

# 1042 RICHARDSON STREET

## APPLICATION FOR REZONING + DEVELOPMENT PERMIT

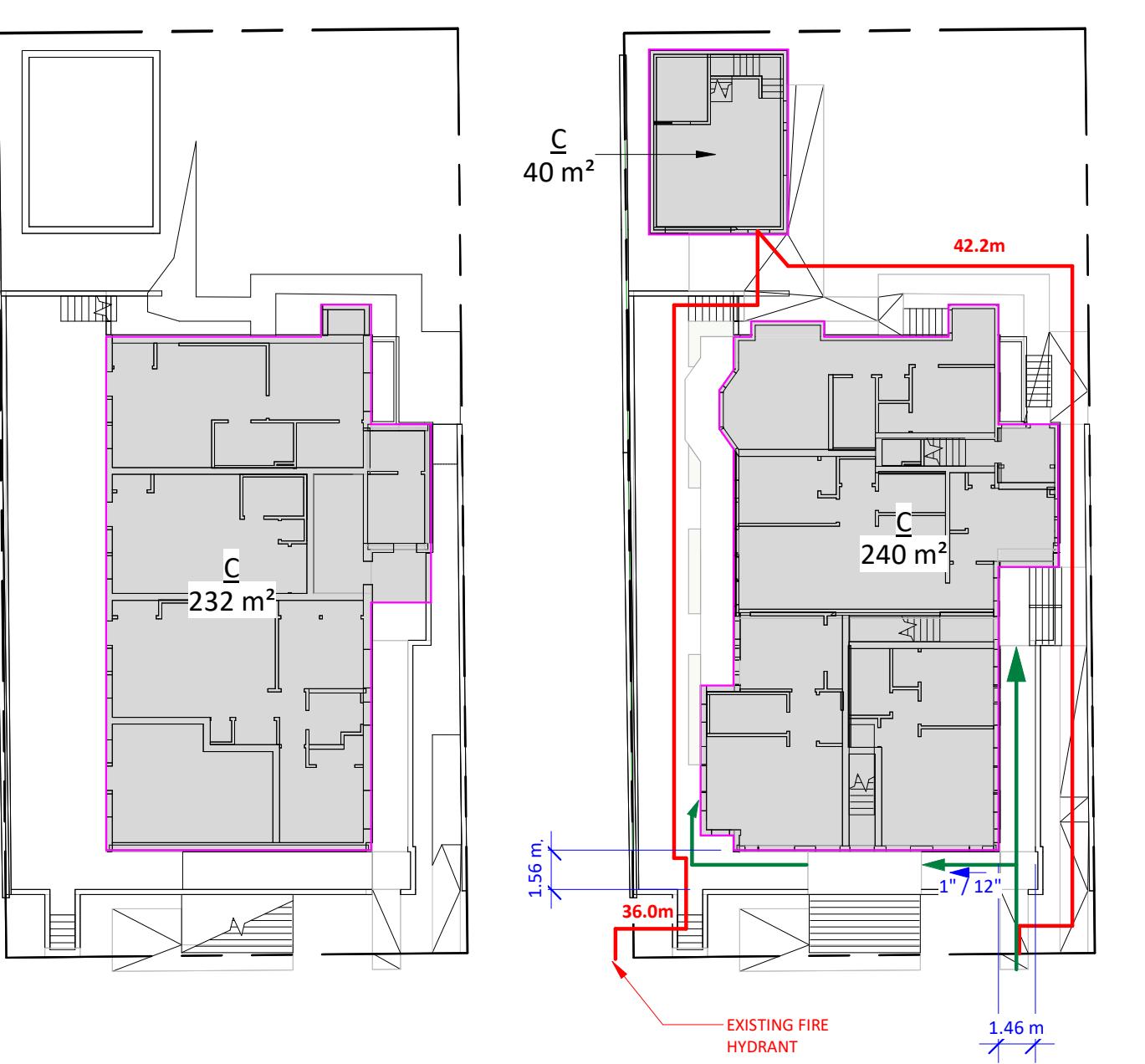


## Building Code Analysis - General Information

1 - GENERAL INFORMATION				BCBC																																															
NO.	ITEM	DESCRIPTION		REFERENCE(S)																																															
1-1	PROJECT TYPE	<input type="checkbox"/> NEW CONSTRUCTION	<input checked="" type="checkbox"/> ADDITION	<input checked="" type="checkbox"/> RENO.	<input type="checkbox"/> TENANT IMPROVEMENT	-																																													
1-2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018, INCLUDING ALL AMENDMENTS			-																																														
1-3	BUILDING CODE PARTS APPLICABLE	<div style="display: flex; align-items: center; justify-content: space-between;"> <span style="writing-mode: vertical-rl; transform: rotate(180deg);">DIVISION:</span> <table border="1" style="border-collapse: collapse; text-align: center;"> <tr> <td><b>PART:</b></td> <td>1</td> <td>2</td> <td>3</td> <td>4</td> <td>5</td> <td>6</td> <td>7</td> <td>8</td> <td>9</td> <td>10</td> </tr> <tr> <td>A</td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>B</td> <td><input checked="" type="checkbox"/></td> <td>—</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>C</td> <td><input checked="" type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table> </div>	<b>PART:</b>	1	2	3	4	5	6	7	8	9	10	A	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>								B	<input checked="" type="checkbox"/>	—	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	C	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>									DIV A - 1.3.2., 1.3.3., 1.3.4.				
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1-4	OCCUPANCY CLASSIFICATION	<input checked="" type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F2	<input type="checkbox"/> F3	9.10.2.1.																																												
1-5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO					9.10.2.5.																																											
1-6	FIREWALL(S)	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO					9.10.11.																																											
1-7	OCCUPANT LOAD	<b>30</b> TOTAL (BOTH BUILDINGS) <table border="1" style="margin-top: 10px; text-align: center;"> <thead> <tr> <th colspan="2"><u>SOUTH BUILDING</u></th> <th><u>ROOM</u></th> <th><u>NO. UNITS</u></th> <th><u>OCCUPANTS</u></th> </tr> <tr> <th></th> <th></th> <th>1 BEDROOM</th> <th>6</th> <th>12</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>2 BEDROOM</td> <td>2</td> <td>4</td> </tr> <tr> <td></td> <td></td> <td>3 BEDROOM</td> <td>1</td> <td>6</td> </tr> <tr> <td></td> <td></td> <td>STUDIO</td> <td>1</td> <td>2</td> </tr> <tr> <td colspan="2"></td> <td></td> <td colspan="2"><b>TOTAL OCCUPANTS</b> <b>28</b></td> </tr> </tbody> </table> <table border="1" style="margin-top: 10px; text-align: center;"> <thead> <tr> <th colspan="2"><u>NORTH BUILDING</u></th> <th><u>ROOM</u></th> <th><u>NO. UNITS</u></th> <th><u>OCCUPANTS</u></th> </tr> <tr> <th></th> <th></th> <th>1 BEDROOM</th> <th>1</th> <th>2</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td colspan="2"><b>TOTAL OCCUPANTS</b> <b>2</b></td> </tr> </tbody> </table>				<u>SOUTH BUILDING</u>		<u>ROOM</u>	<u>NO. UNITS</u>	<u>OCCUPANTS</u>			1 BEDROOM	6	12			2 BEDROOM	2	4			3 BEDROOM	1	6			STUDIO	1	2				<b>TOTAL OCCUPANTS</b> <b>28</b>		<u>NORTH BUILDING</u>		<u>ROOM</u>	<u>NO. UNITS</u>	<u>OCCUPANTS</u>			1 BEDROOM	1	2				<b>TOTAL OCCUPANTS</b> <b>2</b>		9.9.1.3.
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1-8	BUILDING AREA (m <sup>2</sup> )	<b>≤ 600</b>	REQUIRED	<b>256.5</b>	PROPOSED (SOUTH BUILDING)		DIV.A:1.3.3.3., 1.4.1.2.																																												
				<b>42.8</b>	PROPOSED (NORTH BUILDING)																																														
1-9	GRADE ELEVATION (m, GEODETIC)	<b>18.675</b>	SOUTH BUILDING				1.4.1.2.																																												
		<b>19.700</b>	NORTH BUILDING																																																
1-10	BUILDING HEIGHT (STOREYS)	<b>≤ 3</b>	REQUIRED	<b>3</b>	PROPOSED (SOUTH BUILDING)		9.10.4.																																												
				<b>2</b>	PROPOSED (NORTH BUILDING)																																														
1-11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED (SOUTH)	<input checked="" type="checkbox"/> PROPOSED (SOUTH)	<input type="checkbox"/> REQUIRED (NORTH)	<input checked="" type="checkbox"/> PROPOSED (NORTH)			9.10.18.2.																																											
1-12	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED (SOUTH)	<input checked="" type="checkbox"/> PROPOSED (SOUTH) <sup>1</sup>	<sup>1</sup> SPRINKLER SYSTEM REQUIRED FOR EXISTING BUILDING TO MEET SPATIAL SEPARATION REQUIREMENTS			9.10.1.3., 3.2.3.1.-D 3.2.5.																																												
		<input type="checkbox"/> REQUIRED (NORTH)	<input type="checkbox"/> PROPOSED (NORTH)	<input checked="" type="checkbox"/> N/A (NORTH)																																															
1-13	MEZZANINE(S)	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO					9.10.4.1.																																											
1-14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO					9.10.9.5.																																											
1-15	NUMBER OF STREETS FACING	<b>1</b>						1.4.1.2.																																											
1-16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED	<input checked="" type="checkbox"/> PROPOSED					9.10.20.3.																																											
		STREET FRONTRAGE MEETS 3.2.5.5.(2)(B), EX. HYDRANT IS ~36m FROM REAR YARD SUITE ENTRANCES																																																	
1-17	HIGH BUILDING	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO					9.10.4.1.																																											
1-18	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED	<input type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> N/A			9.10.1.3.(9), 3.2.5.																																												
1-19	CONSTRUCTION TYPE(S)	<u>COMBUSTIBLE:</u>	<input checked="" type="checkbox"/> PERMITTED	<input checked="" type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> EXISTING			9.10.6.																																											
		<u>NON-COMBUSTIBLE:</u>	<input checked="" type="checkbox"/> PERMITTED	<input type="checkbox"/> PROPOSED	<input type="checkbox"/> N/A																																														
1-20	ASSEMBLY FIRE-RESISTANCE RATINGS (F.R.R., IN HOURS)	<u>MINIMUM RATING (LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY):</u> <b>3/4</b> FLOORS <sup>1</sup> <input checked="" type="checkbox"/> MEZZANINE <input type="checkbox"/> ROOF <input type="checkbox"/> CRAWLSPACES				<sup>1</sup> EXCEPT FLOORS OVER		9.10.8.																																											
1-21	ALTERNATE SOLUTIONS	<input checked="" type="checkbox"/> YES <sup>1</sup>	<input type="checkbox"/> NO	<sup>1</sup> WATER CURTAIN ALTERNATIVE TO 9.9.4.4.-6.				DIV.A - 1.2.1.1.(1)(B), & DIV. C - 2.3.																																											

Building Code Analysis - Accessibility & Design of Areas and Spaces

2 - ACCESSIBILITY & DESIGN OF AREAS AND SPACES				9.5.
NO.	ITEM	DESCRIPTION	REFERENCE(S)	
2-1	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	<input checked="" type="checkbox"/> APPLICATION (3.8.2.) <input checked="" type="checkbox"/> DESIGN (3.8.3.) <input checked="" type="checkbox"/> ALTERATIONS (3.8.4.) <input checked="" type="checkbox"/> ADAPTABLE DWELLING UNITS (3.8.5.) <sup>1</sup>	FOR APARTMENT WITHOUT ELEVATOR, ACCESS REQUIRED FROM PARKING TO ENTRANCE AND THROUGH COMMON AREAS AT FIRST STOREY (BICYCLES & RECYCLING).  <sup>1</sup> UNIT 8 IS ADAPTABLE	9.5.2.1., 3.8.1.1., 3.8.2.1., 3.8.4.
2-2	ENTRANCES	<em>POWER DOOR OPERATOR:</em> <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <sup>1</sup> <input checked="" type="checkbox"/> N/A		3.8.2.7.
2-3	AREAS REQUIRING ACCESS	<em>ACCESS THROUGHOUT ENTRANCE STOREY &amp; NORMALLY OCCUPIED FLOOR AREAS:</em> <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup>	ACCESS REQUIRED TO BIKE ROOM AND WASTE ROOM	3.8.2.3.(2)(L)



4 PROPOSED BASEMENT PLAN  
1 : 250

## PROPOSED LEVEL 1 PLAN

5 PROPOSED LEVEL 2 P  
1:250

## Building Code Analysis - Windows, Doors & Skylights

3 - WINDOWS, DOORS AND SKYLIGHTS				9.7.
NO.	ITEM	DESCRIPTION	REFERENCE(S)	
3-1	DWELLING UNIT ENTRANCE DOORS	<u>DOOR VIEWER OR TRANSPARENT GLAZING:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED	9.7.2.1.	
3-2	PERFORMANCE OF WINDOWS, DOORS AND SKYLIGHTS	<u>COMPLIANCE WITH EITHER PART 5 OR 9.7.3.3.:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <u>THERMALLY BROKEN METAL FRAMES AND SASHES, UNLESS F.R.R. REQUIRED:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED	9.7.3.	
3-3	DESIGN AND CONSTRUCTION [OF WINDOWS, DOORS AND SKYLIGHTS]	<u>CONFORM TO "AAMA/WDMA/CSA-101/I.S.2/A440-11" (NAFS STANDARD) AND "A440S1-2017" (CANADIAN SUPPLEMENT):</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED	9.7.4.	
3-4	RESISTANCE TO FORCED ENTRY FOR SWINGING [DWELLING UNIT] DOORS	<u>WHERE WOOD, <math>\geq 45\text{mm}</math> THICK, SOLID OR <math>19\text{mm}</math> STILE-AND-RAIL TYPE:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <u>5-PIN DEADBOLT LOCK AND BOLT THROW <math>\geq 25\text{mm}</math>, WITH STRIKE PLATES CONFORMING TO 9.7.5.2.(7):</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <u>HINGE FASTENING CONFORMING TO 9.7.5.2.(6):</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <u>SOLID BLOCKING ON BOTH SIDES AT LOCK HEIGHT:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED	9.7.5.2.	
3-5	RESISTANCE TO FORCED ENTRY FOR [RESIDENTIAL] WINDOWS	<u>WITHIN <math>2\text{m}</math> OF ADJACENT GROUND, FORCED ENTRY WINDOW PROTECTION PER CLAUSE 5.3.5. OF "AAMA/WDMA/CSA-101/I.S.2/A440-11" (NAFS STANDARD):</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED	9.7.5.3.	

## Building Code Analysis - Stairs, Ramps, Handrails and Guards

4 - STAIRS, RAMPS, HANDRAILS AND GUARDS							9.8.				
NO.	ITEM	DESCRIPTION					REFERENCE(S)				
4-1	STAIR WIDTH (mm)	<u>EXIT OR PUBLIC STAIRS:</u> <input checked="" type="checkbox"/> <b>≥ 900</b> REQUIRED <input type="checkbox"/> PROPOSED					9.8.2.1.				
4-2	HEIGHT OVER STAIRS AND LANDINGS (mm)	<u>TYPICAL:</u> <input checked="" type="checkbox"/> <b>≥ 2050</b> REQUIRED <input type="checkbox"/> PROPOSED					9.8.2.2., 9.8.6.4.				
4-3	STEP DIMENSIONS (mm)	<u>RISE, PUBLIC STAIR:</u> <input checked="" type="checkbox"/> <b>125 - 180</b> REQUIRED <input type="checkbox"/> PROPOSED					9.8.4.1., 9.8.4.2.				
		<u>RISE, PRIVATE STAIR:</u> <input checked="" type="checkbox"/> <b>125 - 200</b> REQUIRED <input type="checkbox"/> PROPOSED					9.8.4.1., 9.8.4.2.				
4-4	TREAD NOSINGS (mm)	<u>TYPICAL RADIUS:</u> <input checked="" type="checkbox"/> <b>6 - 14</b> REQUIRED	<u>RESILIENT TREAD RADIUS:</u> <input checked="" type="checkbox"/> <b>≥ 3</b> REQUIRED				9.8.4.8.				
4-5	TACTILE WARNING STRIPS	<u>SURFACE INDICATORS AT TOP OF STAIR FLIGHTS PER 3.8.3.:</u> <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <sup>1</sup>					9.8.6.5., 3.8.3.9.(3)				
4-6	RAMPS	<input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup> <input type="checkbox"/> N/A					9.8.5.				
		<u>RAMP CLEAR WIDTH (mm):</u> <input checked="" type="checkbox"/> <b>≥ 1100</b> REQUIRED <input checked="" type="checkbox"/> <b>≥ 1100</b> PROVIDED <sup>1</sup>					9.8.5.1.(2); SECTION 3.8 GOVERNS				
		<u>REQUIRED CLEAR HEIGHT:</u> <input checked="" type="checkbox"/> <b>≥ 2050</b> REQUIRED <input checked="" type="checkbox"/> <b>≥ 2050</b> PROVIDED <sup>1</sup>									
		<u>MAXIMUM SLOPE:</u> <input checked="" type="checkbox"/> <b>1:10</b> REQUIRED <input checked="" type="checkbox"/> <b>1:10</b> PROVIDED <sup>1</sup>									
4-7	LANDINGS (mm)	<u>WIDTH, PUBLIC STAIR:</u> <input checked="" type="checkbox"/> <b>≥ 900</b> REQUIRED <input checked="" type="checkbox"/> <b>≥ 900</b> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup>					9.8.6.3., 9.8.2.1.				
		<u>WIDTH, RAMP:</u> <input checked="" type="checkbox"/> <b>≥ 1100</b> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> <b>≥ 1100</b> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup>									
		<sup>1</sup> RAMPS IN ACCESSIBLE PATH OF TRAVEL EXEMPTED FROM 9.6.5. BY 9.8.5.1.(2); SECTION 3.8 GOVERNS									
4-8	HANDRAILS	<u>NO. SIDES, INT. STAIRS:</u> <input checked="" type="checkbox"/> <b>≥ 1</b> REQUIRED <u>NO. SIDES, EXT. STAIRS:</u> <input checked="" type="checkbox"/> <b>≥ 1</b> REQUIRED					9.8.7.				
		<u>NO. SIDES, RAMP:</u> <input checked="" type="checkbox"/> <b>≥ 2</b> REQUIRED									
		<u>CONTINUITY ON ONE SIDE, EXCEPT AT DOORWAYS AND LANDINGS:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A									
		<u>HORIZONTAL EXTENSIONS ≥ 300mm, TOP AND BOTTOM, EXCEPT WHERE SERVING ONLY ONE DWELLING UNIT:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A									
		<u>HEIGHT (mm):</u> <input checked="" type="checkbox"/> <b>865 - 1,070</b> REQUIRED									
		<u>CLEARANCE TO WALL BEHIND (mm):</u> <input checked="" type="checkbox"/> <b>≥ 50</b> TYPICAL <input checked="" type="checkbox"/> <b>≥ 60</b> ROUGH SURFACE									
		<u>PROJECTION INTO REQUIRED WIDTH (mm):</u> <input checked="" type="checkbox"/> <b>≤ 100</b> REQUIRED									
4-9	GUARDS	<u>AT ELEVATION CHANGES &gt; 600 mm, OR ADJACENT SURFACE WITHIN 1.2m SLOPES &gt; 1 IN 2:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A					9.8.8.				
		<u>RESISTANCE TO LOADING PER TABLE 9.8.8.2.:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A									
		<u>HEIGHT, PUBLIC GUARDS (mm):</u> <input checked="" type="checkbox"/> <b>≥ 1,070</b> REQUIRED									
		<u>HEIGHT, WITHIN OR SERVING ONLY ONE DWELLING UNIT (mm):</u> <input checked="" type="checkbox"/> <b>≥ 900</b> REQUIRED									
		<u>MAXIMUM OPENING (mm):</u> <input checked="" type="checkbox"/> <b>≤ 100 Ø</b> REQUIRED									
		<u>NON-CLIMBABLE FROM 140-900mm, WHERE FALL &gt; 4.2 m:</u> <input checked="" type="checkbox"/> REQUIRED									

## Building Code Analysis - Means of Egress

5 - MEANS OF EGRESS					9.9.
NO.	ITEM	DESCRIPTION			REFERENCE(S)
5-1	EXIT WIDTH (mm)	<b>≥ 900</b>	REQUIRED	EXCEPT FOR DOORS & CORRIDORS	9.9.3.2.
5-2	WIDTH OF CORRIDORS (mm)	<b>≥ 1,100</b>	REQUIRED	<input checked="" type="checkbox"/> N/A <sup>1</sup> <sup>1</sup> NO INTERIOR CORRIDORS ARE PUBLIC	9.9.3.3.
5-3	CLEAR HEIGHT IN EXITS AND ACCESS TO EXITS (mm)	<b>≥ 2,100</b>	REQUIRED		9.9.3.4.
5-4	FIRE SEPARATIONS FOR EXITS (F.R.R., IN HOURS)	<b>3/4</b>	REQUIRED	<b>3/4</b> PROPOSED	9.9.4.1., 9.9.4.2.
5-5	OPENINGS NEAR UNENCLOSED EXTERIOR EXIT STAIRS AND RAMPS	<u>PROTECT WITH WIRED GLASS IN STEEL FRAMES OR GLASS BLOCK:</u> <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup> <sup>1</sup> PROPOSED STANDARD SPRINKLER (WATER CURTAIN) ALTERNATIVE SOLUTION TO PROTECT WINDOWS FACING EXIT PATHS FROM WASTE ROOM			9.9.4.4.
5-6	OPENINGS IN EXTERIOR WALLS OF EXITS	<u>PROTECTION WHERE OPENINGS OF DIFFERENT COMPARTMENTS IN EXTERIOR WALLS INTERSECTING AT &lt; 135° AND LOCATED &lt; 3m HORIZONTALLY AND &lt; 2m ABOVE ONE ANOTHER:</u> <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup> <sup>1</sup> PROPOSED STANDARD SPRINKLER (WATER CURTAIN) ALTERNATIVE SOLUTION TO PROTECT WINDOWS FACING EXIT PATHS FROM WASTE ROOM			9.9.4.5.
5-7	OPENINGS NEAR EXIT DOORS	<u>PROTECTION WHERE OPENINGS OF DIFFERENT COMPARTMENTS IN EXTERIOR WALLS INTERSECTING AT &lt; 135° AND LOCATED &lt; 3m FROM EXIT DOOR:</u> <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED <sup>1</sup> <sup>1</sup> PROPOSED STANDARD SPRINKLER ALTERNATIVE SOLUTION TO PROTECT WINDOWS FACING EXIT PATHS FROM WASTE ROOM			9.9.4.6.

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Issue	Date
<b>ISSUED FOR DP + REZONING</b>	<b>06/13/2023</b>

Revision		
No.	Description	Date

## Consultant Seal

1042 Richardson  
Street

## CODE ANALYSIS (PART 9)

Date 2023-06-15 2:55:07 PM

Drawn by HJ

Checked by CL

ΛΟ 01

A0.01

Project #	0001	Scale	As indicated
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## Building Code Analysis - Fire Protection

6 - FIRE PROTECTION (SEE ALSO ITEMS UNDER "GENERAL INFORMATION")							9.10.
NO.	ITEM	DESCRIPTION				REFERENCE(S)	
6-1	FIRE SEPARATION CONTINUITY	<input checked="" type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input checked="" type="checkbox"/> PROPOSED	<input type="checkbox"/> N/A	9.10.9.2.	
6-2	OPENINGS [IN FIRE SEPARATIONS] TO BE PROTECTED WITH CLOSURES	<u>CLOSURES CONFORMING TO 9.10.13.:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A				9.10.9.3., 9.10.13.	
6-3	PENETRATION OF FIRE SEPARATIONS	<u>PIPING, TUBING, DUCTS, CHIMNEYS, WIRING OR CONDUIT; TIGHTLY FITTED OR FIRE STOPPED:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY NON-COMBUSTIBLE PIPING, DUCTS OR ELEC. BOXES:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY METAL-SHEATHED CABLES W/COMBUSTIBLE JACKETING, IF SPACED <math>\geq 300\text{mm}</math>:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY CABLES W/COMBUSTIBLE INSULATION OR JACKETING, IF O.D. <math>&lt; 25\text{mm}</math>:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY COMBUSTIBLE OUTLET BOXES, WHERE <math>\leq 160\text{ cm}^2</math>:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY COMBUSTIBLE WATER PIPING, IF FIRESTOPPED:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY SPRINKLER PIPING WITH METAL ESCUTCHEONS:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>BY METAL DUCTS WITH FIRE DAMPERS PER NFPA-80:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A				9.10.9.6.	
6-4	[PENETRATION BY] COMBUSTIBLE DRAIN, WASTE AND VENT PIPING	<u>IF FIRESTOPPED PER CAN/ULC-S115.:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A				9.10.9.7.	
6-5	SEPARATION OF RESIDENTIAL OCCUPANCIES (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> N/A	9.10.9.11.	
6-7	SEPARATION OF SUITES (F.R.R., IN HOURS)	<u>FIRE SEPARATIONS BETWEEN RESIDENTIAL SUITES:</u> <input checked="" type="checkbox"/> 3/4 REQUIRED <input checked="" type="checkbox"/> 3/4 PROPOSED <input type="checkbox"/> N/A <u>DWELLING UNITS <math>\geq 2</math> STOREYS:</u> <input checked="" type="checkbox"/> 1 REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> 1 PROPOSED <sup>1</sup> <input type="checkbox"/> N/A				1 FLOORS BETWEEN UPPER AND LOWER UNITS HAVE FIRE SEPARATION WITH MINIMUM 1-HOUR F.R.R.	9.10.9.13., 9.10.9.14.
6-8	SEPARATION OF PUBLIC CORRIDORS (F.R.R., IN HOURS)	<u>RESIDENTIAL CORRIDORS:</u> <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A				9.10.9.15.	
6-9	SEPARATION OF STORAGE GARAGES (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> N/A	9.10.9.16.	
6-10	SEPARATION OF SERVICE ROOMS (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> N/A	9.10.10.3.	
6-11	LOCATION OF FUEL-FIRED APPLIANCES (F.R.R., IN HOURS)	<u>APPLIANCES IN SERVICE ROOM:</u> <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <sup>1</sup> <u>FUEL-FIRED SPACE-HEATING OR COOLING, SERVICE WATER HEATERS AND LAUNDRY APPLIANCES SERVING ONE ROOM/SUITE:</u> <input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROPOSED <sup>1</sup> <input type="checkbox"/> N/A				<sup>1</sup> ANY/ALL FUEL-FIRED APPLIANCES TO SERVE ONE ROOM OR SUITE ONLY, SEPARATION NOT REQUIRED. FIREPLACE AND COOKING APPLIANCES ALSO EXEMPT.	9.10.10.4.
6-12	ROOMS FOR TEMPORARY STORAGE OF COMBUSTIBLE REFUSE (F.R.R., IN HOURS)	<input type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> N/A	9.10.10.6.	
6-13	PROTECTION OF SOFFITS	<input type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input type="checkbox"/> PROPOSED	<input checked="" type="checkbox"/> N/A <sup>1</sup>	<sup>1</sup> SOUTH BUILDING EXEMPT BY SPRINKLER SYSTEM; NORTH BUILDING EXEMPT AS SINGLE DWELLING	9.10.12.4.
6-14	SPATIAL SEPARATIONS	REFER TO SPATIAL SEPARATIONS ANALYSIS, MEETING 3.2.3. (SOUTH BUILDING) & 9.10.15. (NORTH BUILDING).				9.10.14.	
6-15	FIRE BLOCKS	<u>IN CONCEALED SPACES:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>IN WALL ASSEMBLIES:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A				9.10.16.	
6-16	FLAME-SPREAD RATING OF INTERIOR SURFACES	<u><math>\leq 150</math> TYPICAL</u> <u><math>\leq 300</math> DOORS NOT WITHIN DWELLING UNITS</u> <u><math>\leq 25</math> 90% OF UPPER HALF OF WALLS OF PUBLIC CORRIDOR OR EXIT<sup>1</sup></u> <u><math>\leq 200</math> WALLS AND CEILINGS IN RESIDENTIAL BATHROOMS</u>				<sup>1</sup> FSR RATING NOT APPLICABLE TO EXTERIOR PUBLIC CORRIDOR	9.10.17.
6-17	FIRE ALARM SYSTEM	<input checked="" type="checkbox"/> REQUIRED	<input type="checkbox"/> EXISTING	<input checked="" type="checkbox"/> PROPOSED <sup>1</sup>	<sup>1</sup> FIRE ALARM SYSTEM PROPOSED IN BOTH NORTH AND SOUTH BUILDING	9.10.18.2.(1)	
6-18	ROOMS AND SPACES REQUIRING HEAT DETECTORS OR SMOKE DETECTORS	<u>SMOKE DETECTORS IN RESIDENTIAL PUBLIC CORRIDORS:</u> <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <u>FIRE DETECTORS IN UNSPRINKLERED STORAGE, SERVICE, JANITOR, HAZARDOUS STORAGE, ELEVATOR HOISTWAYS, AND LAUNDRY ROOMS:</u> <input type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A				9.10.18.4.	
6-19	SMOKE ALARMS	<u>WHERE REQUIRED, COMPLY WITH CAN/ULC-S531:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>IN EACH STOREY OF EACH DWELLING UNIT:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>IN EACH SLEEPING ROOM IN A DWELLING UNIT:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>WHERE REQUIRED IN DWELLING UNITS, INSTALLED PER CAN/ULC-S553 AT/NEAR CEILING:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>WIRED POWER SUPPLY WITH BATTERY BACKUP:</u> <input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>IN LIEU OF SMOKE ALARMS WITHIN RESIDENTIAL SUITES, SMOKE DETECTORS MEETING CAN/ULC-S524, WITH LOCALIZED ALARM:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>WITHIN DWELLING UNIT, INTERCONNECTION OF SMOKE ALARMS:</u> <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> EXISTING <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A				9.10.19.	
6-20	WINDOWS OR ACCESS PANELS	<u>IF UNSPRINKLERED, ACCESS PANELS/WINDOWS ON 2<sup>ND</sup> AND 3<sup>RD</sup> STOREYS IN AT LEAST 1 WALL FACING A STREET:</u> <input type="checkbox"/> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <sup>1</sup>				<sup>1</sup> SOUTH BUILDING SPRINKLER; NORTH BUILDING EXEMPT BY 9.10.20.1.(3)(A)	9.10.20.1.
6-21	PORTABLE FIRE EXTINGUISHERS	<u>EXCEPT WITHIN DWELLING UNITS, INSTALLATION PER REQUIREMENTS OF BC FIRE CODE:</u> <input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROPOSED <sup>1</sup> <input type="checkbox"/> N/A				<sup>1</sup> EXTINGUISHERS IN ALL COMMON AREAS	9.10.20.4.
6-22	PROTECTION FOR GAS, PROPANE AND ELECTRIC COOKTOPS AND OVENS	<u>NATURAL GAS AND PROPANE COOKTOPS AND OVENS INSTALLED PER GAS SAFETY REGULATIONS:</u> <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>VERTICAL CLEARANCE ABOVE COOKTOPS (mm):</u> <input checked="" type="checkbox"/> $\geq 750$ REQUIRED <u>HORIZONTAL CLEARANCE TO COMBUSTIBLE FINISHES OR CABINETRY (mm):</u> <input checked="" type="checkbox"/> $\geq 750$ REQUIRED				9.10.22.	

## Building Code Analysis - Sound Transmission

7 - SOUND TRANSMISSION							9.11.
NO.	ITEM	DESCRIPTION					REFERENCE(S)
7-1	REQUIRED PROTECTION FROM AIRBORNE NOISE	<u>DWELLING UNIT SEPARATION FROM OTHER SPACES BY ASSEMBLIES AND ADJOINING CONSTRUCTION BY EITHER:</u> <b>ASTC ≥ 47</b> REQUIRED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <b>STC ≥ 50</b> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROPOSED <sup>2</sup> <input type="checkbox"/> N/A <u>DWELLING UNIT SEPARATION FROM ELEVATOR SHAFT(S) AND REFUSE CHUTE(S):</u> <b>STC ≥ 55</b> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	<sup>1</sup> WHERE ADJOINING CONSTRUCTIONS CONFORM TO 9.11.1.4. <sup>2</sup> APPLICATION TO EXISTING STRUCTURE LIMITED TO NEW WALLS AND CEILING FINISHES	9.11.1.1.			
7-2	DETERMINATION OF SOUND TRANSMISSION RATINGS	<u>STC RATINGS DEMONSTRATED BY EITHER:</u> <b>ASTM E-413</b> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <b>9.10.3.1.A-B</b> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROPOSED <input type="checkbox"/> N/A <u>ASTC RATINGS DEMONSTRATED USING EITHER:</u> <b>ASTM E-413</b> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <b>5.8.1.4.-5.</b> REQUIRED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <b>9.10.3.1.A-B</b> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A <u>ADJOINING CONSTRUCTIONS TO CONFORM TO 9.11.1.4.:</u> <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> EXISTING <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	<sup>1</sup> SEE VALUES ASSIGNED TO CONSTRUCTION OF TABLES 9.10.3.1.-A AND 9.10.3.1.-B.	9.11.1.2., 9.11.1.3.			
7-3	ADJOINING CONSTRUCTIONS	<u>WALLS CONNECTED TO SEPARATING FLOOR/CEILING EITHER:</u> <input type="checkbox"/> 200kg/m <sup>3</sup> CONCRETE <input checked="" type="checkbox"/> GYPSUM BOARD <u>WALLS/CEILINGS CONNECTED TO SEPARATING WALLS EITHER:</u> <input type="checkbox"/> 300kg/m <sup>3</sup> CONCRETE <input checked="" type="checkbox"/> GYPSUM BOARD <u>FLOORS CONNECTED TO SEPARATING WALLS EITHER:</u> <input type="checkbox"/> 300kg/m <sup>3</sup> CONCRETE <input type="checkbox"/> FLOORS-ON-GROUND 9.16. <input checked="" type="checkbox"/> TABLE 9.11.1.4. <input type="checkbox"/> N/A (EXISTING)		9.11.1.4.			

Architectural floor plan showing Level 1 and Basement levels. The plan includes various rooms, stairs, and openings. Limiting distances (LD) are marked around the building footprint, and specific points are labeled with A0.02 and numbers 1 through 9. The 'CENTRE LINE OF ROAD' is indicated at the bottom.

Key dimensions and labels:

- LEVEL 2:** LD 15.49 m (vertical height)
- BASEMENT:** LD 24.42 m (vertical height)
- CENTRE LINE OF ROAD:** LD 13.18 m (horizontal distance from road center)
- LD 0.67 m:** LD 0.67 m (vertical height)
- LD 0.94 m:** LD 0.94 m (vertical height)
- LD 2.20 m:** LD 2.20 m (vertical height)
- LD 2.70 m:** LD 2.70 m (vertical height)
- LD 4.01 m:** LD 4.01 m (horizontal distance)
- LD 4.12 m:** LD 4.12 m (horizontal distance)
- LD 2.84 m:** LD 2.84 m (horizontal distance)
- LD 3.61 m:** LD 3.61 m (horizontal distance)
- LD 1.27 m:** LD 1.27 m (horizontal distance)
- LD 1.80 m:** LD 1.80 m (horizontal distance)
- LD 3.51 m:** LD 3.51 m (horizontal distance)
- LD 3.62 m:** LD 3.62 m (horizontal distance)
- LD 2.27 m:** LD 2.27 m (horizontal distance)
- LD 1.20 m:** LD 1.20 m (horizontal distance)
- LD 11.80 m:** LD 11.80 m (horizontal distance)
- LD 15.49 m:** LD 15.49 m (vertical height)
- LD 24.42 m:** LD 24.42 m (vertical height)
- LD 13.18 m:** LD 13.18 m (horizontal distance from road center)

Specific points labeled:

- 1, 2, 3, 4, 5, 6, 7, 8, 9, A0.02

6-14 - SPATIAL SEPARATIONS										3.2.3.
NO.	ANALYSIS									REFERENCE
6-14	<u><b>SUITE</b></u>	<u><b>WALL AREA (m<sup>2</sup>)</b></u>	<u><b>U.P.O. AREA (m<sup>2</sup>)</b></u>	<u><b>LIMITING DISTANCE (m)</b></u>	<u><b>MAX. OPEN (%)</b></u>	<u><b>OPEN (%)</b></u>	<u><b>F.R.R. (HR.)</b></u>	<u><b>N.C. WALL</b></u>	<u><b>N.C. CLAD</b></u>	3.2.3.1., 3.2.3.7.
	<b>NORTH</b>	SERVICE ROOM (N)	6.0	0	15.49	100	0	-	-	3.2.3.1.-D
		UNIT 8 (N)	27.6	0	1.80	21.6	0	1	-	3.2.3.1.-D
		UNIT 7 (N)	27.8	2.1	1.27	14.9	7.6	1	-	3.2.3.1.-D
		UNIT 3 (N)	41.9	7.4	1.80	18.4	17.6	1	-	3.2.3.1.-D
	<b>EAST</b>	UNIT 10 (E)	25.0	0	3.62	75.6	0	3/4	-	3.2.3.1.-D
		WASTE ROOM (E)	4.3	0	3.62	100	0	-	-	3.2.3.1.-D
		SERVICE ROOM (E)	11.6	0	1.20	16.0	0	1	-	3.2.3.1.-D
		UNIT 8 (E)	8.0	1.6	3.51	100	20.5	-	-	3.2.3.1.-D
		UNIT 6 (E)	20.5	6.2	3.62	75.6	30.2	3/4	-	3.2.3.1.-D
		UNIT 1 (E)	2.7	2.0	3.62	100	72.3	-	-	3.2.3.1.-D
		UNIT 4 (E)	13.1	2.0	1.20	16.0	15.2	1	-	3.2.3.1.-D
		UNIT 7 (E)	12.4	2.4	3.51	87.3	19.7	3/4	-	3.2.3.1.-D
		UNIT 2 (E)	23.7	4.9	2.27	32.7	20.7	3/4	-	3.2.3.1.-D
		UNIT 3 (E)	34.4	1.7	1.20	14.0	5.0	1	-	3.2.3.1.-D
	<b>SOUTH</b>	BIKE ROOM (S)	16.5	0	13.18	100	0	-	-	3.2.3.1.-D
		UNIT 10 (S)	8.7	0	13.18	100	0	-	-	3.2.3.1.-D
		SERVICES	5.3	0	24.42	100	0	-	-	3.2.3.1.-D
		UNIT 5 (S)	14.1	7.2	13.18	100	51.1	-	-	3.2.3.1.-D
		UNIT 6 (S)	11.6	6.4	13.18	100	54.9	-	-	3.2.3.1.-D
		UNIT 4 (S)	5.6	0	24.42	100	0	-	-	3.2.3.1.-D
		UNIT 1 (S)	14.1	7.4	13.18	100	52.5	-	-	3.2.3.1.-D
		UNIT 2 (S)	21.9	9.1	13.18	100	43.4	-	-	3.2.3.1.-D
		UNIT 3 (S)	1.4	0	24.42	100	0	-	-	3.2.3.1.-D
		UNIT 8 (W)	13.5	6.0	4.01	100	44.4	-	-	3.2.3.1.-D
	<b>WEST</b>	UNIT 9 (W)	13.1	6.0	4.01	100	45.8	-	-	3.2.3.1.-D
		UNIT 10 (W)	12.3	6.0	4.01	100	48.7	-	-	3.2.3.1.-D
		BIKE ROOM (W)	12.1	6.0	4.01	100	49.6	-	-	3.2.3.1.-D
		UNIT 7 (W)	15.3	6.0	3.61	100	39.1	-	-	3.2.3.1.-D
		UNIT 4 (W)	16.7	6.8	4.12	100	40.9	-	-	3.2.3.1.-D
		UNIT 5 (W)	23.7	7.0	2.70	43.6	29.5	3/4	-	3.2.3.1.-D
		UNIT 3 (W)	27.7	5.3	2.84	42.2	19.1	3/4	-	3.2.3.1.-D
		UNIT 1 (W)	23.6	6.1	2.70	43.6	25.8	3/4	-	3.2.3.1.-D

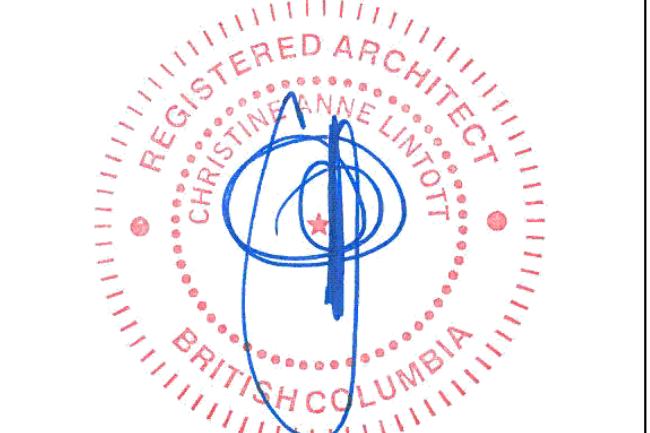
## Christine Lintot Architects Inc.

Suite 1 - 864 Queens Avenue, Victoria  
Telephone: 250.384.1969  
[www.lintottarchitect.ca](http://www.lintottarchitect.ca)

Issue	Date	
<b>ISSUED FOR DP + REZONING</b>	<b>06/13/2023</b>	
Revision	Description	Date

Revision	No.	Description	Date
1	1.0	Initial version	2023-01-01

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# 1042 Richardson Street

# CODE ANALYSIS + SPATIAL SEPARATIONS (PART 9)

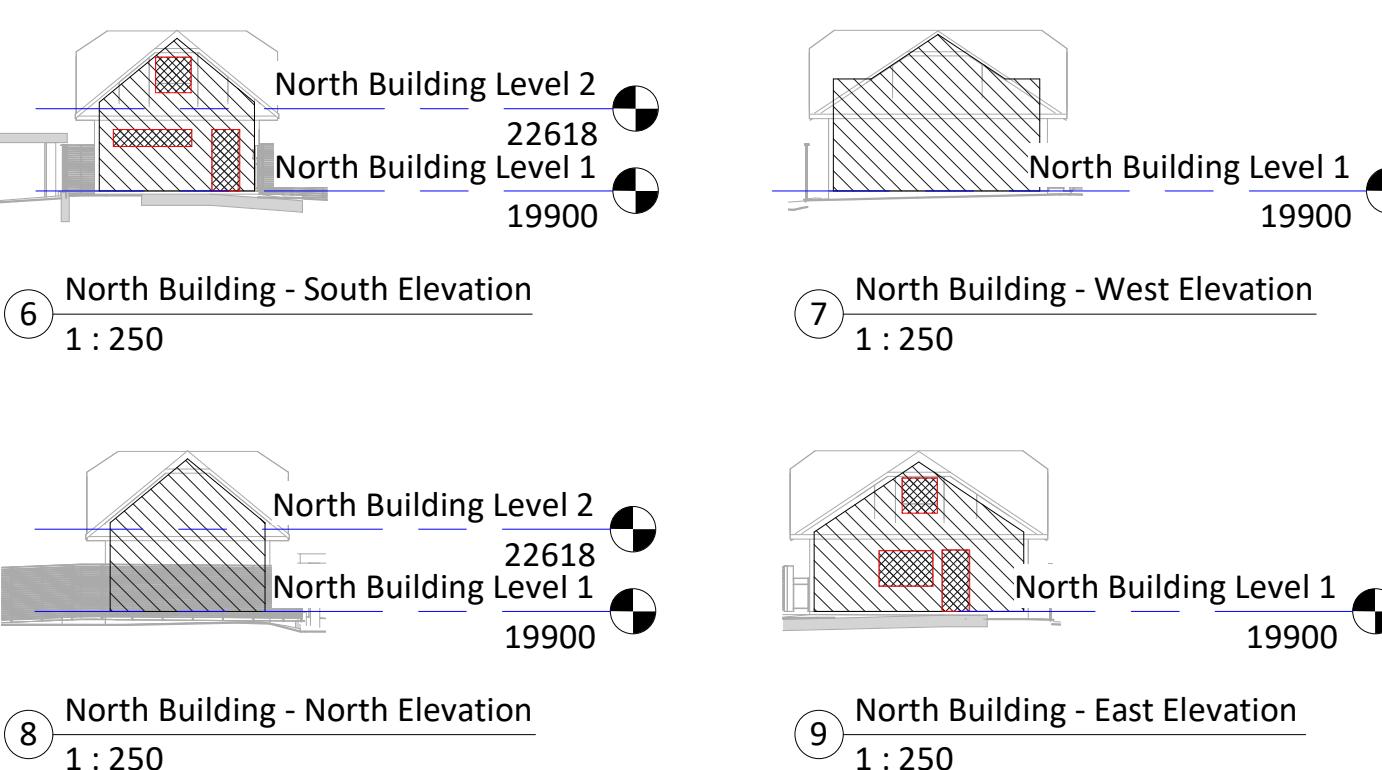
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A0.02

Project # **0001** Scale **As indicated**

## Separation Elevations - Annotations

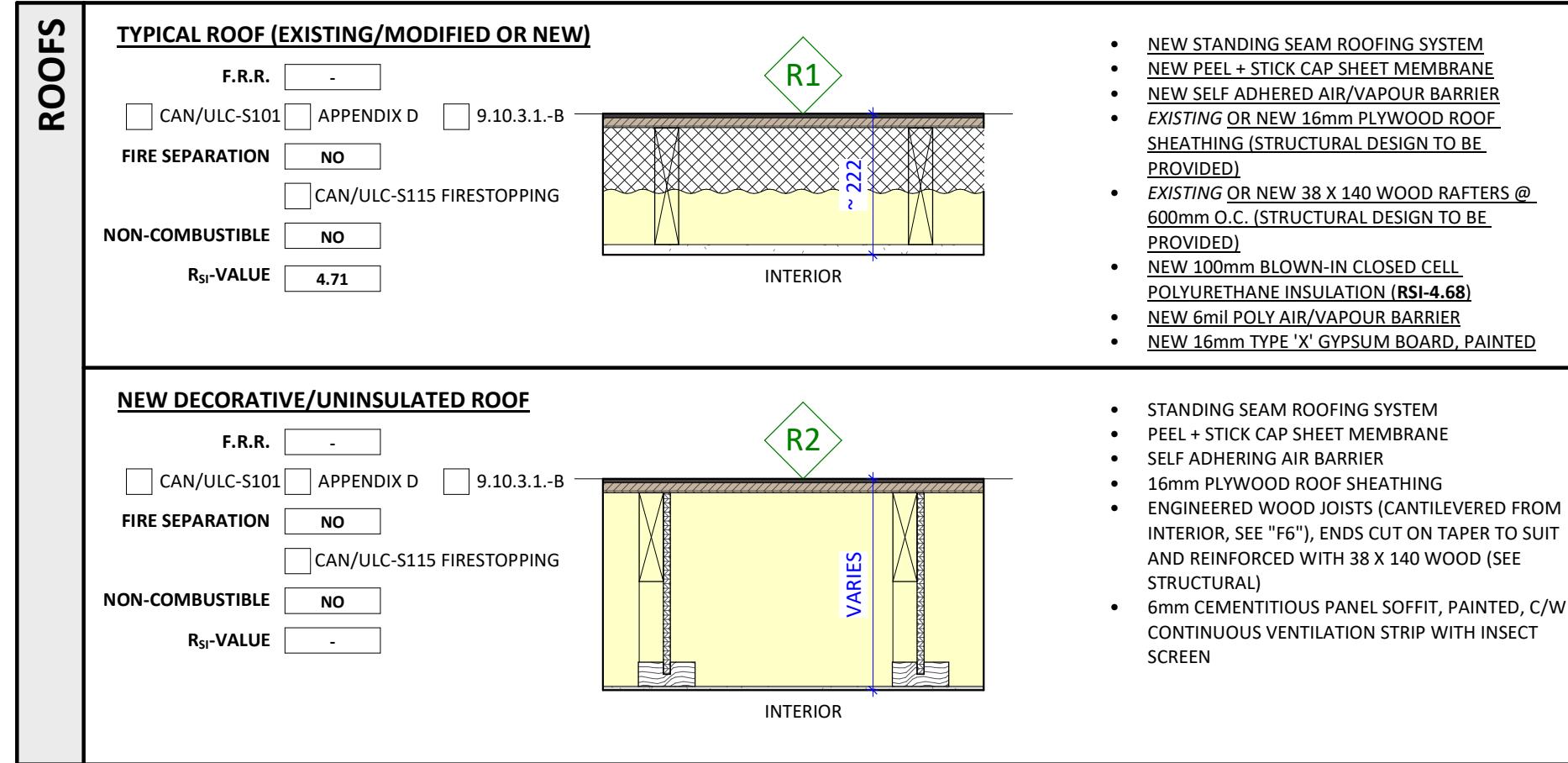
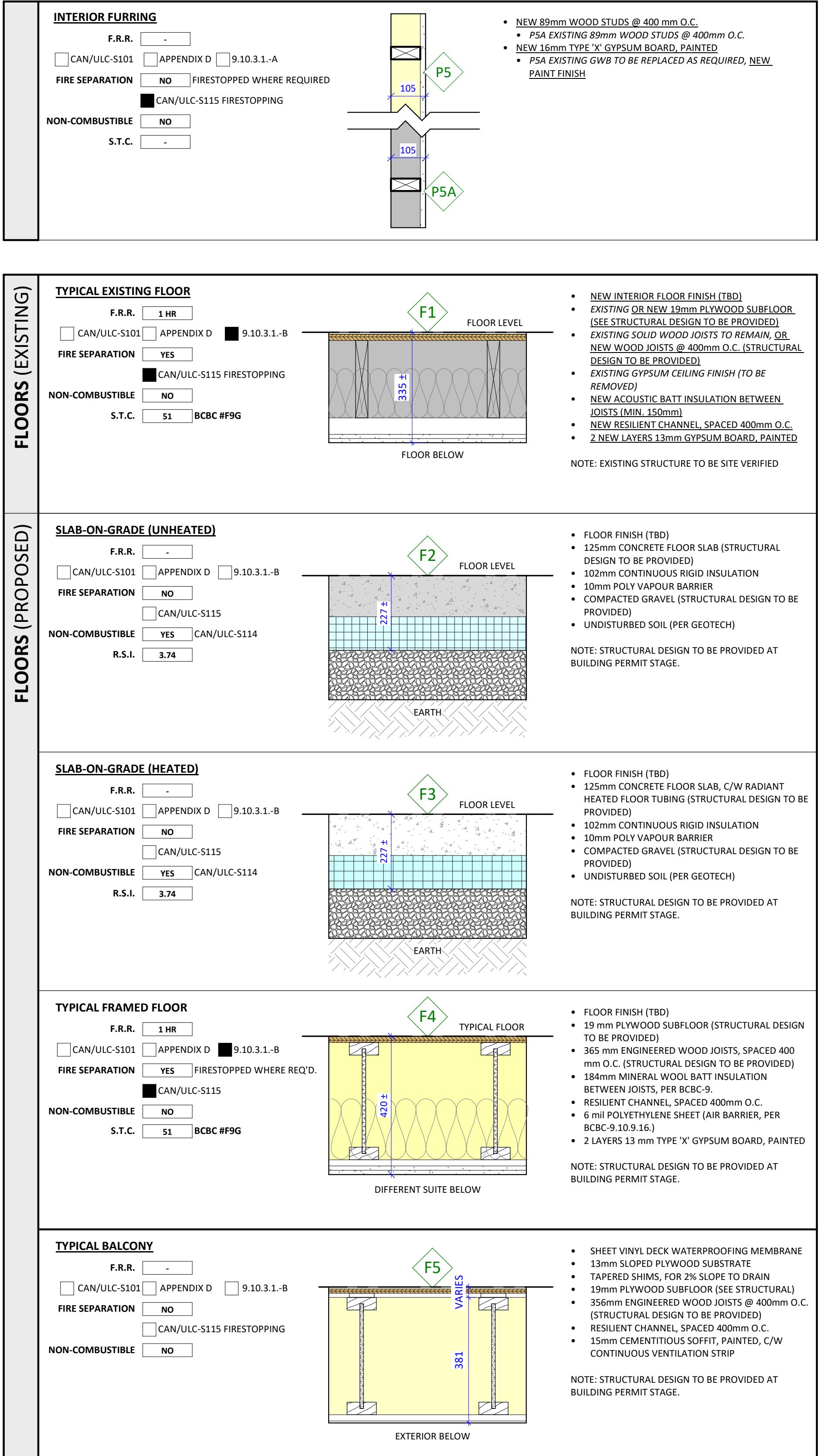
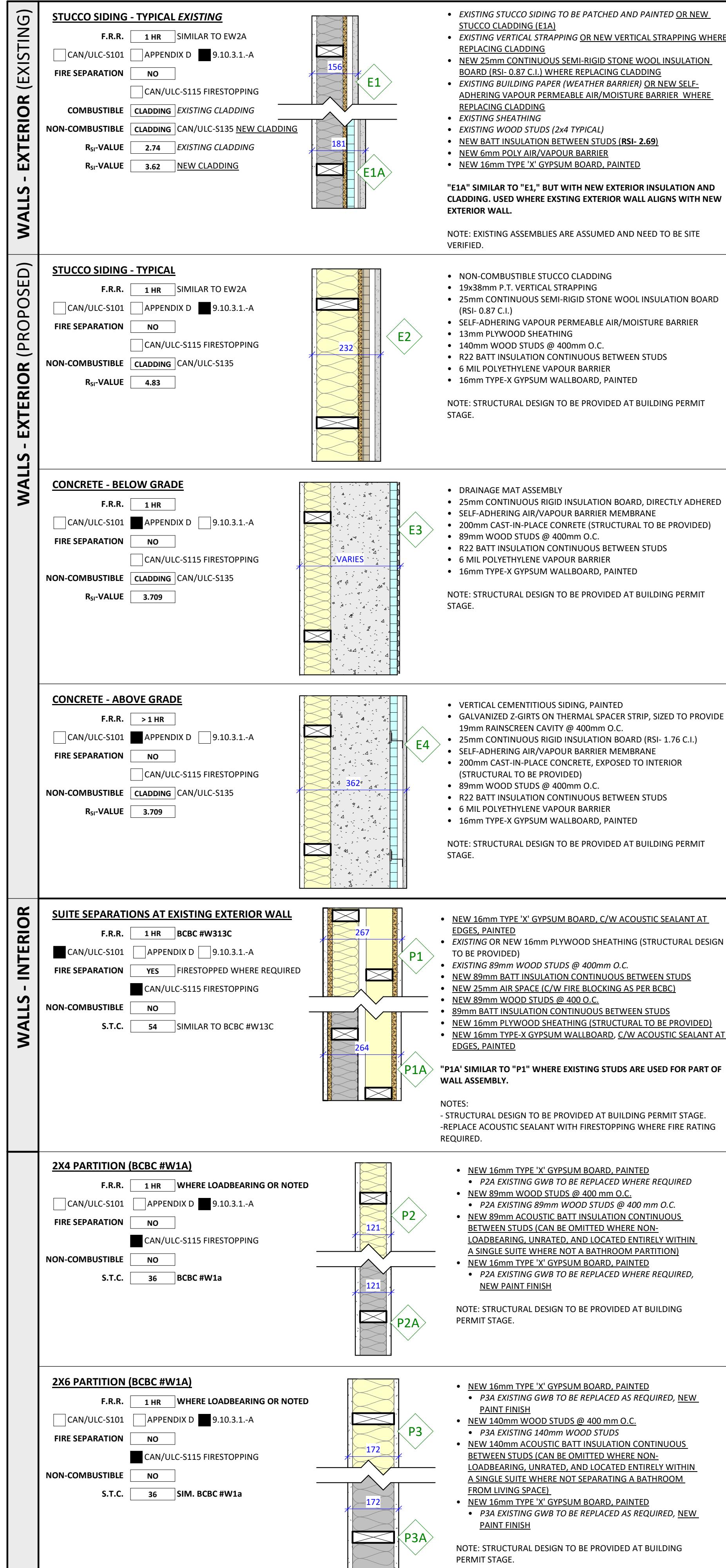
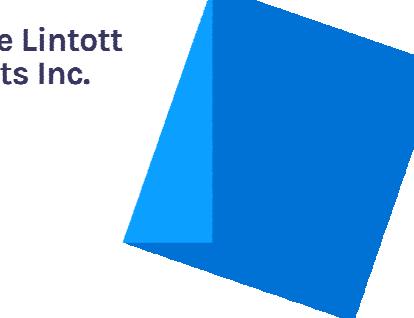
-  WALL OR FIRE COMPARTMENT AREA
-  UNPROTECTED OPENINGS
-  PROTECTED OPENING - FIRE RATED DOOR
-  PROTECTED OPENING - WATER CURTAIN



Building Code Analysis - North Building Spatial Separations

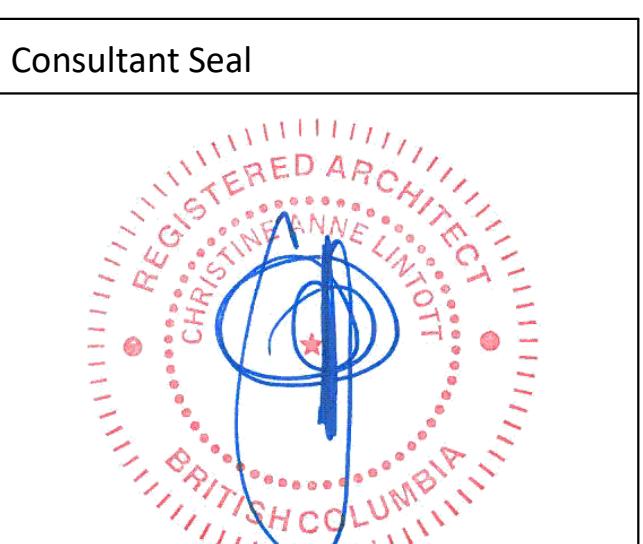
6-14 - SPATIAL SEPARATIONS										9.10.15.
NO.	ANALYSIS									REFERENCE
6-14	<u>SUITE 11</u>	<u>WALL</u> <u>AREA</u> (m <sup>2</sup> )	<u>U.P.O.</u> <u>AREA</u> (m <sup>2</sup> )	<u>LIMITING</u> <u>DISTANCE</u> (m)	<u>MAX.</u> <u>OPEN</u> (%)	<u>OPEN</u> (%)	<u>F.R.R.</u> (HR.)	<u>N.C.</u> <u>WALL</u>	<u>N.C.</u> <u>CLAD</u>	3.2.3.1., 3.2.3.7.
	SOUTH	20.5	4.7	2.20	14.7	22.9	-	-	-	9.10.15.4
	WEST	28.5	0	0.94	0	0	3/4	-	-	9.10.15.4
	NORTH	20.5	0	0.67	0	0	3/4	-	-	9.10.15.4
	EAST	26.2	5.3	11.80	100	20.2	-	-	-	9.10.15.4

NORTH BUILDING IS EXISTING NON-CONFORMING WITH 22.9% UNPROTECTED OPENINGS AT THE SOUTH EXPOSING BUILDING FACE. THIS PROPOSAL IMPROVES THE EXISTING CONDITION BY INCLUDING A FIRE ALARM SYSTEM IN THE NORTH BUILDING, NO OTHER CHANGES ARE PROPOSED TO THE NORTH BUILDING.



Issue	Date
ISSUED FOR DP + REZONING	06/13/2023

Revision	No.	Description	Date



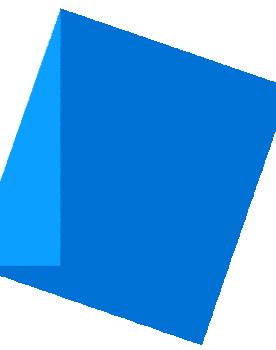
1042 Richardson  
Street

ASSEMBLIES

Date	2023-06-15 2:56:17 PM
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Checked by	CL

A0.03

Project # 0001 Scale 1 : 10



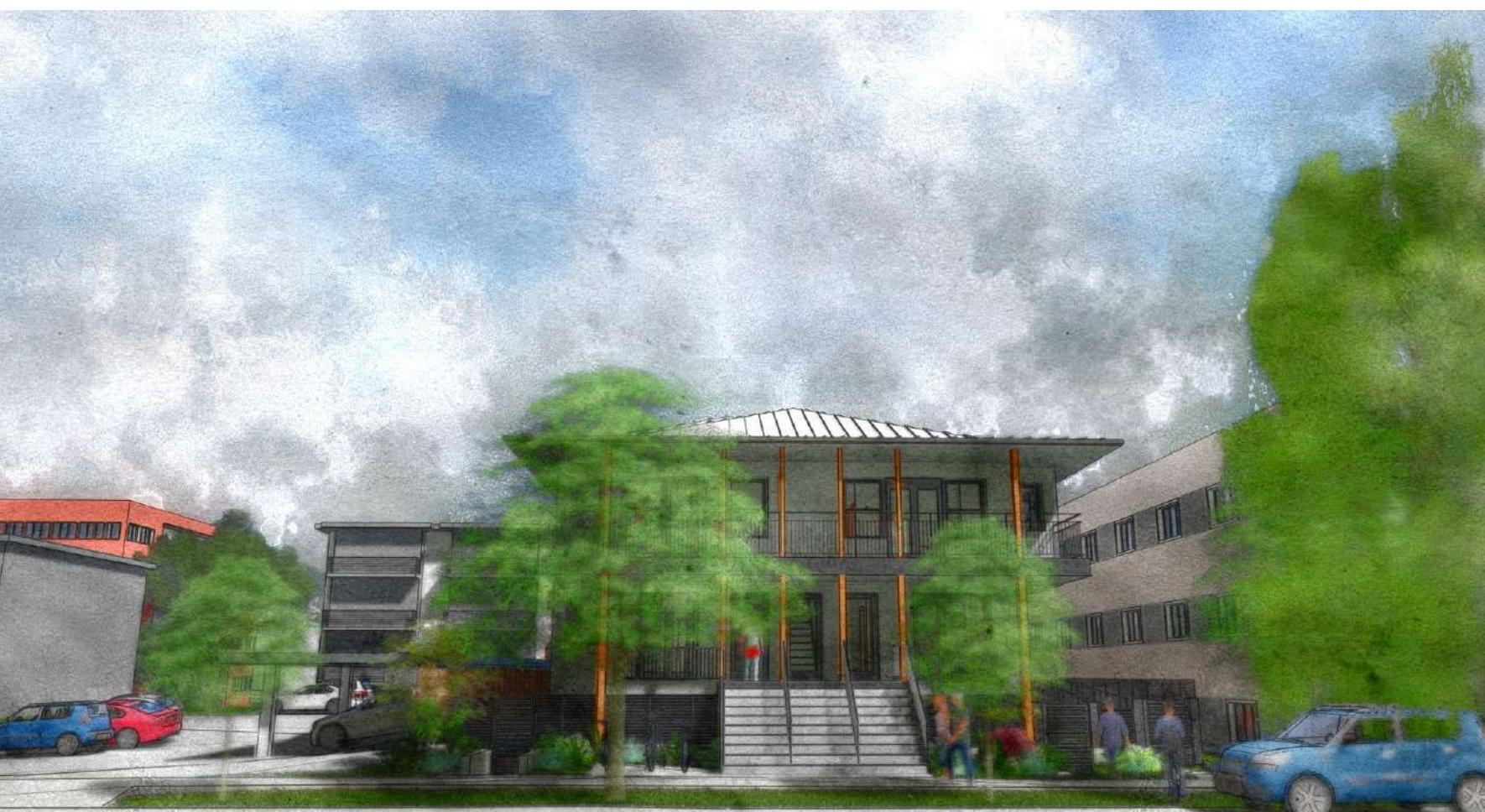
AERIAL VIEW FROM SOUTHWEST



AERIAL VIEW FROM SOUTHEAST



PERSPECTIVE VIEW FROM SOUTHWEST



PERSPECTIVE VIEW FROM SOUTH (RICHARDSON STREET)



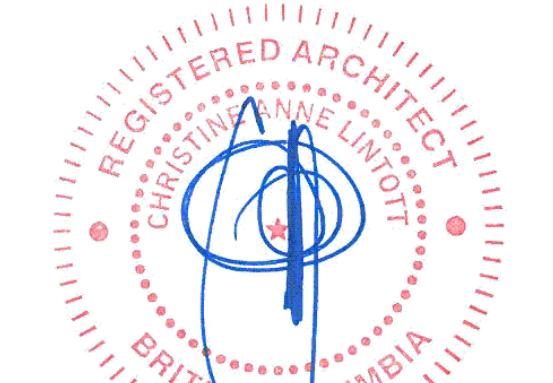
PERSPECTIVE VIEW FROM SOUTHEAST

Issue Date

ISSUED FOR DP + REZONING 06/13/2023

Revision No. Description Date

Consultant Seal



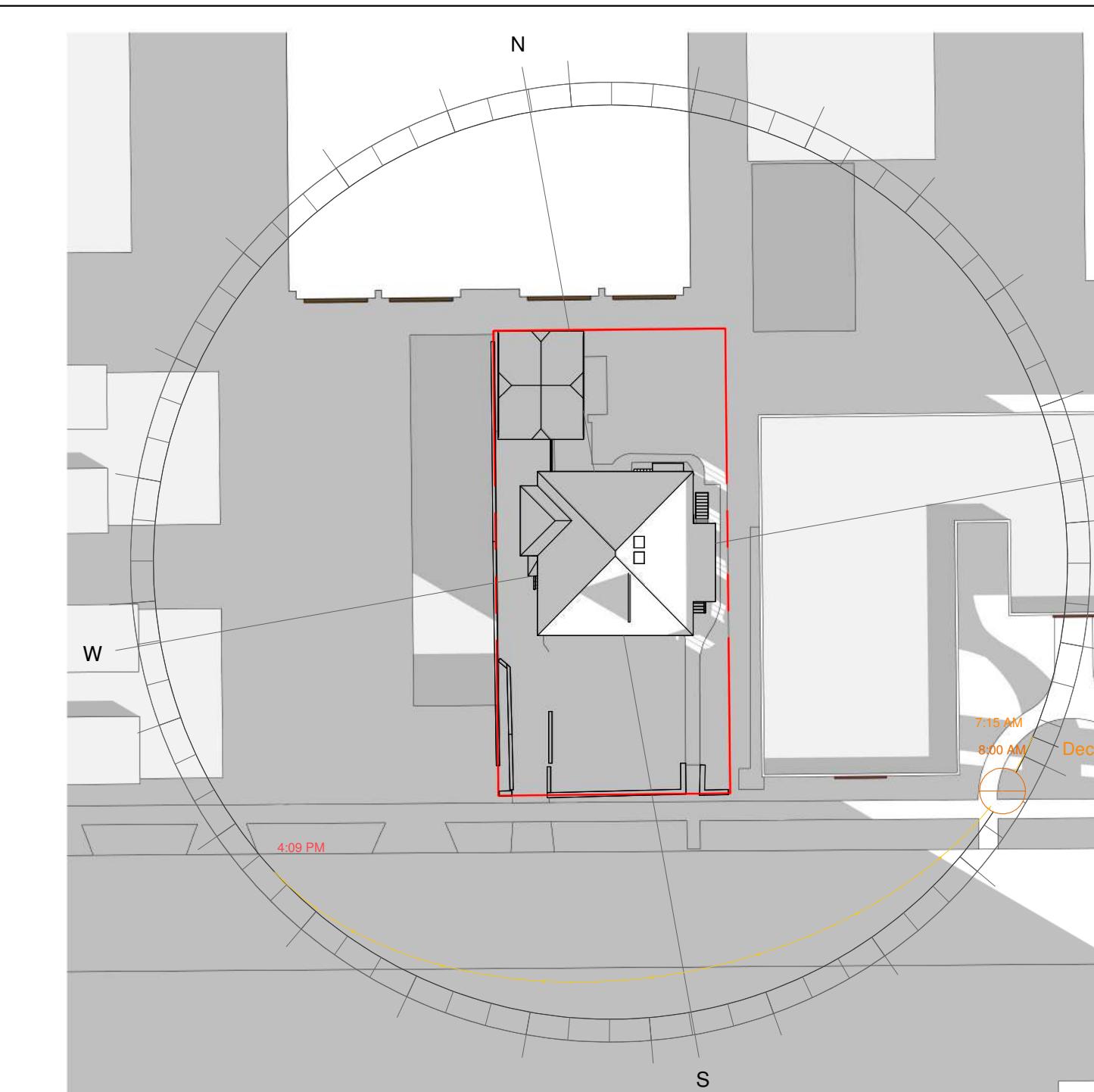
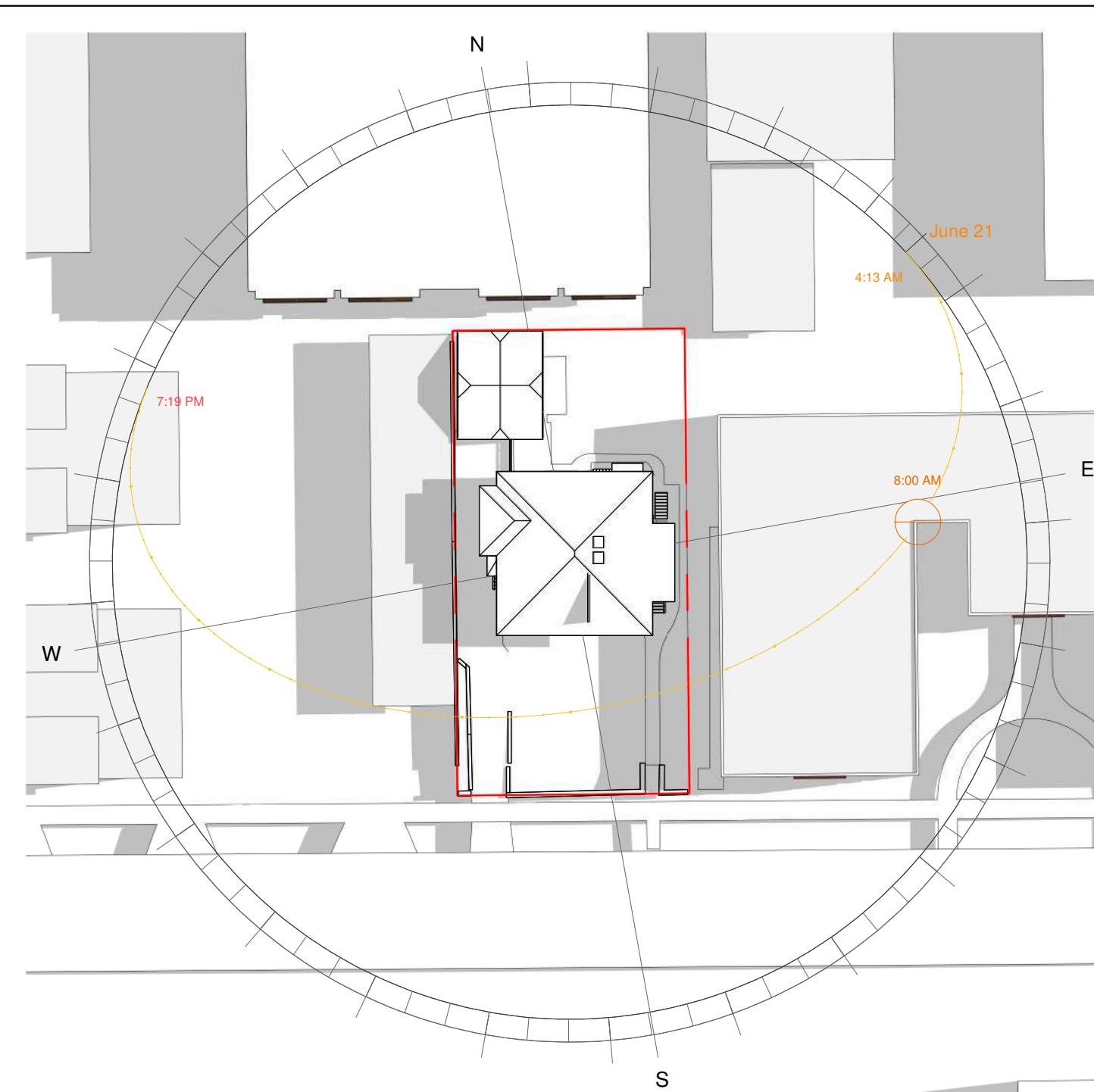
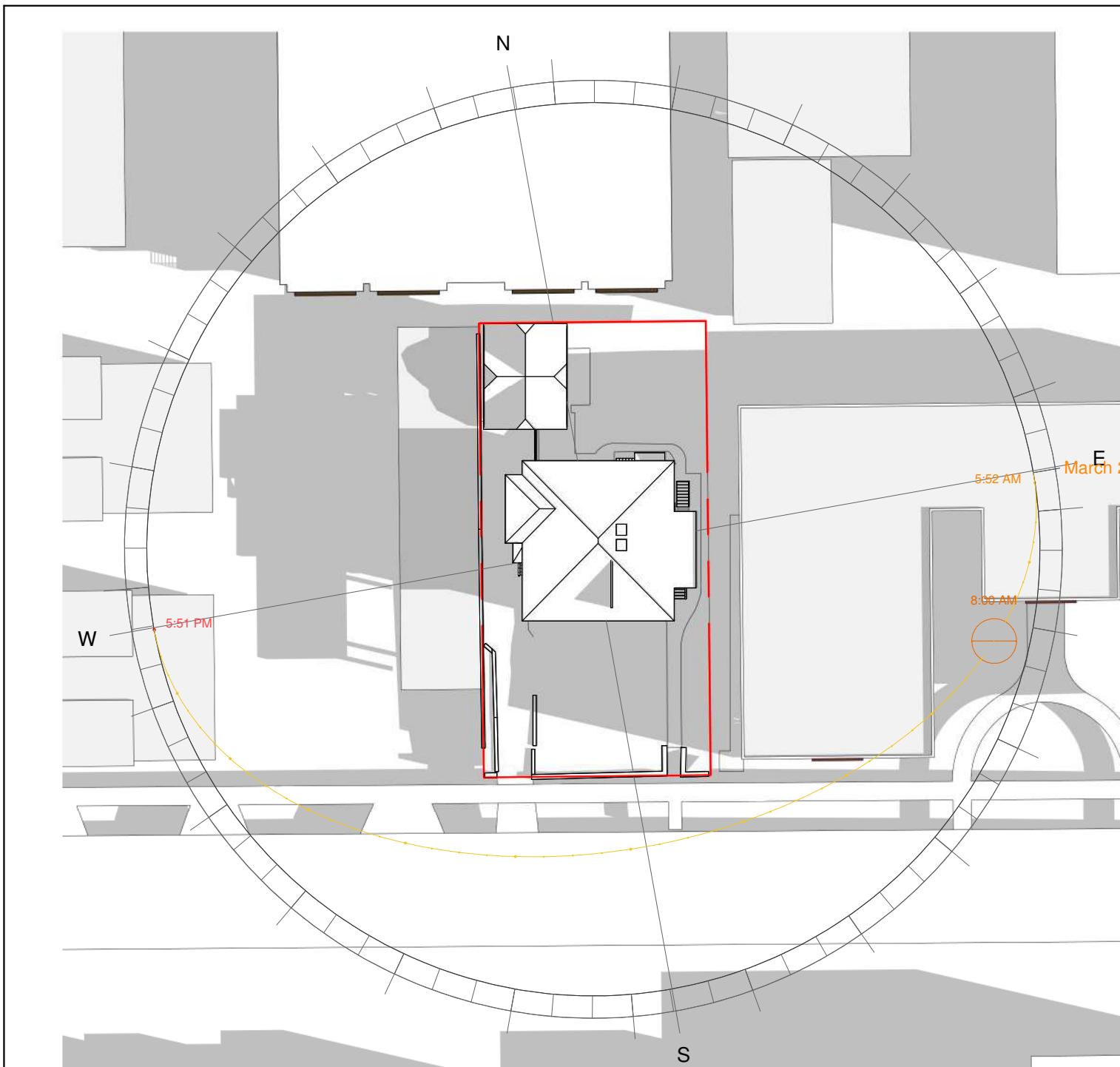
1042 Richardson Street

3D VIEWS

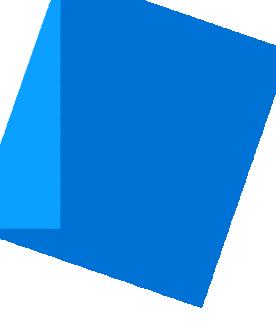
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Drawn by HJ  
Checked by CL

A0.04

Project # 0001 Scale



Christine Lintott  
Architects Inc.

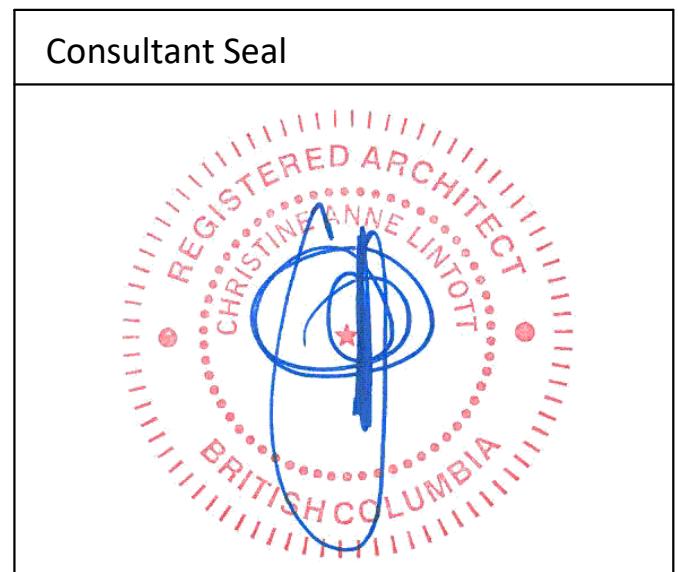


Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5  
Telephone: 250.384.1969  
www.lintottarchitect.ca

Issue Date

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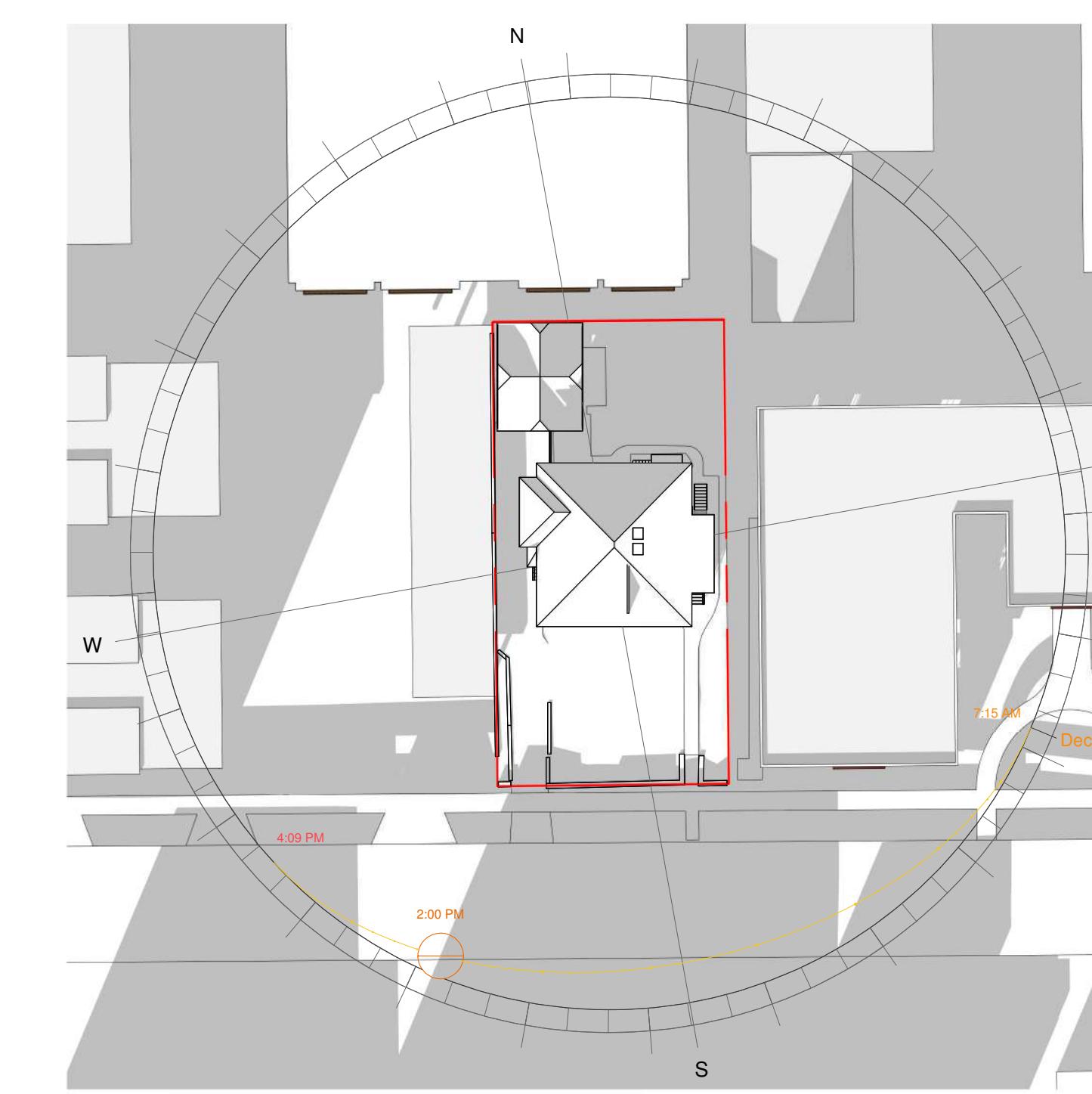
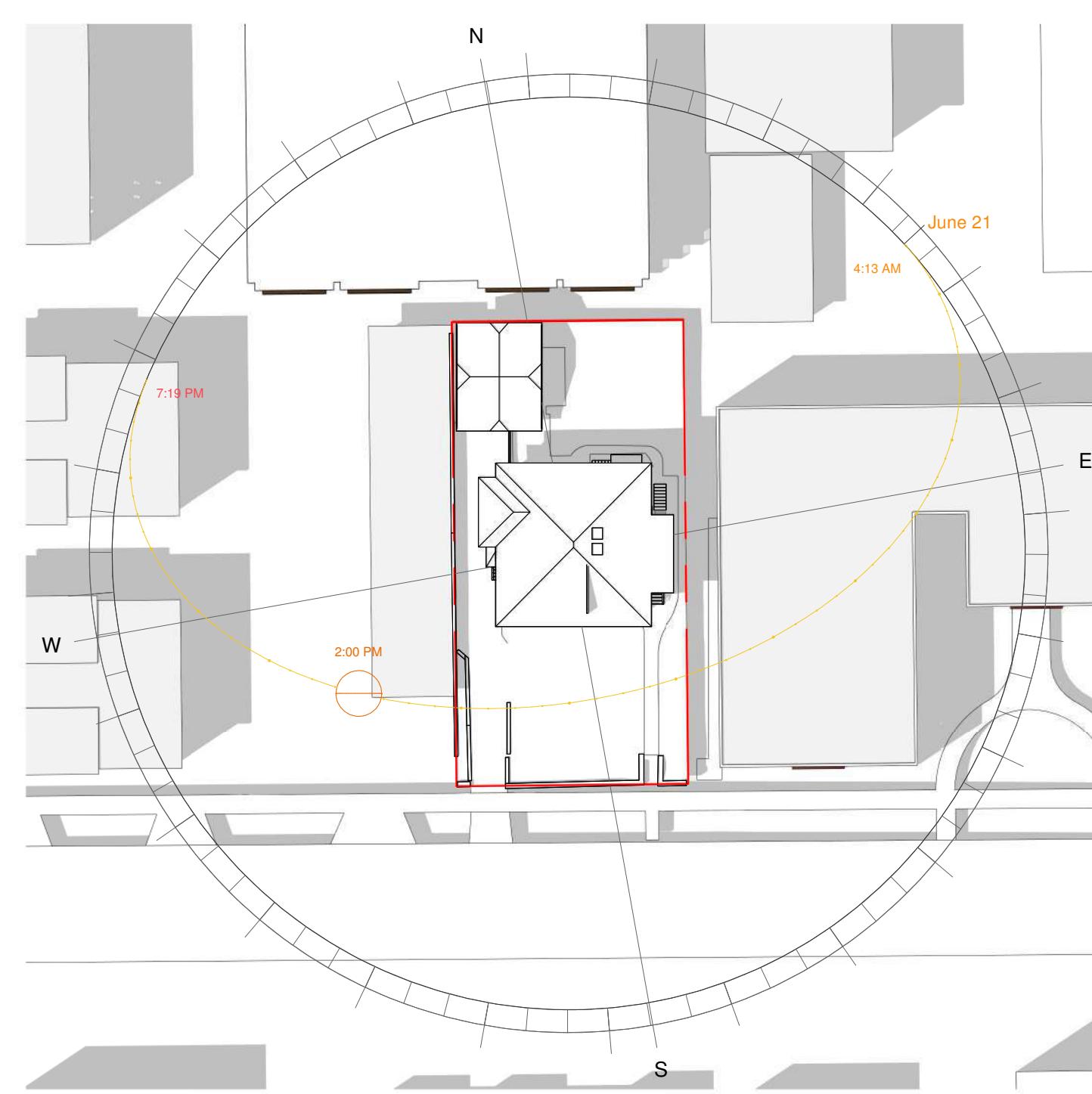
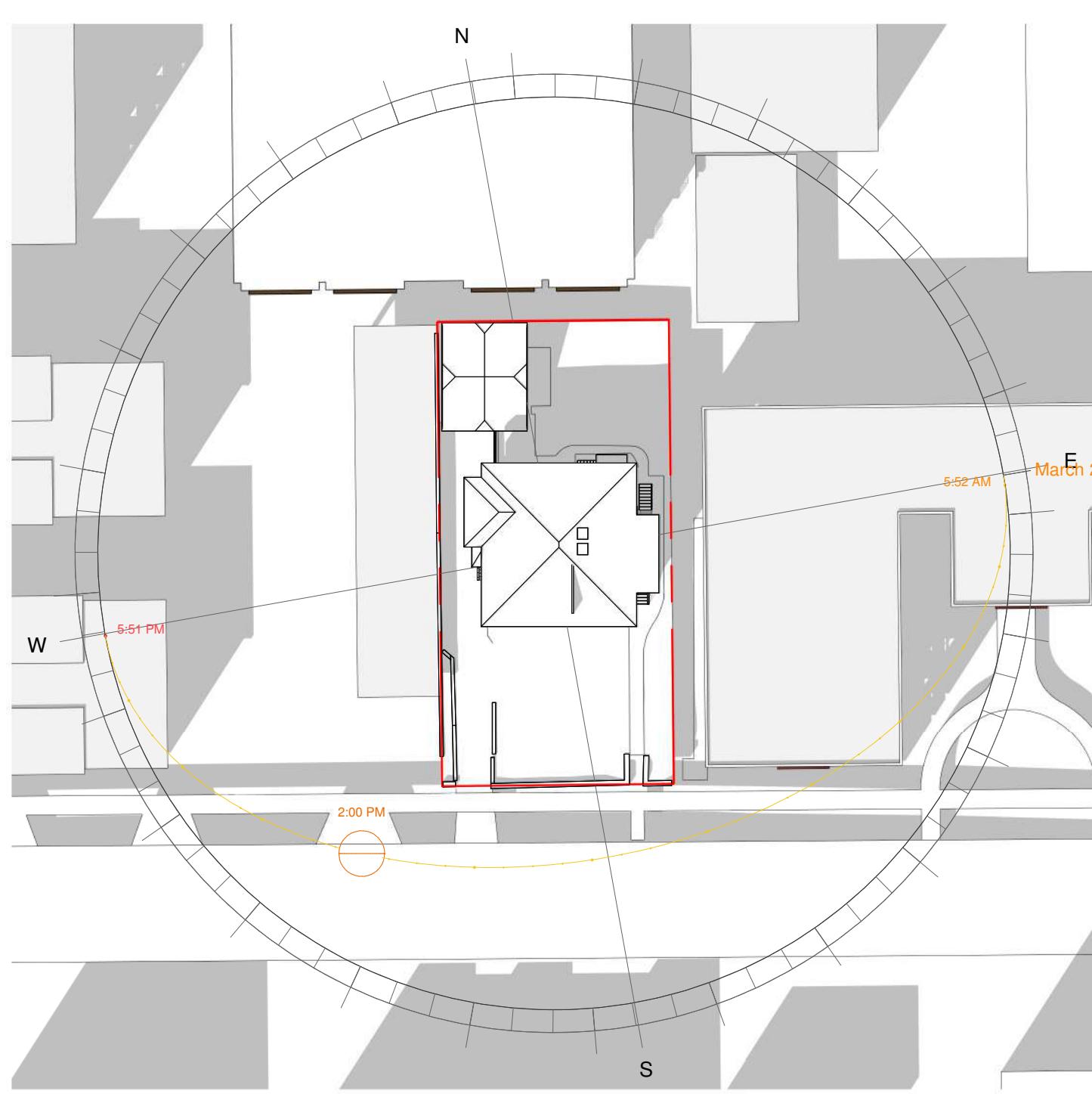
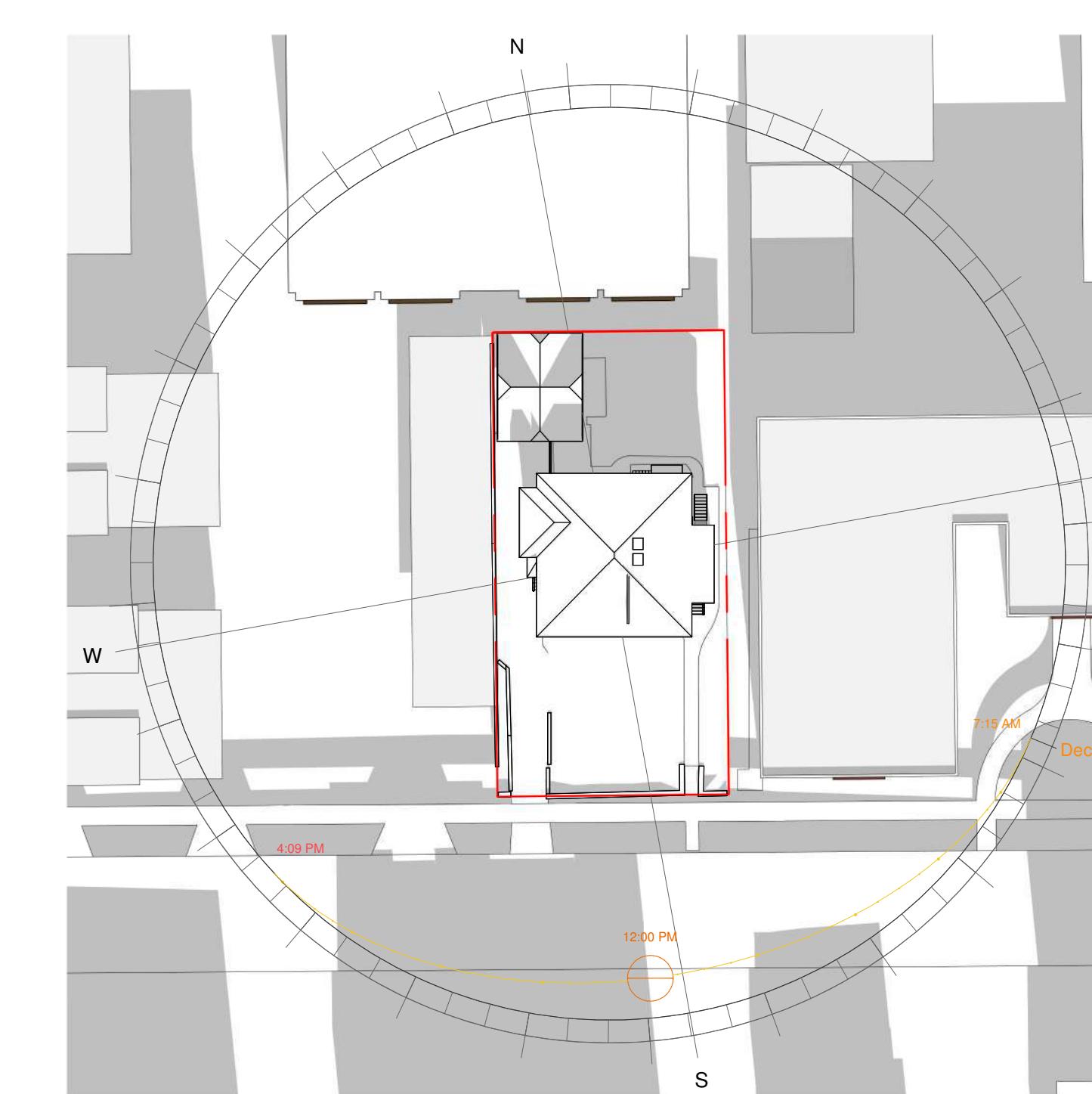
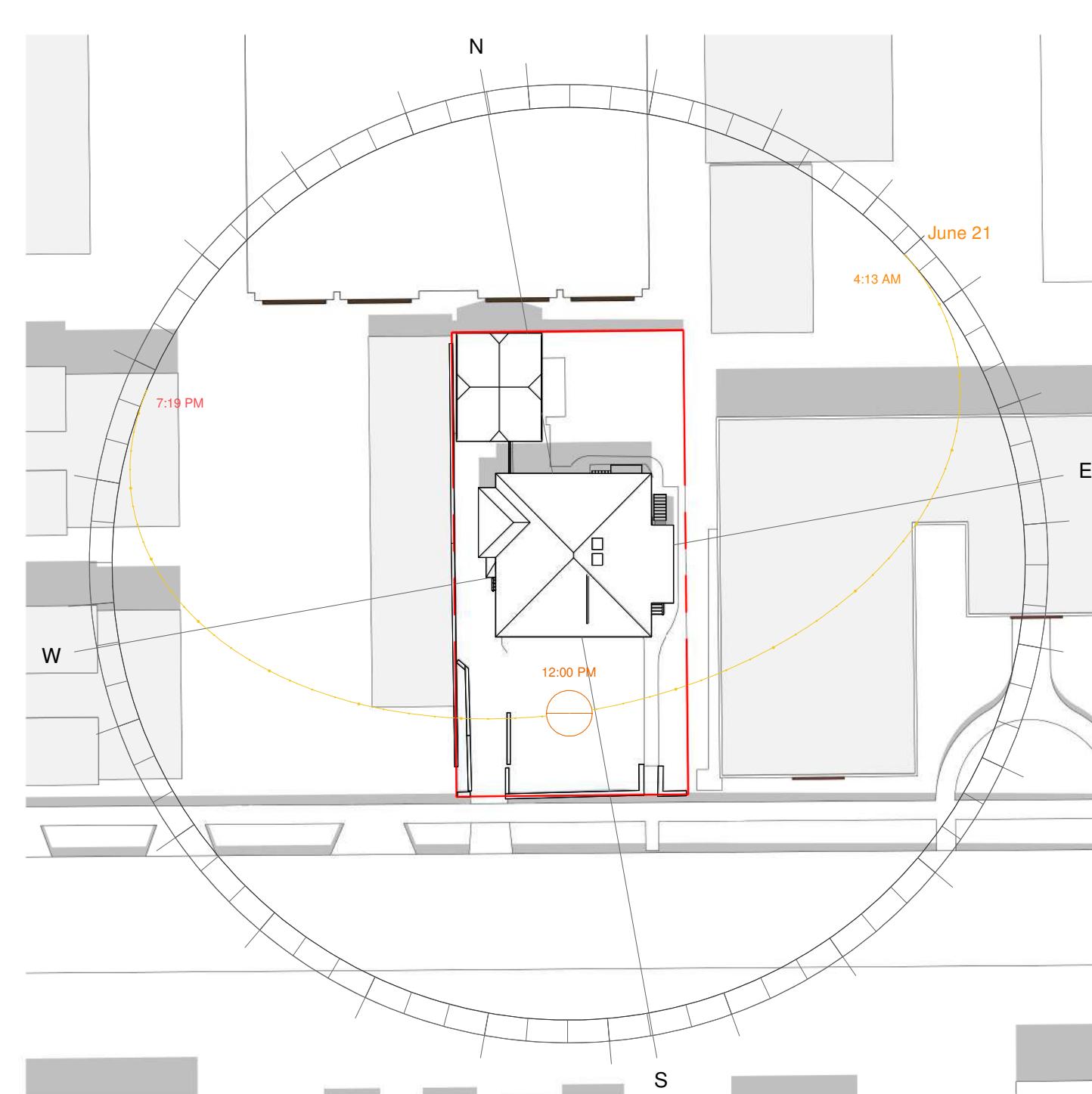
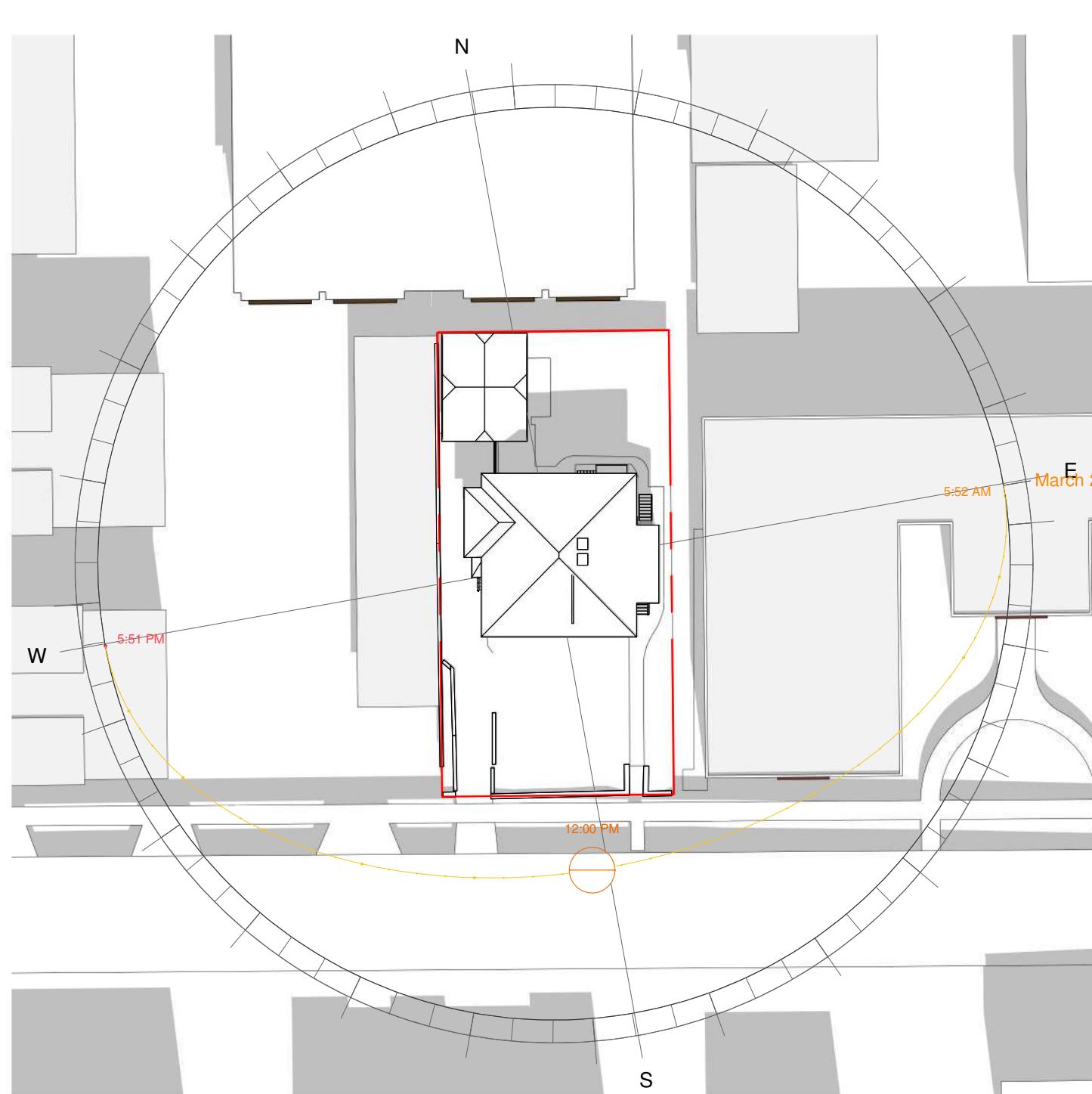


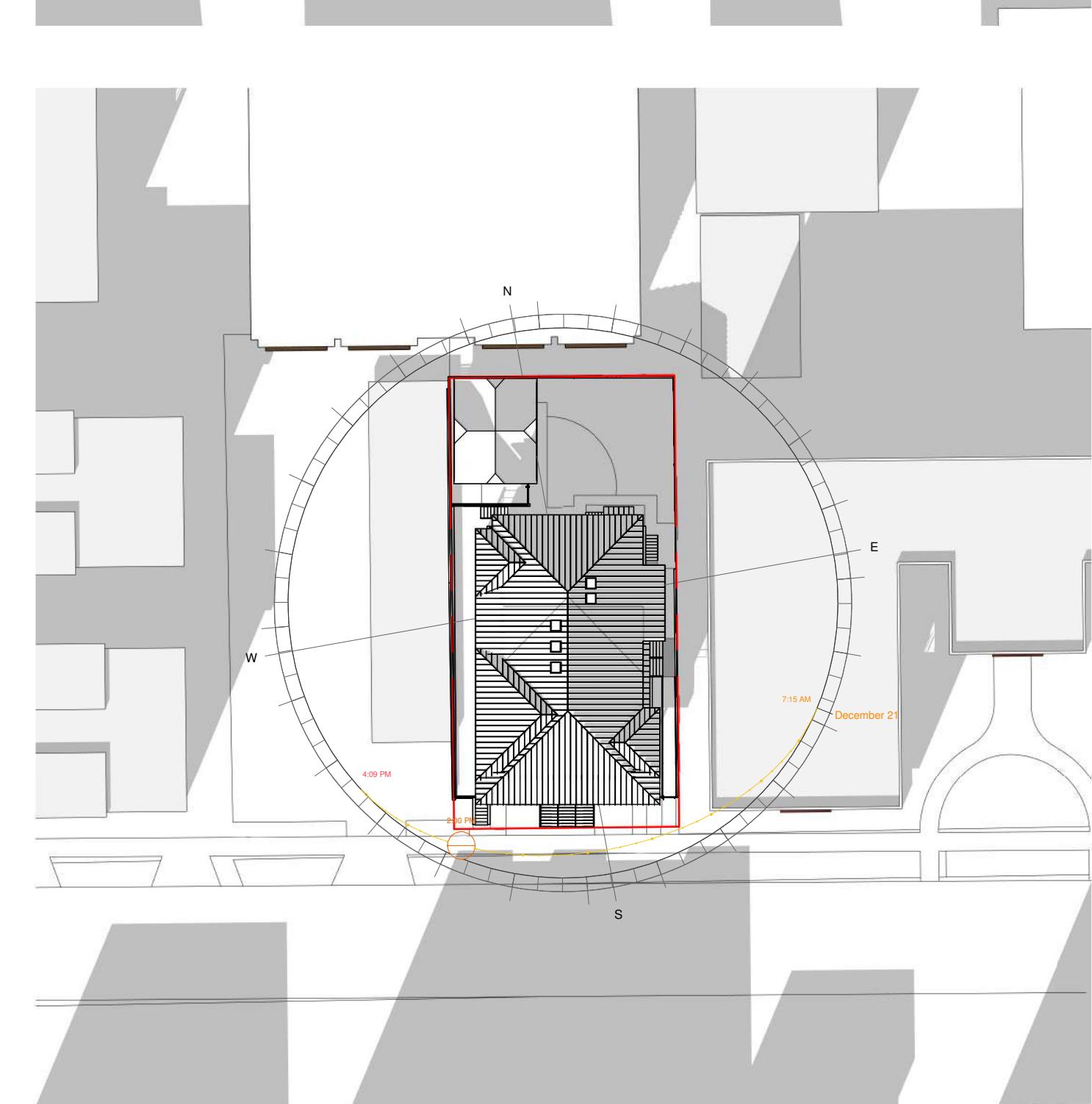
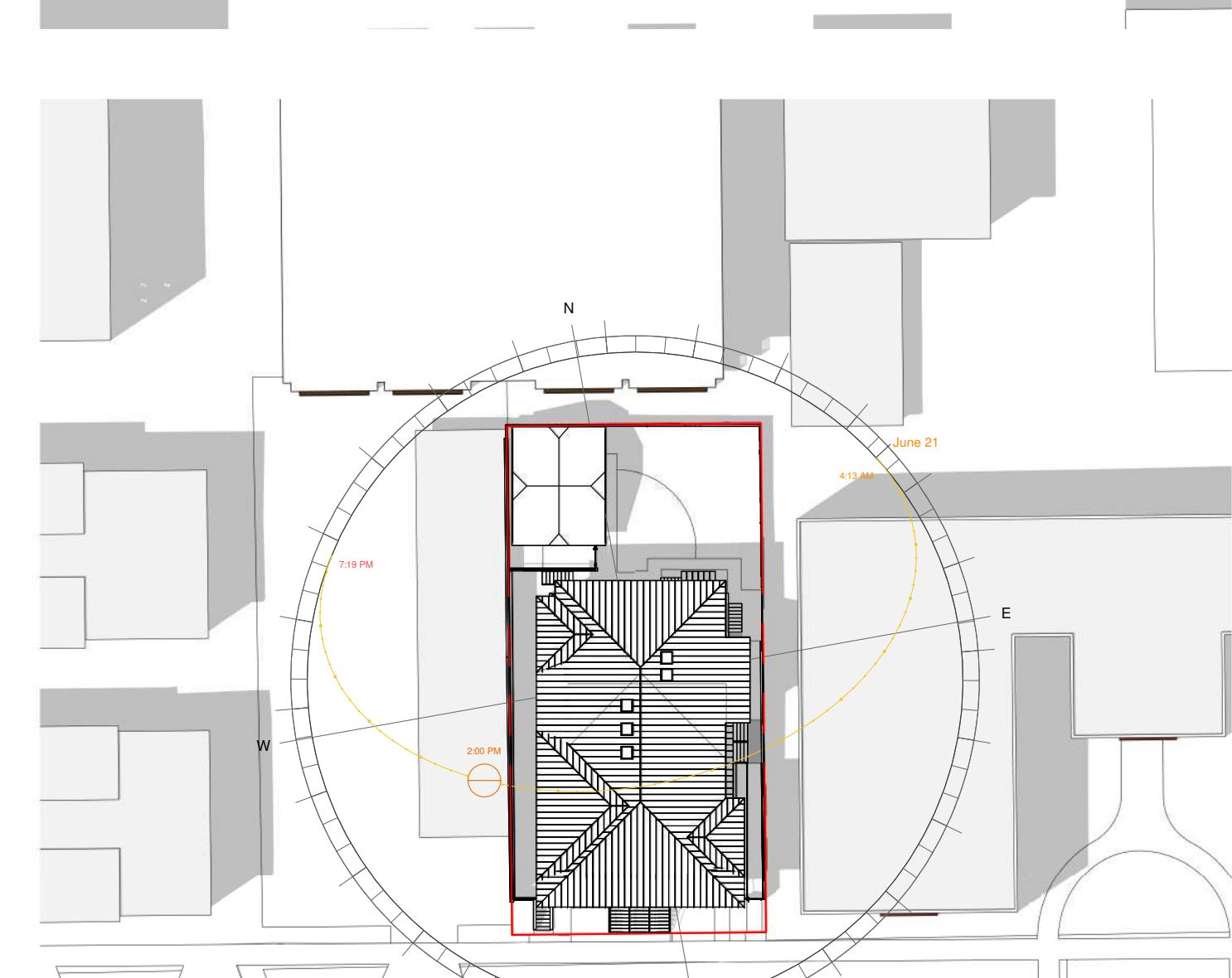
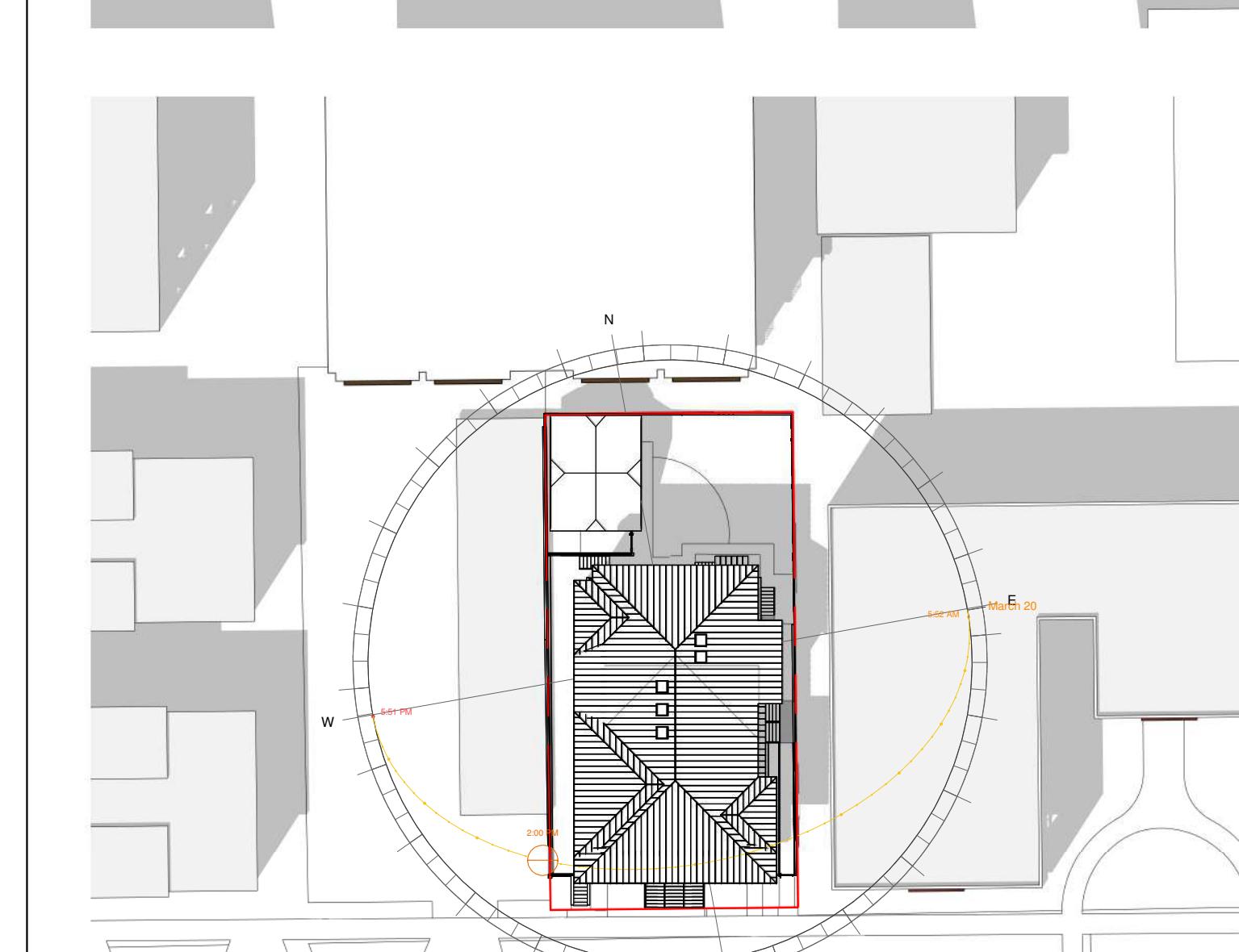
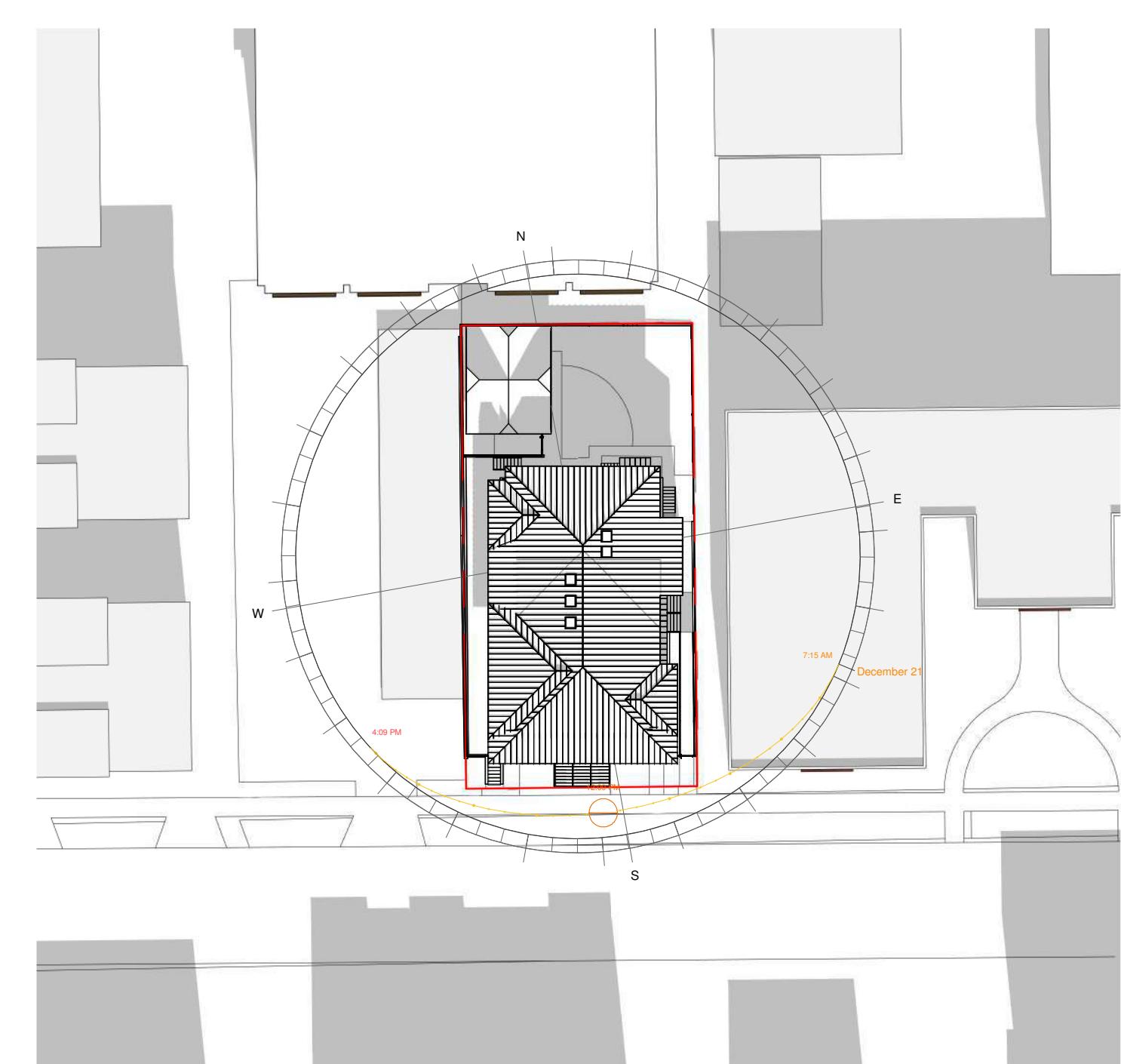
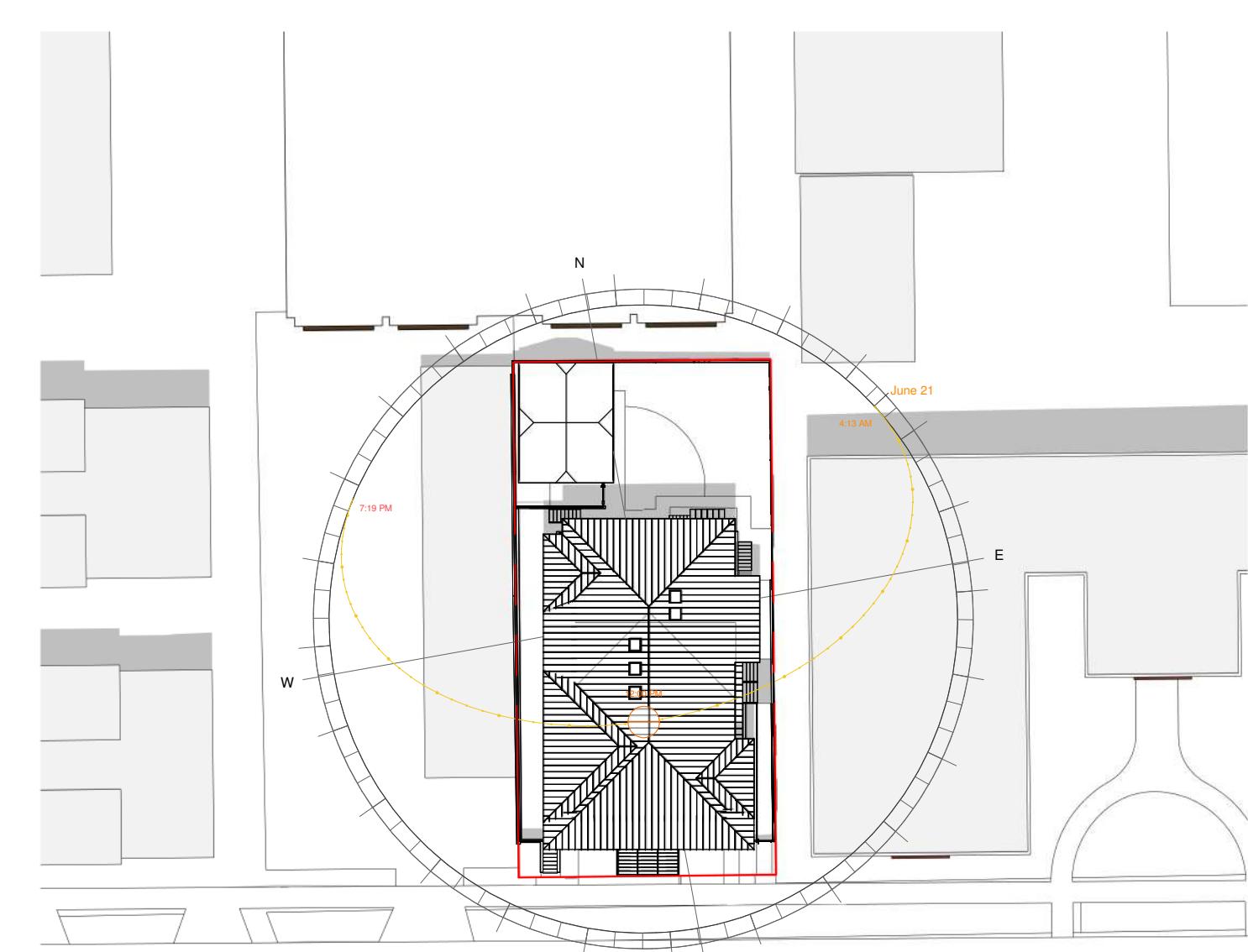
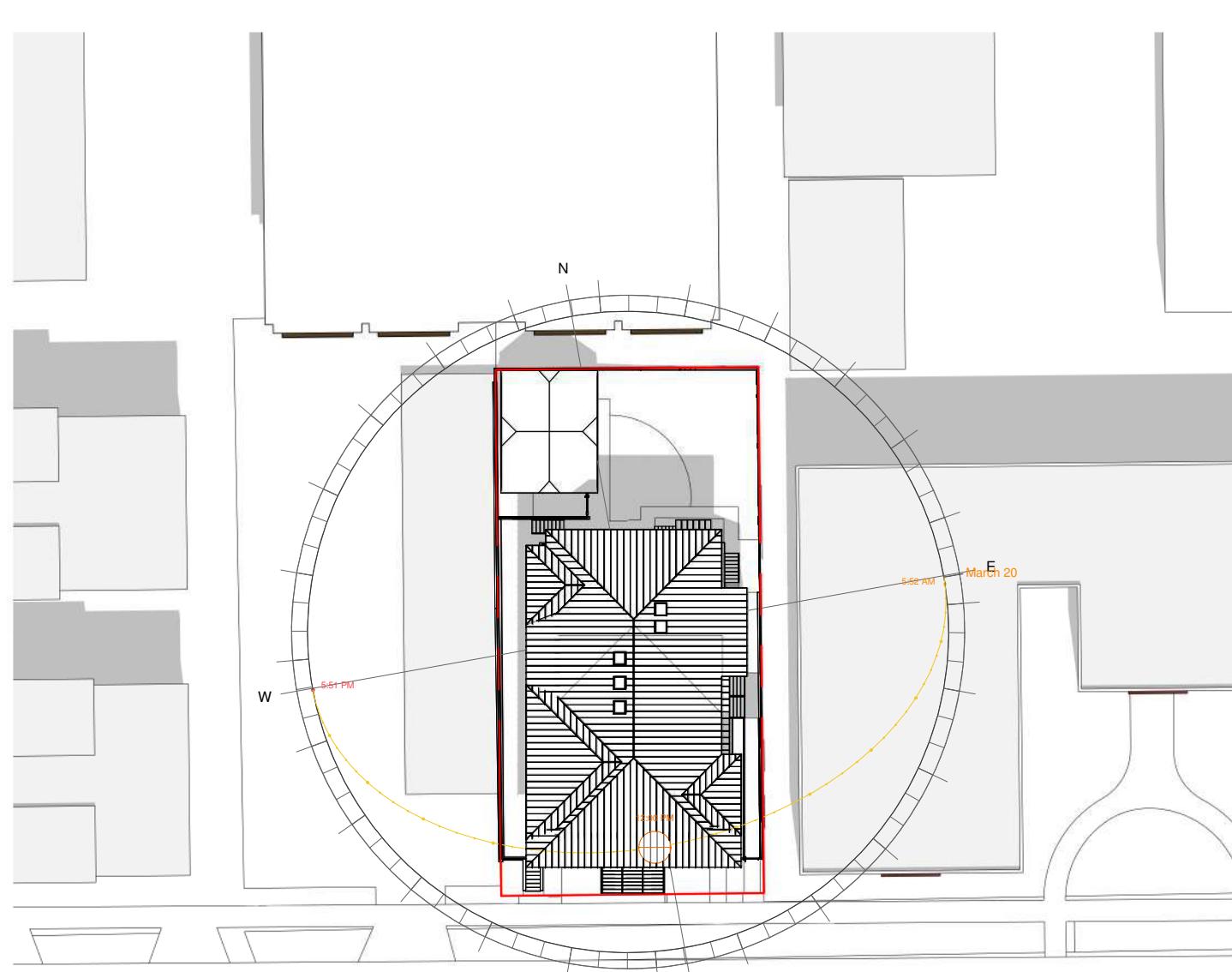
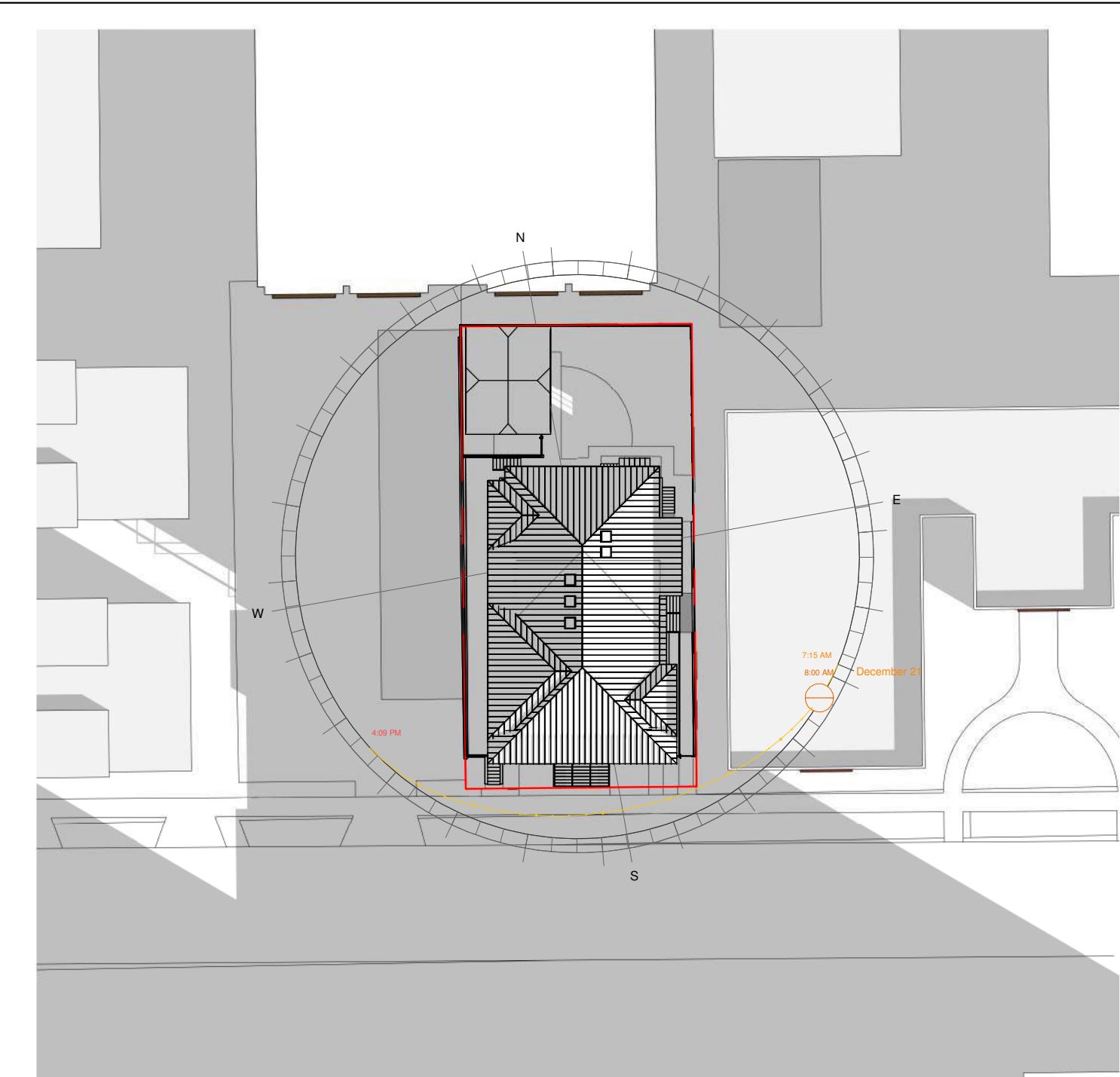
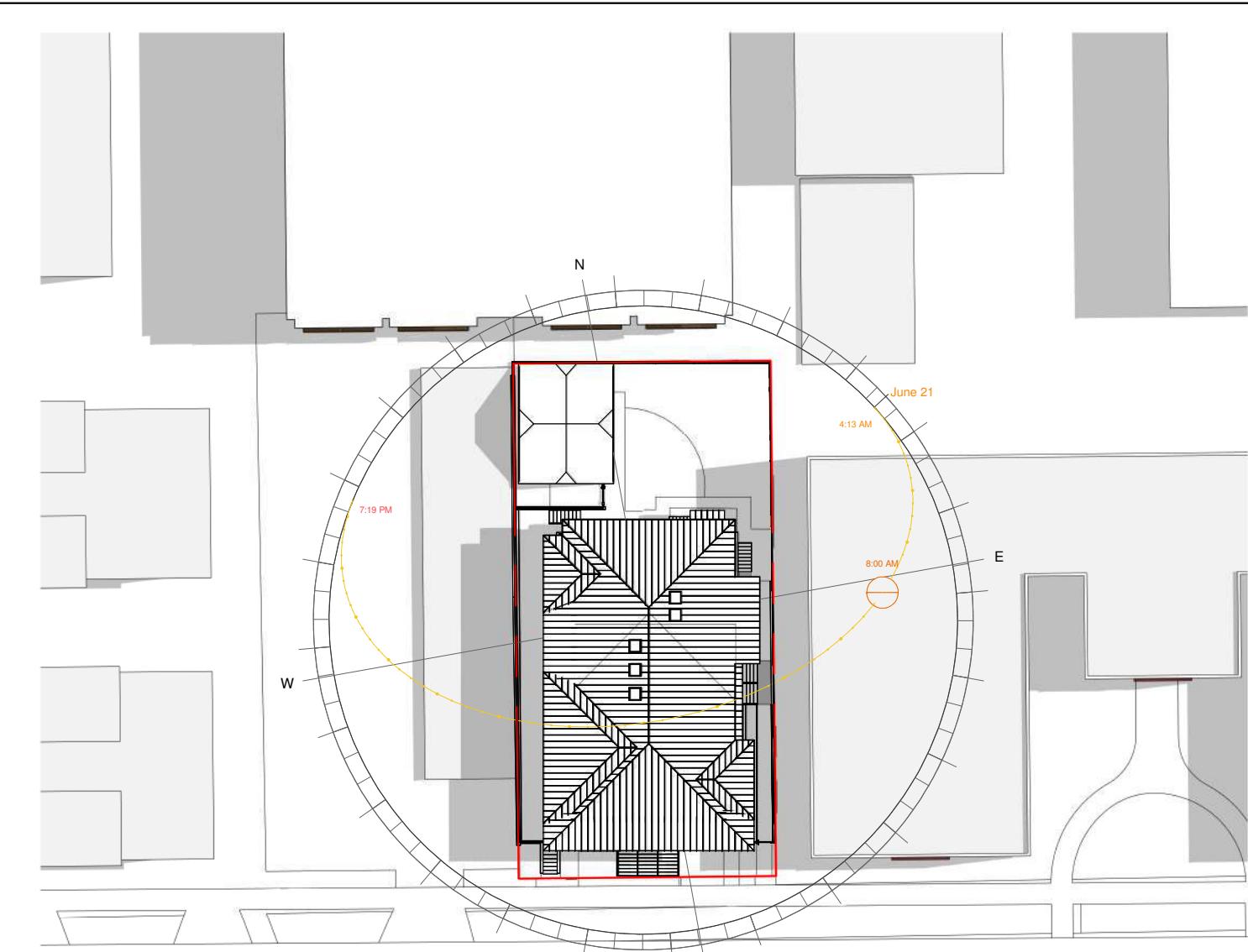
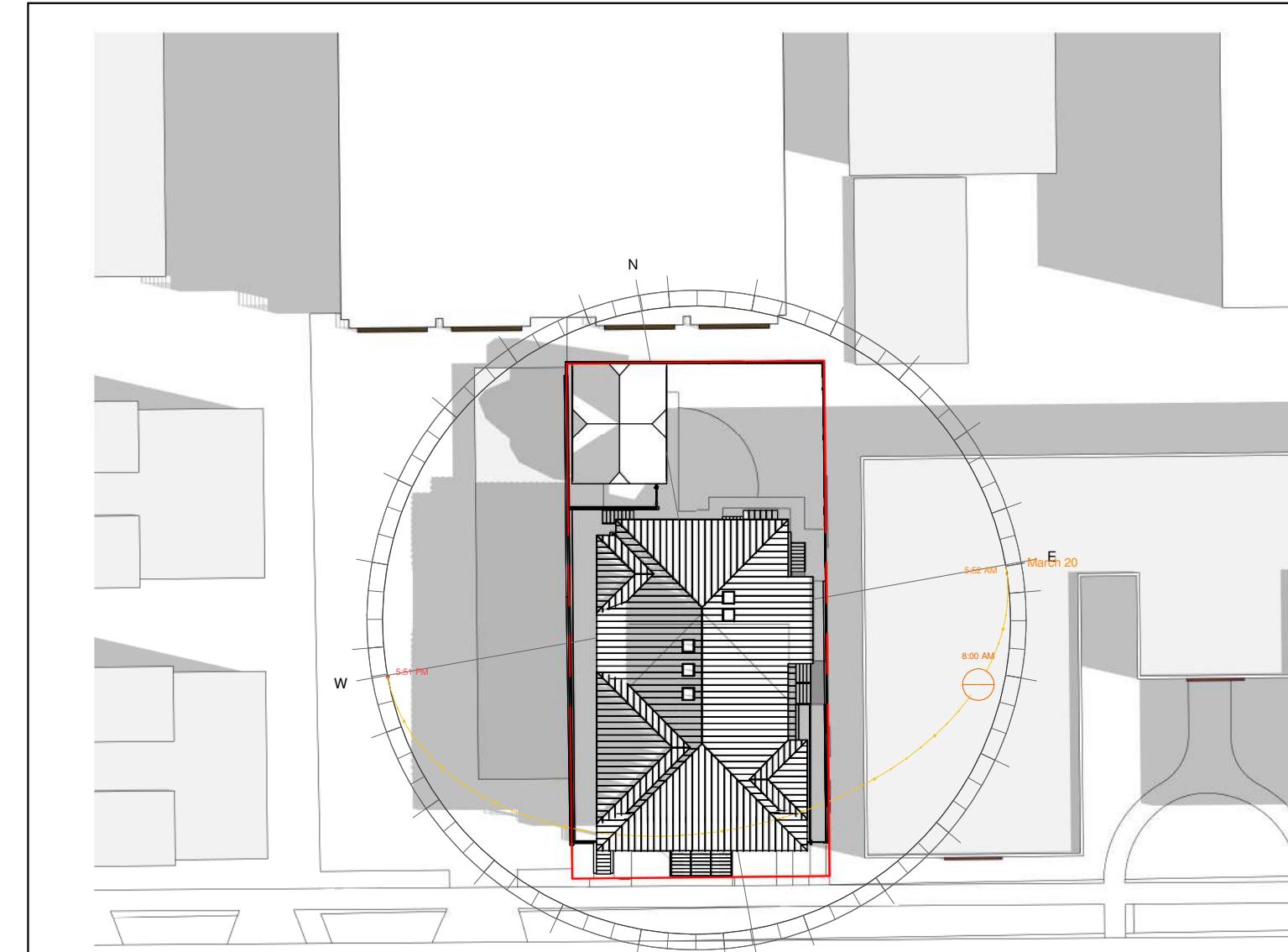
1042 Richardson Street

SOLAR ANALYSIS - EXISTING

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Drawn by HJ  
Checked by CL

A0.05  
Project # 0001 Scale 1:450





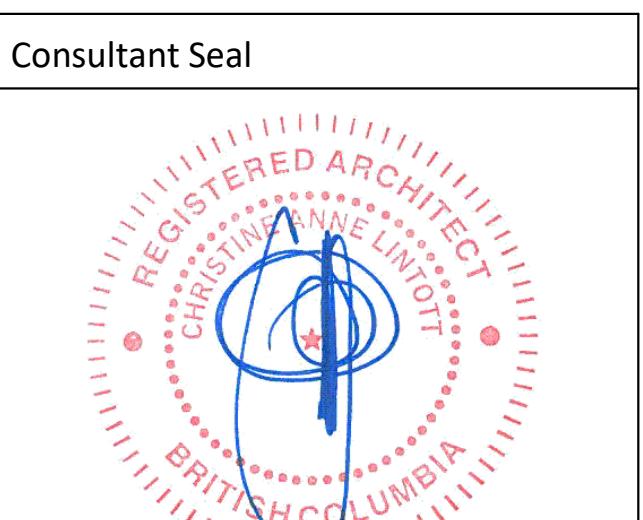
Christine Lintott  
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Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5  
Telephone: 250.384.1969  
www.lintottarchitect.ca

Issue Date

ISSUED FOR DP +  
REZONING 06/13/2023

Revision No. Description Date



1042 Richardson  
Street

SOLAR ANALYSIS -  
PROPOSED

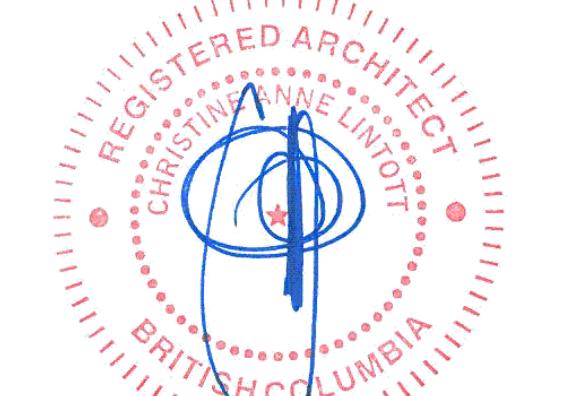
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A0.06

Project # 0001 Scale 1 : 450

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SUED FOR DP + ZONING	06/13/2023	
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vision		
.	Description	Date
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## Consultant Seal



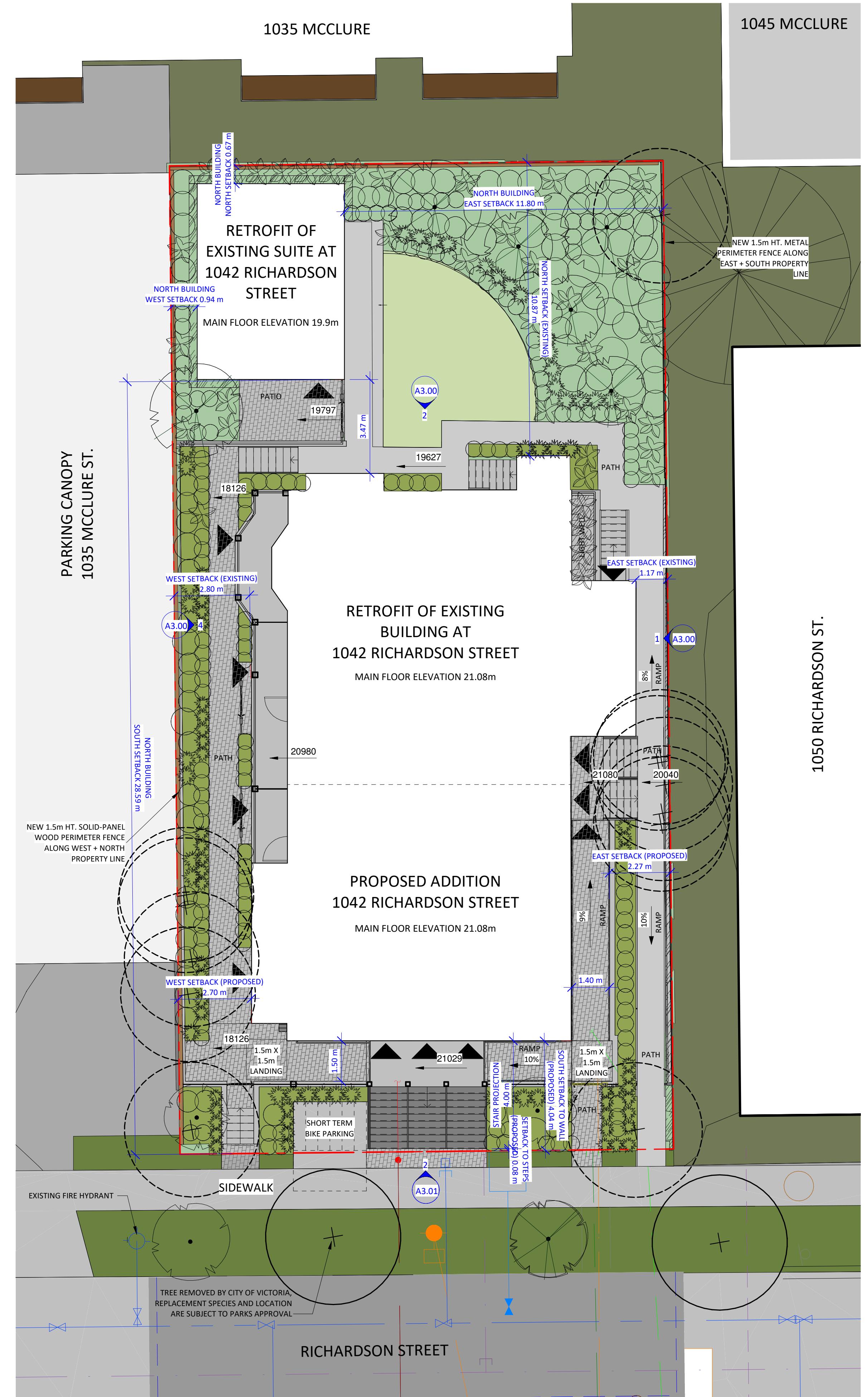
1042 Richardson  
Street

## SITE PLAN

te 2023-06-15 2:56:54 PM  
awn by HJ  
- HJ CJ

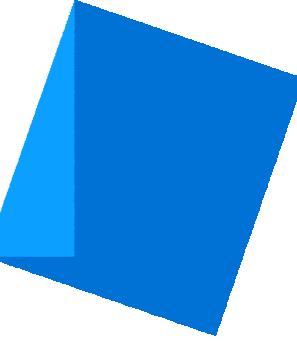
A1.00

ect # 0001 Scale As indicated



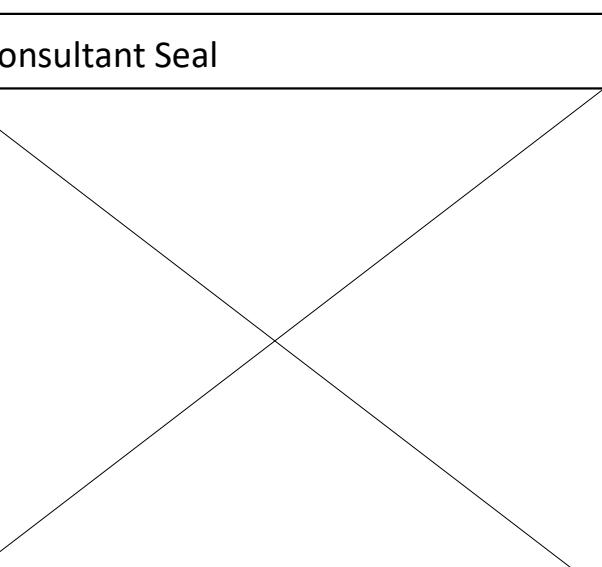
PROJECT INFORMATION TABLE		
CURRENT/PERMITTED		PROPOSED DESIGN (SPECIFIC ZONING)
ZONING DISTRICT	R-K (MEDIUM DENSITY)	MULTIPLE DWELLING
SITE AREA (m <sup>2</sup> )	≥ 555	668 (EXISTING)
TOTAL FLOOR AREA (m <sup>2</sup> )	-	741
FLOOR SPACE RATIO	0.6:1	1.1:1
	-	-
	-	-
	-	-
SITE COVERAGE (%)	≤ 33	55%
OPEN SITE SPACE (%)	≥ 45	45%
HEIGHT OF BUILDING (m)	≤ 8.5 TO U/S CEILING	9.78
NUMBER OF STOREYS	3	3
PARKING STALLS ON SITE	≥ 1.5/DWELLING	0
<u>BUILDING SETBACKS:</u>	FRONT YARD/SOUTH (m)	≥ 7.5
	BUILDING ELEMENT (m)	≥ 6
	REAR YARD (m)	-
	WALLS WITH NO WINDOW (m)	≥ 2.5
	WINDOWS (NOT LIVING ROOM) (m)	≥ 4
	LIVING ROOM WINDOW (m)	≥ 7.5
	SIDE YARD - WEST (m)	-
	WALLS WITH NO WINDOW (m)	≥ 2.5
	WINDOWS (NOT LIVING ROOM) (m)	≥ 4
	LIVING ROOM WINDOW (m)	≥ 7.5
	SIDE YARD - EAST (m)	-
	WALLS WITH NO WINDOW (m)	≥ 2.5
	WINDOWS (NOT LIVING ROOM) (m)	≥ 4
	LIVING ROOM WINDOW (m)	≥ 7.5

<u>Proposal Setbacks</u>			
<u>ALL SETBACKS ARE TO EXTERIOR WALLS</u>	<u>NORTH BUILDING - EXISTING, NO CHANGE</u>	<u>SOUTH BUILDING - EXISTING</u>	<u>SOUTH BUILDING - PROPOSED ADDITION</u>
NORTH SETBCAK (m)	0.67	10.87	N/A
EAST SETBCAK (m)	11.80	1.17	2.27
SOUTH SETBCAK (m)	28.59	12.81	4.04
WEST SETBCAK (m)	0.04	2.8	3.70



sue Date  
**SUED FOR DP +  
ZONING** 06/13/2023

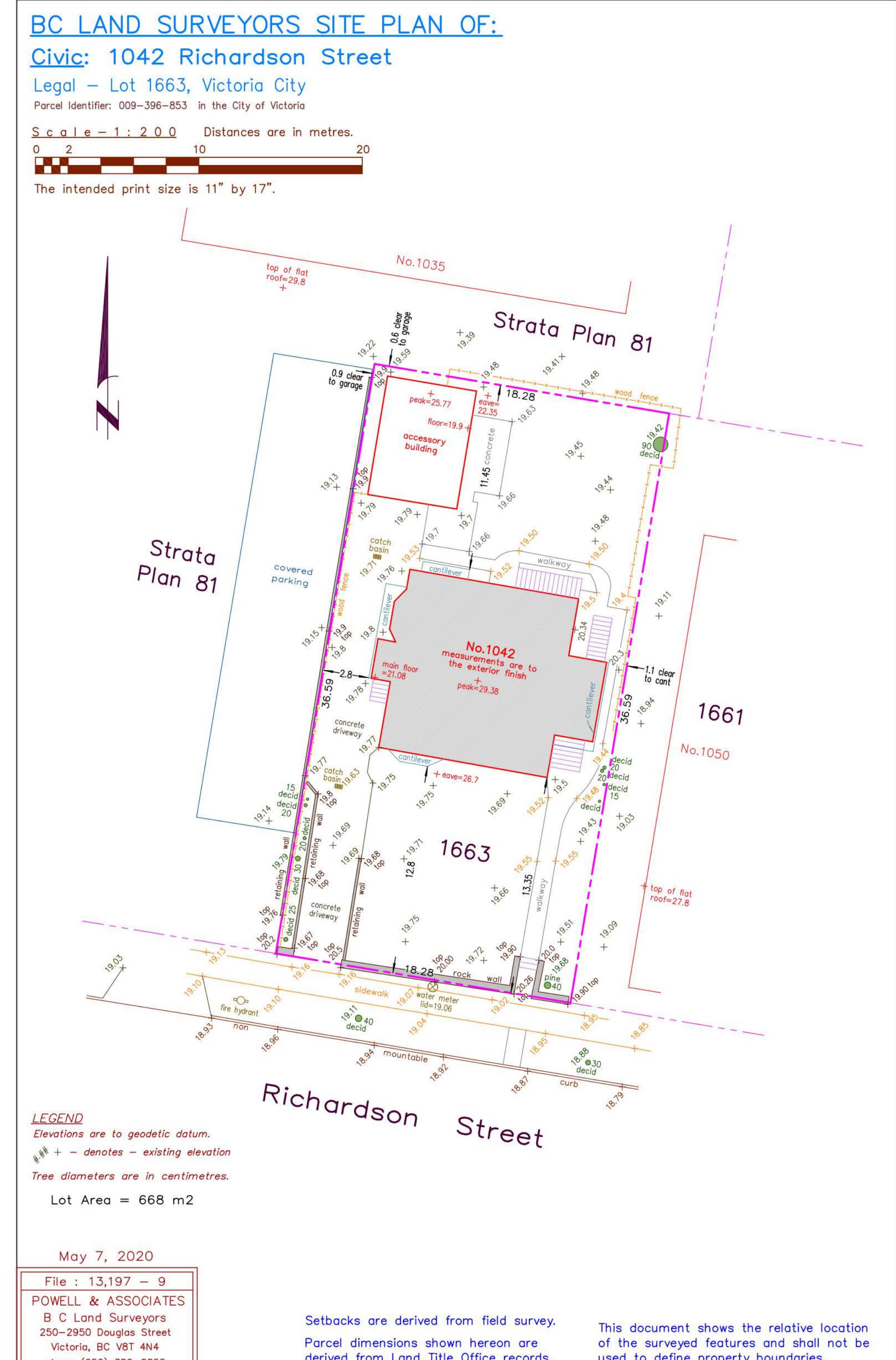
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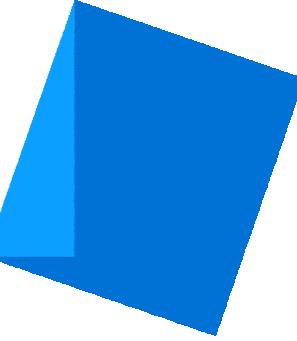


1042 Richardson  
Street

## SITE SURVEY

te	2023-06-15 2:56:55 PM
awn by	SURVEYOR
checked by	-
<b>A1.01</b>	
ect #	0001
Scale	





Issue Date

ISSUED FOR DP +  
REZONING 06/13/2023

Revision No. Description Date

Area Schedule (Unit Area)		
Name	Occupancy	Area
Unit 1	1 BED	62 m <sup>2</sup>
Unit 2	1 BED	60 m <sup>2</sup>
Unit 3	3 BED	140 m <sup>2</sup>
Unit 4	2 BED	68 m <sup>2</sup>
Unit 5	1 BED	46 m <sup>2</sup>
Unit 6	1 BED	41 m <sup>2</sup>
Unit 7	1 BED	47 m <sup>2</sup>
Unit 8	1 BED	50 m <sup>2</sup>
Unit 9	STUDIO	39 m <sup>2</sup>
Unit 10	2 BED	68 m <sup>2</sup>
Unit 11	1 BED	66 m <sup>2</sup>
688 m <sup>2</sup>		

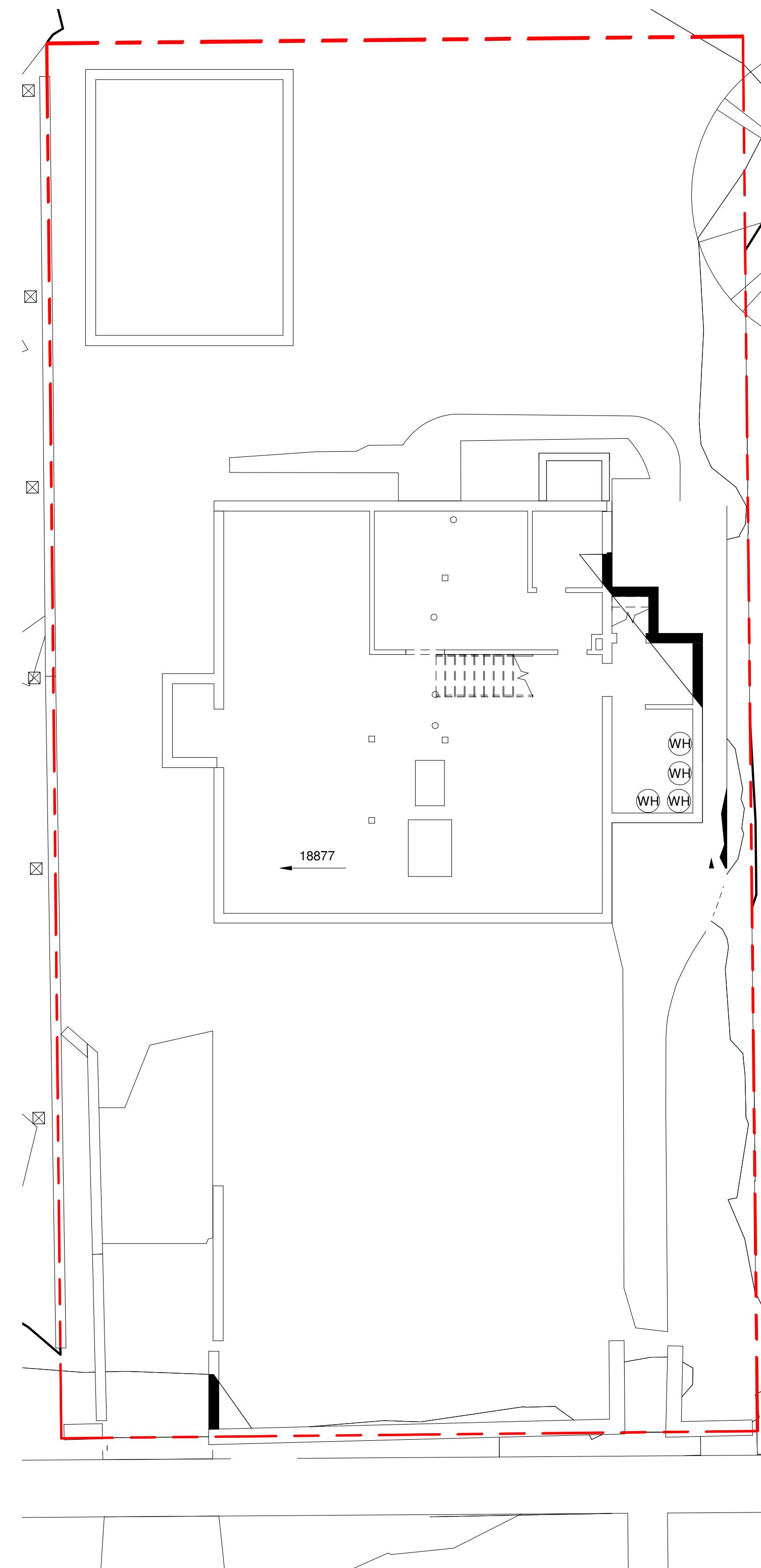
LEGEND TO FLOOR PLANS	
	CONSTRUCTION ASSEMBLY TYPE (SEE SCHEDULE ON A0.03)
	1 HR. F.R.R. FIRE SEPARATION

1042 Richardson  
Street

Date 2023-06-15 2:56:56 PM  
Drawn by LA  
Checked by CL

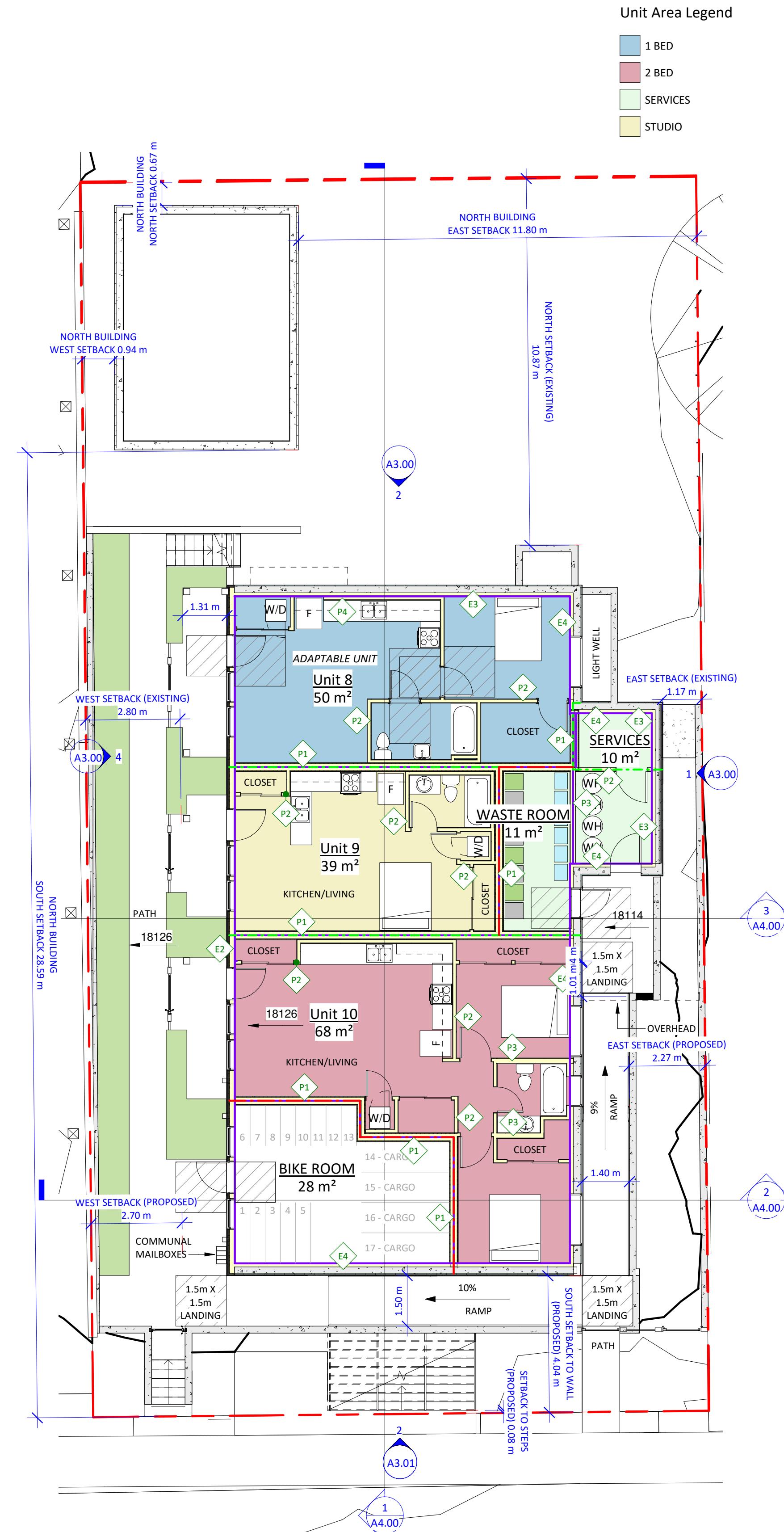
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Project # 0001 Scale As indicated

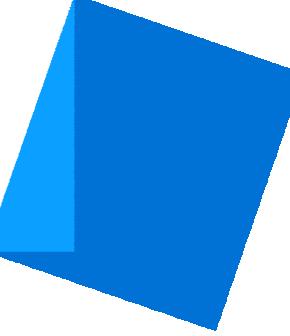


① Basement (Existing)  
1 : 100

NOTE: BASEMENT LEVEL TO BE LOWERED FROM 18.9m TO 18.1m.  
EXISTING BASEMENT SLAB AND FOUNDATION WALLS TO BE  
DEMOLED.



③ Basement (Proposed)  
1 : 100



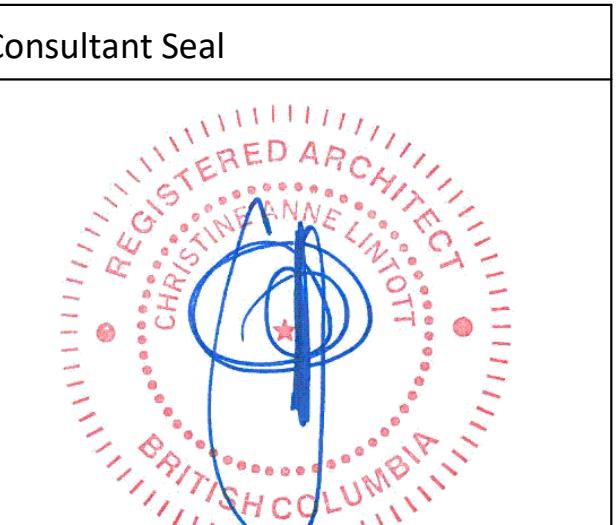
Issue Date

ISSUED FOR DP + REZONING 06/13/2023

Revision No. Description Date

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Unit 7	1 BED	47 m <sup>2</sup>
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Unit 10	2 BED	68 m <sup>2</sup>
Unit 11	1 BED	66 m <sup>2</sup>
		688 m <sup>2</sup>

LEGEND TO FLOOR PLANS	
	CONSTRUCTION ASSEMBLY TYPE (SEE SCHEDULE ON A0.03)
	1 HR. F.R.R. FIRE SEPARATION



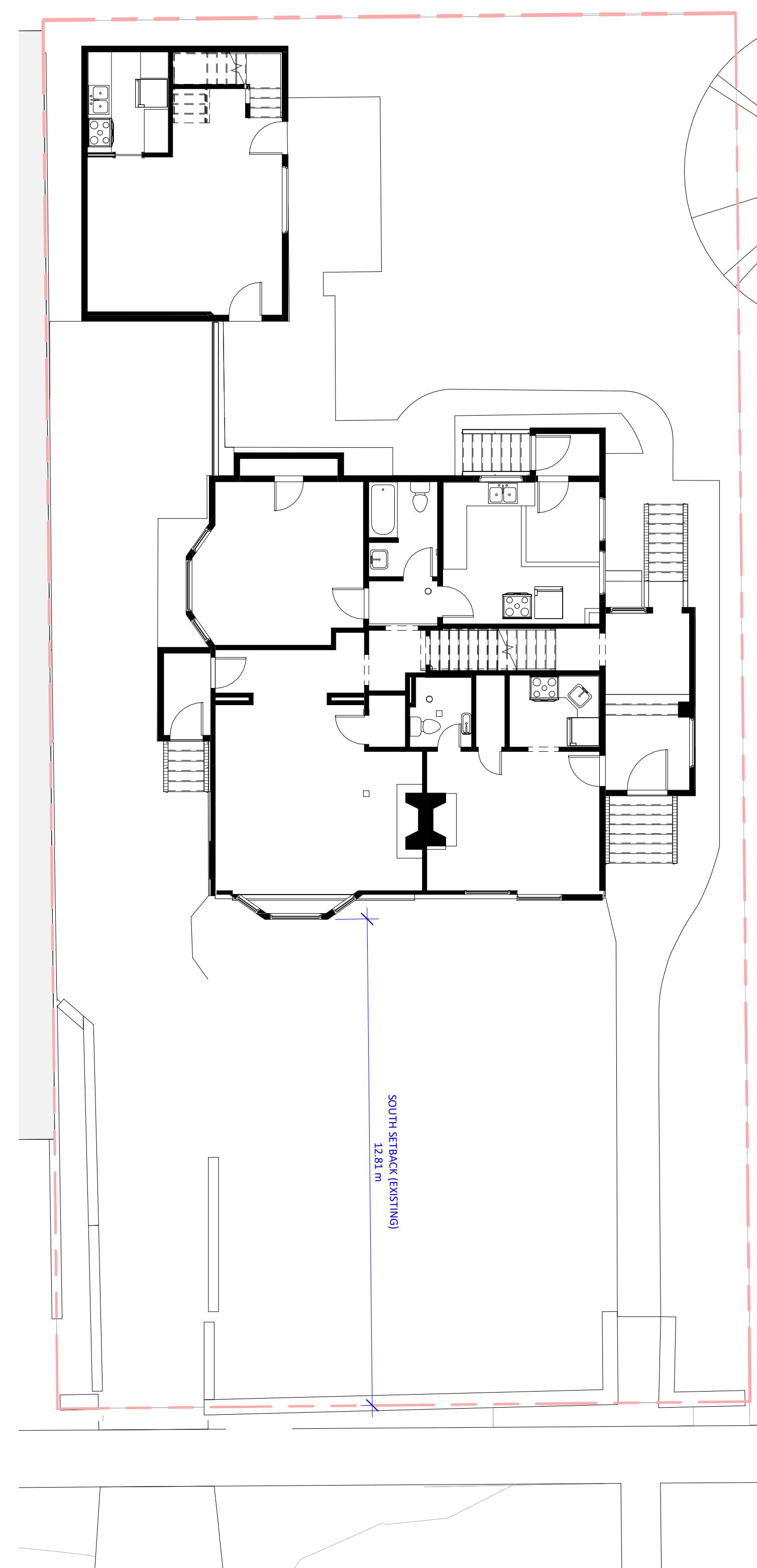
1042 Richardson Street

LEVEL 1 FLOOR PLANS

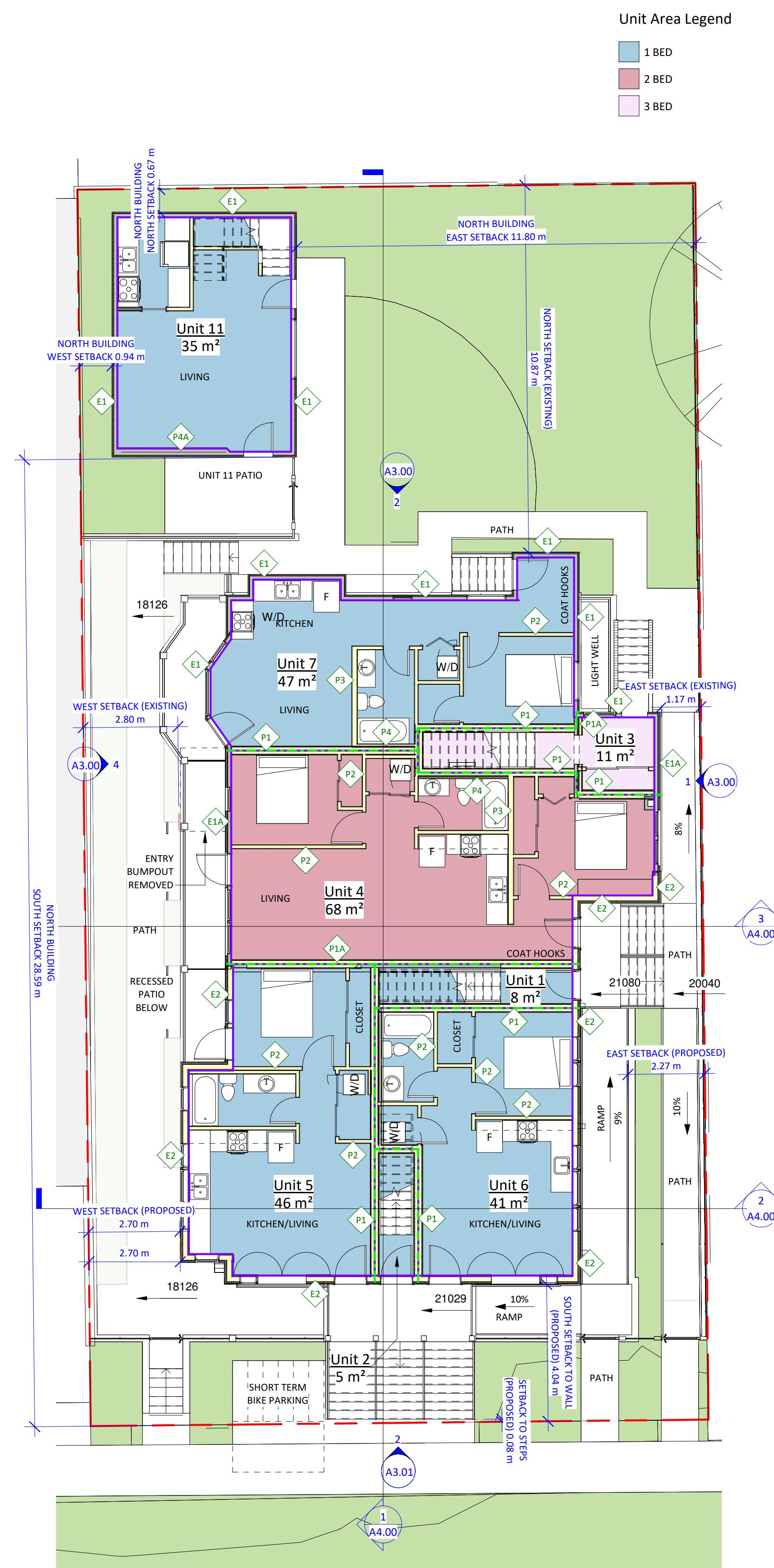
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A2.01

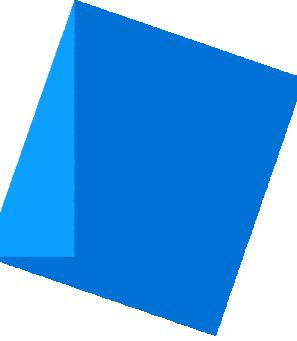
Project # 0001 Scale As indicated



① Level 1 (Existing)  
1 : 100



② Level 1 (Proposed)  
1 : 100



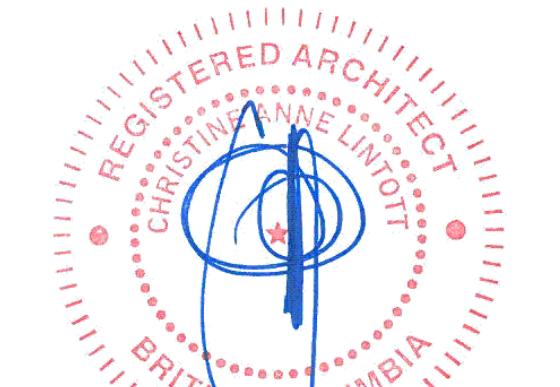
Issue Date

ISSUED FOR DP +  
REZONING 06/13/2023

Revision No. Description Date

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Unit 3	3 BED	140 m <sup>2</sup>
Unit 4	2 BED	68 m <sup>2</sup>
Unit 5	1 BED	46 m <sup>2</sup>
Unit 6	1 BED	41 m <sup>2</sup>
Unit 7	1 BED	47 m <sup>2</sup>
Unit 8	1 BED	50 m <sup>2</sup>
Unit 9	STUDIO	39 m <sup>2</sup>
Unit 10	2 BED	68 m <sup>2</sup>
Unit 11	1 BED	66 m <sup>2</sup>
688 m <sup>2</sup>		

Consultant Seal



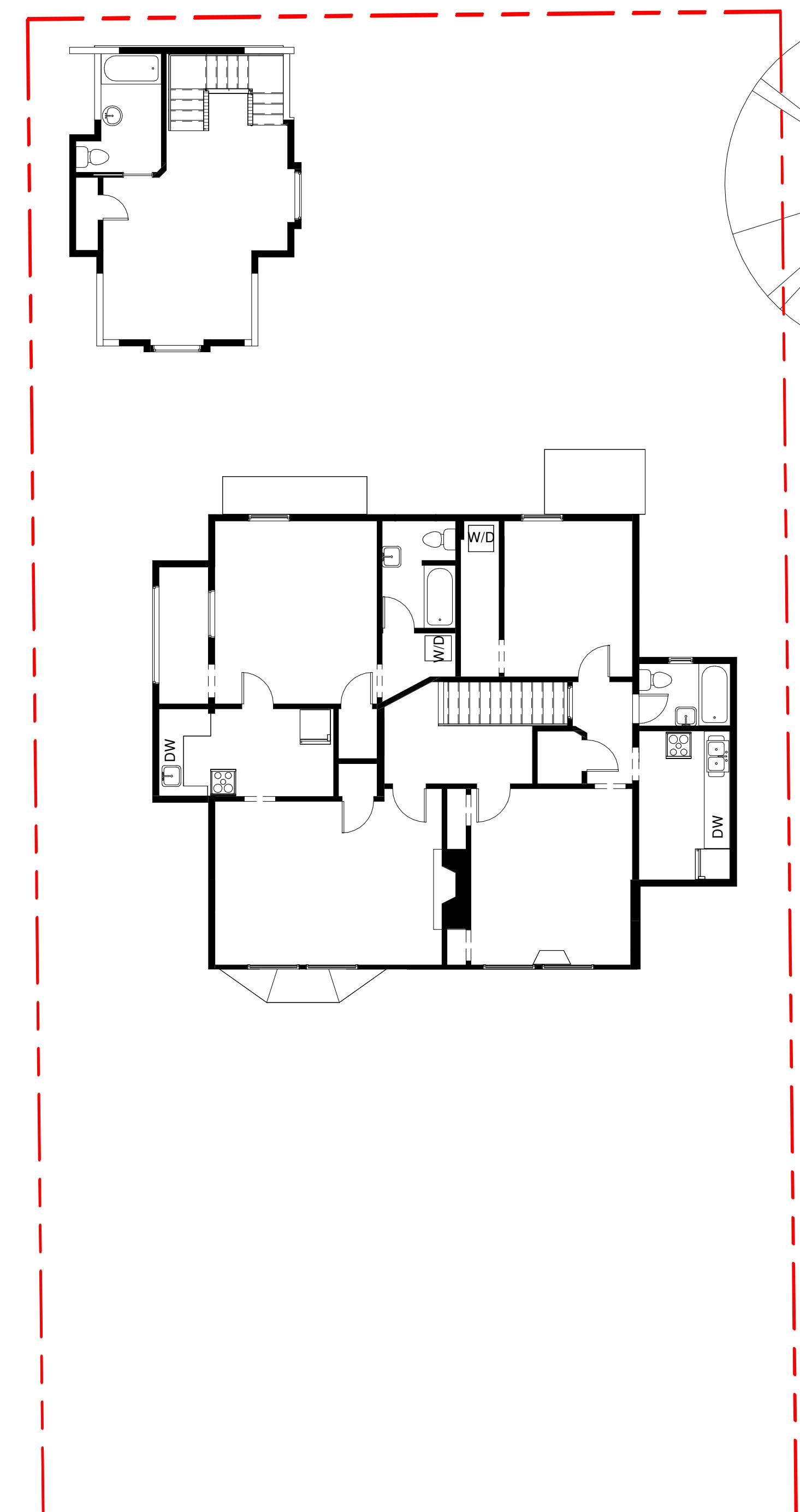
1042 Richardson  
Street

LEVEL 2 FLOOR PLANS

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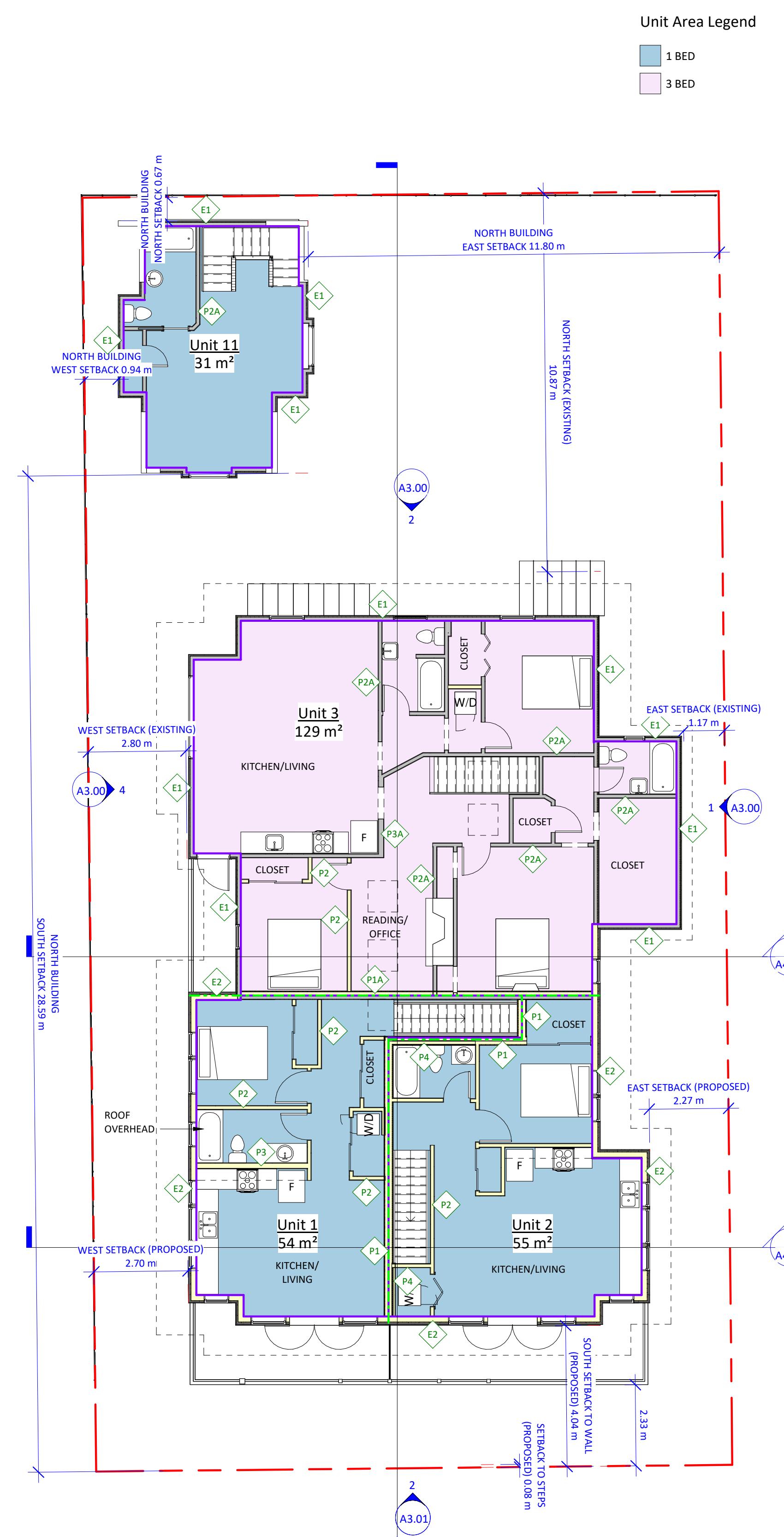
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Project # 0001 Scale As indicated

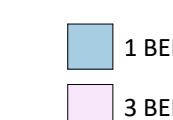


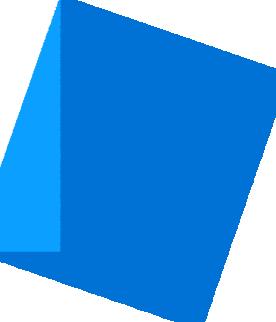
② Level 2 (Existing)  
1 : 100

① Level 2 (Proposed)  
1 : 100



Unit Area Legend



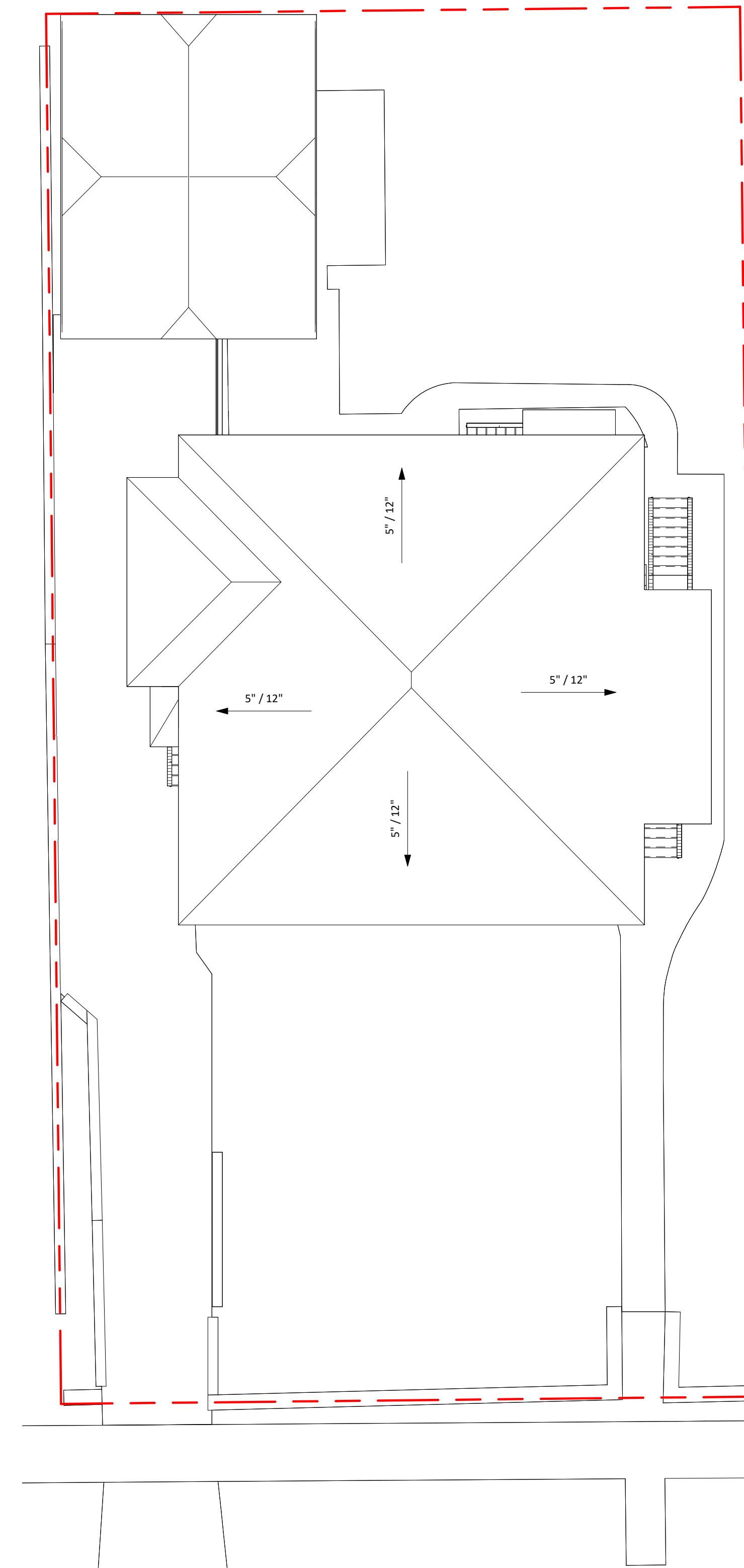


sue Date  
**SUED FOR DP +  
ZONING** **06/13/2023**

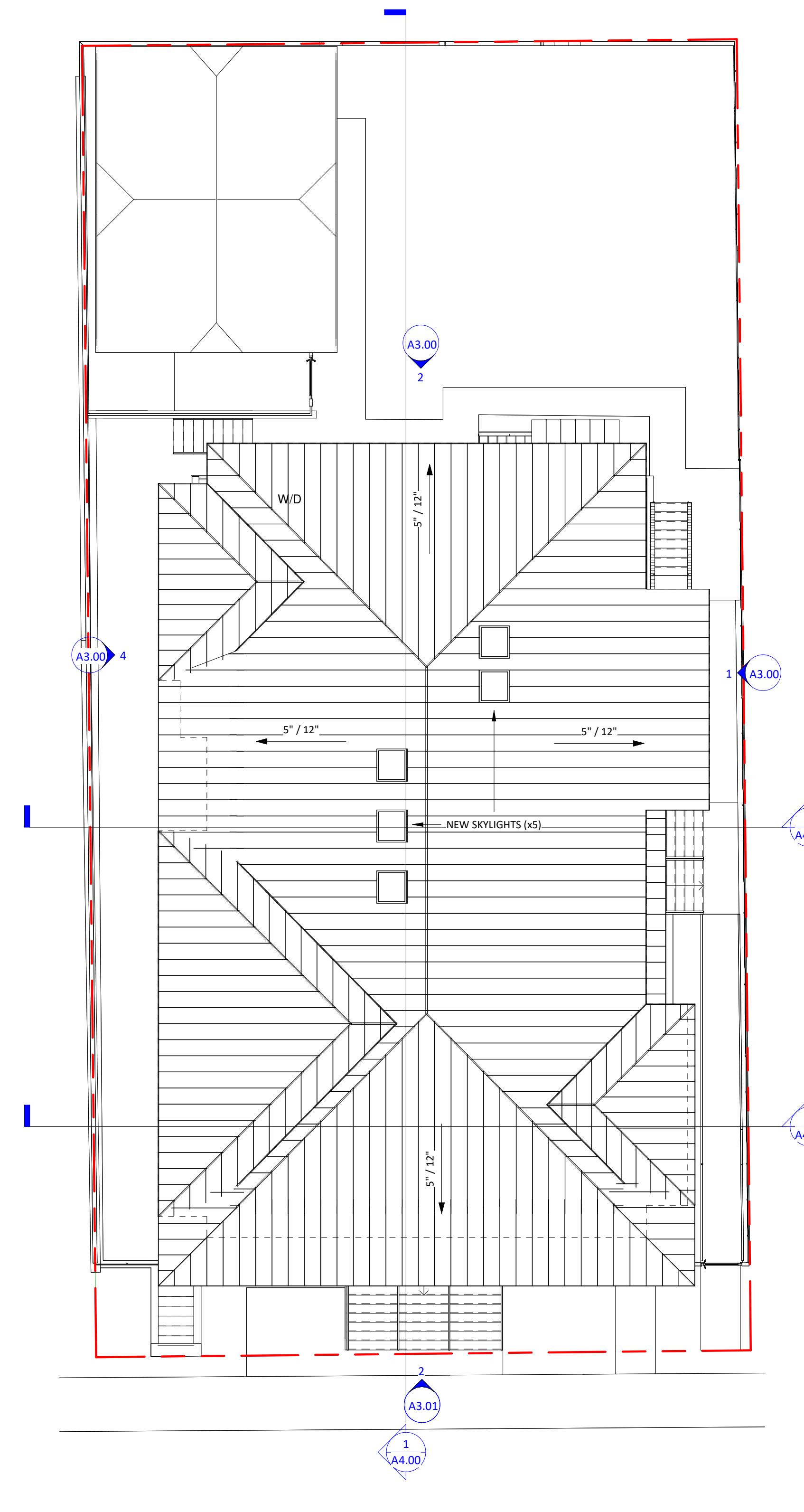
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vision

.	Description	Date
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1 Roof - Existing  
1 : 100



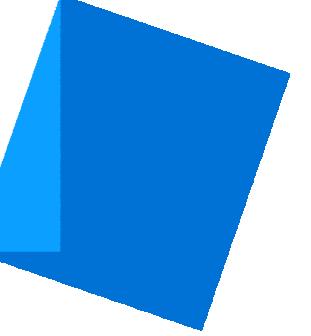
2 Roof  
1 : 100

## ROOF PLANS

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awn by HJ  
d. H. S.

## A2.03

ect # 0001 Scale 1 : 100

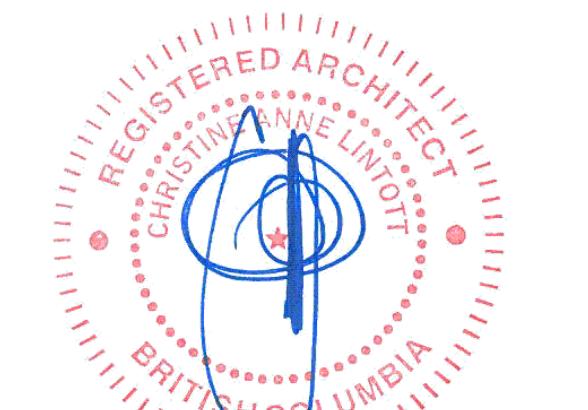


Issue Date

ISSUED FOR DP + REZONING 06/13/2023

Revision No. Description Date

Consultant Seal



1042 Richardson Street

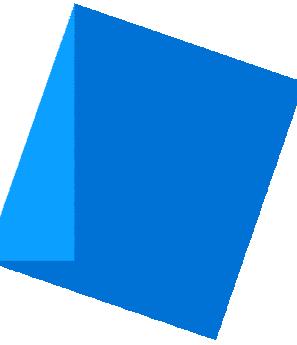
ELEVATIONS

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Checked by CL

A3.00

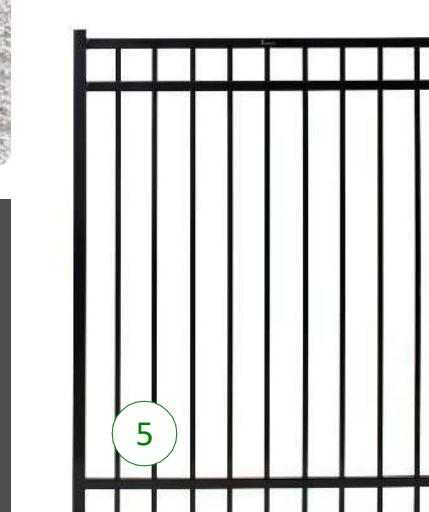
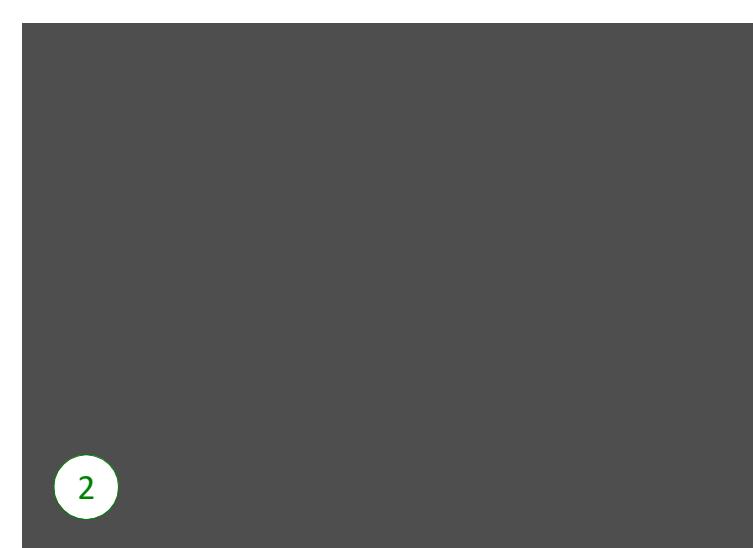
Project # 0001 Scale 1 : 100





**EXTERIOR FINISH LEGEND**

1 - STUCCO SIDING, COLOUR: WHITE  
2 - PREFINISHED METAL FLASHING  
3 - WOOD COLUMNS  
4 - STANDING SEAM METAL ROOF  
5 - METAL RAILINGS, COLOUR: CHARCOAL  
6 - METAL FENCE  
7 - WINDOWS + DOORS, COLOUR: CHARCOAL



1042 Richardson  
Street

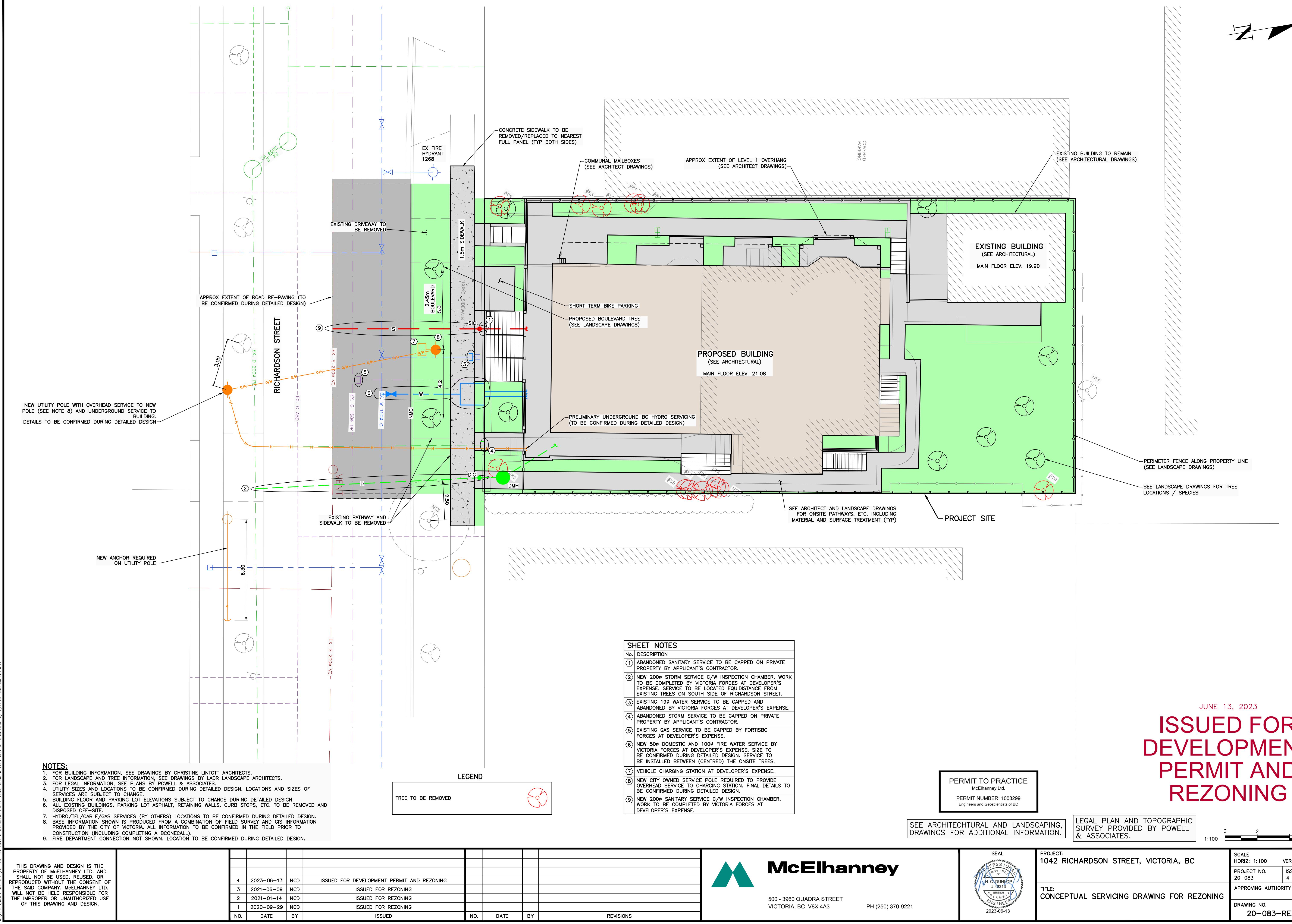
Street Context + Exterior  
Materials

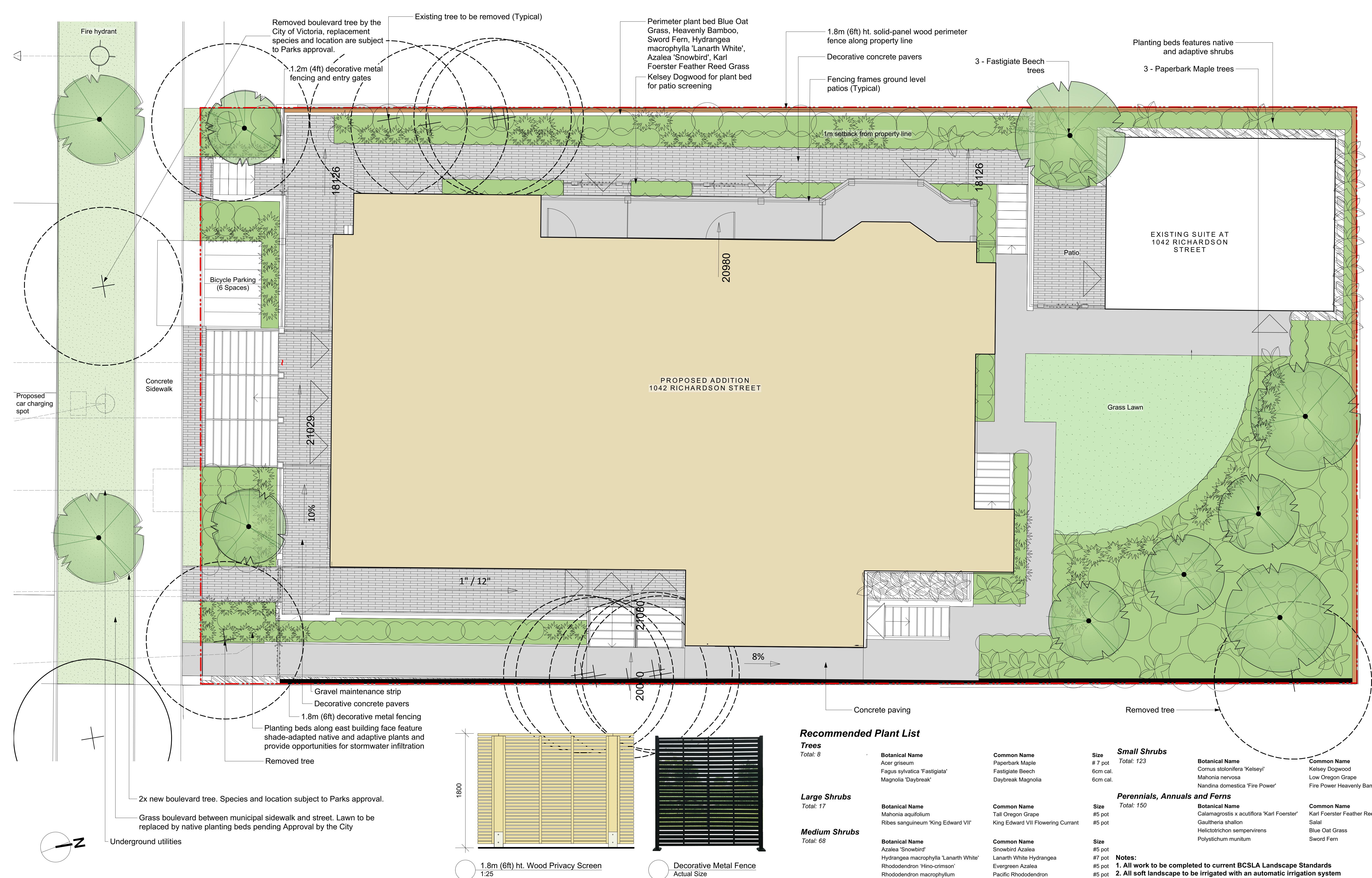
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A3.01

Project # 0001 Scale As indicated







# 1042 Richardson Street | Landscape Concept Plan