



741 FISGARD ST. DP & REZONING

Architectural Rezoning

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PROJECT LOCATION



PROJECT CONTACTS

OWNER

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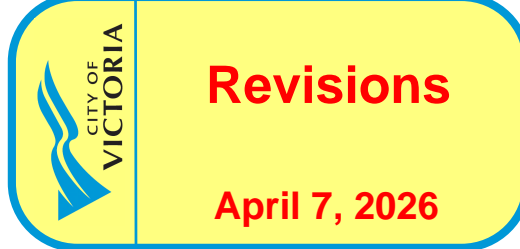
Development Permit / Rezoning Application

741 Fisgard Street
March 30, 2026

Project #	2328	Date	March 30, 2026
Sheet #	A0.00	Revision	March 30, 2026
			2



CASCADIA ARCHITECTS INC
101-804 Broughton Street
Victoria BC V8W 1E4 Canada
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BC LAND SURVEYORS SITE PLAN OF:
Civic: 1620 Blanshard Street

- Legals:**
- The Easterly and Westerly Halves of Lot 685, Victoria City
Parcel Identifier: 000-039-098 In the City of Victoria
 - Lot 684, Victoria City
Parcel Identifier: 000-015-521 In the City of Victoria
 - Lot 683, Victoria City, Except Part Shown Coloured Red on Plan 3168L
Parcel Identifier: 000-015-512 In the City of Victoria

LEGEND

- Elevations are geoidic and referenced to the CVD280C datum.
- ⊕ - denotes - existing elevation
 - ⊙ - denotes - mobile lift
 - ⊙ - denotes - fire hydrant
 - ⊙ - denotes - catch basin
 - ⊙ - denotes - water metre
 - ⊙ - denotes - water metre
- Tree diameters are in centimeters.
 Site Area = 1760 m²

The following non-financial charges are shown on the current title and may affect the property.
 FB127551 - Covenant
 FB127552 - Statutory Right of Way

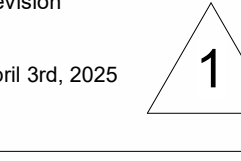


NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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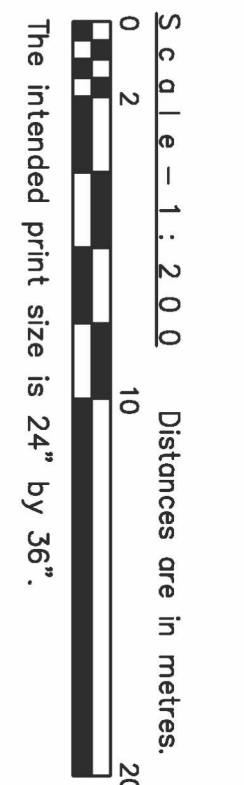
**741 Figgard Street
 Development Permit /
 Rezoning Application**

Sheet Name Survey, Existing Site Plan	
Date	March 30, 2026
Scale	Project # 2328
	Revision April 3rd, 2025 1
	Sheet # A0.10

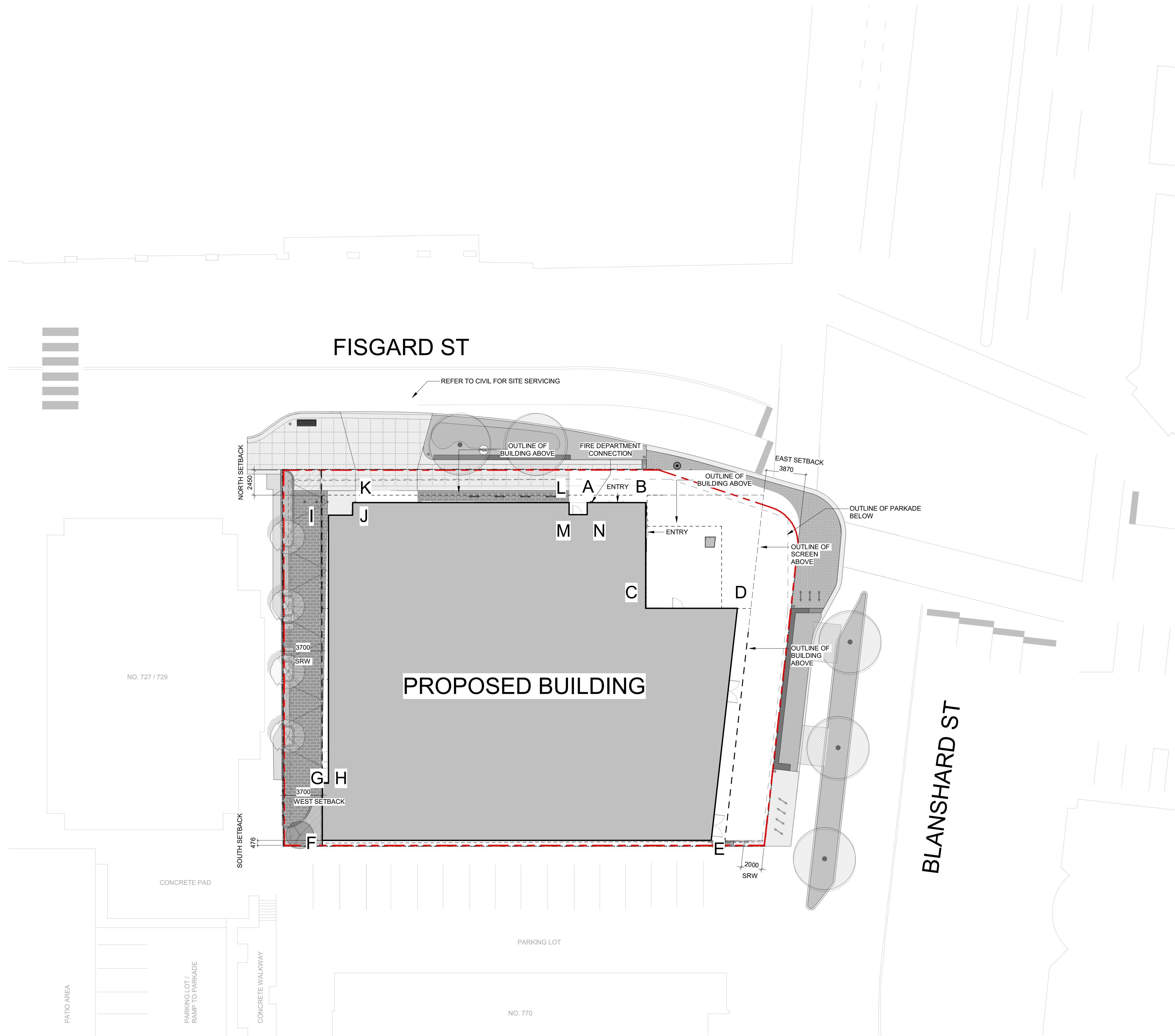
File: 3652-17
V.I. POWELL & ASSOCIATES
 LAND SURVEYING
 250-2850 DOUGLAS ST
 VICTORIA, BC V8T 4M4
 250-282-8853

Setbacks are derived from field survey.
 Parcel dimensions shown herein are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.
 Site information beyond 1620 Blanshard Street is conceptual in nature. Any critical information such as curbs, sidewalk, etc. should be confirmed.



APRIL LAROUCHE
 B.C.L.S.
 April Larocque
 dated this 13th day of February, 2024
CERTIFIED CORRECT



DATA

MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	741 FISGARD STREET, VICTORIA, BC
PID	000-015-512
LEGAL DESCRIPTION	LOT 684 & LOT 683, VICTORIA, EXCEPT PART SHOWN COLOURED RED ON PLAN 316 BL, THE E 1/2 OF LOT 685 AND THE W 1/2 OF LOT 685, VICTORIA
PROJECT DESCRIPTION	22 STOREY MIXED USE RESIDENTIAL BUILDING

PROJECT INFORMATION

	CURRENT	PROPOSED
ZONE	CBD-2 SITE SPECIFIC: Central Business District-2 - Site Specific Regulations	SITE SPECIFIC
SITE AREA (m ²)	1760m ²	1760m ²
TOTAL FLOOR AREA (m ²)	5280m ²	13378m ²
FLOOR SPACE RATIO	Base Density: 3.0:1 / Bonus to 7.6:1*	7.6:1*
SITE COVERAGE (%)	N/A	79%
OPEN SITE SPACE (%)	N/A	21%
HEIGHT OF BUILDING (m)	58.0m	82.13m
NUMBER OF STOREYS	N/A	22
PARKING STALLS (#) ON SITE	154	140
BICYCLE PARKING (#) LONG TERM	164	192
BICYCLE PARKING (#) SHORT TERM	20	24

*Subject to terms of the 2018 Zone and historical 2003 MDA.

BUILDING SETBACKS (m)

	CURRENT	PROPOSED
FRONT (NORTH)	0.00m	2.45m to L4 (15m) / 5.50m above
REAR (SOUTH)	0.0m to 5m / 8.0m to 18.0m / 10.00 above	0.30m to L4 (15m) / 8.00m above
SIDE (WEST)	0.0m to 23.0m / 10.0m above	3.70m to L4 (15m) / 14.60m above
SIDE (EAST)	0.0m to 23m / 10.0m above	3.87m to L4 (15m) / 4.98m above

RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS	156
UNIT TYPE	STUDIO (15), 1-BED (66), 1-BED + DEN (45), 2-BED (24), 3-BED (6)
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA (m ²)	36m ²
TOTAL RESIDENTIAL FLOOR AREA (m ²)	10230m ²

COMMERCIAL USE DETAILS

TOTAL NUMBER OF UNITS	5
TOTAL COMMERCIAL FLOOR AREA (m ²)	460m ²

AVERAGE GRADE CALCULATIONS

ZONING REGULATION BYLAW SCHEDULE A

Grade Points	Lengths
A	21.90m
B	22.06m
C	21.94m
D	22.08m
E	22.08m
F	22.28m
G	21.96m
H	20.73m
I	20.87m
J	20.87m
K	21.30m
L	21.40m
M	21.44m
N	21.81m

Calculation

A-B	(21.90 + 22.06)/2	X	5.71m	=	125.51
B-C	(22.06 + 21.94)/2	X	10.33m	=	227.26
C-D	(21.94 + 22.08)/2	X	8.96m	=	197.21
D-E	(22.08 + 22.08)/2	X	22.69m	=	501.00
E-F	(22.08 + 22.28)/2	X	38.00m	=	804.46
F-G	(22.28 + 21.96)/2	X	5.59m	=	118.00
G-H	(21.96 + 20.73)/2	X	0.60m	=	12.81
H-I	(20.73 + 20.87)/2	X	26.19m	=	544.75
I-J	(20.87 + 20.87)/2	X	2.36m	=	49.25
J-K	(20.87 + 21.30)/2	X	1.23m	=	25.93
K-L	(21.30 + 20.40)/2	X	21.15m	=	451.55
L-M	(20.40 + 21.44)/2	X	1.17m	=	25.06
M-N	(21.44 + 21.81)/2	X	1.77m	=	38.28
N-A	(21.81 + 21.90)/2	X	1.17m	=	25.57
			146.92m		3,146.64

AVERAGE GRADE = 3,226.39 / 149.61 = **21.42**

NOTE: There is no proposed change to the average grade of the site.

BC Building Code *Grade* is determined as the lowest average grade at an exterior wall. This occurs at the project's West side (H-I): (20.73 + 20.87)/2 = 20.80

BCBC GRADE = **20.80**

2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

Sheet Name
Site Plan and Project Data

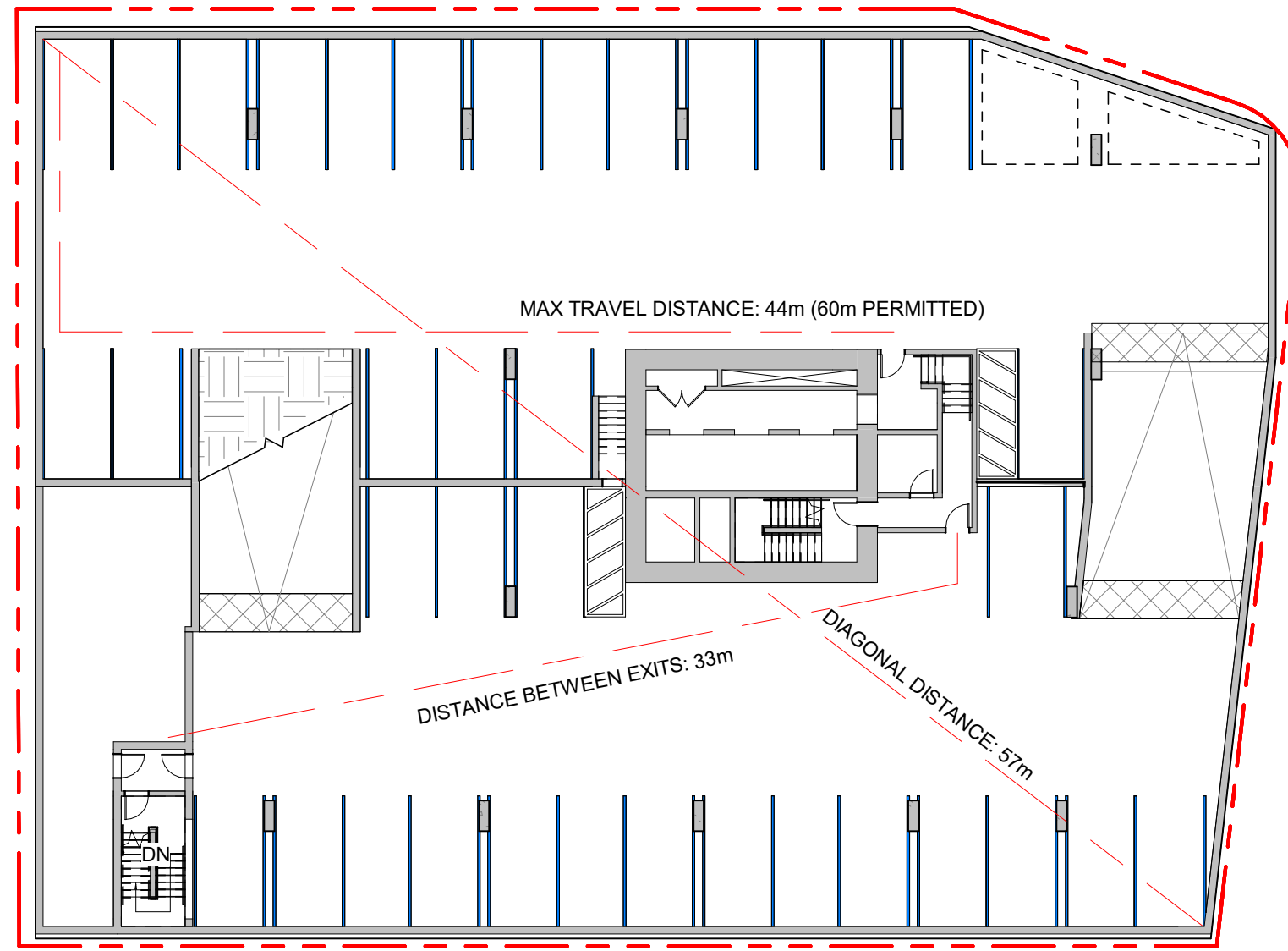
Date
March 30, 2026

Scale
As indicated

Project #
2328

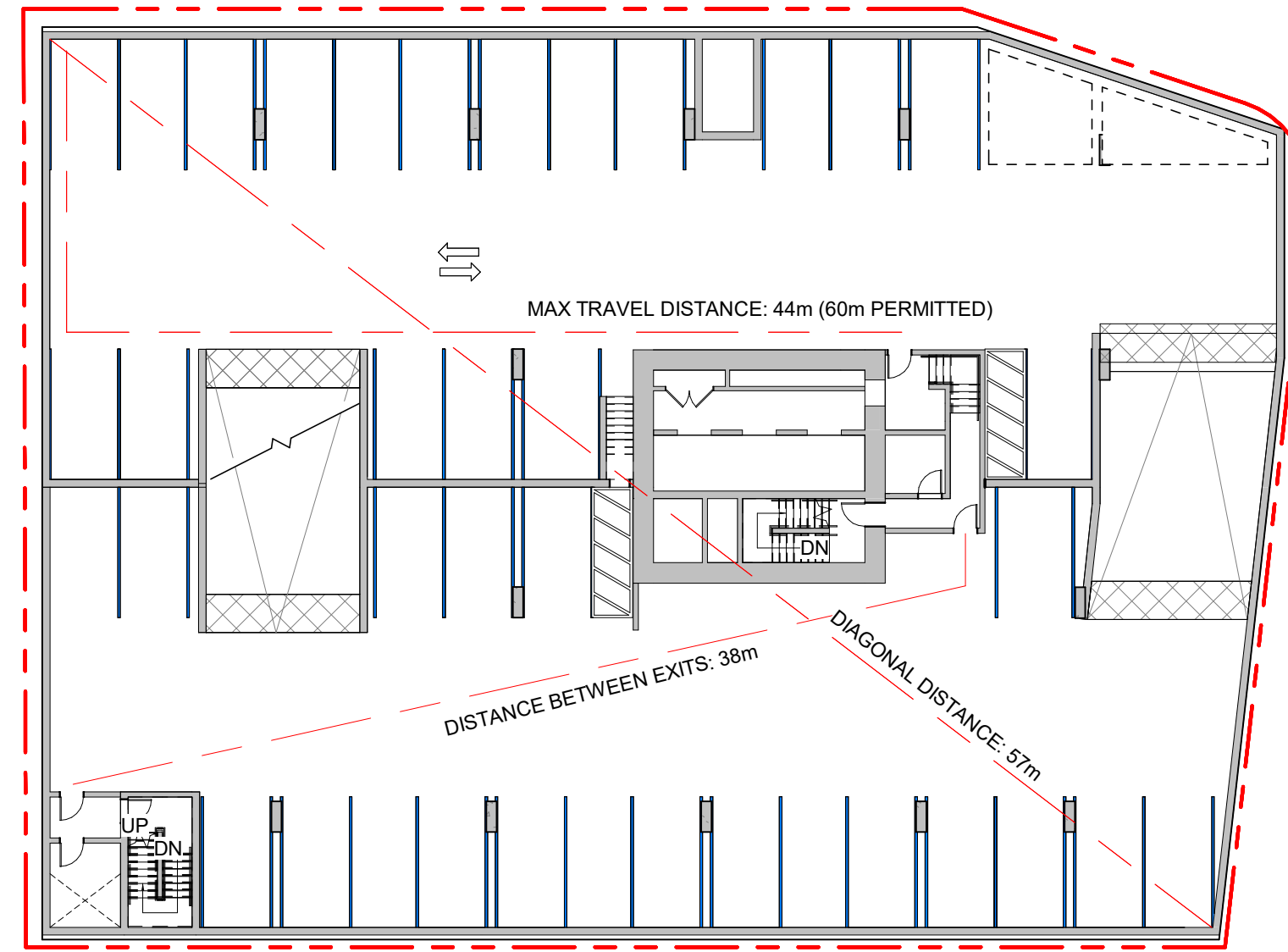
Revision
March 30, 2026
2

Sheet #
A0.11



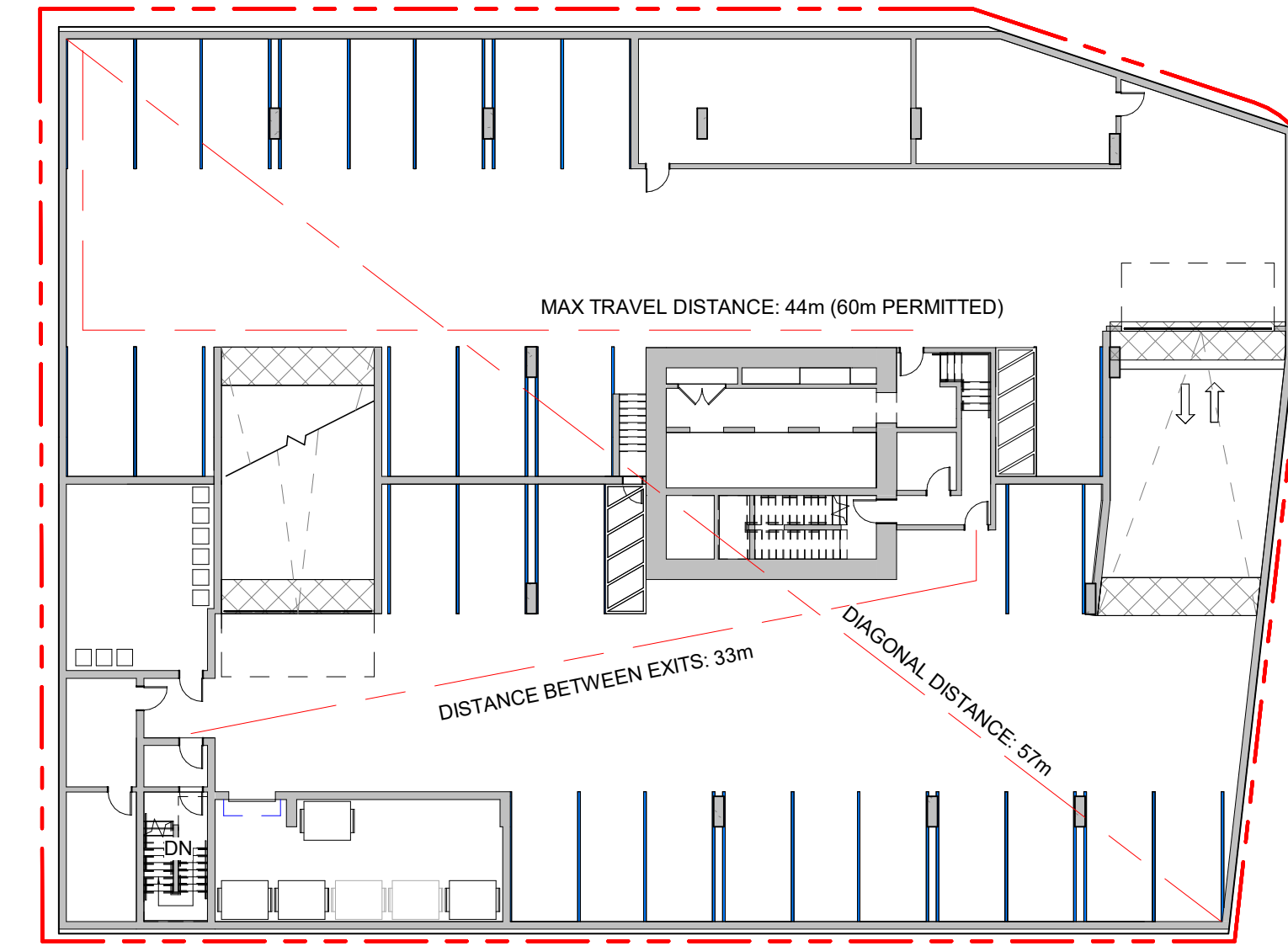
1 Parkade Level 3 & 4 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 28.5m (57m / 2)
OCCUPANT LOAD:
 Occupancy: Group F, Divisions 3 Storage Garage
 1663m² / 46m² per person = 36 persons
MINIMUM EXIT WIDTH:
 Ramps, Corridors, Passageways
 1100mm
 Stairs
 1100mm



2 Parkade Level 2 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 28.5m (57m / 2)
OCCUPANT LOAD:
 Occupancy: Group F, Divisions 3 Storage Garage
 1663m² / 46m² per person = 36 persons
MINIMUM EXIT WIDTH:
 Ramps, Corridors, Passageways
 1100mm
 Stairs
 1100mm



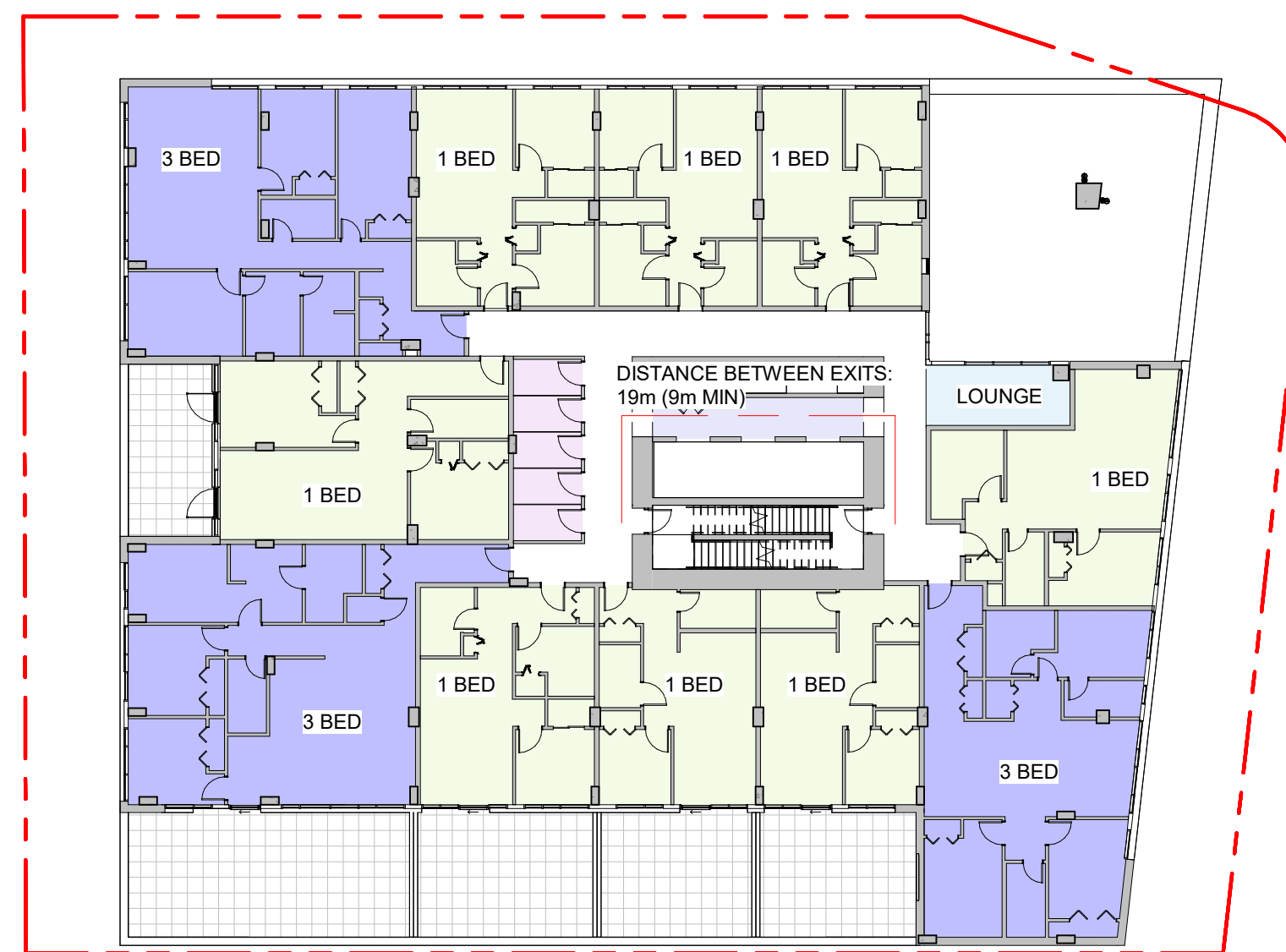
3 Parkade Level 1 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 28.5m (57m / 2)
OCCUPANT LOAD:
 Occupancy: Group F, Divisions 3 Storage Garage
 1663m² / 46m² per person = 36 persons
MINIMUM EXIT WIDTH:
 Ramps, Corridors, Passageways
 1100mm
 Stairs
 1100mm



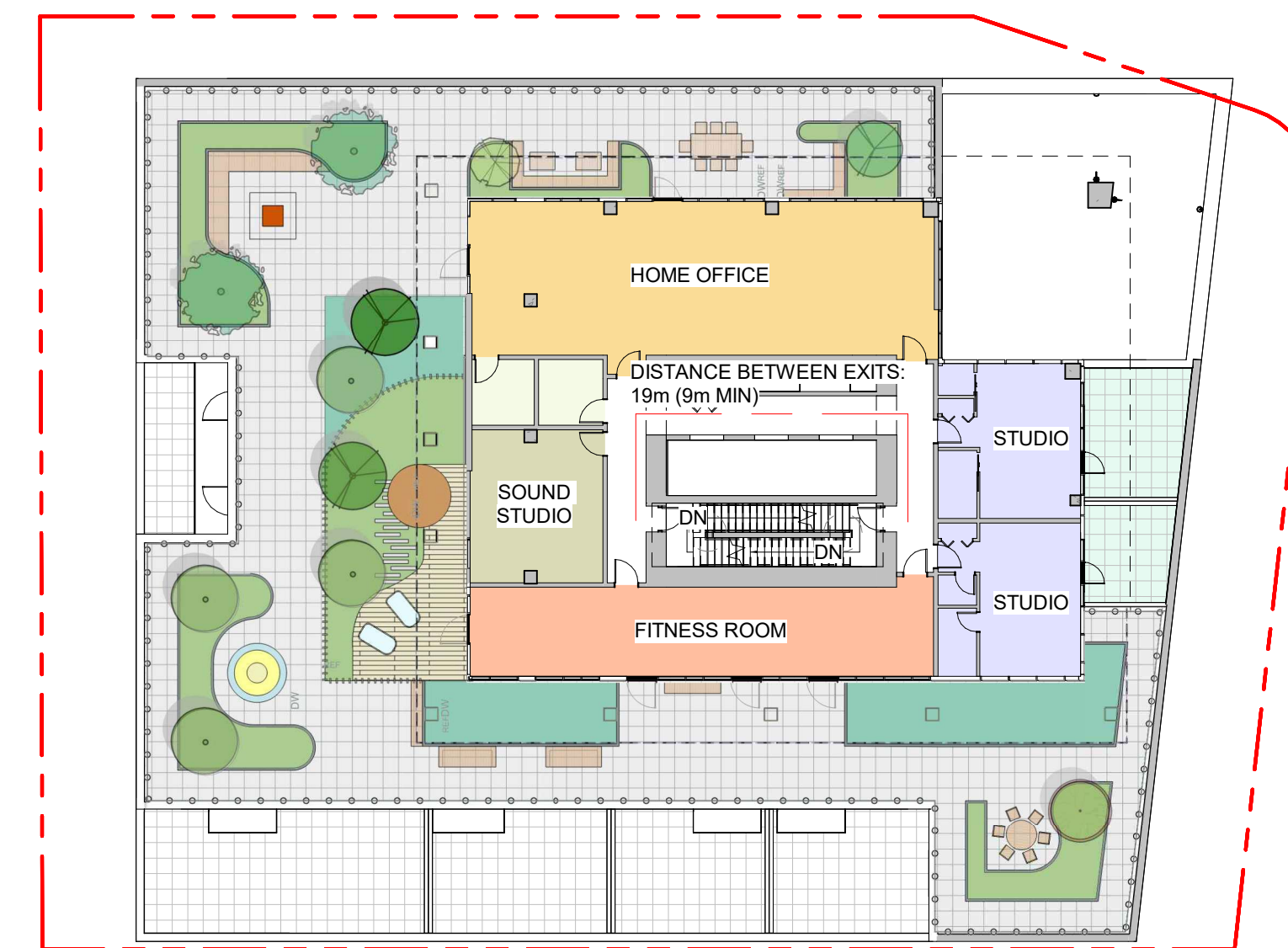
4 Floor Plan - Level 1 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
 Occupancy: Public corridors intended for occupancies (Residential Lobby)
 55 / 3.7 = 15 persons
 Occupancy: Group E, CRU1
 161 / 3.7 = 44 persons
 Occupancy: Group E, CRU2
 124 / 3.7 = 34 persons
 Occupancy: Group E, CRU3
 143 / 3.7 = 39 persons
 Occupancy: Group E, CRU4
 21 / 3.7 = 6 persons
 Occupancy: Group E, CRU5
 17 / 3.7 = 5 persons
 Occupancy: Group F, Division 3 Storage (Bike Storage)
 368 / 46 = 8 persons
MINIMUM EXIT WIDTH
 Ramps, Corridors, Passageways
 1100mm
 Stairs
 1100mm



5 Floor Plan - Level 2 / 3 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
 Occupancy: Public corridors intended for occupancies (Lounge)
 13 / 3.7 = 4 persons
 Occupancy: Group C (Residences)
 17 bedrooms x 2 persons per bedroom = 34 persons
MINIMUM EXIT WIDTH
 Ramps, Corridors, Passageways
 1100mm
 Stairs
 1100mm



6 Floor Plan - Level 4 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
 Occupancy: Group D (Sound Studio)
 32 / 9.3 = 4 persons
 Occupancy: Group A, Division 2 (Gym)
 66 / 0.75 = 88 persons
 Occupancy: Group C (Offices)
 68 / 9.3 = 8 persons
 Occupancy: Group C (Residences)
 2 bedrooms x 2 persons per bedroom = 4 persons
MINIMUM EXIT WIDTH
 Ramps, Corridors, Passageways
 1100mm
 Stairs
 1100mm

2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

80.47' Project North

Sheet Name Code Analysis

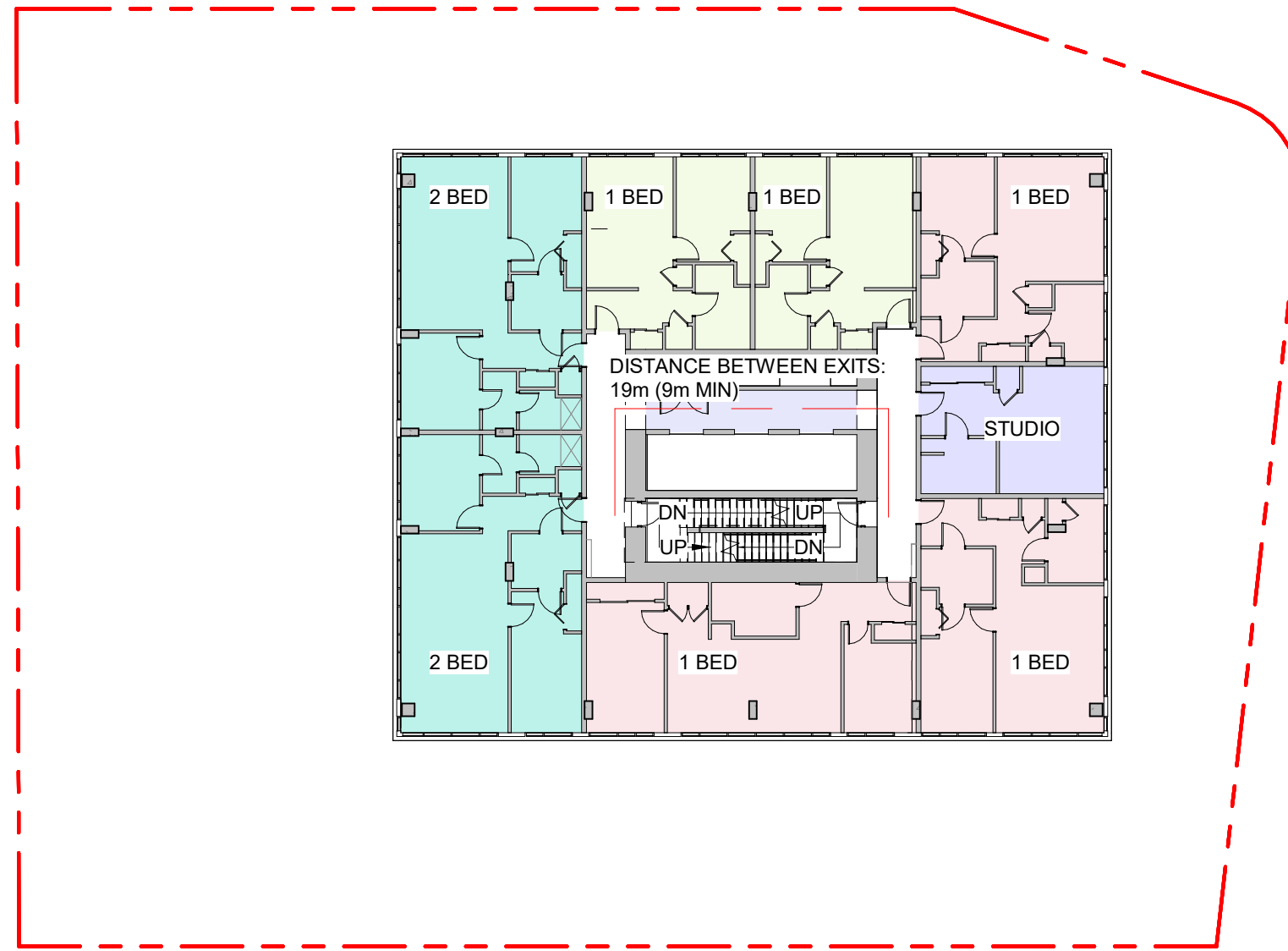
Date March 30, 2026

Scale 1 : 250 Project # 2328

Revision 2
March 30, 2026

Sheet # A0.51

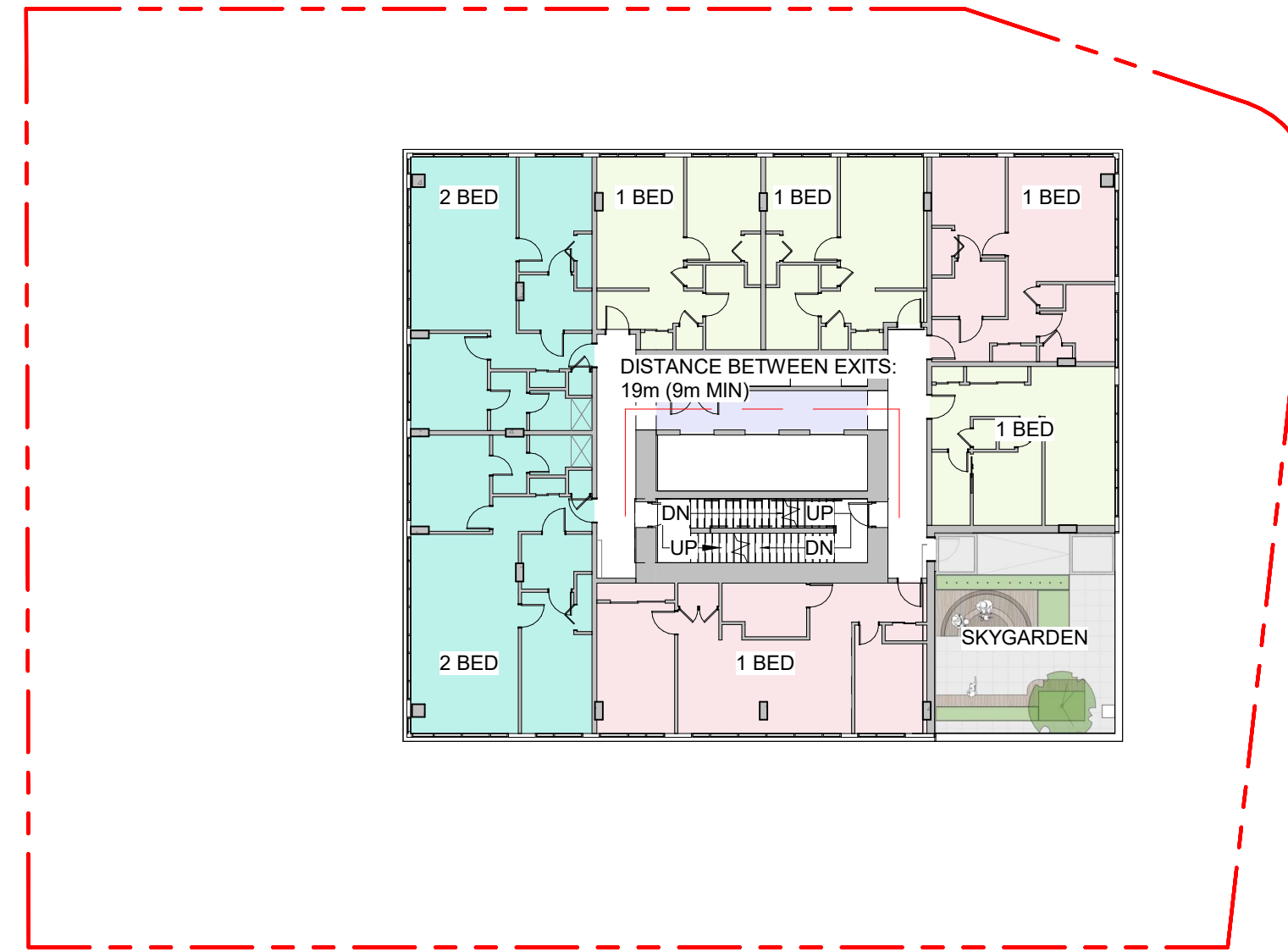
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1 Floor Plan - Typical Residential Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
Occupancy: Group C (Residences)
10 bedrooms x 2 persons per bedroom = **20 persons**

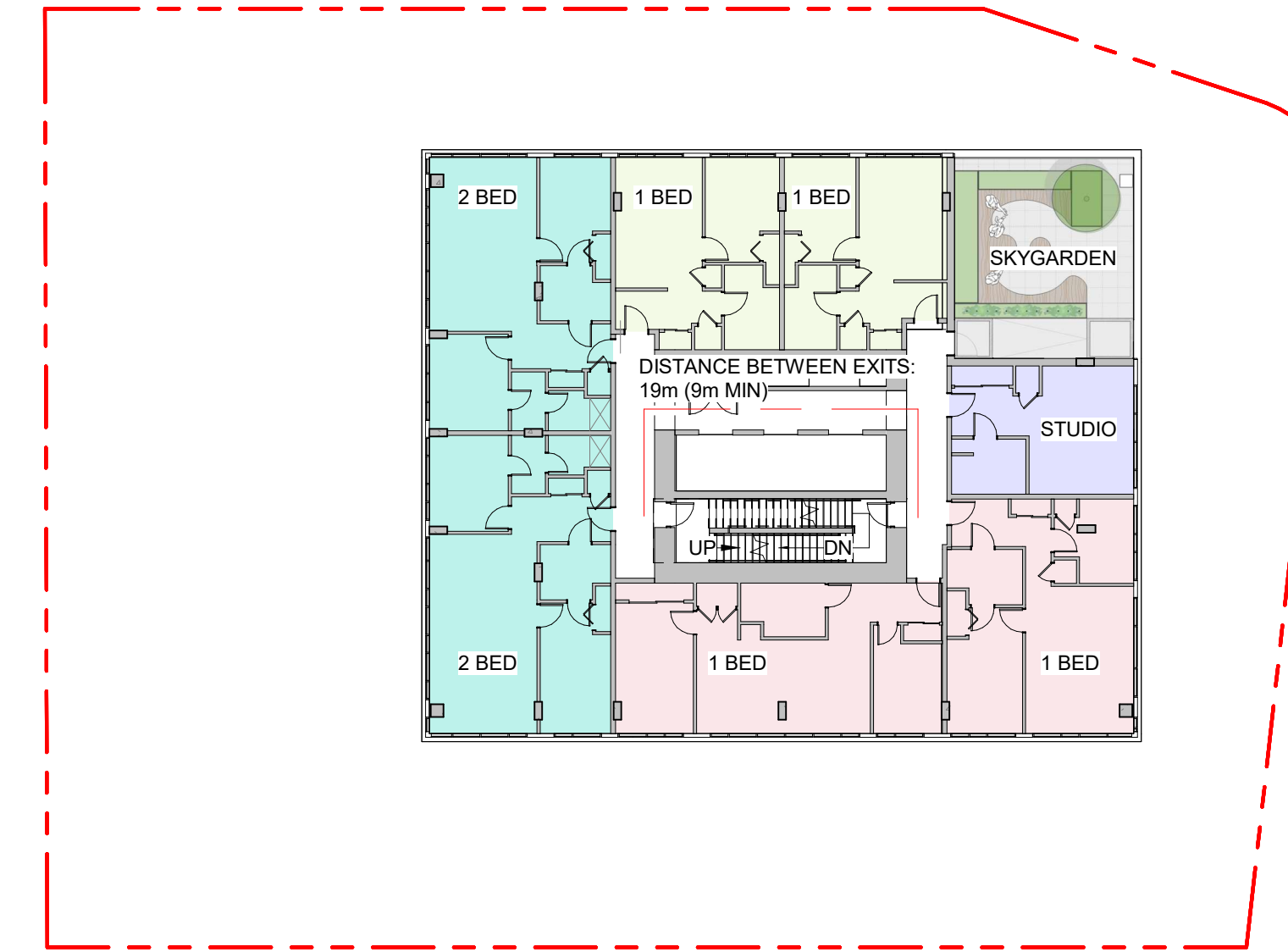
MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways
1100mm
Stairs
1100mm



2 Floor Plan - Sky Garden 1 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
Occupancy: Group C (Residences)
9 bedrooms x 2 persons per bedroom = **18 persons**
Occupancy: Group A, Division 2 (Skygarden Lounge)
55 / 1.85 = **30 persons**

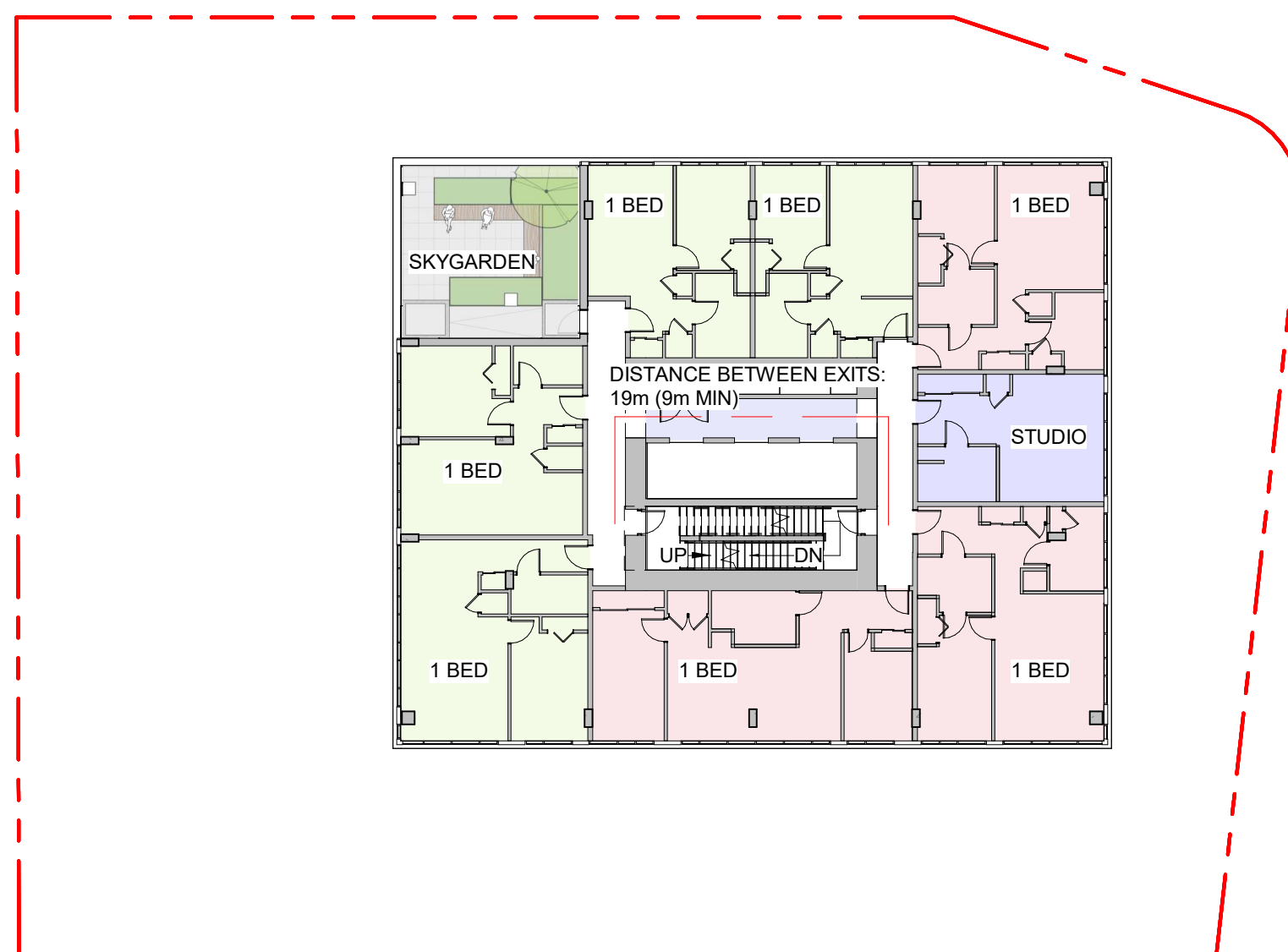
MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways
1100mm
Stairs
1100mm



3 Floor Plan - Sky Garden 2 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
Occupancy: Group C (Residences)
9 bedrooms x 2 persons per bedroom = **18 persons**
Occupancy: Group A, Division 2 (Skygarden Lounge)
55 / 1.85 = **30 persons**

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways
1100mm
Stairs
1100mm

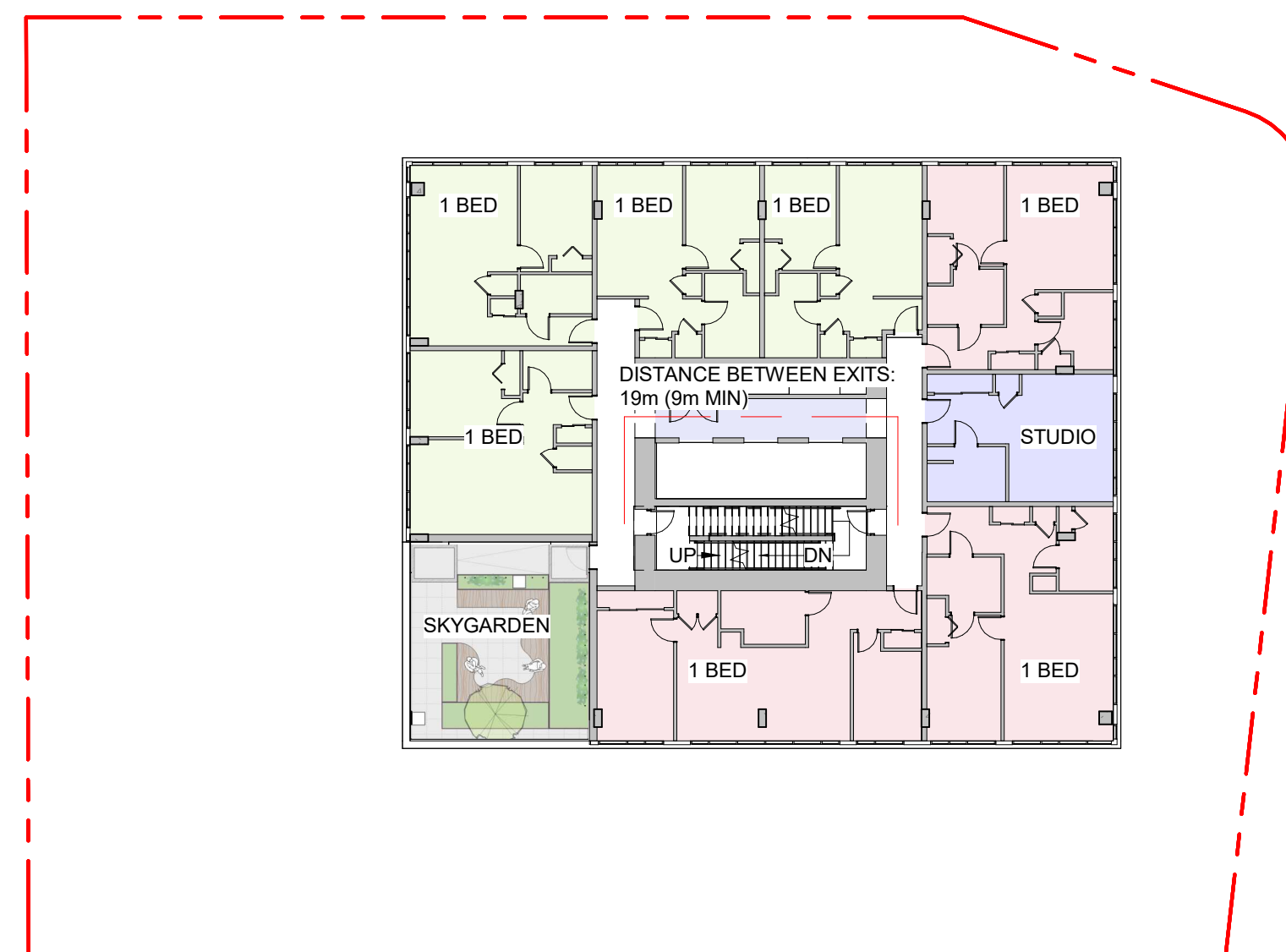


4 Floor Plan - Sky Garden 3 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
Occupancy: Group C (Residences)
8 bedrooms x 2 persons per bedroom = **16 persons**

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways
1100mm
Stairs
1100mm

Occupancy: Group A, Division 2 (Skygarden Lounge)
47 / 1.85 = **26 persons**

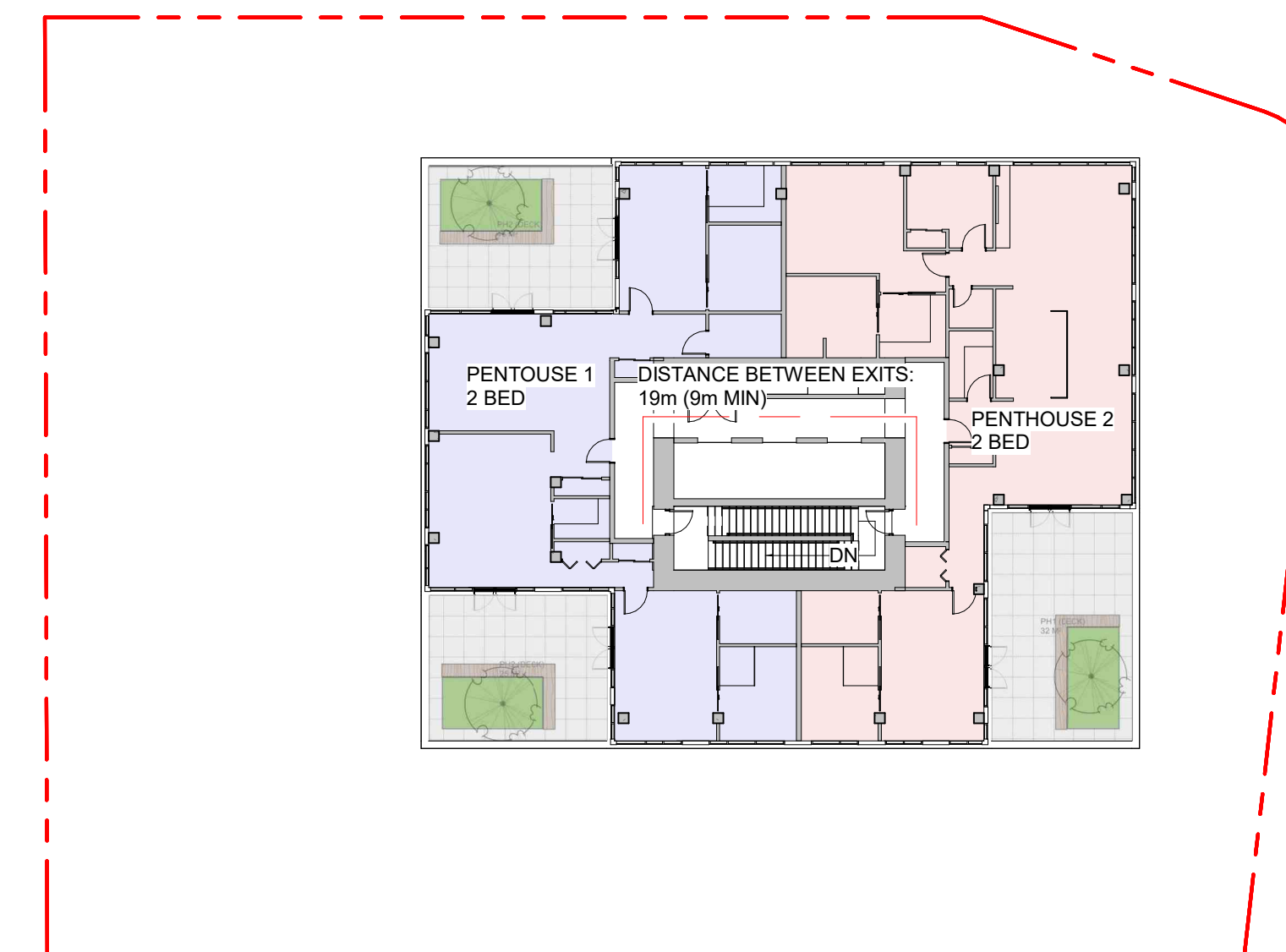


5 Floor Plan - Sky Garden 4 Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
Occupancy: Group C (Residences)
8 bedrooms x 2 persons per bedroom = **16 persons**

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways
1100mm
Stairs
1100mm

Occupancy: Group A, Division 2 (Skygarden Lounge)
55 / 1.85 = **30 persons**



6 Floor Plan - Penthouse Code Review
SCALE = 1 : 250

MINIMUM SEPARATION BETWEEN EXITS: 9m
OCCUPANT LOAD:
Occupancy: Group C (Residences)
4 bedrooms x 2 persons per bedroom = **8 persons**

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways
1100mm
Stairs
1100mm

2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

Project North

Sheet Name
Code Analysis

Date
March 30, 2026

Scale
1 : 250

Project #
2328

Revision
March 30, 2026
2

Sheet #
A0.52

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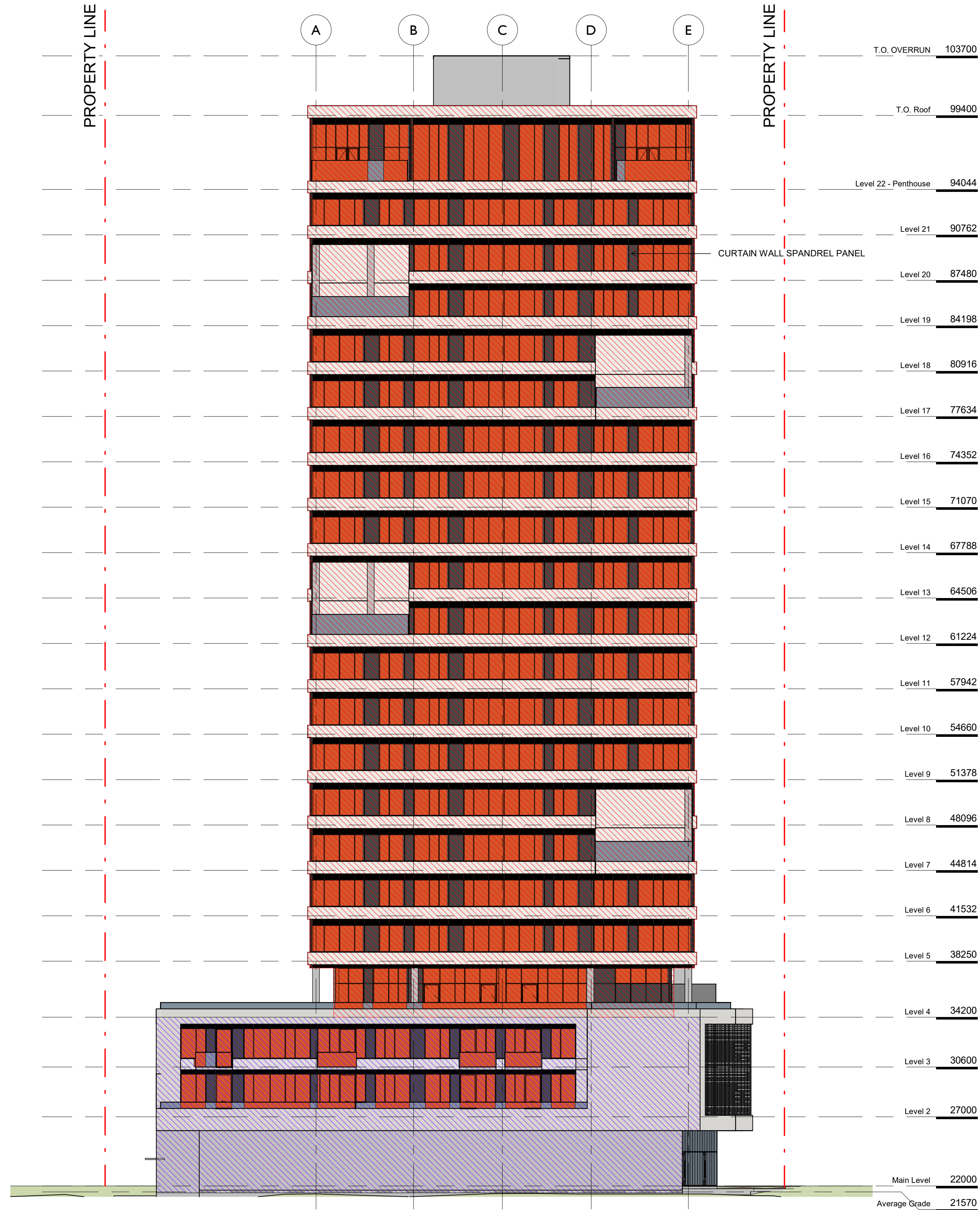
SOUTH ELEVATION

L1, PODIUM

Occupancy Classification	Table 3.2.3.1-D					Table 3.2.3.7		
	Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
Group C	5.5m	493.5m ²	46%	111.56m ²	23%	45 min	Any	Noncombustible

TOWER

Occupancy Classification	Table 3.2.3.1-D					Table 3.2.3.7		
	Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
Group A, C & D	8.1m	1826.9m ²	83%	738.7m ²	40%	45 min	Any	Combustible or Noncombustible



1 Elevation - South Limiting Distance Key
SCALE = 1 : 200

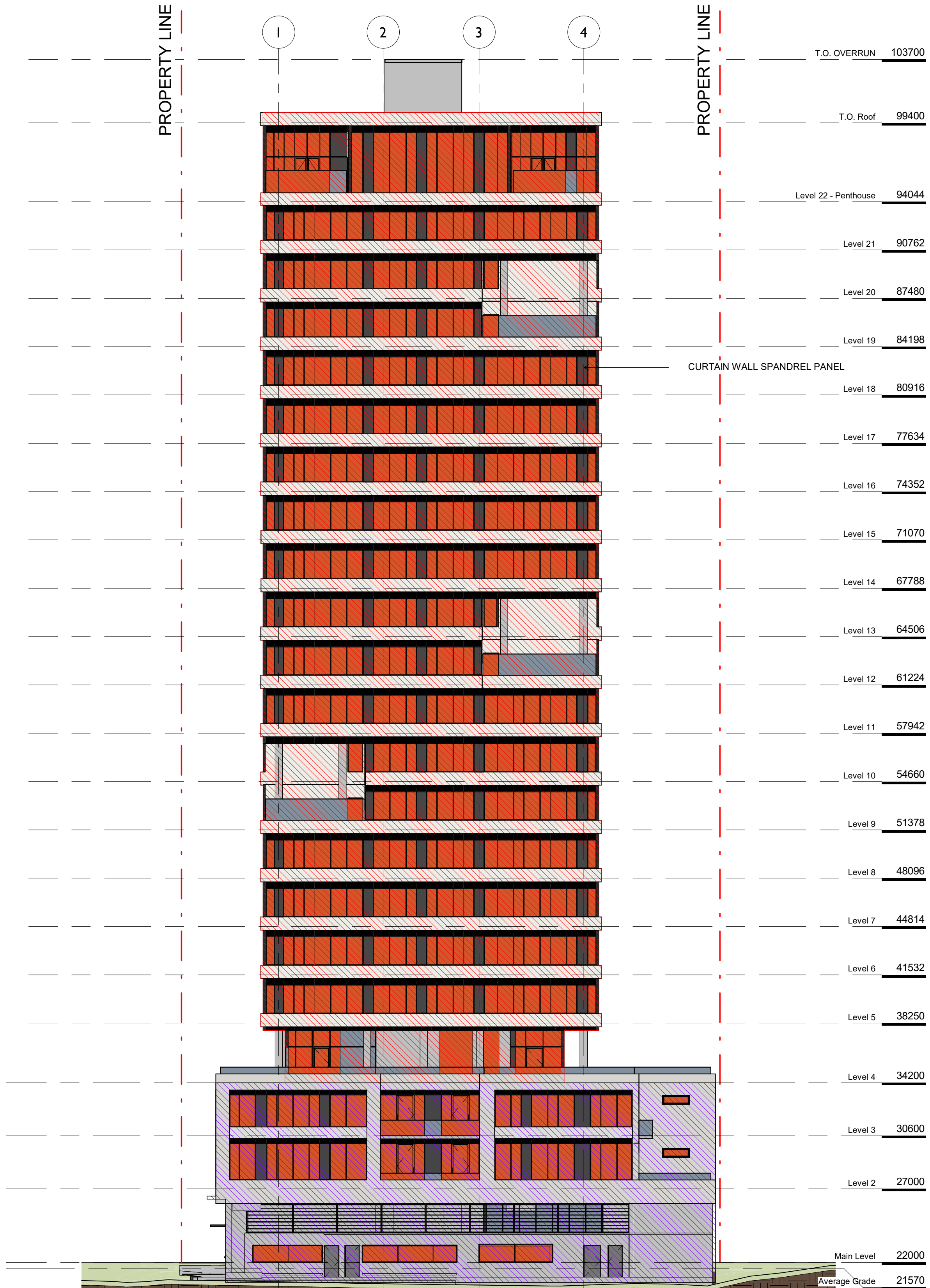
WEST ELEVATION

L1, PODIUM

Occupancy Classification	Table 3.2.3.1-D					Table 3.2.3.7		
	Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
Group A & C	3.7m	456.3m ²	28%	121.8m ²	27%	45 min	Any	Noncombustible

TOWER

Occupancy Classification	Table 3.2.3.1-D					Table 3.2.3.7		
	Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
Group C & D	14.7m	1495.1m ²	100%	656.8m ²	44%	45 min	Any	Combustible or Noncombustible



2 Elevation - West Limiting Distance Key
SCALE = 1 : 200

NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
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Sheet Name
Spatial Separations South +
West

Date
March 30, 2026

Scale
1 : 200

Project #
2328

Revision
April 3rd, 2025

Sheet #
1

A0.53

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NORTH ELEVATION

L1

Occupancy Classification
Group E

Table 3.2.3.1-E				
Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)
13.3m	210.2m ²	98%	110.8m ²	53%

Table 3.2.3.7		
Required FRR	Required Type of Construction	Required Type of Cladding
1 Hr	Any	Combustible or Noncombustible

PODIUM

Occupancy Classification
Group C

Table 3.2.3.1-D				
Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)
11.6m	310.5m ²	100%	127.5m ²	41%

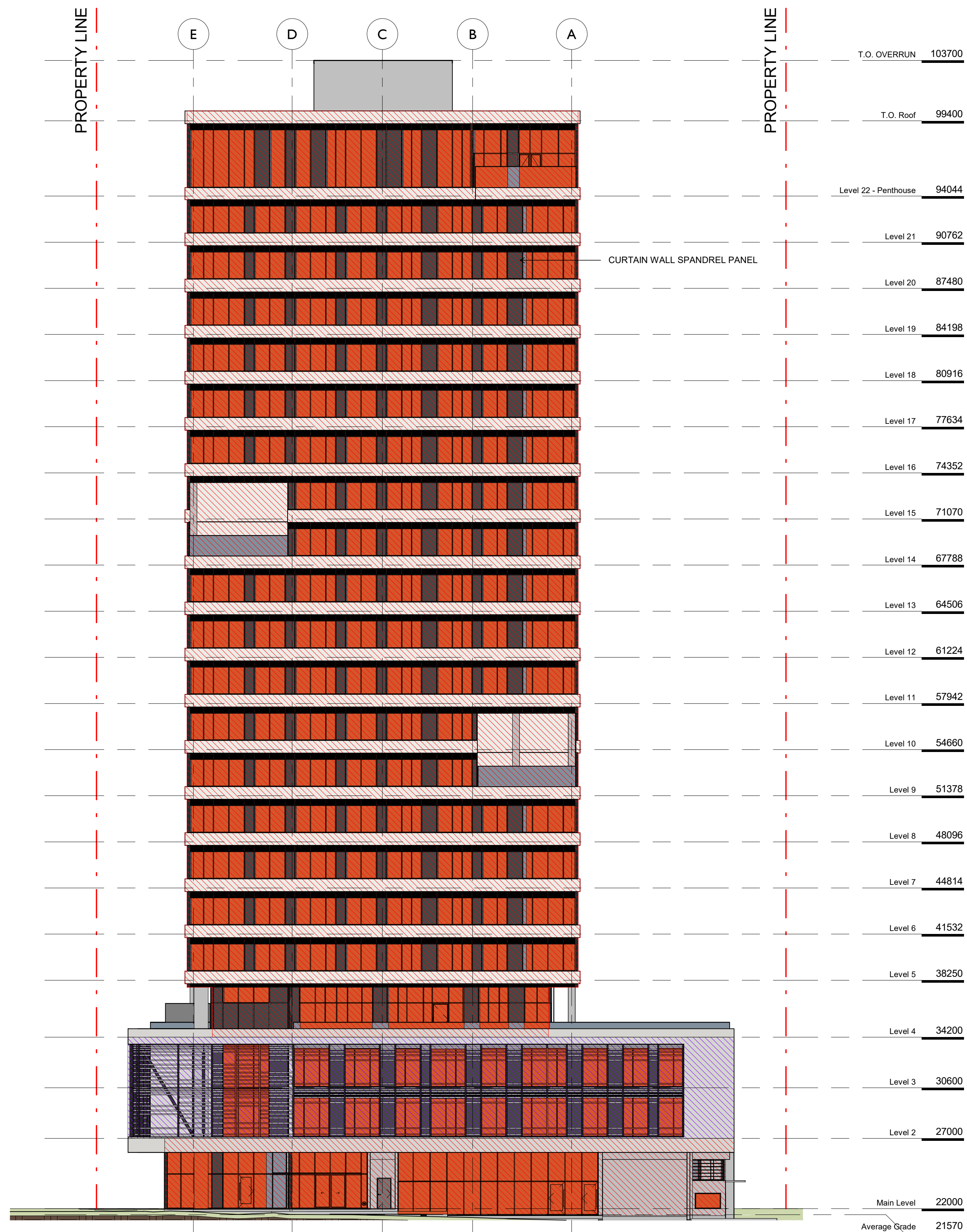
Table 3.2.3.7		
Required FRR	Required Type of Construction	Required Type of Cladding
45 min	Any	Combustible or Noncombustible

TOWER

Occupancy Classification
Group A, C & D

Table 3.2.3.1-D				
Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)
15.5m	1824.3m ²	100%	778.0m ²	43%

Table 3.2.3.7		
Required FRR	Required Type of Construction	Required Type of Cladding
45 min	Any	Combustible or Noncombustible



1 Elevation - North Limiting Distance Key
SCALE = 1 : 200

EAST ELEVATION

L1

Occupancy Classification
Group E

Table 3.2.3.1-E				
Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)
18.0m	167.0m ²	100%	126.8m ²	76%

Table 3.2.3.7		
Required FRR	Required Type of Construction	Required Type of Cladding
1 Hr	Any	Combustible or Noncombustible

PODIUM

Occupancy Classification
Group C

Table 3.2.3.1-D				
Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)
16.6m	244.7m ²	100%	88.7m ²	36%

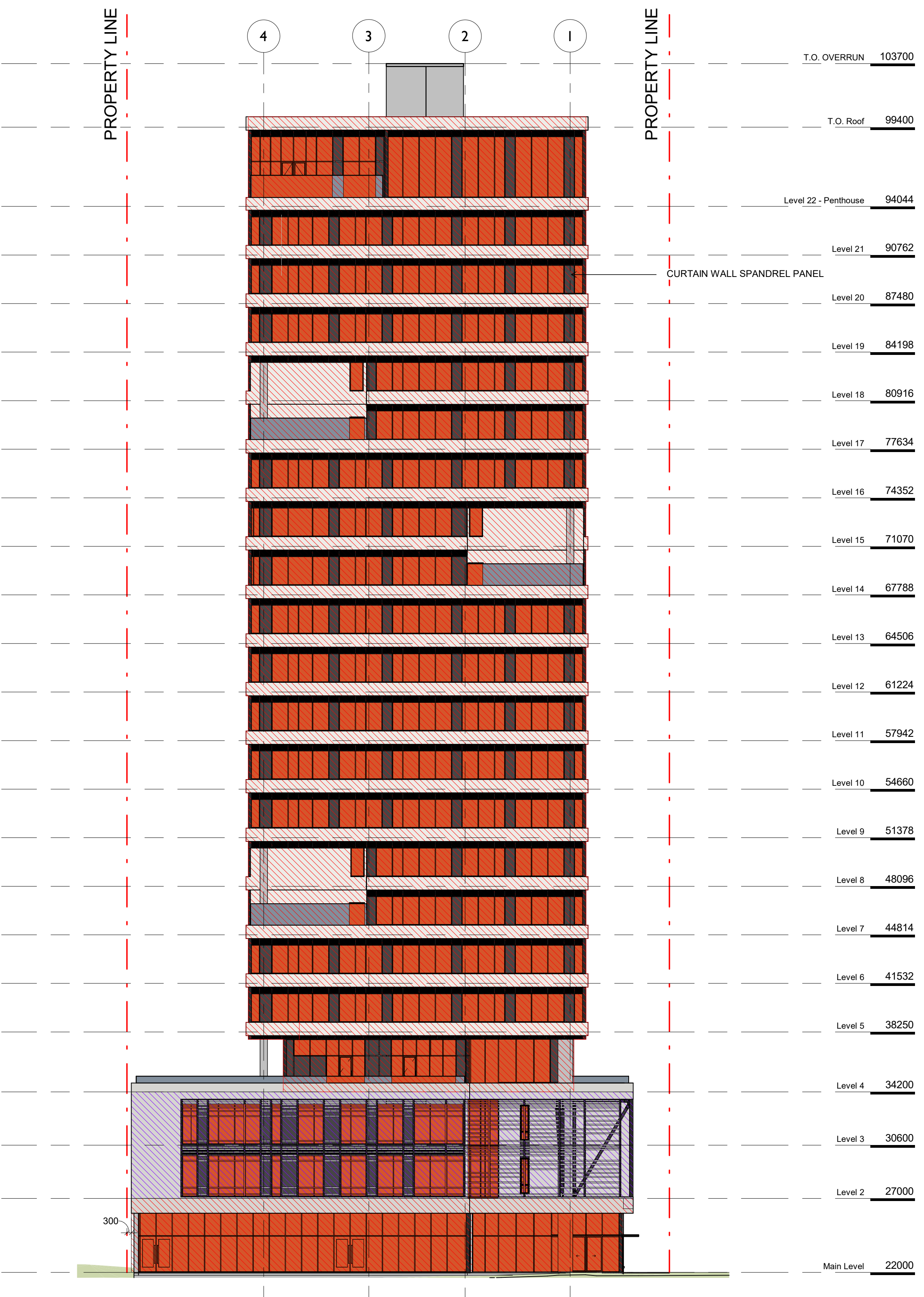
Table 3.2.3.7		
Required FRR	Required Type of Construction	Required Type of Cladding
45 min	Any	Combustible or Noncombustible

TOWER

Occupancy Classification
Group C

Table 3.2.3.1-D				
Limiting Distance (m)	Area of Exposing Building Face (m ²)	Allowable Openings (%)	Proposed Openings (m ²)	Proposed Openings (%)
17.8m	1497.6m ²	100%	631.8m ²	42%

Table 3.2.3.7		
Required FRR	Required Type of Construction	Required Type of Cladding
45 min	Any	Combustible or Noncombustible



2 Elevation - East Limiting Distance Key
SCALE = 1 : 200

NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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**741 Fisgard Street
Development Permit /
Rezoning Application**

Sheet Name
**Spatial Separations North +
East**

Date
March 30, 2026

Scale
1 : 200

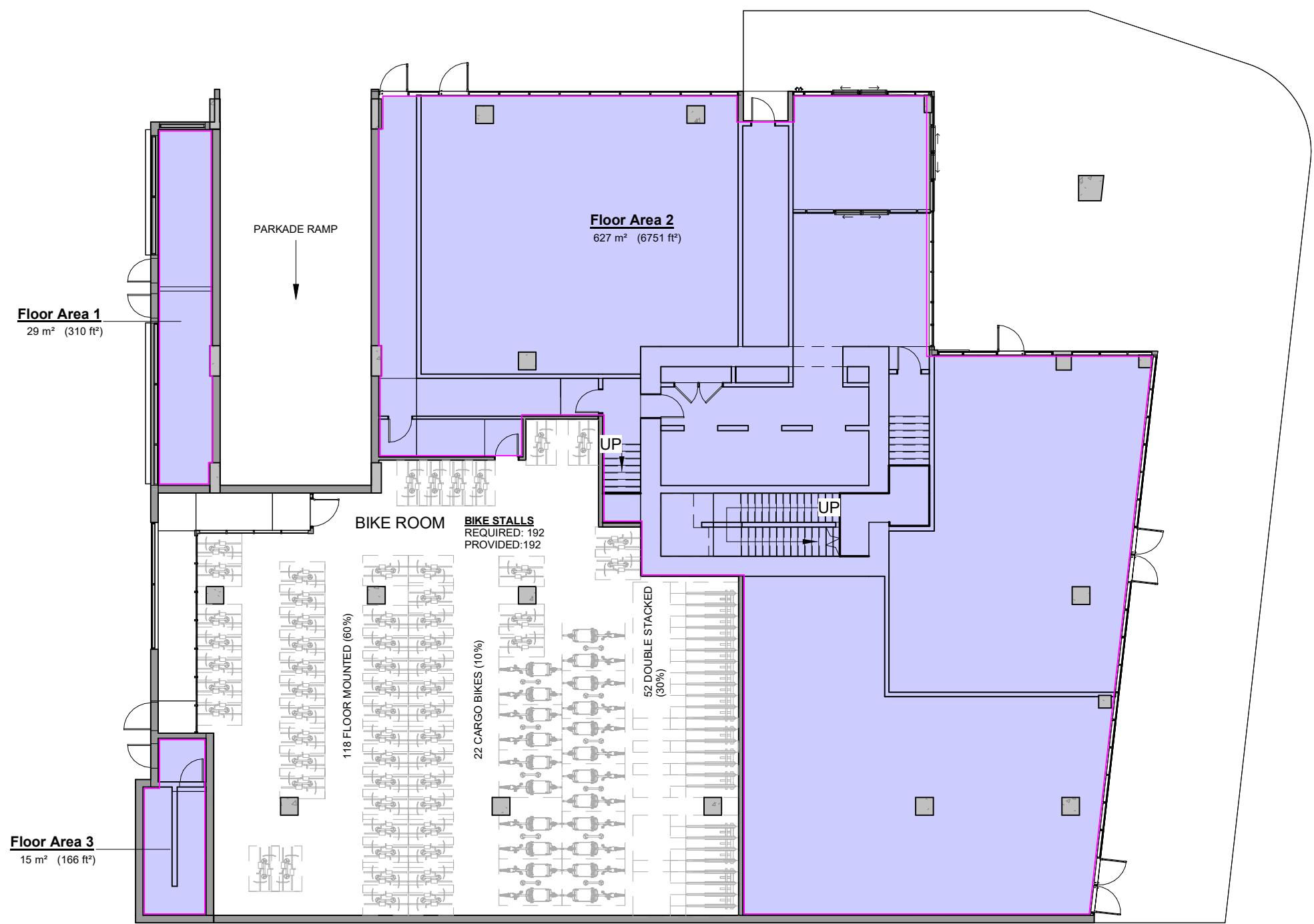
Project #
2328

Revision
April 3rd, 2025

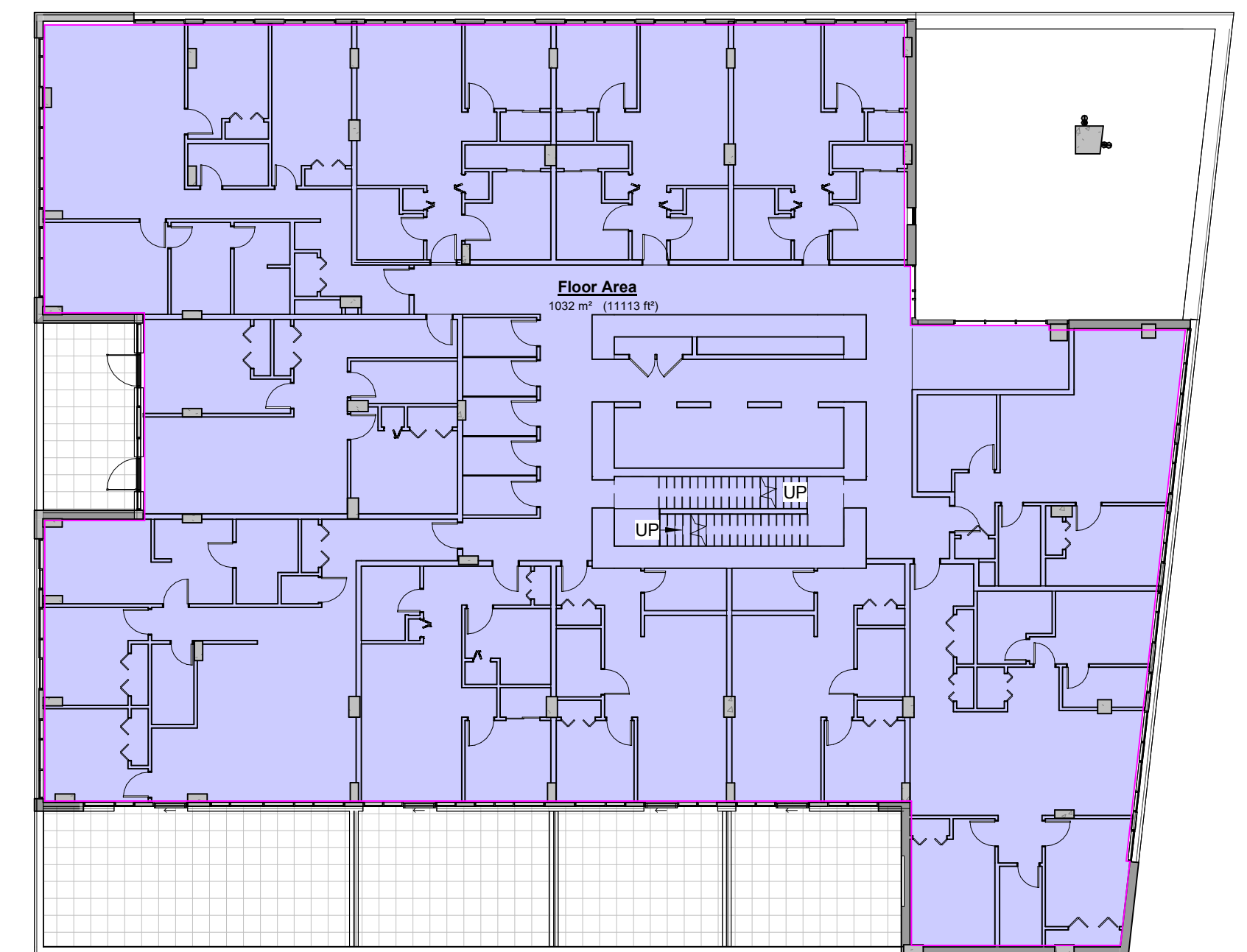
Sheet #
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A0.54

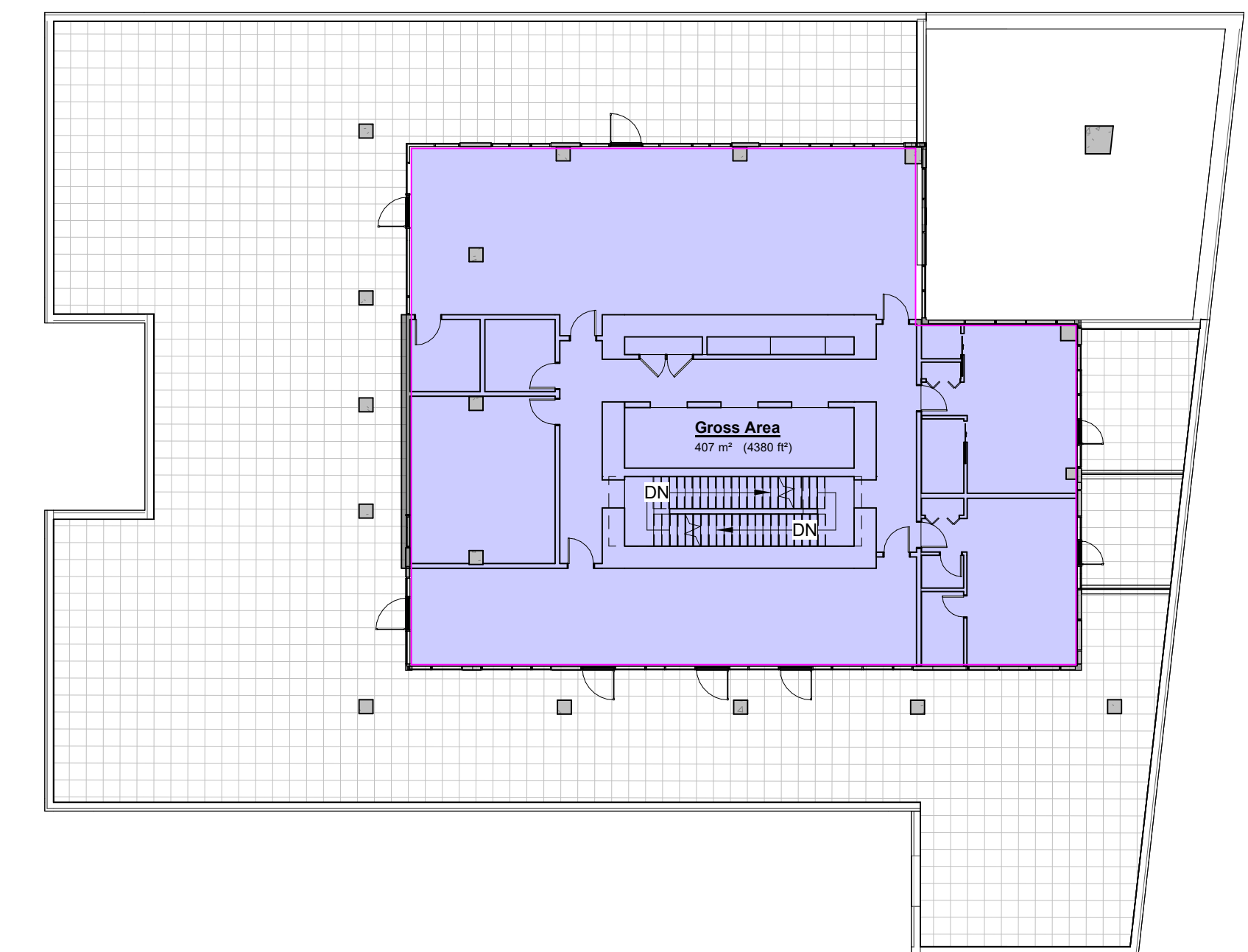
2026-04-01 3/31/2026 9:03:04 AM



1 Level 1 - CRU
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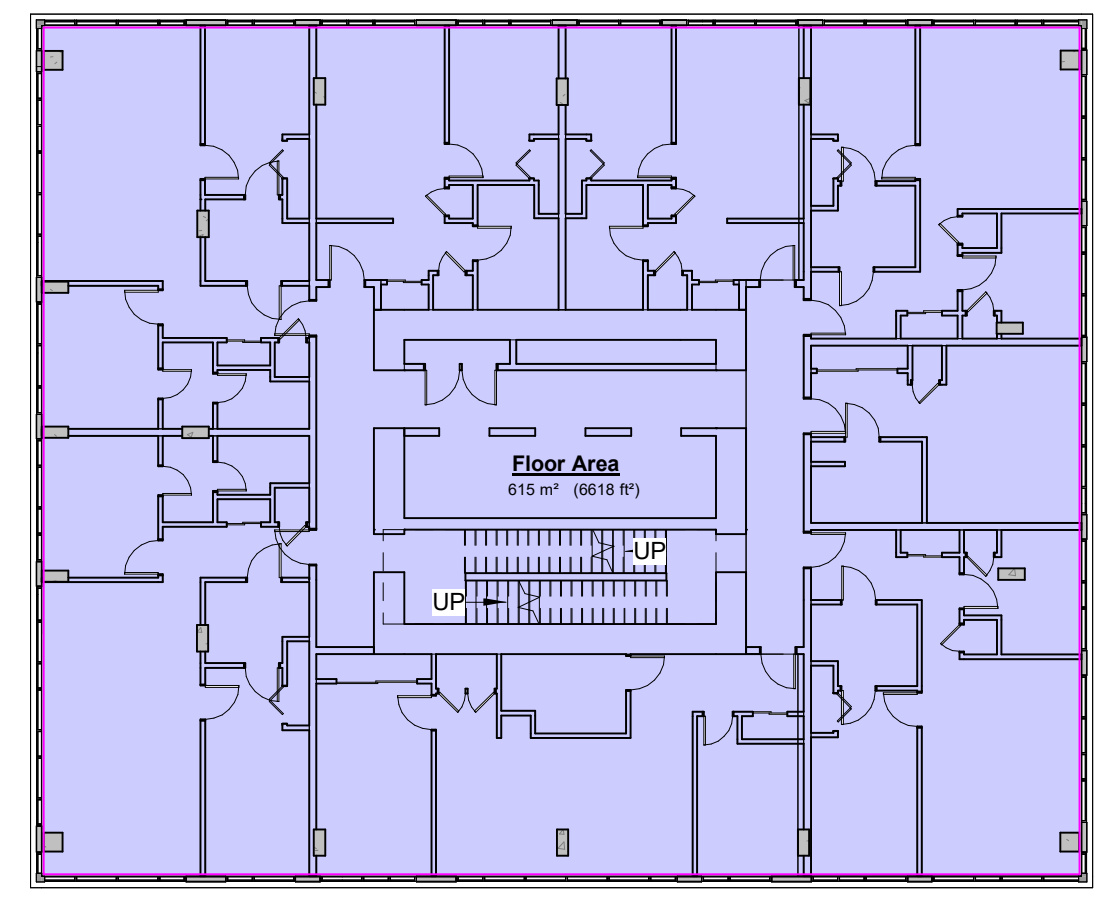
2 Level 2 & 3 - Typical Podium Residential Level x2
SCALE = 1 : 200



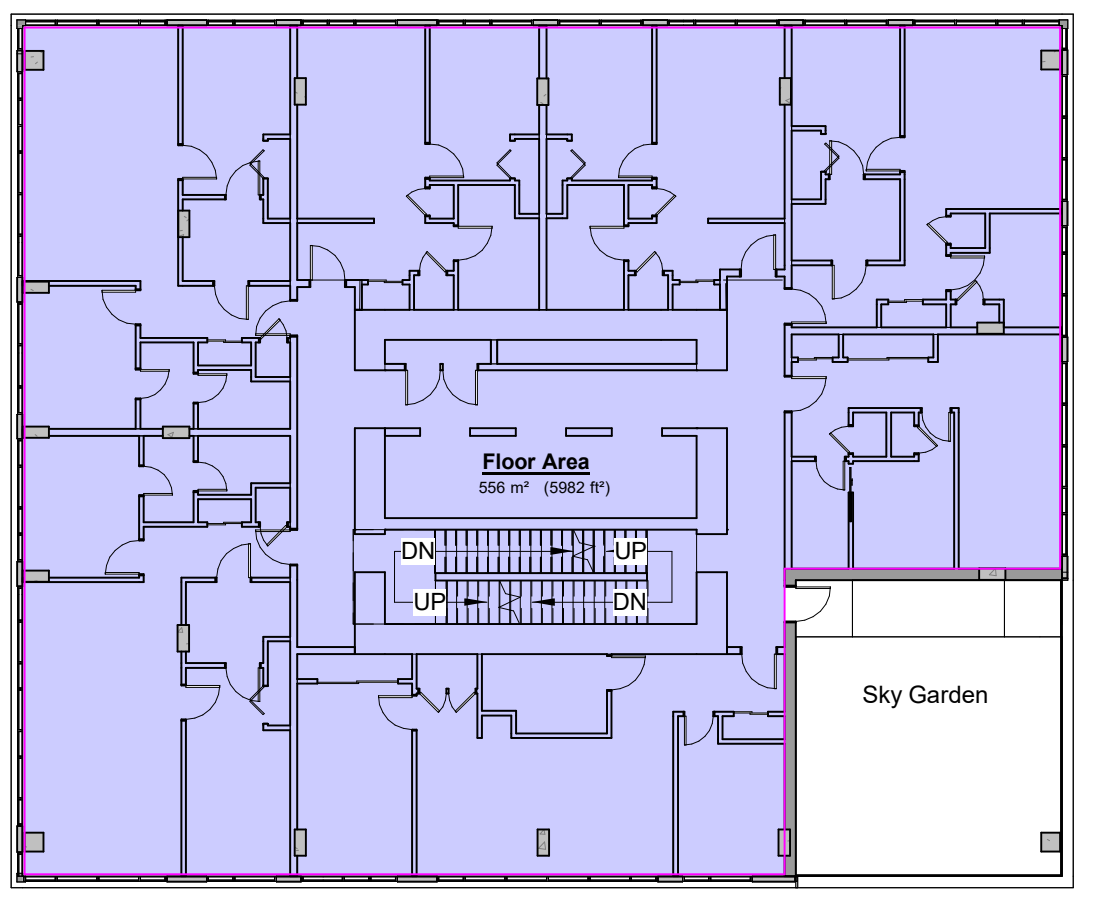
3 Level 4 - Amenity
SCALE = 1 : 200

Floor Area FSR	
Level	Area
Main Level	627.23 m ²
Main Level	28.80 m ²
Main Level	15.46 m ²
Level 2	1032.41 m ²
Level 3	1032.41 m ²
Level 4	406.93 m ²
Level 5	614.82 m ²
Level 6	614.82 m ²
Level 7	555.78 m ²
Level 8	555.78 m ²
Level 9	563.08 m ²
Level 10	563.08 m ²
Level 11	614.82 m ²
Level 12	555.36 m ²
Level 13	555.36 m ²
Level 14	555.46 m ²
Level 15	555.46 m ²
Level 16	614.82 m ²
Level 17	555.78 m ²
Level 18	555.78 m ²
Level 19	555.36 m ²
Level 20	555.36 m ²
Level 21	614.82 m ²
Level 22 - Penthouse	479.52 m ²
Grand total: 24	13378.47 m ²

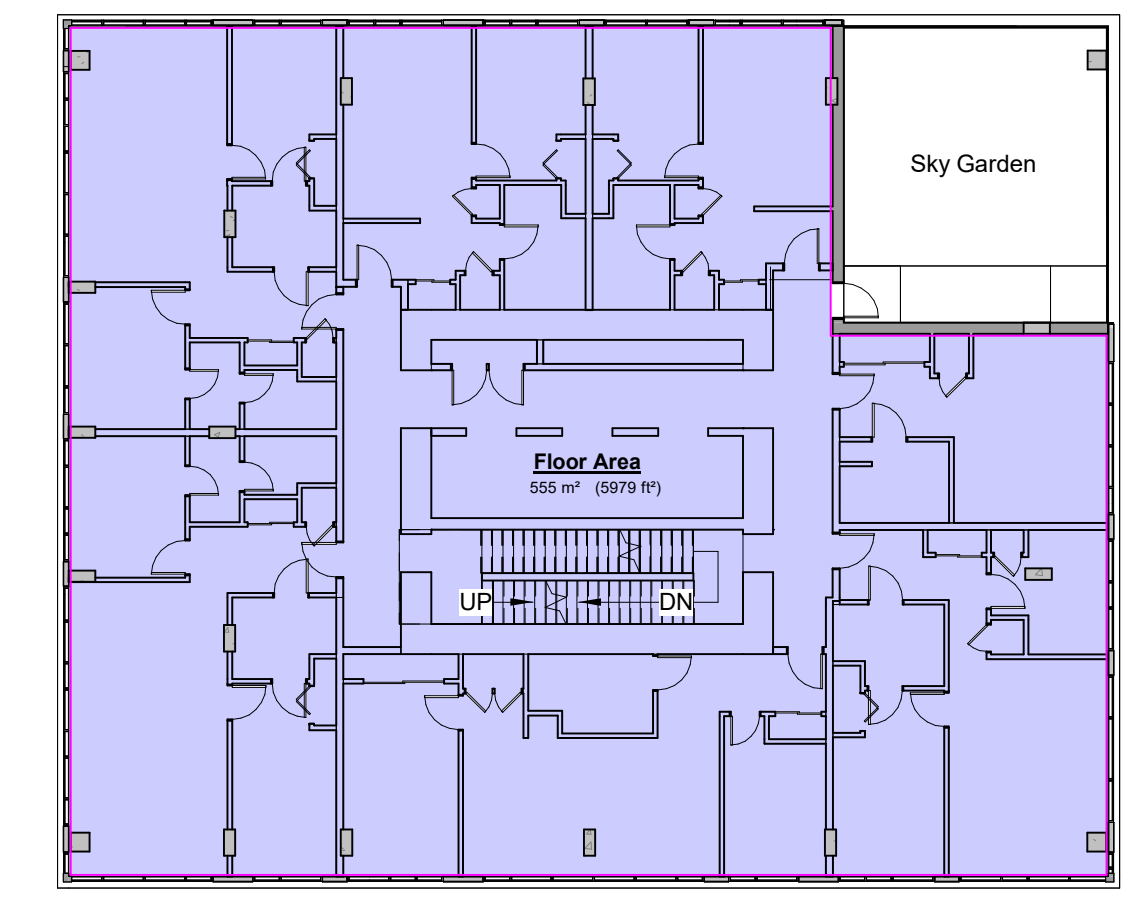
GROSS BUILDING AREA (ZONING)
MEASURED TO INTERIOR FACE OF EXTERIOR WALLS EXCLUSIVE OF PARKADE AND BIKE PARKING
TOTAL: 13,3378m²
LOT AREA: 1,760 m²
FSR: 13,378/1,760 = 7.60



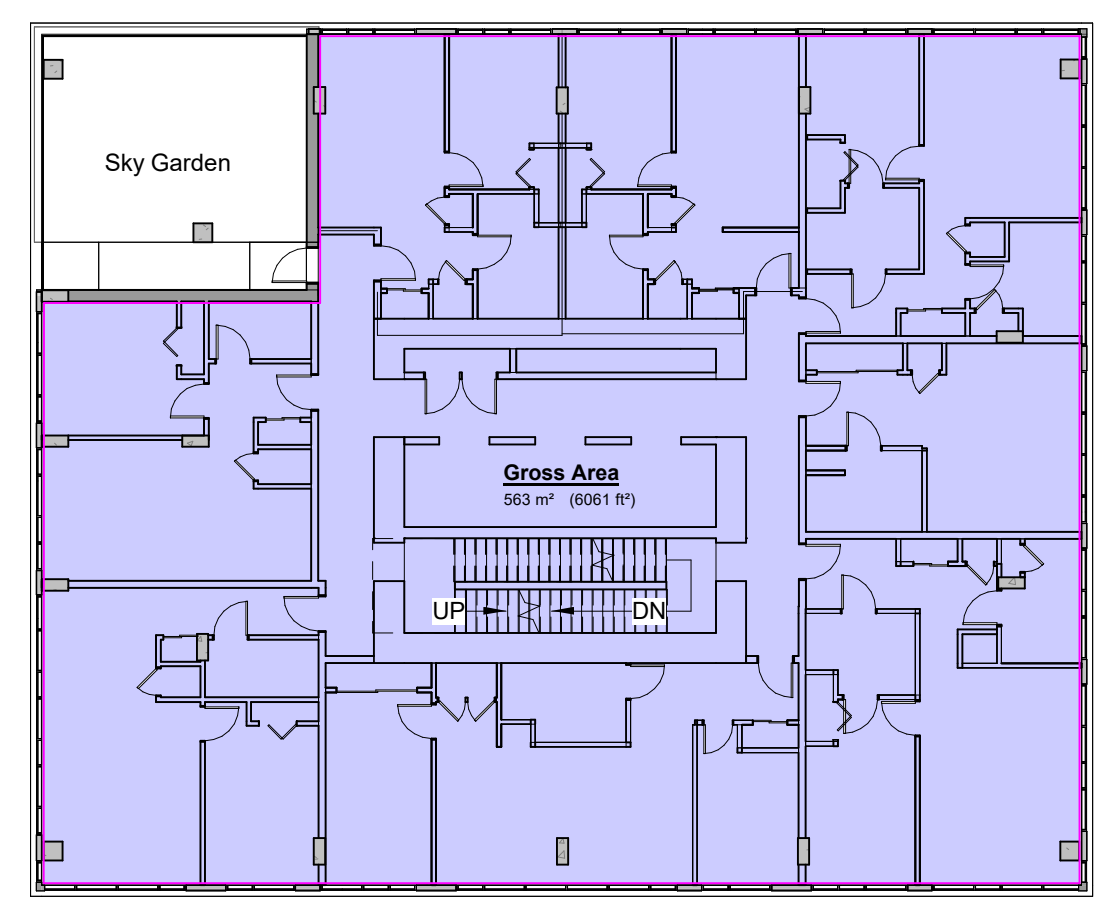
4 Level 5 - Typical Residential Level
SCALE = 1 : 200
LEVELS 5,6,11,16,21



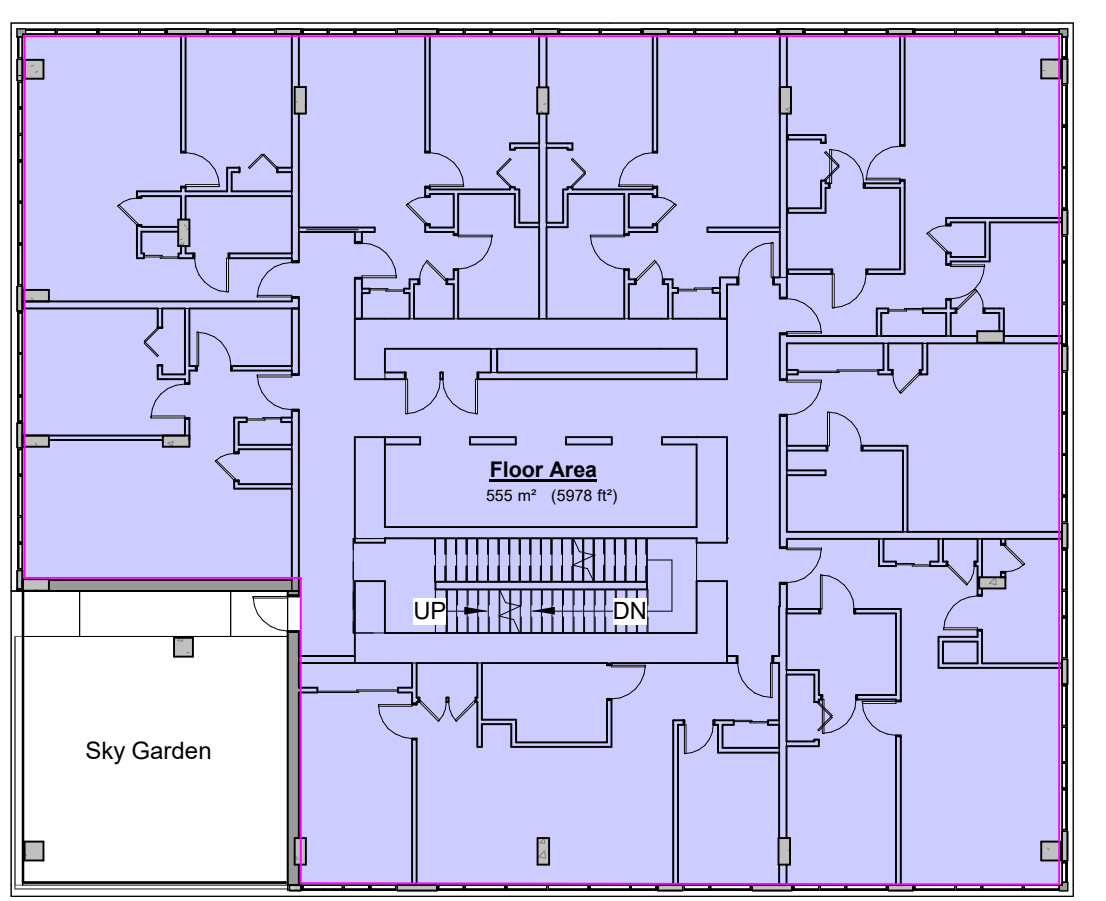
5 Typical Sky Garden Level - Type 1
SCALE = 1 : 200
LEVELS 7,8,17,18



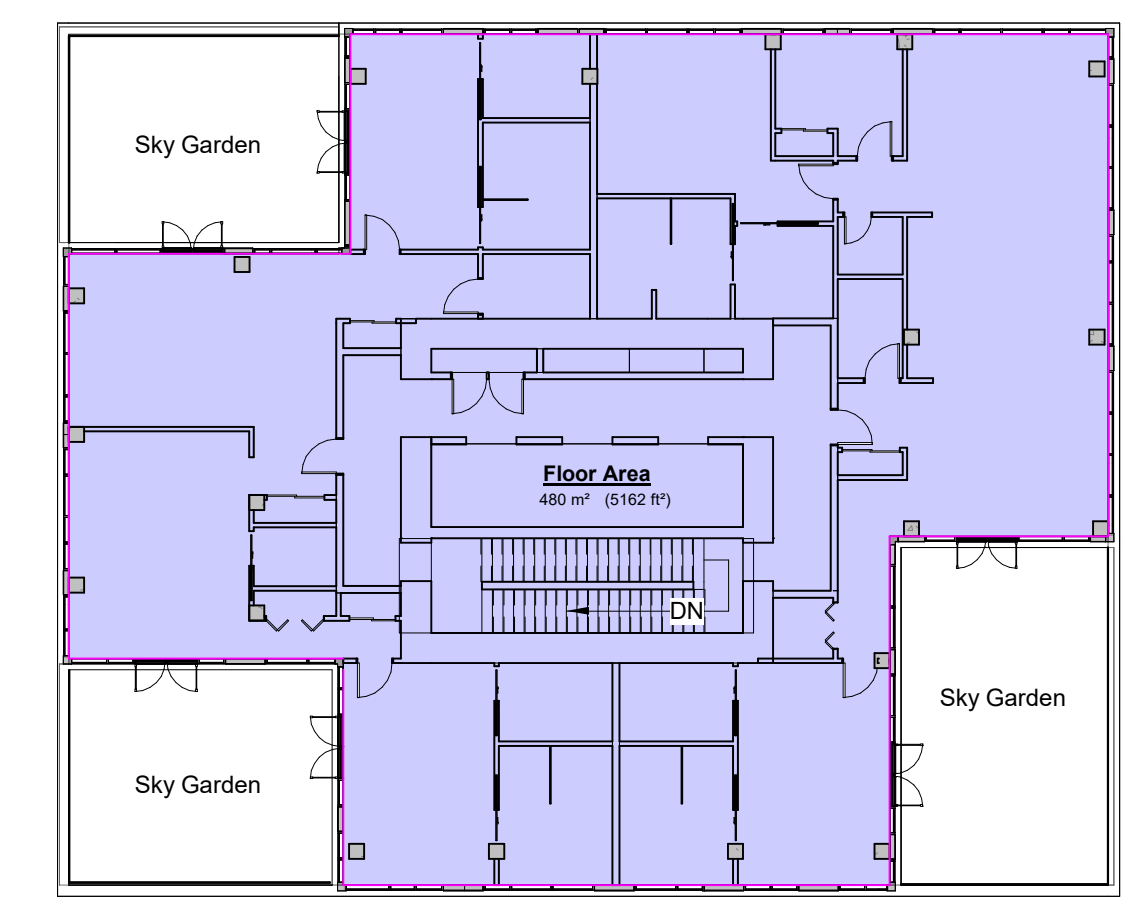
6 Typical Sky Garden Level - Type 2
SCALE = 1 : 200
LEVELS 14,15



7 Typical Sky Garden Level - Type 3
SCALE = 1 : 200
LEVELS 9,10



8 Typical Sky Garden Level - Type 4
SCALE = 1 : 200
LEVELS 12,13,19,20



9 Penthouse Level 1
SCALE = 1 : 200

NO.	DESCRIPTION	DATE
2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
Development Permit /
Rezoning Application

Project North

Sheet Name
Area Plans and Calculations

Date
March 30, 2026

Scale
1 : 200

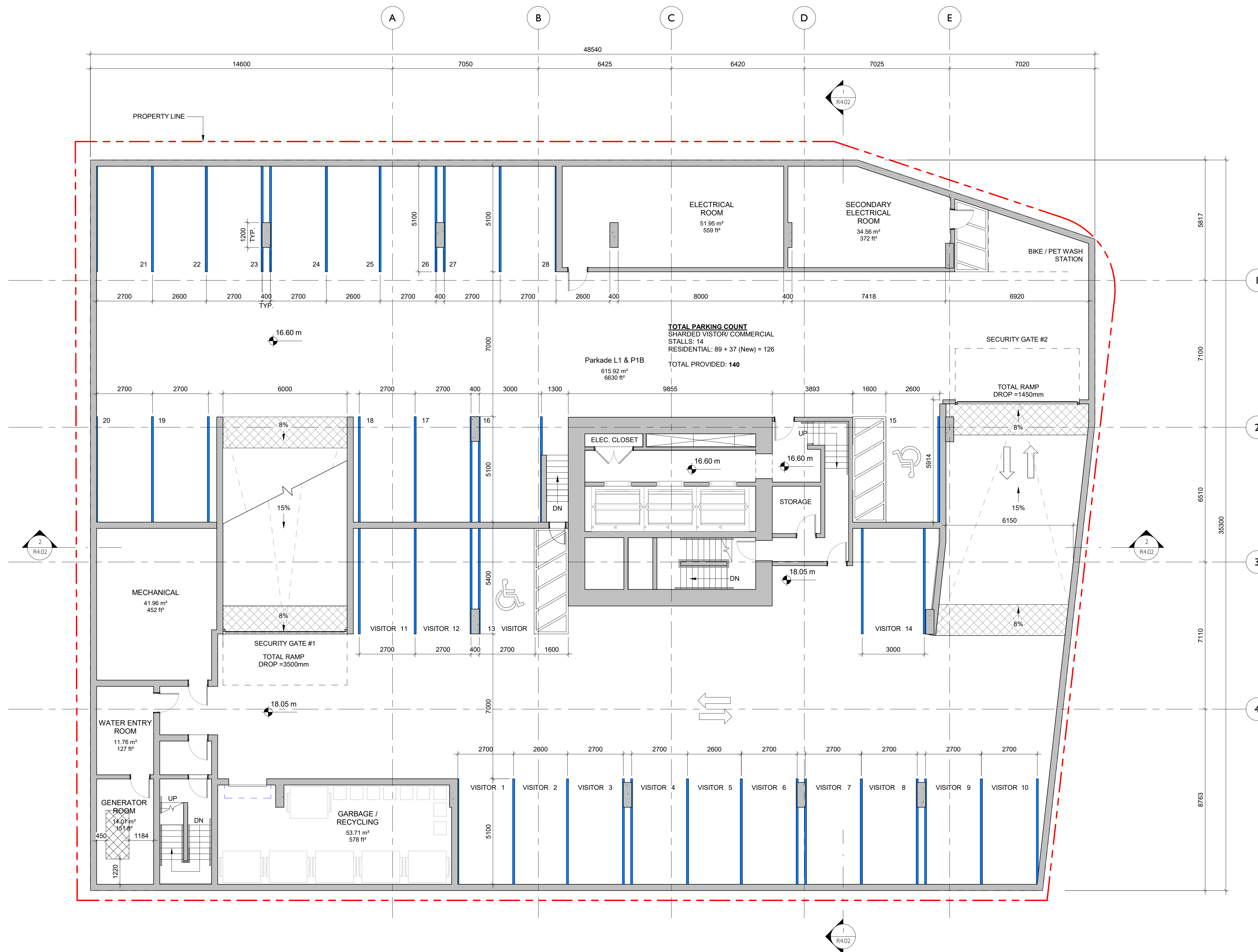
Project #
2328

Revision
March 30, 2026
2

Sheet #
A1.02

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NO.	DESCRIPTION	DATE
2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
Development Permit /
Rezoning Application

Sheet Name
Floor Plan - Parkade Level 1

Date
March 30, 2026

Scale
1 : 100

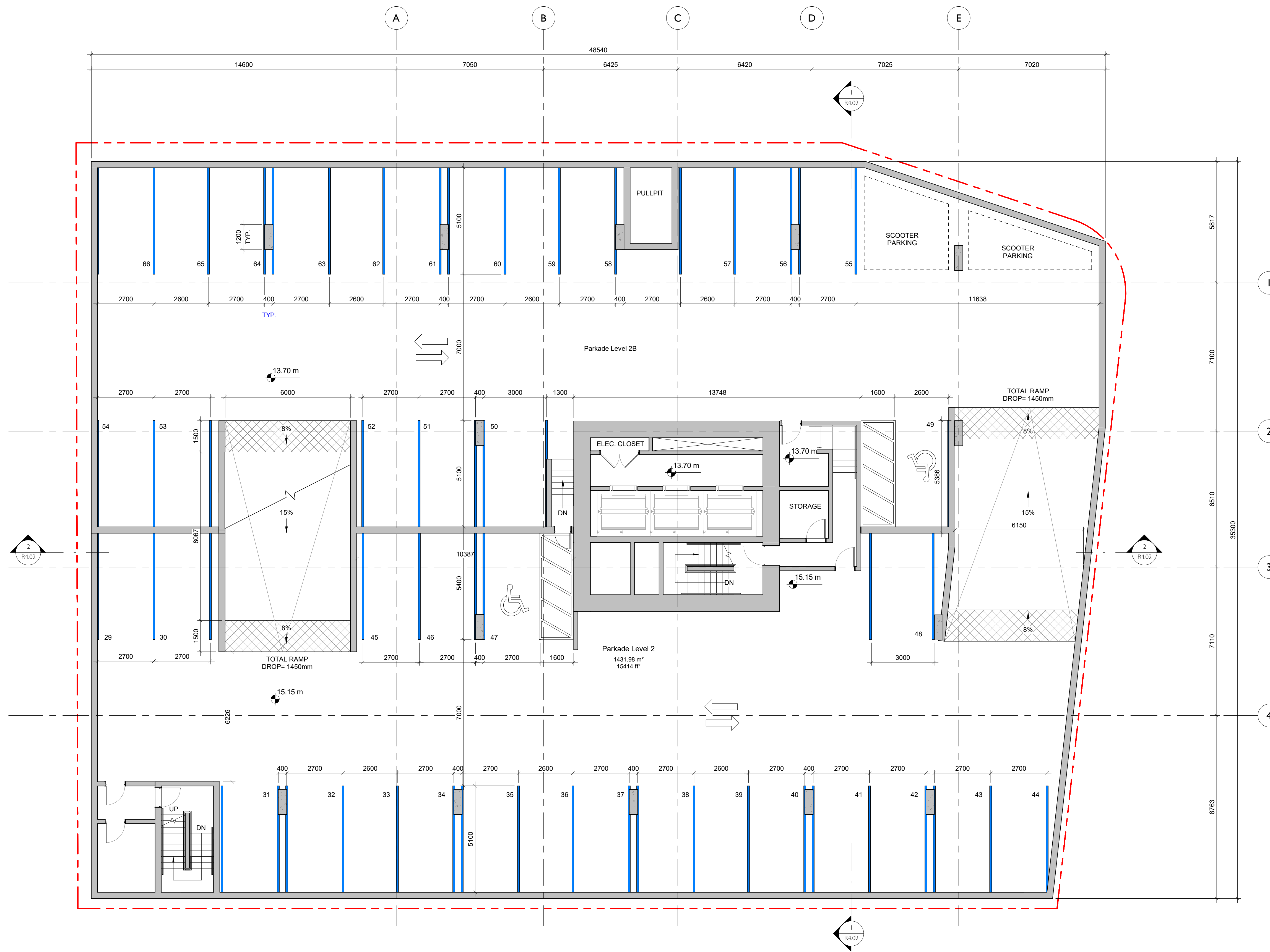
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2328

Revision
2
 March 30, 2026

Sheet #
A2.00

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NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
Development Permit /
Rezoning Application

Project North

Sheet Name
Floor Plan - Parkade Level 2

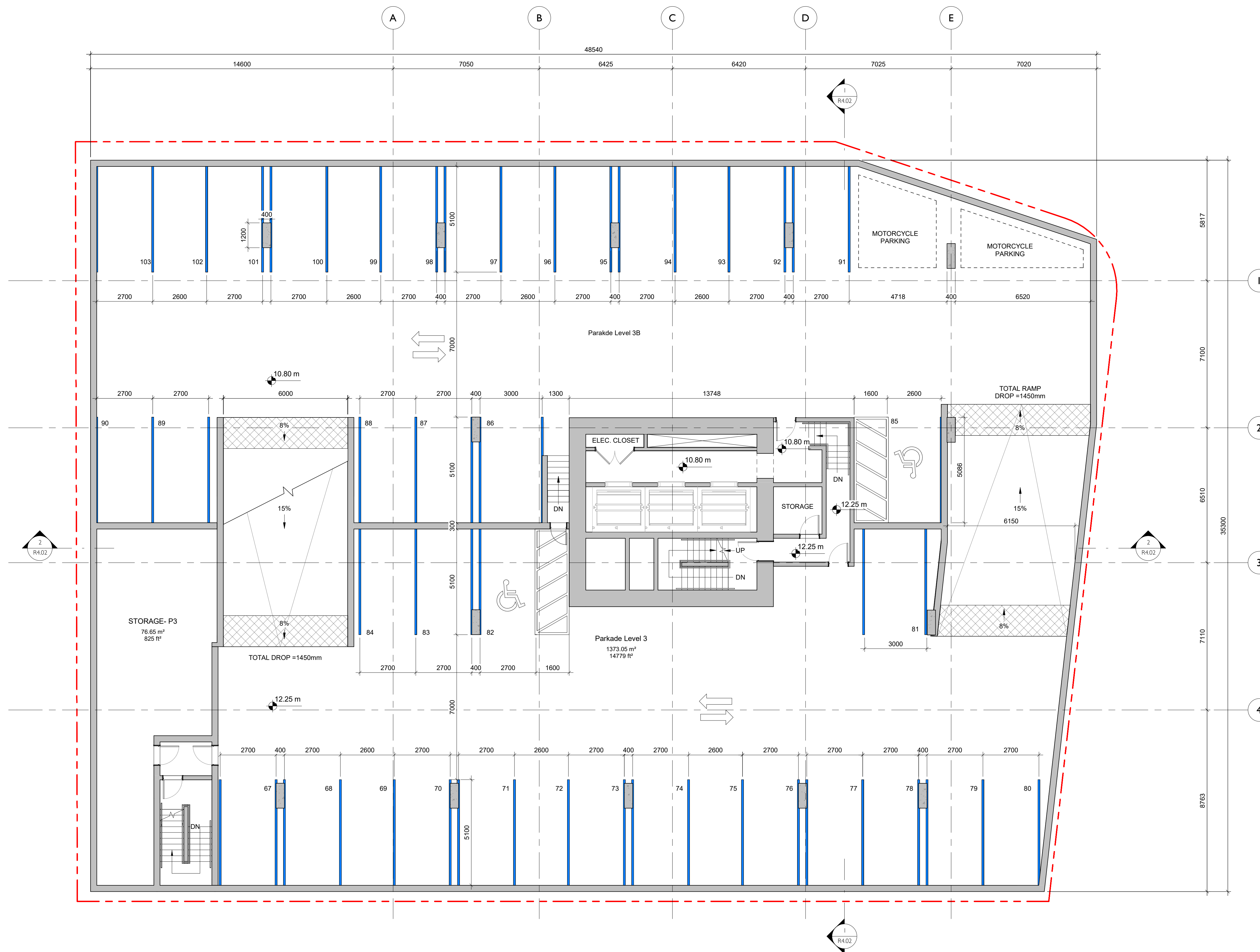
Date
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Project #
2328

Revision
April 3rd, 2025
1

Sheet #
A2.01



2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

80.47°
Project North

Sheet Name
Floor Plan - Parkade Level 3

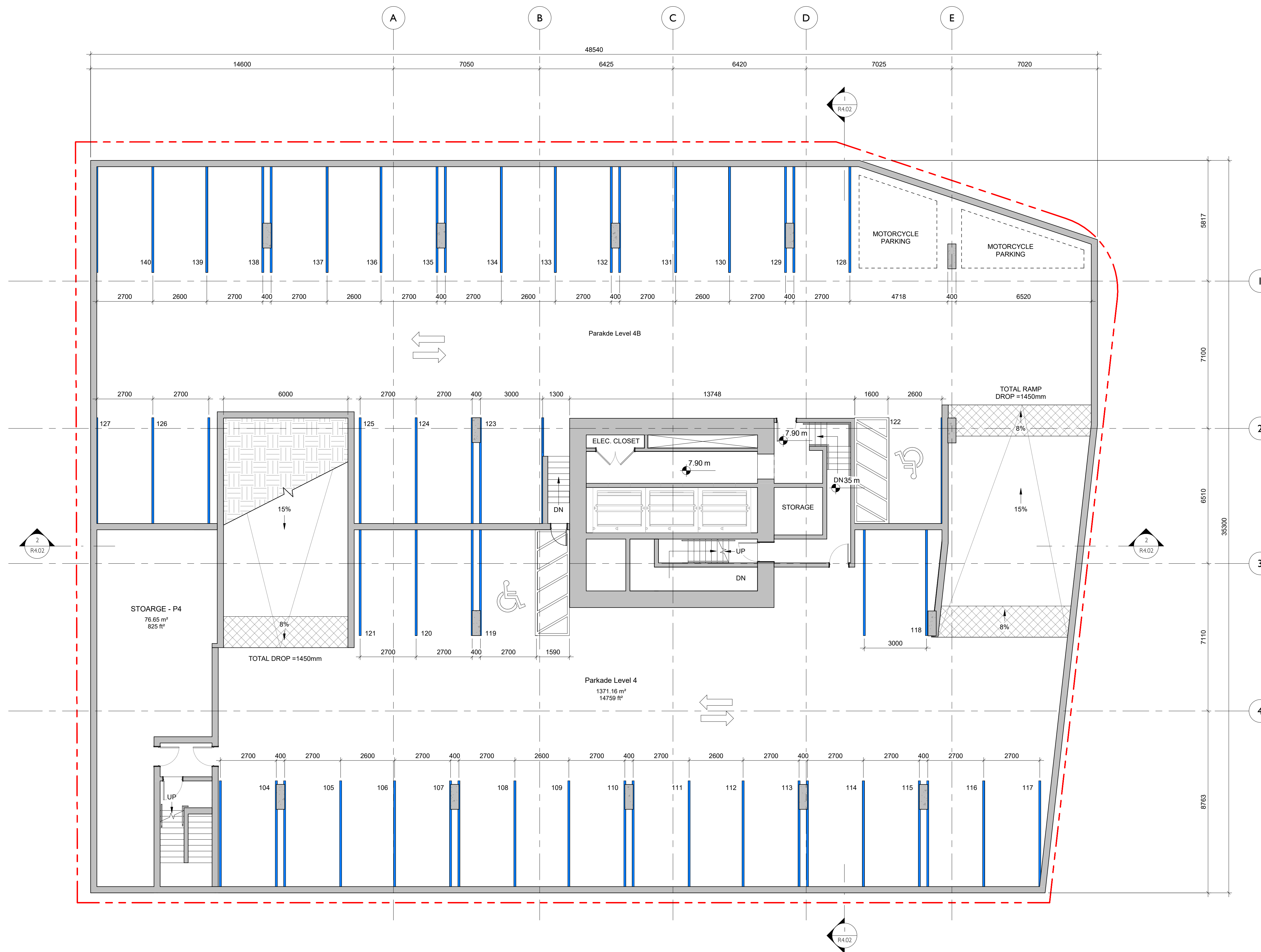
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March 30, 2026

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Project #
2328

Revision
March 30, 2026
2

Sheet #
A2.02



NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission II	March 30, 2026



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**741 Fisgard Street
Development Permit /
Rezoning Application**

Project North

Sheet Name
Floor Plan - Parkade Level 4

Date
March 30, 2026

Scale
1 : 100

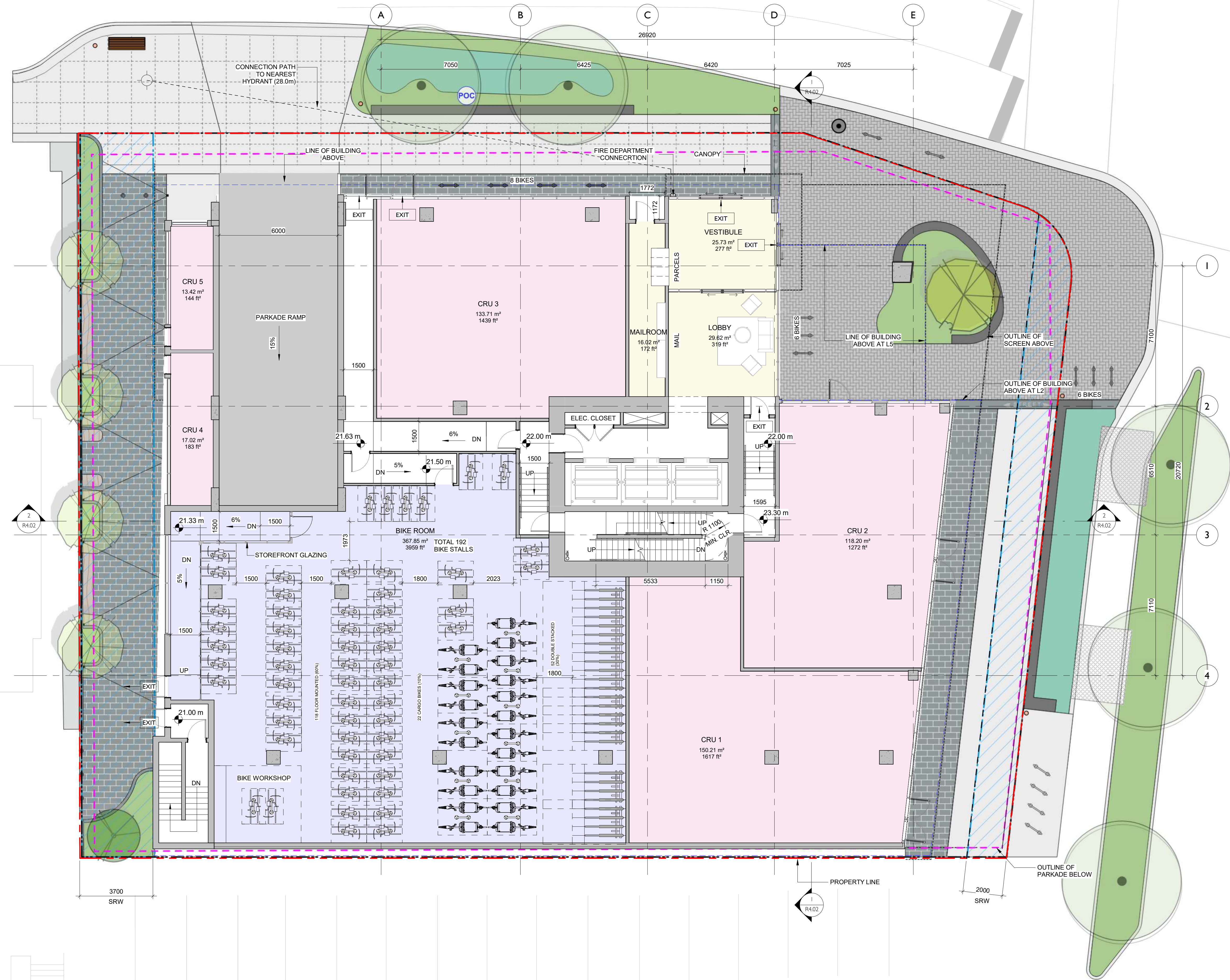
Project #
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Revision
March 30, 2026 **1**

Sheet #
A2.03

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NO.	DESCRIPTION	DATE
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1	DP Rezoning Resubmission	April 3rd, 2025



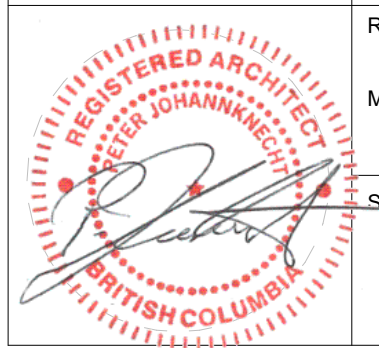
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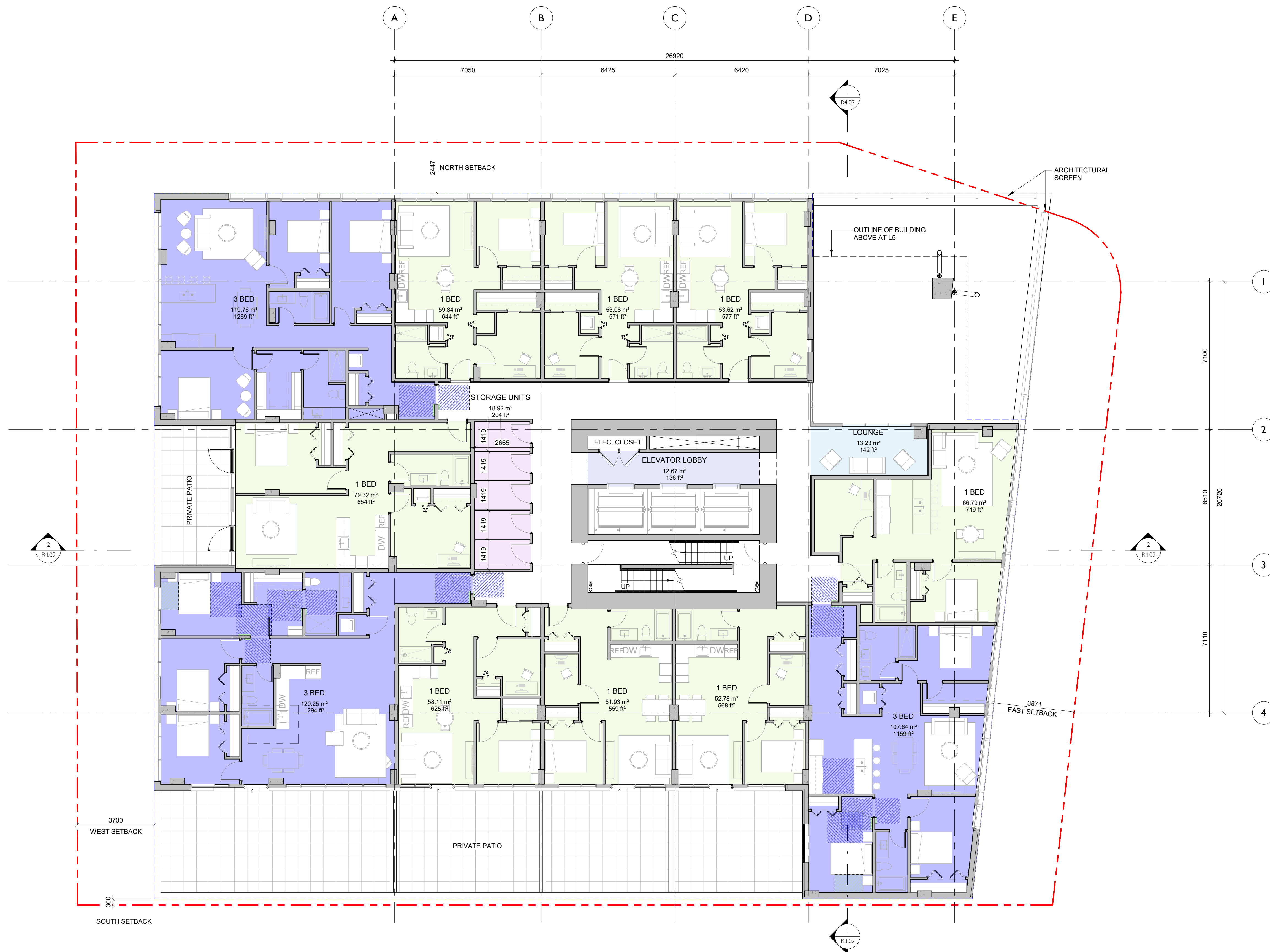
741 Fisgard Street
 Development Permit /
 Rezoning Application

Project North

Sheet Name
Floor Plan - Level 1

Date	March 30, 2026
Scale	1 : 100
Project #	2328
Revision	2
Revision Date	March 30, 2026
Sheet #	A2.04





2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

Project North

Sheet Name
Floor Plan - L2 + L3

Date
March 30, 2026

Scale
1 : 100

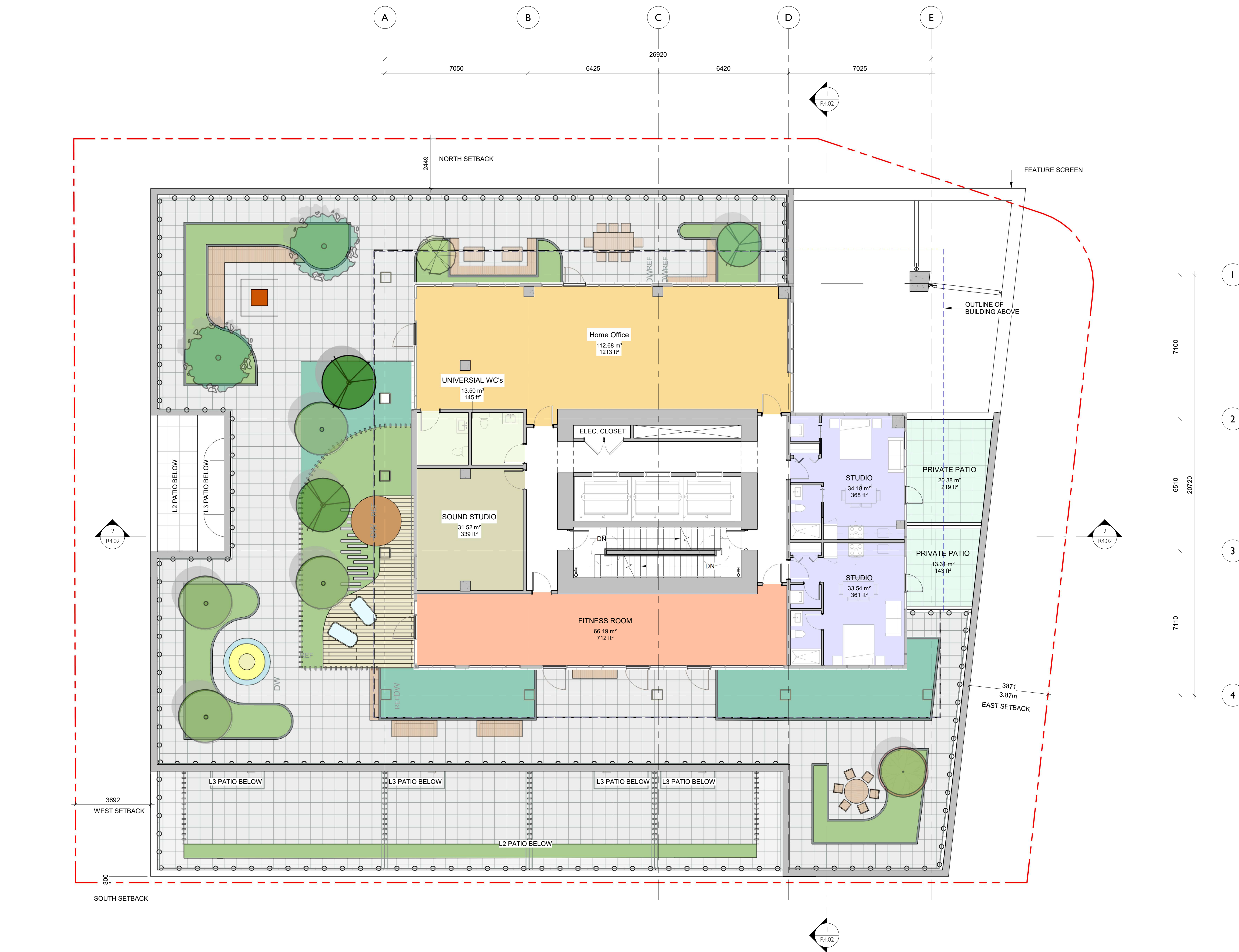
Project #
2328

Revision
March 30, 2026 **2**

Sheet #
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2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street

Development Permit / Rezoning Application

Project North

Sheet Name: **Floor Plan - Level 4 Amenity**

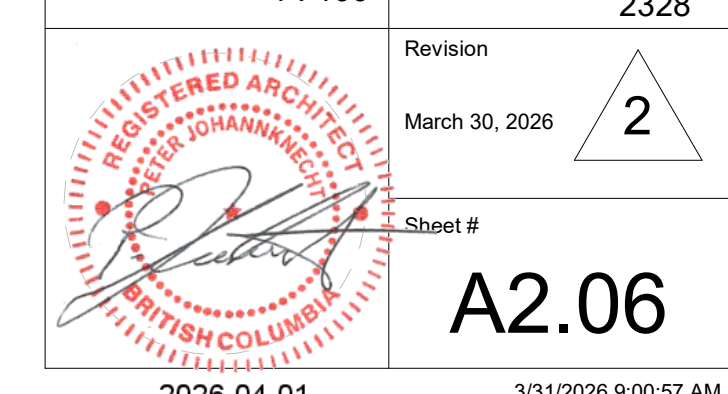
Date: **March 30, 2026**

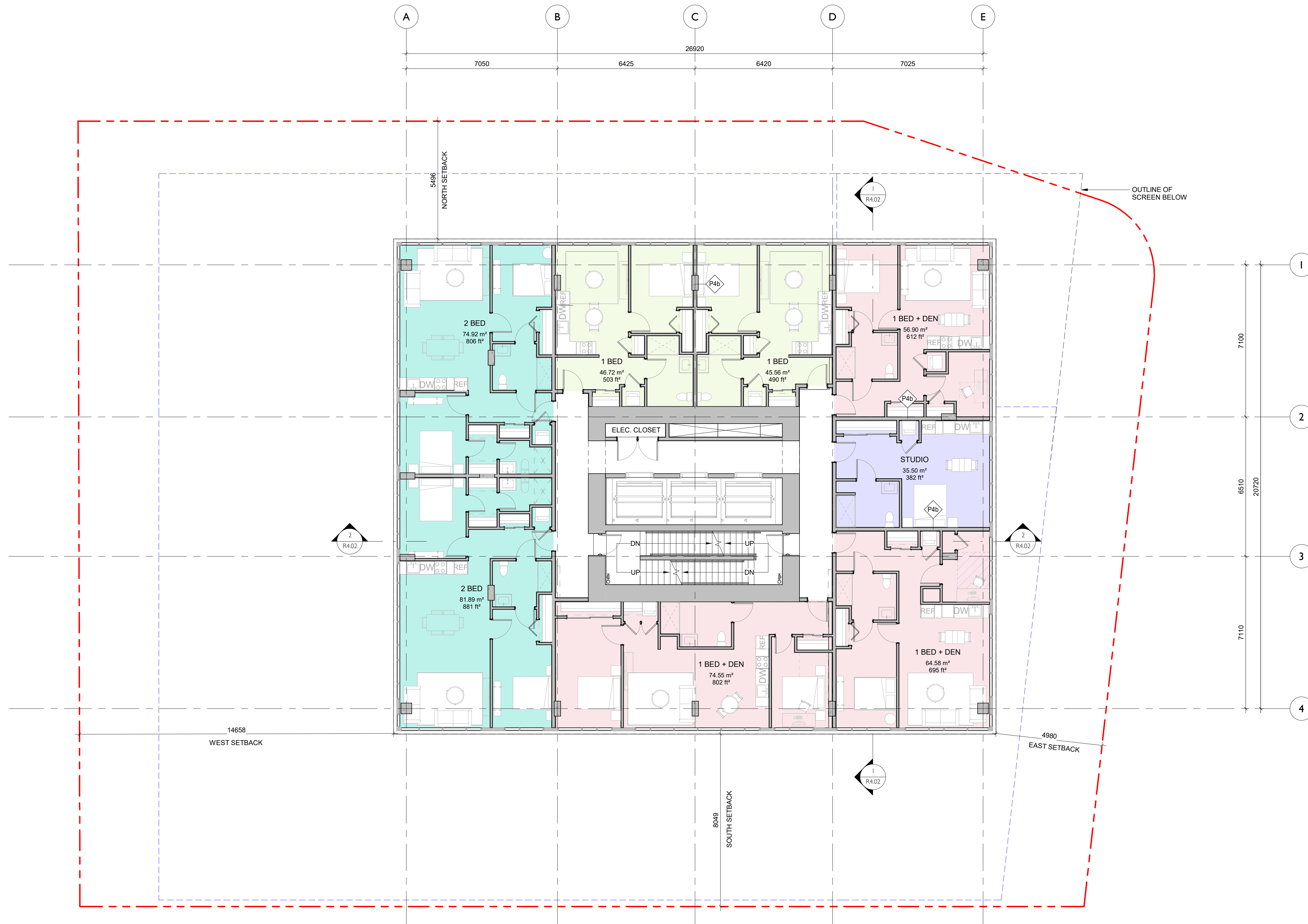
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Revision: **2** (March 30, 2026)

Sheet #: **A2.06**

2026-04-01 3/31/2026 9:00:57 AM





NO.	DESCRIPTION	DATE
2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street Development Permit / Rezoning Application

Project North

Sheet Name
Floor Plan - Typical Residential

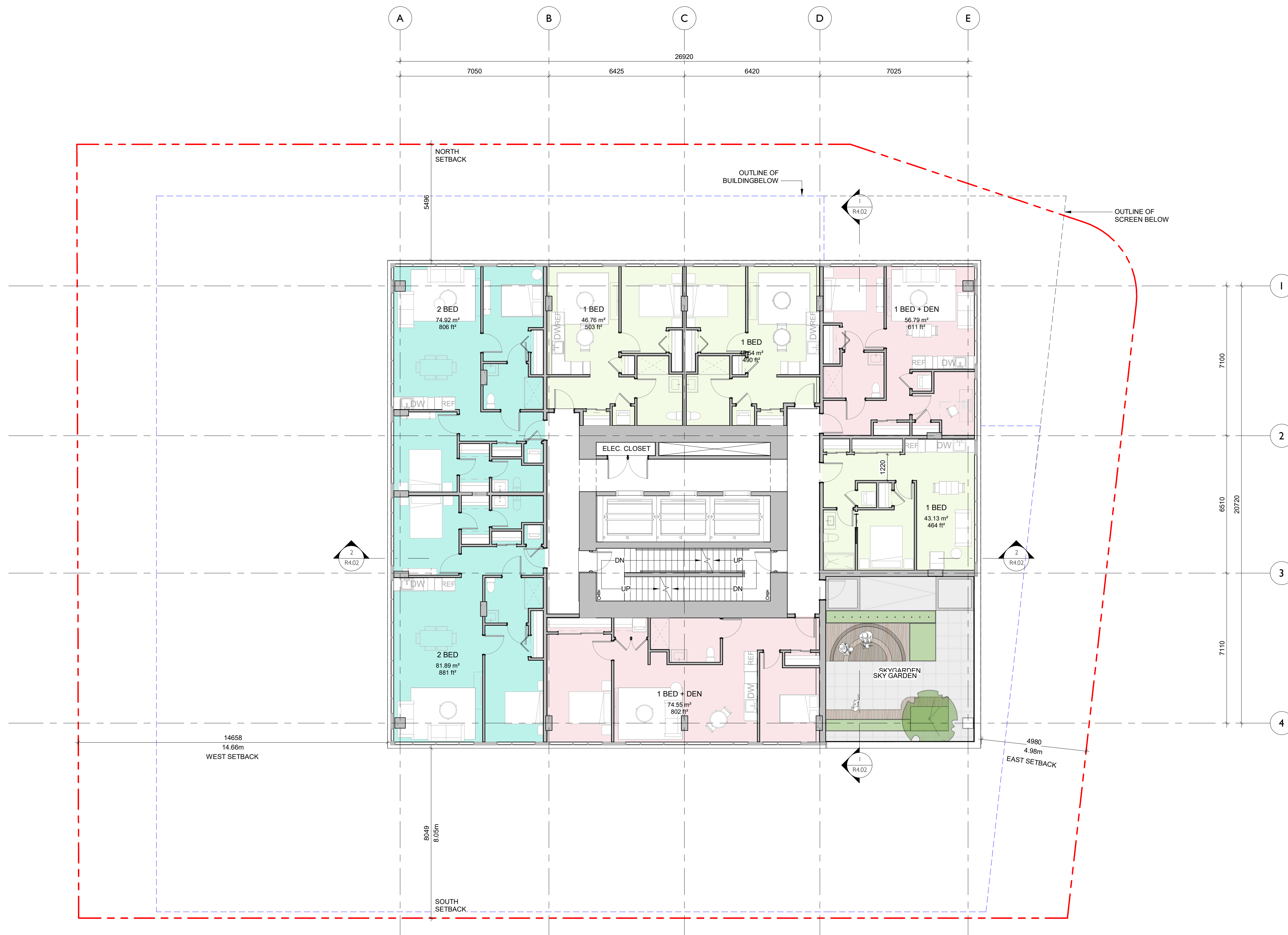
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Project #
2328

Revision
March 30, 2026 **2**

Sheet #
A2.07



2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

Sheet Name
Floor Plan - Typical Sky Garden Level - SE

Date
March 30, 2026

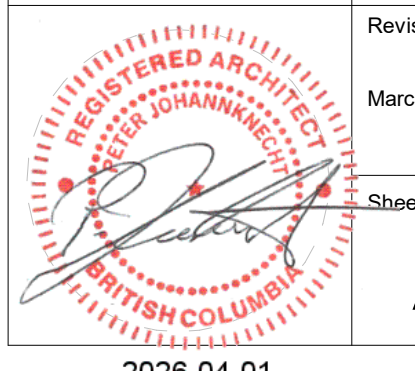
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Project #
2328

Revision
March 30, 2026

Sheet #
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2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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**741 Fisgard Street
Development Permit /
Rezoning Application**

Sheet Name
**Floor Plan - Typical Sky
Garden Level - NE**

Date
March 30, 2026

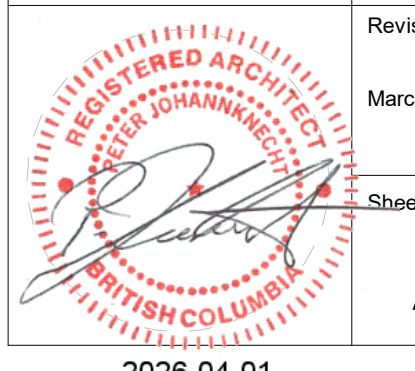
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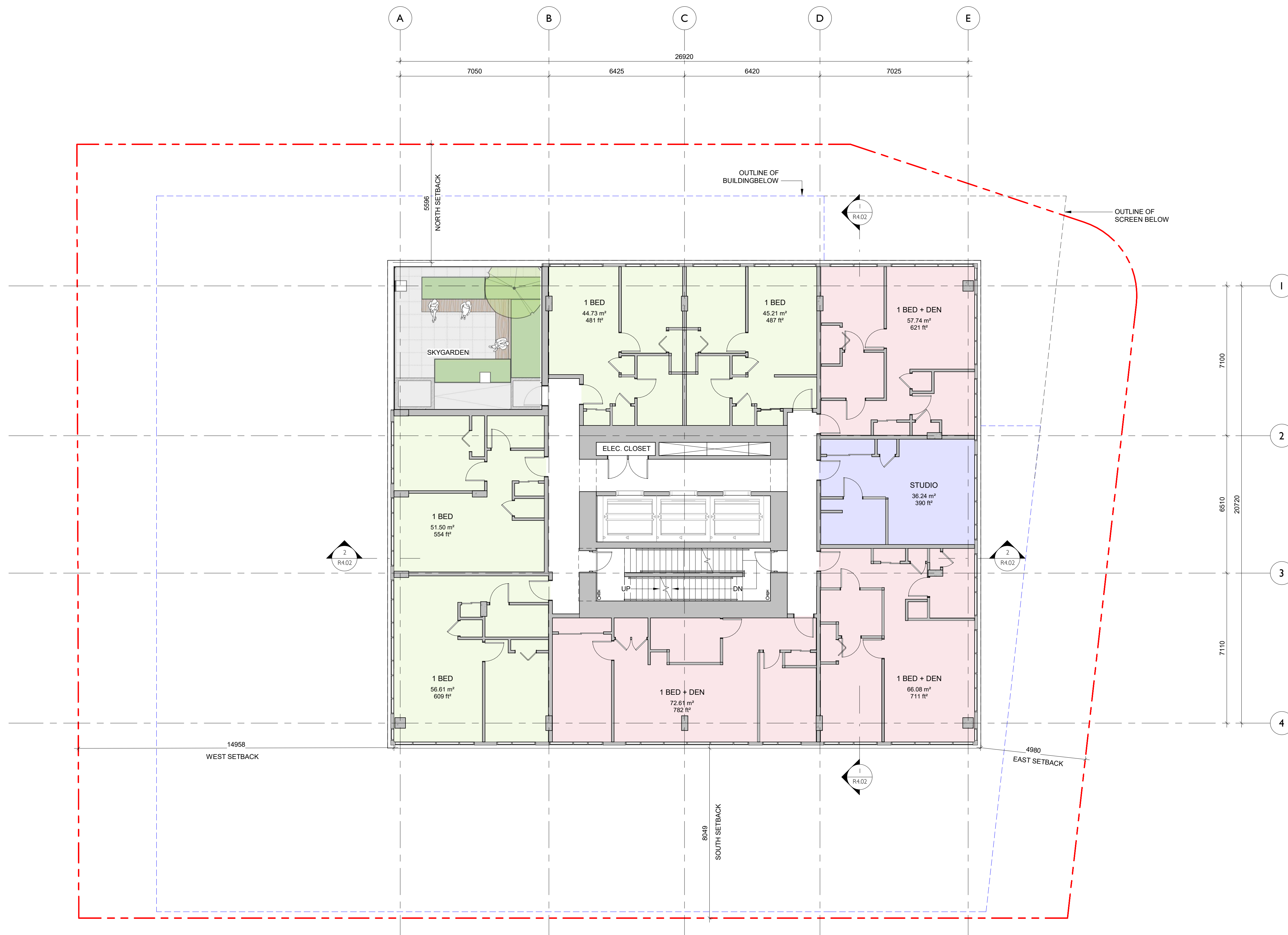
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Revision
March 30, 2026 2

Sheet #
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NO.	DESCRIPTION	DATE
2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025



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**741 Fisgard Street
Development Permit /
Rezoning Application**

Project North

**Floor Plan - Typical Sky
Garden Level - NW**

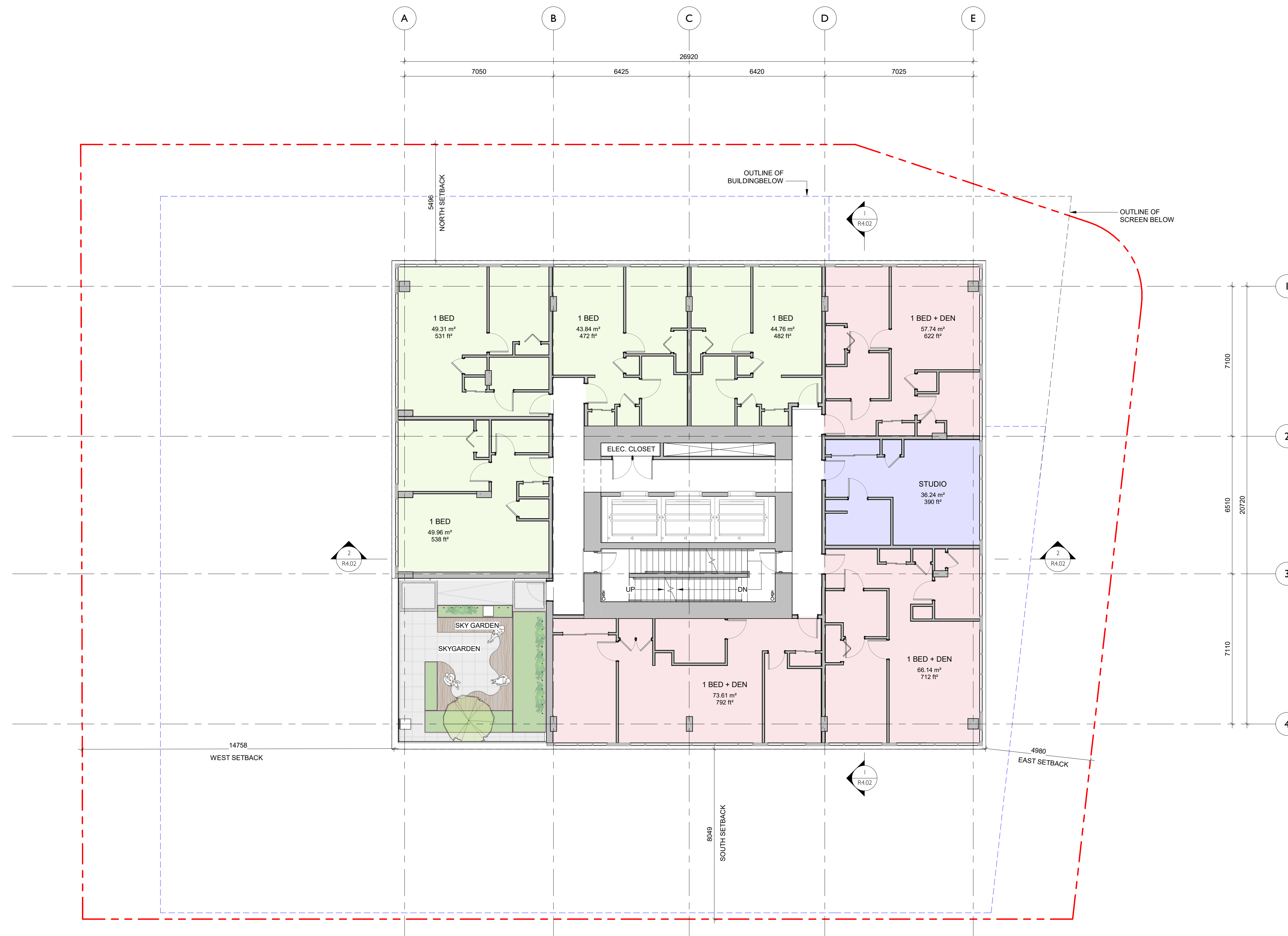
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Revision: **2**
March 30, 2026

Sheet #: **A2.10**

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2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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741 Fisgard Street
Development Permit /
Rezoning Application

Sheet Name
Floor Plan - Typical Sky Garden Level - SW

Date
March 30, 2026

Scale
1 : 100

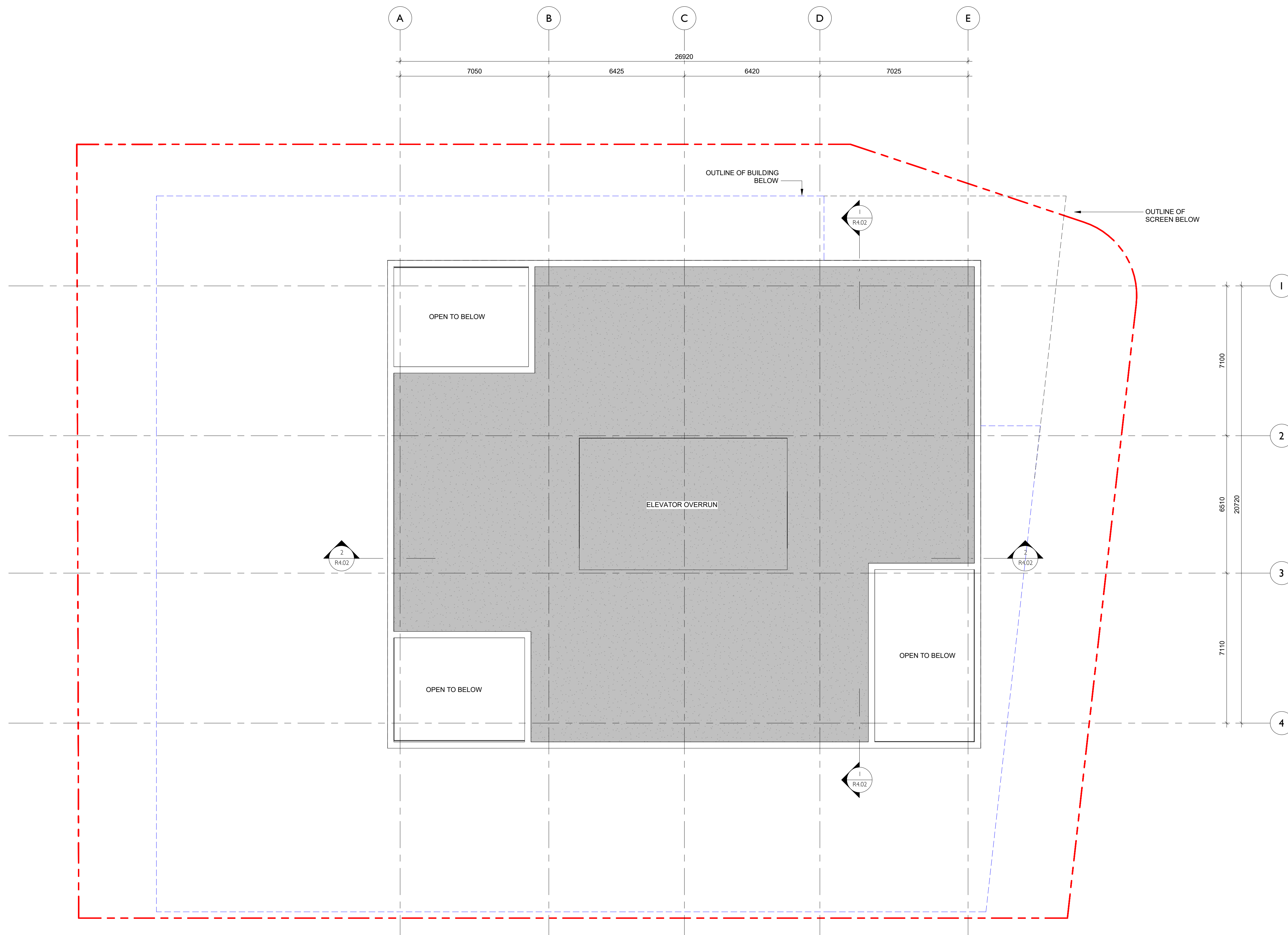
Project #
2328

Revision
March 30, 2026 **2**

Sheet #
A2.11

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NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street Development Permit / Rezoning Application

Project North

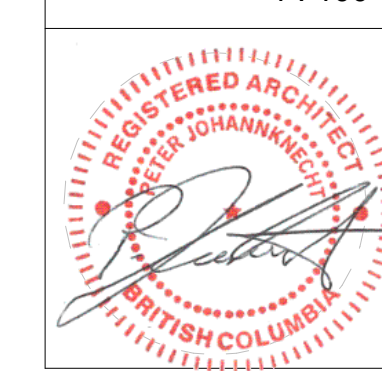
Sheet Name: **Roof Level**

Date: **March 30, 2026**

Scale: **1 : 100** Project #: **2328**

Revision: **1**
April 3rd, 2025

Sheet #: **A2.13**





1 Elevation - North
SCALE = 1 : 200

1	Architectural Concrete
2	Ceramic Panel (Warm White)
3	Glass Entrance Canopy
4	Prefabricated Metal Panel (White)
5	Curtain Wall Vision Panel
6	Curtain Wall Spandrel Panel
7	Prefinished Louver (Black)
8	Glass Guard
9	Horizontal Louvre Screen (Warm White)
10	HSS Steel (Black)
11	Landscaping



2 Elevation - East
SCALE = 1 : 200

1	Architectural Concrete
2	Ceramic Panel (Warm White)
3	Glass Entrance Canopy
4	Prefabricated Metal Panel (White)
5	Curtain Wall Vision Panel
6	Curtain Wall Spandrel Panel
7	Prefinished Louver (Black)
8	Glass Guard
9	Horizontal Louvre Screen (Warm White)
10	HSS Steel (Black)
11	Landscaping

NO.	DESCRIPTION	DATE
2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
Development Permit /
Rezoning Application

Sheet Name
Elevations North + East

Date
March 30, 2026

Scale
1 : 200

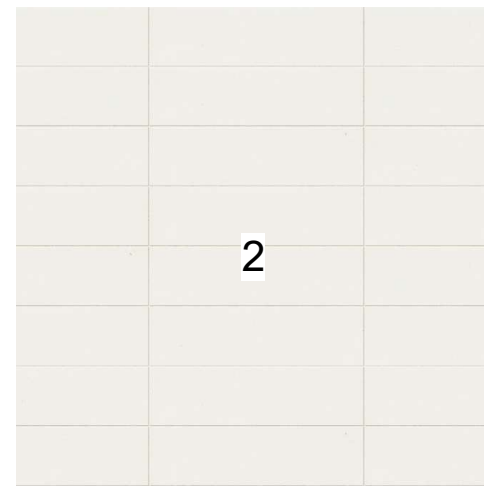
Project #
2328

Revision
March 30, 2026
2

Sheet #
A3.01



Architectural Concrete



Composite Tile Panel



Glass/Metal Entrance Canopy



Prefabricated Metal Panel



Aluminum Frame Glazing



Aluminum Frame Spandrel



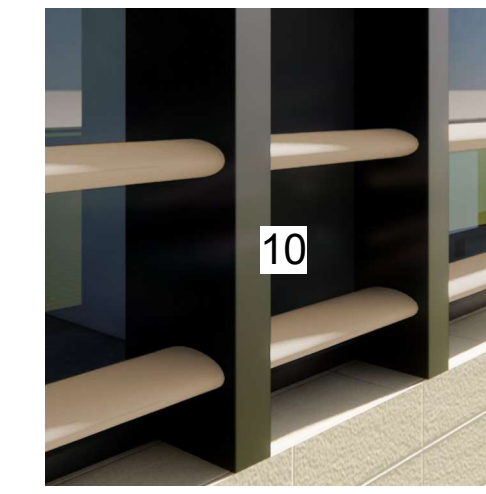
Prefinished Louvre



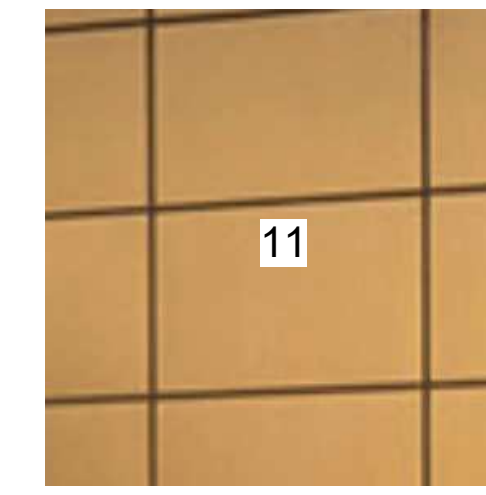
Glass Guard



Horizontal Louvre Screen



HSS Steel



Pressed Metal Ceiling

NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
Development Permit /
Rezoning Application

Sheet Name
Material Board

Date
March 30, 2026

Scale
Project #
2328

Revision
April 3rd, 2025
1

Sheet #
A4.00

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1 Equinox 9am
SCALE =



2 Equinox Noon
SCALE =



3 Equinox 3pm
SCALE =



4 Equinox 6pm
SCALE =



5 Summer Solstice 9am
SCALE =



6 Summer Solstice Noon
SCALE =



7 Summer Solstice 3pm
SCALE =



8 Summer Solstice 6pm
SCALE =



9 Winter Solstice 9am
SCALE =



10 Winter Solstice Noon
SCALE =



11 Winter Solstice 3pm
SCALE =



12 Winter Solstice 6pm
SCALE =

NO.	DESCRIPTION	DATE
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street
Development Permit /
Rezoning Application

Project North

Sheet Name
Shadow Study

Date
March 30, 2026

Scale
Project # 2328

Revision
April 3rd, 2025 **1**

Sheet #
A5.01

2026-04-01 3/31/2026 9:06:48 AM

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① Perspective at Corner of Blanshard and Fisgard



② Mid Block Street Level View on Fisgard Looking West



③ Perspective Street Level View at Fisgard



④ Perspective Looking North Along Blanshard Street



⑤ Mid Block Street Level View on Blanshard Looking South

2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025
NO.	DESCRIPTION	DATE



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**741 Fisgard Street
Development Permit /
Rezoning Application**

Sheet Name
Perspectives

Date
March 30, 2026

Scale
Project #
2328

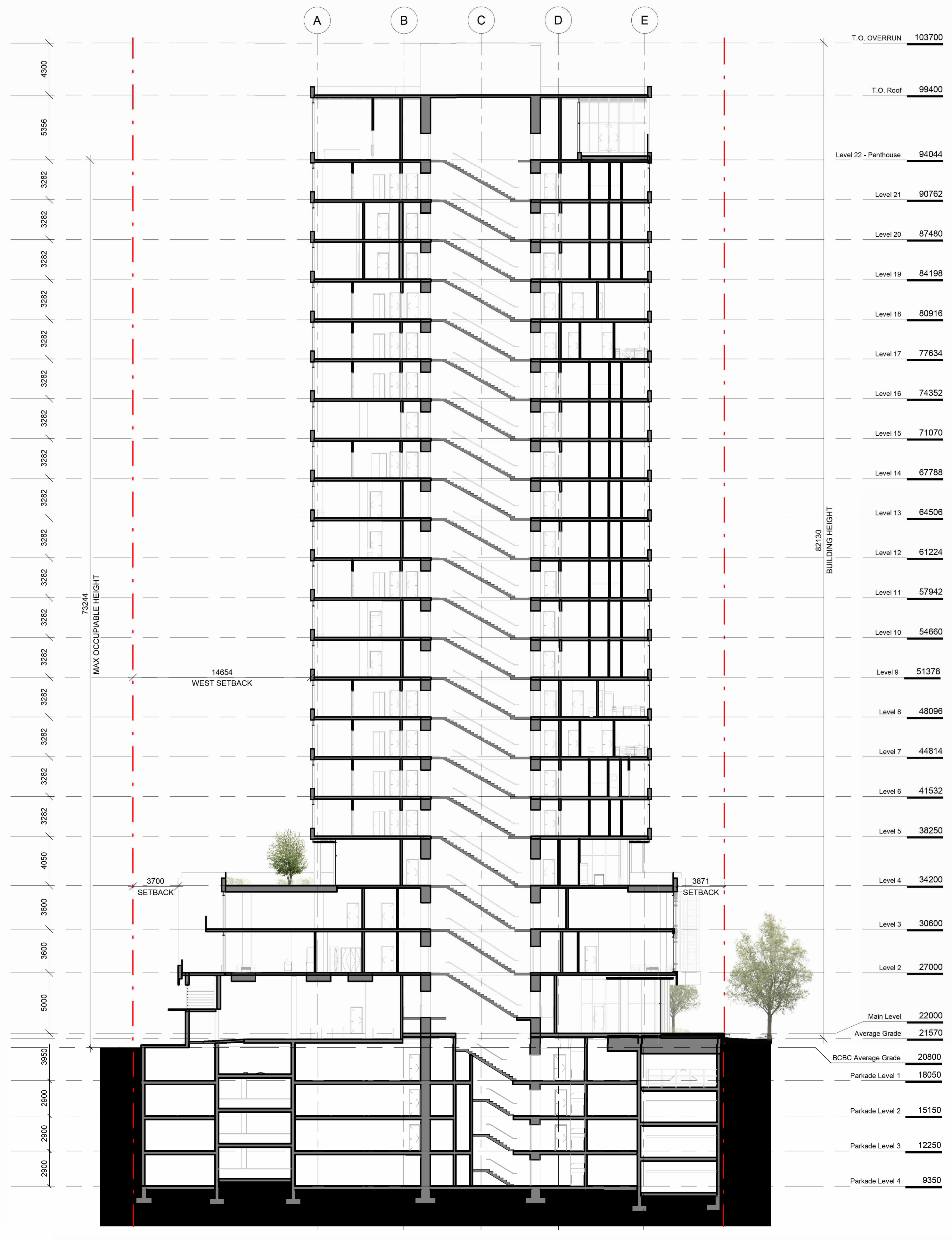
Revision
March 30, 2026
2

Sheet #
A9.00

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1 Building Section 1
SCALE = 1 : 200



2 Building Section 2
SCALE = 1 : 200

NO.	DESCRIPTION	DATE
2	DP Rezoning Resubmission II	March 30, 2026
1	DP Rezoning Resubmission	April 3rd, 2025



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741 Fisgard Street Development Permit / Rezoning Application

Sheet Name
Building Sections

Date
March 30, 2026

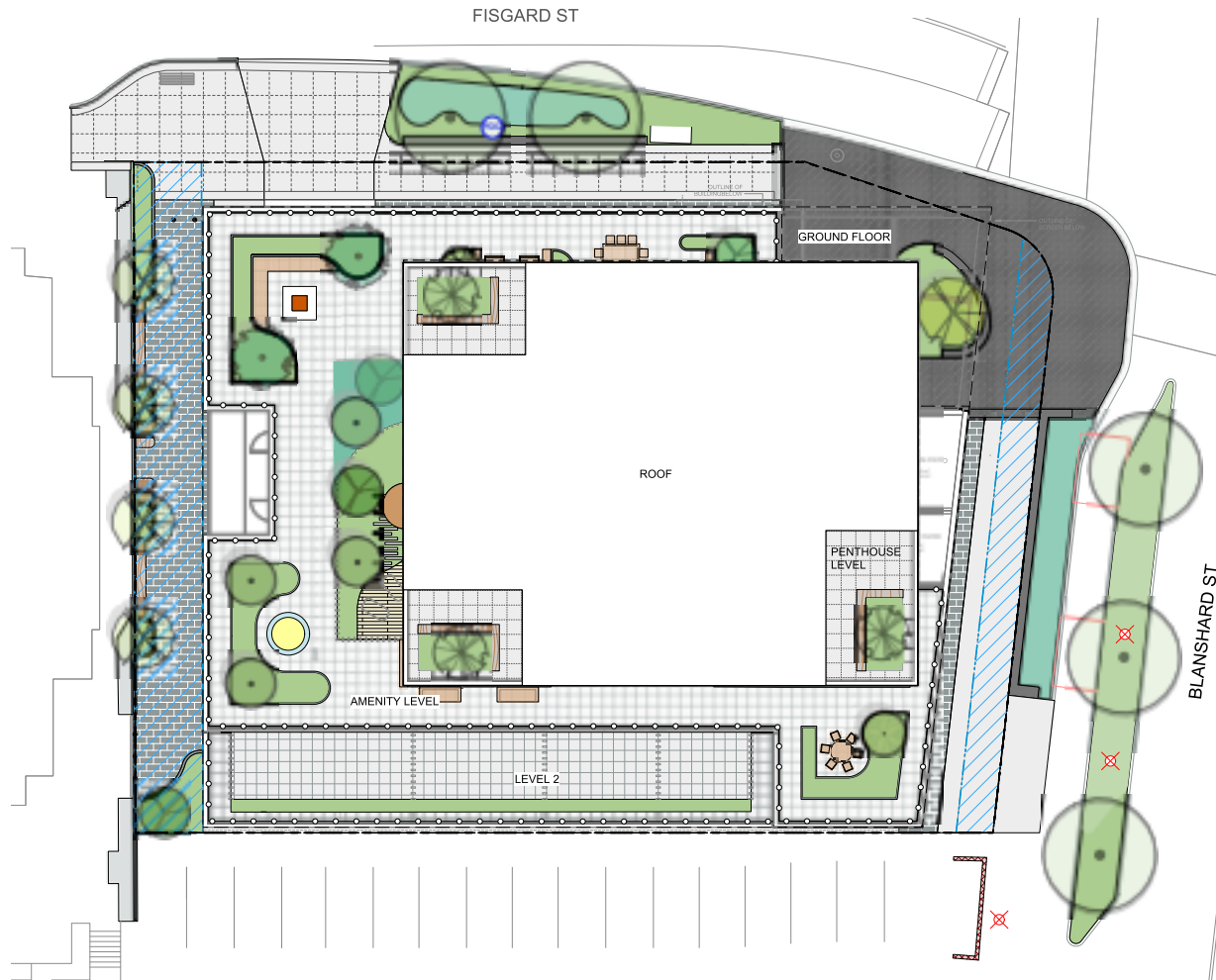
Scale
Project #
2328

Revision
March 30, 2026
2

Sheet #
A9.01

Jawl Residential
741 Fisgard
 Victoria, BC

KEY PLAN



Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Replacement
L0.03	Stormwater Management
L1.01	Landscape Materials - Ground Level
L1.02	Landscape Materials - L2 and L4 Amenity
L1.03	Landscape Materials - Sky Gardens
L1.04	Landscape Materials - Penthouses
L3.01	Planting - Ground Level
L3.02	Planting - L2 and L4 Amenity
L3.03	Planting - Sky Gardens
L3.04	Plant Schedules



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2020-04-10
2	DP REZONING	2024-09-20
1	DEVELOPMENT TRACKER	2024-09-10



client
Jawl Residential Ltd
 Tri-Eagle Development Corp.

project
 741 FISGARD
 741 Fisgard Street
 Victoria, BC

sheet title
Cover

project no. 124.05
 scale 1:125 @ 24"x36"
 drawn by JRS/CDT
 checked by SM

sheet no.
L0.00

GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for clarification.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC Standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and DWG formats at least two weeks prior to commencement of irrigation installation.
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation controller.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to equipment construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- All various mistletoes during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto landscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and planter drip irrigation system.

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyager Way, Richmond, BC, V6X 3G0, p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'led', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

- For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 5m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 5m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root barrier and the existing infrastructure.
- Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due to their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
- Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and DWG formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected and operated by municipality, after it is inspected and approved by municipal staff.

PAVING NOTES

- Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavements in alternating panels as required to achieve control joint design and to prevent cracking.
- Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- Refer to Landscape Specifications for Maintenance Period following Acceptance.
- Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God," "excessive wear and tear", or abuse.
- Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications.

CITY OF VICTORIA PARKS INSPECTIONS REQUIRED

- Please provide two working days notice to arrange the required Parks Division inspections listed below. Please email the responsible staff member and copy treepermits@victoria.ca. In the event a staff member is away our administration staff will pass along the request to other available staff. If you have issues contacting staff, please call our Parks Office at 250-361-0600.
- Growing Media Testing: Tom Sherbo - tsherbo@victoria.ca
- Soil Test for the growing medium and compost, for each landscape application, must be submitted to the City Parks treepermits@victoria.ca for review prior to soil placement. The Canadian Landscape Standard Current Edition shall be considered the standard.
- Tree Planting Pit Inspections: Ross Wilkinson - rwillkinson@victoria.ca
- The proposed tree planting pits must comply with the City of Victoria Bylaw 12-042, Schedule C.
1. Tree pits, installed root barriers
2. Soil volumes and growing media approved by Parks
- Seed and Soil Boulevard Inspections: Tom Sherbo - tsherbo@victoria.ca
- The detail for the seed and soil boulevard is in Schedule B13-4. (Please ensure that adequate soil volumes for the proposed street trees are installed in grass boulevard).
1. Excavated and scarified subgrade prior to backfill
2. Installed, rolled and prepared growing media prior to sodding
3. Inspection when the installed turfgrass meets the conditions for total performance as required in the CSLA Landscape Standard Current Edition.

BOULEVARD PLANTING NOTES - CITY OF VICTORIA

- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Parks website.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

BOULEVARD IRRIGATION NOTES - CITY OF VICTORIA

- All boulevard irrigation work, including required inspections, shall comply to "City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision B13-4".
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042. Irrigation inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.
- Design/build drawings for boulevard irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work.
- Boulevard irrigation point of connection to be 25 mm service from existing water connection on, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Boulevard Irrigation electric zone valves to be RainBird PGA, except tree drip valves: Rainbird Low Flow Control Zone Kit w/ PR Filter; XZCLF-100-PRF 1.
- 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeve 300mm beyond edge of hard surface into soft landscape areas.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
BSR	BASELINED BURLAPPED	MNL	MANHOLE
BTM	BOTTOM OF CURB	MIN	MINIMUM
BUILDING	BUILDING	MISC	MISCELLANEOUS
SM	BENCHMARK	N	NORTH
SC	BOTTOM OF CURB	NC	NOT IN CONTRACT
SW	BOTTOM OF RAAP	NO	NUMBER
SW	BOTTOM OF WALL	NOM	NOMINAL
CB	CALIPER	NOT TO SCALE	NOT TO SCALE
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CF	CUBIC YARD	OC	POINT OF CURVATURE
CL	CENTRE LINE	PL	POLYURETHANE
CLR	CLEARANCE	PP	POINT OF TANGENCY
CM	CENTIMETRE	PR	PROPERTY LINE
CM	CLEAN OUT	QTY	QUANTITY
CON	CONJUNCTION	PVC	POLYVINYL CHLORIDE
DEM	DEMOLISH	REF	REFERENCE
DEG	DEGREE	R	RADIUS
DIM	DIMENSION	REFC	REFERENCE (REQUIRED)
DIA	DIAMETER	REINP	REINFORCED
DWG	DWG FORMATS	REID	REQUIRED
DTL	DETAIL DRAWING	REV	REVISION
E	EAST	ROW	RIGHT OF WAY
EACH	EACH	S	SOUTH
EL	ELEVATION	SA	SANITARY
ENG	ENGINEER	SD	STORM DRAIN
EQ	EQUAL	SF	SQUARE FOOT (FEET)
EST	ESTIMATE	SHT	SHEET
E.W.	EACH WAY	SIMS	SIMILAR SPECIFICATIONS
EXIST	EXISTING	SQM	SQUARE METRE
EXP	EXPANSION EXPOSED	ST	STATION
FF	FINISHED FLOOR ELEVATION	STB	STORM BOWER
FL	FLOW LINE	SYM	SYMMETRICAL
FLC	FACE OF CURB	T&B	TOP AND BOTTOM
FO	FOOTING	TF	TOP OF FOOTING
GA	GAUGE	TH	THICK
GEN	GENERAL	TOPO	TOPOGRAPHY
GR	GRADE ELEVATION	TOP OF RAAP	TOP OF RAAP
H	HIGH POINT	TOP OF STEP	TOP OF STEP
HORIZ	HORIZONTAL	TOW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	VAR	VARIABLE
IN	INSIDE DIAMETER	VOL	VOLUME
INCL	INCLINE ELEVATION (INCHES)	W	WIDTH
INCLD	INCLUDED	WT	WEIGHT
IT	LINEAR FEET	WY	WATER LEVEL
LF	LINEAR FEET	WYF	WEIRED WIRE FRAME
LP	LOW POINT	WYD	WATER
		AT	AT

HARDSCAPE SURFACES

	Concrete Paving City New Town Standard CIP Sidewalk
	Belgard Classic Standard Paver 11.3 x 6mm, Natural Grey, Herringbone Pattern, Mortar Set (COV New Town Std.)
	Belgard Classic Standard Paver 11.3 x 6mm, Natural Grey, Herringbone Pattern, Mortar Set (COV New Town Std.)
	Concrete Band
	Basalt Band Steel marker on 300 x 450 mm x 80 mm beestl pavers, mortar set, finish with sand blasted texture, per CoV Std.
	Cedar Plank Flooring UV-Treated, 88.9 x 88.9 x 2438 mm planks, stain to match scene facade

SOFTSCAPE

	Planting Area - Tree & Shrub 600mm Depth (unless otherwise noted)
	Planting Area - Rain Garden 600mm Depth (unless otherwise noted)

STEPS, RAMPS, CURBS, WALLS

	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet RSG requirements, Max 15% of base in soil
	Privacy Screen

SITE FURNISHINGS

EXISTING	PROPOSED
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 600mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture

EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies)

	Existing Tree to be retained
	Existing Tree to be removed

STORMWATER MANAGEMENT LEGEND

	Property Line
	Building Footprint
	Extent of Parkade / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
	Existing Grade
	Proposed Landscape Grade
	Direction of Flow
	Rain Garden Area
	Rain Garden Area - Below Roof
	Shrub Planting

LINE TYPE LEGEND

	Property Line
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	Statutory Right of Way (SRW)

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings)

EXISTING	PROPOSED
	Storm Drain
	Sewer
	Water
	Electrical
	Gas
	Hydro Tel

GRADING LEGEND

	Proposed Landscape Grade
	Existing Grade
	Architectural grade, for reference only
	Civil Grade, for reference only
	Proposed Landscape Contour

TREE REPLACEMENT LEGEND

	Tree Replacement Zone - Amenity Level
	Tree Replacement Zone - Ground Level
	Frontage Trees Planting Bed
	Soil Cells



MDI LANDSCAPE ARCHITECTS
1100 WEST 10TH STREET, VICTORIA, BC V8M 2K6

TEL: 250-361-0600 FAX: 250-361-0601

WWW.MDILANDSCAPEARCHITECTS.COM

PROJECT NO. 124.05

SCALE 1:100 @ 24"x36"

DRAWN BY JRS/CDT

CHECKED BY SM

SHEET NO.

NOT FOR CONSTRUCTION

4 REVISED DP 2020-03-30

3 REVISED DP 2020-04-10

2 SP REZONING 2024-08-20

1 DEVELOPMENT TRACKER 2024-08-10

No Issued For Issue Date

client

Jwi Residential Ltd

Tri-Eagle Development Corp.

project

741 FISGARD

741 Fisgard Street

Victoria, BC

sheet title

General Information

Sheet

project no. 124.05

scale 1:100 @ 24"x36"

drawn by JRS/CDT

checked by SM

sheet no.

L0.01

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.

REPLACEMENT TREE SUMMARY

Note: There are no existing trees on site and so replacement trees are listed as required per lot area.

REQUIRED (as per Tree Protection Bylaw)

Lot Area: 1751 sq m
Minimum # of Trees for Lot Area: 9

ONSITE Minimum replacement tree requirement			
	Count	Multiplier	Total
1:1 Replacement Trees - Schedule E Part 1	1	1	1
2:1 Replacement Trees - Schedule E Part 2	9	0.5	4.5
Total Replacement Trees Proposed			5
Onsite Replacement Tree Deficit			4

REPLACEMENT TREE SOIL VOLUME TABLE

Planting Area (m ² on slab)	Area (m ²)	Soil Volume Multiplier	A. Estimated Soil Volume (m ³)	REPLACEMENT TREES PROPOSED						Total	
				B. Small	C. Medium	D. Large	E. Small	F. Medium	G. Large		
ONSITE											
1"	56.4	0.6	33.8	4				24	0	0	24
2"	23.4	0.6	14.0	2				12	0	0	12
3"	20.2	0.6	12.1	2				12	0	0	12
4"	13.8	0.6	8.3	1				6	0	0	6
5"	25.0	0.6	15.0		1			0	15	0	15
Total				9	1	0					
Calculation Instructions								E	F	G	Total
								# B>1, Bx6, Bx6	# C>1, Cx20, Cx20	# D>1, Dx35, Dx35	# E>1, Ex36

PROPOSED TREE LIST - REPLACEMENT

Sym	Qty	Botanical Name	Sched. Size	Common Name
CKS	4	Cornus kousa 'Satomi'	6.0 cm cal. b&b	Satomi Dogwood
DI	2	Davidia involucreata	6.0 cm cal. b&b	Dove Tree
GTS	1	Gleditsia triacanthos 'Shademaster'	6.0 cm cal. b&b	Shademaster Honeylocust
MKG	2	Magnolia x 'Galaxy'	6.0 cm cal. b&b	Galaxy Magnolia
PRV	1	Parrotia persica 'Ruby Vase'	6.0 cm cal. b&b	Ruby Vase Persian Ironwood
TOTAL	10			

TREE REPLACEMENT LEGEND

	Tree Replacement Zone - Amenity Level
	Tree Replacement Zone - Ground Level
	Frontage Trees Planting Bed
	Soil Cells

Structural soil cells added to enhance soil volume and create 'soil bridge' to rain garden planter.

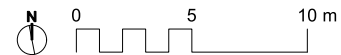
SOIL CELLS:
20m² x 0.9m deep x 0.92 = 16.6m³
MEDIAN:
62m² x 0.9m deep = 55.8m³
RAIN GARDEN:
29m² x 0.6m deep = 17.4m³
90m³ Total soil volume.

EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies.)

	Existing Tree to be retained
	Existing Tree to be removed

Tree removed at the request of City of Victoria staff to reduce sidewalk conflicts



MDI LANDSCAPE ARCHITECTS
13188 Victoria Park Rd. # 201-1001
Victoria, BC V8L 2P6 B: 250.623.1001
E: info@mdi.ca

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2025-03-30
3	REVISED DP	2025-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-09-10



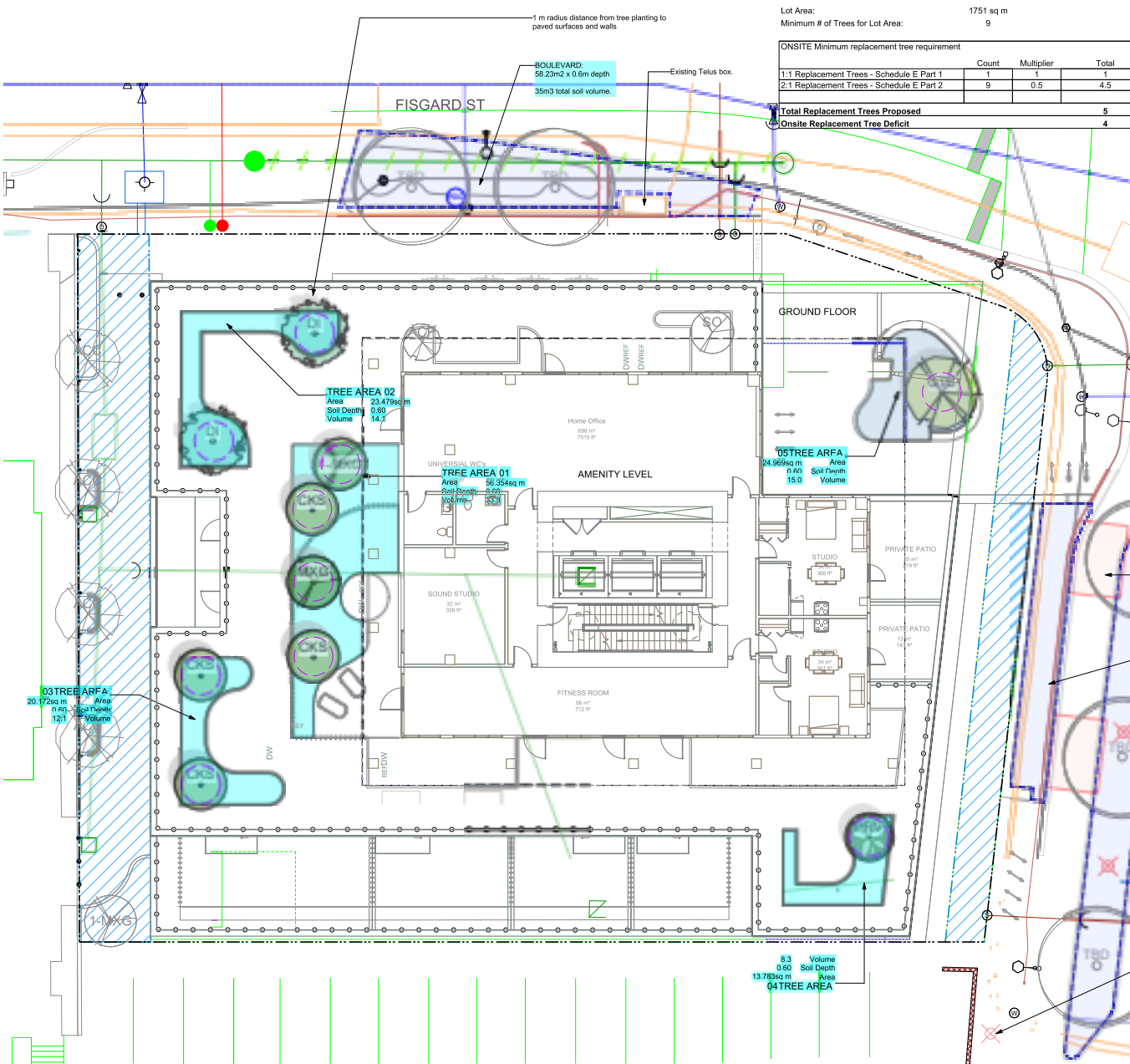
client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Tree Replacement

project no. 124.05
scale 1:100 @ 24"x36"
drawn by JRS/CDT
checked by SM
sheet no.

L0.02



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2026-03-30
3	REVISED DP	2025-04-10
2	DP REZONING	2024-09-20
1	DEVELOPMENT TRACKER	2024-06-10



client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
 741 FISGARD
 741 Fisgard Street
 Victoria, BC

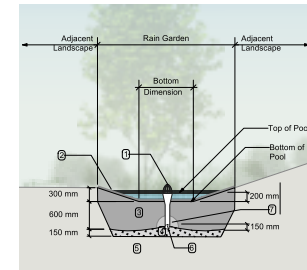
sheet title
Stormwater Management

project no. 124.05
 scale 1:100 @ 24"x36"
 drawn by JRS/CDT
 checked by SM
 sheet no.

L0.03

STORMWATER MANAGEMENT LEGEND

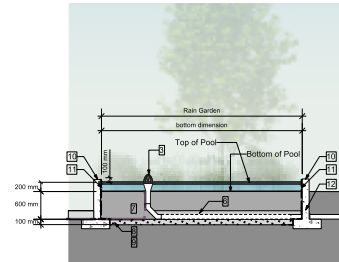
	Property Line
	Building Footprint
	Extent of Roof / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
	Existing Grade
	Proposed Landscape Grade
	Direction of Flow
	Rain Garden Area
	Rain Garden Area - Below Roof
	Shrub Planting
	Impervious Catchment Areas



RAIN GARDEN MATERIALS

1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50-70 mm depth
3. Bio-retention growing medium, 600 mm depth
4. Scarified/bladed subgrade, 150 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

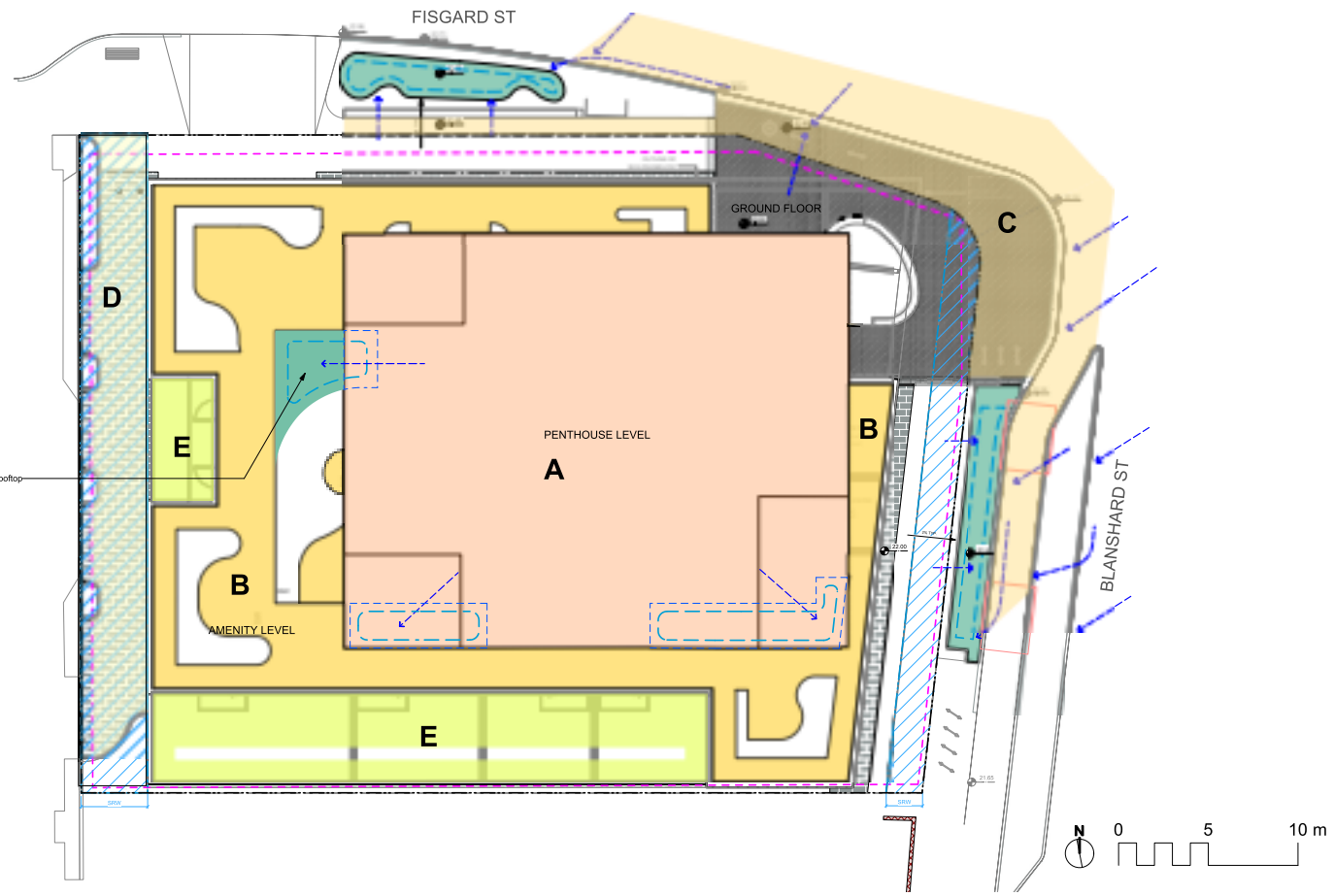
1 Typical Rain Garden
 Scale: 1:50



2 Typical Rain Garden in Planter
 Scale: 1:50

RAIN GARDEN PLANTER MATERIALS

1. Building rainwater leader/downspout
2. Structural wall
3. Overflow drain, 200 mm domed grate + adapter
4. General fine drainage
5. 100 mm diameter perforated pipe
6. 25 mm dia drain rock, 100 mm depth
7. Bio-retention growing medium, 600 mm depth
8. Fine Gravel Drainage Layer, 100 mm depth
9. Concrete slab
10. Structural retaining wall
11. PVC liner
12. Waterproof PVC boot and clamp



Penthouse roof drains to amenity rooftop rain gardens

CITY OF VICTORIA STORMWATER CALCULATIONS

Rain Garden Sizing Calculations

Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Base Area	Rain Garden Capacity**
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)
Catchment A - Penthouse	627	20.1	0.60	0.33	71	23.4
Catchment B - Amenity	343	11.0	0.00	0.00	0	0.0
Catchment C - Street	252	8.1	0.60	0.33	24	7.8
Catchment D - Alley	97	3.1	0.00	0.00	0	0.0
Catchment E - Lower Balcony	152	4.9	0.00	0.00	0	0.0
total	1471	47				

Assumptions

- * Design storm is 32mm of water, in a 24 hr period.
- ** Rain Garden capacity based on 150 mm live ponding plus 30% of the sand/ compost growing medium volume (assuming growing medium has 30% void space).
- ***Landscaped areas require minimum 170mm depth of growing medium in order to manage 32mm rainfall / 24 hours (assuming 30% void space). Engineered green roof systems that are shown to meet the minimum requirements may also be included.

NOT FOR CONSTRUCTION

4	REVISED DP	2024-03-30
3	REVISED DP	2024-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-09-10

No.	Issued For	Issue Date
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client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
 741 FISGARD
 741 Fisgard Street
 Victoria, BC

sheet title
Landscape Materials - Ground Level

project no.	124.05
scale	1:100 @ 24"x36"
drawn by	JRSC:DT
checked by	SM
sheet no.	

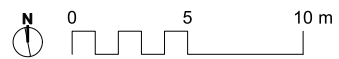
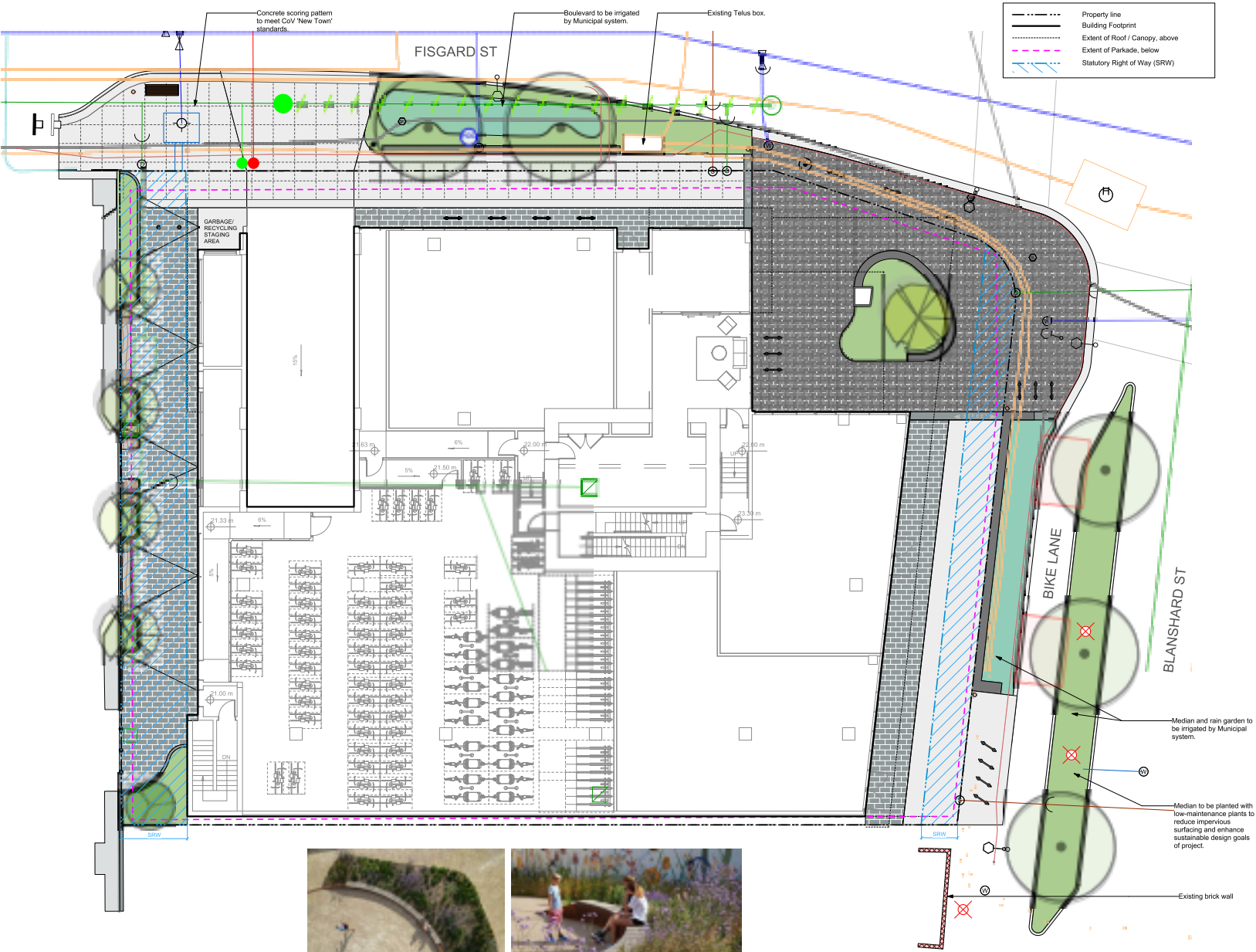
L1.01

LINE TYPE LEGEND

--- ---	Property line
— — — —	Building Footprint
.....	Extent of Roof / Canopy, above
.....	Extent of Parkade, below
— — — —	Statutory Right of Way (SRW)

MATERIALS LEGEND

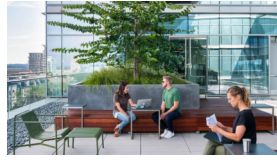
HARDSCAPE SURFACES	
	Concrete Paving CoV New Town Standard CIP Sidewalk
	Belgard Global Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 90 mm pedestrian paver
	Concrete Pavers 225x75x40mm Natural Grey, Herringbone Pattern, Mortar-Bed (CoV New Town Std.)
	Concrete Band
	Basalt Band Street marker on 300 x 450 mm x 60 mm basalt pavers, mortar set, flame finish with sand blasted lettering, per CoV Std.
	Cedar Plank Flooring UV-Treated, 38.5 x 188.5 x 34.38 mm planks, stain to match sauna facade
	Soil Cells
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet B593 requirements. Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area -Tree & Shrub 400mm Depth (unless otherwise noted)
	Planting Area -Rain Garden 400mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Ballard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture
	Bench To match CoV 'New Town' standards.



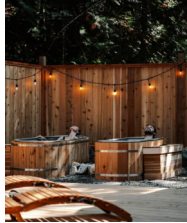
Upholstered seating area with propane fire table.



Outdoor Work Spaces



Sauna & Cold Plunge



Play / Seating Structure



Privacy screen, see arch

Planter to be 1070 mm to match BCBC guard rail height requirements.

Railing height to match BCBC guidelines at all locations



Outdoor dining table with view

LINE TYPE LEGEND

- Property line
- - - Building Footprint
- Extent of Roof / Canopy, above
- Extent of Parkade, below
- Statutory Right of Way (SRW)

MATERIALS LEGEND

HARDSCAPE SURFACES	
	Concrete Paving City New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 90 mm pedestrian paver
	Concrete Pavers 225x75x40mm Natural Grey, Herringbone Pattern, Mortar Bed (City New Town Std.)
	Concrete Band
	Basalt Band Street marker on 300 x 450 mm x 60 mm basalt pavers, mortar bed, flame finish with sand blasted lettering, per City Std.
	Cedar Plank Flooring LVL Treated, 38.5 x 88.5 x 34.38 mm planks, stain to match sauna facade
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBC requirements. Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area - Tree & Shrub -600mm Depth (unless otherwise noted)
	Planting Area - Rain Garden -600mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others, electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture



MDI LANDSCAPE ARCHITECTS
2300 UNIVERSITY AVE. # 201-101
VICTORIA BC V8T 2M5

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2021-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-09-10



client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
741 FISGARD
741 Fisgard Street
Victoria, BC

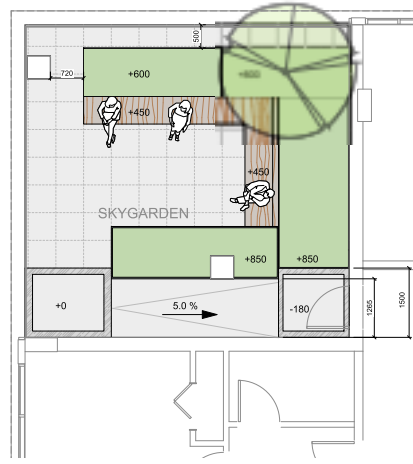
sheet title
Landscape Materials - L2 and L4 Amenity

project no. 124.05
scale 1:100 @ 24"x36"
drawn by JRSC/DT
checked by SM
sheet no.

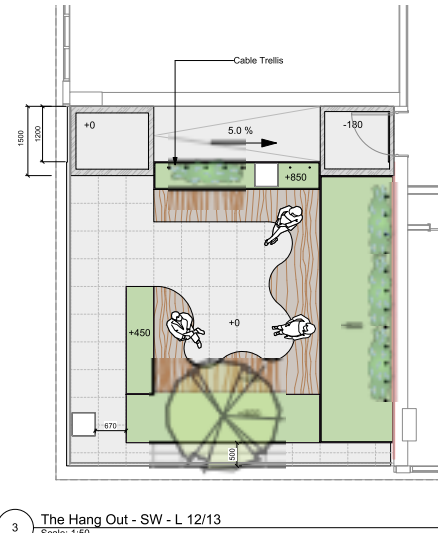
L1.02



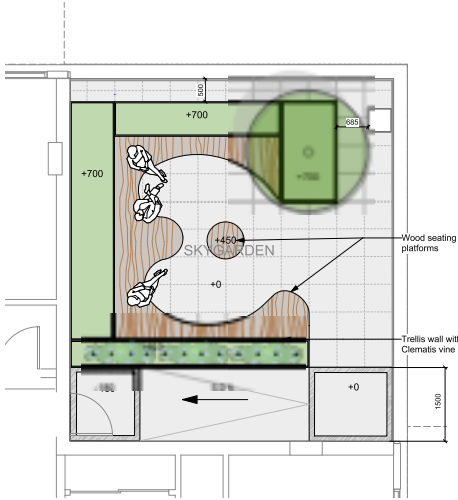
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Scale: 1:50



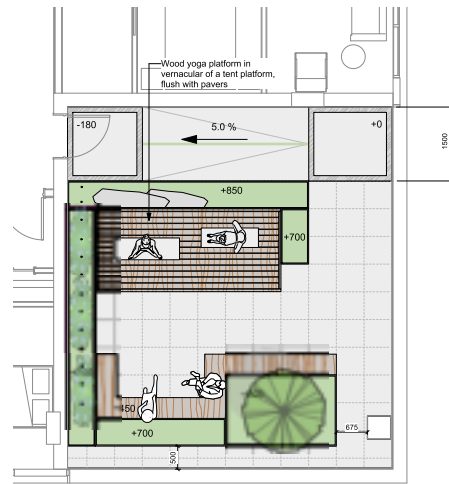
2 The Night Forest - NW - L 9/10
Scale: 1:50



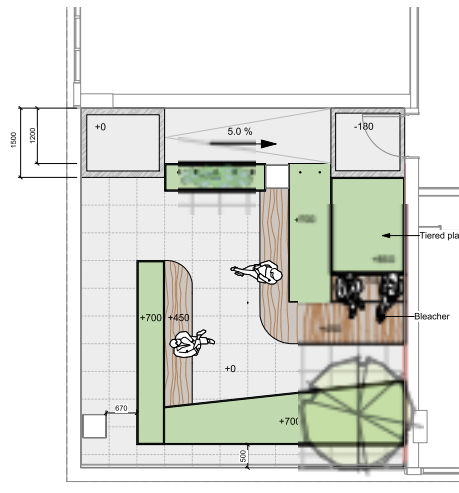
3 The Hang Out - SW - L 12/13
Scale: 1:50



4 The Dogwood Showcase - NE - L 14/15
Scale: 1:50



5 Strathcona Subalpine - SE - L 17/18
Scale: 1:50



6 The Dallas Bluffs - SW - L 19/20
Scale: 1:50

MATERIALS LEGEND	
HARDSCAPE SURFACES	
	Concrete Paving City New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 90 mm pedestrian paver
	Concrete Pavers 225x75x40mm Natural Grey, Herringbone Pattern, Mortar Bed (City New Town Std.)
	Concrete Band
	Basalt Band Street marker on 300 x 450 mm x 60 mm basalt pavers, rustic oak, flame finish with sand blasted lettering, per City Std.
	Cedar Plank Flooring LVL Trusses, 38.5 x 188.5 x 2438 mm planks, stain to match sauna facade
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet B313 requirements, Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area - Tree & Shrub 400mm Depth (unless otherwise noted)
	Planting Area - Rain Garden 400mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture



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No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2020-04-10
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1	DEVELOPMENT TRACKER	2024-09-10



client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Landscape Materials - Sky Gardens

project no. 124.05
scale 1:50 @ 24"x36"
drawn by JRS/CDT
checked by SM
sheet no.

L1.03





Railing height to match BCBG guidelines at all locations



MATERIALS LEGEND	
HARDSCAPE SURFACES	
	Concrete Paving City New Town Standard CIP Sidewalk
	Belgard Glocal Porcelain Paver 600 mm x 600 mm porcelain paver
	Belgard Classic Standard Paver 112.5 mm x 225 mm x 60 mm pedestrian paver
	Concrete Pavers 225x75x40mm Natural Grey, Herringbone Pattern, Mortar Bed (City New Town Std.)
	Concrete Band
	Basalt Band Street marker on 300 x 450 mm x 60 mm basalt pavers, mortar set, flame finish with sand blasted lettering, per City Std.
	Cedar Plank Flooring LVL Treated, 38.9 x 188.9 x 2438 mm planks, stain to match sauna facade
STEPS, RAMPS, CURBS, WALLS	
	Seating Wall - Concrete
	Artificial Landscape Boulder 600mm diameter minimum, no sharp edges, to meet BCBG requirements, Key 1/3 of base into grade.
	Privacy Screen
SOFTSCAPE	
	Planting Area - Tree & Shrub 450mm Depth (unless otherwise noted)
	Planting Area - Rain Garden 450mm Depth (unless otherwise noted)
SITE FURNISHINGS	
	Bike Rack, City of Victoria New Town Standard
	Waste Receptacle, City of Victoria New Town Standard, Round
	Bollard Light, City of Victoria New Town Standard (by others electrical)
	Wood Bench 450mm height unless otherwise noted. Shapes and lengths vary, see plan.
	Cluster Seating For illustrative use only
	Trellis
	Artificial Landscape Rocks
	Cable Trellis
	Modular Raised Planters Size and height varies, see plan.
	Cold Plunge Tub
	Exterior Furniture



MDI LANDSCAPE ARCHITECTS
2300 UNIVERSITY ROAD
VICTORIA BC V8W 2E1
R: 250.423.1000
E: info@mdi.ca

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2020-04-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-09-10



client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Landscape Materials - Penthouses

project no. 124.05
scale 1:50 @ 24"x36"
drawn by JRSC/DT
checked by SM

sheet no. **L1.04**



REFER TO SHEET L3.04 FOR
PLANT SCHEDULES



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2020-06-10
2	DP REZONING	2024-09-26
1	DEVELOPMENT TRACKER	2024-09-10



client
**Jawi Residential Ltd
Tri-Eagle Development Corp.**

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
Planting - Ground Level

project no.	124.05
scale	1:100 @ 24"x36"
drawn by	JRSC/DT
checked by	SM
sheet no.	L3.01



MDI LANDSCAPE ARCHITECTS
 2100 UNIVERSITY AVE. # 210-10101
 VICTORIA, BC V8T 2P6

REFER TO SHEET L3.04 FOR
 PLANT SCHEDULES



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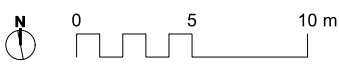
No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2021-06-10
2	DP REZONING	2024-09-20
1	DEVELOPMENT TRACKER	2024-09-10



client
Jawi Residential Ltd
Tri-Eagle Development Corp.

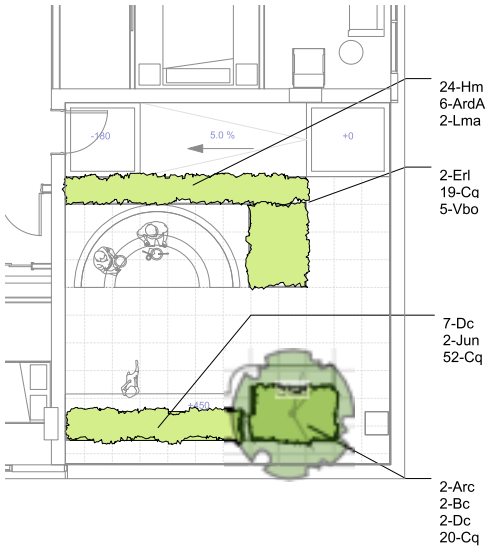
project
 741 FISGARD
 741 Fisgard Street
 Victoria, BC

sheet title
**Planting - L2 and L4
 Amenity**

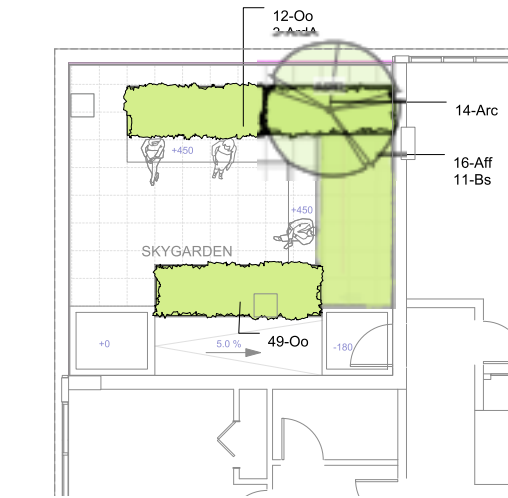


project no.	124.05
scale	1:100 @ 24"x36"
drawn by	JRSC/DT
checked by	SM
sheet no.	L3.02

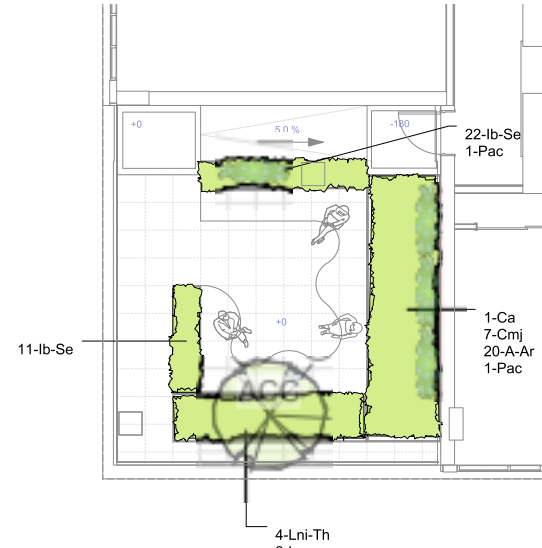
REFER TO SHEET L3.04 FOR
PLANT SCHEDULES



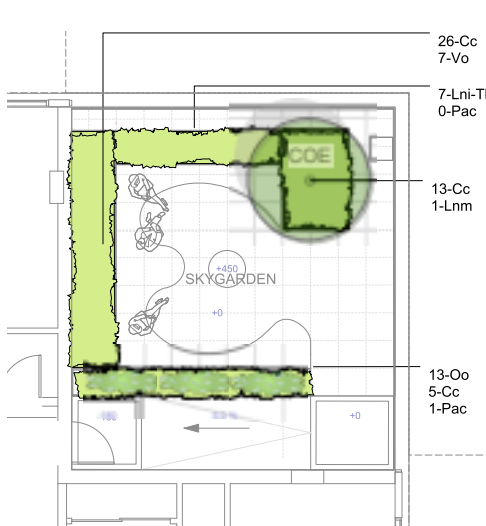
1 Morning Meadow - SE - L 7/8
Scale: 1:50



2 The Night Forest - NW - L 9/10
Scale: 1:50



3 The Hang Out - SW - L 12/13
Scale: 1:50



4 The Dogwood Showcase - NE - L 14/15
Scale: 1:50



5 Strathcona Subalpine - SE - L 17/18
Scale: 1:50



6 The Dallas Bluffs - SW - L 19/20
Scale: 1:50



NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2020-03-30
3	REVISED DP	2020-04-10
2	DP REZONING	2024-09-20
1	DEVELOPMENT TRACKER	2024-09-10



client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
741 FISGARD
741 Fisgard Street
Victoria, BC

sheet title
**Planting - Sky
Gardens**

project no. 124.05
scale 1:50 @ 24"x36"
drawn by JRS/CDT
checked by SM
sheet no.

L3.03

GROUND LEVEL

GROUND LEVEL PLANT LIST					
TREES	Sym	Qty	Botanical Name	Common Name	Schd. Size
	ACC	4	Acer circinatum	Vine Maple	6.0 cm cal. b&b
	GTS	1	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	6.0 cm cal. b&b
	MXG	1	Magnolia x 'Galaxy'	Galaxy Magnolia	6.0 cm cal. b&b
	TBD	5	Tree Species TBD by City of Victoria	Tree Species TBD by City of Victoria	TBD
		6			
SHRUBS					
	Ana	50	Aster novae-angliae	New England Aster	#1 pot
	Arc	19	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
	Gsh	231	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
	Lp	69	Lonicera pileata	Privet Honeysuckle	#1 pot
	Ma	19	Mahonia aquifolium	Oregon Grape	#2 pot
	Msa	4	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
	Tbr	11	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
	Vbo	20	Verbena bonariensis	Tall Verbena	#1 pot
	Vo	26	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
		0			
RAIN GARDEN					
	Co	105	Carex obovata	Slough Sedge	#1 pot
	Csm	7	Cornus sericea 'Midwinter Fire'	Midwinter Fire Red-twigged Dogwood	#1 pot
	Jcg	29	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
	Lp	16	Lonicera pileata	Privet Honeysuckle	#1 pot

L2 and L4 AMENITY LEVELS

L2 AND L4 PLANT LIST					
TREES	Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
	ACP	1	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	4cm cal. b&b, multi-stem
	CKS	4	Cornus kousa 'Satomi'	Satomi Dogwood	6.0 cm cal. b&b
	DI	2	Davidia involucreata	Dove Tree	6.0 cm cal. b&b
	MXG	2	Magnolia x 'Galaxy'	Galaxy Magnolia	6.0 cm cal. b&b
	PRV	1	Panola persica 'Ruby Vase'	Ruby Vase Persian Ironwood	6.0 cm cal. b&b
	SO	1	Syrax obassia	Fragrant Snowbell	6.0 cm cal. b&b
		0			
SHRUBS					
	Ana	11	Aster novae-angliae	New England Aster	#1 pot
	Cx	2	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot
	Ep	7	Echthacea purpurea	Purple Coneflower	#1 pot
	Jun	36	Juniperus communis 'Mondial'	Alpine Carpet Juniper	#1 pot
	La	12	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot
	Lp	30	Lonicera pileata	Privet Honeysuckle	#1 pot
	Mn	13	Mahonia nervosa	Oregon Grape Holly	#1 pot
	Msa	26	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
	Pm	13	Polystichum munium	Sword Fern	#1 pot
	Vbo	23	Verbena bonariensis	Tall Verbena	#1 pot
	Vbd	17	Viburnum davidii	David Viburnum	#2 pot
		0			
RAIN GARDEN PLANTS					
	Co	96	Carex obovata	Slough Sedge	#1 pot
	Csm	11	Cornus sericea 'Midwinter Fire'	Midwinter Fire Red-twigged Dog	#1 pot
	Jcg	38	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
	Lp	22	Lonicera pileata	Privet Honeysuckle	#1 pot

SKY GARDEN LEVELS

MORNING MEADOW PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
CPol	3	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#1 pot
GOB	1	Carex obovata	Brewer's Garry Oak	4.0cm cal. b&b
SHRUBS				
Arc	2	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
ArA	6	Arctostaphylos uva-ursi	Dwarf Goats Beard	#1 pot
Bc	2	Bromus carinatus	California Brome	Sp3
Cq	91	Camassia quamash	Camas	2 bulbs each, 40cm o.c.
Dc	9	Deschampsia cespitosa	Tufted Hair Grass	#1 pot
Eri	2	Eriophyllum lanatum	Woolly Sunflower	#1 pot
Hm	24	Hesperis matronalis 'Crevica alumroot'	Crevica alum root	#1 pot
Jun	2	Juniperus scopulorum 'Blue Creeper'	Blue Creeper Dwarf Rocky Mountain Juniper	#1 pot
Lma	2	Lonicera 'Mandarin'	Lonicera 'Mandarin'	#2 pot
Vbo	5	Verbena bonariensis	Tall Verbena	#1 pot
	0			

THE NIGHT FOREST PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
APD	1	Acer palmatum var. dissectum	Waterfall Cutleaf Japanese Maple	4cm cal. b&b, multi-stem
SHRUBS				
Arc	16	Arctostaphylos uva-ursi	Northwestern Lady Fern	#1 pot
Arc	14	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
ArA	3	Arctostaphylos uva-ursi	Dwarf Goats Beard	#1 pot
Bs	11	Blechnum spicant	Deer Fern	#1 pot
Do	61	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
	0			

THE MANG OUT PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
ACC	1	Acer circinatum	Vine Maple	2.4 m ht. 1.5 width
CPol	4	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#1 pot
SHRUBS				
A-Ar	20	Alcea rosea	Hollyhock	
Ca	1	Clematis armandi	Evergreen Clematis	#2 pot
Clm	7	Clematis x jackmani	Jackman Clematis	#1 pot
Il-Sa	33	Iberis sempervirens	Evergreen Candytuft	plug
Lni-Th	4	Lonicera nitida 'Thunderbolt'	Thunderbolt Boxed Leaf Honey Suckle	#2 pot
Lm	2	Lonicera nitida 'Maigun'	Boxedleaf Honeysuckle 'Maigun'	#3 pot
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
	0			

DOGWOOD SHOWCASE PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
CPol	3	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#1 pot
CPol	3	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#1 pot
SHRUBS				
Cc	44	Cornus canadensis	Bunchberry	Sp3
Lni-Th	7	Lonicera nitida 'Thunderbolt'	Thunderbolt Boxed Leaf Honey Suckle	#2 pot
Lm	1	Lonicera nitida 'Maigun'	Boxedleaf Honeysuckle 'Maigun'	#3 pot
Oo	13	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Pac	1	Passiflora caerulea	Blue Passionflower	#1 pot
Vo	7	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
	0			

STRATHCONA SUBALPINE PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
CPol	2	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#1 pot
TSM	1	Tsuga mertensiana	Mountain Hemlock	3.0 m ht.wb
SHRUBS				
Agr	7	Aquilegia formosa	Western Red Columbine	1 ga
Arc	3	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Cc	10	Cornus canadensis	Bunchberry	Sp3
Eri	8	Eriophyllum lanatum	Woolly Sunflower	#1 pot
Jun	1	Juniperus scopulorum 'Blue Creeper'	Blue Creeper Dwarf Rocky Mountain Juniper	#1 pot
Lma	4	Lonicera 'Mandarin'	Lonicera 'Mandarin'	#2 pot
Lni-Th	2	Lonicera nitida 'Thunderbolt'	Thunderbolt Boxed Leaf Honey Suckle	#2 pot
Lp	1	Lupinus polyphyllus	Native Large Leaf Lupine	1 ga
VaAng	26	Vaccinium angustifolium 'Top Hat'	Top Hat Dwarf Blueberry	#3 pot
	0			

DALLAS BLUFFS PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
ACP	1	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	2.4 m ht. 1.5 width
CPol	1	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#1 pot
SHRUBS				
Arm	53	Armeria maritima	Common Thrift	Sp3, 30cm o.c.
Bc	36	Bromus carinatus	California Brome	Sp3
Caf	1	Cornus sericea 'flaviramea'	Yellow-bird Dogwood	#3 pot
Dc	22	Deschampsia cespitosa	Tufted Hair Grass	#1 pot
Lm	9	Leymus mollis	Dunegrass / Dune Wildrye	Sp3
Pac	2	Passiflora caerulea	Blue Passionflower	#1 pot
	0			

PENTHOUSE LEVEL

PENTHOUSE PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size
TREES				

NOTE: PENTHOUSE PLANTING TO BE SELECTED BY FUTURE BUYER



MDI LANDSCAPE ARCHITECTS
1100 WILSON BLVD. #100
VICTORIA, BC V8V 2P8

NOT FOR CONSTRUCTION

No.	Issued For	Issue Date
4	REVISED DP	2024-03-30
3	REVISED DP	2024-04-10
2	DP REZONING	2024-04-20
1	DEVELOPMENT TRACKER	2024-04-10



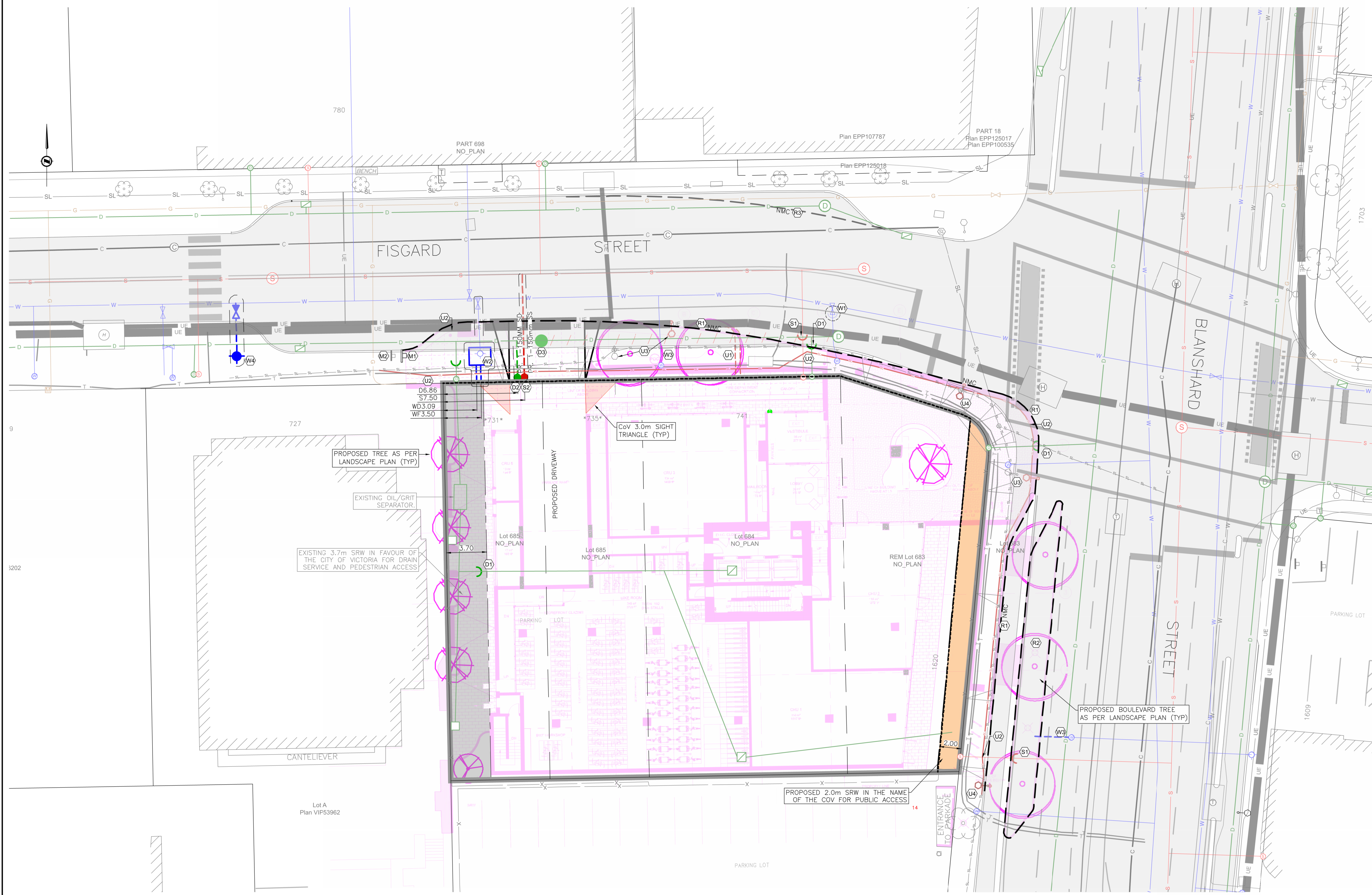
client
Jawi Residential Ltd
Tri-Eagle Development Corp.

project
741 FISGARD
741 Fisgard Street
Victoria, BC

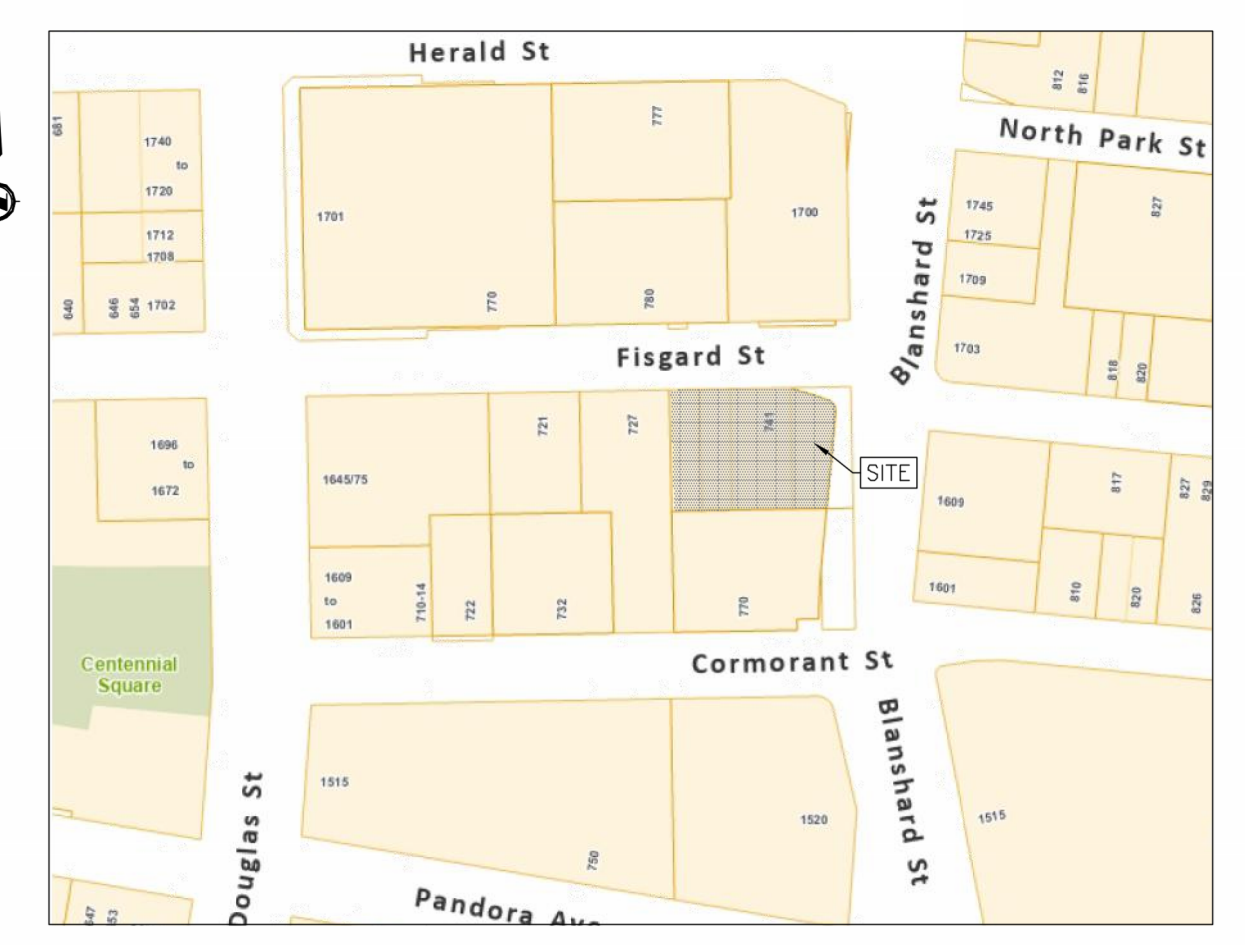
sheet title
Plant Schedules

project no. 124.05
scale NA @ 24"x36"
drawn by JRS/CDT
checked by SM
sheet no.

L3.04



- SHEET NOTES:**
- WATER**
- (W1) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
 - (W2) CITY OF VICTORIA CREWS TO REMOVE EXISTING FIRE HYDRANT AND INSTALL NEW WATER VAULT COMPLETE WITH DCVA, 100mm DOMESTIC SERVICE AND 150mm FIRE SUPPLY LINE AT DEVELOPER'S EXPENSE. DETAILED DESIGN AT BUILDING PERMIT STAGE.
 - (W3) EXISTING WATER SERVICE TO BE MODIFIED AS REQUIRED FOR IRRIGATION SERVICE. DETAILS AT BUILDING PERMIT.
 - (W4) CITY OF VICTORIA CREWS TO INSTALL NEW FIRE HYDRANT AT DEVELOPERS EXPENSE.
- SEWER**
- (S1) CONTRACTOR TO CAP AND ABANDON EXISTING SEWER SERVICES.
 - (S2) CITY OF VICTORIA CREWS TO INSTALL NEW 150mm SEWER SERVICE COMPLETED WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. DETAILED DESIGN AT BUILDING PERMIT STAGE.
- DRAIN**
- (D1) CONTRACTOR TO CAP AND ABANDON EXISTING DRAIN SERVICES.
 - (D2) CITY OF VICTORIA CREWS TO INSTALL NEW 150mm DRAIN SERVICE COMPLETED WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. DETAILED DESIGN AT BUILDING PERMIT STAGE.
 - (D3) CONTRACTOR TO INSTALL TERMINAL MANHOLE AND ABANDON UPSTREAM STORM DRAIN.
- ROAD**
- (R1) CONTRACTOR TO REMOVE EXISTING FRONTAGE AND INSTALL NEW NON-MOUNTABLE CURB & GUTTER, SIDEWALK, AND MLL & FILL TO CENTERLINE AS PER CITY OF VICTORIA SPECIFICATIONS.
 - (R2) CONTRACTOR TO INSTALL NEW CONCRETE ISLAND AS PER CITY OF VICTORIA SPECIFICATIONS. REFER TO LANDSCAPE PLANS FOR DETAILS.
 - (R3) CONTRACTOR TO INSTALL NEW NON-MOUNTABLE CURB AND INFILL SIDEWALK AS REQUIRED.
- UTILITY**
- (U1) ASSUMED BC HYDRO SERVICE. APPLICATION TO BC HYDRO TO BE MADE AS PROJECT PROGRESSES THROUGH DP/REZONING.
 - (U2) EXISTING STREETLIGHT CONDUIT TO BE RELOCATED AS REQUIRED.
 - (U3) EXISTING STREETLIGHT TO BE RELOCATED AS REQUIRED.
 - (U4) EXISTING STREETLIGHT TO BE REMOVED/REPLACED AS REQUIRED.
- MISCELLANEOUS**
- (M1) PROPOSED LOADING ZONE SIGN. DETAILS AS BUILDING PERMIT.
 - (M2) EXISTING PARKING METER TO BE REMOVED.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT B LOTS 699 TO 700 INCLUSIVE AND OF LOTS 703 TO 704 INCLUSIVE VICTORIA CITY PLAN EPP100458

BENCHMARK: MONUMENT GCM 72835
ELEV. 23.559m

PLAN - SITE
H 1:200

20260331
ISSUED FOR REZONING / REDEVELOPMENT

**741 FIGGARD STREET
PRELIMINARY SERVICING
PLAN**

Scale 1:200 Scale N/A
horiz. vert.
Sheet 1 of 1
Eng. Project No. 34870
Drafted by: RT



JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
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