

1042 RICHARDSON STREET

APPLICATION FOR REZONING + DEVELOPMENT PERMIT



Drawing List	
ARCHITECTURAL	
A0.00	COVER
A0.01	CODE ANALYSIS (PART 9)
A0.02	CODE ANALYSIS + SPATIAL SEPARATIONS (PART 9)
A0.03	ASSEMBLIES
A0.04	3D VIEWS
A0.05	SOLAR ANALYSIS - EXISTING
A0.06	SOLAR ANALYSIS - PROPOSED
A1.00	SITE PLAN
A1.01	SITE SURVEY
A2.00	BASEMENT FLOOR PLANS
A2.01	LEVEL 1 FLOOR PLANS
A2.02	LEVEL 2 FLOOR PLANS
A2.03	ROOF PLANS
A3.00	ELEVATIONS
A3.01	Street Context + Exterior Materials
A4.00	BUILDING SECTIONS
CIVIL	
C-1	CONCEPTUAL SERVICING DRAWING FOR REZONING
LANDSCAPE	
L-1	LANDSCAPE CONCEPT PLAN

OWNER	ARCHITECTURAL	CIVIL
1248330 BC LTD. 4044 Hollydene Place Victoria, B.C. 250.893.9038 Contact: Bart Johnson	Christine Lintott Architects Inc. Unit 1 - 864 Queens Avenue Victoria, B.C. V8T 1M5 250-384-1969 Contact: Christine	McElhanney Suite 500 - 3960 Quadra Street Victoria, B.C. V8X 4A3 250-370-9221 Contact: Nathan Dunlop
LANDSCAPE	SURVEY	
LADR Landscape Architects 3-864 Queens Avenue Victoria, B.C. V8T 1M5 250-382-8855 Contact: Chris Windjack	Powell & Associates 250 - 2950 Douglas Street Victoria, B.C., V8T 4N4 Contact Number Contact: Contact Name	

Property Data

GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	THE RENOVATION AND ADDITION OF AN EXISTING 2 STOREY RESIDENTIAL BUILDING WITH A BASEMENT INTO AN 11 UNIT RESIDENTIAL BUILDING.
CIVIC ADDRESS	1042 RICHARDSON STREET, VICTORIA BC, V8V 3G1
LEGAL DESCRIPTION	LOT 1663 VICTORIA
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	009-396-853
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS

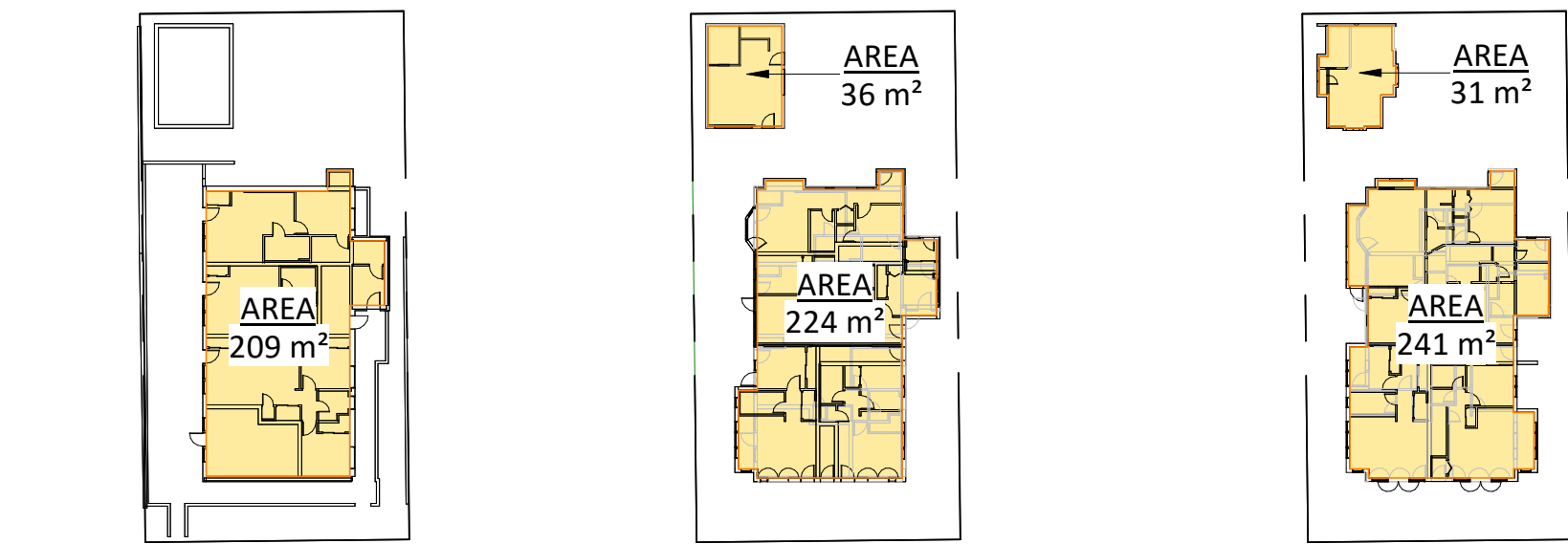
FAIRFIELD NEIGHBOURHOOD PLAN

- THE SUBJECT SITE IS CONSIDERED URBAN RESIDENTIAL AND IS WITHIN THE RENTAL RETENTION AREA IDENTIFIED IN THE FAIRFIELD NEIGHBOURHOOD PLAN.
- APPROXIMATELY 2:1 FLOOR SPACE RATIO WITHIN THE RENTAL RETENTION AREAS
 - MULTI-UNIT RESIDENTIAL OR MIXED-USE BUILDINGS UP TO 20 METRES (APPROX. 6 STOREYS) IN HEIGHT

Municipal Zoning Compliance Summary

0 - ZONING SUMMARY										
NO.	ITEM	DESCRIPTION				BYLAW REFERENCES(S)				
0-1	ZONING DISTRICT	R-K MEDIUM DENSITY		EXISTING	NEW (REZONING)		PROPOSED	80-159		
0-2	DEVELOPMENT PERMIT AREA (DPA)	DPA 16 - GENERAL		EXISTING				OCP		
0-3	HERITAGE STATUS	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO								
0-4	PRINCIPAL USE	ATTACHED DWELLING		EXISTING	MULTI UNIT DWELLING		PROPOSED	R-K:1		
0-5	NUMBER OF DWELLINGS	4		MINIMUM	11		PROPOSED	R-K:2-3		
0-6	CONNECTION OF DWELLING UNITS	PERMITTED:		PROPOSED:				R-K:4		
		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO						
0-7	SITE AREA	SITE AREA						R-K:5		
		555m ²		MINIMUM	668m ²		EXISTING			
		OR:								
		185 * 11 = 2035m ²		REQUIRED						
0-8	FLOOR SPACE RATIO	0.6 : 1		MAXIMUM	1.1 : 1		PROPOSED	R-K:6		
0-9	SITE COVERAGE	33%		MAXIMUM	55%		PROPOSED	R-K:7		
0-10	OPEN SITE SPACE / LANDSCAPING	45%		MINIMUM	45%		PROPOSED	R-K:8		
0-9	FRONT YARD COVERAGE	30%		MAXIMUM	0%		PROPOSED*	R-K:9		
FRONT YARD COVERAGE REFERS TO AREA PERMITTED TO BE PAVED OR USED FOR VEHICLE PARKING										
*PAVED FRONT YARD PROVIDED ONLY FOR SHORT TERM BICYCLE PARKING AS REQUIRED BY SCHEDULE C. PATIOS ARE PROPOSED OF PERMEABLE CONCRETE PAVERS AND NO ON SITE VEHICLE PARKING PROPOSED.										
0-10	PARKING	1.5 STALLS/UNIT		MINIMUM	0		PROPOSED*	R-K:10		
**THREE STREET PARKING STALLS ARE ASSOCIATED WITH THIS PROJECT, REFER TO TRAFFIC REPORT										
0-11	VEHICLE ACCESS TO STREET	ON-SITE VEHICLE PARKING REQUIREMENTS NOT APPLICABLE TO THIS PROPOSAL.								R-K:11
0-12	BUILDING SETBACKS	FRONT YARD (SOUTH - RICHARDSON STREET) SETBACK (m):								R-K:12-14
		6		MAXIMUM FOR ALL BUILDING PARTS	0.08		PROPOSED SOUTH BUILDING ADDITION - ENTRY STAIRS			
		7.5		MAXIMUM FOR EXTERIOR WALLS	4.04		PROPOSED SOUTH BUILDING ADDITION - SOUTH SETBACK TO EXTERIOR WALL			
					12.81		EXISTING SOUTH BUILDING - SOUTH SETBACK*			
					28.59		EXISTING NORTH BUILDING - SOUTH SETBACK (NO CHANGE)			
*REFER TO EXISTING LEVEL 1 PLAN ON A2.01 FOR SOUTH BUILDING'S EXISTING SOUTH SETBACK										
SIDE YARDS + REAR YARD (NORTH, EAST, WEST) SETBACK (m):										
		2.5		MAXIMUM FOR NON-HABITABLE ROOMS	10.87		EXISTING SOUTH BUILDING - NORTH SETBACK			
		4		MAXIMUM FOR HABITABLE ROOMS (NOT LIVING ROOM)	N/A		PROPOSED SOUTH BUILDING ADDITION - NORTH SETBACK			
		7.5		MAXIMUM FOR LIVING ROOM	0.67		EXISTING NORTH BUILDING - NORTH SETBACK (NO CHANGE)			
					1.17m		EXISTING SOUTH BUILDING - EAST SETBACK			
					2.27m		PROPOSED SOUTH BUILDING ADDITION - EAST SETBACK			
					11.80m		EXISTING NORTH BUILDING - EAST SETBACK (NO CHANGE)			
					2.80m		EXISTING SOUTH BUILDING - WEST SETBACK			
					2.70m		PROPOSED SOUTH BUILDING ADDITION - WEST SETBACK			
					0.94m		EXISTING NORTH BUILDING - WEST SETBACK (NO CHANGE)			
0-13	EAVES	IF AN OVERHANG EXCEEDS 0.75m, SIDEYARD SETBACK MUST BE INCREASED BY AMOUNT THAT OVERHANG EXCEEDS 0.75m. THIS PROPOSAL REQUESTS A VARIANCE TO THE EXISTING ZONE'S SETBACKS. IT IS WORTH NOTING, THE EXISTING BUILDING IS NON-CONFORMING TO THE ZONE'S SETBACKS.								R-K:15
0-14	PORCH SETBACKS	ENTRY STAIR PROJECTION INTO SOUTH (RICHARDSON STREET) SETBACK (m):								R-K:16
		1.6		MAXIMUM	4.0		PROPOSED			
		ENTRY STAIR PROJECTION INTO NORTH SETBACK (m):								
		1.6		MAXIMUM	0		PROPOSED			
		ENTRY STAIR PROJECTION INTO EAST SETBACK (m):								
		1.6		MAXIMUM	0		PROPOSED			
		ENTRY STAIR PROJECTION INTO WEST SETBACK (m):								
		1.6		MAXIMUM	0		PROPOSED			
0-15	SEPARATION SPACE	THE REQUIREMENTS FOR SEPARATION SPACE RELATE TO THE DISTANCE BETWEEN TWO ATTACHED DWELLINGS. THE NORTH BUILDING IN THIS PROPOSAL CONTAINS A SINGLE DWELLING UNIT AND IS NOT AN ATTACHED DWELLING.								R-K:17
0-16	MAXIMUM HEIGHT	HEIGHT FROM GRADE TO THE HIGHEST CEILING (m):								R-K:18
		8.5		MAXIMUM	9.78		PROPOSED			
THE FLOOR OF THE BASEMENT IS LESS THAN 1.2m BELOW AVERAGE GRADE AND IS CONSIDERED A STOREY.										
0-17	THIRD FLOOR AREA	THIRD STOREY MUST BE LESS THAN 60% OF THE FLOOR AREA OF ANY OTHER STOREY.								R-K:19
		<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED		209		BASEMENT AREA (m ²)				
				224		LEVEL 1 AREA (m ²)				
				241		LEVEL 2 AREA (m ²)				
0-18	MINIMUM LOT WIDTH	MINIMUM LOT WIDTH (m):								R-K:20
		18		REQUIRED	18.26		EXISTING			

FLOOR SPACE RATIO



① Zoning Floor Area - Basement
1 : 500

TOTAL FLOOR AREA	
Level	Area
Basement (Proposed)	209 m ²
Level 1	224 m ²
Level 2	273 m ²
TOTAL	741 m ²

② Zoning Floor Area - Level 1
1 : 500

AREA WHEN USED IN REFERENCE TO A FLOOR OF A STOREY OF A BUILDING MEANS THE ENTIRE AREA WHICH IN PLAN IS ENCLOSED BY THE INTERIOR FACE OF THE EXTERIOR WALLS OF THE STOREY AT FLOOR LEVEL PLUS THE AREA ENCLOSED BY ANY CANTILEVERED ELEMENT THAT IS WITHIN THAT STOREY AND THAT IS ABOVE FLOOR LEVEL, BUT DOES NOT INCLUDE THE FOLLOWING AREAS:

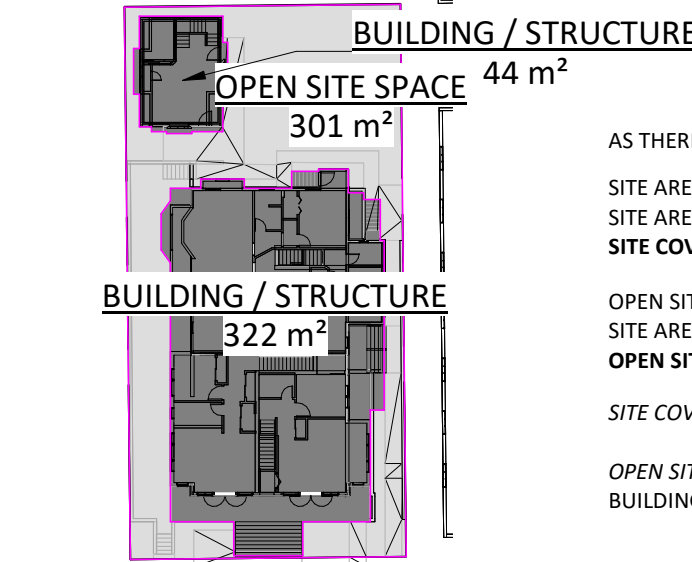
- THE AREA USED FOR REQUIRED LONG-TERM BICYCLE PARKING
- THE AREAS OF BALCONIES, EXPOSED DECKS, PATIOS OR ROOFS

TOTAL FLOOR AREA MEANS THE SUM OF THE AREAS OF ALL FLOORS OF A BUILDING OR BUILDINGS, EXCLUDING FLOOR SPACE UNDER A CEILING WHICH IS LESS THAN 1.8m ABOVE GRADE.

TOTAL FLOOR AREA: 741m²
SITE AREA: 668m²
FSR: 1.11

③ Zoning Floor Area - Level 2
1 : 500

SITE COVERAGE / OPEN SITE SPACE



④ SITE COVERAGE + OPEN SITE SPACE
1 : 500

AS THERE IS NO DRIVEWAY OR ON-SITE PARKING THE SAME AREA PLAN IS USED FOR BOTH THE SITE COVERAGE AND OPEN SITE SPACE CALCULATION.

SITE AREA COVERED BY STRUCTURE: 366m²
SITE AREA: 668m²
SITE COVERAGE: 55%

OPEN SITE SPACE: 305m²
SITE AREA: 668m²
OPEN SITE SPACE: 45%

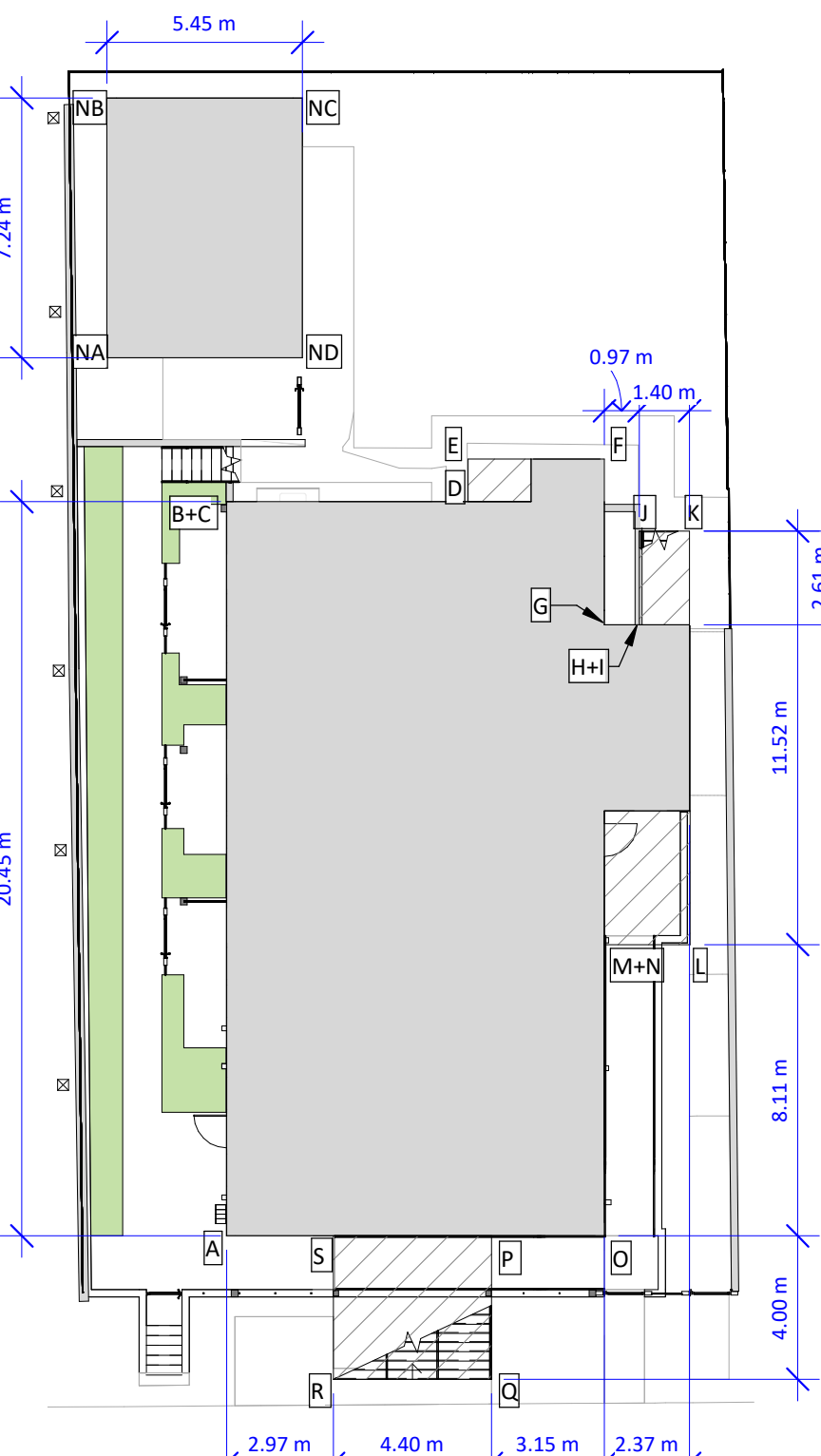
SITE COVERAGE MEANS THE PERCENTAGE OF THE AREA OF A LOT WHICH IS OCCUPIED BY ANY STRUCTURE.

OPEN SITE SPACE MEANS THE PORTION OF A LOT WHICH IS LANDSCAPED AND NOT OCCUPIED OR OBSTRUCTED BY ANY BUILDING OR PORTION OF BUILDING, DRIVEWAY OR PARKING LOT; EXCLUDING ACCESSORY GARDEN STRUCTURES, BALCONIES AND ROOF PROJECTIONS.

SCHEDULE C - CITY OF VICTORIA

	AREA	LONG TERM BICYCLE PARKING SPACES / UNIT
UNIT 1	62m ²	1.25
UNIT 2	60m ²	1.25
UNIT 3	140m ²	1.25
UNIT 4	68m ²	1.25
UNIT 5	46m ²	1.25
UNIT 6	41m ²	1
UNIT 7	47m ²	1.25
UNIT 8	50m ²	1.25
UNIT 9	39m ²	1
UNIT 10	68m ²	1.25
UNIT 11	66m ²	1.25
TOTAL	14 (13.25)	

NOTE: 6 SHORT TERM BICYCLE PARKING STALLS ARE REQUIRED



⑤ AVERAGE GRADE
1 : 200

SOUTH BUILDING AVERAGE GRADE CALCULATION:

AVERAGE BETWEEN POINT:	DISTANCE (m)	(AVG.) x (DIST.)
A+B:	(18.126+18.126)/2 = 18.126	20.45
C+D:	(19.598+19.598)/2 = 19.598	6.73
D+E:	(19.598+19.598)/2 = 19.598	1.19
E+F:	(19.598+19.598)/2 = 19.598	3.79
F+G:	(19.598+18.736)/2 = 19.167	4.62
G+H:	(18.736+18.736)/2 = 19.148	0.97
H+I:	(19.560+19.560)/2 = 19.560	2.61
J+K:	(19.560+19.560)/2 = 19.560	1.40
K+L:	(19.560+20.040)/2 = 19.800	11.52
L+M:	(20.040+21.080)/2 = 20.560	2.37
N+O:	(18.149+18.877)/2 = 18.513	8.11
O+P:	(18.877+18.568)/2 = 18.723	3.15
P+Q:	(19.568+19.177)/2 = 19.383	4.00
Q+R:	(19.177+19.177)/2 = 19.177	4.40
R+S:	(19.177+18.126)/2 = 18.652	4.00
S+A:	(18.126+18.126)/2 = 18.126	2.97
1562.16/82.28 = 18.986m		=82.28 m (PERIMETER)
SOUTH BUILDING GRADE = 18.986m		

NORTH BUILDING AVERAGE GRADE CALCULATION:

AVERAGE BETWEEN POINT:	DISTANCE (m)	(AVG.) x (DIST.)
NA+NB:	(19.777+19.608)/2 = 19.693	7.26
NB+NC:	(19.608+19.636)/2 = 19.622	5.46
NC+ND:	(19.636+19.797)/2 = 19.717	7.26
ND+NA:	(19.797+19.777)/2 = 19.787	5.46
501.30/25.44 = 19.705m		=25.44 (PERIMETER)
NORTH BUILDING GRADE = 19.705m		

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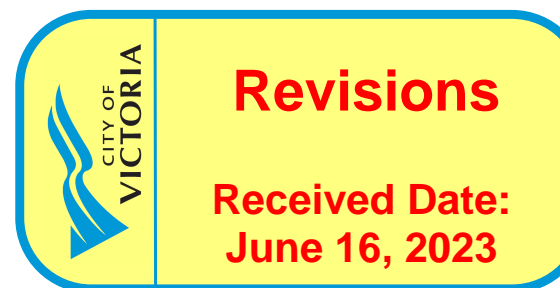
Issue Date

ISSUED FOR DP +
REZONING

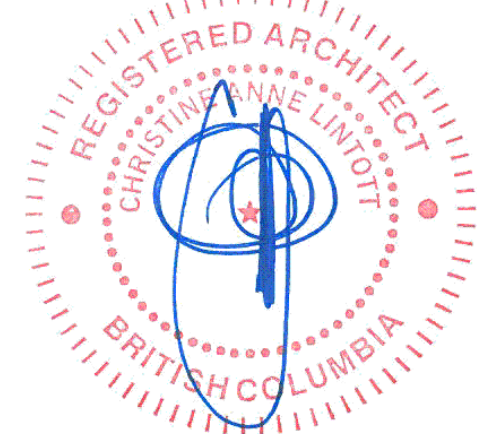
06/13/2023

Revision

No. Description Date



Consultant Seal



1042 Richardson
Street

COVER

Date 2023-06-15 2:55:01 PM

Drawn by HJ

Checked by CL

A0.00

Project # 0001 Scale As indicated

Building Code Analysis - General Information

1 - GENERAL INFORMATION			BCBC
NO.	ITEM	DESCRIPTION	REFERENCE(S)
1-1	PROJECT TYPE	<input type="checkbox"/> NEW CONSTRUCTION <input checked="" type="checkbox"/> ADDITION <input checked="" type="checkbox"/> RENOV. <input type="checkbox"/> TENANT IMPROVEMENT	-
1-2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018, INCLUDING ALL AMENDMENTS	-
1-3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A B C 1 3.2., 1.3.3., 1.3.4.	DIV A - 1.3.2., 1.3.3., 1.3.4.
1-4	OCCUPANCY CLASSIFICATION	<input checked="" type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F2 <input type="checkbox"/> F3	9.10.2.1.
1-5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.2.5.
1-6	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.11.
1-7	OCCUPANT LOAD	<input type="checkbox"/> 30 TOTAL (BOTH BUILDINGS) SOUTH BUILDING ROOM NO. UNITS PER UNIT OCCUPANTS 1 BEDROOM 6 2 12 2 BEDROOM 2 4 8 3 BEDROOM 1 6 6 STUDIO 1 2 2 TOTAL OCCUPANTS 28 NORTH BUILDING ROOM NO. UNITS PER UNIT OCCUPANTS 1 BEDROOM 1 2 2 TOTAL OCCUPANTS 2	9.9.1.3.
1-8	BUILDING AREA (m ²)	<input type="checkbox"/> ≤ 600 REQUIRED <input checked="" type="checkbox"/> 256.5 PROPOSED (SOUTH BUILDING) <input type="checkbox"/> 42.8 PROPOSED (NORTH BUILDING)	DIV. A-1.3.3.3., 1.4.1.2.
1-9	GRADE ELEVATION (m, GEODETIC)	<input checked="" type="checkbox"/> 18.675 SOUTH BUILDING <input checked="" type="checkbox"/> 19.700 NORTH BUILDING	1.4.1.2.
1-10	BUILDING HEIGHT (STOREYS)	<input checked="" type="checkbox"/> 5.3 REQUIRED <input type="checkbox"/> 3 PROPOSED (SOUTH BUILDING) <input type="checkbox"/> 2 PROPOSED (NORTH BUILDING)	9.10.4.
1-11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED (SOUTH) <input checked="" type="checkbox"/> PROPOSED (SOUTH) <input type="checkbox"/> REQUIRED (NORTH) <input checked="" type="checkbox"/> PROPOSED (NORTH)	9.10.18.2.
1-12	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED (SOUTH) <input checked="" type="checkbox"/> PROPOSED (SOUTH) <input type="checkbox"/> SPRINKLER SYSTEM REQUIRED FOR EXISTING BUILDING TO MEET SPATIAL SEPARATION REQUIREMENTS <input type="checkbox"/> REQUIRED (NORTH) <input type="checkbox"/> PROPOSED (NORTH) <input checked="" type="checkbox"/> N/A (NORTH)	9.10.1.3., 3.2.3.1.-D 3.2.5.
1-13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.4.1.
1-14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.9.5.
1-15	NUMBER OF STREETS FACING	<input checked="" type="checkbox"/> 1	1.4.1.2.
1-16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED STREET FRONTAGE MEETS 3.2.5.5.(2)(B), EX. HYDRANT IS ~36m FROM REAR YARD SUITE ENTRANCES	9.10.20.3.
1-17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	9.10.4.1.
1-18	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.1.3.(9), 3.2.5.
1-19	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input checked="" type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> EXISTING NON-COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.6.
1-20	ASSEMBLY FIRE-RESISTANCE RATINGS (F.R.R., IN HOURS)	MINIMUM RATING (LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY): 3/4 FLOORS: N/A MEZZANINE - ROOF CRAWLSPACES 1 EXCEPT FLOORS OVER	9.10.8.
1-21	ALTERNATE SOLUTIONS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO 1 WATER CURTAIN ALTERNATIVE TO 9.9.4.4.-6.	DIV. A - 1.2.1.1.(1)(B), & DIV. C - 2.3.

Building Code Analysis - Accessibility & Design of Areas and Spaces

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES			9.5.
NO.	ITEM	DESCRIPTION	REFERENCE(S)
2-1	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	<input checked="" type="checkbox"/> APPLICATION (3.8.2.) FOR APARTMENT WITHOUT ELEVATOR, ACCESS REQUIRED FROM PARKING TO ENTRANCE AND THROUGH COMMON AREAS AT FIRST STOREY (BICYCLES & RECYCLING). <input checked="" type="checkbox"/> ALTERATIONS (3.8.4.) <input checked="" type="checkbox"/> ADAPTABLE DWELLING UNITS (3.8.5.) ¹ UNIT 8 IS ADAPTABLE	9.5.2.1., 3.8.1.1., 3.8.2.1., 3.8.4.
2-2	ENTRANCES	POWER DOOR OPERATOR: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED ¹ <input checked="" type="checkbox"/> N/A	3.8.2.7.
2-3	AREAS REQUIRING ACCESS	ACCESS THROUGHOUT ENTRANCE STOREY & NORMALLY OCCUPIED FLOOR AREAS: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED ¹ ACCESS REQUIRED TO BIKE ROOM AND WASTE ROOM.	3.8.2.3.(2)(L)

2-4	INTERIOR ACCESSIBLE ROUTES	FLOOR STABLE, FIRM, SLIP-RESISTANT, MINIMAL GLARE, NOT HEAVILY PATTERNED: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A CHANGES IN LEVEL TO B651.4.3.2: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A CARPETS LOW/FIRM LEVEL PILE LOOP WITH HEIGHT WITH PAD NOT MORE THAN 13mm, SECURELY FASTENED, WIDTH EDGE TRIMS WHERE EXPOSED: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A TACTILE WALKING INDICATOR SURFACES: <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A INTERIOR CIRCULATION WIDTH ≥ 900mm: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ FLOORING AND DOOR SILL TRANSITIONS TO BE VERTICAL UP TO 6 mm, SLOPED 1:2 UP TO 13 mm, AND SLOPED 1:12 IF TALLER > 13mm ² MINIMUM CLEAR EXIT WIDTH OF 1100 mm GOVERNS MINIMUM INTERIOR CLEAR WIDTH: APPLICATION OF B651-12.5.1 SERVES TO AVOID REQUIREMENT FOR 1,500 mm CLEAR WIDTH THROUGHOUT BICYCLE AND RECYCLING ROOMS, TO ALLOW REASONABLE ACCESS WHILE RECOGNIZING LIMITS TO ACCESSIBILITY OF EXISTING BUILDING AND GRADE. CSA B651-12 4.3 & 5.1 (IN USE OF 3.8.3.2. PER 3.8.3.1.(1)(B))	
2-5	EXTERIOR ACCESSIBLE ROUTES	1,500 mm WIDE OF PATH OF TRAVEL (mm): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A STABLE, FIRM, SLIP RESISTANT SURFACE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A 1.5 X 1.5 m LEVEL AREA AT DOORS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A HANDRAILS CONFORMING TO 3.4.6.5: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A GUARDS CONFORMING TO 3.4.6.6: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A RAMPS & LANDINGS ADJACENT TO WALLS TO HAVE EDGE PROTECTION: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ¹ RAMPS WITH 915mm CLEAR WIDTH MEET REQUIREMENTS OF 3.8.3.5.	3.8.3.3.
2-6	PASSENGER-LOADING ZONES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	3.8.3.4.
2-7	RAMPS	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A RAMP CLEAR WIDTH (mm): ≥ 915 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 915 <input type="checkbox"/> PROVIDED MAXIMUM SLOPE: 1:12 <input type="checkbox"/> REQUIRED <input type="checkbox"/> 1:12 <input type="checkbox"/> PROVIDED 1.5 X 1.5 m LEVEL AREA AT DOORS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A HANDRAILS CONFORMING TO 3.4.6.5: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A GUARDS CONFORMING TO 3.4.6.6: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A RAMPS & LANDINGS ADJACENT TO WALLS TO HAVE EDGE PROTECTION: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A ¹ RAMP CLEAR WIDTH (mm): ≥ 1,100 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 1,100 <input type="checkbox"/> PROVIDED ¹ REQUIRED CLEAR HEIGHT: ≥ 2,050 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 2,050 <input type="checkbox"/> PROVIDED ¹ MAXIMUM SLOPE: 1:10 <input type="checkbox"/> REQUIRED <input type="checkbox"/> 1:10 <input type="checkbox"/> PROVIDED ¹ WIDTH, PUBLIC STAIR: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ LENGTH, PUBLIC STAIR: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ WIDTH, RAMP: ≥ 1,100 <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> ≥ 1,100 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ RAMP IN ACCESSIBLE PATH OF TRAVEL EXEMPTED FROM 9.6.5. BY 9.8.5.1.(2), SECTION 3.8 GOVERNS	3.8.3.5.
2-8	DOORWAYS AND DOORS (ACCESSIBLE PATHS OF TRAVEL)	DOOR CLEAR WIDTH (mm): ≥ 850 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 850 <input type="checkbox"/> PROVIDED GRASPABLE HARDWARE 900-1100mm ABOVE FLOOR: ≥ 850 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 850 <input type="checkbox"/> PROVIDED MANUAL IN-SWINGING LATCH-SIDE CLEAR AREAS (mm): ≥ 1,500 x (DOOR+600) <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED MANUAL DOOR OUT-SWINGING LATCH-SIDE CLEAR AREAS (mm): ≥ 1,200 x (DOOR+300) <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED POWERED OPERATOR CONTROLS 600-1500mm FROM DOOR: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A DOORS IN SERIES SEPARATED BY ≥ 1500mm + DOOR WIDTH: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A CSA B651-12 4.3 & 5.1 (IN USE OF 3.8.3.2. PER 3.8.3.1.(1)(B))	3.8.3.6.
2-9	PASSENGER-ELEVATING DEVICES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A	3.8.3.7.
2-10	OPERATING CONTROLS	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ REQUIRED IN COMMON AREAS ONLY (BIKE + WASTE ROOMS)	3.8.3.8.
2-11	SIGNAGE AND INDICATORS	TACTILE WARNING SURFACE INDICATORS AT TOP OF EACH STAIR FLIGHT, FULL WIDTH OF STAIR & 600-650 mm DEEP, ONE TREAD WIDTH BACK FROM TOP RISE: <input checked="" type="checkbox"/> REQUIRED ¹ <input checked="" type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ SHARED STAIRS ONLY	3.8.3.9.(3), 9.8.6.5.
2-12	CEILING HEIGHTS (mm)	≥ 2,100 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 2,100 <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ EXISTING CONDITION TO BE SITE MEASURED	9.5.3.1.
2-13	HALLWAY WIDTHS (mm)	≥ 860 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 860 <input type="checkbox"/> PROPOSED	9.5.4.1.
2-14	DOORWAY SIZES (mm)	HEIGHT: ≥ 1,980 <input type="checkbox"/> REQUIRED, TYPICAL WIDTH, ENTRY/BEDROOM/STAIRS/UTILITY/PUBLIC WATER-CLOSET ROOMS: ≥ 810 <input type="checkbox"/> REQUIRED WIDTH, EXTERIOR BALCONIES: ≥ 760 <input type="checkbox"/> REQUIRED IF VERTICAL SWING, SLIDING DOORS WITHIN DWELLING EXCEPT IF UNNECESSARY FOR EGRESS WIDTH, BATHROOM/CLOSET/HALLWAY: ≥ 610 <input type="checkbox"/> REQUIRED	9.5.5.

Building Code Analysis - Windows, Doors & Skylights

3 - WINDOWS, DOORS AND SKYLIGHTS			9.7.
NO.	ITEM	DESCRIPTION	REFERENCE(S)
3-1	DWELLING UNIT ENTRANCE DOORS	DOOR VIEWER OR TRANSPARENT GLAZING: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED	9.7.2.1.
3-2	PERFORMANCE OF WINDOWS, DOORS AND SKYLIGHTS	COMPLY WITH EITHER PART 5 OR 9.7.2.3.3: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED THERMALLY BROKEN METAL FRAMES AND SASHES, UNLESS F.R.R. REQUIRED: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED	9.7.3.
3-3	DESIGN AND CONSTRUCTION [OF WINDOWS, DOORS AND SKYLIGHTS]	CONFORM TO "AAMA/WDMA/CSA-101/1.5.2/A440-11" (NAFIS STANDARD) AND "A440-11" (CANADIAN SUPPLEMENT): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED	9.7.4.
3-4	RESISTANCE TO FORCED ENTRY FOR SWINGING [DWELLING UNIT] DOORS	WHERE WOOD, ≥ 45mm THICK, SOLID OR 19mm STILE-AND-RAIL TYPE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED 5-PIN DEADBOLT LOCK AND BOLT THROW ≥ 25mm, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.(2): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED HINGE FASTENING CONFORMING TO 9.7.5.2.(6): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED	9.7.5.2.
3-5	RESISTANCE TO FORCED ENTRY FOR [RESIDENTIAL] WINDOWS	WITHIN 2m OF ADJACENT GROUND, FORCED ENTRY WINDOW PROTECTION PER CLAUSE 5.3.5. OF "AAMA/WDMA/CSA-101/1.5.2/A440-11" (NAFIS STANDARD): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED	9.7.5.3.

Building Code Analysis - Stairs, Ramps, Handrails and Guards

4 - STAIRS, RAMPS, HANDRAILS AND GUARDS			9.8.
NO.	ITEM	DESCRIPTION	REFERENCE(S)
4-1	STAIR WIDTH (mm)	EXIT OR PUBLIC STAIRS: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A DWELLING UNIT STAIRS: ≥ 860 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED	9.8.2.1.
4-2	HEIGHT OVER STAIRS AND LANDINGS (mm)	TYPICAL: ≥ 2050 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED	9.8.2.2., 9.8.6.4.
4-3	STEP DIMENSIONS (mm)	RISE, PUBLIC STAIR: 125 - 180 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> ≥ 280 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED RUN, PUBLIC STAIR: RISE, PRIVATE STAIR: 125 - 200 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> 255 - 355 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED RUN, PRIVATE STAIR: TYPICAL RADII: 6 - 14 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 3 <input type="checkbox"/> REQUIRED RESILIENT TREAD RADII: TYPICAL RADII: 6 - 14 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 3 <input type="checkbox"/> REQUIRED	9.8.4.1., 9.8.4.2.
4-4	TREAD NOSINGS (mm)	TYPICAL RADII: 6 - 14 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 3 <input type="checkbox"/> REQUIRED	9.8.4.8.
4-5	TACTILE WARNING STRIPS	SURFACE INDICATORS AT TOP OF STAIR FLIGHTS PER 3.8.3.3: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ¹ ¹ TACTILE WARNING STRIPS EXEMPTED BY 9.8.6.5.(1)(A)&(B)	9.8.6.5., 3.8.3.9.(3)
4-6	RAMPS	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A RAMP CLEAR WIDTH (mm): ≥ 1,100 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 1,100 <input type="checkbox"/> PROVIDED ¹ REQUIRED CLEAR HEIGHT: ≥ 2,050 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 2,050 <input type="checkbox"/> PROVIDED ¹ MAXIMUM SLOPE: 1:10 <input type="checkbox"/> REQUIRED <input type="checkbox"/> 1:10 <input type="checkbox"/> PROVIDED ¹ WIDTH, PUBLIC STAIR: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ LENGTH, PUBLIC STAIR: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ WIDTH, RAMP: ≥ 1,100 <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> ≥ 1,100 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ RAMP IN ACCESSIBLE PATH OF TRAVEL EXEMPTED FROM 9.6.5. BY 9.8.5.1.(2), SECTION 3.8 GOVERNS	9.8.5.
4-7	LANDINGS (mm)	WIDTH, PUBLIC STAIR: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ LENGTH, PUBLIC STAIR: ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 900 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ WIDTH, RAMP: ≥ 1,100 <input type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> ≥ 1,100 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ RAMP IN ACCESSIBLE PATH OF TRAVEL EXEMPTED FROM 9.6.5. BY 9.8.5.1.(2), SECTION 3.8 GOVERNS	9.8.6.3., 9.8.2.1.
4-8	HANDRAILS	NO SIDES, INT. STAIRS: NO SIDES, EXT. STAIRS: ≥ 1 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 1 <input type="checkbox"/> REQUIRED NO SIDES, RAMP: ≥ 2 <input type="checkbox"/> REQUIRED CONTINUITY ON ONE SIDE, EXCEPT AT DOORWAYS AND LANDINGS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A HORIZONTAL EXTENSIONS ≥ 300mm, TOP AND BOTTOM, EXCEPT WHERE SERVING ONLY ONE DWELLING UNIT: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A HEIGHT (mm): 865 - 1,070 <input type="checkbox"/> REQUIRED CLEARANCE TO WALL BEHIND (mm): ≥ 50 <input type="checkbox"/> TYPICAL <input type="checkbox"/> ≥ 60 <input type="checkbox"/> ROUGH SURFACE PROJECTION INTO REQUIRED WIDTH (mm): ≤ 100 <input type="checkbox"/> REQUIRED MAXIMUM OPENING (mm): ≤ 100 <input type="checkbox"/> REQUIRED NON-CRIMPABLE FROM 140-900mm, WHERE FALL > 2.4 m: <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.8.7.
4-9	GUARDS	AT ELEVATION CHANGES > 600 mm, OR ADJACENT SURFACE WITHIN 1.2m SLOPES > 1 IN 2: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A RESISTANCE TO LOADING PER TABLE 9.8.8.2: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A HEIGHT, PUBLIC GUARDS (mm): ≥ 1,070 <input type="checkbox"/> REQUIRED HEIGHT, WITHIN OR SERVING ONLY ONE DWELLING UNIT (mm): ≥ 900 <input type="checkbox"/> REQUIRED MAXIMUM OPENING (mm): ≤ 100 <input type="checkbox"/> REQUIRED NON-CRIMPABLE FROM 140-900mm, WHERE FALL > 2.4 m: <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.8.8.

Building Code Analysis - Means of Egress

5 - MEANS OF EGRESS			9.9.
NO.	ITEM	DESCRIPTION	REFERENCE(S)
5-1	EXIT WIDTH (mm)	≥ 900 <input type="checkbox"/> REQUIRED EXCEPT FOR DOORS & CORRIDORS	9.9.3.2.
5-2	WIDTH OF CORRIDORS (mm)	≥ 1,100 <input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> N/A ¹ ¹ NO INTERIOR CORRIDORS ARE PUBLIC	9.9.3.3.
5-3	CLEAR HEIGHT IN EXITS AND ACCESS TO EXITS (mm)	≥ 2,100 <input type="checkbox"/> REQUIRED	9.9.3.4.
5-4	FIRE SEPARATIONS FOR EXITS (F.R.R., IN HOURS)	3/4 <input type="checkbox"/> REQUIRED 3/4 <input type="checkbox"/> PROPOSED	9.9.4.1., 9.9.4.2.
5-5	OPENINGS NEAR UNENCLOSED EXTERIOR EXIT STAIRS AND RAMPS	PROTECT WITH WIRED GLASS IN STEEL FRAMES OR GLASS BLOCK: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ PROPOSED STANDARD SPRINKLER (WATER CURTAIN) ALTERNATIVE SOLUTION TO PROTECT WINDOWS FACING EXIT PATHS FROM WASTE ROOM	9.9.4.4.
5-6	OPENINGS IN EXTERIOR WALLS OF EXITS	PROTECTION WHERE OPENINGS OF DIFFERENT COMPARTMENTS IN EXTERIOR WALLS INTERSECTING AT < 135° AND LOCATED < 3m HORIZONTALLY AND < 2m ABOVE ONE ANOTHER: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ PROPOSED STANDARD SPRINKLER (WATER CURTAIN) ALTERNATIVE SOLUTION TO PROTECT WINDOWS FACING EXIT PATHS FROM WASTE ROOM	9.9.4.5.
5-7	OPENINGS NEAR EXIT DOORS	PROTECTION WHERE OPENINGS OF DIFFERENT COMPARTMENTS IN EXTERIOR WALLS INTERSECTING AT < 135° AND LOCATED < 3m FROM EXIT DOOR: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ PROPOSED STANDARD SPRINKLER ALTERNATIVE SOLUTION TO PROTECT WINDOWS FACING EXIT PATHS FROM WASTE ROOM	9.9.4.6.
5-8	SERVICE ROOMS	SERVICE ROOMS UNDER EXITS MAY NOT CONTAIN EQUIPMENT SUBJECT TO POSSIBLE EXPLOSION: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ELECTRICAL & SPRINKLER ROOMS TO CONTAIN NO SUCH EQUIPMENT	9.9.5.8.
5-9	OBSTRUCTIONS BY DOORS (IN EXITS AND PUBLIC CORRIDORS, NOT SERVING A SINGLE DWELLING) (mm)	PERMITTED OBSTRUCTION BY DOORS WHEN FULLY OPEN: ≤ 100 <input type="checkbox"/> EXIT CORRIDORS ≤ 50 <input type="checkbox"/> OTHER EXIT FACILITIES MINIMUM CLEAR EXIT WIDTH WHEN DOORS FULLY OPEN: ≥ 900 <input type="checkbox"/> REQUIRED MINIMUM CLEAR EXIT STAIR WIDTH WHEN DOORS FULLY OPEN: ≥ 750 <input type="checkbox"/> REQUIRED	9.9.6.1., 9.9.3.2.
5-10	CLEAR HEIGHT AT DOORWAYS (NOT SERVING A SINGLE DWELLING) (mm)	TYPICAL: ≥ 2,030 <input type="checkbox"/> REQUIRED <input type="checkbox"/> ≥ 2,030 <input type="checkbox"/> REQUIRED BELOW CLOSERS: ≥ 1,980 <input type="checkbox"/> REQUIRED	9.9.6.2.
5-11	CLEAR WIDTH AT DOORWAYS (NOT SERVING A SINGLE DWELLING) (mm)	≥ 800 <input type="checkbox"/> REQUIRED ¹	9.9.6.3.
5-12	EXIT AND DWELLING UNIT DOORS	OPERABLE FROM INSIDE WITHOUT KEYS, SPECIAL DEVICES OR KNOWLEDGE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED EXCEPT AT DWELLING UNIT DOORS, OPERABLE BY ONE HAND IN ONE OPERATION: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED HARDWARE INSTALL HEIGHT ≤ 1,200 mm: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED MAXIMUM RON OPERABLE FORCE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED	9.9.6.7.
5-13	EGRESS FROM SUITES	FOR EACH SUITE, DOORWAY TO EXTERIOR EXIT OR PUBLIC CORRIDOR OR EXTERIOR PASSAGEWAY: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED AT DOORWAYS TO PUBLIC CORRIDOR OR EXTERIOR PASSAGEWAY, EXITS IN TWO DIRECTIONS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED	9.9.7.2., 9.9.9.3.(1)
5-14	DEAD END CORRIDORS	≤ 6 m <input type="checkbox"/> REQUIRED ¹ <input checked="" type="checkbox"/> NONE <input type="checkbox"/> PROPOSED ¹ EXCEPT WITHIN A SUITE	9.9.7.3.
5-15	NUMBER AND SPACING OF EGRESS DOORS	EGRESS DOORS: 1 <input type="checkbox"/> REQUIRED 1 <input type="checkbox"/> PROPOSED	TABLE 9.9.7.4.
5-16	TRAVEL DISTANCE (WITHIN SUITES)	≤ 45 m <input type="checkbox"/> REQUIRED <input type="checkbox"/> N/A ¹ ¹ SPRINKLERED SOUTH BUILDING, DWELLING UNITS EXEMPT, NORTH BUILDING CONTAINS SINGLE DWELLING UNIT	9.9.7.6., 9.9.8.1., 9.9.8.2.
5-17	LOCATION OF EXITS	WHERE > 1 EXIT REQUIRED, INDEPENDENT AND REMOTE FROM EACH OTHER: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.9.8.4.
5-18	EXITING THROUGH A LOBBY	<input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.9.8.5.
5-19	TRAVEL LIMIT TO EXITS OR EGRESS DOORS (FROM DWELLING UNITS)	WHERE > 1 STOREY, EXITS LOCATED SUCH THAT TRAVEL UP/DOWN 1 STOREY TO CORRIDOR, PASSAGEWAY, EXIT STAIR OR DOORWAY ≤ 1.5 m ABOVE GRADE: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ LEVEL 2 UNITS PROVIDED WITH BALCONY ACCESS	9.9.9.1.
5-20	TWO SEPARATE EXITS (FROM DWELLING UNITS)	EGRESS IN TWO DIRECTIONS FROM EGRESS DOOR AT CORRIDOR/PASSAGEWAY: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.9.9.2.
5-21	SHARED EGRESS FACILITIES (FROM DWELLING UNITS)	SECOND MEANS OF EGRESS WHERE FIRST OPENS ONTO PUBLIC CORRIDOR SERVING MORE THAN 1 SUITE: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.9.9.3.
5-22	EGRESS WINDOWS OR DOORS FOR BEDROOMS	<input type="checkbox"/> REQUIRED (SOUTH) <input type="checkbox"/> PROPOSED (SOUTH) <input checked="" type="checkbox"/> N/A (SOUTH) ¹ ¹ SPRINKLERED BUILDING	9.9.10.1.
5-23	EXIT SIGNS	<input checked="" type="checkbox"/> REQUIRED (NORTH) <input checked="" type="checkbox"/> PROPOSED (NORTH) <input type="checkbox"/> N/A (NORTH) SIGNS AT EVERY EXIT DOOR, WHERE 3 STOREYS ≥ 150 OCCUPANTS OR FIRE ESCAPE: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ REQUIRED AT EXIT DOORS FOR COMMON FACILITIES ONLY (BIKE & WASTE ROOMS); EXITS SERVING ONLY 1 DWELLING UNIT EXEMPT INTERNATIONAL GREEN/WHITE PICTOGRAM (CON. VISIBLE ON APPROACH TO EXIT): <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A INTERNALLY ILLUMINATED TO CSA-C22.2 #141 OR PHOTOLUMINESCENT TO CAN/ULC-S572, OR EXTERNALLY ILLUMINATED TO CAN/ULC-S572: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.9.11.1., 9.9.11.3.
5-24	SIGNS FOR STAIRS AND RAMPS AT EXIT LEVEL	WHERE BUILDING 3 STOREYS, SIGNAGE AT RAMPS OR STAIRS CONTINUING UP OR DOWN PAST LOWEST EXIT LEVEL TO INDICATE NOT AN EXIT: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.9.11.4.
5-25	FLOOR NUMBERING	RAISED FLOOR LEVEL NUMERALS AT STAIR FACE AND LATCH SIDE OF EXIT STAIR SHAFT DOORS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.9.11.5.
5-26	EMERGENCY LIGHTING (FOR MEANS OF EGRESS NOT WITHIN DWELLING UNITS)	AT EXITS, PRINCIPAL ROUTES PROVIDING ACCESS TO EXIT, PUBLIC CORRIDORS, UNDERGROUND WALKWAYS AND PUBLIC CORRIDORS: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A AUTO-ACTIVATION & 30-MINUTE BATTERY POWER: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A MINIMUM AVERAGE 10 LUX AT FLOOR/TREAD LEVEL: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ REQUIREMENTS APPLY TO COMMON FACILITIES & PUBLIC CORRIDORS (BIKE & WASTE ROOMS, EXTERIOR PUBLIC CORRIDOR AROUND BUILDING)	9.9.12.

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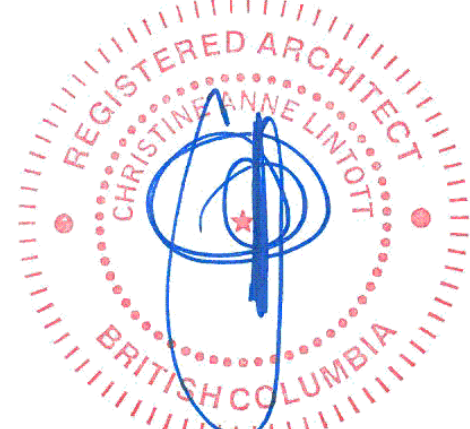
Issue Date

ISSUED FOR DP + REZONING 06/13/2023

Revision

No. Description Date

Consultant Seal



1042 Richardson Street

CODE ANALYSIS (PART 9)

Building Code Analysis - Fire Protection

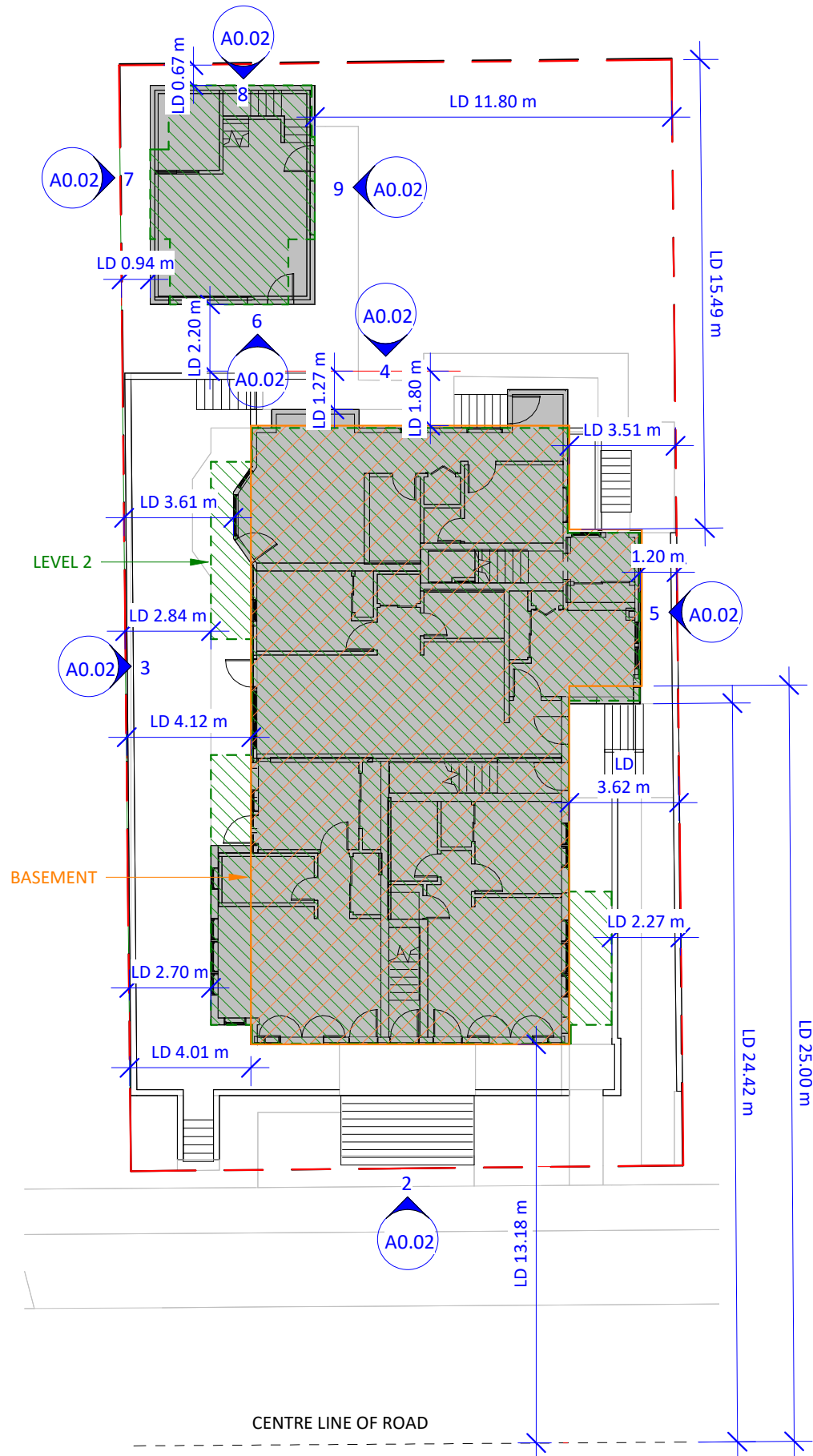
6 - FIRE PROTECTION (SEE ALSO ITEMS UNDER "GENERAL INFORMATION")				9.10.
NO.	ITEM	DESCRIPTION	REFERENCES	
6-1	FIRE SEPARATION CONTINUITY	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.9.2.	
6-2	OPENINGS (IN FIRE SEPARATIONS) TO BE PROTECTED WITH CLOSURES	CLOSURES CONFORMING TO 9.10.13.1: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.9.3., 9.10.13.	
6-3	PENETRATION OF FIRE SEPARATIONS	PIPING, TUBING, DUCTS, CHIMNEYS, WIRING OR CONDUIT, TIGHTLY FITTED OR FIRE STOPPED: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY NON-COMBUSTIBLE PIPING, DUCTS OR FLEX BOXES: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY METAL SHEATHED CABLES W/COMBUSTIBLE JACKETING, IF SPACED ≥ 300mm: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY CABLES W/COMBUSTIBLE INSULATION OR JACKETING, IF O.D. < 25mm: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY COMBUSTIBLE OUTLET BOXES, WHERE ≤ 160 cm²: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY COMBUSTIBLE WATER PIPING, IF FIRE STOPPED: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY SPRINKLER PIPING WITH METAL ESCUTCHEONS: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A BY METAL DUCTS WITH FIRE DAMPERS PER NFPA-80: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.9.6.	
6-4	[PENETRATION BY] COMBUSTIBLE DRAIN, WASTE AND VENT PIPING	IF FIRE STOPPED PER CAN/ULC-S531: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.9.7.	
6-5	SEPARATION OF RESIDENTIAL OCCUPANCIES (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A RESIDENTIAL OCCUPANCY ONLY	9.10.9.11.	
6-7	SEPARATION OF SUITES (F.R.R., IN HOURS)	FIRE SEPARATIONS BETWEEN RESIDENTIAL SUITES: 3/4 REQUIRED <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A DWELLING UNITS ≥ 2 STOREYS: 1 REQUIRED ¹ <input checked="" type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A	9.10.9.13., 9.10.9.14.	
6-8	SEPARATION OF PUBLIC CORRIDORS (F.R.R., IN HOURS)	RESIDENTIAL CORRIDORS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.9.15.	
6-9	SEPARATION OF STORAGE GARAGES (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.9.16.	
6-10	SEPARATION OF SERVICE ROOMS (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A SPRINKLERED; LIMITED EQUIPMENT WITH FIRE HAZARD PERMITTED IN SERVICE ROOMS	9.10.10.3.	
6-11	LOCATION OF FUEL-FIRED APPLIANCES (F.R.R., IN HOURS)	APPLIANCES IN SERVICE ROOM: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ¹ FUEL-FIRED SPACE HEATING OR COOLING, SERVICE WATER HEATERS AND LAUNDRY APPLIANCES SERVING ONE ROOM/SUITE: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A	9.10.10.4.	
6-12	ROOMS FOR TEMPORARY STORAGE OF COMBUSTIBLE REFUSE (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.10.6.	
6-13	PROTECTION OF SOFFITS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ¹ ¹ SOUTH BUILDING EXEMPT BY SPRINKLER SYSTEM; NORTH BUILDING EXEMPT AS SINGLE DWELLING	9.10.12.4.	
6-14	Spatial Separations	REFER TO SPATIAL SEPARATIONS ANALYSIS, MEETING 3.2.3. (SOUTH BUILDING) & 9.10.15. (NORTH BUILDING).	9.10.14.	
6-15	FIRE BLOCKS	IN CONCEALED SPACES: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A IN WALL ASSEMBLIES: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.16.	
6-16	FLAME-SPREAD RATING OF INTERIOR SURFACES	<input checked="" type="checkbox"/> ≤ 150 TYPICAL <input type="checkbox"/> ≤ 300 DOORS NOT WITHIN DWELLING UNITS <input type="checkbox"/> ≤ 25 90% OF UPPER HALF OF WALLS OF PUBLIC CORRIDOR OR EXIT <input type="checkbox"/> ≤ 200 WALLS AND CEILINGS IN RESIDENTIAL BATHROOMS	9.10.17.	
6-17	FIRE ALARM SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED ¹ ¹ FIRE ALARM SYSTEM PROPOSED IN BOTH NORTH AND SOUTH BUILDING	9.10.18.2. (1)	
6-18	ROOMS AND SPACES REQUIRING HEAT DETECTORS OR SMOKE DETECTORS	SMOKE DETECTORS IN RESIDENTIAL PUBLIC CORRIDORS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A FIRE DETECTORS IN UNSPRINKLERED STORAGE, SERVICE, JANITOR, HAZARDOUS STORAGE, ELEVATOR HOISTWAYS, AND LAUNDRY ROOMS: <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	9.10.18.4.	
6-19	SMOKE ALARMS	WHERE REQUIRED, COMPLY WITH CAN/ULC-S531: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A IN EACH STOREY OF EACH DWELLING UNIT: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A IN EACH SLEEPING ROOM IN A DWELLING UNIT: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WHERE REQUIRED IN DWELLING UNITS, INSTALLED PER CAN/ULC-S553 AT/NEAR CEILING: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WIRED POWER SUPPLY WITH BATTERY BACKUP: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A IN LIEU OF SMOKE ALARMS WITHIN RESIDENTIAL SUITES, SMOKE DETECTORS MEETING CAN/ULC-S524, WITH LOCALIZED ALARM: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A WITHIN DWELLING UNIT, INTERCONNECTION OF SMOKE ALARMS: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.10.19.	
6-20	WINDOWS OR ACCESS PANELS	IF UNSPRINKLERED, ACCESS PANELS/WINDOWS ON 2ND AND 3RD STOREYS IN AT LEAST 1 WALL FACING A STREET: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ¹	9.10.20.1.	
6-21	PORTABLE FIRE EXTINGUISHERS	EXCEPT WITHIN DWELLING UNITS, INSTALLATION PER REQUIREMENTS OF BC FIRE CODE: <input checked="" type="checkbox"/> REQUIRED ¹ <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A ¹ EXTINGUISHERS IN ALL COMMON AREAS	9.10.20.4.	
6-22	PROTECTION FOR GAS, PROPANE AND ELECTRIC COOKTOPS AND OVENS	NATURAL GAS AND PROPANE COOKTOPS AND OVENS, INSTALLED PER GAS SAFETY REGULATIONS: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A VERTICAL CLEARANCE ABOVE COOKTOPS (mm): <input type="checkbox"/> ≥ 750 REQUIRED HORIZONTAL CLEARANCE TO COMBUSTIBLE FINISHES OR CABINETS (mm): <input type="checkbox"/> ≥ 450 REQUIRED	9.10.22.	

Building Code Analysis - Sound Transmission

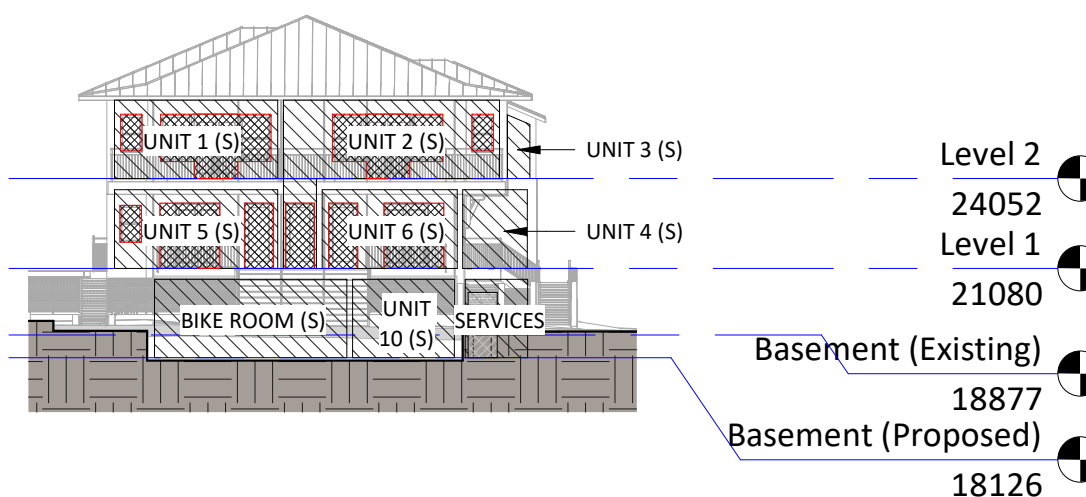
7 - SOUND TRANSMISSION				9.11.
NO.	ITEM	DESCRIPTION	REFERENCES	
7-1	REQUIRED PROTECTION FROM AIRBORNE NOISE	DWELLING UNIT SEPARATION FROM OTHER SPACES BY ASSEMBLIES AND ADJOINING CONSTRUCTION BY EITHER: ASTC ≥ 47 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A STC ≥ 50 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED ¹ <input type="checkbox"/> N/A DWELLING UNIT SEPARATION FROM ELEVATOR SHAFTS AND REFUSE CHUTES: STC ≥ 55 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.11.1.1.	
7-2	DETERMINATION OF SOUND TRANSMISSION RATINGS	STC RATINGS DEMONSTRATED BY EITHER: ASTM E-413 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A 9.10.3.1-A-8 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ASTC RATINGS DEMONSTRATED USING EITHER: ASTM E-413 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A 5.8.1.4-5 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A 9.10.3.1-A-8 <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A ADJOINING CONSTRUCTIONS TO CONFORM TO 9.11.1.4: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.11.1.2., 9.11.1.3.	
7-3	ADJOINING CONSTRUCTIONS	WALLS CONNECTED TO SEPARATING FLOOR/CEILING EITHER: <input type="checkbox"/> 200kg/m ² CONCRETE <input checked="" type="checkbox"/> GYPSUM BOARD WALLS/CEILINGS CONNECTED TO SEPARATING WALLS EITHER: <input type="checkbox"/> 300kg/m ² CONCRETE <input checked="" type="checkbox"/> GYPSUM BOARD FLOORS CONNECTED TO SEPARATING WALLS EITHER: <input type="checkbox"/> 300kg/m ² CONCRETE <input checked="" type="checkbox"/> FLOORS-ON-GROUND 9.16. <input checked="" type="checkbox"/> TABLE 9.11.1.4. <input type="checkbox"/> N/A (EXISTING)	9.11.1.4.	

Building Code Analysis - Energy Efficiency

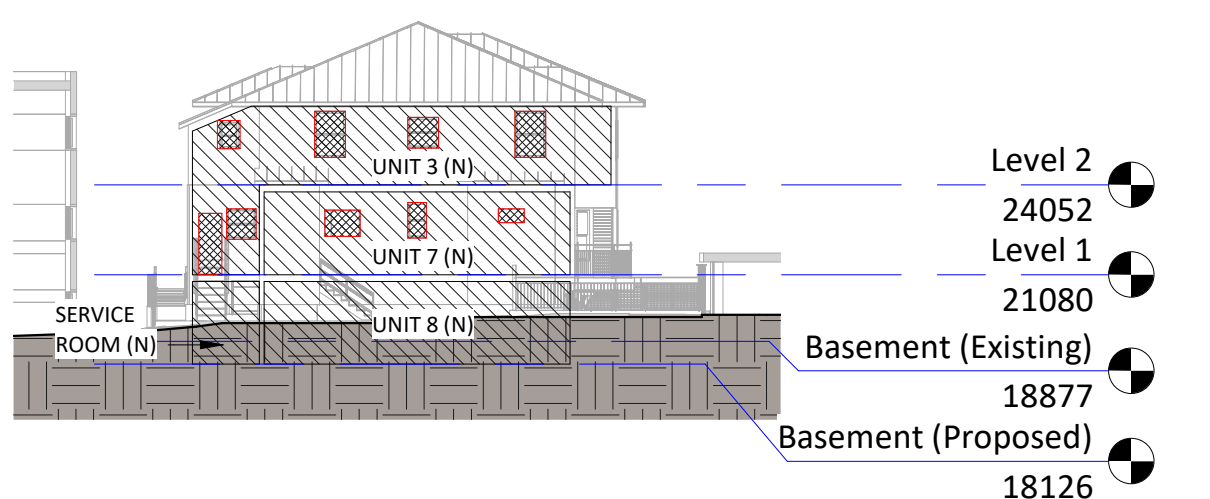
13 - ENERGY EFFICIENCY				9.35.
NO.	ITEM	DESCRIPTION	REFERENCES	
13-1	APPLICATION	EXISTING/RENOVATED HOUSE: <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A NEW ADDITION: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.36.1.1.	
13-2	ENERGY COMPLIANCE STANDARD	COMPLIANCE PATH: <input checked="" type="checkbox"/> 9.36.2. TO 9.36.4. <input type="checkbox"/> 9.36.5. PERFORMANCE <input type="checkbox"/> 9.36.6. ENERGY STEP CODE <input type="checkbox"/> NECB 2015	BCBC 9.36.1.3. (3), BC BUILDING ACT 1.2.2	
ENERGY EFFICIENCY - COMPLIANCE PATH 1 - PRESCRIPTIVE/TRADE-OFF				9.36.2. - 4.
13-3	THERMAL CHARACTERISTICS OF ABOVE-GROUND OPAQUE BUILDING ASSEMBLIES	HEATING DEGREE-DAYS OF BUILDING LOCATION (°C): 2650 VICTORIA BC (ZONE 4) CEILINGS BELOW ATTICS (m²K/W): ≥ RSI-8.67 REQUIRED <input checked="" type="checkbox"/> ≥ RSI-8.67 PROPOSED CATHEDRAL CEILINGS (m²K/W): ≥ RSI-4.67 REQUIRED <input checked="" type="checkbox"/> ≥ RSI-4.67 PROPOSED ROOF DECKS (m²K/W): - REQUIRED <input type="checkbox"/> - PROPOSED <input checked="" type="checkbox"/> N/A ¹ FLAT ROOFS (m²K/W): ≥ RSI-5.28 REQUIRED <input type="checkbox"/> ≥ RSI-5.28 PROPOSED <input type="checkbox"/> N/A ¹ WALLS (m²K/W): ≥ RSI-3.08 REQUIRED <input checked="" type="checkbox"/> ≥ RSI-3.08 PROPOSED FLOORS OVER UNHEATED SPACES (m²K/W): ≥ RSI-4.67 REQUIRED <input checked="" type="checkbox"/> ≥ RSI-4.67 PROPOSED	9.36.2.6., APPENDIX C: TABLE C-2 & TABLE 9.36.2.6.-C	
13-4	THERMAL CHARACTERISTICS OF FENESTRATION, DOORS AND SKYLIGHTS	FENESTRATION AND DOORS (W/m²K): ≤ USI-1.84 REQUIRED <input type="checkbox"/> ≤ USI-1.84 PROPOSED SKYLIGHTS (W/m²K): ≤ USI-2.92 REQUIRED <input type="checkbox"/> ≤ USI-2.92 PROPOSED GLAZED PORTIONS OF DOORS: <input checked="" type="checkbox"/> NON-METAL, 3X, 12.7 PERMITTED <input type="checkbox"/> PROPOSED ¹ <input checked="" type="checkbox"/> NON-METAL, DBL, LOW-E PERMITTED <input type="checkbox"/> PROPOSED ¹ <input checked="" type="checkbox"/> METAL, 3X, 2LOW-E, 12.7 PERMITTED <input type="checkbox"/> PROPOSED ¹	9.36.2.7., APPENDIX C: TABLE C-5	
13-5	THERMAL CHARACTERISTICS OF BUILDING ASSEMBLIES BELOW-GRADE OR IN CONTACT WITH THE GROUND	FOUNDATION WALLS (m²K/W): ≥ RSI-3.46 REQUIRED <input checked="" type="checkbox"/> ≥ RSI-3.46 PROPOSED HEATED FLOORS (m²K/W): ≥ RSI-3.46 REQUIRED <input checked="" type="checkbox"/> ≥ RSI-3.46 PROPOSED	9.36.2.8., TABLE 9.36.2.8.-C	
13-6	HVAC REQUIREMENTS	COMPLY WITH SUBSECTION 9.36.3: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.36.3.	
13-7	SERVICE WATER HEATING SYSTEMS	COMPLY WITH SUBSECTION 9.36.4, OR USE EFFICIENCY REQUIREMENTS OF NECB: <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	9.36.4.	



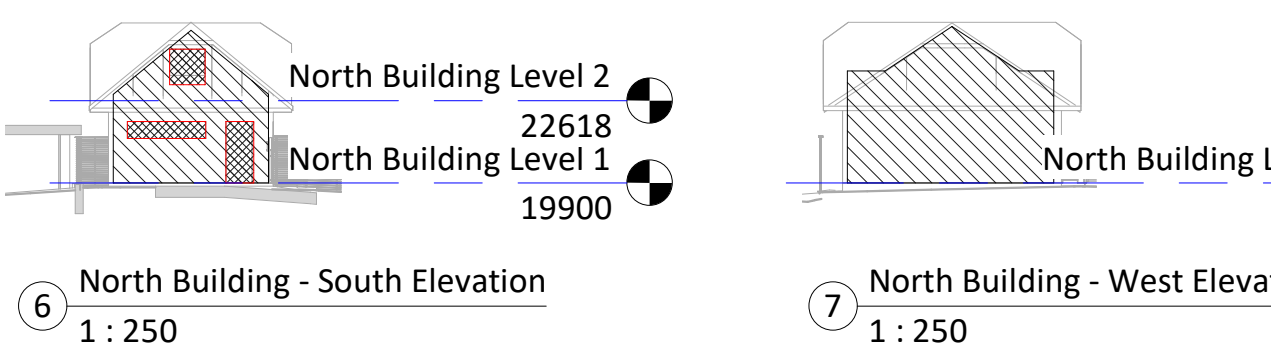
1 Level 1 - Limiting Distance
1 : 200



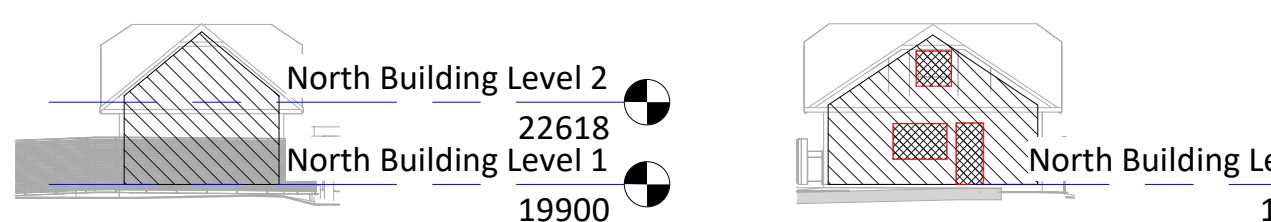
2 Spatial Separations - South
1 : 250



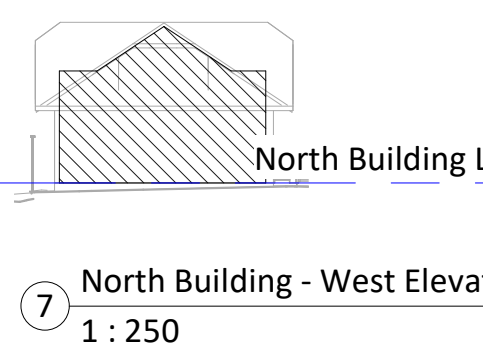
3 Spatial Separations - North
1 : 250



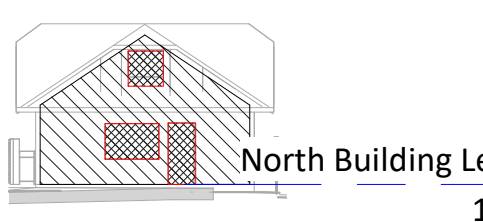
4 North Building - South Elevation
1 : 250



5 North Building - North Elevation
1 : 250



6 North Building - West Elevation
1 : 250



7 North Building - East Elevation
1 : 250

Building Code Analysis - South Building Spatial Separations BUILDING MUST BE SPRINKLERED

6-14 - SPATIAL SEPARATIONS											3.2.3.
NO.	ANALYSIS									REFERENCE	
6-14	SUITE	WALL AREA (m ²)	U.P.O. AREA (m ²)	LIMITING DISTANCE (m)	MAX. OPEN (m ²)	OPEN (%)	F.R.R. (HR.)	N.C. WALL	N.C. CLAD	3.2.3.1., 3.2.3.7.	
	NORTH										
	SERVICE ROOM (N)	6.0	0	15.49	100	0	-	-	-	3.2.3.1-0	
	UNIT 8 (N)	27.6	0	1.80	21.6	0	1	-	REQUIRED	3.2.3.1-0	
	UNIT 7 (N)	27.8	2.1	1.27	14.9	7.6	1	-	REQUIRED	3.2.3.1-0	
	UNIT 3 (N)	41.9	7.4	1.80	18.4	17.6	1	-	REQUIRED	3.2.3.1-0	
	EAST										
	UNIT 10 (E)	25.0	0	3.62	75.6	0	3/4	-	-	3.2.3.1-0	
	WASTE ROOM (E)	4.3	0	3.62	100	0	-	-	-	3.2.3.1-0	
	SERVICE ROOM (E)	11.6	0	1.20	16.0	0	1	-	REQUIRED	3.2.3.1-0	
	UNIT 8 (E)	8.0	1.6	3.51	100	20.5	-	-	-	3.2.3.1-0	
	UNIT 6 (E)	20.5	6.2	3.62	75.6	30.2	3/4	-	-	3.2.3.1-0	
	UNIT 1 (E)	2.7	2.0	3.62	100	72.3	-	-	-	3.2.3.1-0	
	UNIT 4 (E)	13.1	2.0	1.20	16.0	15.2	1	-	REQUIRED	3.2.3.1-0	
	UNIT 7 (E)	12.4	2.4	3.51	87.3	19.7	3/4	-	-	3.2.3.1-0	
	UNIT 2 (E)	23.7	4.9	2.27	32.7	20.7	3/4	-	REQUIRED	3.2.3.1-0	
	UNIT 3 (E)	34.4	1.7	1.20	14.0	5.0	1	-	REQUIRED	3.2.3.1-0	
	SOUTH										
	BIKE ROOM (S)	16.5	0	13.18	100	0	-	-	-	3.2.3.1-0	
	UNIT 10 (S)	8.7	0	13.18	100	0	-	-	-	3.2.3.1-0	
	SERVICES	5.3	0	24.42	100	0	-	-	-	3.2.3.1-0	
	UNIT 5 (S)	14.1	7.2	13.18	100	51.1	-	-	-	3.2.3.1-0	
	UNIT 6 (S)	11.6	6.4	13.18	100	54.9	-	-	-	3.2.3.1-0	
	UNIT 4 (S)	5.6	0	24.42	100	0	-	-	-	3.2.3.1-0	
	UNIT 1 (S)	14.1	7.4	13.18	100	52.5	-	-	-	3.2.3.1-0	
	UNIT 2 (S)	21.9	9.1	13.18	100	43.4	-	-	-	3.2.3.1-0	
	UNIT 3 (S)	1.4	0	24.42	100	0	-	-	-	3.2.3.1-0	
	WEST										
	UNIT 8 (W)	13.5	6.0	4.01	100	44.4	-	-	-	3.2.3.1-0	
	UNIT 9 (W)	13.1	6.0	4.01	100	45.8	-	-	-	3.2.3.1-0	
	UNIT 10 (W)	12.3	6.0	4.01	100	48.7	-	-	-	3.2.3.1-0	
	BIKE ROOM (W)	12.1	6.0	4.01	100	49.6	-	-	-	3.2.3.1-0	
	UNIT 7 (W)	15.3	6.0	3.61	100	39.1	-	-	-	3.2.3.1-0	
	UNIT 4 (W)	16.7	6.8	4.12	100	40.9	-	-	-	3.2.3.1-0	
	UNIT 5 (W)	23.7	7.0	2.70	43.6	29.5	3/4	-	REQUIRED	3.2.3.1-0	
	UNIT 3 (W)	27.7	5.3	2.84	42.2	19.1	3/4	-	REQUIRED	3.2.3.1-0	
	UNIT 1 (W)	23.6	6.1	2.70	43.6	25.8	3/4	-	REQUIRED	3.2.3.1-0	

WALLS - EXTERIOR (EXISTING)

STUCCO SIDING - TYPICAL EXISTING

F.R.R. ☐ 1 HR ☐ SIMILAR TO EW2A

☐ CAN/ULC-S101 ☐ APPENDIX D ☒ 9.10.3.1.-A

FIRE SEPARATION ☐ NO

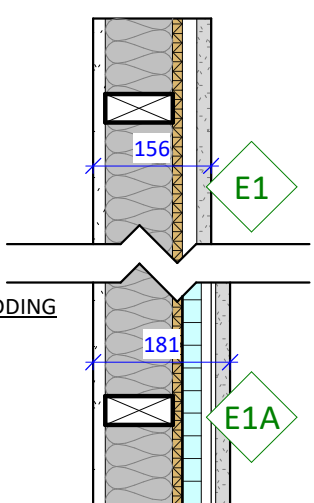
☐ CAN/ULC-S115 FIRESTOPPING

COMBUSTIBLE ☐ CLADDING EXISTING CLADDING

NON-COMBUSTIBLE ☐ CLADDING CAN/ULC-S135 NEW CLADDING

R₉-VALUE ☐ 2.74 EXISTING CLADDING

R₉-VALUE ☐ 3.62 NEW CLADDING



- EXISTING STUCCO SIDING TO BE PATCHED AND PAINTED OR NEW STUCCO CLADDING (E1A)
- EXISTING VERTICAL STRAPPING OR NEW VERTICAL STRAPPING WHERE REPLACING CLADDING
- NEW 25mm CONTINUOUS SEMI-RIGID STONE WOOL INSULATION BOARD (RSI: 0.87 C.I.) WHERE REPLACING CLADDING
- EXISTING BUILDING PAPER (WEATHER BARRIER) OR NEW SELF-ADHERING VAPOUR PERMEABLE AIR/MOISTURE BARRIER WHERE REPLACING CLADDING
- EXISTING SHEATHING
- EXISTING WOOD STUDS (2x4 TYPICAL)
- NEW BATT INSULATION BETWEEN STUDS (RSI-2.69)
- NEW 6mm POLY AIR/VAPOUR BARRIER
- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED

"E1A" SIMILAR TO "E1," BUT WITH NEW EXTERIOR INSULATION AND CLADDING. USED WHERE EXISTING EXTERIOR WALL ALIGNS WITH NEW EXTERIOR WALL.

NOTE: EXISTING ASSEMBLIES ARE ASSUMED AND NEED TO BE SITE VERIFIED.

WALLS - EXTERIOR (PROPOSED)

STUCCO SIDING - TYPICAL

F.R.R. ☐ 1 HR ☐ SIMILAR TO EW2A

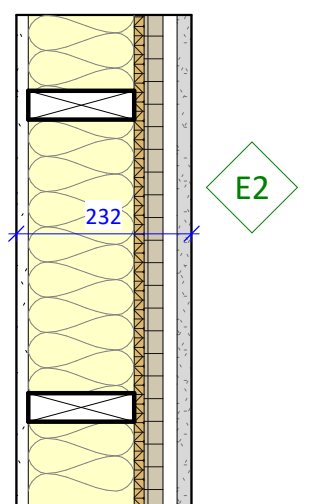
☐ CAN/ULC-S101 ☐ APPENDIX D ☒ 9.10.3.1.-A

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ CLADDING CAN/ULC-S135

R₉-VALUE ☐ 4.83



- NON-COMBUSTIBLE STUCCO CLADDING
- 19x38mm P.T. VERTICAL STRAPPING
- 25mm CONTINUOUS SEMI-RIGID STONE WOOL INSULATION BOARD (RSI-0.87 C.I.)
- SELF-ADHERING VAPOUR PERMEABLE AIR/MOISTURE BARRIER
- 13mm PLYWOOD SHEATHING
- 140mm WOOD STUDS @ 400mm O.C.
- R22 BATT INSULATION CONTINUOUS BETWEEN STUDS
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 16mm TYPE-X GYPSUM WALLBOARD, PAINTED

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

CONCRETE - BELOW GRADE

F.R.R. ☐ 1 HR ☐ SIMILAR TO EW2A

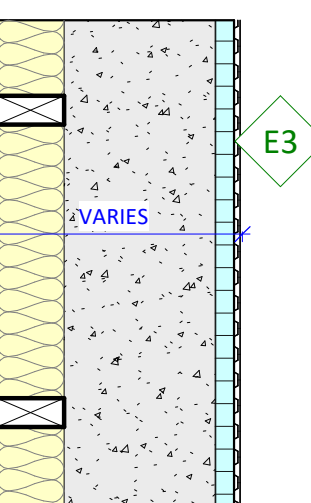
☐ CAN/ULC-S101 ☒ APPENDIX D ☐ 9.10.3.1.-A

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ CLADDING CAN/ULC-S135

R₉-VALUE ☐ 3.709



- DRAINAGE MAT ASSEMBLY
- 25mm CONTINUOUS RIGID INSULATION BOARD, DIRECTLY ADHERED
- SELF-ADHERING AIR/VAPOUR BARRIER MEMBRANE
- 200mm CAST-IN-PLACE CONCRETE (STRUCTURAL TO BE PROVIDED)
- 89mm WOOD STUDS @ 400mm O.C.
- R22 BATT INSULATION CONTINUOUS BETWEEN STUDS
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 16mm TYPE-X GYPSUM WALLBOARD, PAINTED

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

CONCRETE - ABOVE GRADE

F.R.R. ☐ > 1 HR ☐ SIMILAR TO EW2A

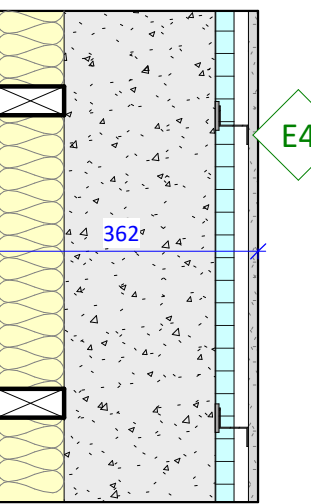
☐ CAN/ULC-S101 ☒ APPENDIX D ☐ 9.10.3.1.-A

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ CLADDING CAN/ULC-S135

R₉-VALUE ☐ 3.709



- VERTICAL CEMENTITIOUS SIDING, PAINTED
- GALVANIZED Z-GIRTS ON THERMAL SPACER STRIP, SIZED TO PROVIDE 19mm RAINSCREEN CAVITY @ 400mm O.C.
- 25mm CONTINUOUS RIGID INSULATION BOARD (RSI-1.76 C.I.)
- SELF-ADHERING AIR/VAPOUR BARRIER MEMBRANE
- 200mm CAST-IN-PLACE CONCRETE, EXPOSED TO INTERIOR (STRUCTURAL TO BE PROVIDED)
- 89mm WOOD STUDS @ 400mm O.C.
- R22 BATT INSULATION CONTINUOUS BETWEEN STUDS
- 6 MIL POLYETHYLENE VAPOUR BARRIER
- 16mm TYPE-X GYPSUM WALLBOARD, PAINTED

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

WALLS - INTERIOR

SUITE SEPARATIONS AT EXISTING EXTERIOR WALL

F.R.R. ☐ 1 HR ☒ BCBC #W313C

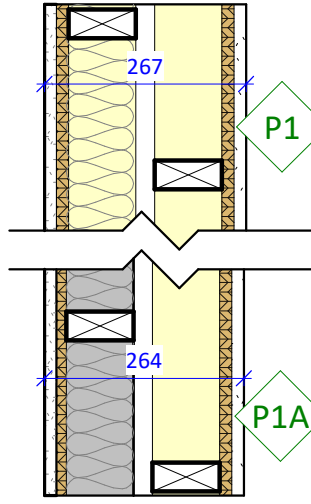
☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-A

FIRE SEPARATION ☒ YES FIRESTOPPED WHERE REQUIRED

☒ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

S.T.C. ☐ 54 SIMILAR TO BCBC #W13C



- NEW 16mm TYPE 'X' GYPSUM BOARD, C/W ACOUSTIC SEALANT AT EDGES, PAINTED
- EXISTING OR NEW 16mm PLYWOOD SHEATHING (STRUCTURAL DESIGN TO BE PROVIDED)
- EXISTING 89mm WOOD STUDS @ 400mm O.C.
- NEW 89mm BATT INSULATION CONTINUOUS BETWEEN STUDS
- NEW 25mm AIR SPACE (C/W FIRE BLOCKING AS PER BCBC)
- NEW 89mm WOOD STUDS @ 400 O.C.
- 89mm BATT INSULATION CONTINUOUS BETWEEN STUDS
- NEW 16mm PLYWOOD SHEATHING (STRUCTURAL TO BE PROVIDED)
- NEW 16mm TYPE-X GYPSUM WALLBOARD, C/W ACOUSTIC SEALANT AT EDGES, PAINTED

"P1A" SIMILAR TO "P1" WHERE EXISTING STUDS ARE USED FOR PART OF WALL ASSEMBLY.

NOTES:
- STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.
- REPLACE ACOUSTIC SEALANT WITH FIRESTOPPING WHERE FIRE RATING REQUIRED.

2X4 PARTITION (BCBC #W1A)

F.R.R. ☐ 1 HR ☐ WHERE LOADBEARING OR NOTED

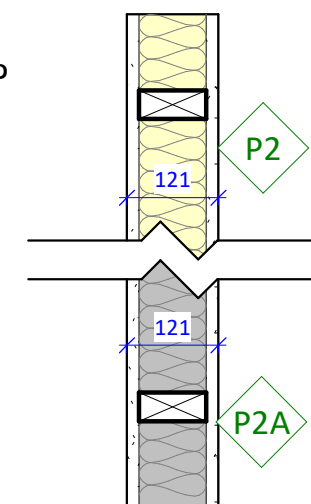
☐ CAN/ULC-S101 ☐ APPENDIX D ☒ 9.10.3.1.-A

FIRE SEPARATION ☐ NO

☒ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

S.T.C. ☐ 36 BCBC #W1a



- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED
- P2A EXISTING GWB TO BE REPLACED WHERE REQUIRED, NEW PAINT FINISH
- NEW 89mm WOOD STUDS @ 400 mm O.C.
- P2A EXISTING 89mm WOOD STUDS @ 400 mm O.C.
- NEW 89mm ACOUSTIC BATT INSULATION CONTINUOUS BETWEEN STUDS (CAN BE OMITTED WHERE NON-LOADBEARING, UNRATED, AND LOCATED ENTIRELY WITHIN A SINGLE SUITE WHERE NOT A BATHROOM PARTITION)
- NEW 89mm WOOD STUDS @ 400 O.C.
- 89mm BATT INSULATION CONTINUOUS BETWEEN STUDS
- NEW 16mm PLYWOOD SHEATHING (STRUCTURAL TO BE PROVIDED)
- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED
- P2A EXISTING GWB TO BE REPLACED WHERE REQUIRED, NEW PAINT FINISH

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

2X6 PARTITION (BCBC #W1A)

F.R.R. ☐ 1 HR ☐ WHERE LOADBEARING OR NOTED

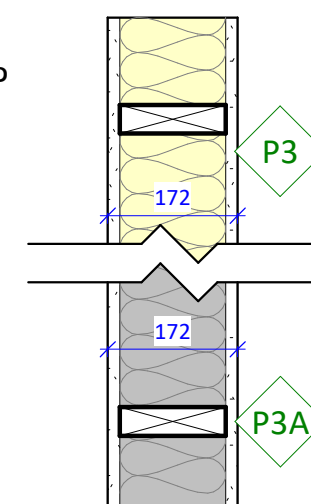
☐ CAN/ULC-S101 ☐ APPENDIX D ☒ 9.10.3.1.-A

FIRE SEPARATION ☐ NO

☒ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

S.T.C. ☐ 36 SIM. BCBC #W1a



- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED
- P3A EXISTING GWB TO BE REPLACED AS REQUIRED, NEW PAINT FINISH
- NEW 140mm WOOD STUDS @ 400 mm O.C.
- P3A EXISTING 140mm WOOD STUDS
- NEW 140mm ACOUSTIC BATT INSULATION CONTINUOUS BETWEEN STUDS (CAN BE OMITTED WHERE NON-LOADBEARING, UNRATED, AND LOCATED ENTIRELY WITHIN A SINGLE SUITE WHERE NOT SEPARATING A BATHROOM FROM LIVING SPACE)
- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED
- P3A EXISTING GWB TO BE REPLACED AS REQUIRED, NEW PAINT FINISH

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

INTERIOR FURRING

F.R.R. ☐ -

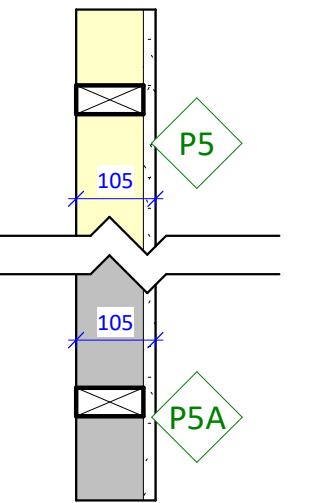
☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-A

FIRE SEPARATION ☐ NO FIRESTOPPED WHERE REQUIRED

☒ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

S.T.C. ☐ -



- NEW 89mm WOOD STUDS @ 400 mm O.C.
- P5A EXISTING 89mm WOOD STUDS @ 400mm O.C.
- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED
- P5A EXISTING GWB TO BE REPLACED AS REQUIRED, NEW PAINT FINISH

NOTE: EXISTING STRUCTURE TO BE SITE VERIFIED

FLOORS (EXISTING)

TYPICAL EXISTING FLOOR

F.R.R. ☐ 1 HR ☐ SIMILAR TO EW2A

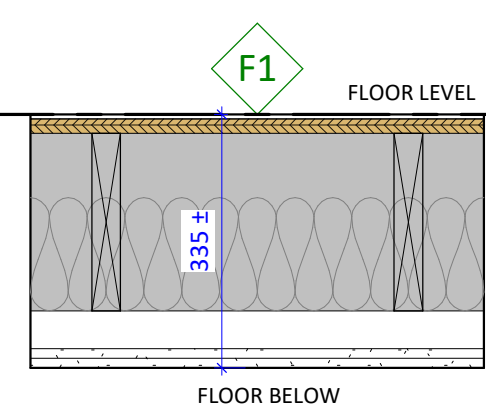
☐ CAN/ULC-S101 ☐ APPENDIX D ☒ 9.10.3.1.-B

FIRE SEPARATION ☐ YES

☒ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

S.T.C. ☐ 51 BCBC #F9G



- NEW INTERIOR FLOOR FINISH (TBD)
- EXISTING OR NEW 19mm PLYWOOD SUBFLOOR (SEE STRUCTURAL DESIGN TO BE PROVIDED)
- EXISTING SOLID WOOD JOISTS TO REMAIN, OR NEW WOOD JOISTS @ 400mm O.C. (STRUCTURAL DESIGN TO BE PROVIDED)
- EXISTING GYPSUM CEILING FINISH (TO BE REMOVED)
- NEW ACOUSTIC BATT INSULATION BETWEEN JOISTS (MIN. 150mm)
- NEW RESILIENT CHANNEL, SPACED 400mm O.C.
- 2 NEW LAYERS 13mm GYPSUM BOARD, PAINTED

NOTE: EXISTING STRUCTURE TO BE SITE VERIFIED

SLAB-ON-GRADE (UNHEATED)

F.R.R. ☐ -

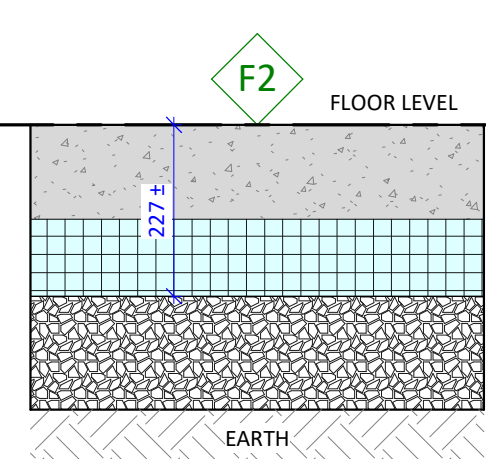
☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-B

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115

NON-COMBUSTIBLE ☒ YES CAN/ULC-S114

R.S.I. ☐ 3.74



- FLOOR FINISH (TBD)
- 125mm CONCRETE FLOOR SLAB (STRUCTURAL DESIGN TO BE PROVIDED)
- 102mm CONTINUOUS RIGID INSULATION
- 10mm POLY VAPOUR BARRIER
- COMPACTED GRAVEL (STRUCTURAL DESIGN TO BE PROVIDED)
- UNDISTURBED SOIL (PER GEOTECH)

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

SLAB-ON-GRADE (HEATED)

F.R.R. ☐ -

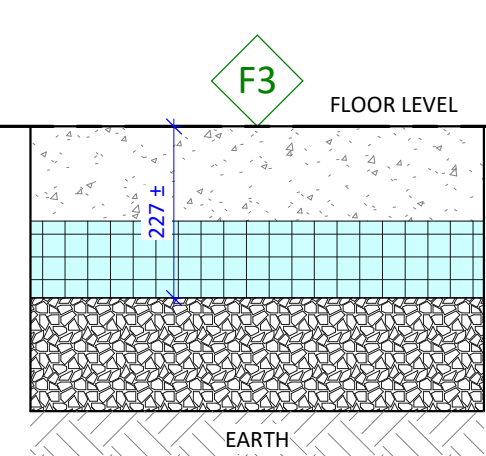
☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-B

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115

NON-COMBUSTIBLE ☒ YES CAN/ULC-S114

R.S.I. ☐ 3.74



- FLOOR FINISH (TBD)
- 125mm CONCRETE FLOOR SLAB, C/W RADIANT HEATED FLOOR TUBING (STRUCTURAL DESIGN TO BE PROVIDED)
- 102mm CONTINUOUS RIGID INSULATION
- 10mm POLY VAPOUR BARRIER
- COMPACTED GRAVEL (STRUCTURAL DESIGN TO BE PROVIDED)
- UNDISTURBED SOIL (PER GEOTECH)

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

TYPICAL FRAMED FLOOR

F.R.R. ☐ 1 HR ☐ SIMILAR TO EW2A

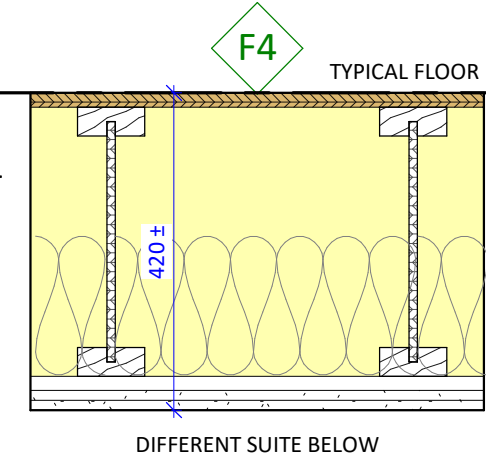
☐ CAN/ULC-S101 ☐ APPENDIX D ☒ 9.10.3.1.-B

FIRE SEPARATION ☒ YES FIRESTOPPED WHERE REQ'D.

☒ CAN/ULC-S115

NON-COMBUSTIBLE ☐ NO

S.T.C. ☐ 51 BCBC #F9G



- FLOOR FINISH (TBD)
- 19 mm PLYWOOD SUBFLOOR (STRUCTURAL DESIGN TO BE PROVIDED)
- 365 mm ENGINEERED WOOD JOISTS, SPACED 400 mm O.C. (STRUCTURAL DESIGN TO BE PROVIDED)
- 184mm MINERAL WOOL BATT INSULATION BETWEEN JOISTS, PER BCBC-9.
- RESILIENT CHANNEL, SPACED 400mm O.C.
- 6 mil POLYETHYLENE SHEET (AIR BARRIER, PER BCBC-9.10.9.16.5)
- 2 LAYERS 13 mm TYPE 'X' GYPSUM BOARD, PAINTED

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

TYPICAL BALCONY

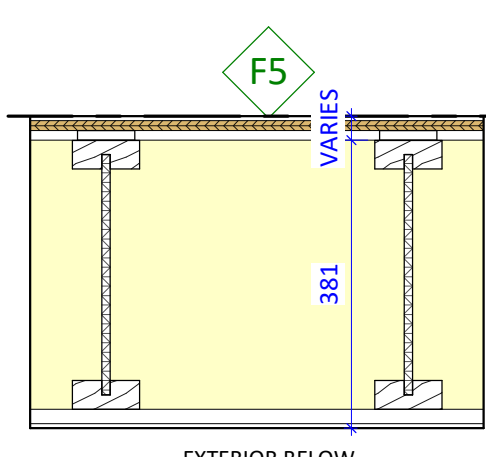
F.R.R. ☐ -

☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-B

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO



- SHEET VINYL DECK WATERPROOFING MEMBRANE
- 13mm SLOPED PLYWOOD SUBSTRATE
- TAPERED SHIMS, FOR 2% SLOPE TO DRAIN
- 19mm PLYWOOD SUBFLOOR (SEE STRUCTURAL)
- 356mm ENGINEERED WOOD JOISTS @ 400mm O.C. (STRUCTURAL DESIGN TO BE PROVIDED)
- RESILIENT CHANNEL, SPACED 400mm O.C.
- 15mm CEMENTITIOUS SOFFIT, PAINTED, C/W CONTINUOUS VENTILATION STRIP

NOTE: STRUCTURAL DESIGN TO BE PROVIDED AT BUILDING PERMIT STAGE.

ROOFS

TYPICAL ROOF (EXISTING/MODIFIED OR NEW)

F.R.R. ☐ -

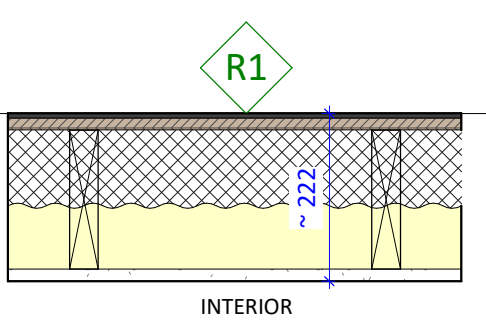
☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-B

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

R₉-VALUE ☐ 4.71



- NEW STANDING SEAM ROOFING SYSTEM
- NEW PEEL + STICK CAP SHEET MEMBRANE
- NEW SELF ADHERED AIR/VAPOUR BARRIER
- EXISTING OR NEW 16mm PLYWOOD ROOF SHEATHING (STRUCTURAL DESIGN TO BE PROVIDED)
- EXISTING OR NEW 38 X 140 WOOD RAFTERS @ 600mm O.C. (STRUCTURAL DESIGN TO BE PROVIDED)
- NEW 100mm BLOWN-IN CLOSED CELL POLYURETHANE INSULATION (RSI-4.68)
- NEW 6mil POLY AIR/VAPOUR BARRIER
- NEW 16mm TYPE 'X' GYPSUM BOARD, PAINTED

NEW DECORATIVE/UNINSULATED ROOF

F.R.R. ☐ -

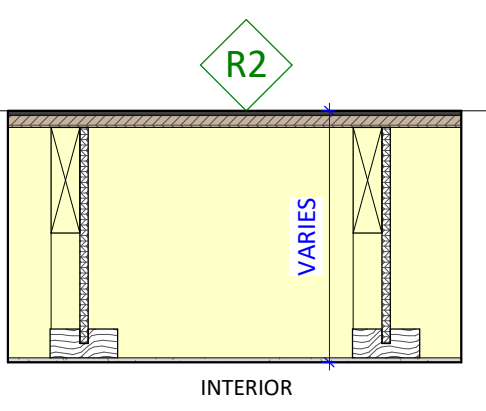
☐ CAN/ULC-S101 ☐ APPENDIX D ☐ 9.10.3.1.-B

FIRE SEPARATION ☐ NO

☐ CAN/ULC-S115 FIRESTOPPING

NON-COMBUSTIBLE ☐ NO

R₉-VALUE ☐ -



- STANDING SEAM ROOFING SYSTEM
- PEEL + STICK CAP SHEET MEMBRANE
- SELF ADHERING AIR BARRIER
- 16mm PLYWOOD ROOF SHEATHING
- ENGINEERED WOOD JOISTS (CANTILEVERED FROM INTERIOR, SEE "F6"), ENDS CUT ON TAPER TO SUIT AND REINFORCED WITH 38 X 140 WOOD (SEE STRUCTURAL)
- 6mm CEMENTITIOUS PANEL SOFFIT, PAINTED, C/W CONTINUOUS VENTILATION STRIP WITH INSECT SCREEN

Christine Lintott Architects Inc.

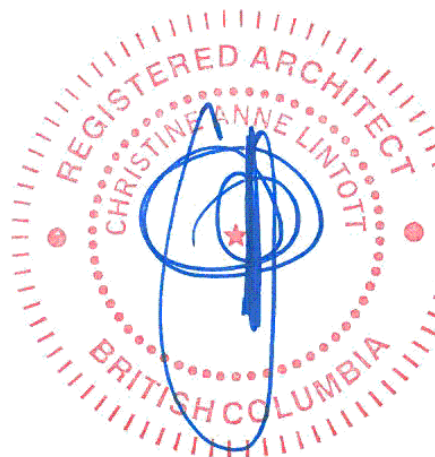
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue Date

ISSUED FOR DP + REZONING 06/13/2023

Revision No. Description Date

Consultant Seal



1042 Richardson Street

ASSEMBLIES

Date 2023-06-15 2:56:17 PM

Drawn by HJ

Checked by CL

A0.03

Project # 0001 Scale 1 : 10



AERIAL VIEW FROM SOUTHWEST



AERIAL VIEW FROM SOUTHEAST



PERSPECTIVE VIEW FROM SOUTHWEST



PERSPECTIVE VIEW FROM SOUTH (RICHARDSON STREET)



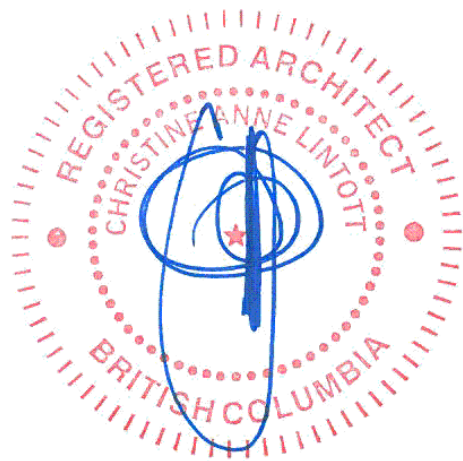
PERSPECTIVE VIEW FROM SOUTHEAST

Issue	Date
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ISSUED FOR DP + REZONING	06/13/2023
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Revision		
No.	Description	Date

Consultant Seal



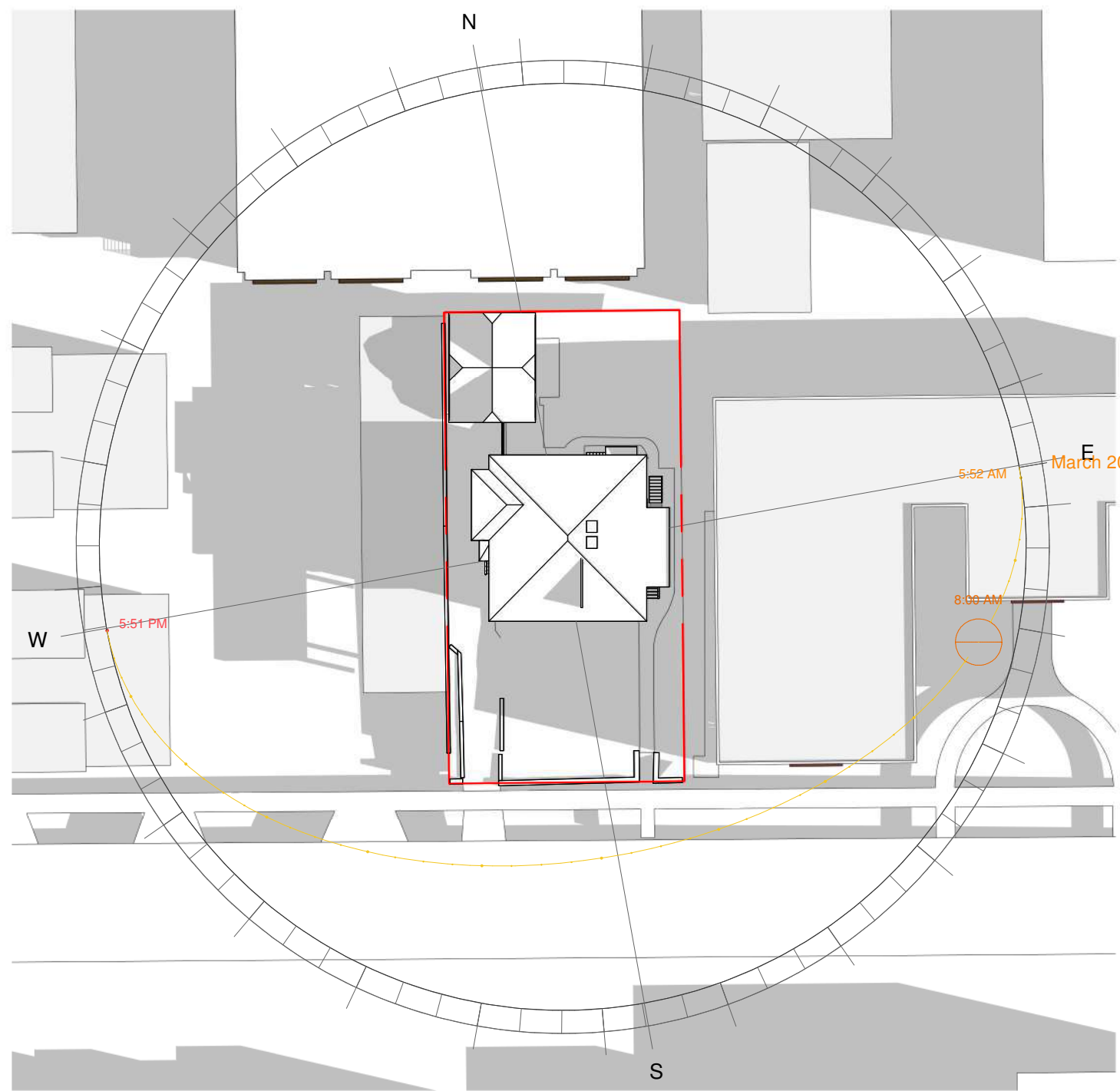
1042 Richardson
Street

3D VIEWS

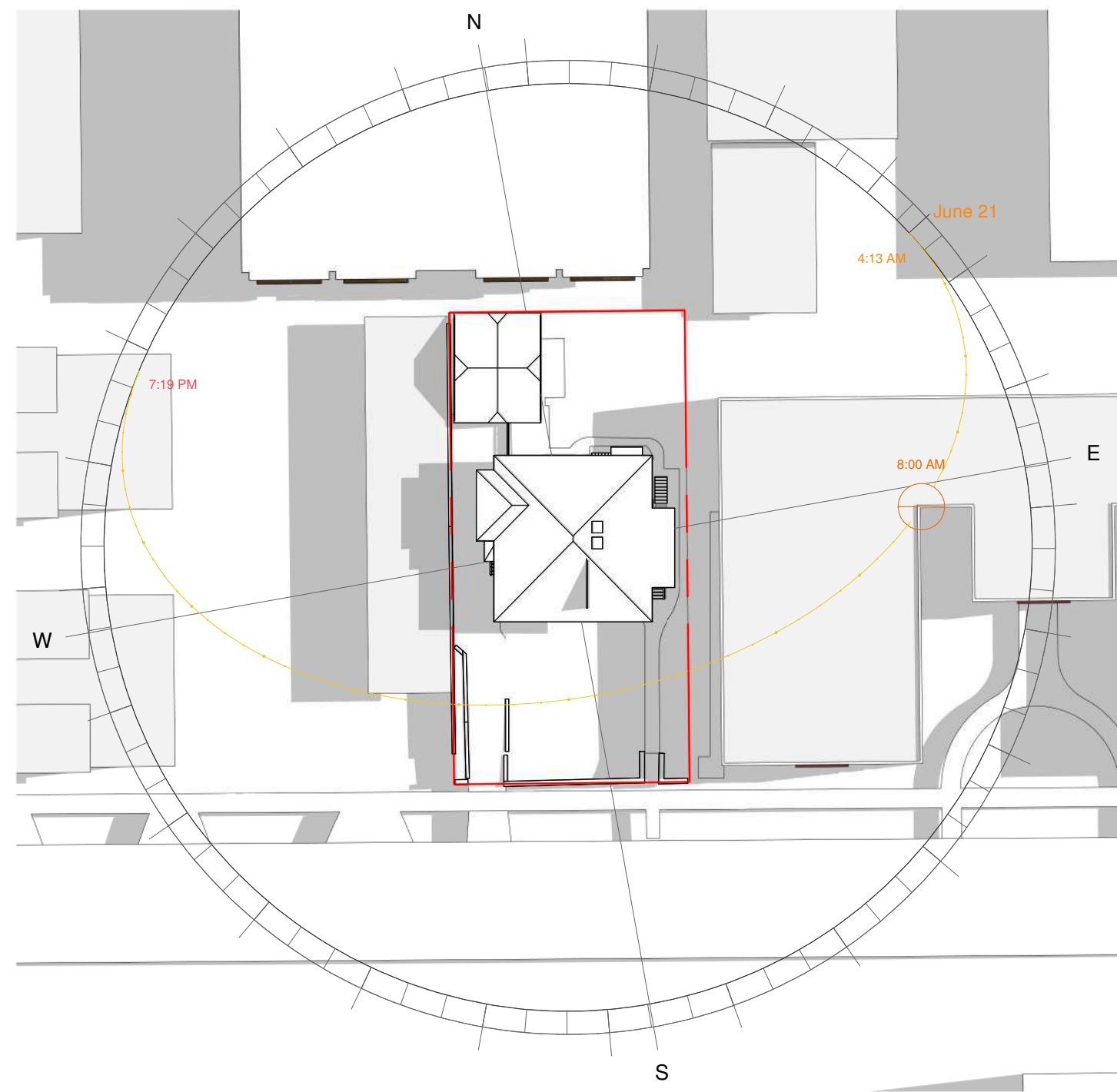
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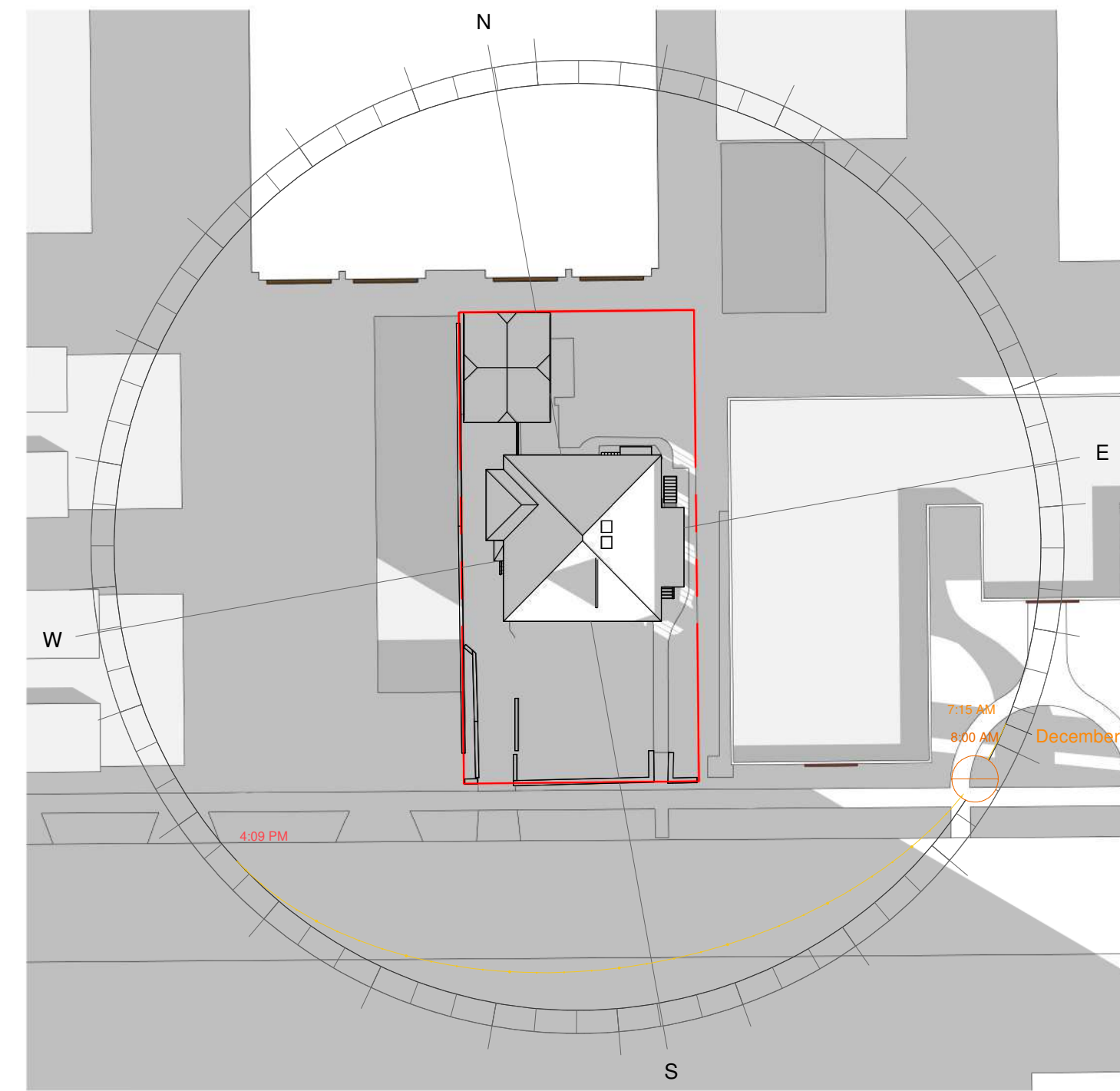
Project #	0001	Scale
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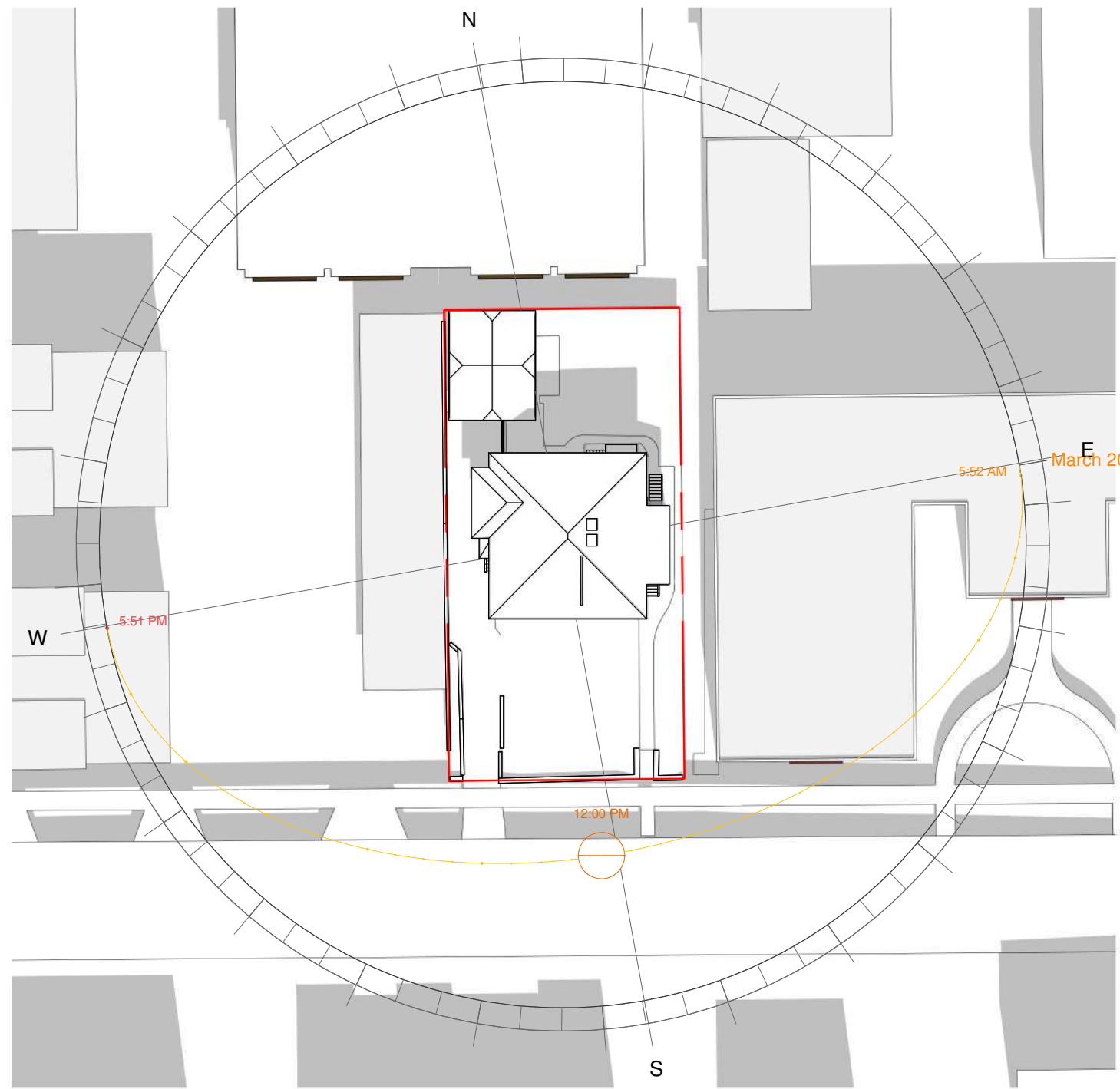
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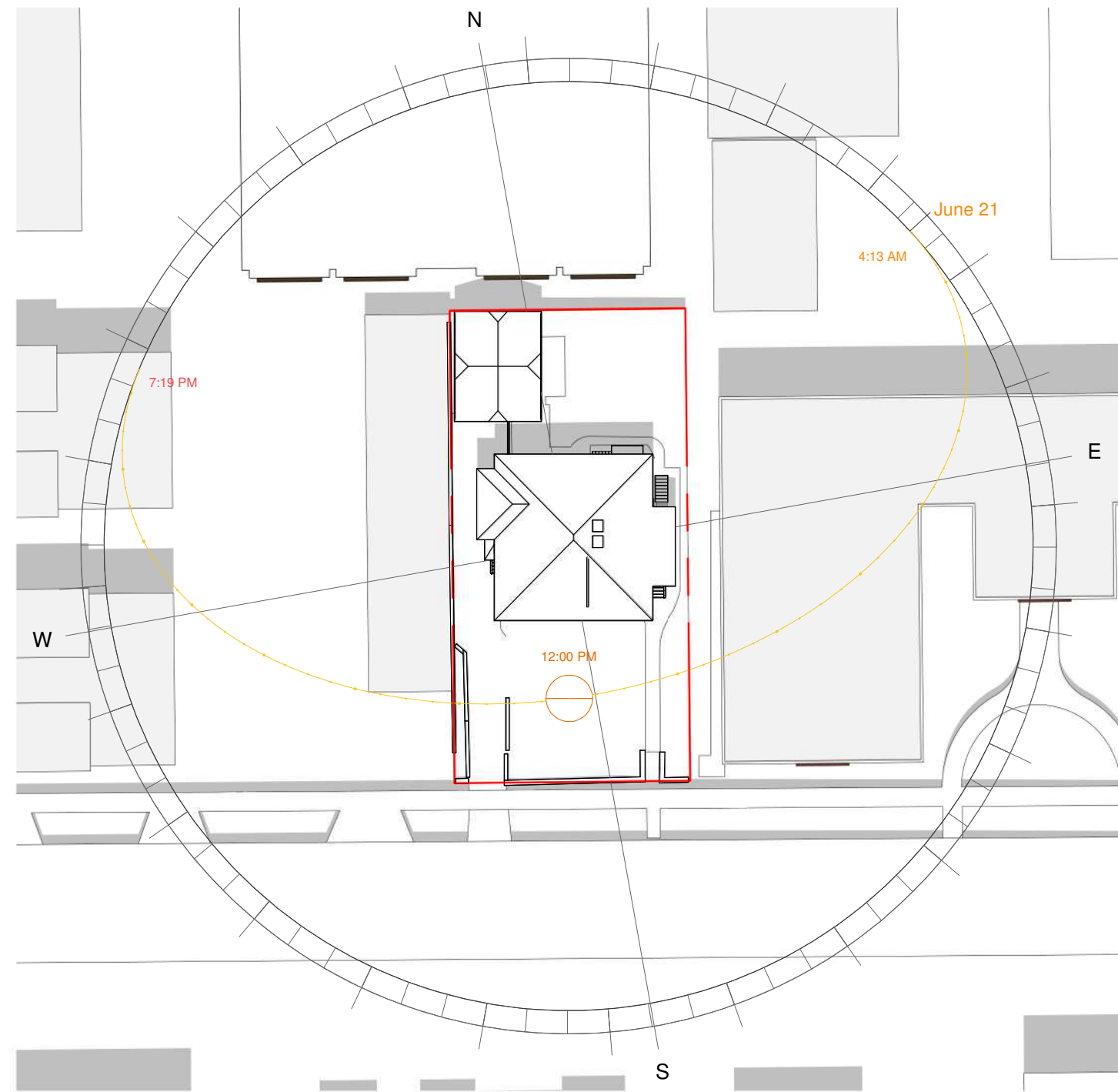
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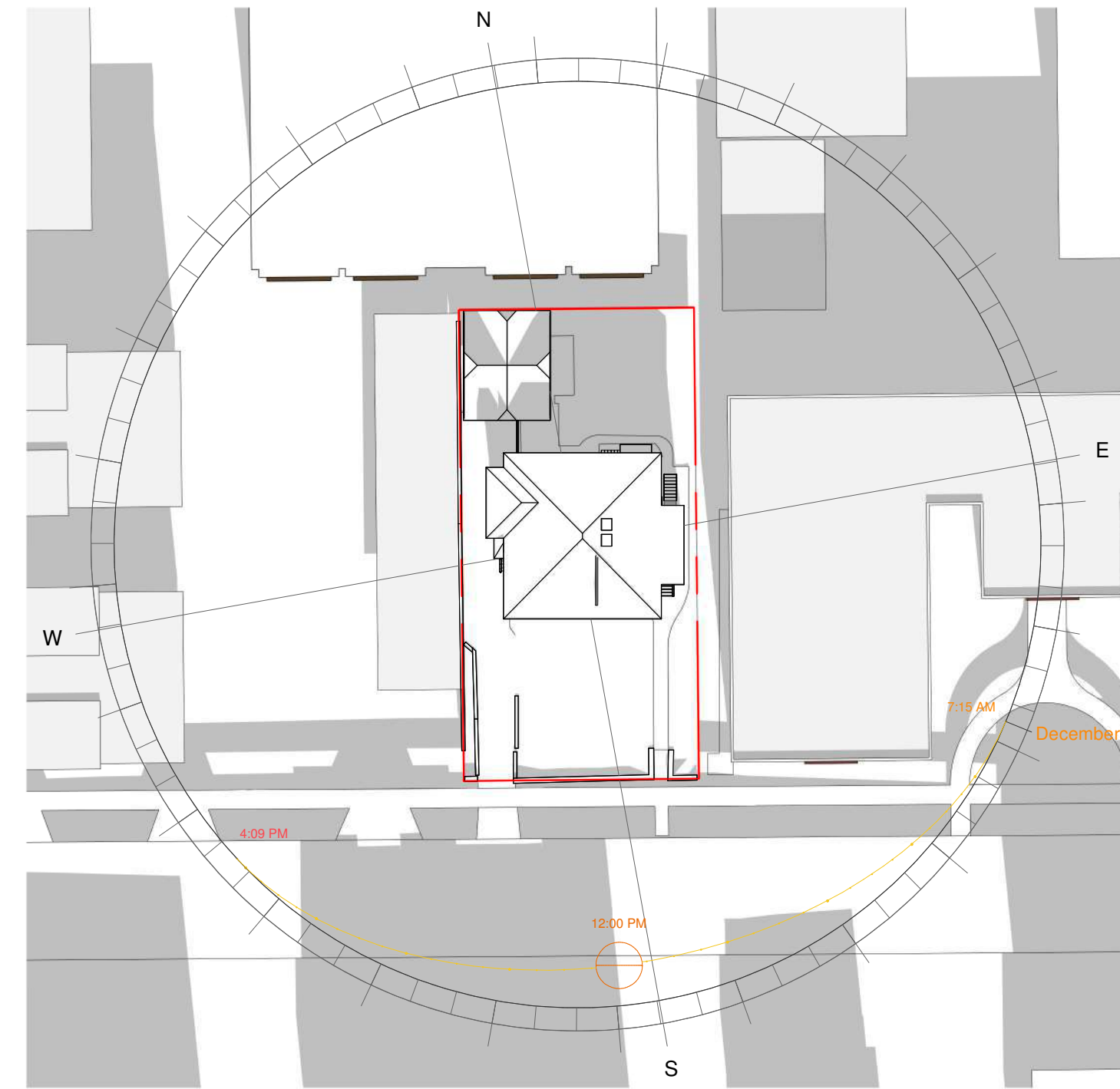
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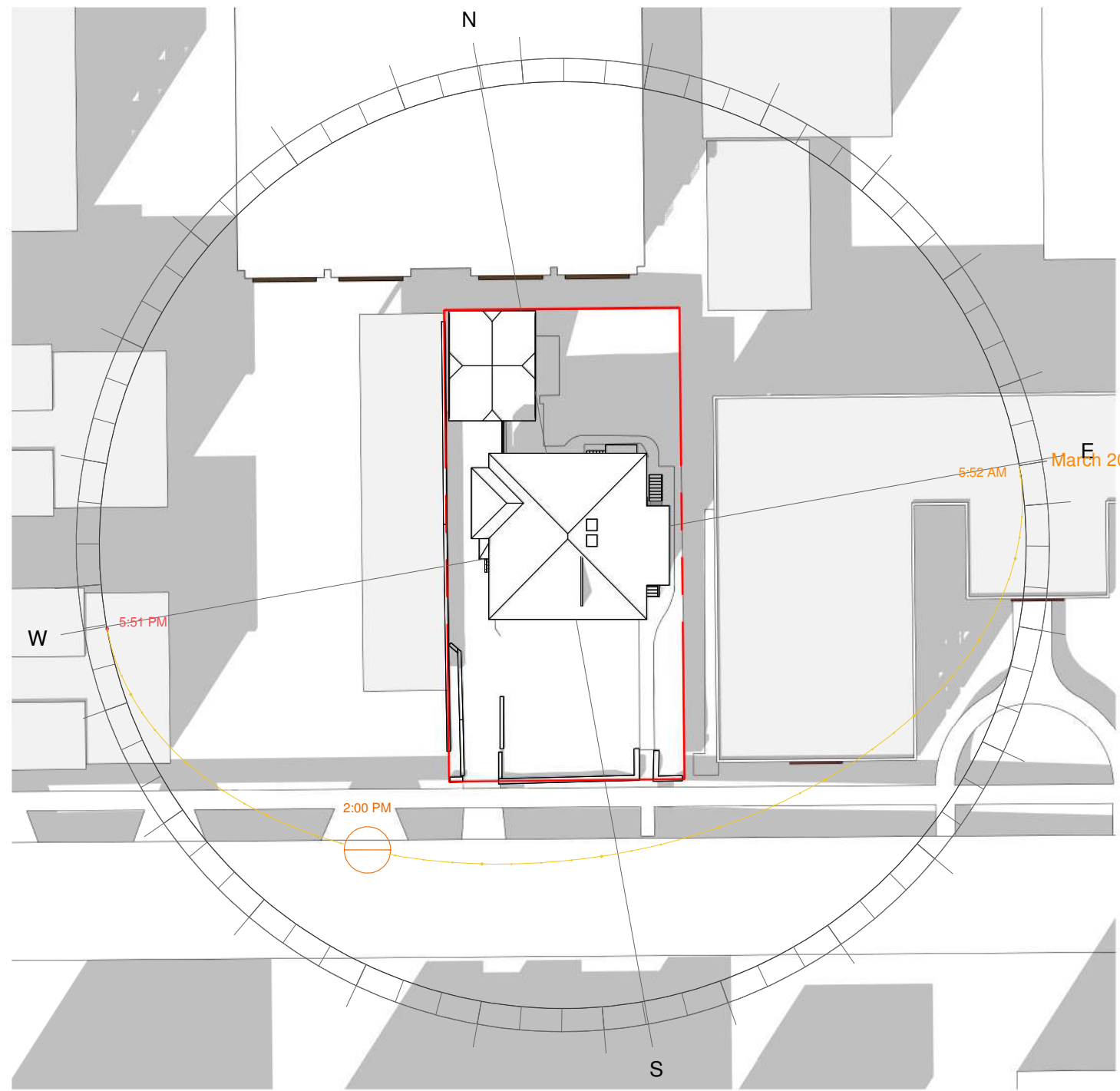
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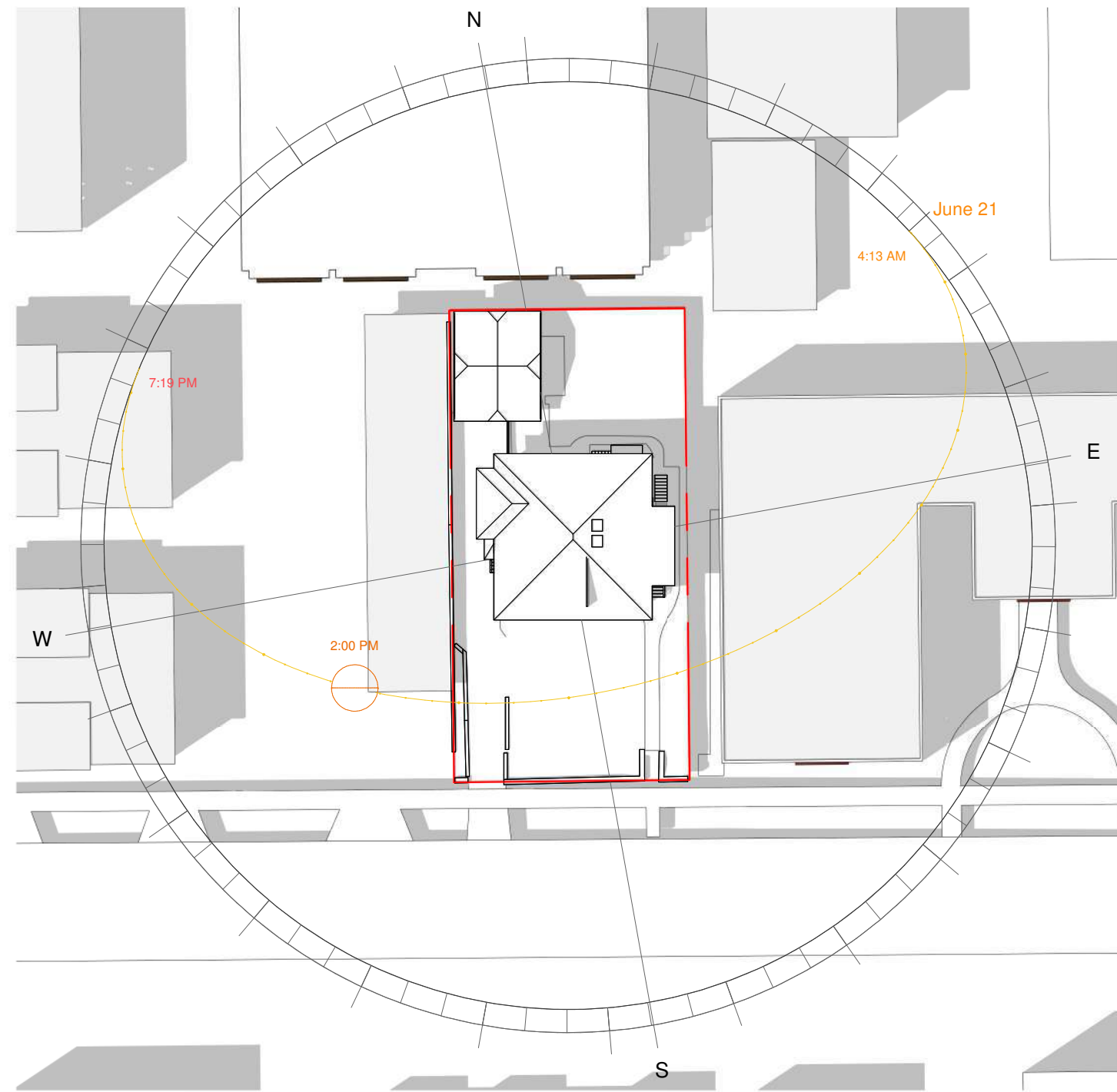
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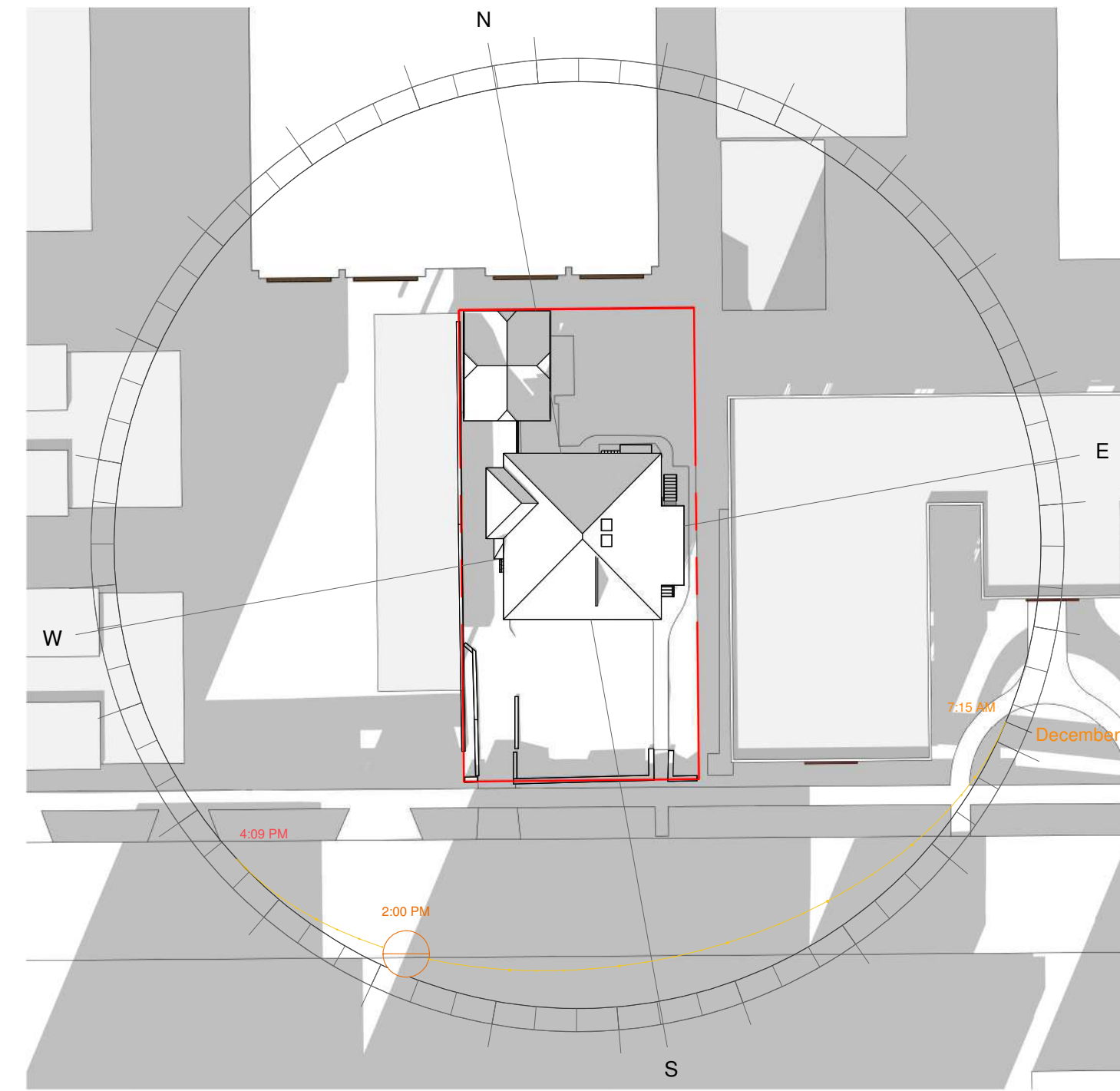
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② SPRING 2PM
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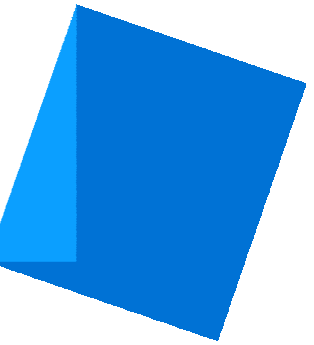


⑦ SUMMER 2PM
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⑬ WINTER 2PM
1 : 450

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Architects Inc.



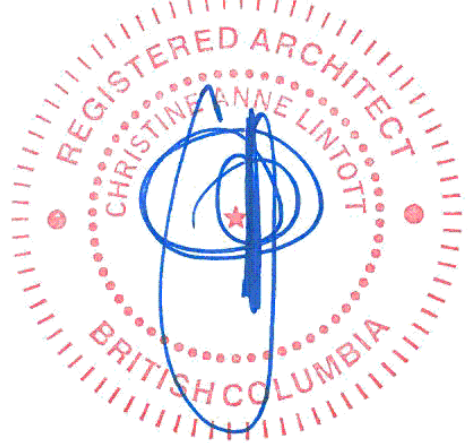
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1042 Richardson
Street

SOLAR ANALYSIS -
EXISTING

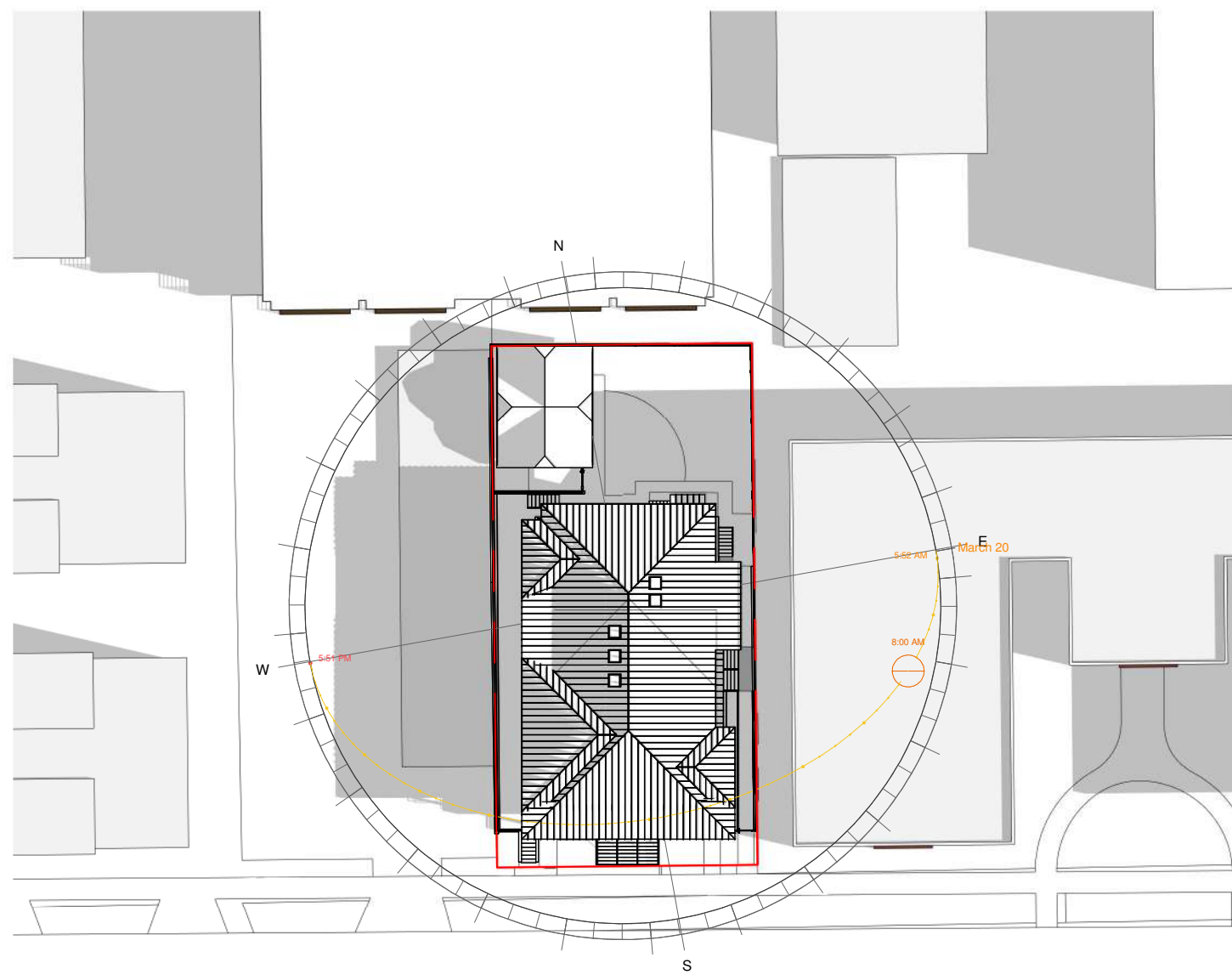
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Drawn by HJ

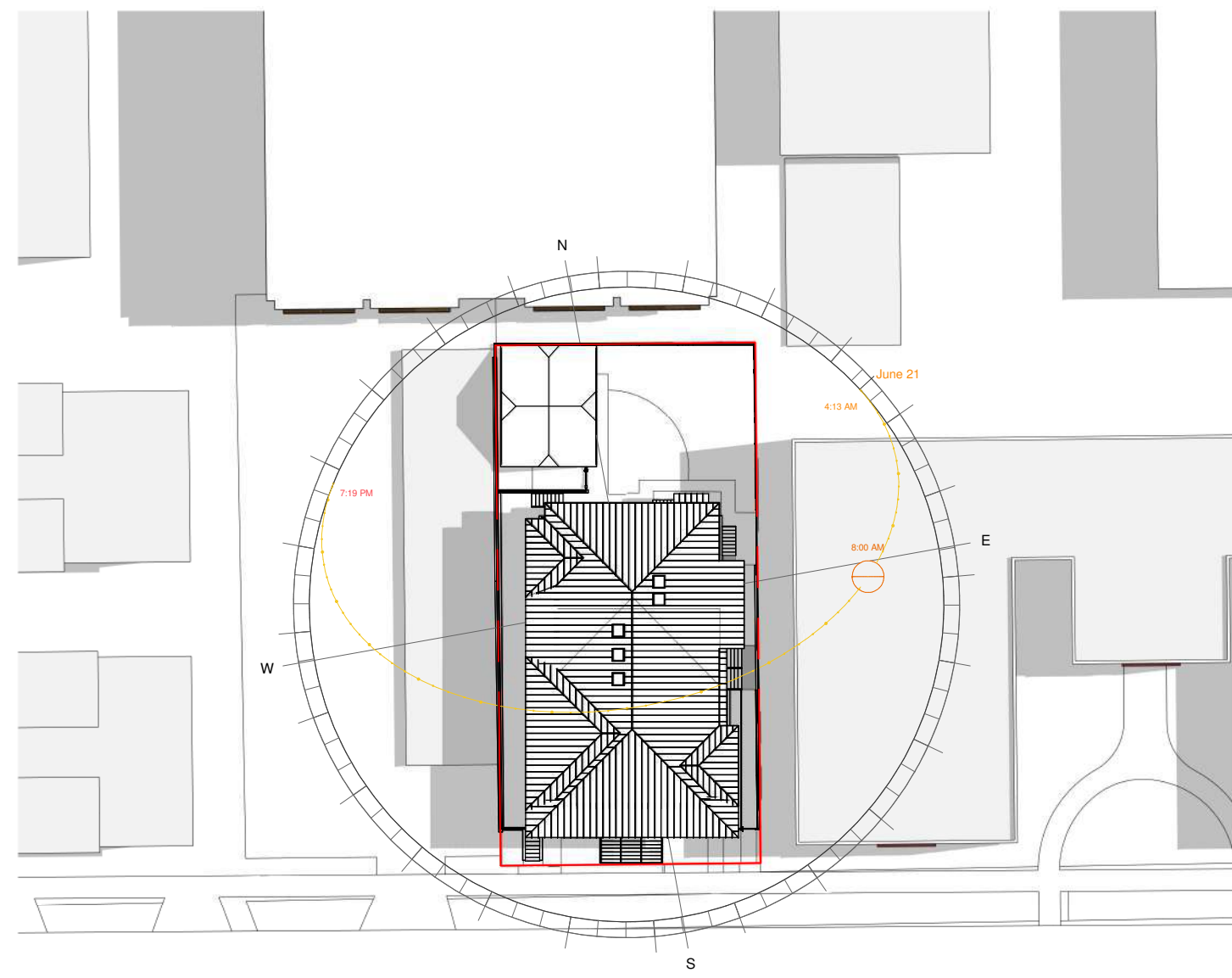
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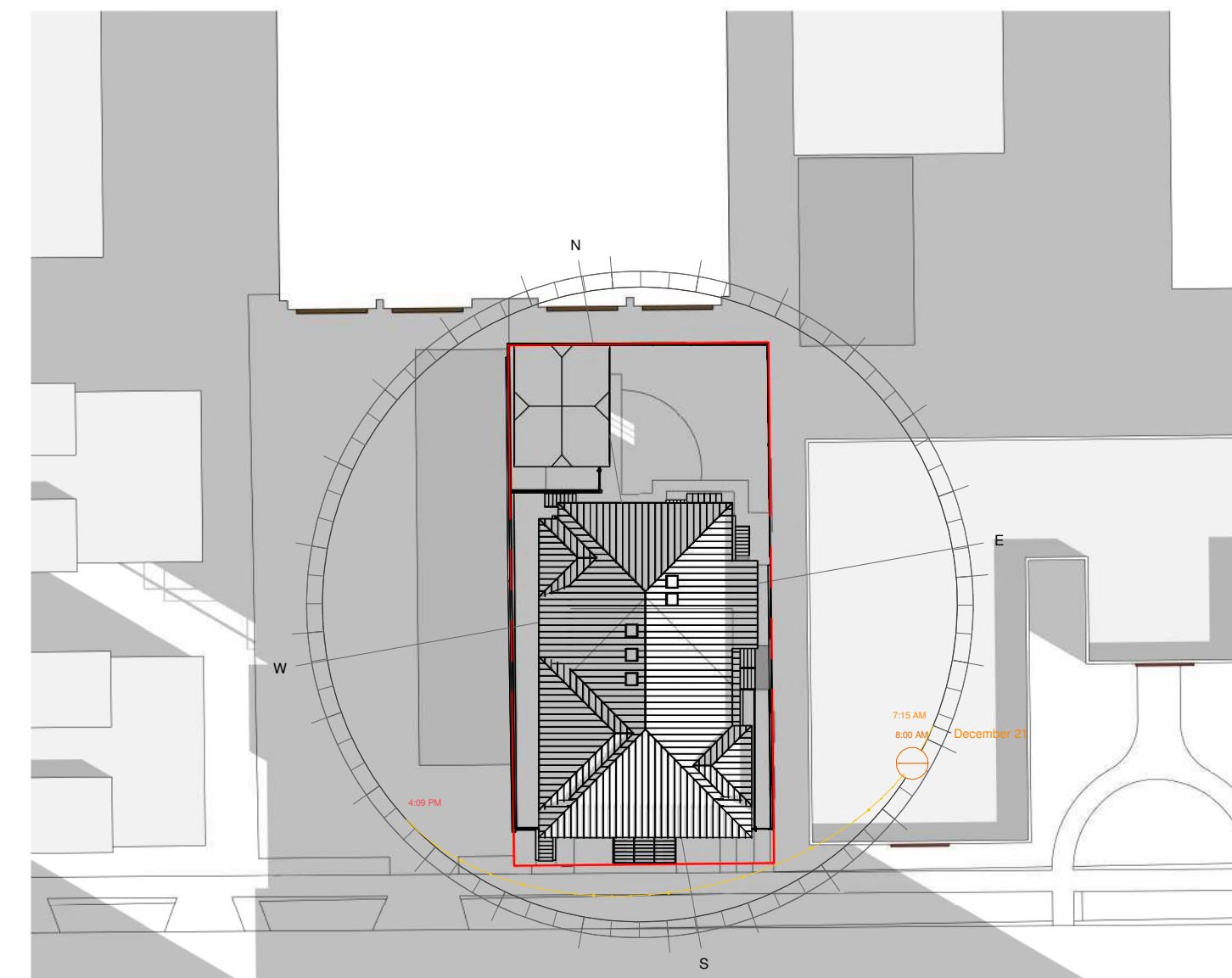
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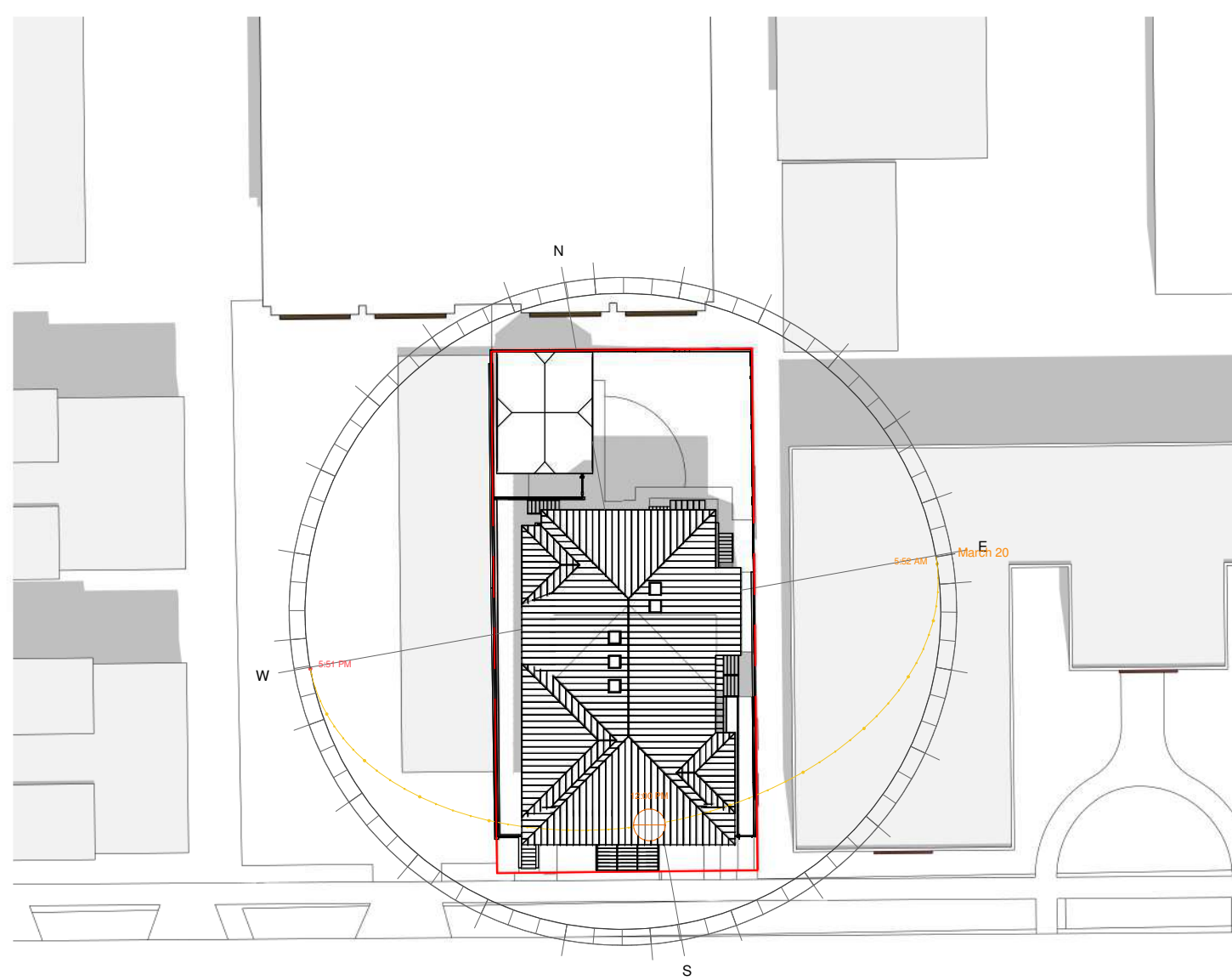
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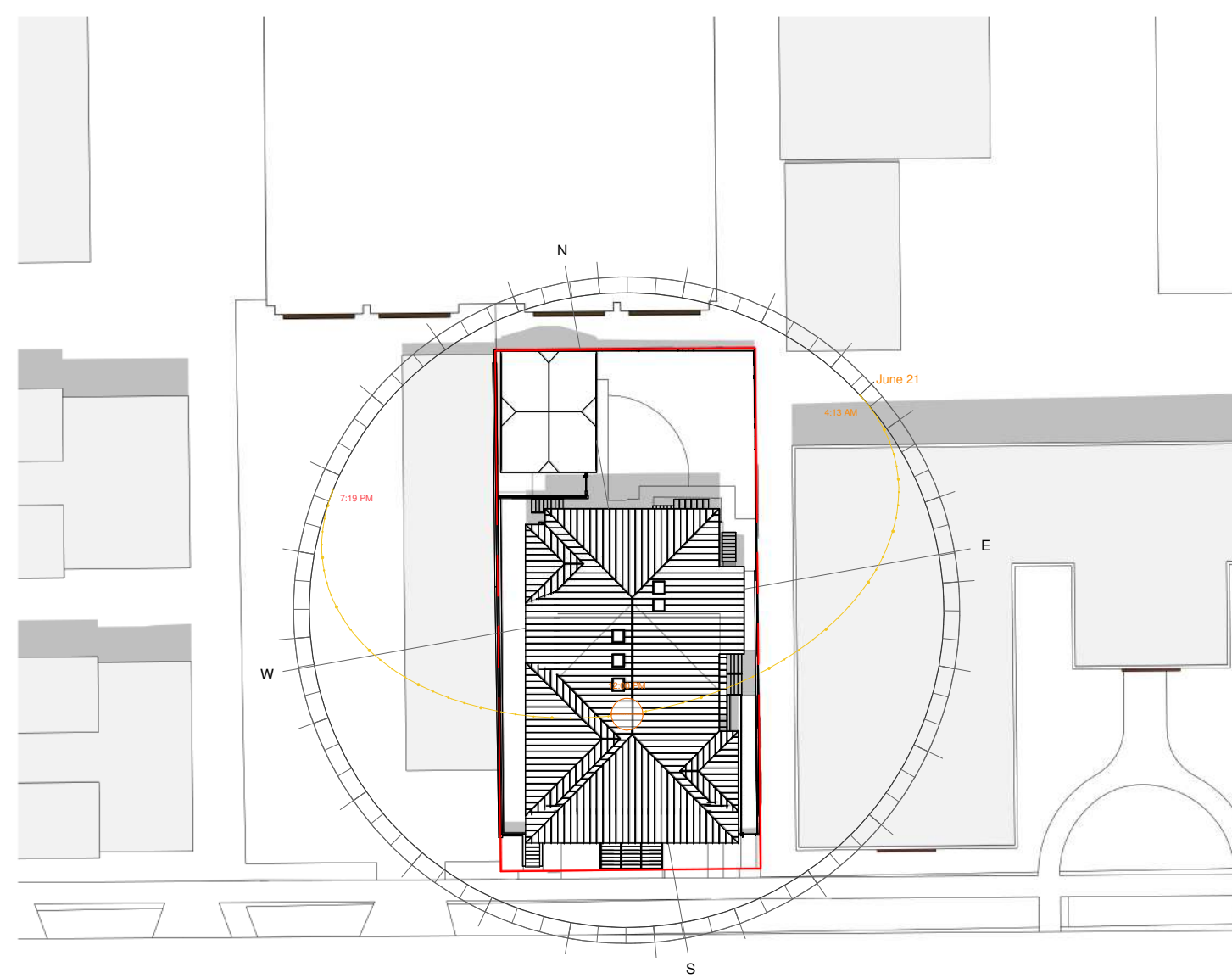
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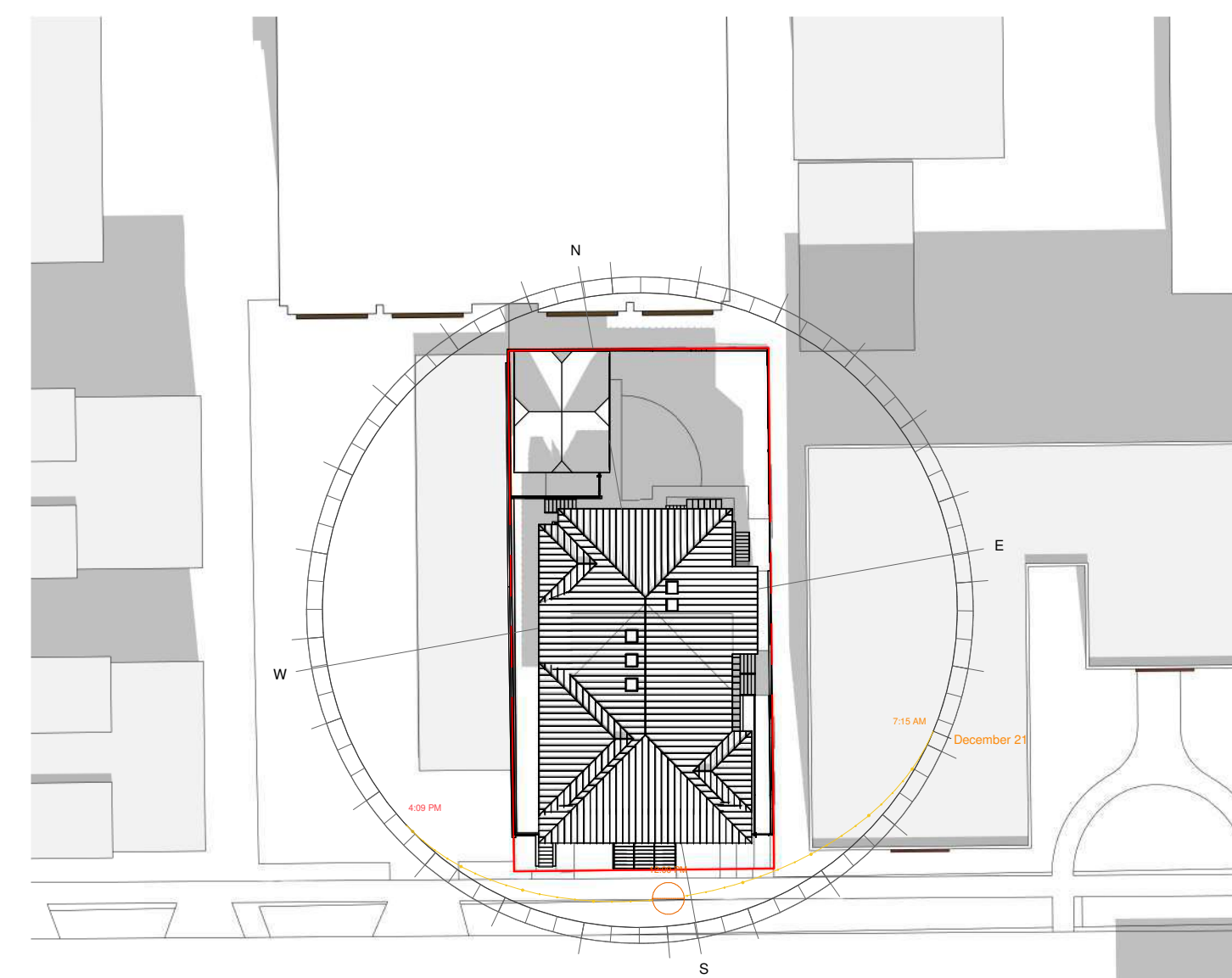
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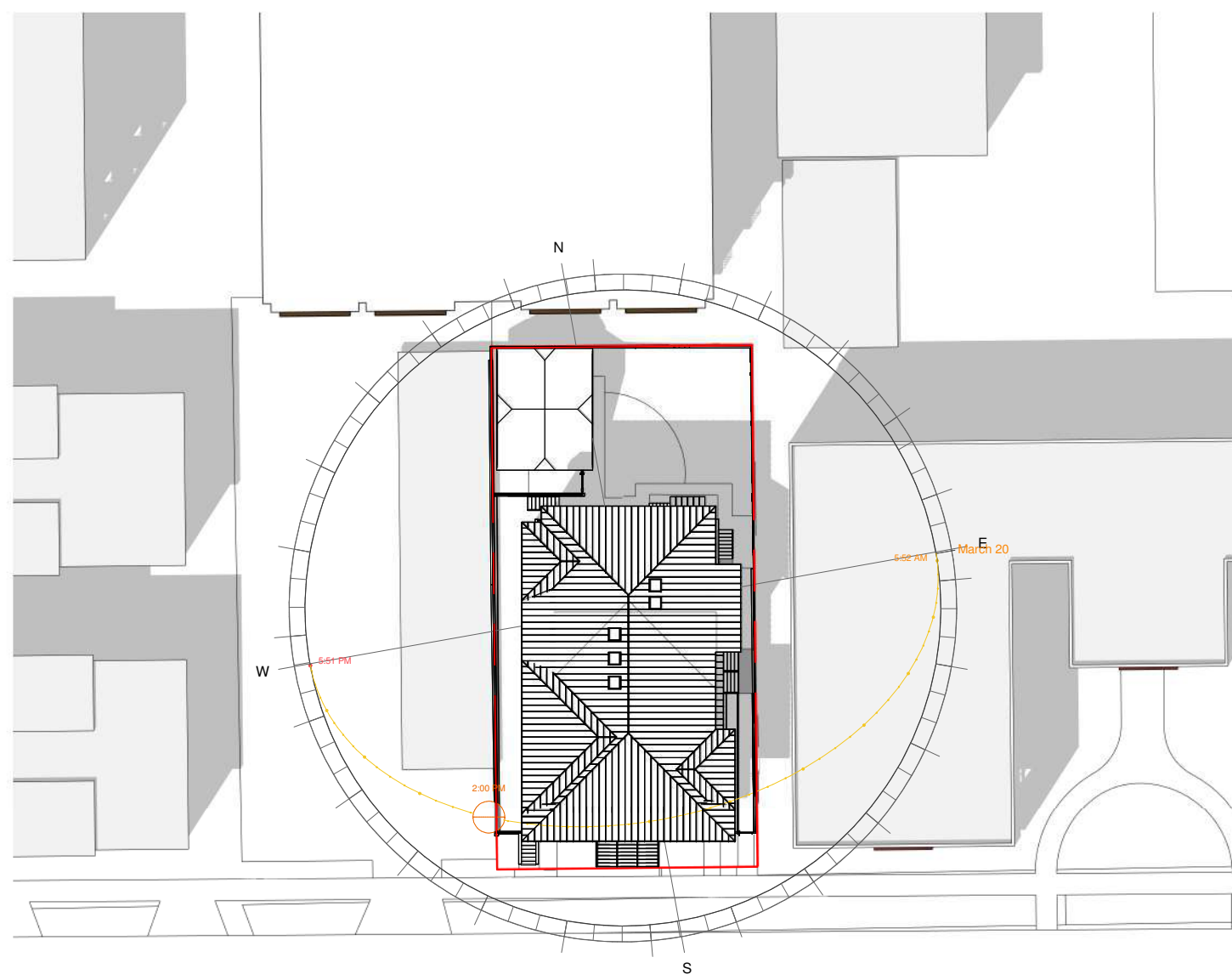
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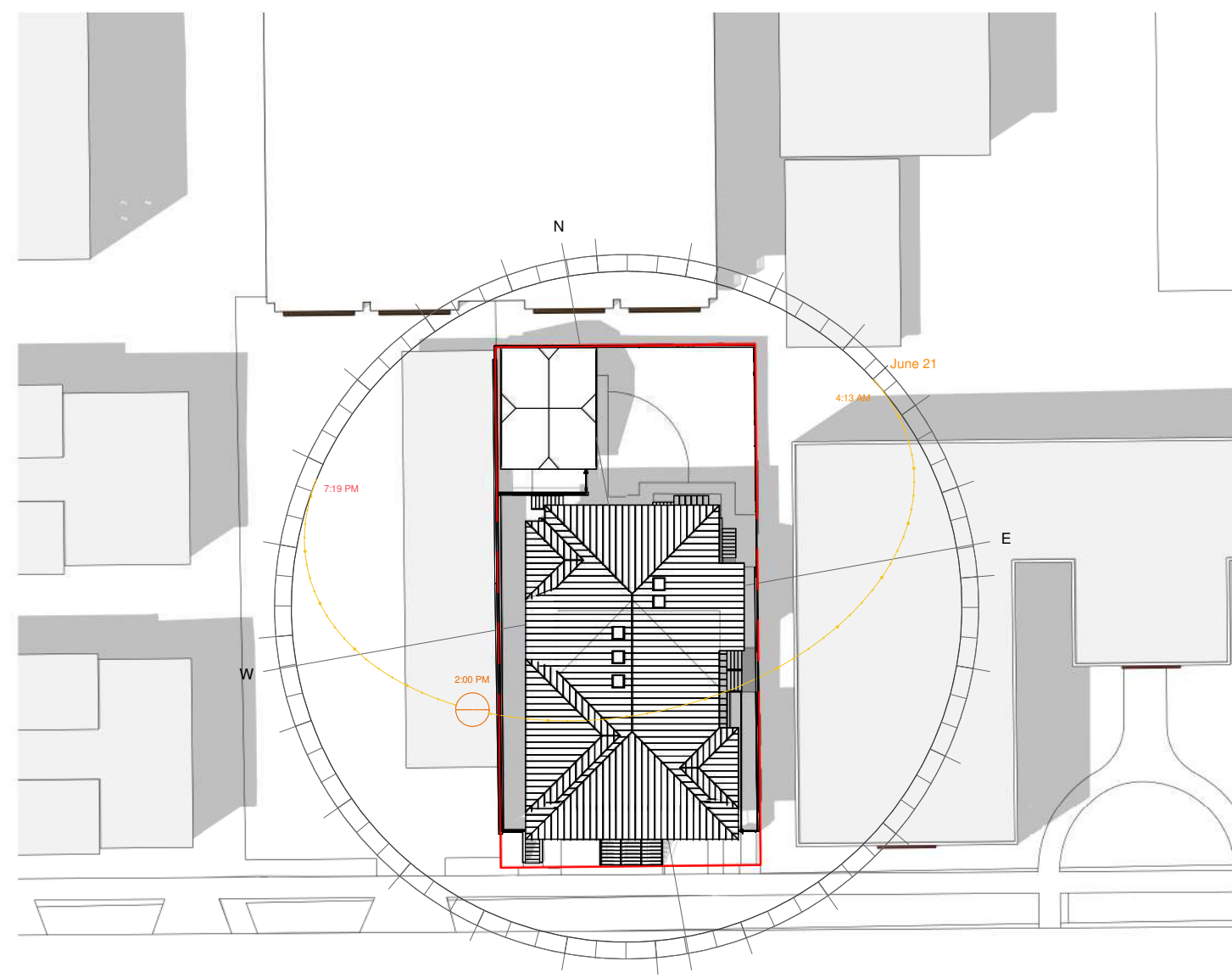
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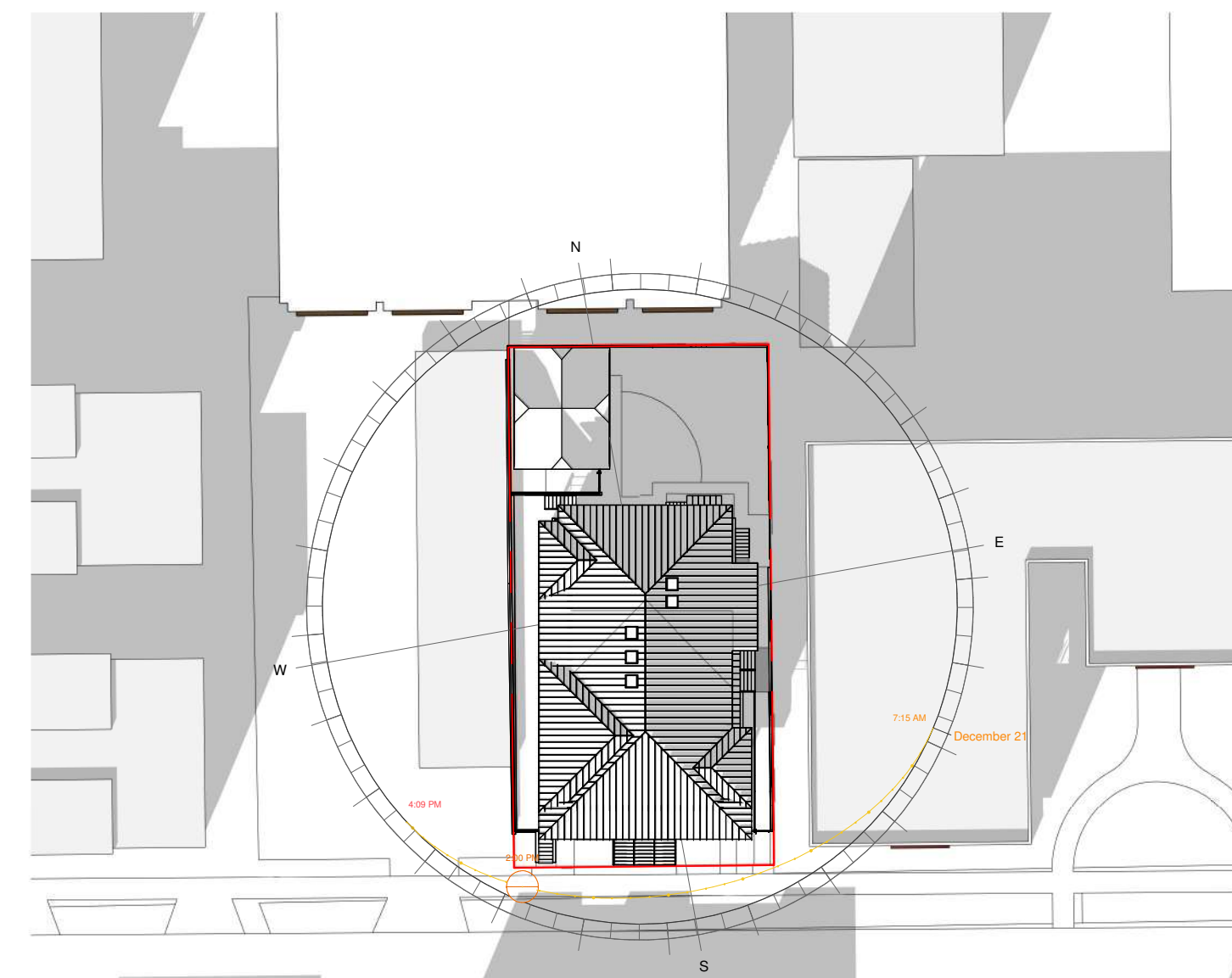
⑧ WINTER NOON
1 : 450



③ SPRING 2PM
1 : 450

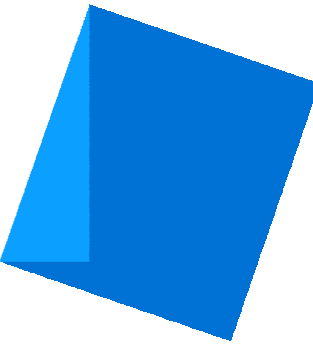


⑥ SUMMER 2PM
1 : 450



⑨ WINTER 2PM
1 : 450

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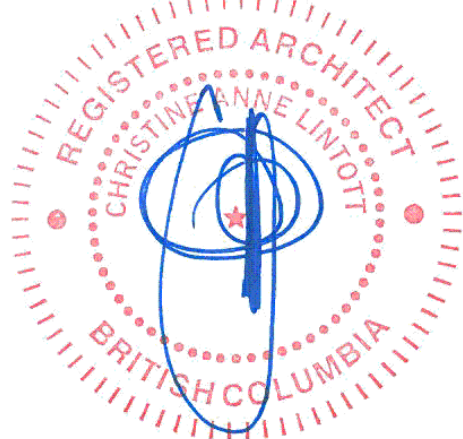
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1042 Richardson
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SOLAR ANALYSIS -
PROPOSED

Date 2023-06-15 2:56:52 PM

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Checked by CL

A0.06

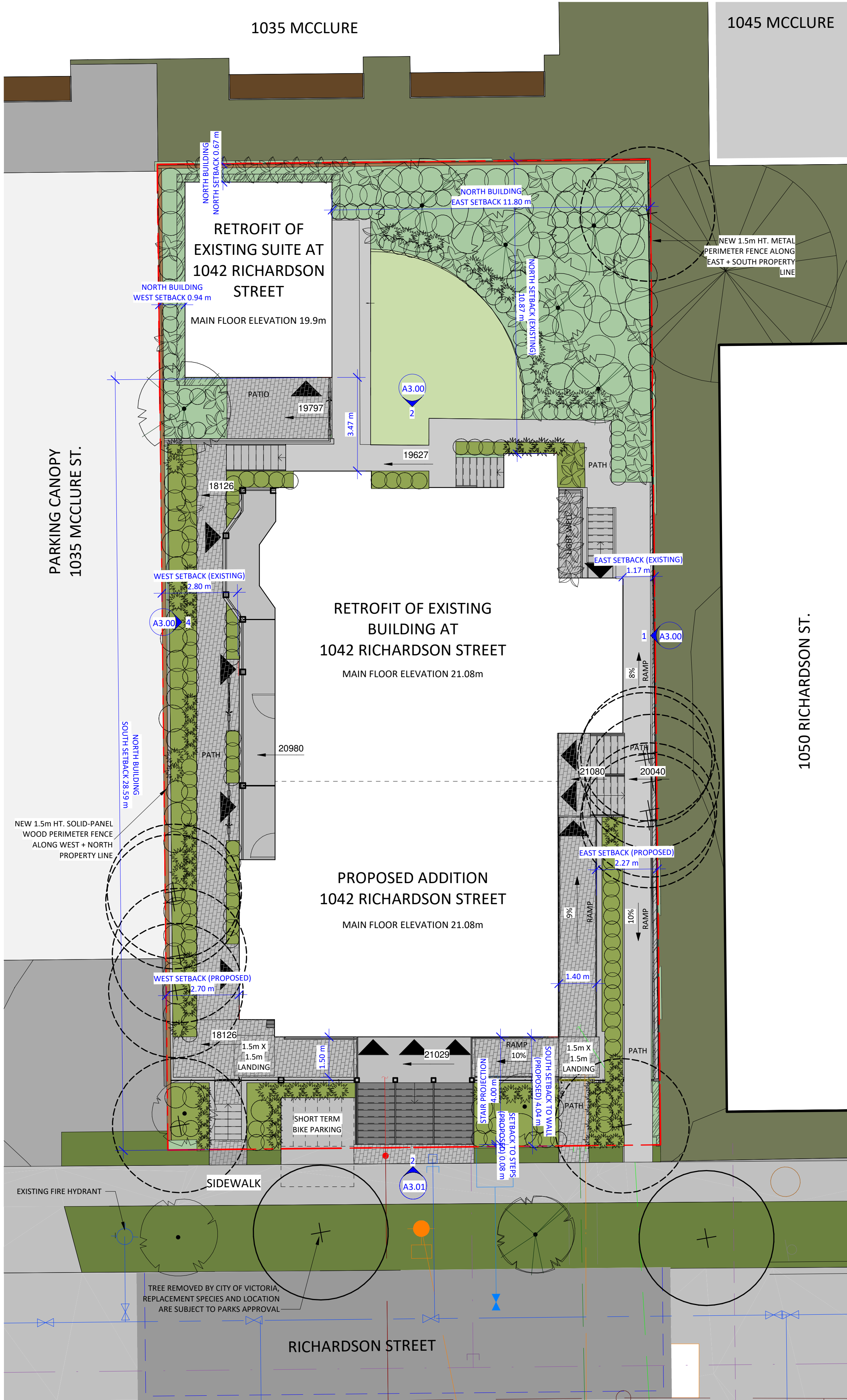
Project # 0001 Scale 1 : 450

City of Victoria - Project Information Table

PROJECT INFORMATION TABLE	CURRENT/PERMITTED	PROPOSED DESIGN (SITE SPECIFIC ZONING)
ZONING DISTRICT	R-K (MEDIUM DENSITY)	MULTIPLE DWELLINGS
SITE AREA (m²)	≥ 555	668 (EXISTING)
TOTAL FLOOR AREA (m²)	-	741
FLOOR SPACE RATIO	0.6:1	1.1:1
SITE COVERAGE (%)	≤ 33	55%
OPEN SITE SPACE (%)	≥ 45	45%
HEIGHT OF BUILDING (m)	≤ 8.5 TO U/S CEILING	9.78
NUMBER OF STOREYS	3	3
PARKING STALLS ON SITE	≥ 1.5/DWELLING	0
BUILDING SETBACKS:	FRONT YARD/SOUTH (m)	≥ 7.5
	BUILDING ELEMENT (m)	≥ 6
	REAR YARD (m)	-
	WALLS WITH NO WINDOW (m)	≥ 2.5
	WINDOWS (NOT LIVING ROOM) (m)	≥ 4
	LIVING ROOM WINDOW (m)	≥ 7.5
	SIDE YARD - WEST (m)	-
	WALLS WITH NO WINDOW (m)	≥ 2.5
	WINDOWS (NOT LIVING ROOM) (m)	≥ 4
	LIVING ROOM WINDOW (m)	≥ 7.5
	SIDE YARD - EAST (m)	-
	WALLS WITH NO WINDOW (m)	≥ 2.5
	WINDOWS (NOT LIVING ROOM) (m)	≥ 4
	LIVING ROOM WINDOW (m)	≥ 7.5

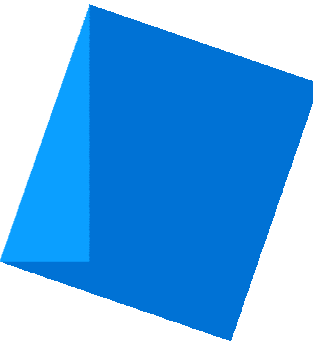
Proposal Setbacks

ALL SETBACKS ARE TO EXTERIOR WALLS	NORTH BUILDING - EXISTING, NO CHANGE	SOUTH BUILDING - EXISTING	SOUTH BUILDING - PROPOSED ADDITION
NORTH SETBACK (m)	0.67	10.87	N/A
EAST SETBACK (m)	11.80	1.17	2.27
SOUTH SETBACK (m)	28.59	12.81	4.04
WEST SETBACK (m)	0.94	2.8	2.70



① Site
1 : 100

Christine Lintott
Architects Inc.



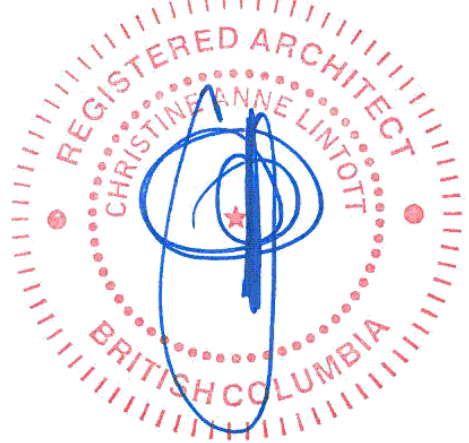
Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

Issue Date

ISSUED FOR DP +
REZONING 06/13/2023

Revision
No. Description Date

Consultant Seal



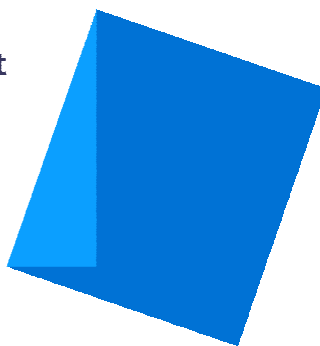
1042 Richardson
Street

SITE PLAN

Date 2023-06-15 2:56:54 PM
Drawn by HJ
Checked by CL

A1.00

Project # 0001 Scale As indicated



Issue Date

ISSUED FOR DP +
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Revision
No. Description Date

Consultant Seal

1042 Richardson
Street

SITE SURVEY

Date 2023-06-15 2:56:55 PM

Drawn by SURVEYOR

Checked by -

A1.01

Project # 0001 Scale

BC LAND SURVEYORS SITE PLAN OF:

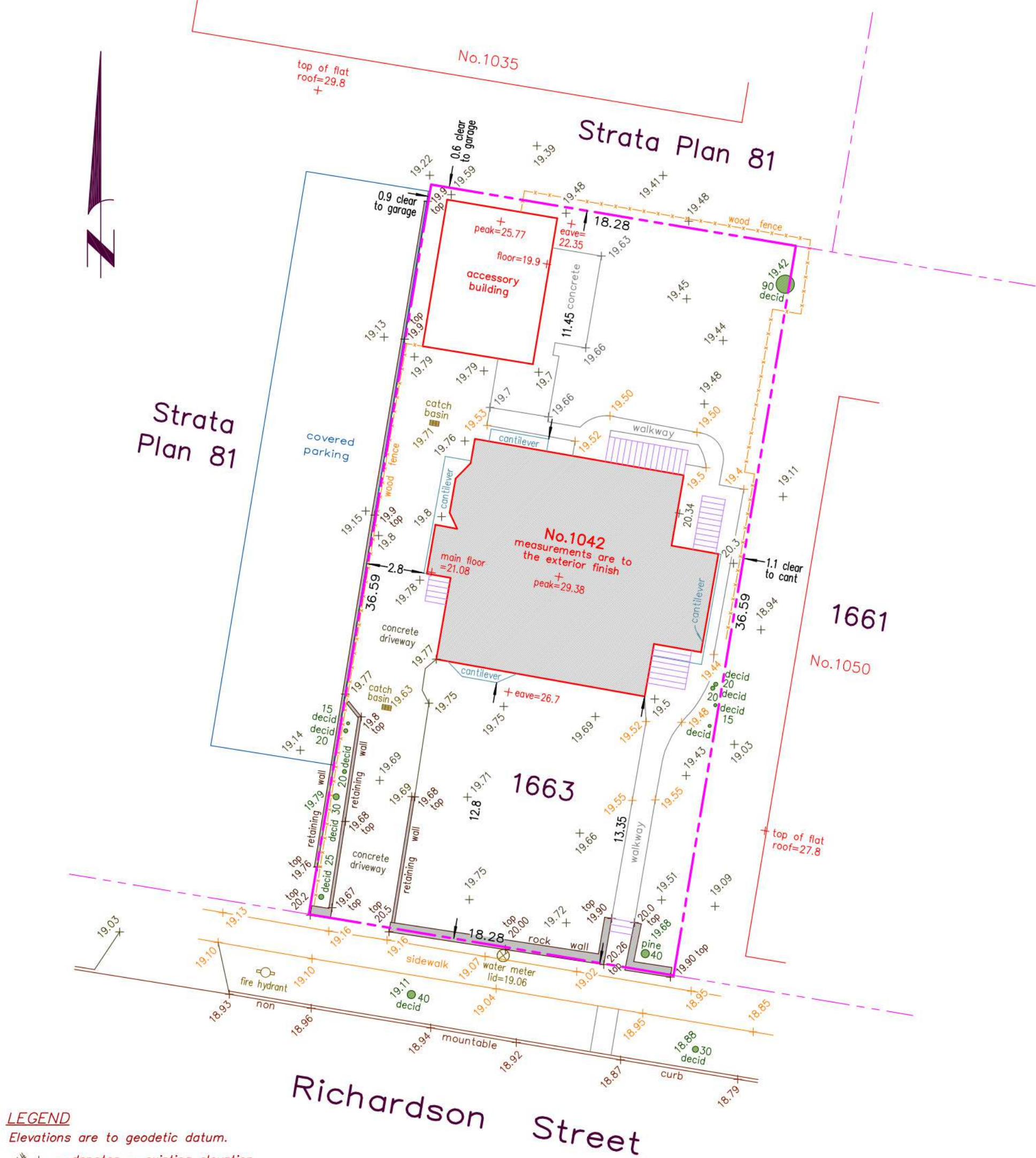
Civic: 1042 Richardson Street

Legal – Lot 1663, Victoria City

Parcel Identifier: 009–396–853 in the City of Victoria

Scale – 1 : 2 0 0 Distances are in metres.
0 2 10 20

The intended print size is 11" by 17".



LEGEND
Elevations are to geodetic datum.
+ - denotes - existing elevation
Tree diameters are in centimetres.

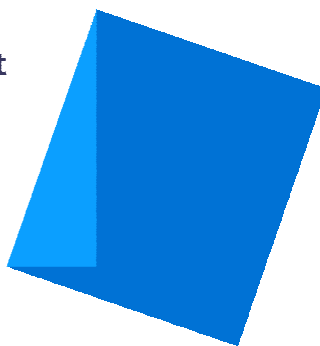
Lot Area = 668 m2

May 7, 2020

File : 13,197 – 9
POWELL & ASSOCIATES
B C Land Surveyors
250–2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382–8855

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.



Issue Date

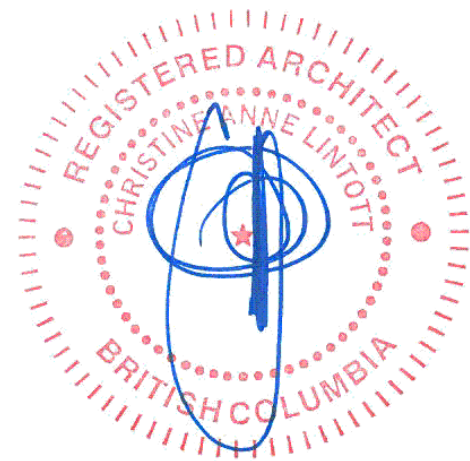
ISSUED FOR DP +
REZONING

06/13/2023

Revision

No. Description Date

Consultant Seal



1042 Richardson
Street

BASEMENT FLOOR PLANS

Date 2023-06-15 2:56:56 PM

Drawn by LA

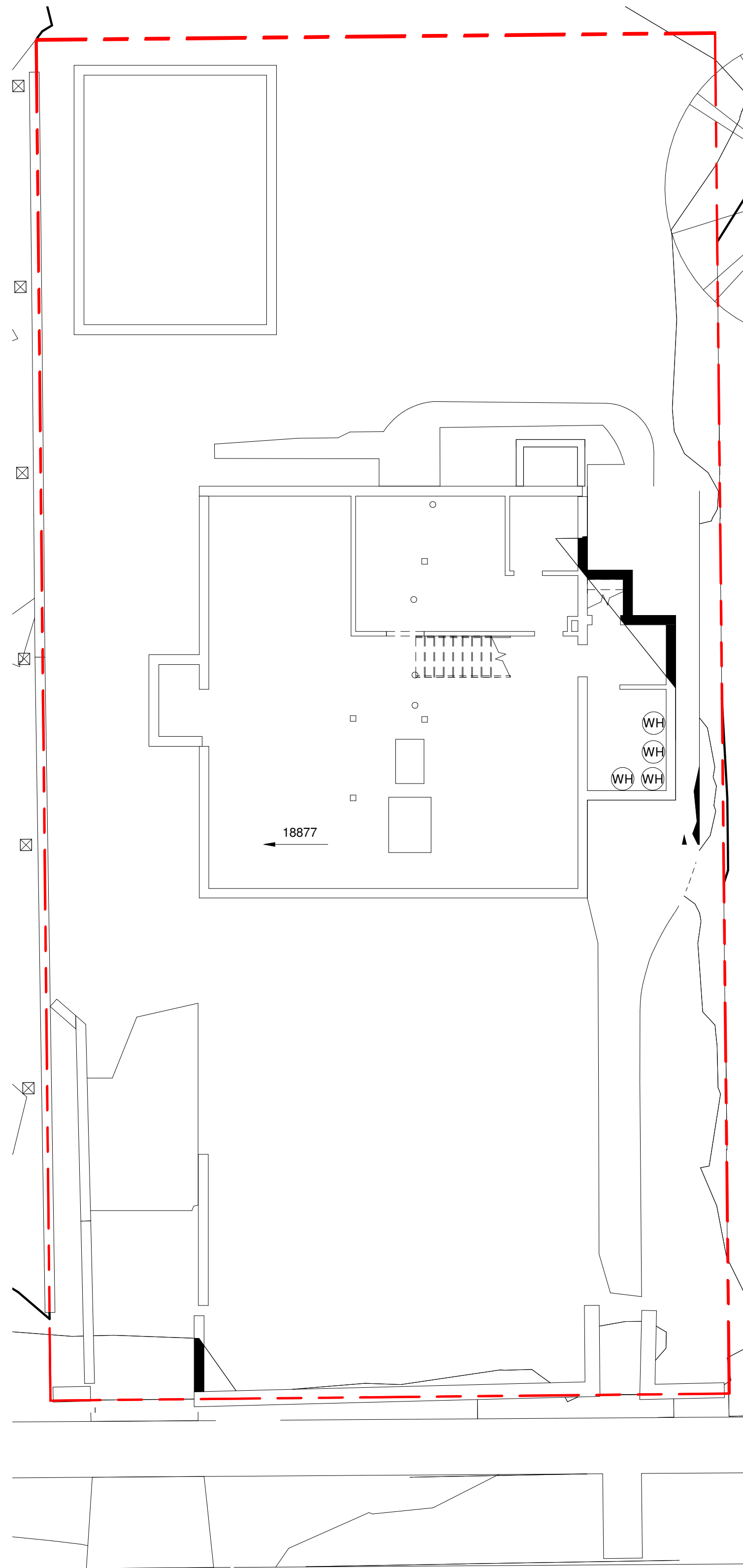
Checked by CL

A2.00

Project # 0001 Scale As indicated

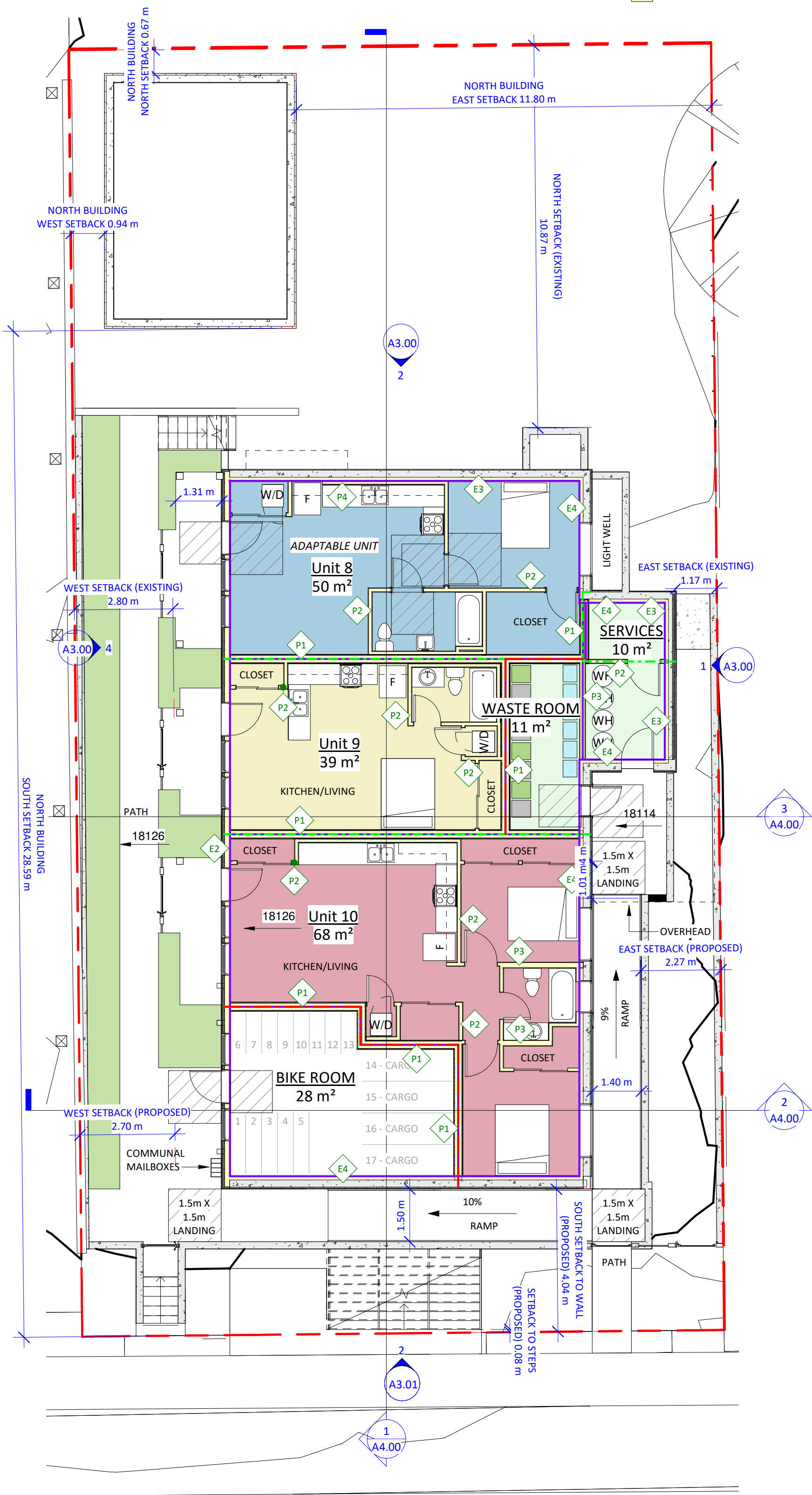
Unit Area Legend

- 1 BED
- 2 BED
- SERVICES
- STUDIO



1 Basement (Existing)
1 : 100

NOTE: BASEMENT LEVEL TO BE LOWERED FROM 18.9m TO 18.1m.
EXISTING BASEMENT SLAB AND FOUNDATION WALLS TO BE
DEMOLISHED.



3 Basement (Proposed)
1 : 100

Area Schedule (Unit Area)		
Name	Occupancy	Area
Unit 1	1 BED	62 m ²
Unit 2	1 BED	60 m ²
Unit 3	3 BED	140 m ²
Unit 4	2 BED	68 m ²
Unit 5	1 BED	46 m ²
Unit 6	1 BED	41 m ²
Unit 7	1 BED	47 m ²
Unit 8	1 BED	50 m ²
Unit 9	STUDIO	39 m ²
Unit 10	2 BED	68 m ²
Unit 11	1 BED	66 m ²
		688 m ²

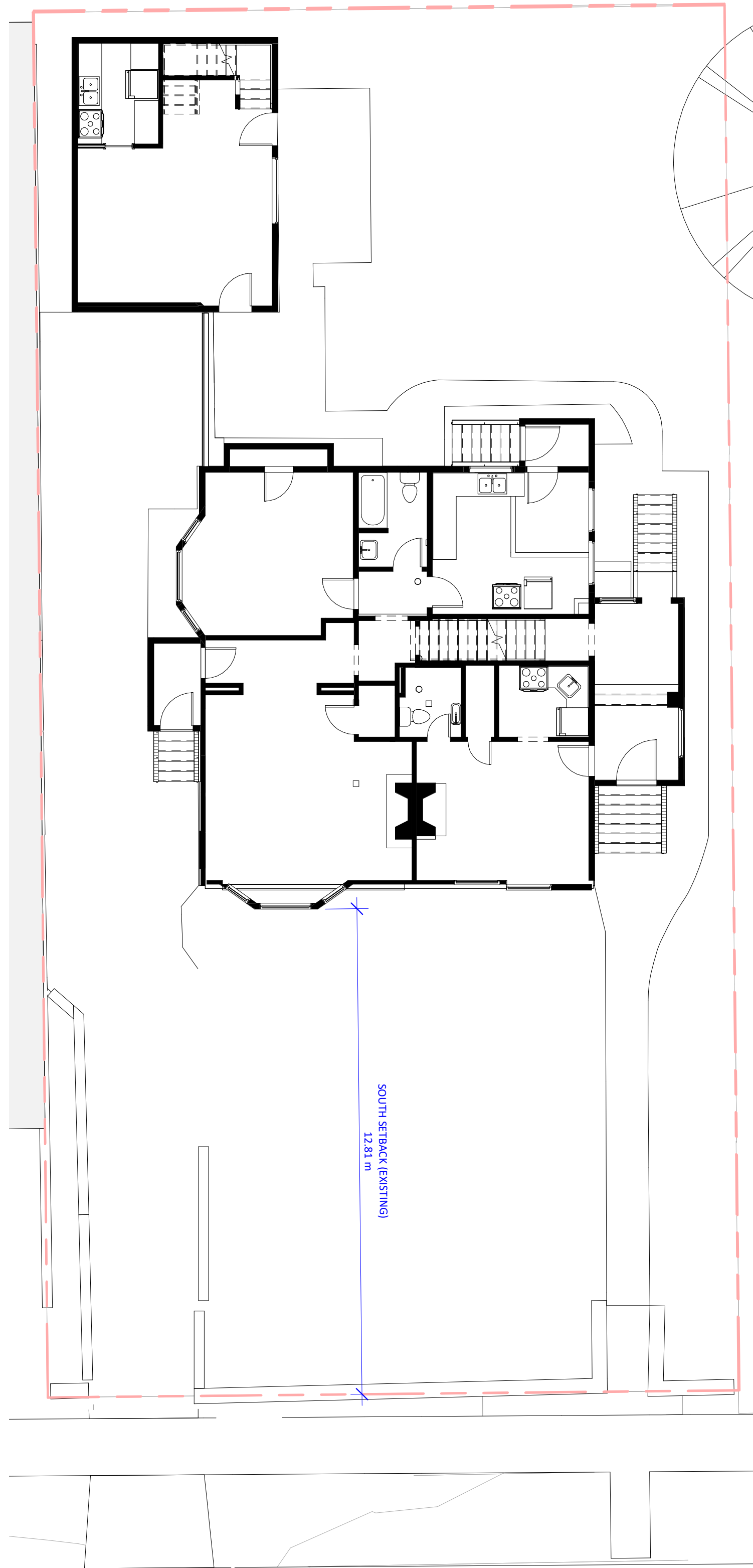
LEGEND TO FLOOR PLANS



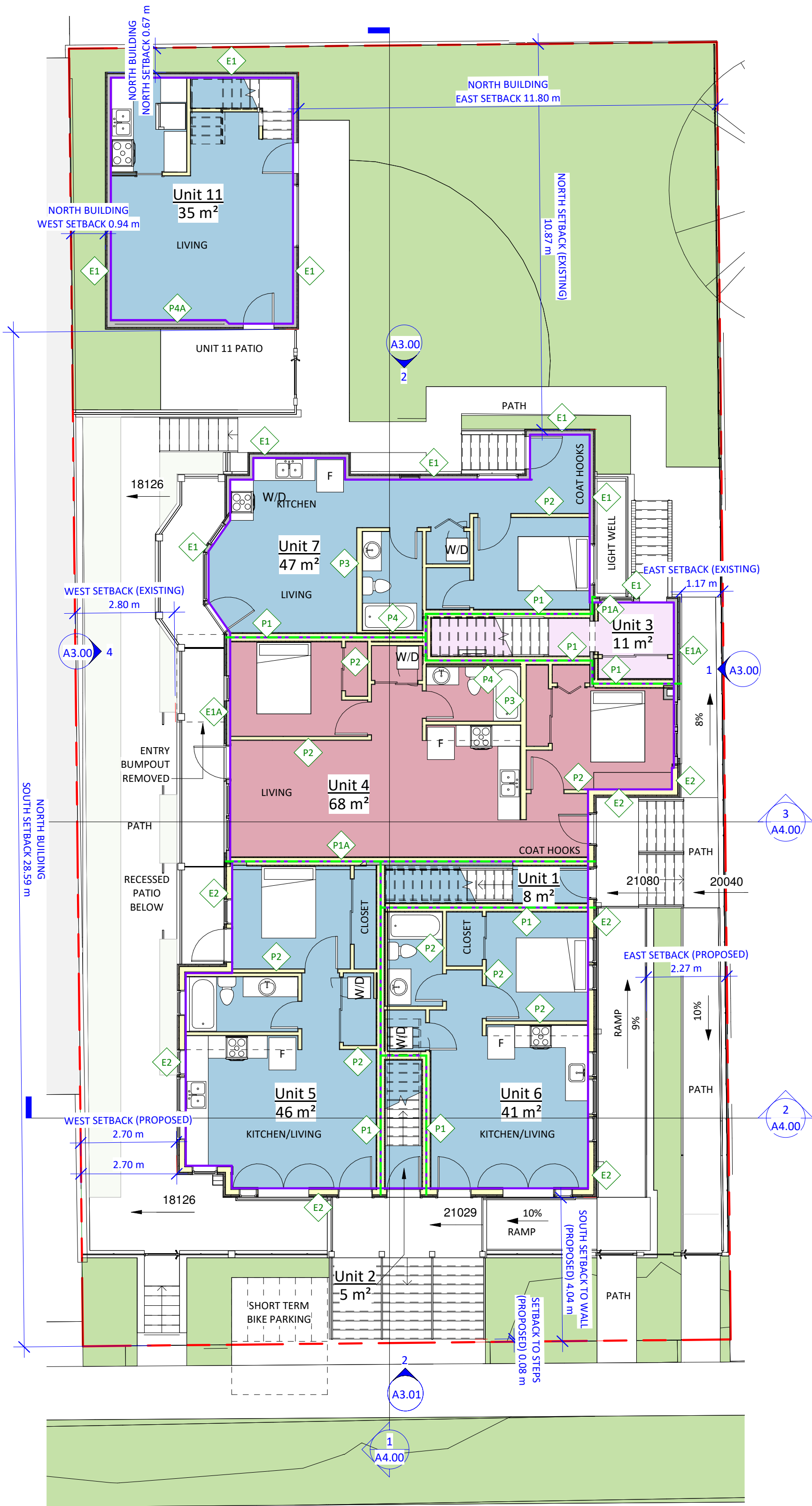
CONSTRUCTION ASSEMBLY TYPE (SEE
SCHEDULE ON A0.03)



1 HR. F.R.R. FIRE SEPARATION



1 Level 1 (Existing)
1 : 100



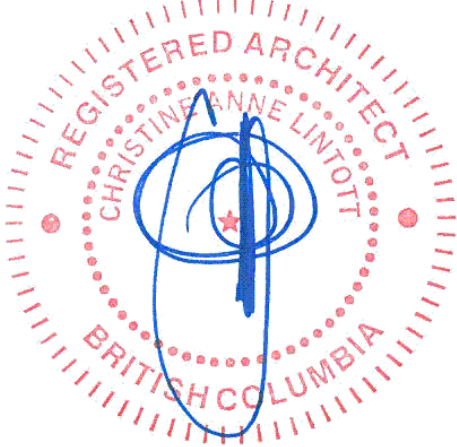
2 Level 1 (Proposed)
1 : 100

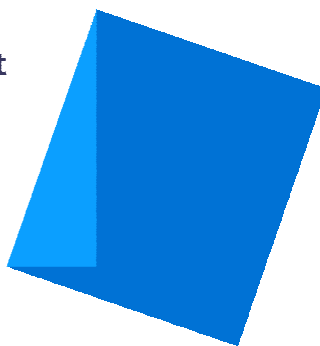
Unit Area Legend

- 1 BED
- 2 BED
- 3 BED

Area Schedule (Unit Area)		
Name	Occupancy	Area
Unit 1	1 BED	62 m ²
Unit 2	1 BED	60 m ²
Unit 3	3 BED	140 m ²
Unit 4	2 BED	68 m ²
Unit 5	1 BED	46 m ²
Unit 6	1 BED	41 m ²
Unit 7	1 BED	47 m ²
Unit 8	1 BED	50 m ²
Unit 9	STUDIO	39 m ²
Unit 10	2 BED	68 m ²
Unit 11	1 BED	66 m ²
		688 m ²

LEGEND TO FLOOR PLANS	
E1	CONSTRUCTION ASSEMBLY TYPE (SEE SCHEDULE ON A0.03)
---	1 HR. F.R.R. FIRE SEPARATION





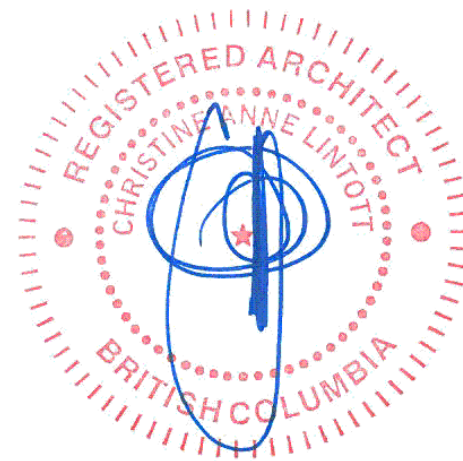
Issue Date

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Revision

No. Description Date

Consultant Seal



1042 Richardson Street

LEVEL 2 FLOOR PLANS

Date 2023-06-15 2:57:01 PM

Drawn by HJ

Checked by CL

A2.02

Project # 0001 Scale As indicated

Unit Area Legend

1 BED
3 BED

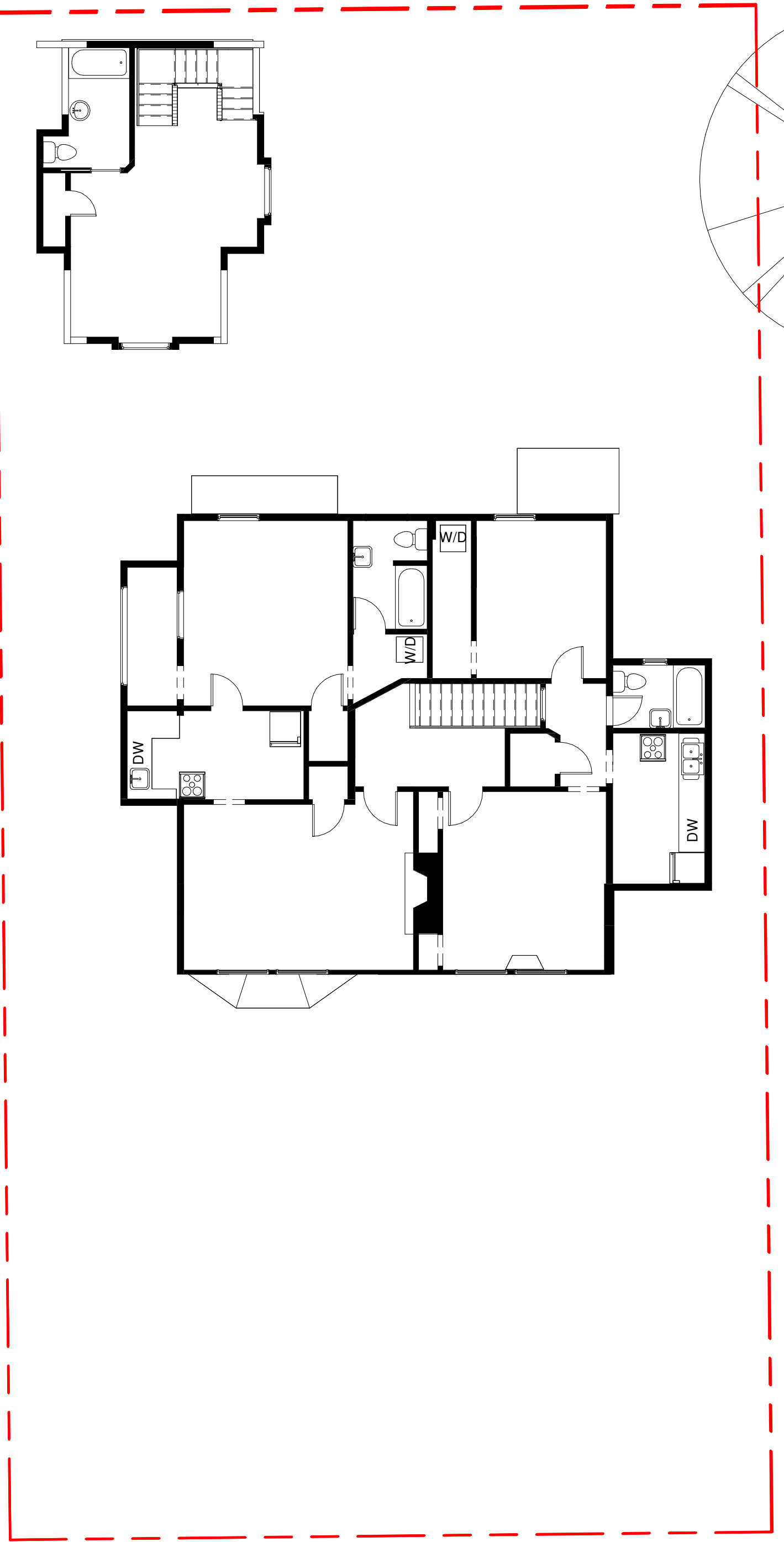
Area Schedule (Unit Area)		
Name	Occupancy	Area
Unit 1	1 BED	62 m ²
Unit 2	1 BED	60 m ²
Unit 3	3 BED	140 m ²
Unit 4	2 BED	68 m ²
Unit 5	1 BED	46 m ²
Unit 6	1 BED	41 m ²
Unit 7	1 BED	47 m ²
Unit 8	1 BED	50 m ²
Unit 9	STUDIO	39 m ²
Unit 10	2 BED	68 m ²
Unit 11	1 BED	66 m ²
		688 m ²

LEGEND TO FLOOR PLANS

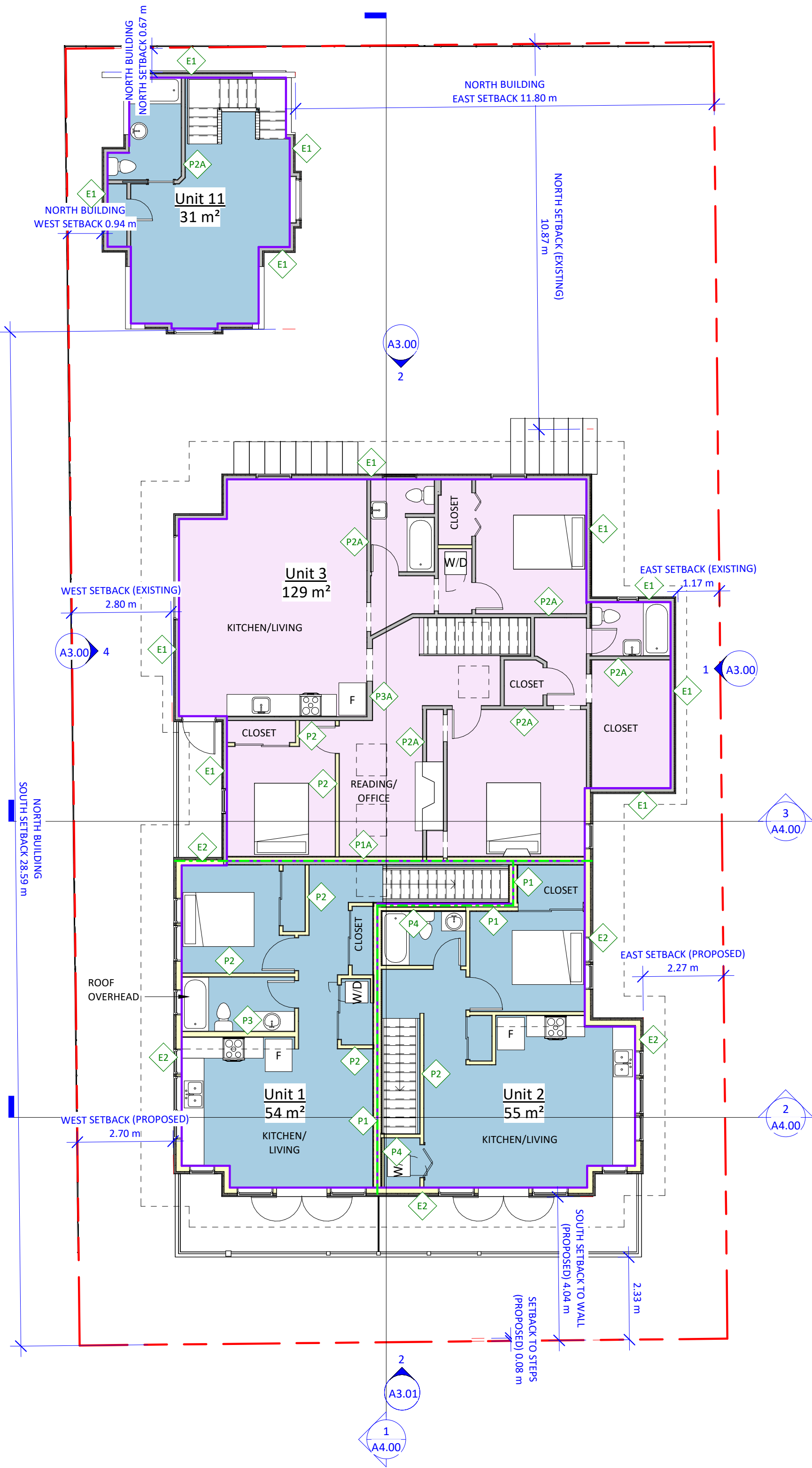


CONSTRUCTION ASSEMBLY TYPE (SEE SCHEDULE ON A0.03)

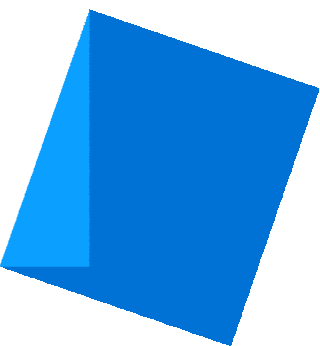
1 HR. F.R.R. FIRE SEPARATION



2 Level 2 (Existing)
1 : 100



1 Level 2 (Proposed)
1 : 100

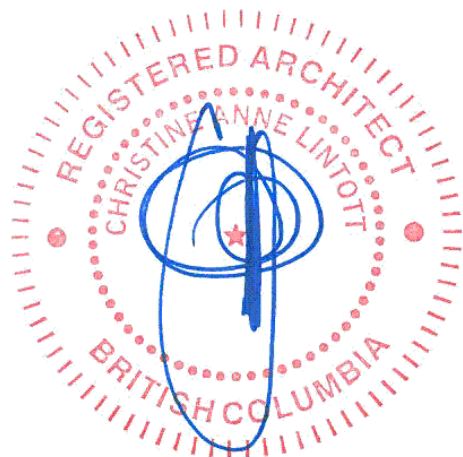


Issue Date

ISSUED FOR DP +
REZONING 06/13/2023

Revision
No. Description Date

Consultant Seal



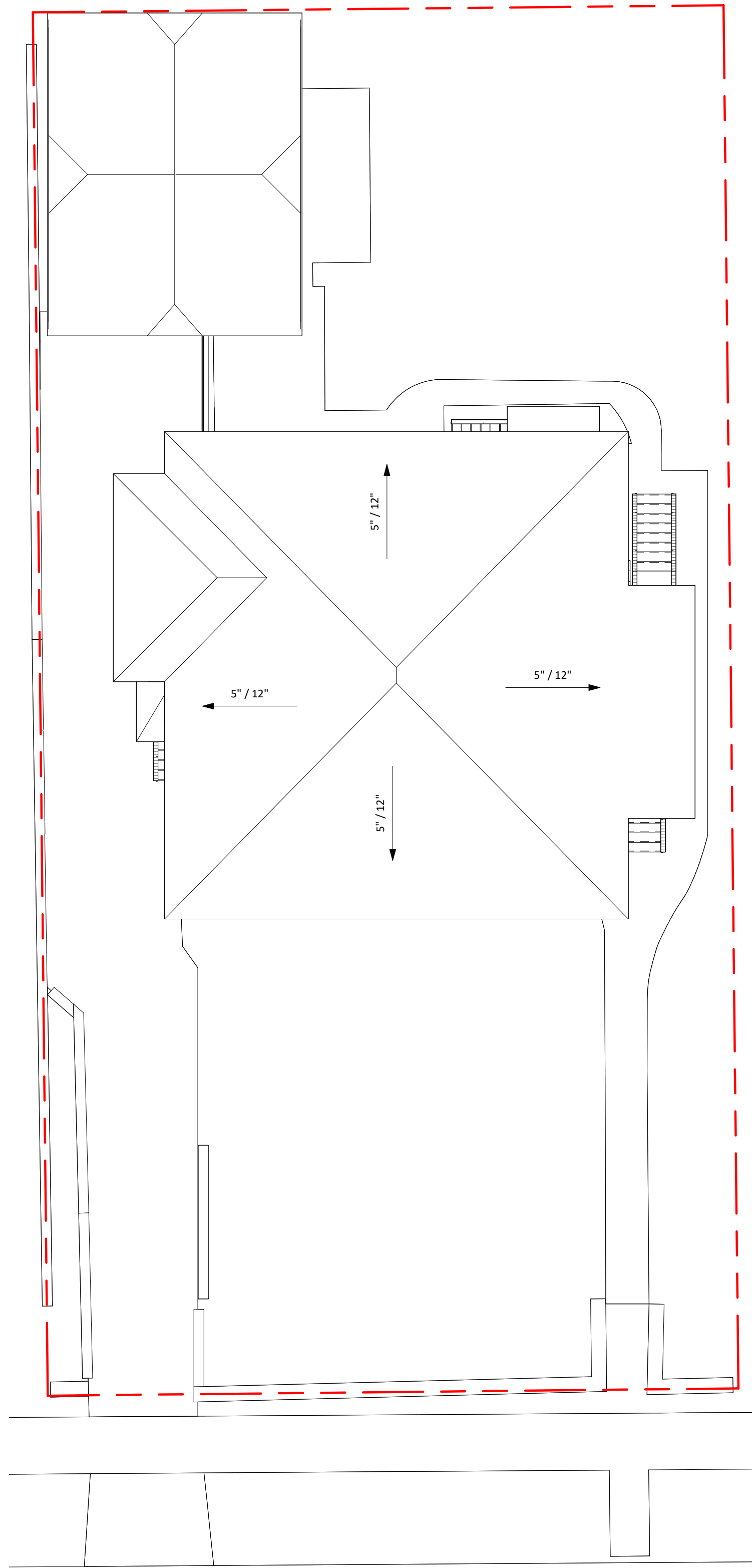
1042 Richardson
Street

ROOF PLANS

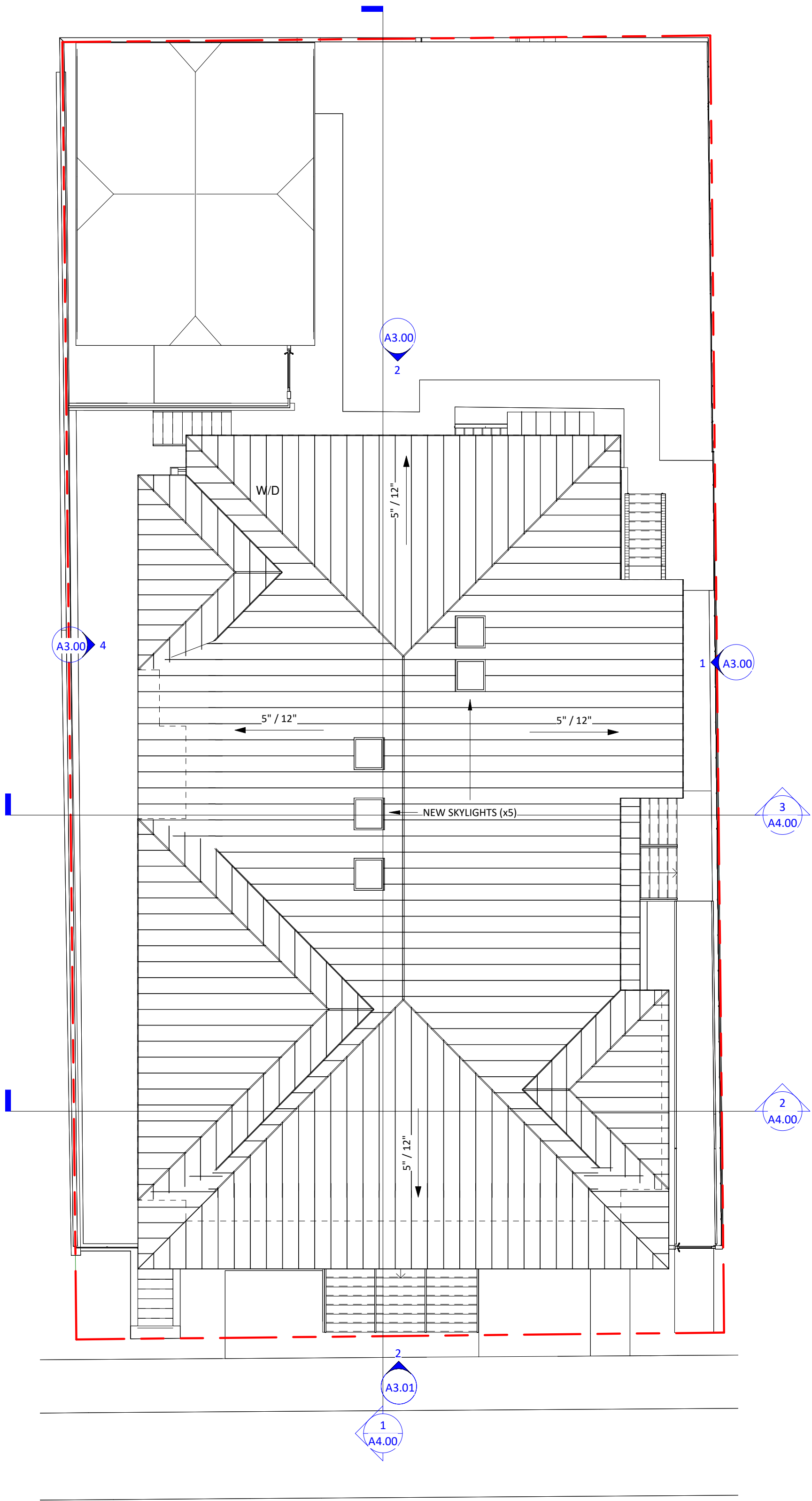
Date 2023-06-15 2:57:03 PM
Drawn by HJ
Checked by CL

A2.03

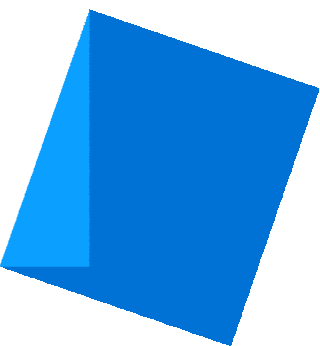
Project # 0001 Scale 1 : 100



1 Roof - Existing
1 : 100



2 Roof
1 : 100



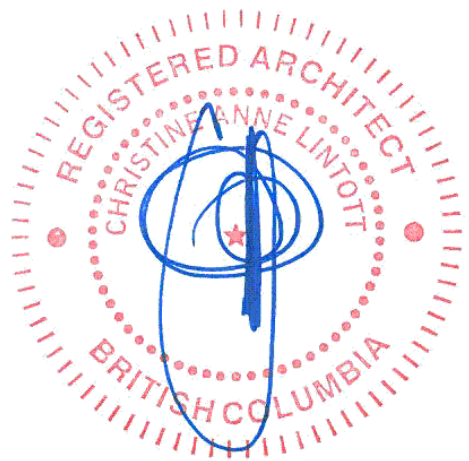
Issue Date

ISSUED FOR DP +
REZONING 06/13/2023

Revision

No. Description Date

Consultant Seal



1042 Richardson
Street

ELEVATIONS

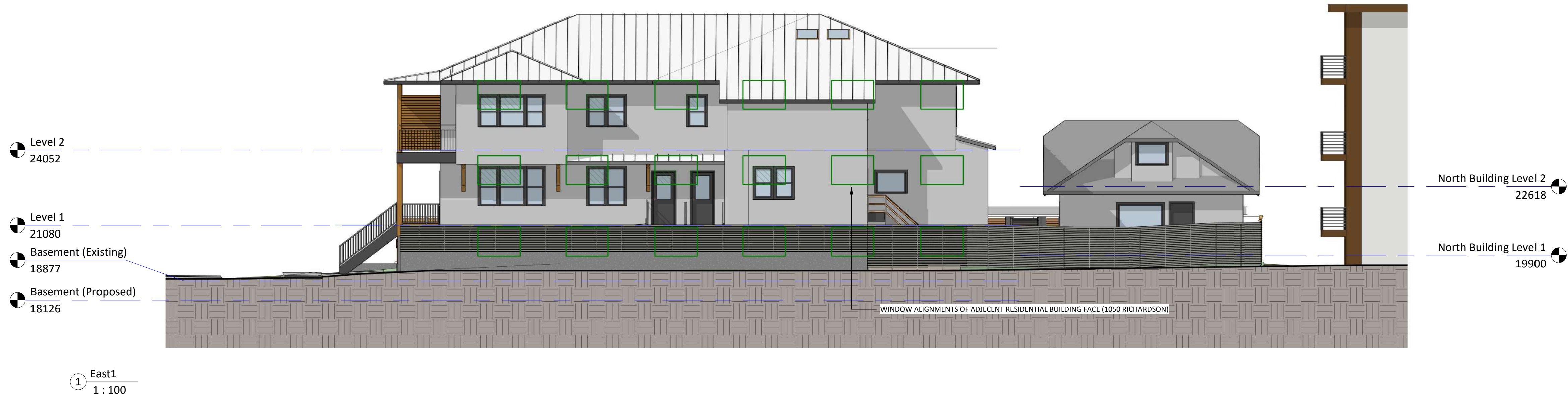
Date 2023-06-15 2:57:22 PM

Drawn by LA

Checked by CL

A3.00

Project # 0001 Scale 1 : 100





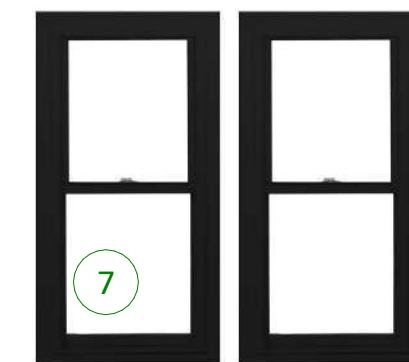
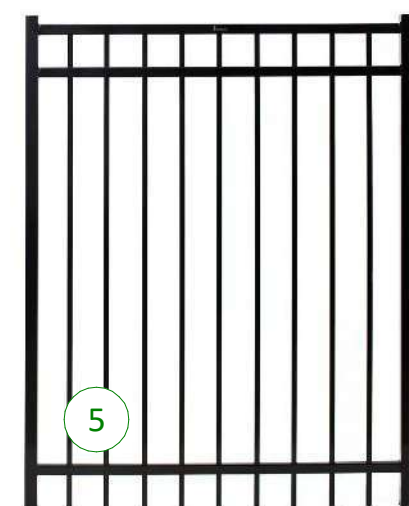
① South - Context Elevation
1 : 100



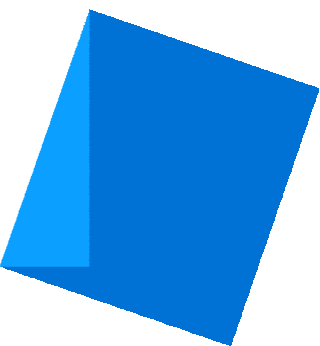
② Materials Elevation
1 : 50



- EXTERIOR FINISH LEGEND**
- 1 - STUCCO SIDING, COLOUR: WHITE
 - 2 - PREFINISHED METAL FLASHING
 - 3 - WOOD COLUMNS
 - 4 - STANDING SEAM METAL ROOF
 - 5 - METAL RAILINGS, COLOUR: CHARCOAL
 - 6 - METAL FENCE
 - 7 - WINDOWS + DOORS, COLOUR: CHARCOAL



Christine Lintott
Architects Inc.



Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5
Telephone: 250.384.1969
www.lintottarchitect.ca

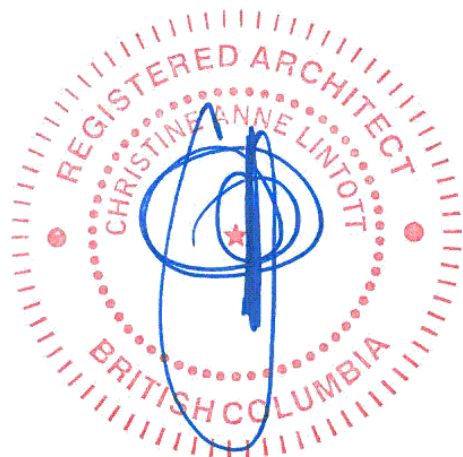
Issue Date

ISSUED FOR DP +
REZONING 06/13/2023

Revision

No. Description Date

Consultant Seal



1042 Richardson
Street

Street Context + Exterior
Materials

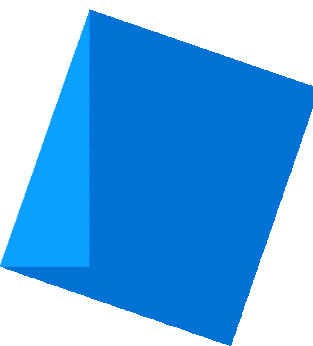
Date 2023-06-15 2:57:31 PM

Drawn by HJ

Checked by CL

A3.01

Project # 0001 Scale As indicated



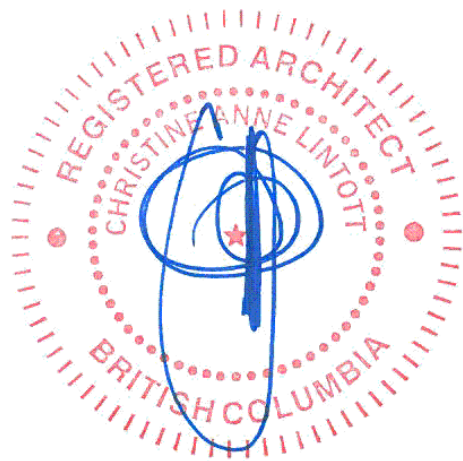
Issue Date

ISSUED FOR DP +
REZONING 06/13/2023

Revision

No. Description Date

Consultant Seal



1042 Richardson
Street

BUILDING SECTIONS

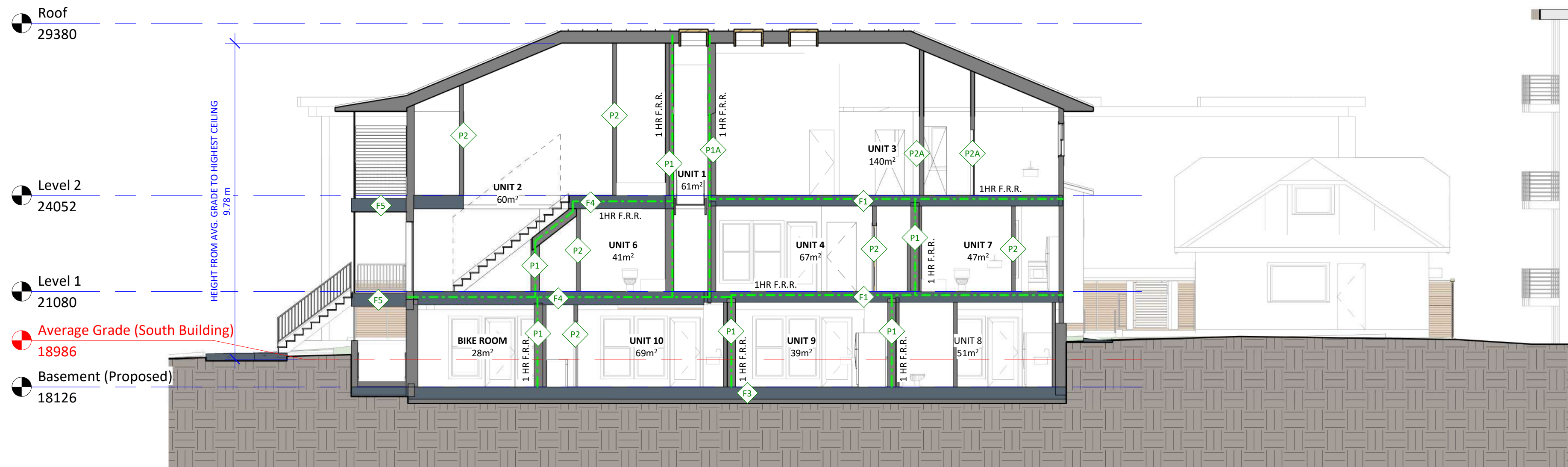
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Drawn by HJ

Checked by CLA

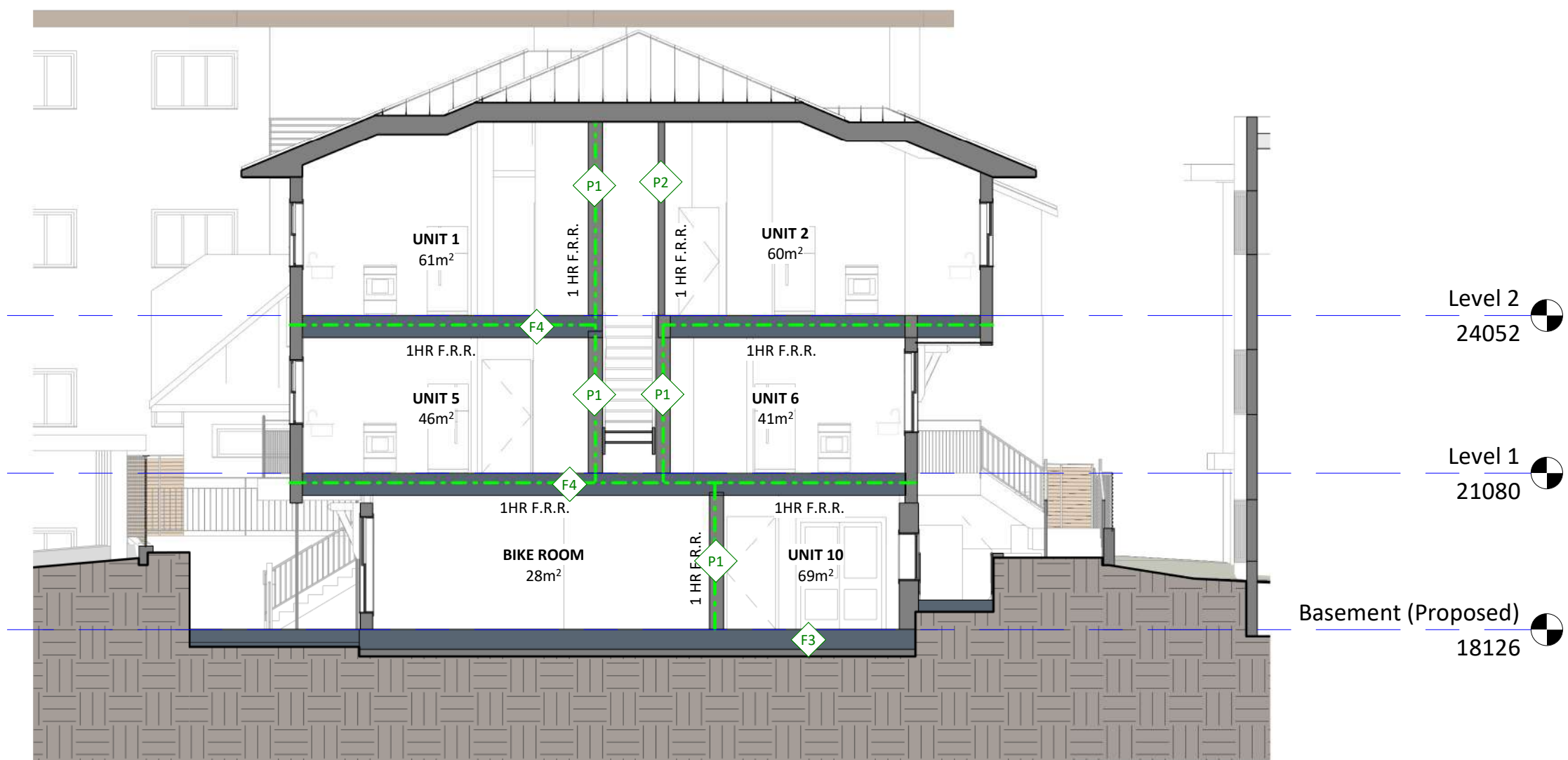
A4.00

Project # 0001 Scale As indicated

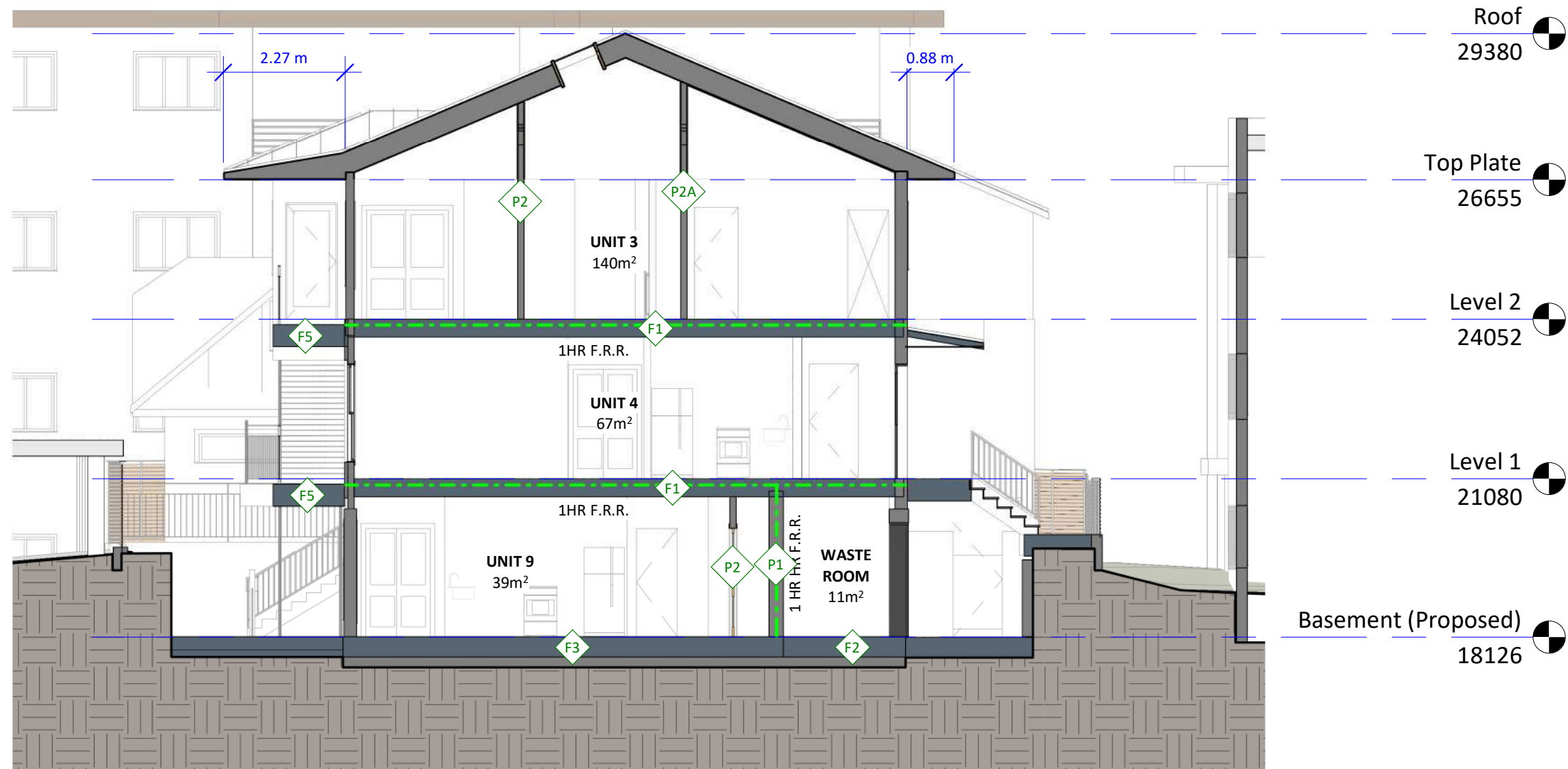


1 North - South Section
1 : 100

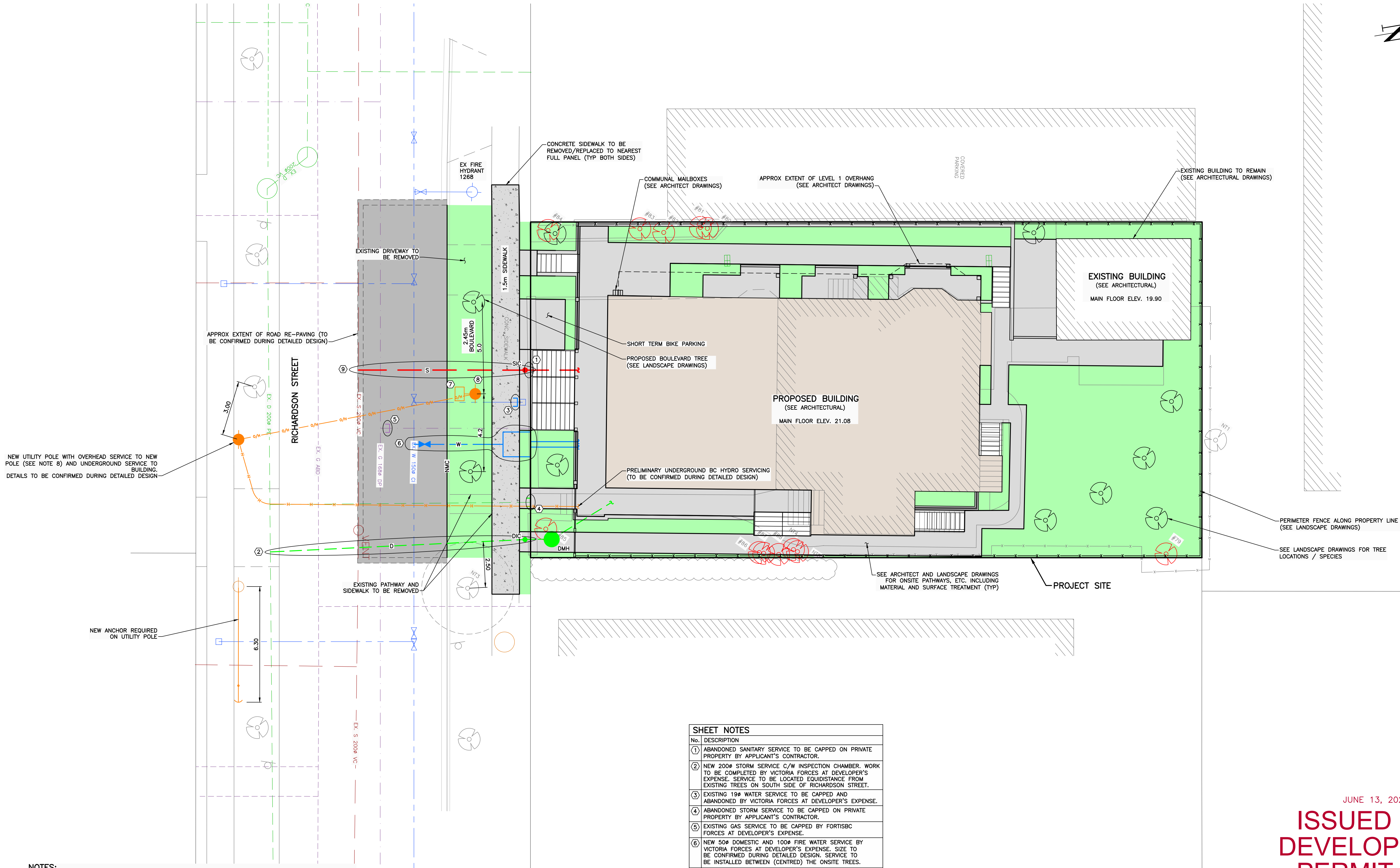
LEGEND TO BUILDING SECTIONS	
	CONSTRUCTION ASSEMBLY TYPE (SEE SCHEDULE ON A0.03)
	1 HR. F.R.R. FIRE SEPARATION



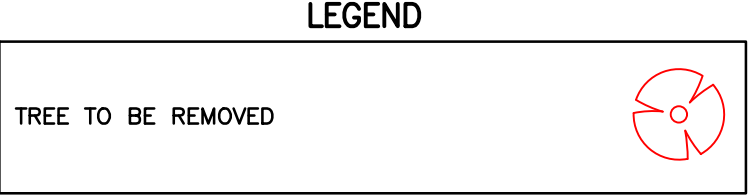
2 East - West Section
1 : 100



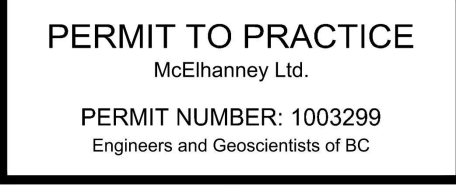
3 East - West Section1
1 : 100



- NOTES:**
- FOR BUILDING INFORMATION, SEE DRAWINGS BY CHRISTINE LINTOTT ARCHITECTS.
 - FOR LANDSCAPE AND TREE INFORMATION, SEE DRAWINGS BY LADR LANDSCAPE ARCHITECTS.
 - FOR LEGAL INFORMATION, SEE PLANS BY POWELL & ASSOCIATES.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN. LOCATIONS AND SIZES OF SERVICES ARE SUBJECT TO CHANGE.
 - BUILDING FLOOR AND PARKING LOT ELEVATIONS SUBJECT TO CHANGE DURING DETAILED DESIGN.
 - ALL EXISTING BUILDINGS, PARKING LOT ASPHALT, RETAINING WALLS, CURB STOPS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE.
 - HYDRO/TEL/CABLE/GAS SERVICES (BY OTHERS) LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
 - FIRE DEPARTMENT CONNECTION NOT SHOWN. LOCATION TO BE CONFIRMED DURING DETAILED DESIGN.



SHEET NOTES	
No.	DESCRIPTION
1	ABANDONED SANITARY SERVICE TO BE CAPPED ON PRIVATE PROPERTY BY APPLICANT'S CONTRACTOR.
2	NEW 200# STORM SERVICE C/W INSPECTION CHAMBER. WORK TO BE COMPLETED BY VICTORIA FORCES AT DEVELOPER'S EXPENSE. SERVICE TO BE LOCATED EQUIDISTANCE FROM EXISTING TREES ON SOUTH SIDE OF RICHARDSON STREET.
3	EXISTING 19" WATER SERVICE TO BE CAPPED AND ABANDONED BY VICTORIA FORCES AT DEVELOPER'S EXPENSE.
4	ABANDONED STORM SERVICE TO BE CAPPED ON PRIVATE PROPERTY BY APPLICANT'S CONTRACTOR.
5	EXISTING GAS SERVICE TO BE CAPPED BY FORTISBC FORCES AT DEVELOPER'S EXPENSE.
6	NEW 50# DOMESTIC AND 100# FIRE WATER SERVICE BY VICTORIA FORCES AT DEVELOPER'S EXPENSE. SIZE TO BE CONFIRMED DURING DETAILED DESIGN. SERVICE TO BE INSTALLED BETWEEN (CENTRED) THE ONSITE TREES.
7	VEHICLE CHARGING STATION AT DEVELOPER'S EXPENSE.
8	NEW CITY OWNED SERVICE POLE REQUIRED TO PROVIDE OVERHEAD SERVICE TO CHARGING STATION. FINAL DETAILS TO BE CONFIRMED DURING DETAILED DESIGN.
9	NEW 200# SANITARY SERVICE C/W INSPECTION CHAMBER. WORK TO BE COMPLETED BY VICTORIA FORCES AT DEVELOPER'S EXPENSE.

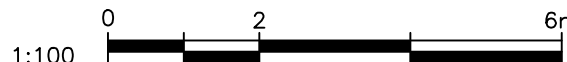


SEE ARCHITECTURAL AND LANDSCAPING, DRAWINGS FOR ADDITIONAL INFORMATION.

LEGAL PLAN AND TOPOGRAPHIC SURVEY PROVIDED BY POWELL & ASSOCIATES.

JUNE 13, 2023

**ISSUED FOR
DEVELOPMENT
PERMIT AND
REZONING**



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NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
4	2023-06-13	NCD	ISSUED FOR DEVELOPMENT PERMIT AND REZONING				
3	2021-06-09	NCD	ISSUED FOR REZONING				
2	2021-01-14	NCD	ISSUED FOR REZONING				
1	2020-09-29	NCD	ISSUED FOR REZONING				



McElhanney

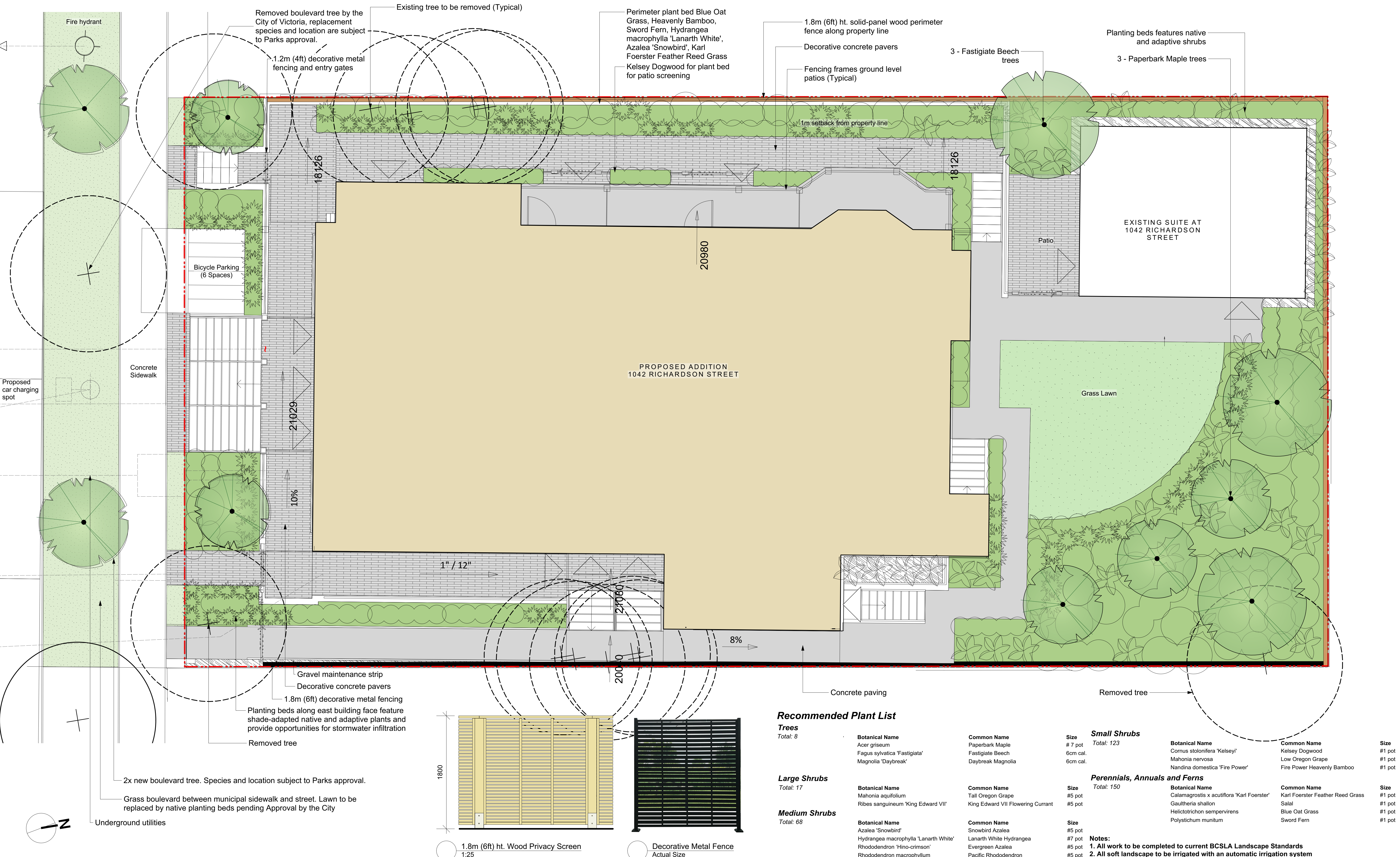
500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3
PH (250) 370-9221



PROJECT:
1042 RICHARDSON STREET, VICTORIA, BC

TITLE:
CONCEPTUAL SERVICING DRAWING FOR REZONING

SCALE HORIZ: 1:100 VERT: N/A	VERT: N/A
PROJECT NO. 20-083	ISSUED/REVISION 4
APPROVING AUTHORITY FILE NO.	
DRAWING NO. 20-083-REZONING	



Recommended Plant List

Trees

Total: 8

Botanical Name
Acer griseum
Fagus sylvatica 'Fastigiata'
Magnolia 'Daybreak'

Common Name
Paperbark Maple
Fastigate Beech
Daybreak Magnolia

Large Shrubs

Total: 17

Botanical Name
Mahonia aquifolium
Ribes sanguineum 'King Edward VII'

Common Name
Tall Oregon Grape
King Edward VII Flowering Currant

Medium Shrubs

Total: 68

Botanical Name
Azalea 'Snowbird'
Hydrangea macrophylla 'Lanarth White'
Rhododendron 'Hino-crimson'
Rhododendron macrophyllum

Common Name
Snowbird Azalea
Lanarth White Hydrangea
Evergreen Azalea
Pacific Rhododendron

Small Shrubs

Total: 123

Botanical Name
Cornus stolonifera 'Kelsey'
Mahonia nervosa
Nandina domestica 'Fire Power'

Common Name
Kelsey Dogwood
Low Oregon Grape
Fire Power Heavenly Bamboo

Perennials, Annuals and Ferns

Total: 150

Botanical Name
Calamagrostis x acutiflora 'Karl Foerster'
Gaultheria shallon
Helictotrichon sempervirens
Polystichum munitum

Common Name
Karl Foerster Feather Reed Grass
Salal
Blue Oat Grass
Sword Fern

Notes:
1. All work to be completed to current BCSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system

1042 Richardson Street | Landscape Concept Plan