M'akola Development Services

3075 Douglas

Victoria, BC

KEY PLAN

_andscape Sheets			
Sheet No.	Sheet Title		
L0.00	Cover		
L0.01	General Information Sheet		
L0.02	Tree Replacement		
L1.01	Landscape Materials		
L1.02	Landscape Materials - L2		
L2.01	Landscape Grading & Drainage		
L3.01	Planting - L1 & L2		
L4.01	Landscape Sections		











3 PLANTED VINES







5 COMMUNITY GARDEN



6 BARBEQUE AND DINING

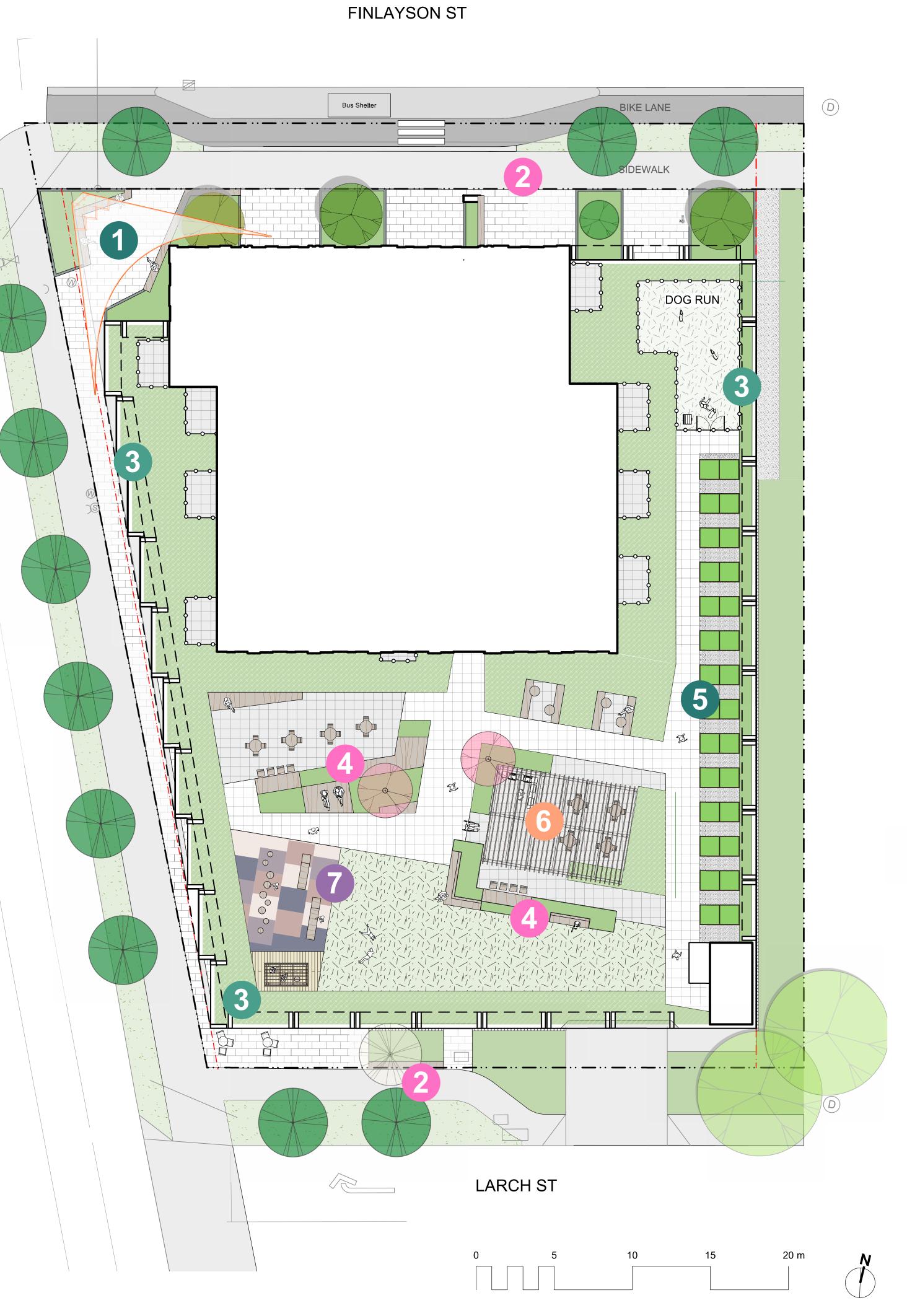




7 AMENITY LAWN & FLEXIBLE PLAY









NOTFORCONSTRUCTION

3	Issued for DP	2025-10-
2	Issued for SD	2025-06-
1	Issued for Rezoning	2025-05.
No.	Issued For	Issue Da



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M'akola Development Services
107-731 Station Ave
Victoria, BC

oroject 3075 Dol

3075 Douglas St 3075 Douglas St Victoria, BC

sheet title

Cover

	L0.00
sheet no.	
checked by	ТВ
drawn by	SC/JR/TB
scale	1:150 @ 24"x36"
project no.	125.07

GENERAL NOTES

Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.

1. Work performed shall comply with the following: a) These General Notes, and Construction

- 2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- 3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- 4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- 5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape
- Architect and governing agency. 6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepencies with the drawings and/or

specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to

- proceeding with construction. 7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepencies should be brought to the attention of the Landscape Architect for
- resolution immediately. 8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- 1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

- **SITE GRADING AND DRAINAGE NOTES** All elevations are in meters.
- 2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response
- 3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- 4. Confirm all existing grades prior to contruction. Report any discrepancies to consultant for review and response.
- 5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- 6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- 7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to
- contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- 1. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- 2. All specified work to meet the project specifications, and all standards or specifications established in the lastest edition of the Canadian Landscape Standard and IIABC standards.
- 3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- 4. Utilities Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.

5. Refer to electrical drawings for electrical service.

- 6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- 8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems. 10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completeition of inspection or test.
- 11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- 12. Trees within shrub or rain garden areas to be irrigated with spray heads.
- 13. Trees in Plaza in hard pavement (soil cells below) to recieve temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of
- 3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- 4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the
- 5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9. p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- 6. Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- 1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise
- 2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- 3. Written dimensions take precedence over scale. Do not scale drawings.
- 4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- 5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre

GENERAL PLANTING NOTES

- 1. Plant quantities on Plans shall take precedence over plant list quantities.
- 2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. 3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- 4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

- 1. For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- 2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water
- to the perimeter drain and protect wall from roots.
- 3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a)where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

- 1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- 2. Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- 3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- 4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
- 5. Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed
- 6. Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- 8. Soil volume for boulevard trees to be minimum 15 cubic meters.

PAVING NOTES

- 1. Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- 2. Cast in place concrete areas that are subject to vechicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator
- 2. Refer to Landscape Specifications for Maintenance Period following Acceptance.
- 3. Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
- 4. Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- 5. Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

BOULEVARD TREE INSPECTION NOTES

- 1. The proposed Boulevard Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to
- 2. INSPECTIONS ARE REQUIRED AT THE FOLLOWING STAGES:
- Excavated tree pits, soil cells, root barriers - Trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)
- Completed planting tree planting, grate/guard, stakes etc.

LIST OF ABBREVIATIONS

APPROXIMATE

ARCH	ARCHITECT	MED	MAANUEACTUBED
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
		MIN	MINIMUM
BC	BOTTOM OF CURB	MISC	MISCELLANEOUS
BLDG	BUILDING	MM	MILLIMETRE
BM	BENCHMARK	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BR	BOTTOM OF RAMP		
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
		NTS	NOT TO SCALE
CAL	CALIPER	OC	ON CENTER
СВ	CATCH BASIN	OD	OUTSIDE DIAMETER
CF	CUBIC FEET	PC	POINT OF CURVATURE
CIP	CAST IN PLACE	PE	POLYURETHANE
CL	CENTER LINE		
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
		PT	POINT, POINT OF TANGENCY
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CONT	CONTINUOUS	QTY	QUANTITY
CU M	CUBIC METRE	R	RADIUS
DEG	DEGREE	REF	REFERENCE
DEMO	DEMOLISH, DEMOLITION		
DIA	DIAMETER	REINF	REINFORCE(D)
DIM	DIMENSION	REQ'D	REQUIRE(D)
DTL	DETAIL	REV	REVISION
		ROW	RIGHT OF WAY
DWG	DRAWING	S	SOUTH
E	EAST	SAN	SANITARY
EA	EACH	SD	STORM DRAIN
EL	ELEVATION	SF	
ENG	ENGINEER		SQUARE FOOT (FEET)
EQ	EQUAL	SHT	SHEET
EST	ESTIMATE	SIM	SIMILAR
E.W.	EACH WAY	SPECS	SPECIFICATIONS
		SQ M	SQUARE METRE
EXIST	EXISTING	ST	STORM SEWER
EXP	EXPANSION, EXPOSED	STA	STATION
FFE	FINISHED FLOOR ELEVATION	STD	STANDARD
FG	FINISHED GRADE	SYM	SYMMETRICAL
FL	FLOW LINE		
FOC	FACE OF CURB	T&B	TOP AND BOTTOM
FT	FOOT (FEET)	TC	TOP OF CURB
		TF	TOP OF FOOTING
FTG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TR	TOP OF RAMP
GR	GRADE ELEVATION	TS	TOP OF STEP
HORIZ	HORIZONTAL	TW	
HP	HIGH POINT		TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
ID	INSIDE DIAMETER	VAR	VARIES
		VOL	VOLUME
INV	INVERT ELEVATION	W	WITH
IN	INCH(ES)	W/O	WITHOUT
INCL	INCLUDE(D)	WT	WEIGHT
JT	JOINT	WL	WATER LEVEL
LF	LINEAR FEET		
LP	LOW POINT	WWF	WELDED WIRE FRAME
LI*	LOVV I'OHVI	YD	YARD
		@	AT
		_	

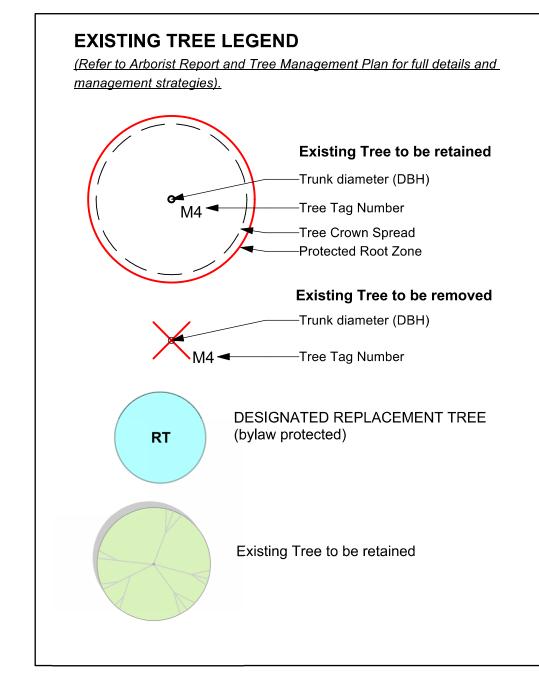
METRE

MAXIMUM

MAX

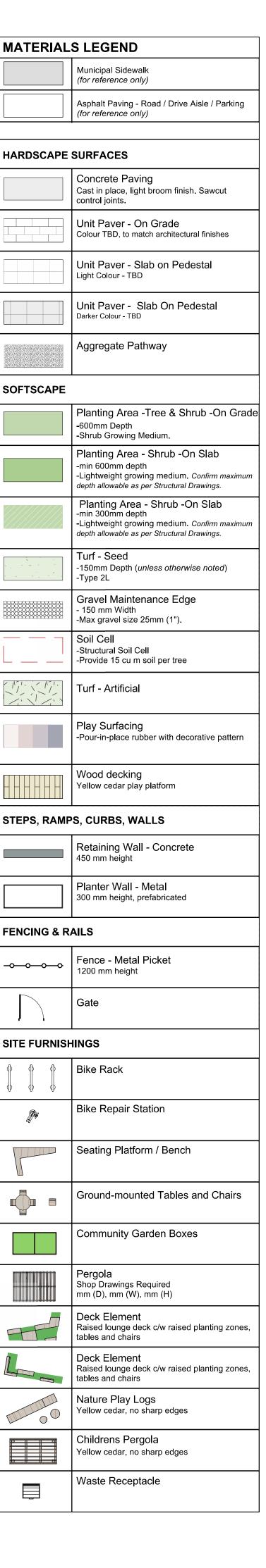
LINE TYPE LEGEND

Property line __ .._ **Building Footprint** Extent of Roof / Canopy, above Extent of Parkade, below _ . _ . _ . _ . _ . _ . .



GRADING LEGEND

25.25	Proposed Landscape Grade	
25.25 36.7% 24.25 ————————————————————————————————————	TOW Top of Wall BP Bottom of Pool BW Bottom of Wall TS Top of Stairs TOC Top of Curb BS Bottom of Stairs BC Bottom of Curb HP High Point TP Top of Pool LP Low Point	
25.25	Existing Grade	
25.25	Architectural grade, for reference only	
(d)→ 25.25	Civil Grade, for reference only	
/—(8.00)· - /	Proposed Landscape Contour	





2025-06-17 2 Issued for SD Issued for Rezoning 2025-05.23 Issued For Issue Date MEMBER TAMARA BONNEMAISO 659

Issued for DP

2025-10-10

M'akola Development Services 107-731 Station Ave Victoria, BC

2025-10-10

project 3075 Douglas St 3075 Douglas St Victoria, BC

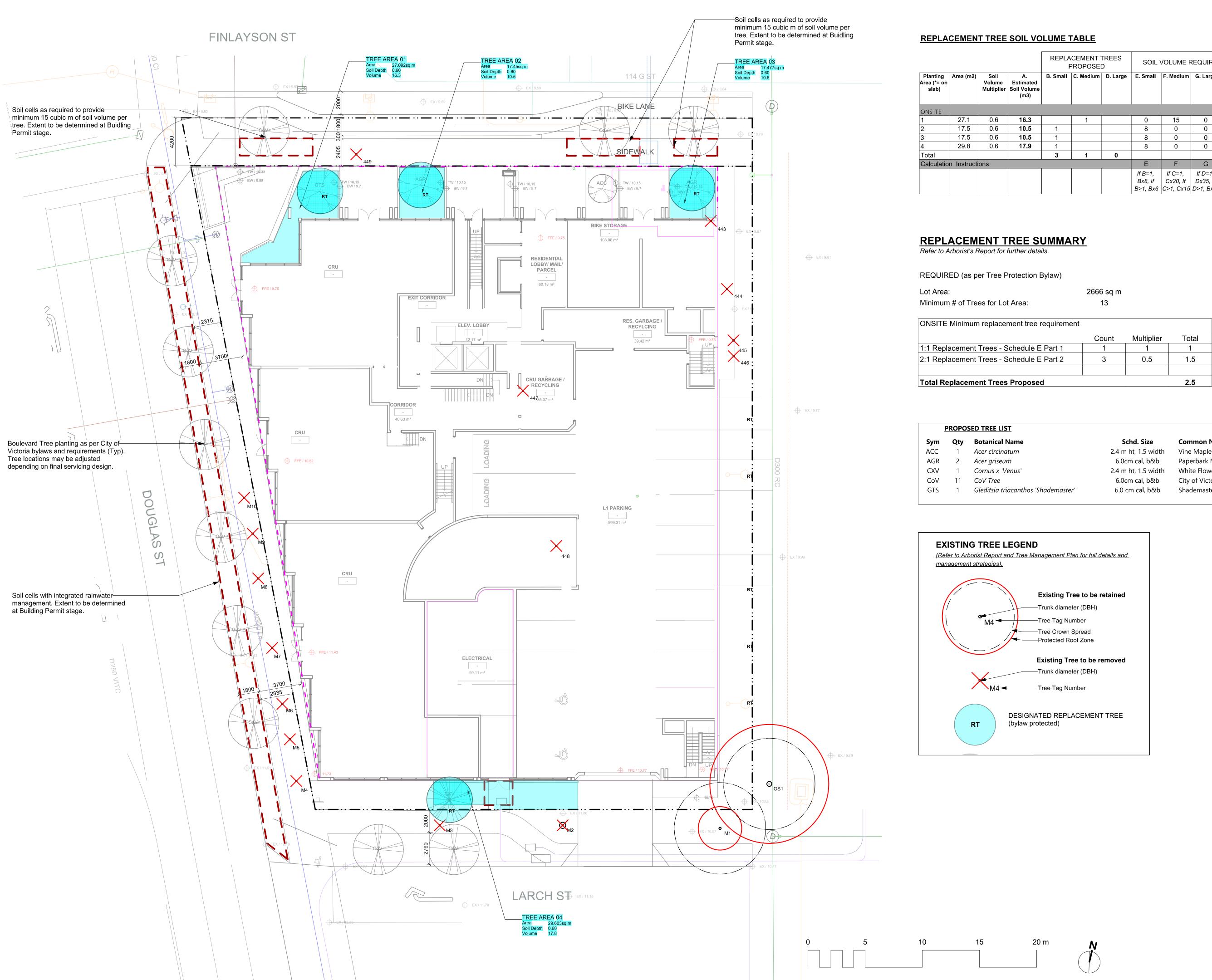
sheet title General

sheet no.

Information Sheet

125.07 project no scale 1:150 @ 24"x36" SC/JR/TB drawn by checked by

L0.01



					CEMENT PROPOSEI		SOIL	VOLUME F	REQUIRED	(m3)
Planting Area (*= on slab)	Area (m2)	Soil Volume Multiplier	A. Estimated Soil Volume (m3)	B. Small	C. Medium	D. Large	E. Small	F. Medium	G. Large	Total
ONSITE							l .			
1	27.1	0.6	16.3		1		0	15	0	15
2	17.5	0.6	10.5	1			8	0	0	8
3	17.5	0.6	10.5	1			8	0	0	8
4	29.8	0.6	17.9	1			8	0	0	8
Total				3	1	0				
Calculatio	n Instructi	ons					Е	F	G	Total
							If B=1,	If C=1,	If D=1,	E+F+G
							Bx8, If	Cx20, If	Dx35, Îf	
							B>1, Bx6	C>1, Cx15	D>1, Bx30	

	Count	Multiplier	Total
1:1 Replacement Trees - Schedule E Part 1	1	1	1
2:1 Replacement Trees - Schedule E Part 2	3	0.5	1.5

<u> </u>	PROPOS	SED TREE LIST		
Sym	Qty	Botanical Name	Schd. Size	Common Name
ACC	1	Acer circinatum	2.4 m ht, 1.5 width	Vine Maple
AGR	2	Acer griseum	6.0cm cal, b&b	Paperbark Maple
CXV	1	Cornus x 'Venus'	2.4 m ht, 1.5 width	White Flowering Dogwood
CoV	11	CoV Tree	6.0cm cal, b&b	City of Victoria Tree
GTS	1	Gleditsia triacanthos 'Shademaster'	6.0 cm cal, b&b	Shademaster Honeylocust



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project

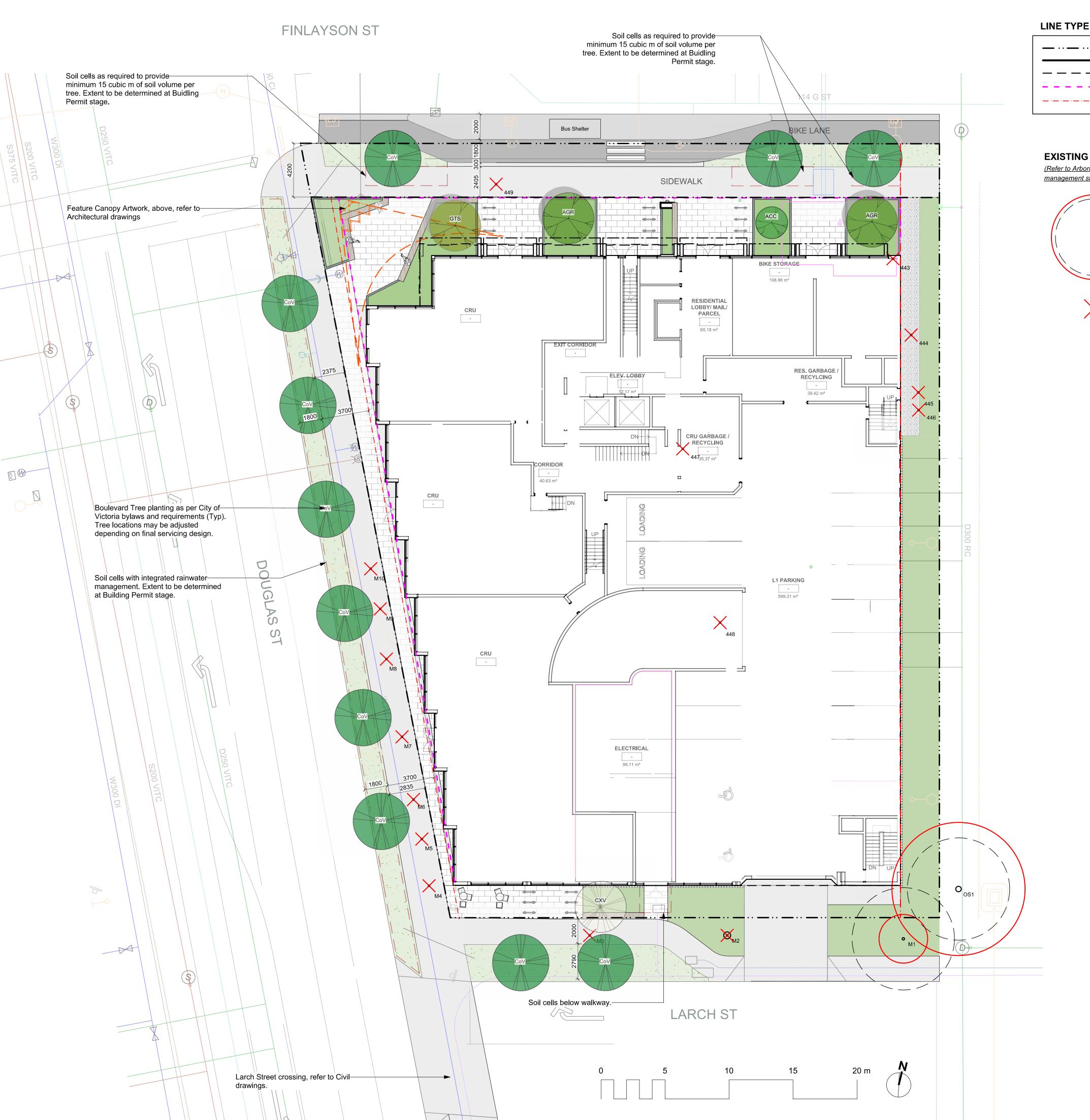
3075 Douglas St 3075 Douglas St Victoria, BC

sheet title

Tree Replacement

project no.	125.07
scale	1:150 @ 24"x36"
drawn by	SC/JR/TB
checked by	ТВ
sheet no.	

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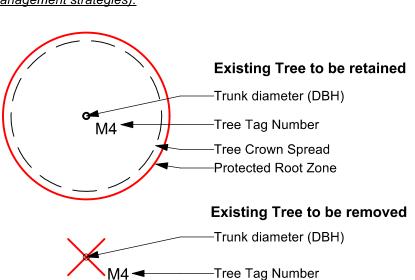


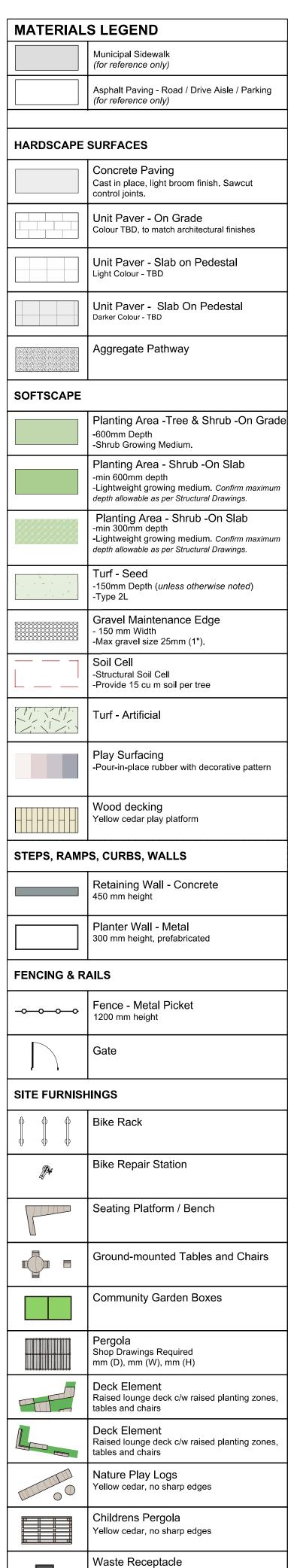
LINE TYPE LEGEND

Property line **Building Footprint** Extent of Roof / Canopy, above Extent of Parkade, below _ . _ . _ . _ . _ . _ . .

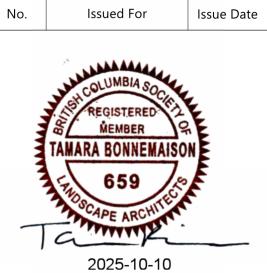
EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies).









Issued for DP

Issued for SD

Issued for Rezoning 2025-05.23

2025-10-10

2025-06-17

M'akola Development Services

Victoria, BC project

3075 Douglas St 3075 Douglas St Victoria, BC

107-731 Station Ave

sheet title

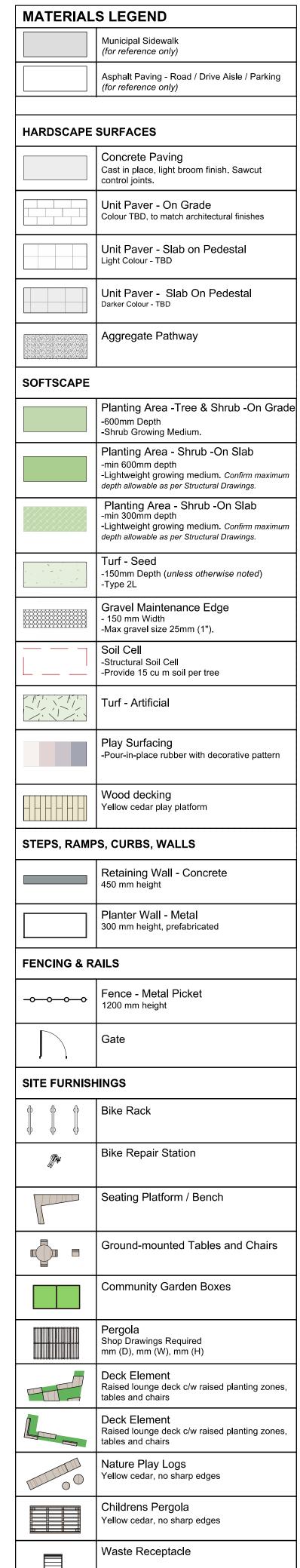
Landscape Materials

125.07 project no. scale 1:150 @ 24"x36" SC/JR/TB drawn by checked by sheet no.

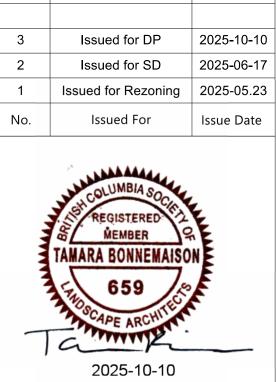
L1.01

FINLAYSON ST









project 3075 Douglas St 3075 Douglas St

107-731 Station Ave

M'akola Development Services

Victoria, BC

Victoria, BC

Landscape Materials - L2

ent
e deck c/w raised planting zones,
nairs

y Logs
, no sharp edges

project no.

project no. 125.07

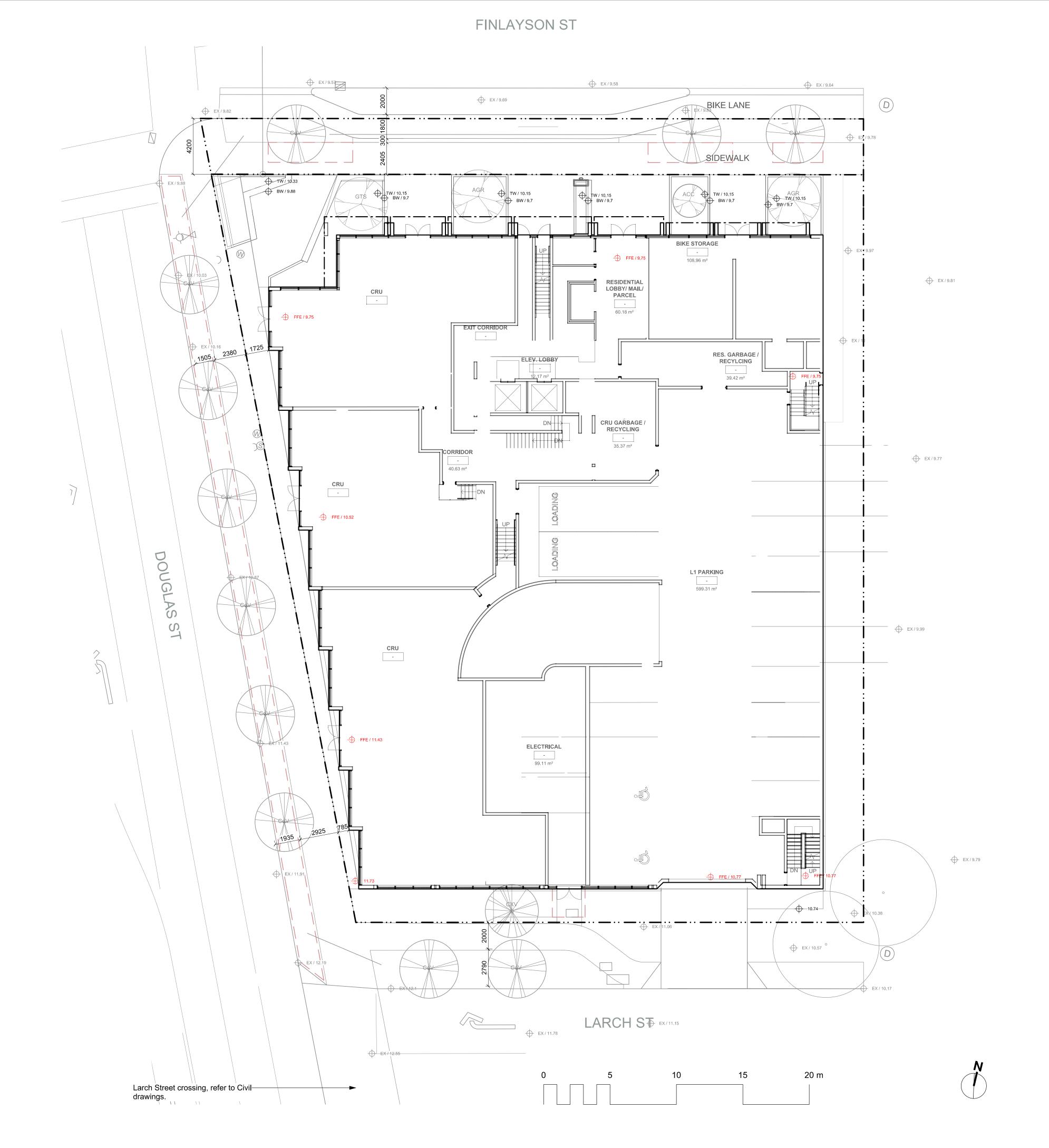
scale 1:150 @ 24"x36"

drawn by SC/JR/TB

checked by TB

sheet no.

L1.02



GRADING LEGEND

25.25 25.25 36.7% 24.25	Proposed Landscape Grade TOW Top of Wall BP Bottom of Pool BW Bottom of Wall TS Top of Stairs TOC Top of Curb BS Bottom of Stairs BC Bottom of Curb HP High Point TP Top of Pool LP Low Point		
25.25	Existing Grade		
25.25	Architectural grade, for reference only		
() 25.25	Civil Grade, for reference only		
/—(8.00)· - /	Proposed Landscape Contour		

LINE TYPE LEGEND

— · · — · · ·	Property line
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	SRW



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M'akola Development Services
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3075 Douglas St

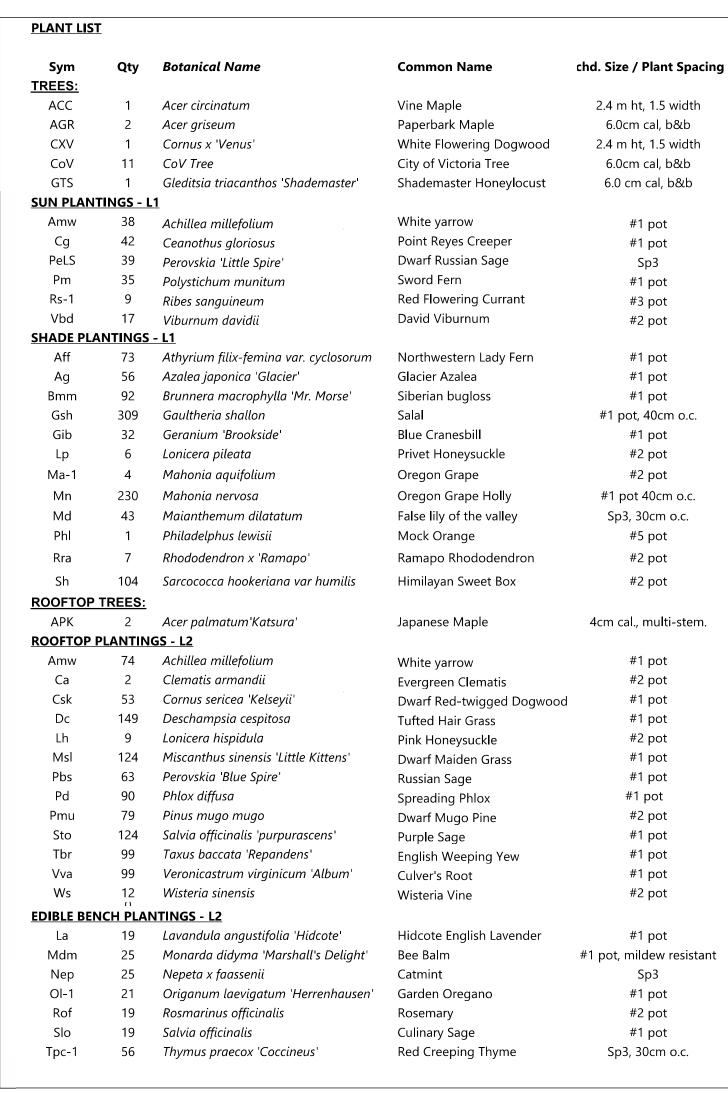
3075 Douglas St Victoria, BC

Landscape Grading & Drainage

	project no.		125.07
	scale	1:150	@ 24"x36"
	drawn by		SC/JR/TB
	checked by		ТВ
	sheet no.		

L2.01

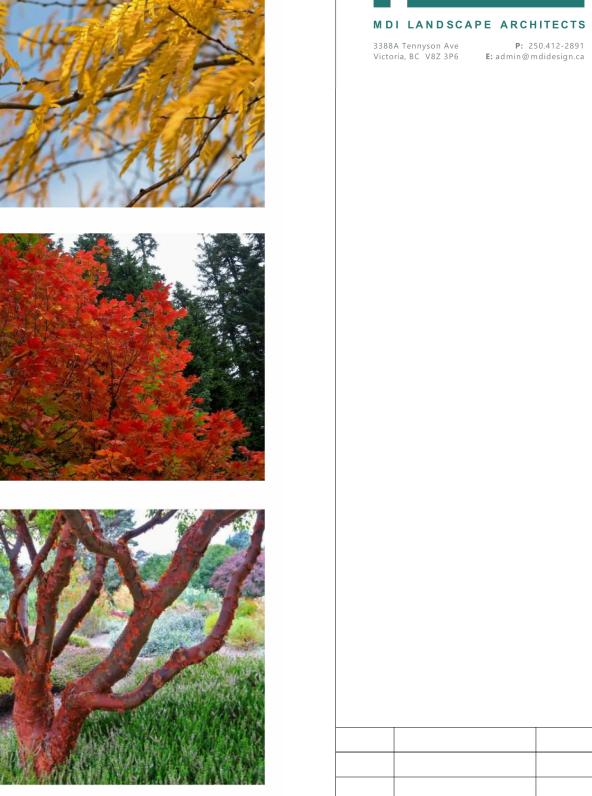


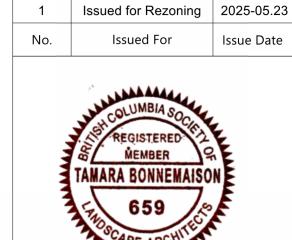




L1 - SHADE PLANTINGS

L2 - ROOFTOP PLANTINGS





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2025-10-10

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Victoria, BC

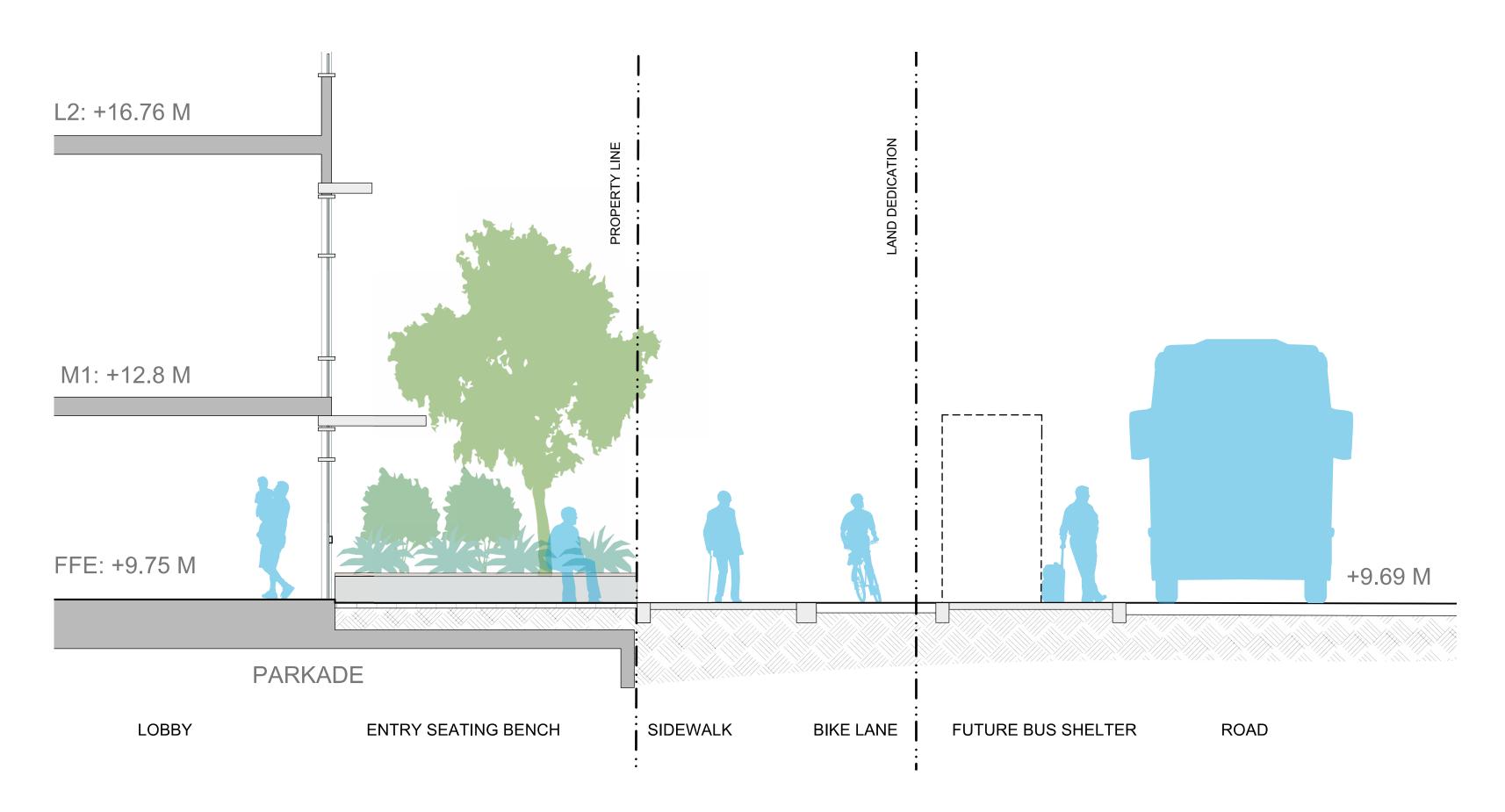
project 3075 Douglas St 3075 Douglas St Victoria, BC

sheet title

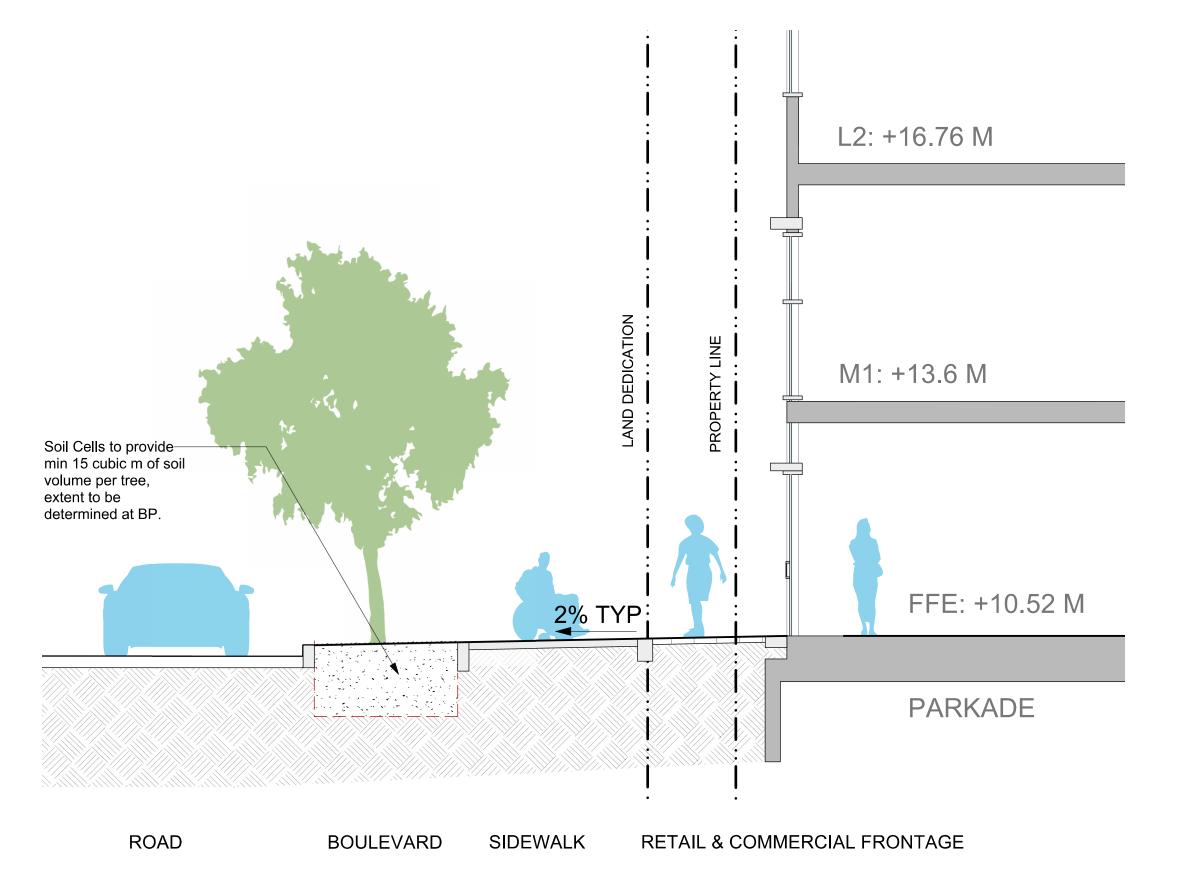
Planting - L1 & L2

project no.		125.07
scale	1:150	@ 24"x36"
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sheet no.		

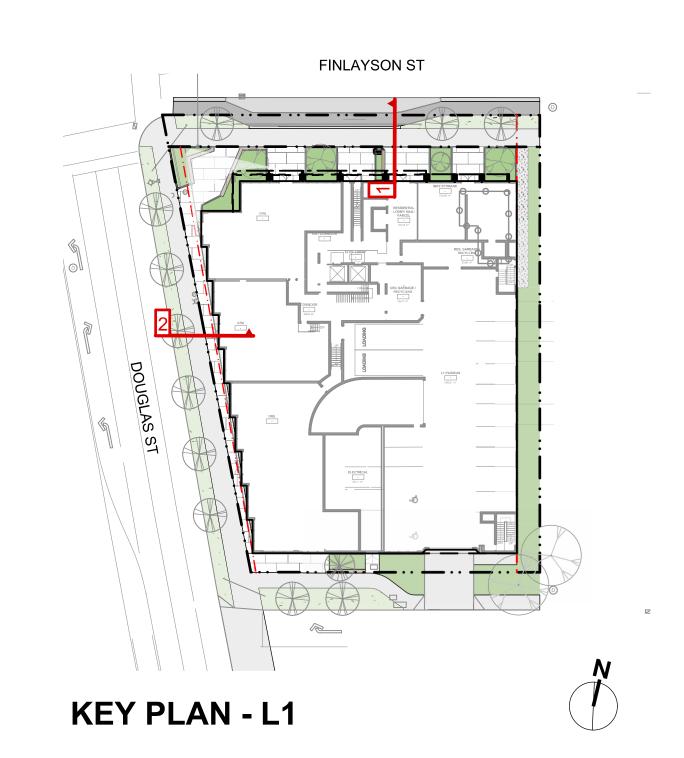
L3.01



1 Entry Lobby and Streetscape Section - Finlayson Street
Scale: 1:50

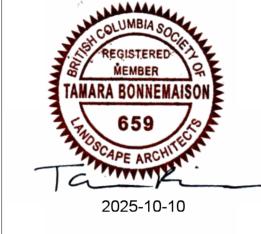


Retail and Streetscape Section - Douglas Street
Scale: 1:50





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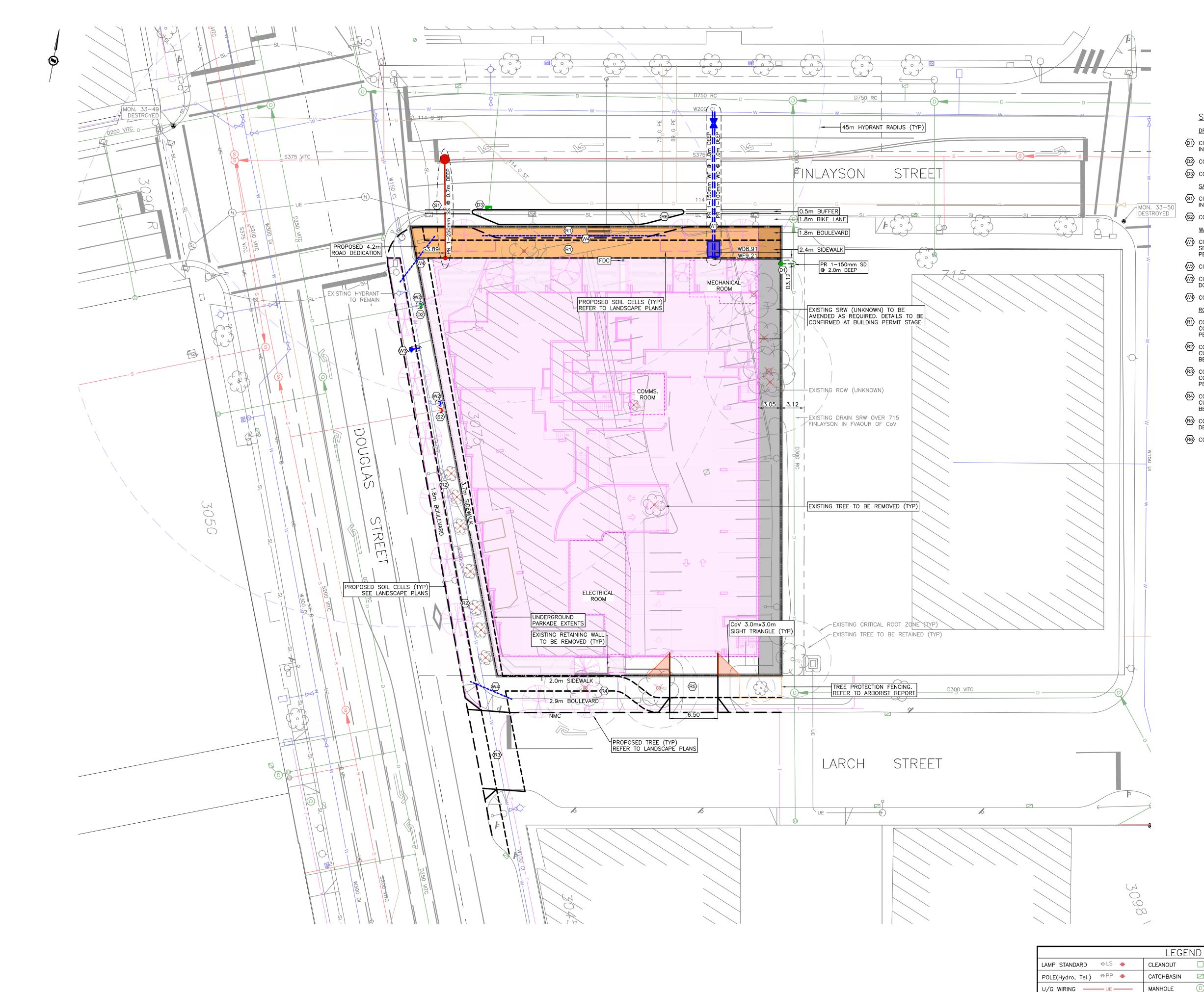
M'akola Development Services
107-731 Station Ave
Victoria, BC

project 3075 Douglas St 3075 Douglas St Victoria, BC

sheet title

Landscape Sections

project no.	125.07
scale	1:150 @ 24"x36"
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checked by	ТВ
sheet no.	
L4.01	



SHEET NOTES:

- (D1) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 150mm PVC DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- © CONTRACTOR TO CAP AND ABANDON EXISTING DRAIN SERVICE.
- (D3) CONTRACTOR TO REMOVE AND REPLACE EXISTING CATCHBASIN AS REQUIRED.
- (S1) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 250mm PVC SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (S2) CONTRACTOR TO CAP AND ABANDON EXISTING SANITARY SERVICE.
- (W) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 100mm PVC DOMESTIC AND 150mm PVC FIRE SERVICES TO PROPERTY LINE COMPLETE WITH WATER METER. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (V) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICE.
- (W3) CITY OF VICTORIA CREWS TO INSTALL PROPOSED IRRIGATION SERVICE COMPLETE WITH METER AND DOUBLE CHECK VALVE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (W) CONTRACTOR TO INSTALL IRRIGATION SLEEVING AS REQUIRED.

SERVICE RISER © OD

EDGE ASPHALT AIR VALVE

MOUNTABLE CURB

- (R1) CONTRACTOR TO REMOVE EXISTING FINLAYSON STREET FRONTAGE AND INSTALL NEW 1.8m BIKE LANE COMPLETE WITH 0.5m BUFFER, NON-MOUNTABLE CURB, 1.8m BOULEVARD, AND 2.4m SIDEWALK AS PER CITY OF VICTORIA SPECIFICATIONS. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- CONTRACTOR TO REMOVE EXISTING DOUGLAS STREET FRONTAGE AND INSTALL NEW NON-MOUNTABLE CURB, 1.8m BOULEVARD, AND 3.7m SIDEWALK AS PER CITY OF VICTORIA SPECIFICATIONS. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- CONTRACTOR TO EXTEND NEW SIDEWALK ACROSS LARCH STREET AND INSTALL CONCRETE DRIVEWAY COMPLETE DROP AS PER CITY OF VICTORIA SPECIFICATIONS. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- CONTRACTOR TO REMOVE EXISTING LARCH STREET FRONTAGE AND INSTALL NEW NON-MOUNTABLE CURB, 2.9m BOULEVARD, AND 2.0m SIDEWALK AS PER CITY OF VICTORIA SPECIFICATIONS. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- CONTRACTOR TO INSTALL PROPOSED CONCRETE DRIVEWAY AS PER CITY OF VICTORIA SPECIFICATIONS. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (R) CONTRACTOR TO INSTALL FLOATING BUS STOP. DETAILS TO BE CONFIRMED AT BUILDING PERMIT STAGE.

3075 DOUGLAS STREET PRELIMINARY SERVICING PLAN

Eng. Project No. 34923



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PRELIMINARY ONLY

V:_Projects\34923 - Makola - 3075 Dougals Street\05 - Engineering\03 - Drawings & Sketches (Eng)\34923 - PRODUCTION.dwg Plot Date: October 10, 2025