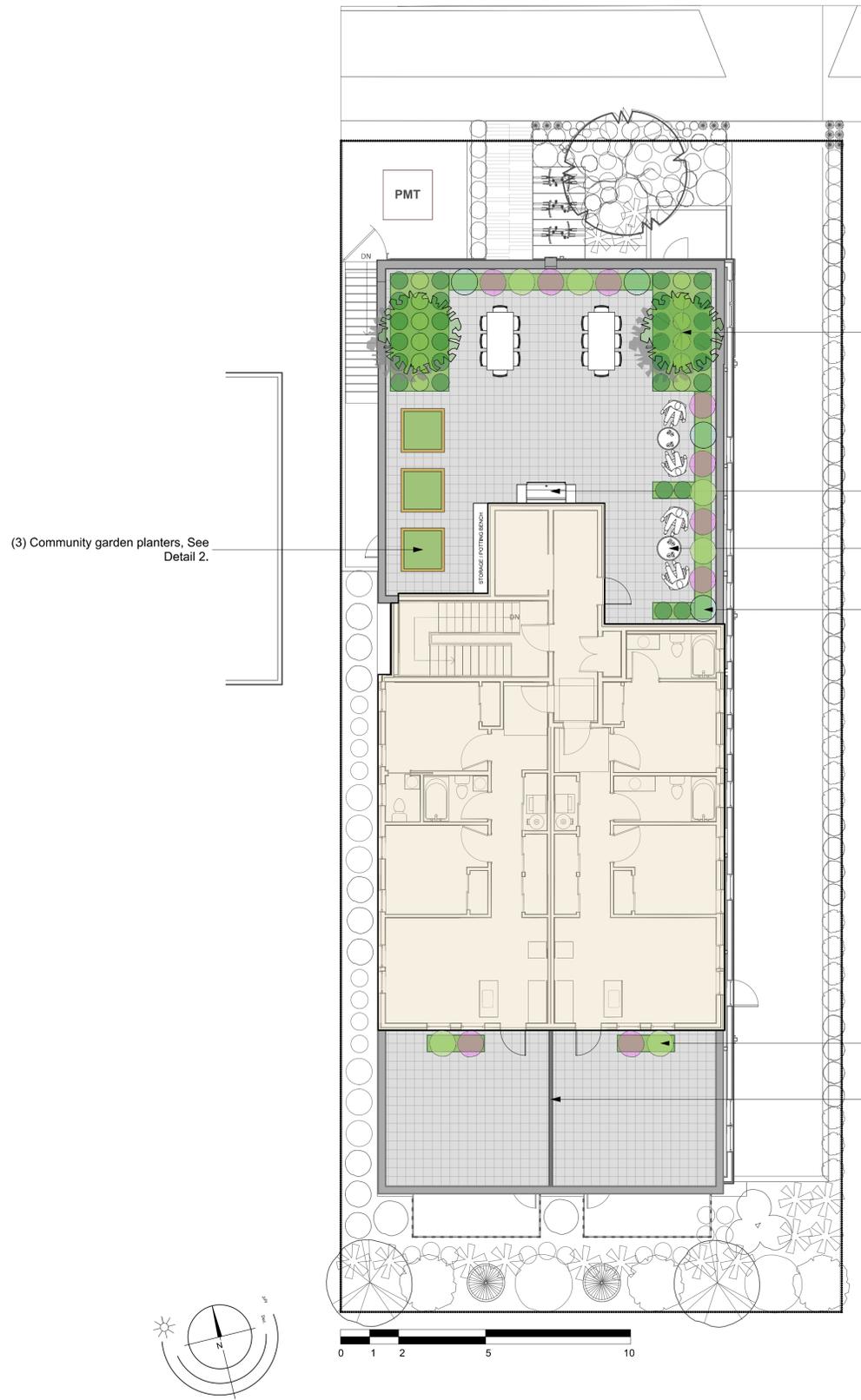


2 1800mm Ht. Black Power Coat Aluminum Picket Fence
 Scale: 1:20



3 1200-1800mm Ht. Timber Fence
 Scale: 1:20

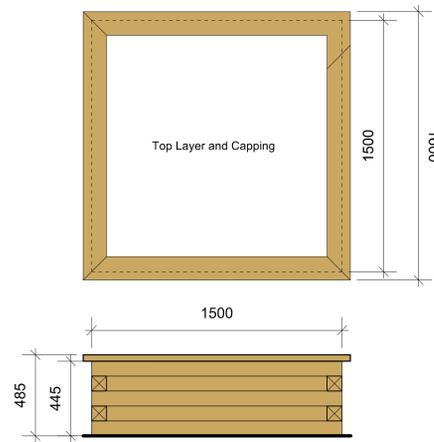
915-917 McClure Street | Landscape Concept Plan | GF



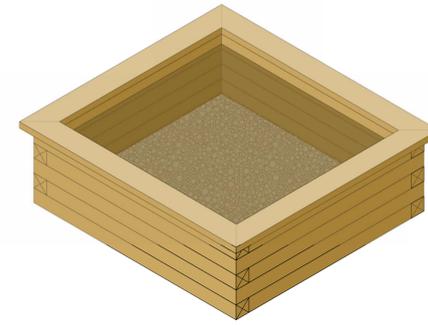
1 915-917 McClure Street | Landscape Concept Plan | GF
Scale: 1:100

MATERIALS LEGEND

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2 1500mmx1500 Typical Community Planter Box
Scale: 1:20



(2) Strawberry Tree

Rooftop BBQ and dining area.

Lounge area (typ.)

Raised planters to have native and adaptive, drought tolerant, part sun / sun, trees, shrubs, perennials, and ground covers. Strawberry Tree, Salal, Herbert Evergreen Azalea, Variegated Sedge, Nikko Blue Hydrangea, Lanarth White Hydrangea

Raised planters on private patios to have Herbert Evergreen Azalea & Lanarth White Hydrangea

Private patio screening, See Arch.

PRECEDENT IMAGES

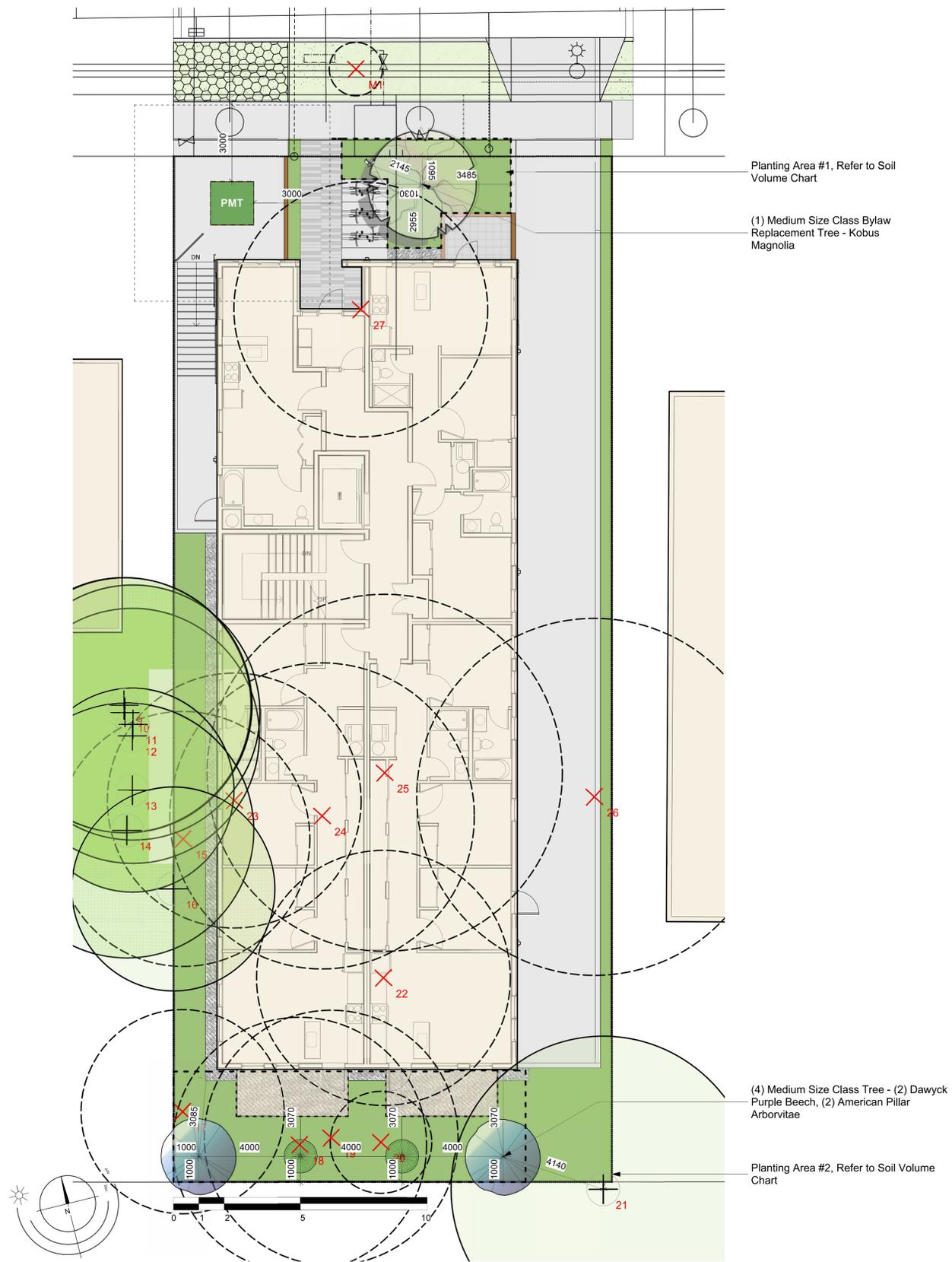


Custom Modular Planters by C3 Planters



Lounge Area & Planters

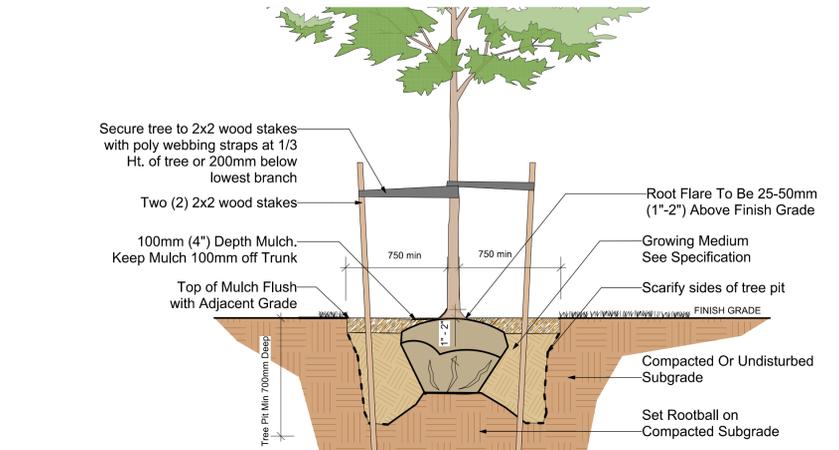
915-917 McClure Street | Landscape Concept Plan | Roof L2



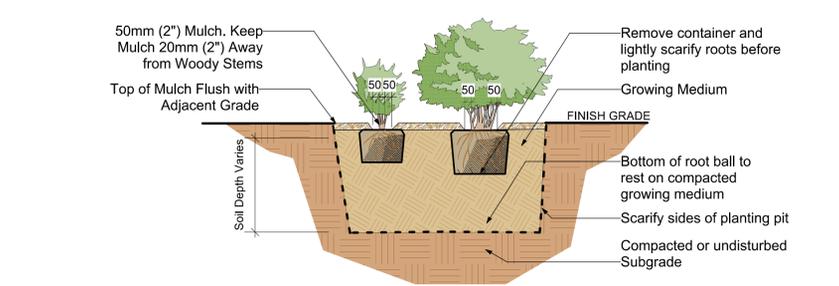
1 915-917 McClure Street | Tree Management Plan | Ground Floor
Scale: 1:100



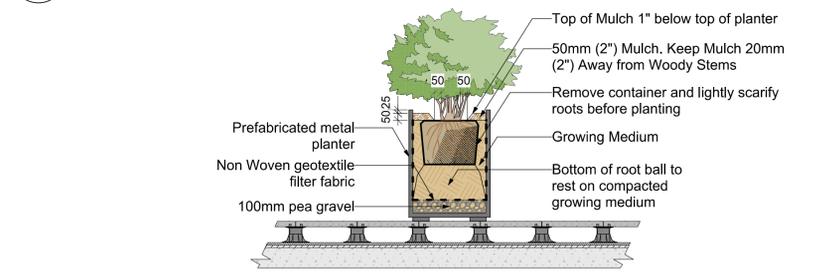
2 915-917 McClure Street | Tree Management Plan | Roof Level
Scale: 1:100



3 Typical Tree Planting
Scale: 1:25



4 Typical Shrub Planting
Scale: 1:25

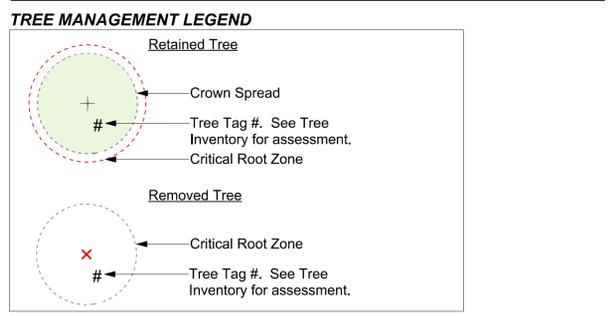


5 Typical Shrub Planting in Raised Planter
Scale: 1:25

TREE PRESERVATION SUMMARY			
	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected Trees Removed	6	x 1	A. 6
B. Replacement Trees Proposed per Schedule "E", Part 1	5	x 1	B. 5
C. Replacement Trees Proposed per Schedule "E", Part 2	2	x 0.5	C. 1
D. Replacement Trees Proposed per Schedule "E", Part 3	0	x 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number	7		E. 7
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 0
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot			G. 3
H. Protected trees retained (other than specimen trees)	1	x 1	H. 1
I. Specimen trees retained	0	x 3	I. 0
J. Trees per lot deficit (G-(B+C+H+I)) Record 0 if negative number			J. 0
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees removed	0	x 1	K. 0
L. Replacement trees proposed per Schedule "E" Part 1 or Part 3	0	x 1	L. 0
M. Replacement trees proposed from Schedule "E" Part 2	0	x 0.5	M. 0
N. Total replacement trees proposed (L+M) Round down to nearest whole number	0		N. 0
O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu. Enter F, or J, whichever is the greater number			P. 7
Q. Offsite trees proposed for cash-in-lieu. Enter 0			Q. 0
R. Cash-in lieu proposed ((P+Q) x \$2000)			R. 0

SOIL VOLUME TABLE										
Planting Area ID	Area (M2)	Soil Volume Multiplier*	A Estimated Soil Volumes	Replacement Tree Proposed			Soil Volume Required (M3)			Total
				#Small	#Medium	#Large	Small	Medium	Large	
Onsite										
1	20	1	20	1			0	20	0	20
2	60	1	60		4		0	60	0	60
3	8	0.75	6	1			6	0	0	6
4	8	0.75	6	1			6	0	0	6
Offsite (Excluding City Property)										
Area OSA										
Excluding City Property										
Calculation							E IF B = 1, BX8 IF B > 1, BX6	F = 1, CX20 C > 1, CX15	G IF B = 1, BX35 IF B > 1, BX30	TOTAL E+F+G

TREE INVENTORY										
Capital Tree Service Inc.										
Appendix A - Tree Inventory/Hazard Ratings Summary										
Location: 915 McClure Street, Victoria, BC V8V 3E8										
Date: October 29, 2025 Conditions: 14°C, mostly sunny, 17km/hr WSW										
Tag #	Species	DBH (cm)	Canopy (m)	Health/Structure	Bylaw Protected	Action	Observations	Comments		
M1	Japanese zelkova	8	1	G/F	Yes		Young tree. Narrow angle of attachment. Poor aspect ratio in unions.			
27	Kobus magnolia	49	5	G-F-F-P	Yes		2x stem ~1.3m above grade (27x22cm DBHs). Poor aspect ratio in union. Some deadwood. Pruned for building clearance resulting in an uneven canopy.			
26	European ash	51	7	F/F	Yes		2x stem ~1.8m above grade. Epicormics. Some deadwood. Webbing play structure in tree.			
25	Purple leaf plum	54	5	F-F-P	Yes		2x stem ~0.3m above grade (31x23cm DBHs). Narrow angle of attachment. Poor aspect ratio in union. Epicormics. Dieback. Deadwood. Swing in tree. Webbing play structure in tree.			
24	Cherry	42	6	F/F-P	Yes		3x stem ~1m above grade (20x22cm DBHs). Significant previous pruning cuts. Uneven canopy. Epicormics. Gummosis.			
23	Douglas Fr	58	5	F/F	Yes		Surface roots towards house. Uneven root flare. Chlorosis. Over extended branches. Swing in tree.			
22	Apple	48	5	F/F	Yes		3x stem ~1m above grade (18, 20, and 10cm DBHs). Poor aspect ratio in unions. Uneven canopy. Epicormics. Cambial splitting.			
21	Sycamore maple	49	6	G-F-F-P	Yes		2x stem at grade (35x14cm DBHs). Uneven canopy. Lean over fence. Epicormics.			
20	English holly	21	2	G/P	No		Ivy. Lean. Previously topped.			
19	Plum	28	5	F-F-P	No		Failed stem resulting in 4 stems (4, 12, 7, and 9cm DBHs)			
18	Plum	26	5	F-F-P	No		3x stem from failed stem (14, 5, and 7cm DBHs). Over grown with vines. Laying over other stems.			
17	Plum	16	4	F-F-P	No		2x stem (9-17cm DBHs). Overgrown with vines. Uneven canopy. Other smaller plums rooted nearby (enter ground as separate stems).			
16	Plum	20	4	F/F-P	No		2x stem ~0.3m above grade (10x10cm DBHs). Poor aspect ratio in union. Narrow angle of attachment. 1 stem with significant lean and ivy while other stem has been topped.			
15	Cherry	17	5	F/F-P	No		Lean. Uneven canopy. Gummosis.			
14	Cherry	20	5	F/F-P	No		Lean onto neighbours. Uneven canopy. Gummosis.			
13	Cherry	15	4	F/F-P	No		Girdled by rope ~1.2m above grade. Uneven canopy. Canopy over neighbours. Gummosis.			
12	Cherry	26	5	F/F-P	No		4x stem at grade (8, 6, 12, and 3cm DBHs). Poor previous pruning. Gummosis. Ivy.			
11	Cherry	11	5	F/F-P	No		Lean. Previously reduced. Gummosis.			
10	Cherry	22	5	F/F-P	No		1 stem previously removed. Uneven canopy. Dieback. Deadwood. Poor aspect ratio in unions. Gummosis. Ivy.			
9	Cherry	16	5	F/F-P	No		Sweeping stem. Ivy. Uneven canopy. Gummosis.			



915-917 McClure Street | Tree Management Plan