



937 View Street

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20-08-12
20-01-08
19-10-02

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Plot Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale 1 : 1 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Cover



Revisions
Bubbled areas indicate revisions
compared to the previously
submitted plans
Received Date
August 17, 2020

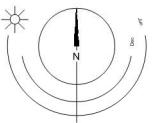


A000

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1 Context Plan Image
A001



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	H/C	Handicap	SPC	Solid Particleboard Core
ACT	Acrylic Tile	HM	Hollow Metal	ST	Structure
AFF	Above Finished Floor	HP	Hip Post	STL	Steel
AL	Aluminum	HSS	Hollow Steel Section	STN	Stained
AO	Auto-Opener	HW	Hardware	STNT	Stone Tile
AP	Annunciator Panel	INSUL	Insulated	SS	Stainless Steel
AS	Building Grade	LAM	Laminated Glass	SV	Sheet Vinyl Flooring
CEM	Concrete Backing Board	LP	Laminate Panel	TB	Towel Bar
Conc	Concrete	MDFB	Medium Density Fibreboard Base	T/D	Tempered / Double Glazed
CBL	Concrete Block	MR	Mirror	TLAM	Tempered Laminated Glass
CIL	Centrifuge	MP	Metal Panel	TGL	Tempered Glass
CT	Carpet Tile	OH	Overhead	TGL	Transparent Glass
CW	Ceramic Tile	OW	Operable Window	TOC	Top of Concrete
CPW	Complete With	PF	Prefinished	TOD	Top of Drain
DD	Deck Drain	PLAM	Plastic Laminate	TOI	Top of Insulation
EB	Electrolytic Storage	PLS	Plastic	TOP	Top of Carpet
EL	Elevation	PS	Pressed Steel	TOS	Top of Slab
EPC	Epoxy Polymer Coating	PT	Painted Steel Frame	TOW	Top of Wall
EV	Electric Vehicle Parking	PTD	Paper Towel Dispenser	TP	Toilet Paper
EXP A/G	Exterior Aggregate	PTDW	Paper Towel Dispenser / Waste	UNF	Unfinished for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
EXT	Exterior	PTW	Paper Towel Waste	UNL	Unless Noted Otherwise
FD	Floor Drain	RA	Roof Anchor	U/S	Underside of...
FEC	Fire Extinguisher Cabinet	RB	Rubber Base	VCT	Vinyl Composition Tile
FIE	Fire-Resistant Floor Elevation	RES	Resilient Flooring	VIS	Vinyl Impact Sheet
FG	Finished Grade	RD	Roof Drain	VT	Vinyl Tile
GB	Grab Bar	RD-P	Roof Drain - Planter	VWC	Vinyl Wall Covering
GBL	Glass Block	RWL	Rain Water Leader	WC	Water Closet
G	Glass	SAFI	Safety Fibrous Insulation	WD	Wool
GWG	Glass Reinforced Wire Glass	SCW	Solid Core Wood	WPM	Waterproof Membrane
GBW	Gypsum Wallboard	SD	Soap Dispenser	WRC	Water Repellent Coating
HC	Hollow Core	SL	Sealer		
HCW	Hollow Core Wood	SP	Spandrel Glass		

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM	ROOM NAME & ROOM NUMBER
201	201
101a	DOOR NUMBER See Door Schedule
W-10	WINDOW NUMBER See Window Schedule
W1	WALL TYPE See Assemblies Schedule
2.0 hr	RATED WALL DESIGNATION
0.00	ELEVATION DATUM
2440	CEILING HEIGHT
■■■	AREA OF DROP CEILING
1	KEYNOTE SYMBOL
12	MATERIAL TAG
1 A901	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES

PROJECT DESCRIPTION

CIVIC ADDRESS:
937 VIEW STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A, OF LOTS 785, 786, and 787, VICTORIA CITY.
BLK 3559

PROPOSED USE:
18 STOREY RESIDENTIAL BUILDING

EXISTING ZONE:
R-48 HARRIS GREEN

PROPOSED ZONE:
R-48

DEVELOPMENT PERMIT AREA: DPA 713 (HC)

SITE AREA: 1 572.3 m² (16 924 s.f.)

FLOOR AREA:

RESIDENTIAL Level 1: 628.72 m² (6 768 s.f.)

RESIDENTIAL Level 2: 818.54 m² (8 811 s.f.)

RESIDENTIAL Level 3-6: 838.07 m² (8 999 s.f.) x 4 = 3 344.29 m²

RESIDENTIAL Level 7-10: 764.41 m² (8 288 s.f.) x 4 = 3 057.62 m²

RESIDENTIAL Level 11-17: 610.36 m² (6 570 s.f.) x 7 = 4 272.53 m²

AMENITY Level 18: 382.47 m² (4 117 s.f.)

TOTAL PROPOSED: 12 504.17 m² (134 595 s.f.)

FLOOR SPACE RATIO: 7.95 FSR

SITE COVERAGE: 80%

OPEN SITE SPACE: 20%

GREEN STORMWATER INFRASTRUCTURE: 180.54 m² (1 943 s.f.)
*Minimum 30% of paving area, refer to Landscape drawing L1.02

GRADE OF BUILDING: 17.7 m (GEODETIC AVG GRADE)
See Site Plan for Grade Calculations

HEIGHT OF BUILDING: 54.0 m

SETBACKS:

FRONT (View Street): 3.5 m

REAR (S): N/A

SIDE (E): N/A

SIDE (W): N/A

NUMBER OF STOREYS: 18 STOREYS

SUITE COMPOSITION:

Studio < 25m²: 107 Suites

1 Bed / 1 Bath < 5m²: 51 Suites

1 Bed / 1 Bath > 45m²: 107 Suites

2 Bed / 2 Bath > 45m²: 2

TOTAL: 267 SUITES

RESIDENTIAL PARKING: N/A

COMMERCIAL PARKING: N/A

BICYCLE PARKING:

Required Long Term: (51 x 1.25) + (216) = 280

Provided Long Term: 280 (23% EB)

Required Short Term: (267 x 0.1) = 27

Provided Short Term: 27 (30% Total)

OPENING DRAWS:

18 STOREYS

STRUCTURAL CONSULTANT:

BMZ Suite #501 - 510 Burrard Street

Vancouver, BC V6C 2T5

MECHANICAL:

Avalon Mechanical Consultants Ltd.

1245 Esquimalt Rd #300,

Victoria, BC V9A 3P2

Jamie Clarke

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Bijan Valagohar

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Victoria, BC V8Z 1G1

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fax: 250.475.3611

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fax: 250.590.4382

SCampden@heroldengineering.com

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Chris Craudoy

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fax: 250.361.1235

craudoy@morrisonhershfield.com

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS

Ref. 3.2.6.1 (1)(d)

REFERENCED DOCUMENTS:

BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

CANADIAN STANDARDS ASSOCIATION B651-18

MAJOR OCCUPANCY CLASSIFICATION:

GROUP C - RESIDENTIAL

BUILDING AREA:

12 504.17 m² (134 595 s.f.)

BUILDING HEIGHT:

18 STOREYS

NUMBER OF STREETS FACING:

1

ACCESSIBLE FACILITIES:

ACCESSIBLE ENTRANCE

CONSTRUCTION REQUIREMENTS:

3.2.4.7 GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

NON-COMBUSTIBLE CONSTRUCTION WITH 2 HR MIN. FIRE

RESISTANCE RATING TO FLOORS AND LOADBEARING

WALLS.

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS

BC LAND SURVEYORS SITE PLAN OF:

Civic: 937 View Street

Legal Lot A. of Lots 785, 786, and 787,
Victoria City, Plan 36505

Parcel Identifier: 000-410-233
in the City of Victoria

LEGEND

Tree diameters are in centimetres

Area Lot A = 1572.3m²

THE PLAN OF.

View Street

A Plan 26363

No. 1147

Easement Plan EFP68/161
Easement - K13/87

1 Plan 17055

1 Plan 36636

1 Plan 46462

No. 926 Rem 776

No. 938

1:150 Distances are in metres.

December 13, 2016

File : 9,929-16
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
Phone (250) 382-8855

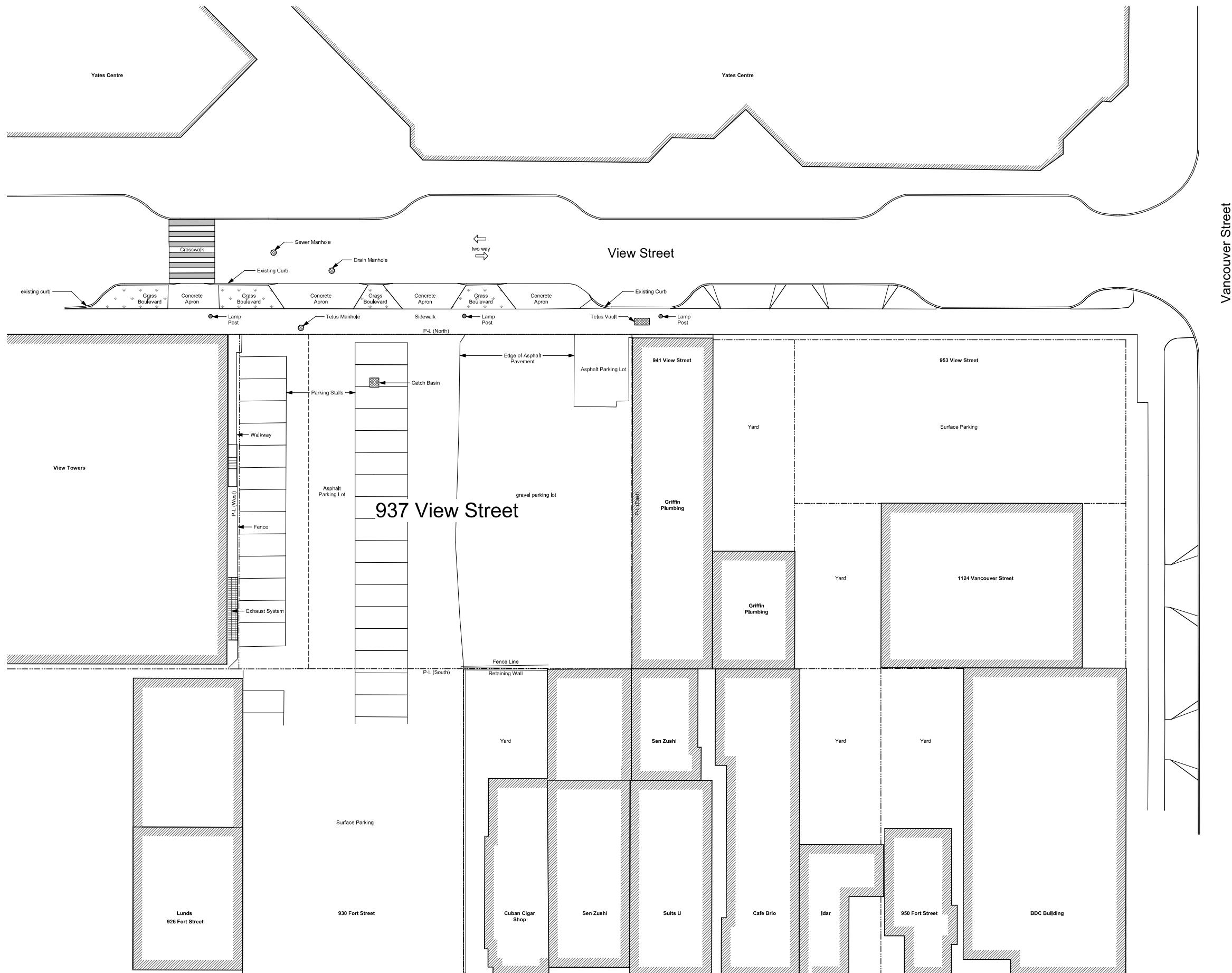
Scale-1:150 Distances

The intended print size is 18" by

View Street
Residential
937 View Street
Survey

A100

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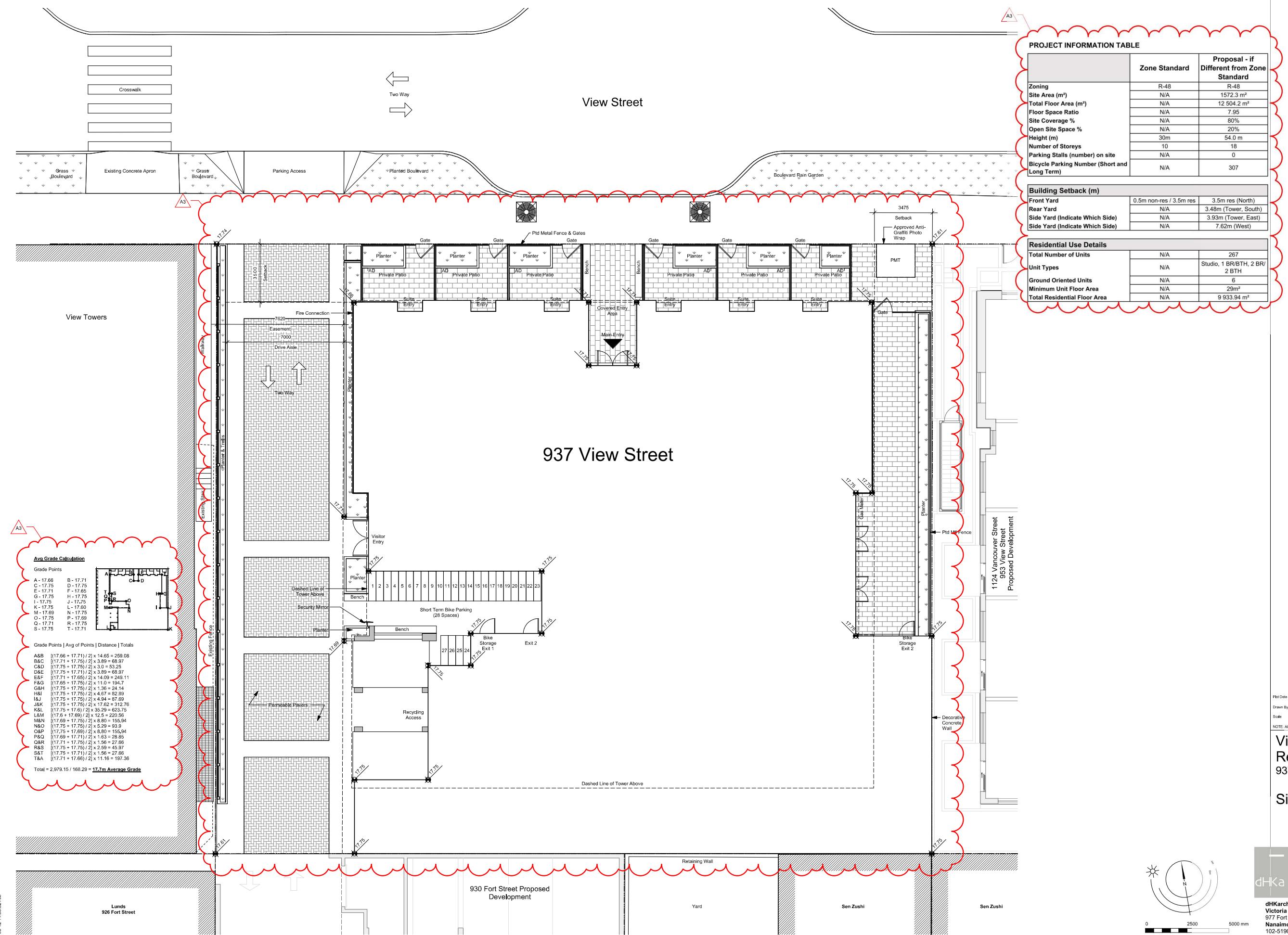
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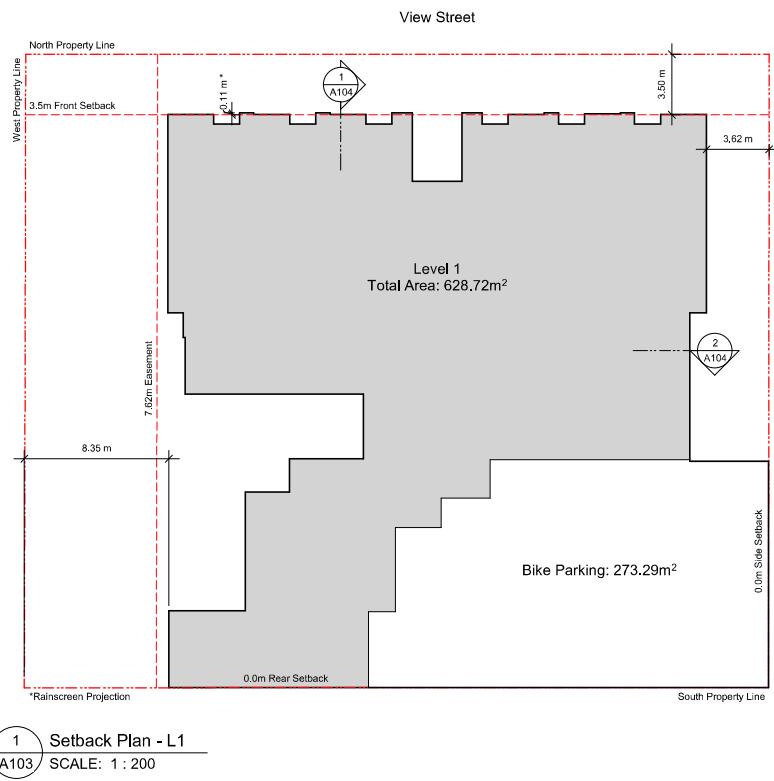
View Street Residential
937 View Street
Site Plan *[Signature]*
REGISTERED ARCHITECT
RICHARD J. HARRIS
BRITISH COLUMBIA
2020-08-12

dHKa A101

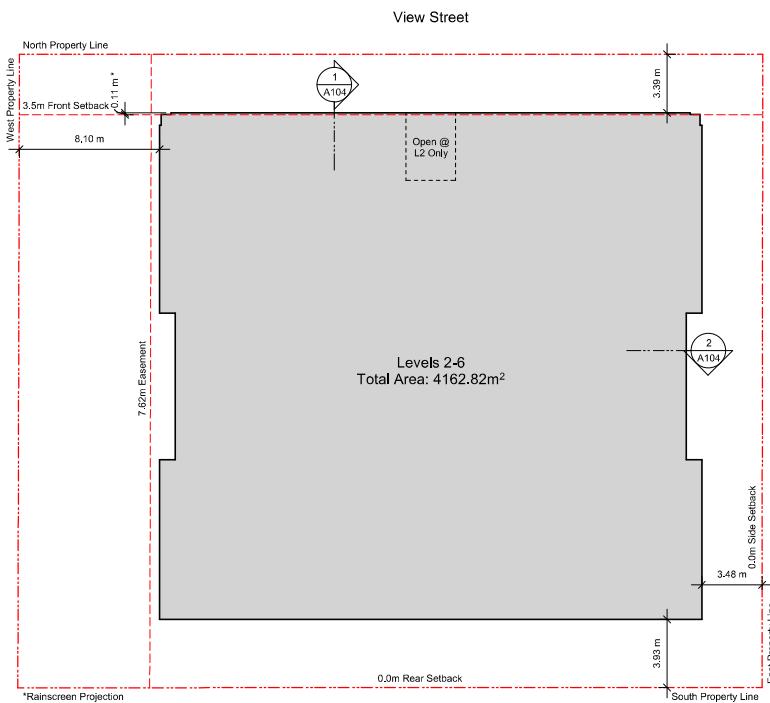
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1:200

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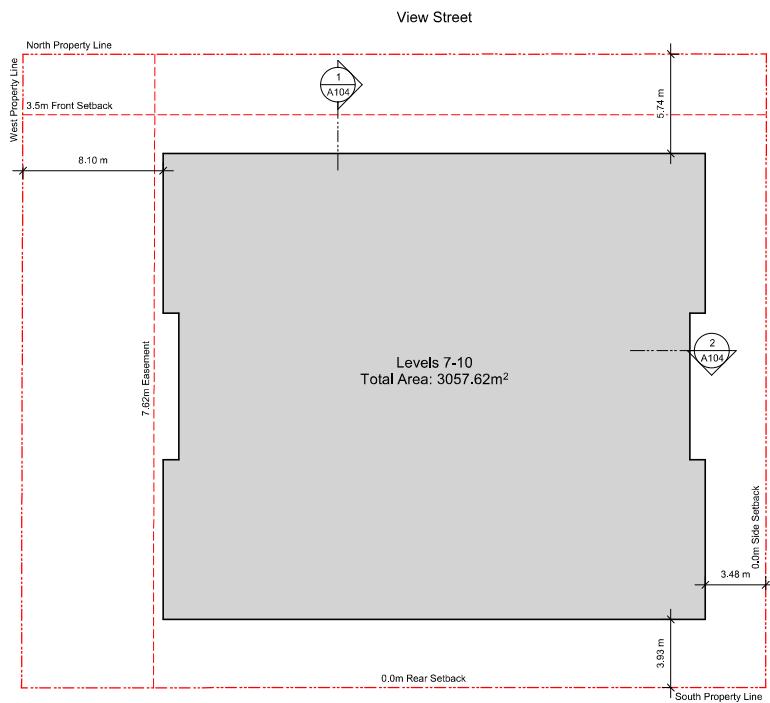




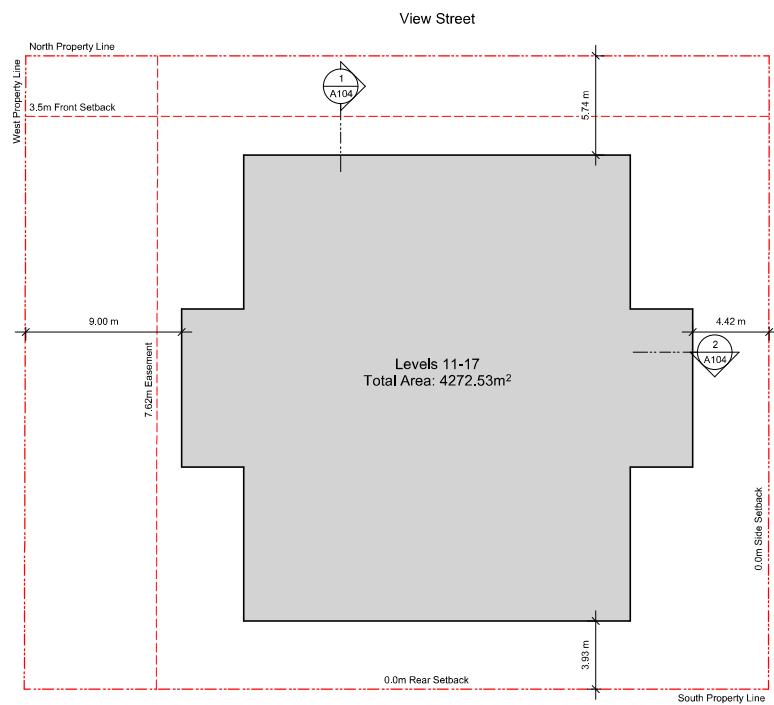
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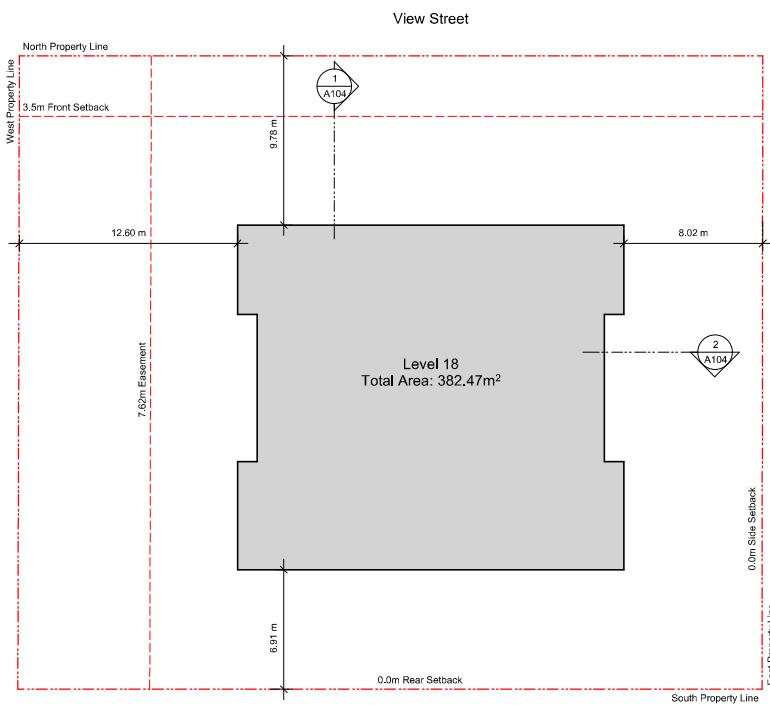
2 Setback Plan - L2-L6
A103 SCALE: 1 : 200



3 Setback Plan - L7-L10
A103 SCALE: 1 : 200



4 Setback Plan - L11-L17
A103 SCALE: 1 : 200



5 Setback Plan - L18
A103 SCALE: 1 : 200

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View Street
Residential
937 View Street
Setback Plan

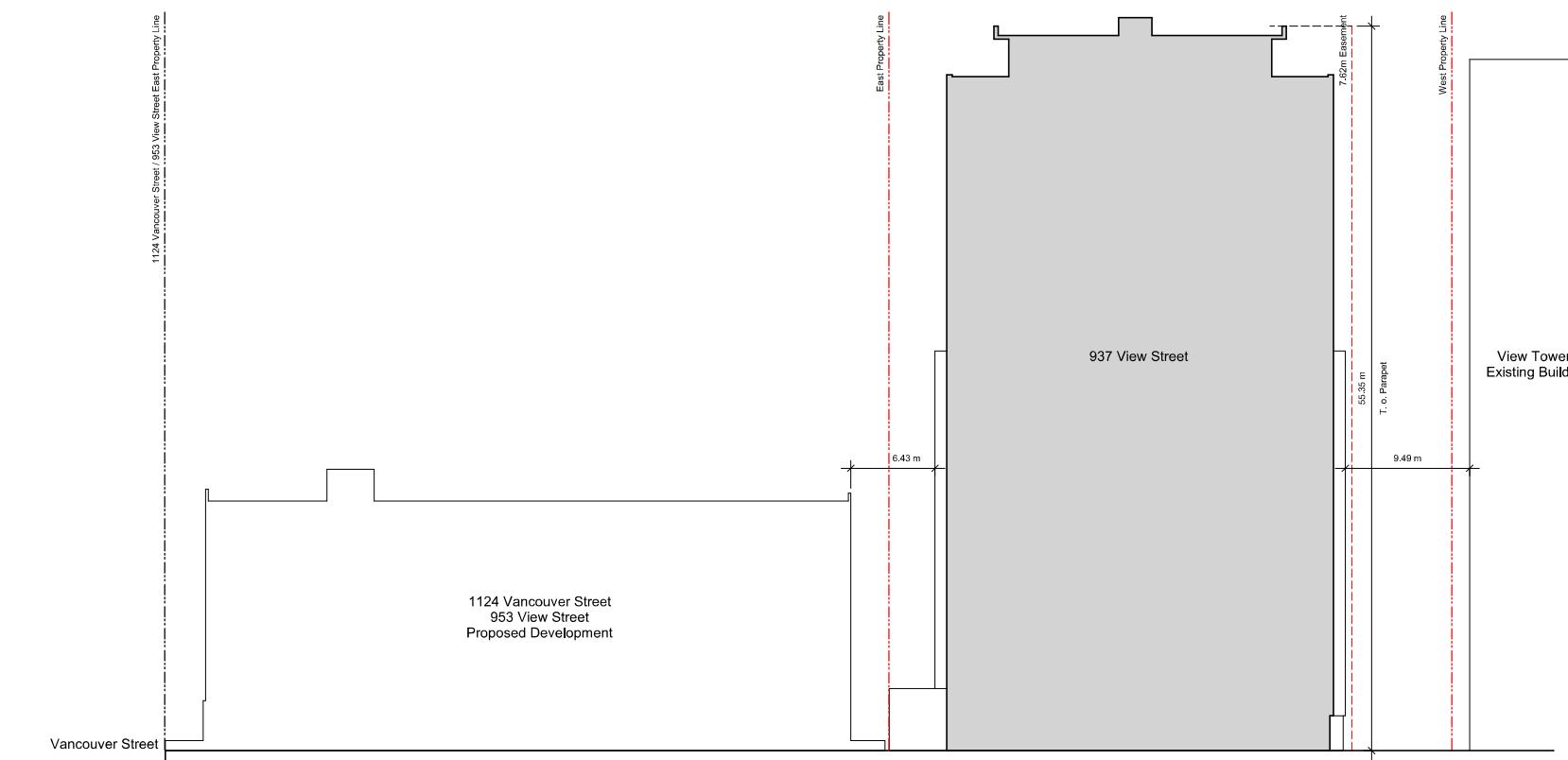
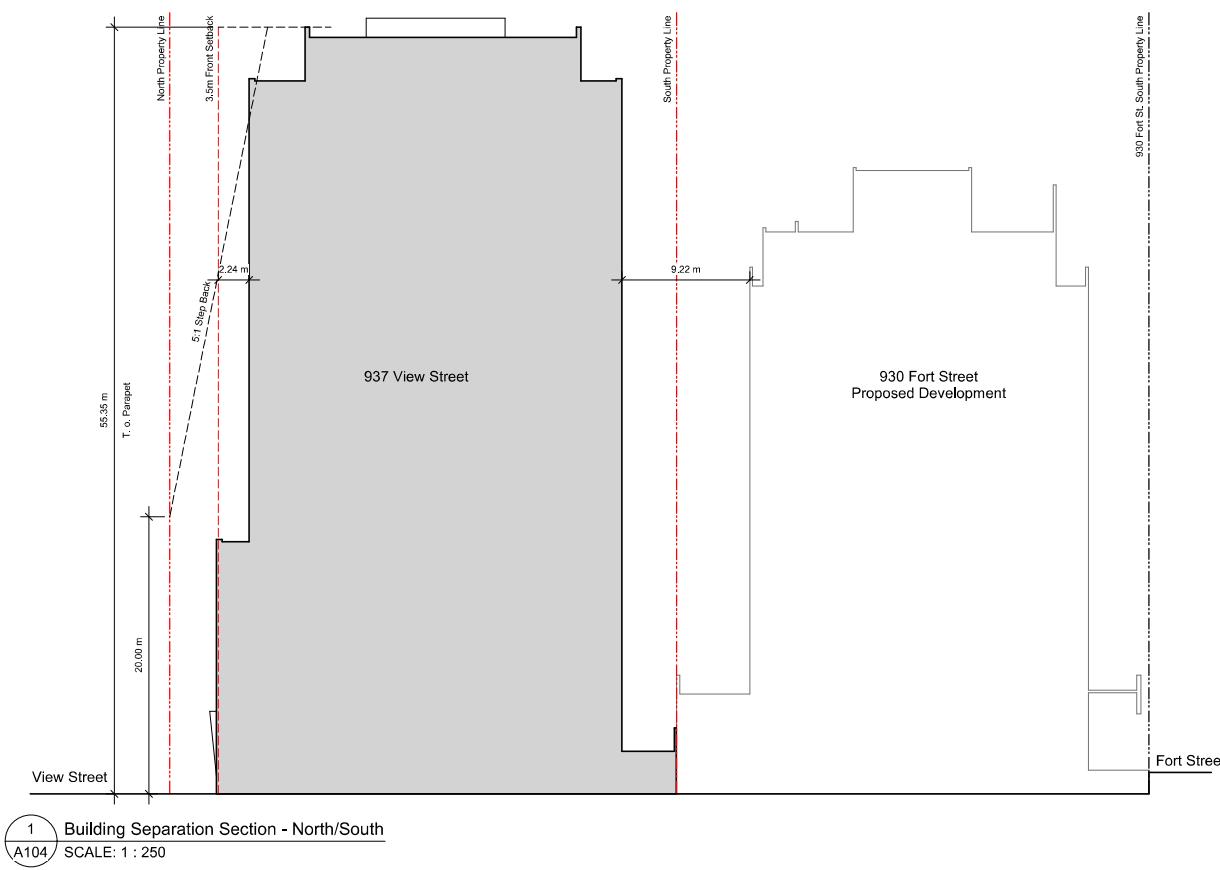


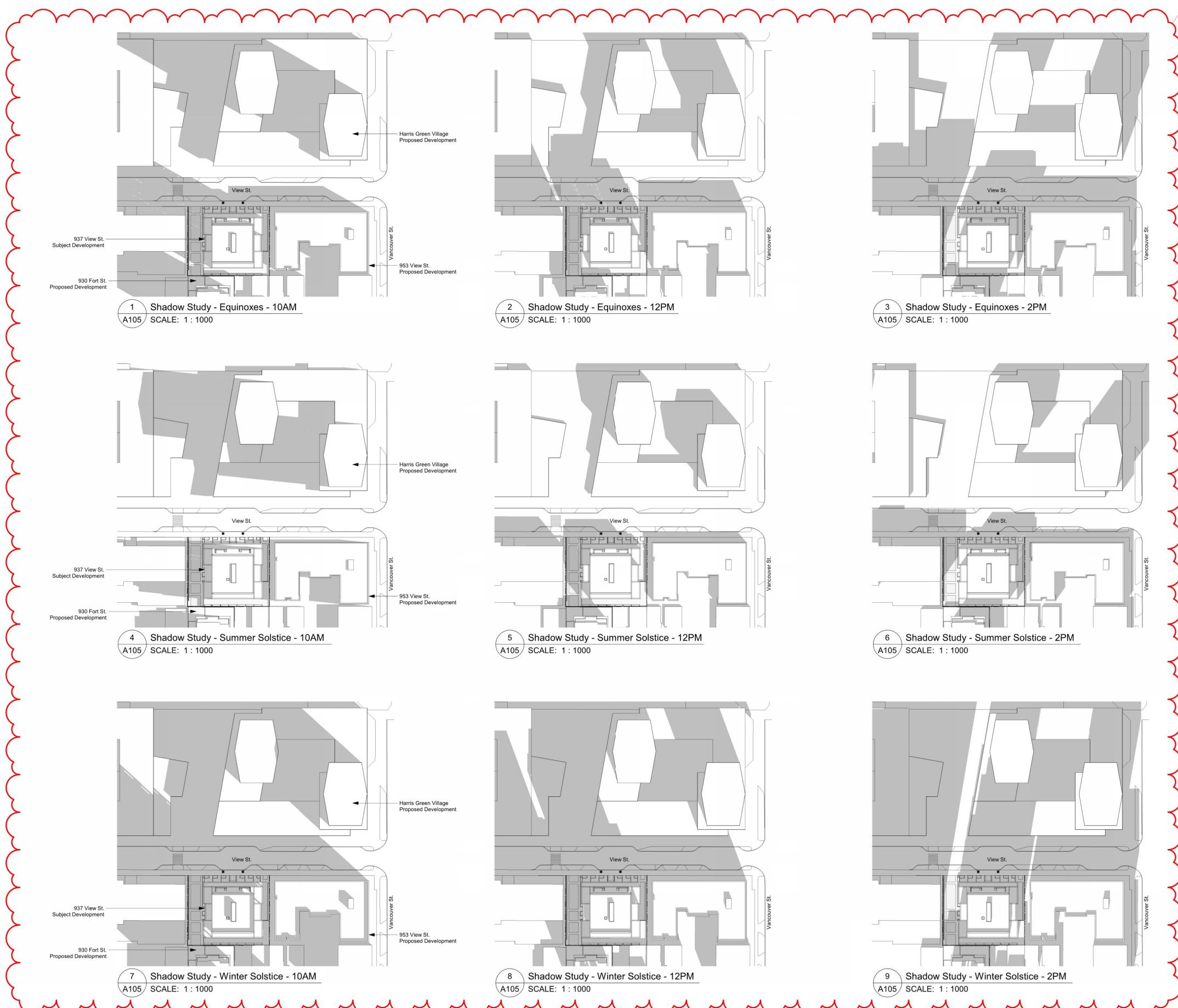
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General Notes

1. 930 Fort Street outline based on Development Permit 5th Resubmission dated 2018-05-16.
2. 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit Submission dated 2019-11-07.





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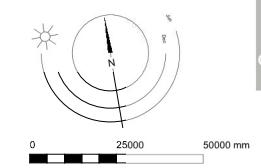
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937 View Street

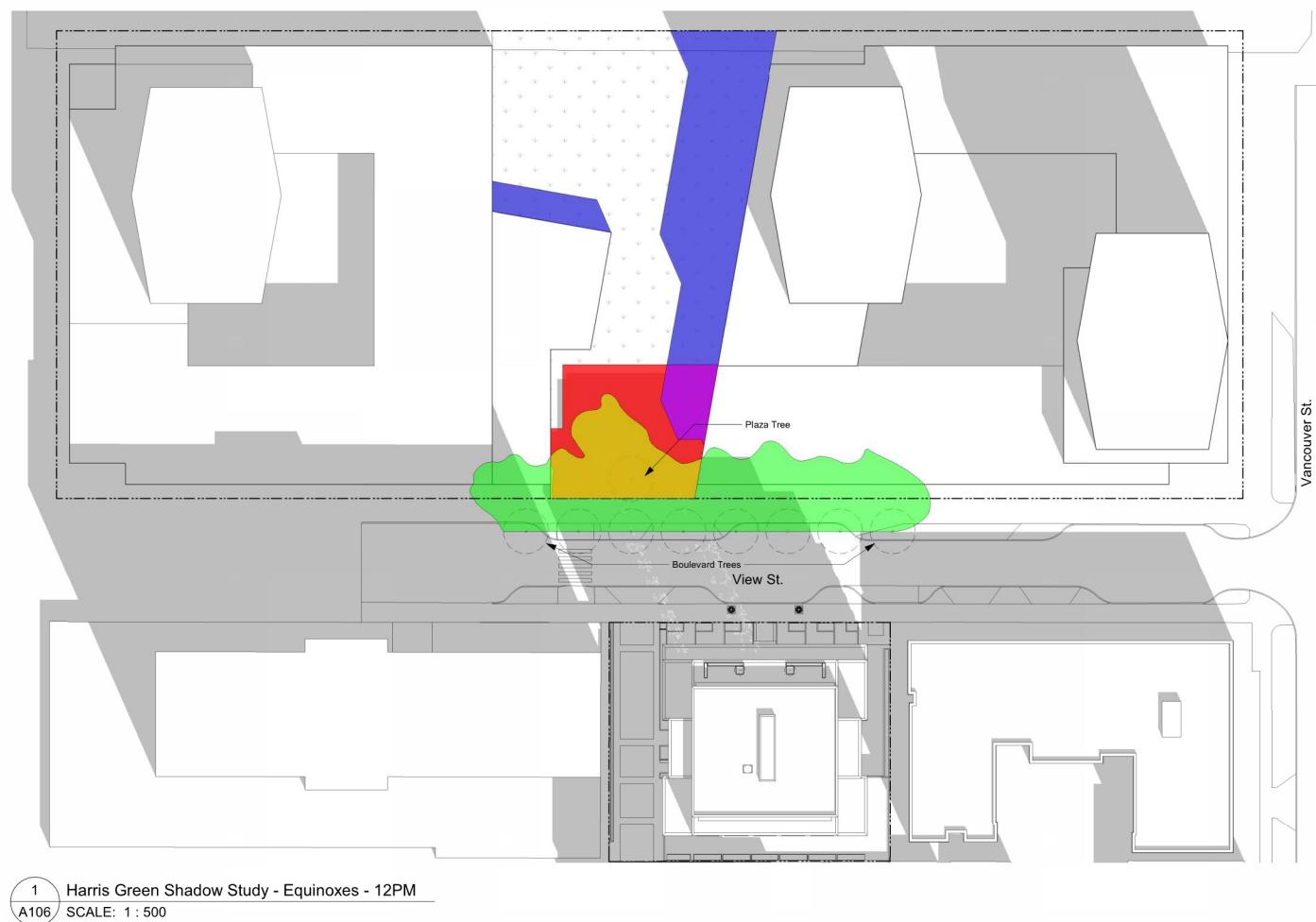
Site Configuration
Shadow A (2020-08-13)



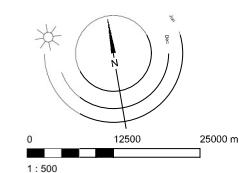
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Plaza Total Area (m ²)	2134.361	
Shadowing Component	Shadowed Area	Percentage of Plaza Coverage
Landscape (Trees) Shadow	224.939	10.5%
Harris Green Towers Shadow	729.624	34.2%
937 View Street Tower Shadow	464.831	21.8%
Total Area of Plaza Shaded Exclusively by 937 View Street	163.252	7.6%



Sheets Taken from Harris Green Village Rezoning Application Dated 2020-01-30

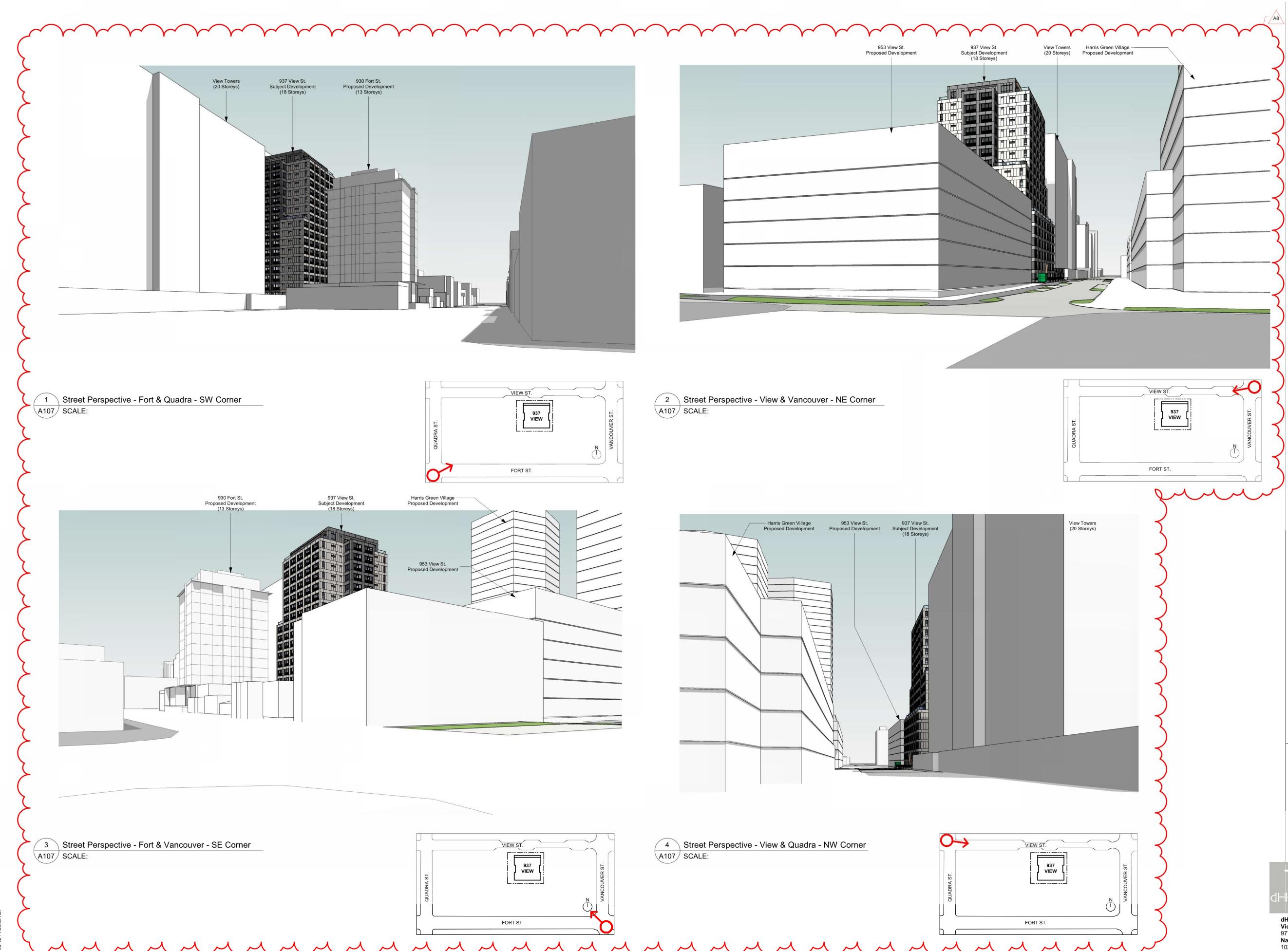


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View Street Residential
937 View Street
Site Configuration
Green Impact

REGISTERED ARCHITECT
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2020-08-12

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View Street
 Residential
 937 View Street
 Site Configuration
 Views



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937 View Street

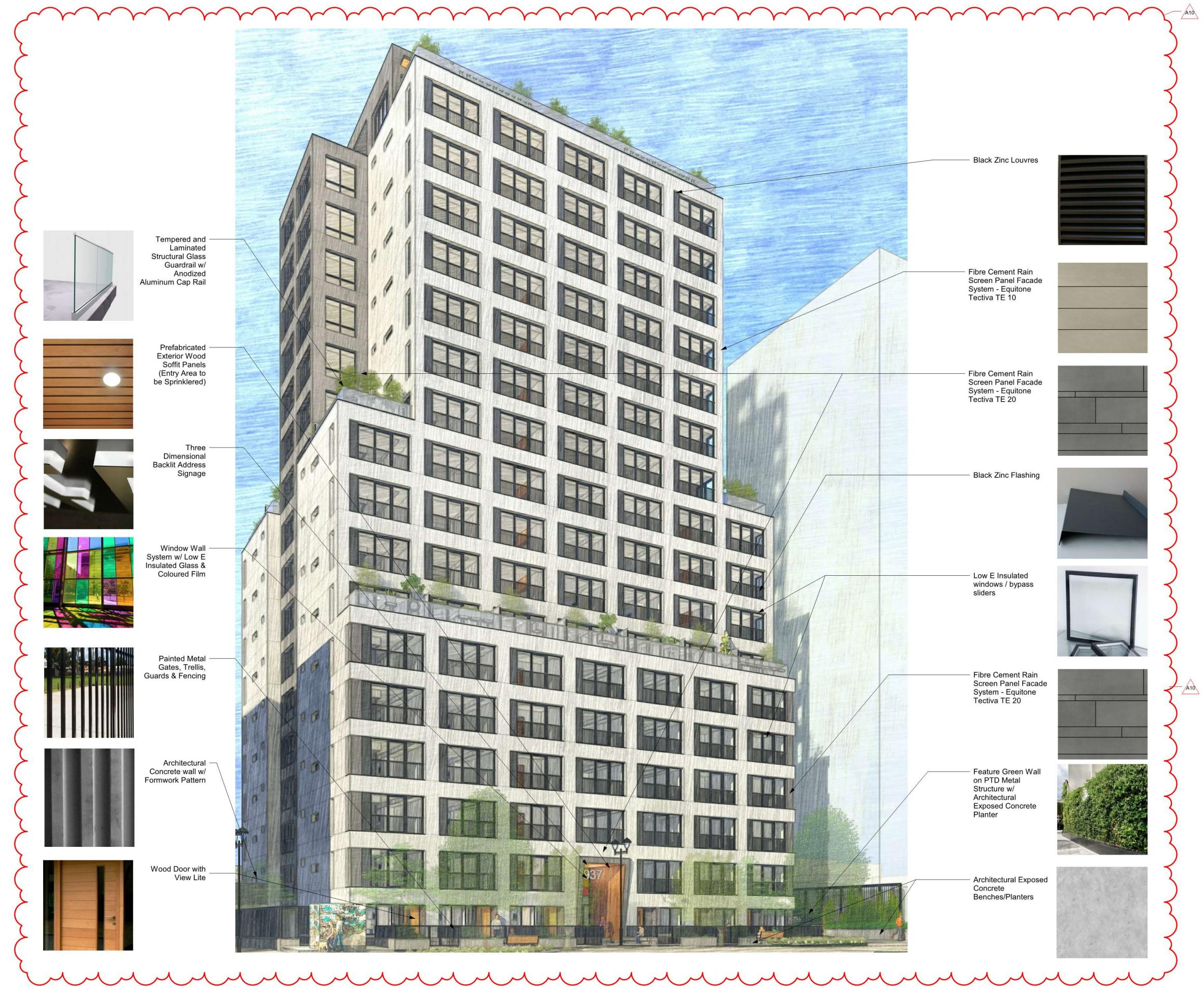
Site Configuration
Elevations

2020-08-12

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View Street
Residential
937 View Street

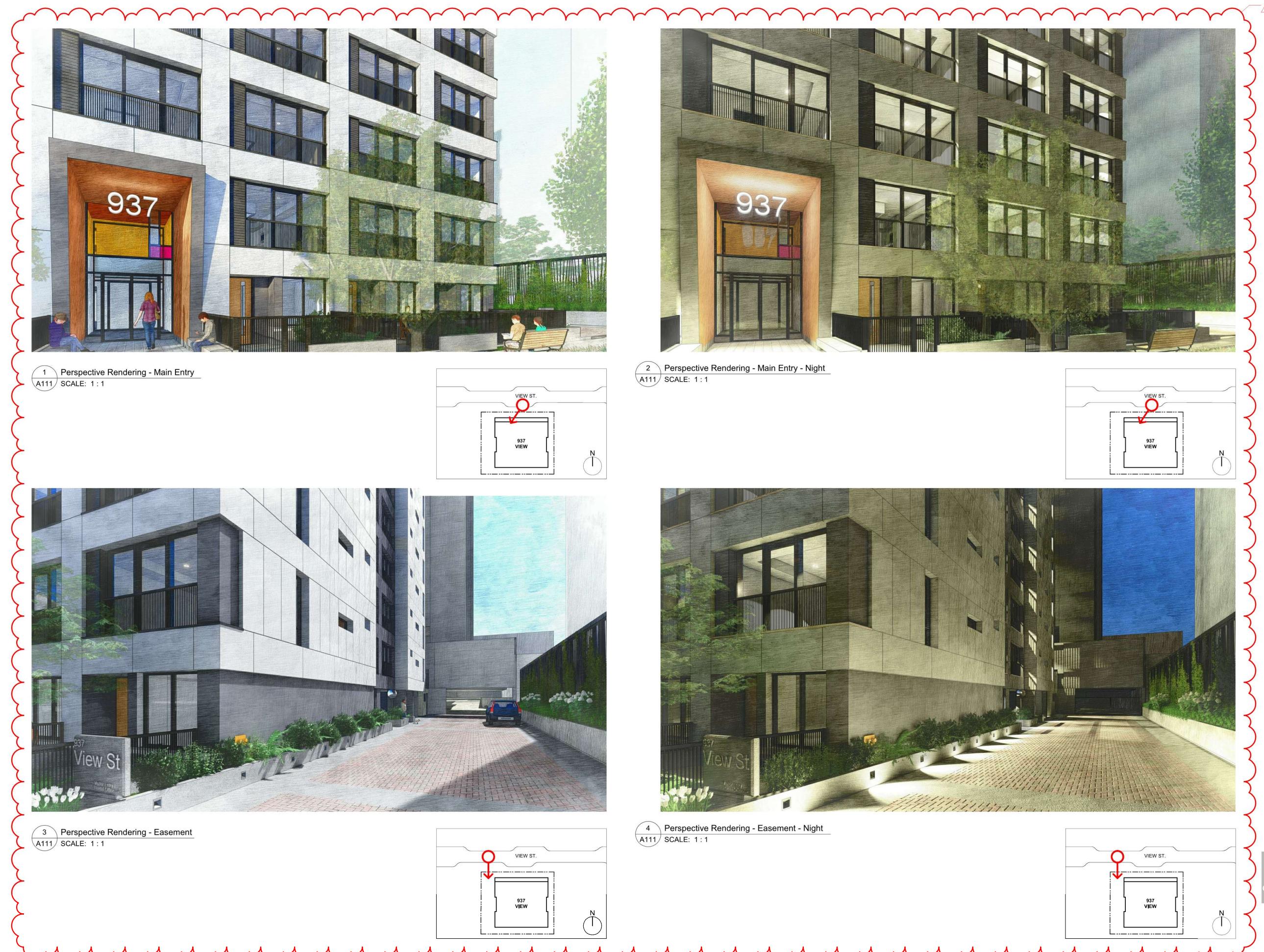


Site Confi
Materials

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View Street
Residential
937 View Street

Site Con...
Rendered
2020-08-32



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ADM 1922

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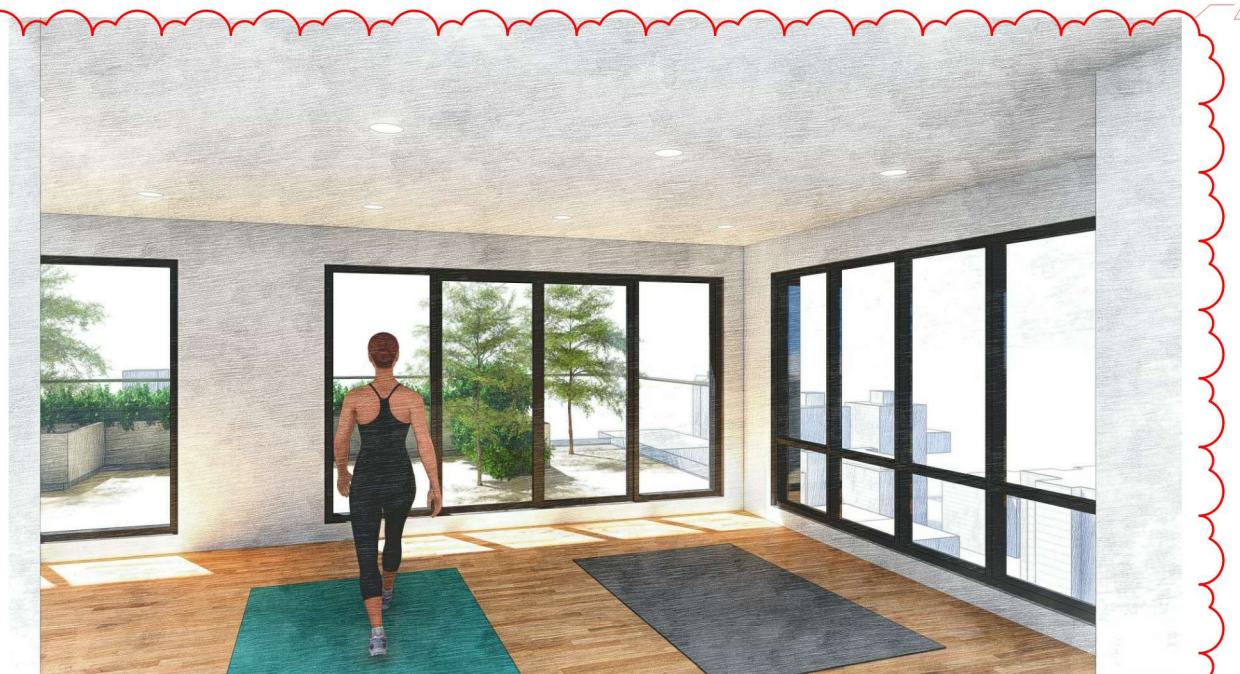
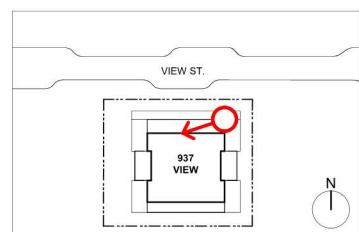
View Street
Residential
937 View Street

Site Configuration
Rendered: 2020-08-32
BY: RICHARD KARLSEN
REGISTERED ARCHITECT
BRITISH COLUMBIA

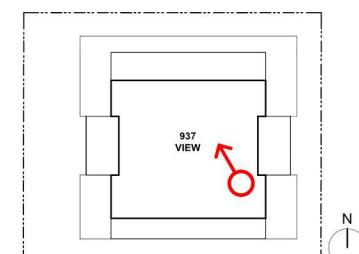
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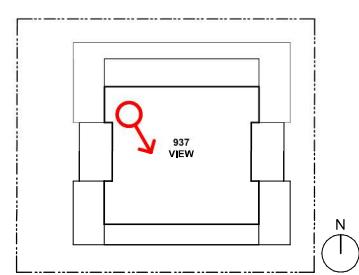
1 Perspective Rendering - L18 North Terrace
A113 SCALE: 1:1



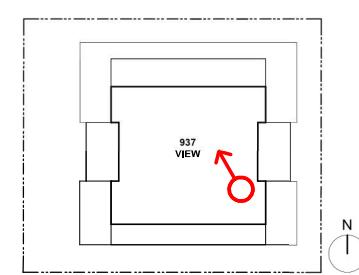
2 Perspective Rendering - L18 South Terrace
A113 SCALE: 1:1



3 Perspective Rendering - L18 Amenity
A113 SCALE: 1:1



4 Perspective Rendering - L18 Fitness
A113 SCALE: 1:1



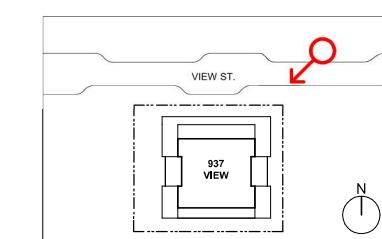
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View Street
Residential
937 View Street
Site Configuration
Rendered 2020-08-32



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20-08-12
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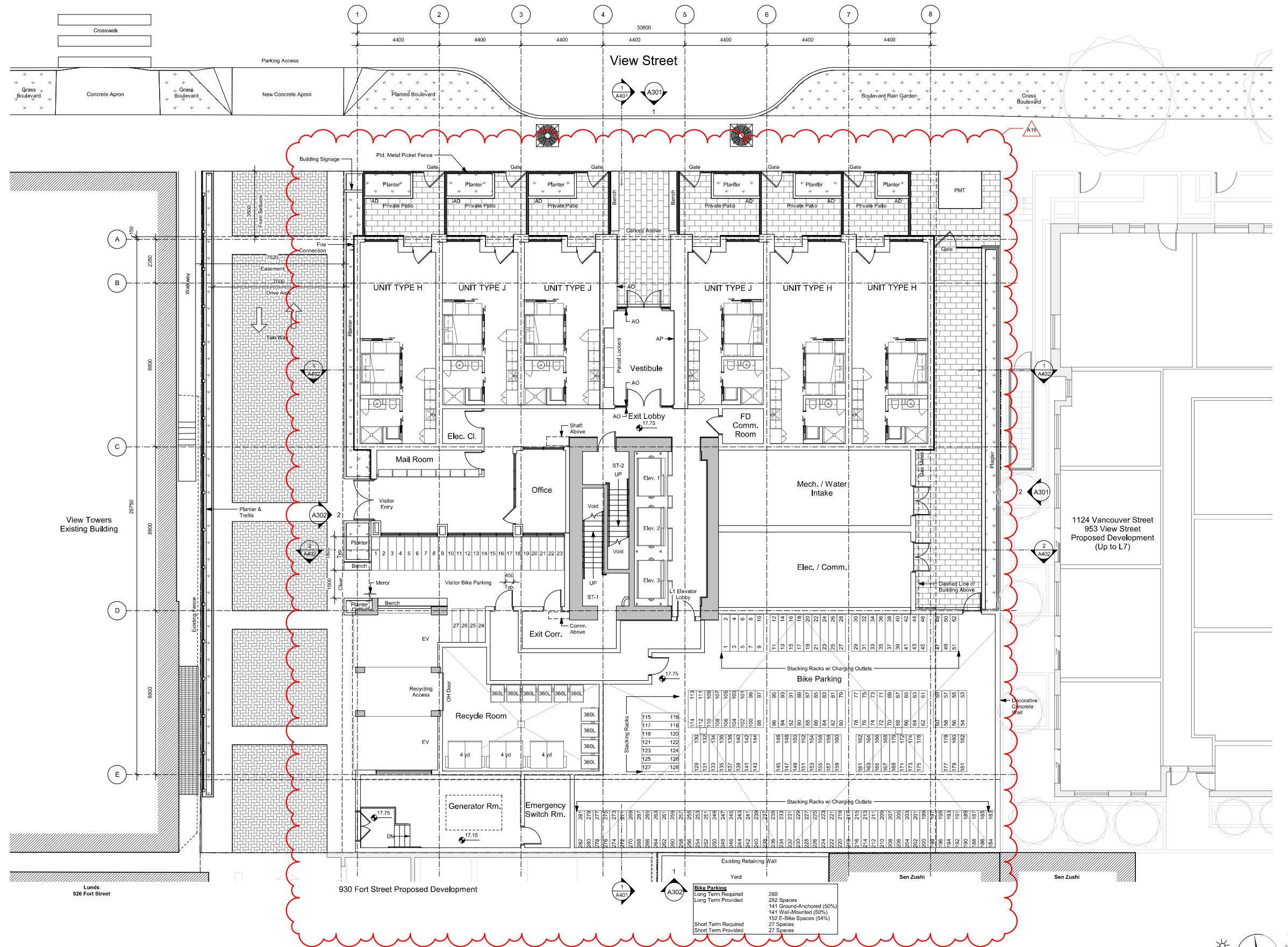
View Street
Residential
937 View Street

Site Con...
Rendered



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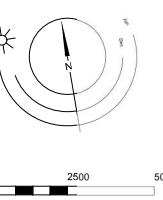


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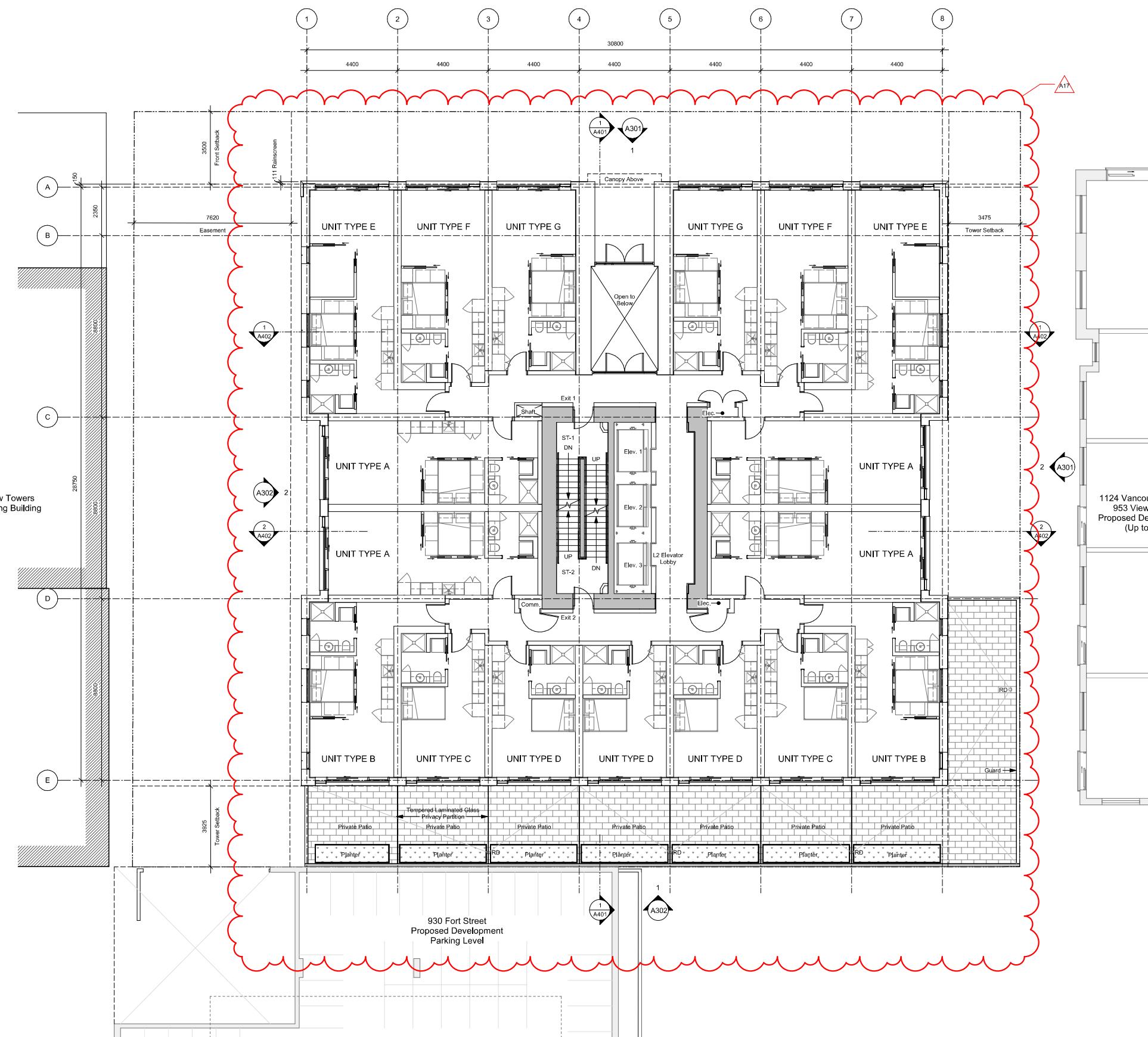
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Plt Date 20/08/12 Drawing File
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Scale 1:100 Project Number 1922

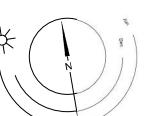
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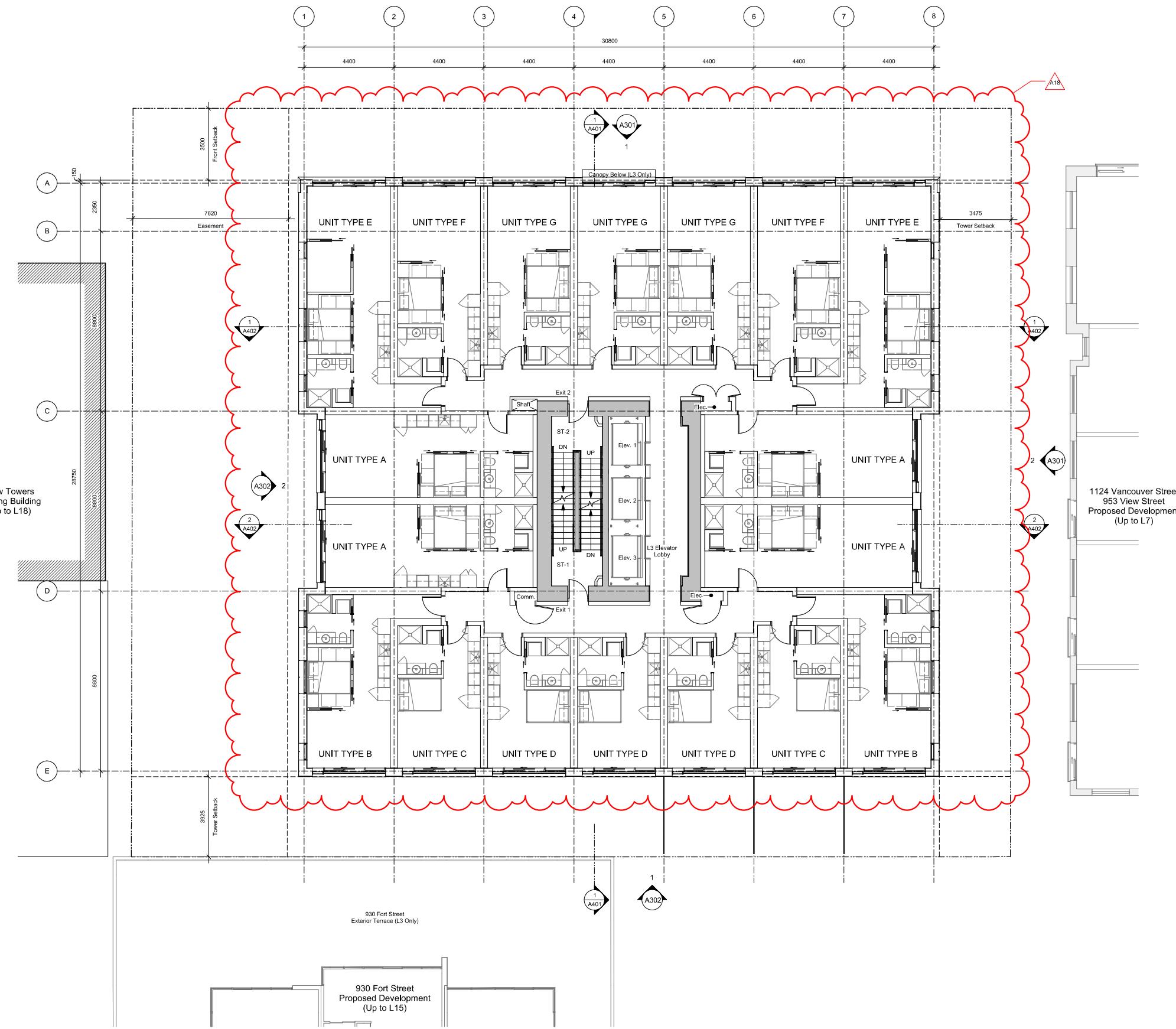
View Street
Residential
937 View Street
Level 2



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**View Street
Residential
937 View Street**

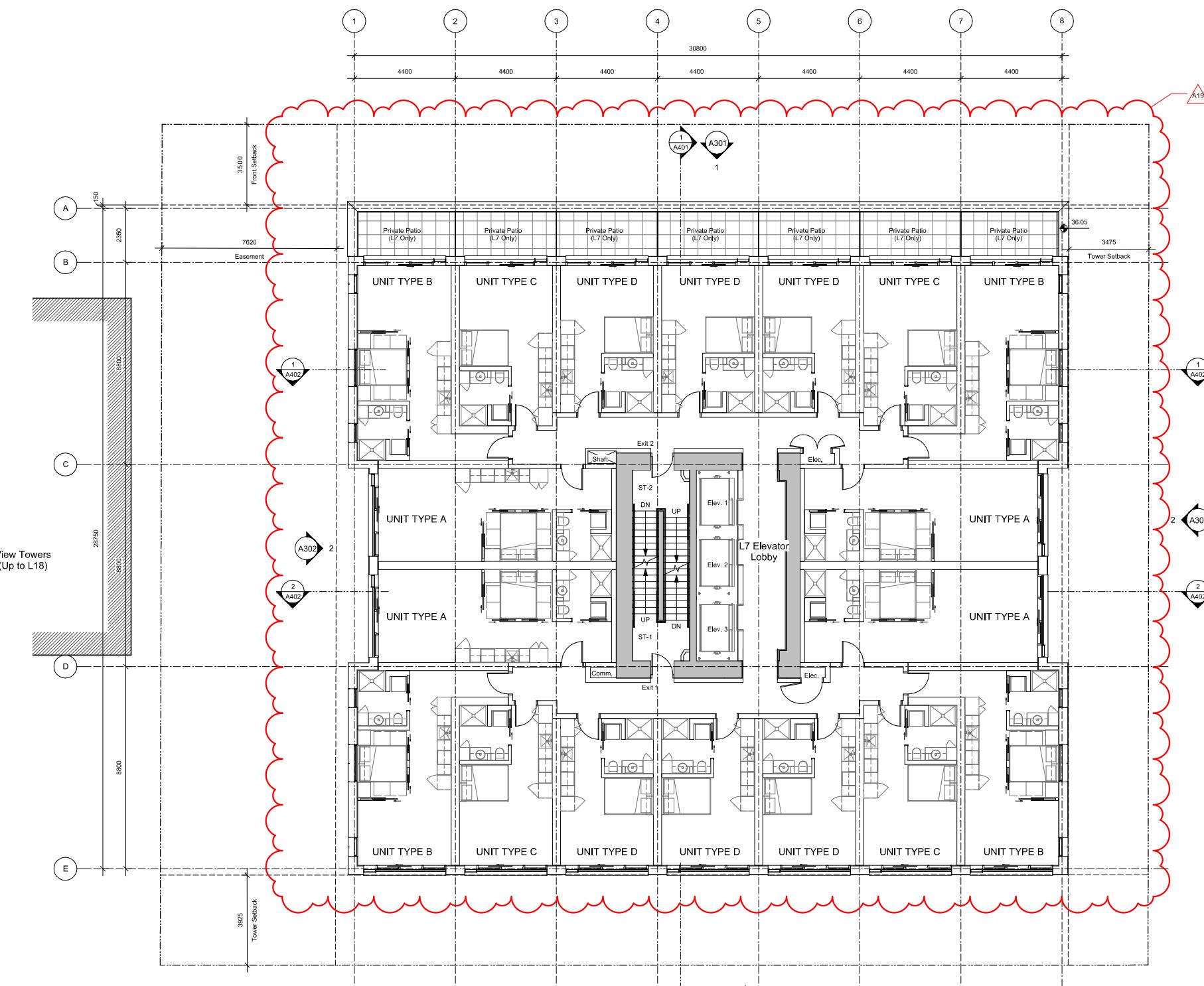
Levels 3-6 ~~Plat~~



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A203

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1124 Vancouver Street
953 View Street
Proposed Development
(Below)

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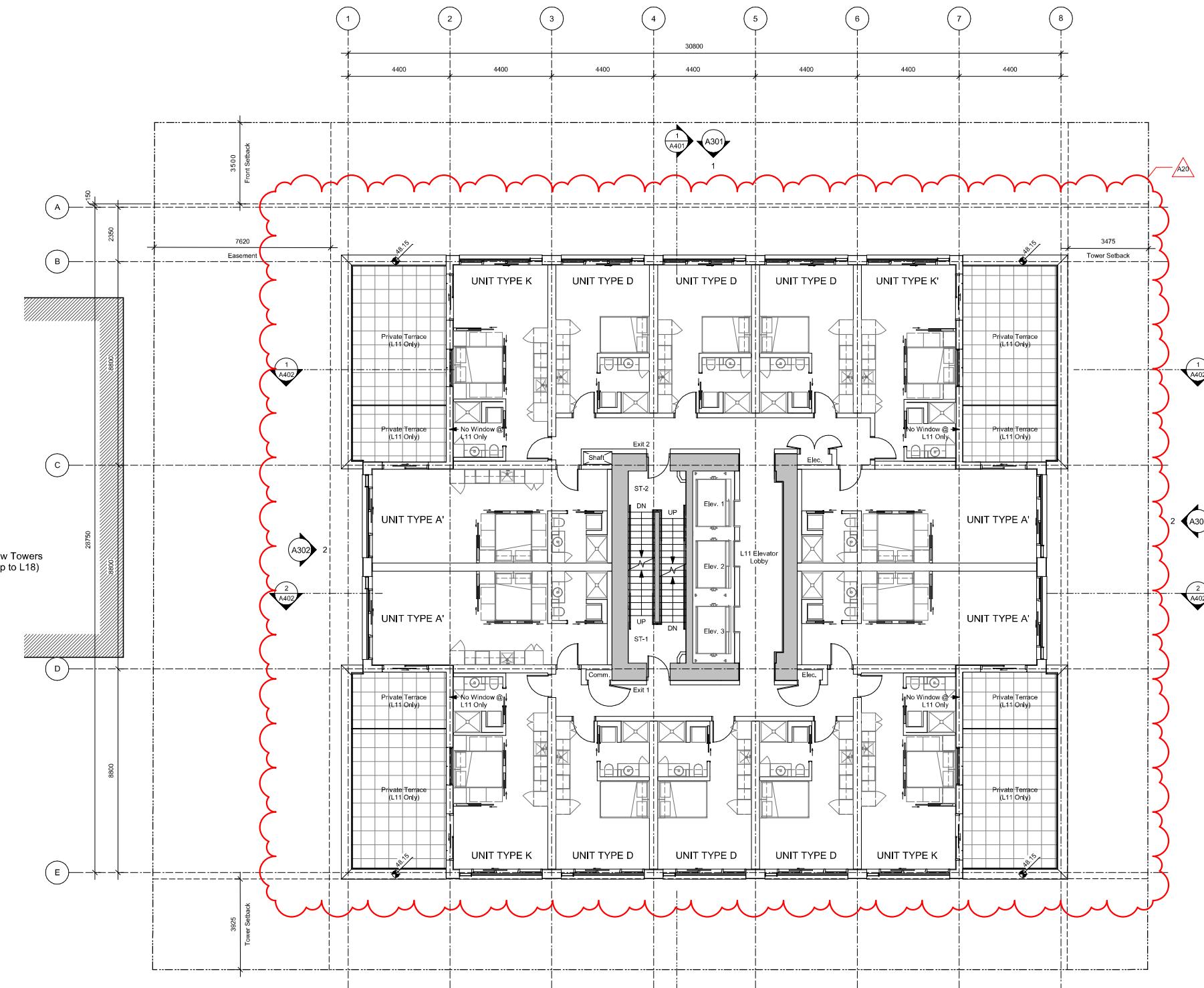
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View Street
Residential
937 View Street
Levels



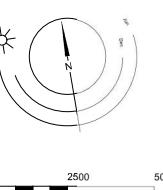
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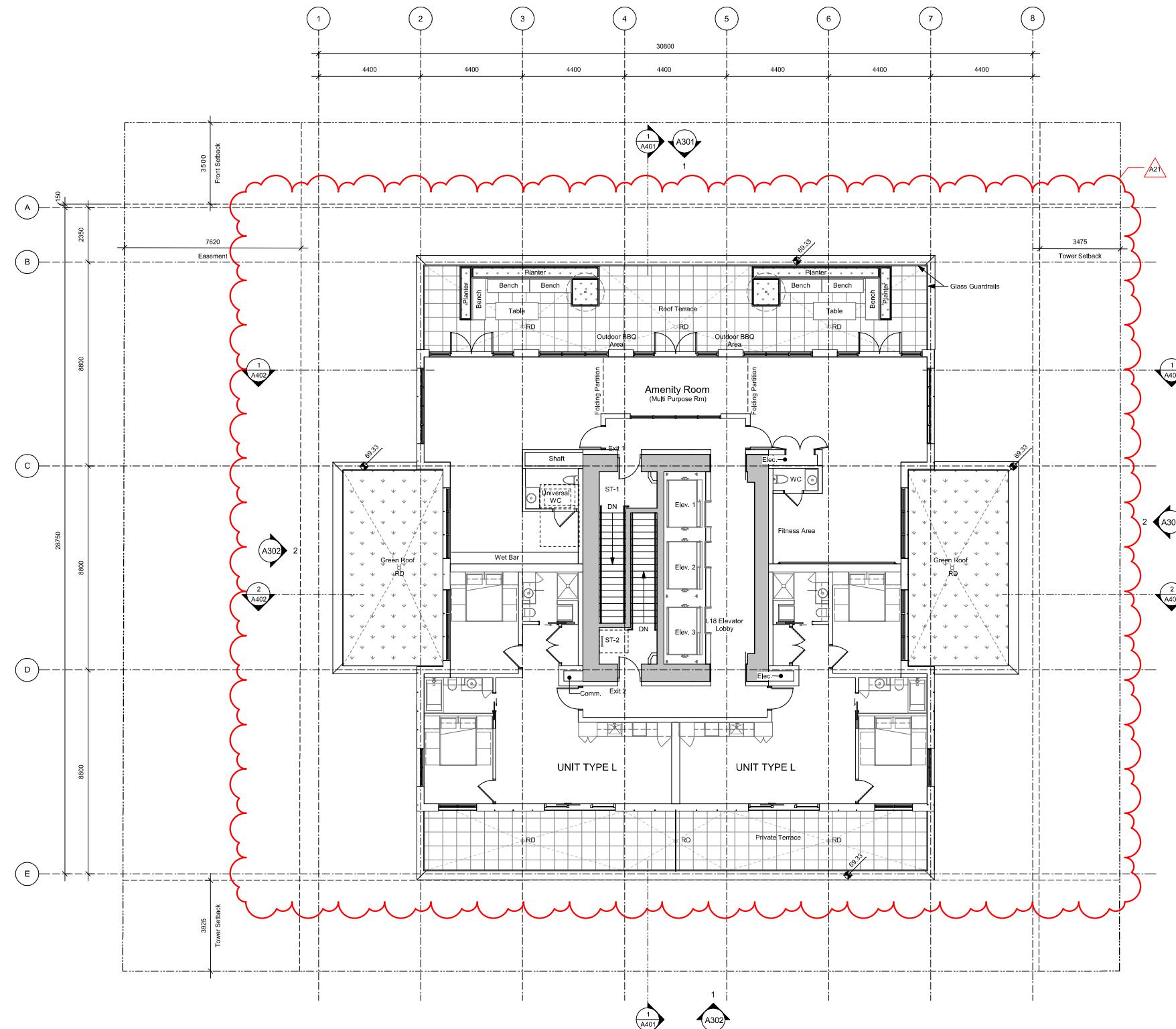
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NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street
Levels 1-18



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View Street
Residential
937 View Street

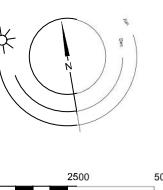
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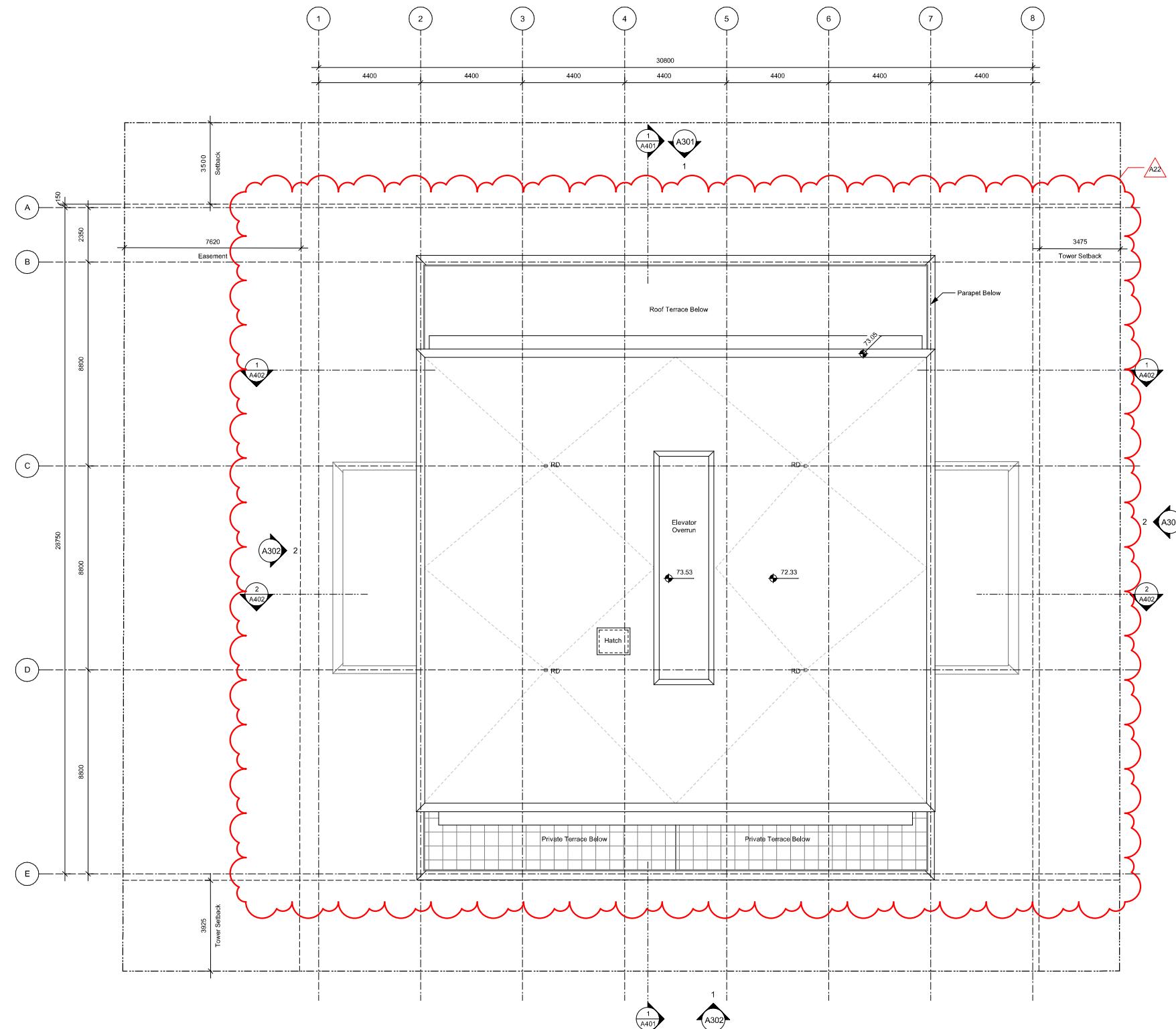


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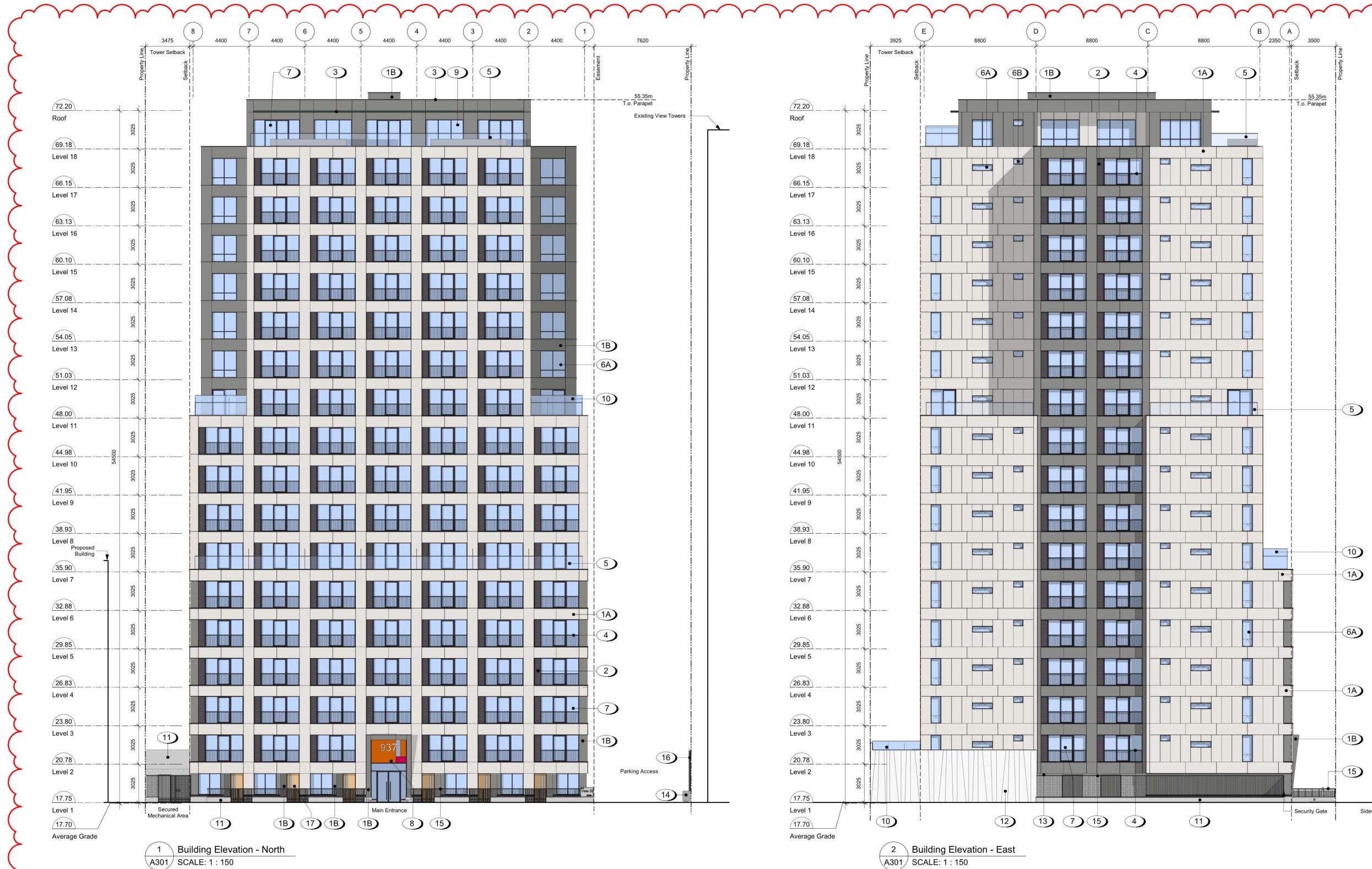
View Street
Residential
937 View Street

Roof Plan

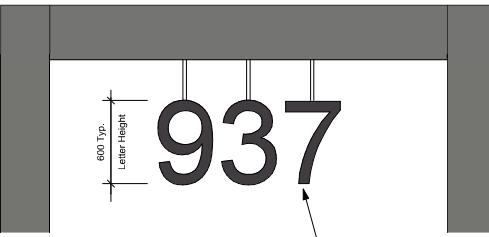


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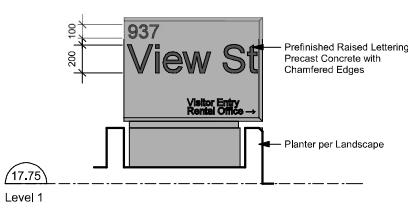
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1 Building Elevation - North
A301 SCALE: 1 : 150



3 Main Entry Signage
A301 SCALE: 1 : 25



4 Address Signag
A301 SCALE: 1 : 25

Materials Schedule

- Fibre Cement Panel - Beige
- Fibre Cement Panel - Grey
- Black Zinc Louvre
- Prefinished Metal Flashing / Fascia 22ga
- Juliette Balcony with Painted Metal Guardrail
- Tempered and Laminated Glass Guardrail with Anodized Aluminum Caprail
- Low-e, Insulated Glass Anodized Aluminum Framed Window
- Low-e, Insulated, Frosted Glass Anodized Aluminum Framed Window
- Low-e, Insulated Glass with Safety Film Sliding Glass Door
- Low-e, Insulated Glass with Coloured Film Tint: Window Wall System - Colour to be Specified by Architect
- Low-e, Insulated Glass Window Wall System
- Tempered Translucent Glass Privacy Screen with Clear Anodized Aluminum Frame
- Architectural Exposed Concrete
- Decorative Concrete Wall
- Smooth Face Concrete Masonry Units Stack Bond - Painted Light Grey
- Precast Concrete Planter
- Painted Metal Fence
- Metal Planting Support
- Wood Door with View Lite
- Sectional Aluminum Overhead Garage Door

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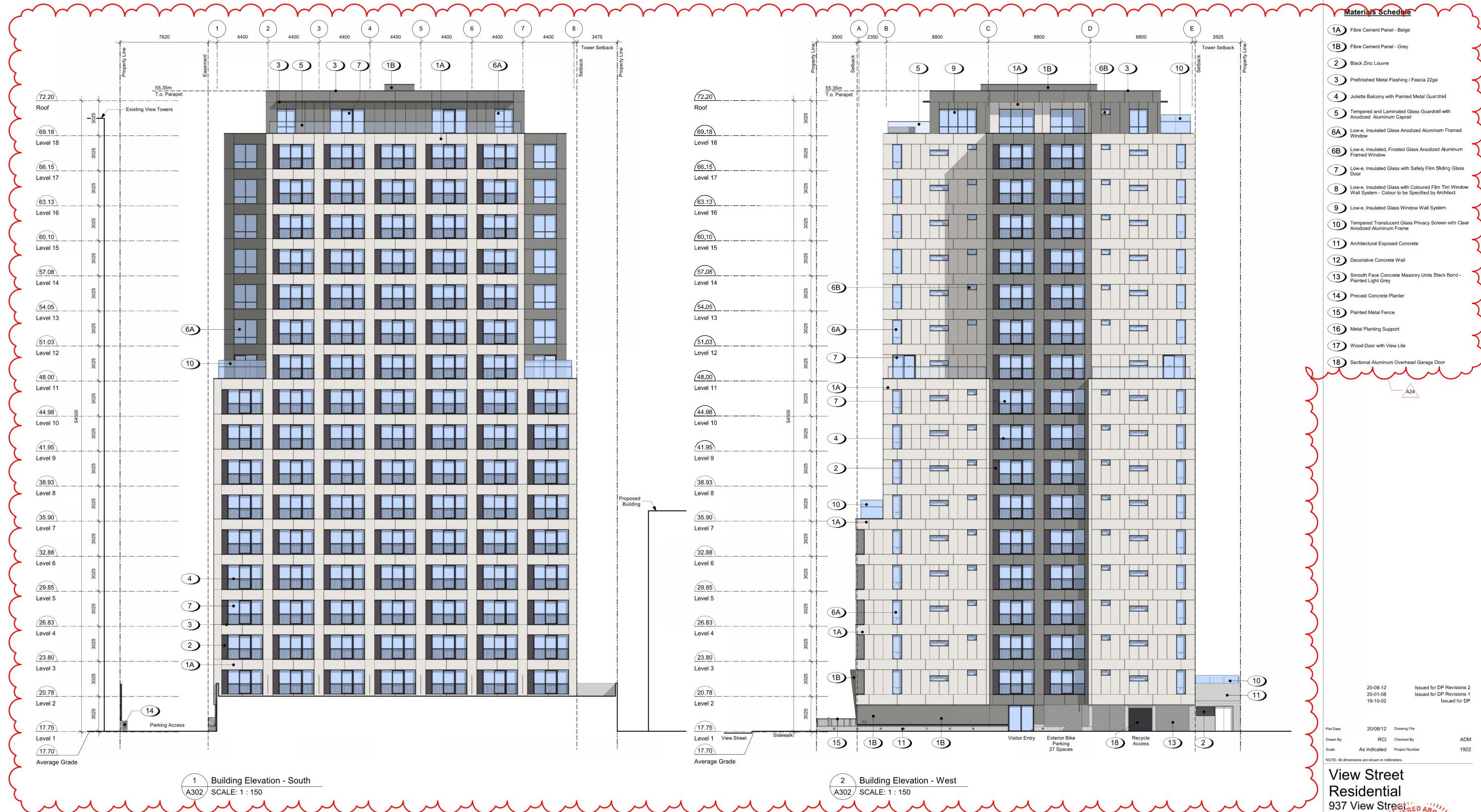
20/08/12 Drawing File

Street ential w Street

A circular red stamp with a decorative border. The text "REGISTERED ARCHITECT" is at the top, "MICHAEL RICHARD" is in the center, and "BRITISH COLUMBIA" is at the bottom. The date "2020-08-12" is stamped in the lower center. The name in the center is handwritten.

A301

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Plot Date 20/08/12 Drawing File

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Scale As indicated Project Number 1922

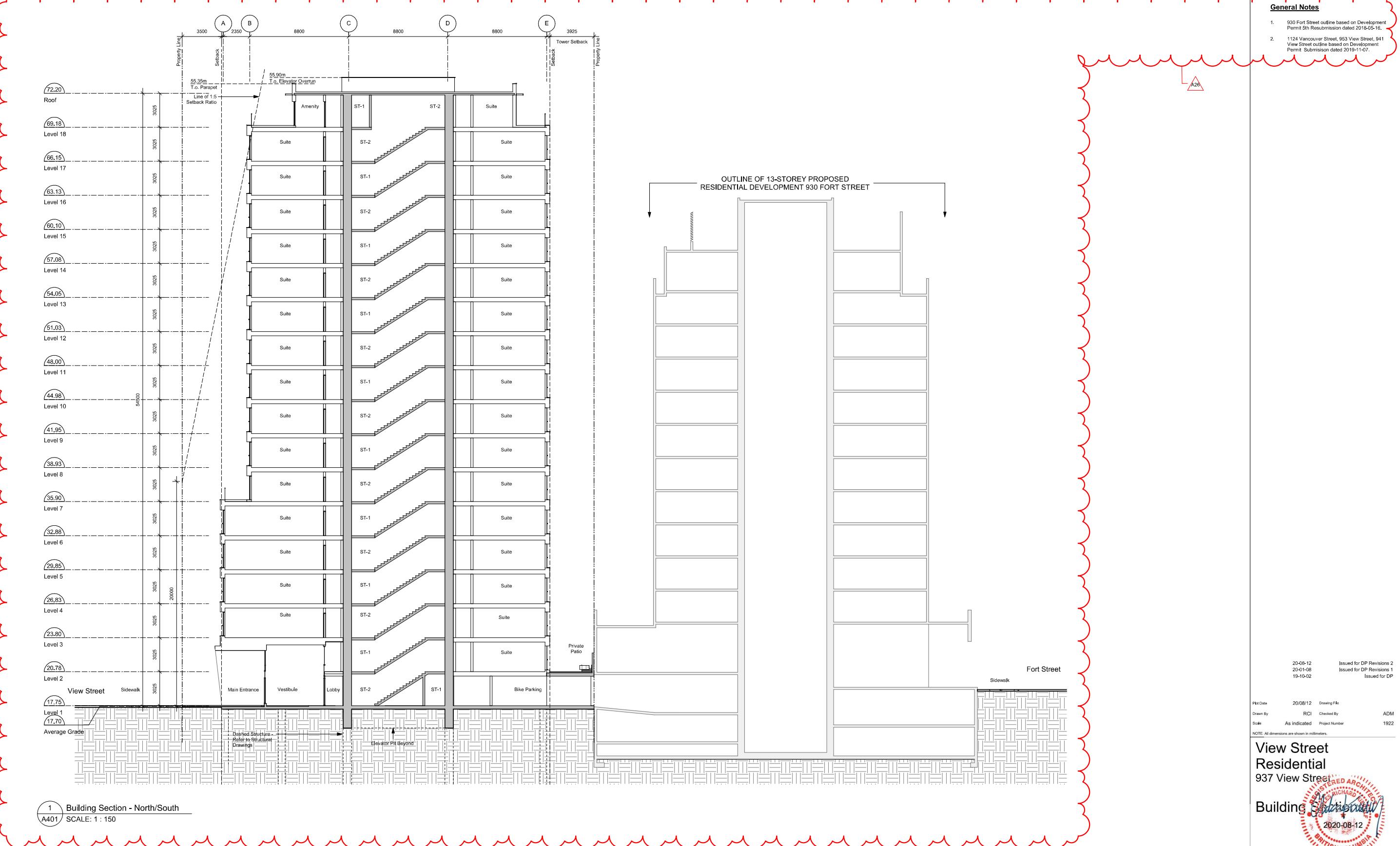
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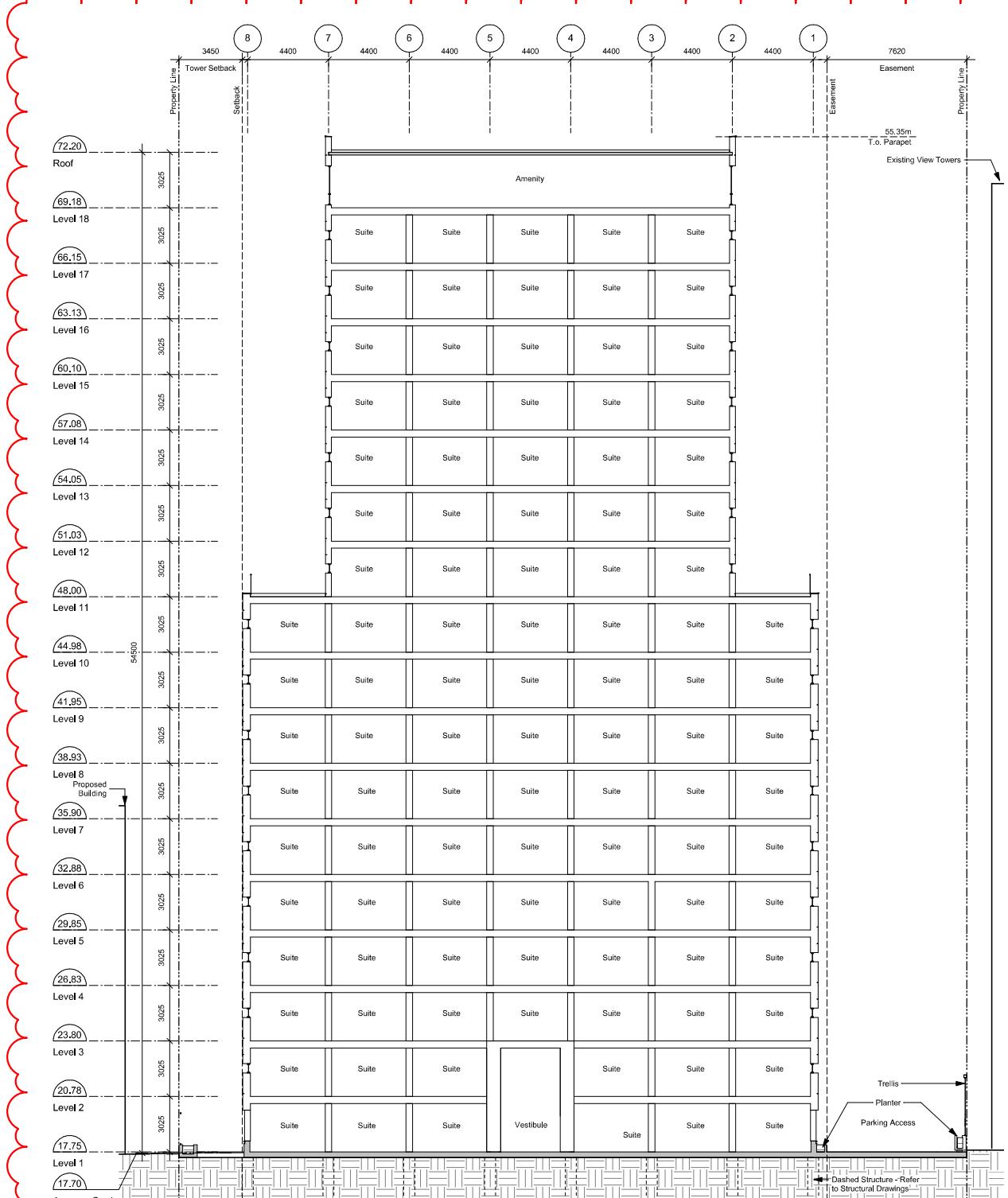
1124 Vancouver Street
953 View Street
Proposed Development

View Street
Residential
937 View Street
Adjacent Analysis
2020-08-12

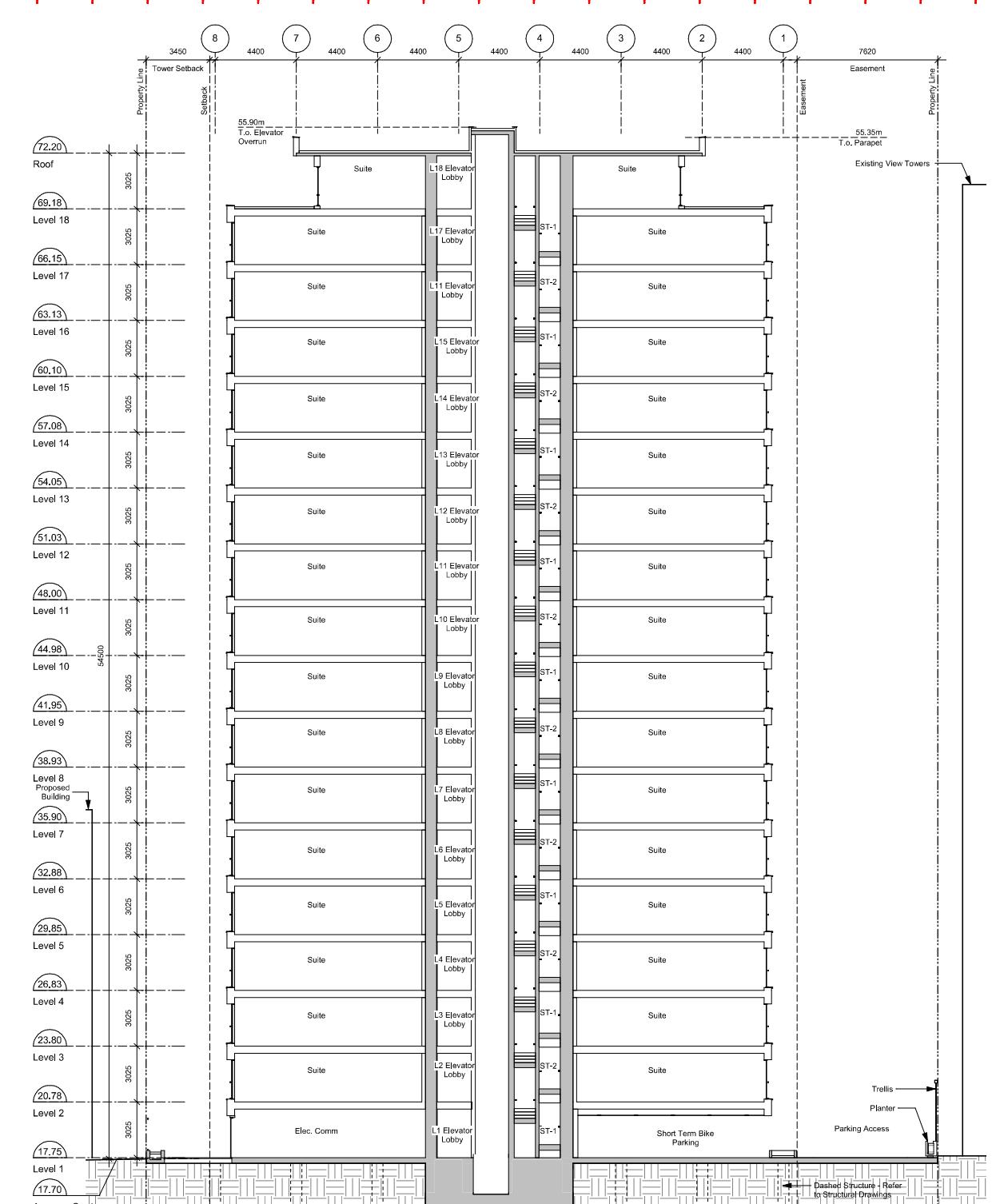
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1 Building Section - East/West 1
A402 SCALE: 1 : 150



2 Building Section - East/West 2
A402 SCALE: 1 : 150

General Notes

930 Fort Street outline based on Development Permit 5th Resubmission dated 2018-05-16.

1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit Submission dated 2019-11-07.

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RCL	Checked By	ADM
As indicated	Project Number	1922

ew Street sidential View Street

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General Notes

- Plans and Area Schedule show areas measured to inside face of exterior walls, and centre of demising walls.
- See A001 for required bike counts.
- Unit Schedule areas measured to inside face of wall finish on all sides.

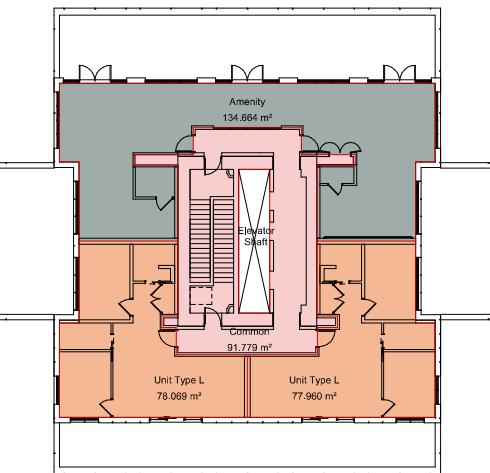
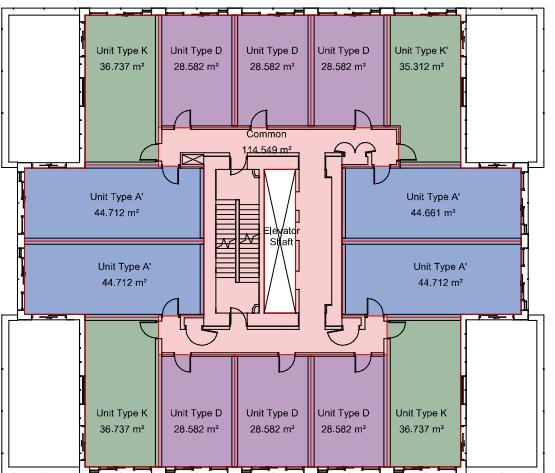
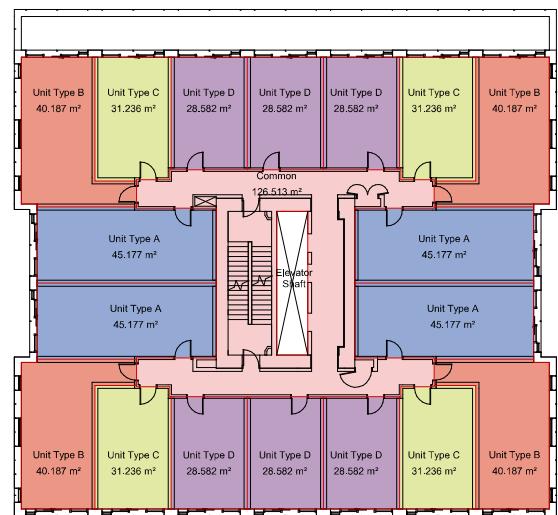
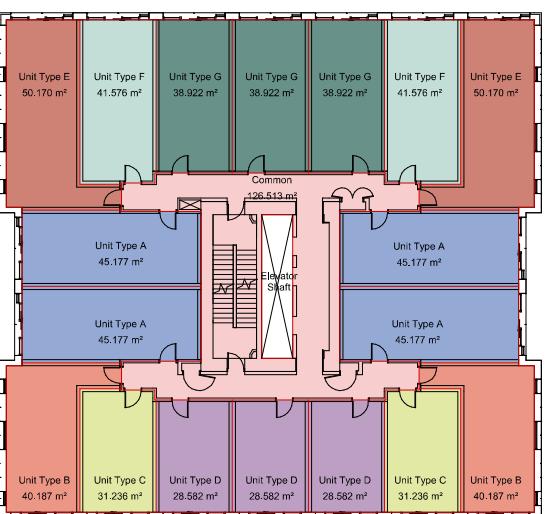
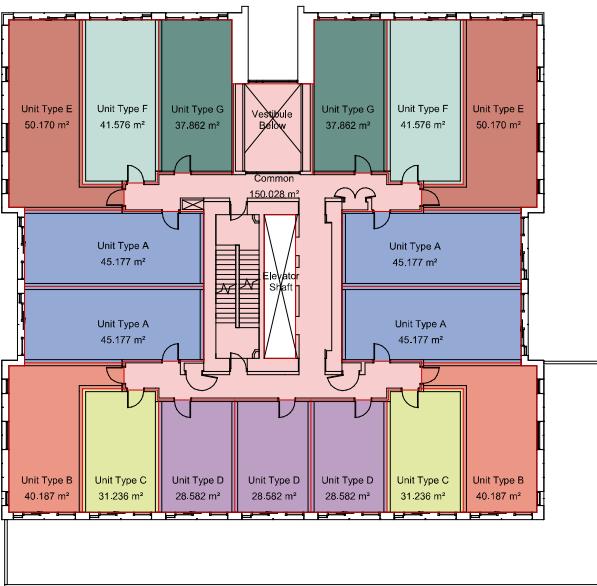
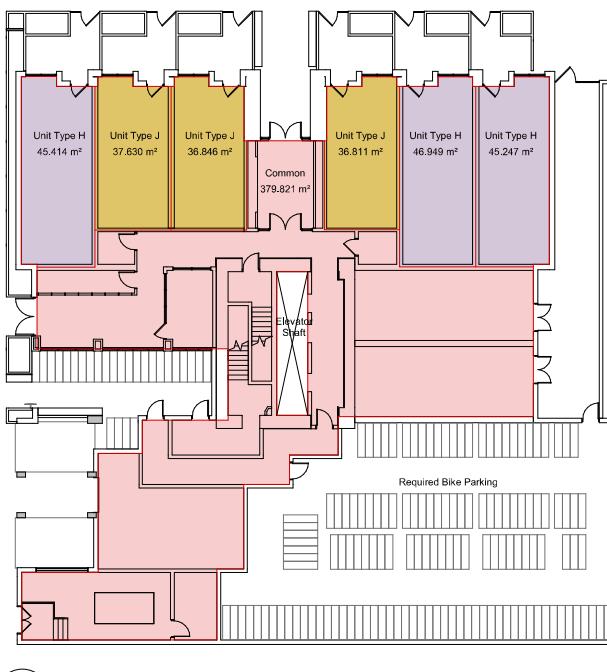
Unit Schedule

Name	Area	Comments	Count
UNIT TYPE A	41 m ²	1 Bed / 1 Bath	38
UNIT TYPE A'	41 m ²	1 Bed / 1 Bath	26
UNIT TYPE B	37 m ²	1 Bed / 1 Bath	26
UNIT TYPE C	28 m ²	Studio	26
UNIT TYPE D	30 m ²	1 Bed / 1 Bath	81
UNIT TYPE E	47 m ²	1 Bed / 1 Bath	10
UNIT TYPE F	38 m ²	1 Bed / 1 Bath	19
UNIT TYPE G	35 m ²	1 Bed / 1 Bath	14
UNIT TYPE H	43 m ²	1 Bed / 1 Bath	3
UNIT TYPE J	34 m ²	1 Bed / 1 Bath	3
UNIT TYPE K	34 m ²	1 Bed / 1 Bath	21
UNIT TYPE L	33 m ²	1 Bed / 1 Bath	7
UNIT TYPE L'	75 m ²	2 Bed / 2 Bath	2
			267

AREA SCHEDULE

Description	Zoning (m ²)	Zoning (SF)	No. Suites
Level 1			
City Zoning GFA	628.72 m ²	6768 SF	
Residential Strata	248.90 m ²	2679 SF	6
Residential Common	379.82 m ²	4088 SF	
Efficiency	39.59%	39.59%	
Level 2			
City Zoning GFA	818.54 m ²	8811 SF	
Residential Strata	668.52 m ²	7196 SF	17
Residential Common	150.03 m ²	1615 SF	
Efficiency	81.67%	81.67%	
Levels 3-6			
City Zoning GFA	836.07 m ²	8999 SF	
Residential Strata	709.56 m ²	7638 SF	72
Residential Common	126.51 m ²	1362 SF	
Efficiency	84.87%	84.87%	
Levels 7-10			
City Zoning GFA	764.41 m ²	8228 SF	
Residential Strata	637.89 m ²	6866 SF	72
Residential Common	126.51 m ²	1362 SF	
Efficiency	83.45%	83.45%	
Levels 11-17			
City Zoning GFA	610.36 m ²	6570 SF	
Residential Strata	495.81 m ²	5337 SF	98
Residential Common	114.55 m ²	1233 SF	
Efficiency	81.23%	81.23%	
Level 18			
City Zoning GFA	382.47 m ²	4117 SF	
Residential Strata	156.03 m ²	1679 SF	2
Residential Common	91.78 m ²	988 SF	
Amenity	134.66 m ²	1450 SF	
Efficiency	76.00%	76.00%	
Totals			
Total GFA	12504.17 m ²	134595 SF	
Site Area	1572.30 m ²	16924 SF	
FSR	7.95	7.95	
Total Residential	9933.94 m ²	106929 SF	267
Total Amenity	134.66 m ²	1450 SF	
Total Commercial	0.00 m ²	0 SF	
Total Common & Core	2435.57 m ²	26217 SF	
Efficiency	80.52%	80.52%	

A28



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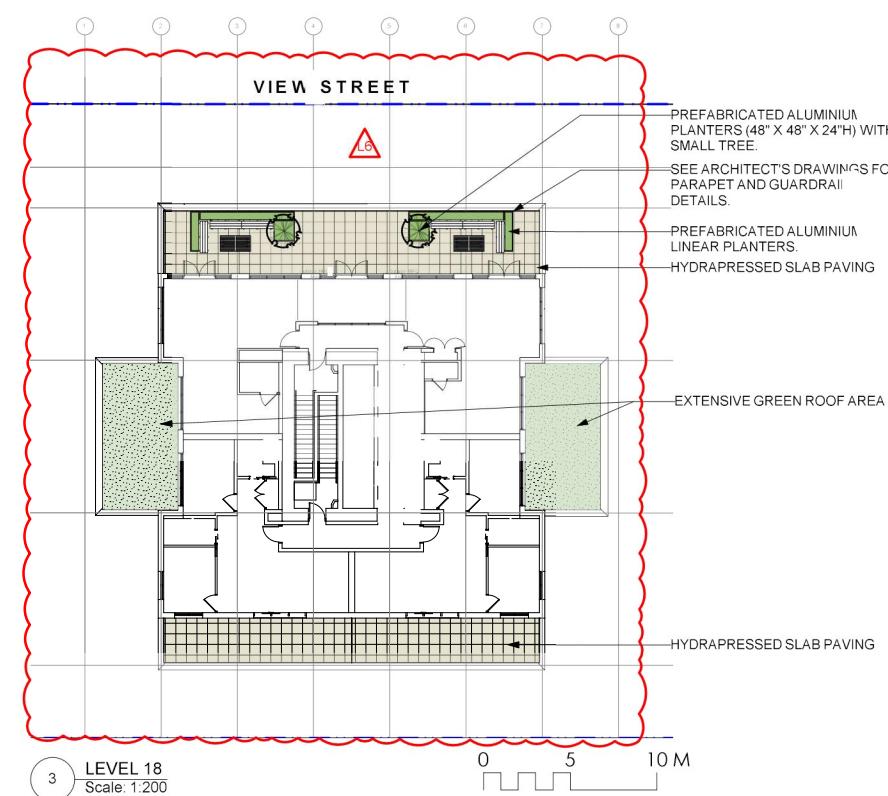
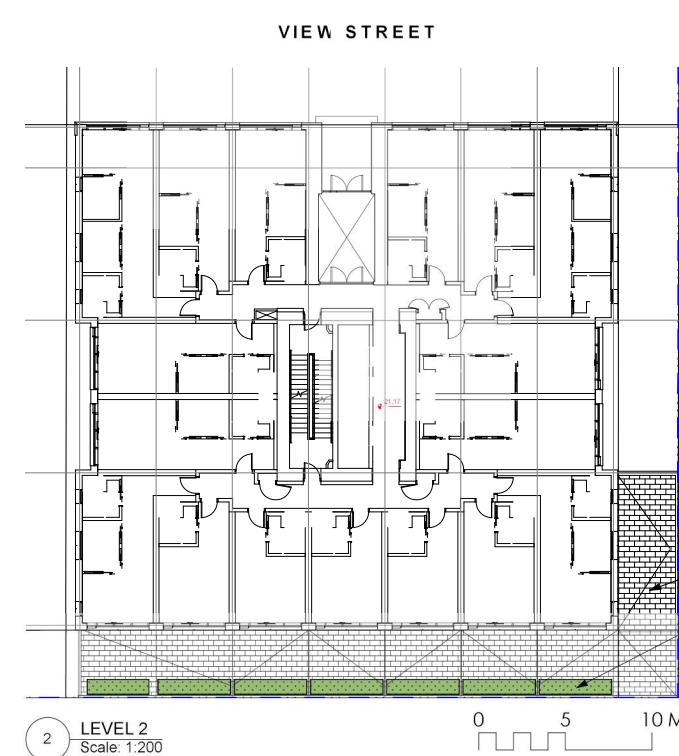
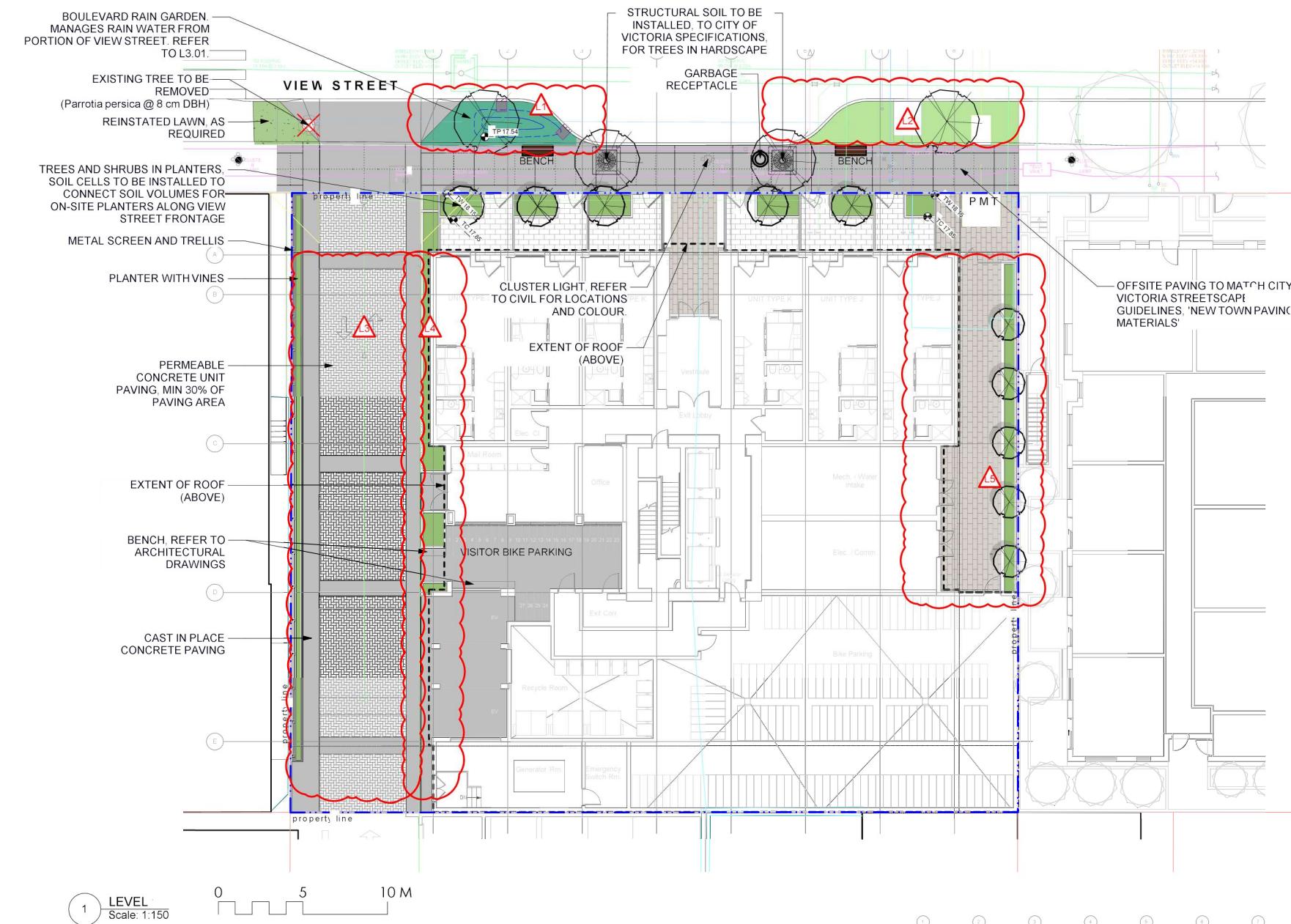
View Street
Residential
937 View Street
Area Plan



2020-08-12

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LEGEND		
Property line		
Extent Of Underground Parking (indicative)		
Extent of Roof / Canopy Line (indicative)		
Rain garden TOP OF POOL		
Rain garden BOTTOM OF POOL		
Architectural grade, provided for reference only		
Civil grade, provided for reference only		
Proposed landscape grade		
Top of Wall		
Bottom of Wall		
Top of Curb		
Bottom of Curb		
Top of Pool		
Bottom of Pool		
Top of Stairs		
Bottom of Stairs		
UNDERGROUND UTILITIES		
EXISTING		PROPOSED
Storm drain		
Sewer		
Water		
Electrical		
Gas		
LANDSCAPE MATERIALS		
Main Entry Paving		
Concrete Unit Paving on aggregate base		
Patio Paving		
Concrete Unit Paving on aggregate base		
Driveway Paving		
Permeable Concrete Unit Paving on aggregate base		
Cast in place concrete paving		
Shrub/ Tree Planting Area on Grade		
Minimum 450 mm depth growing medium		
Rain Garden Area on Grade		
Raised Planting Area		
Growing medium depth varies, minimum 450 mm		
Extensive Green Roof Area (Level 18)		
LANDSCAPE FURNISHINGS		
Type H Wood Bench with Backrest		
2 total @ 5'11.25" Length x 27.19" Height		
Type A: Modern Metal Bin		
1 total		

IRRIGATION NOTES

- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeves shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to mechanical drawings for irrigation point of connection.
- Refer to electrical drawings for electrical service.
- Contractor to field irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Trees within shrub or rain garden areas to be irrigated with spray heads.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for costs related to production and submission to consultant of a landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

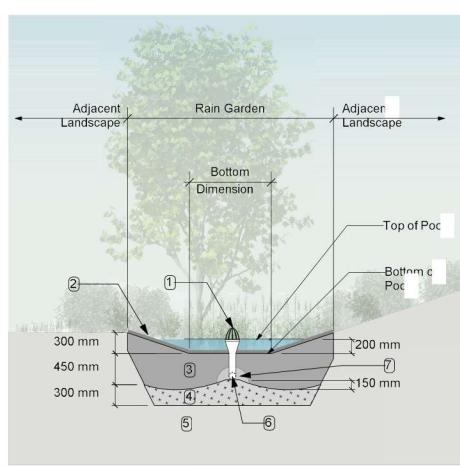
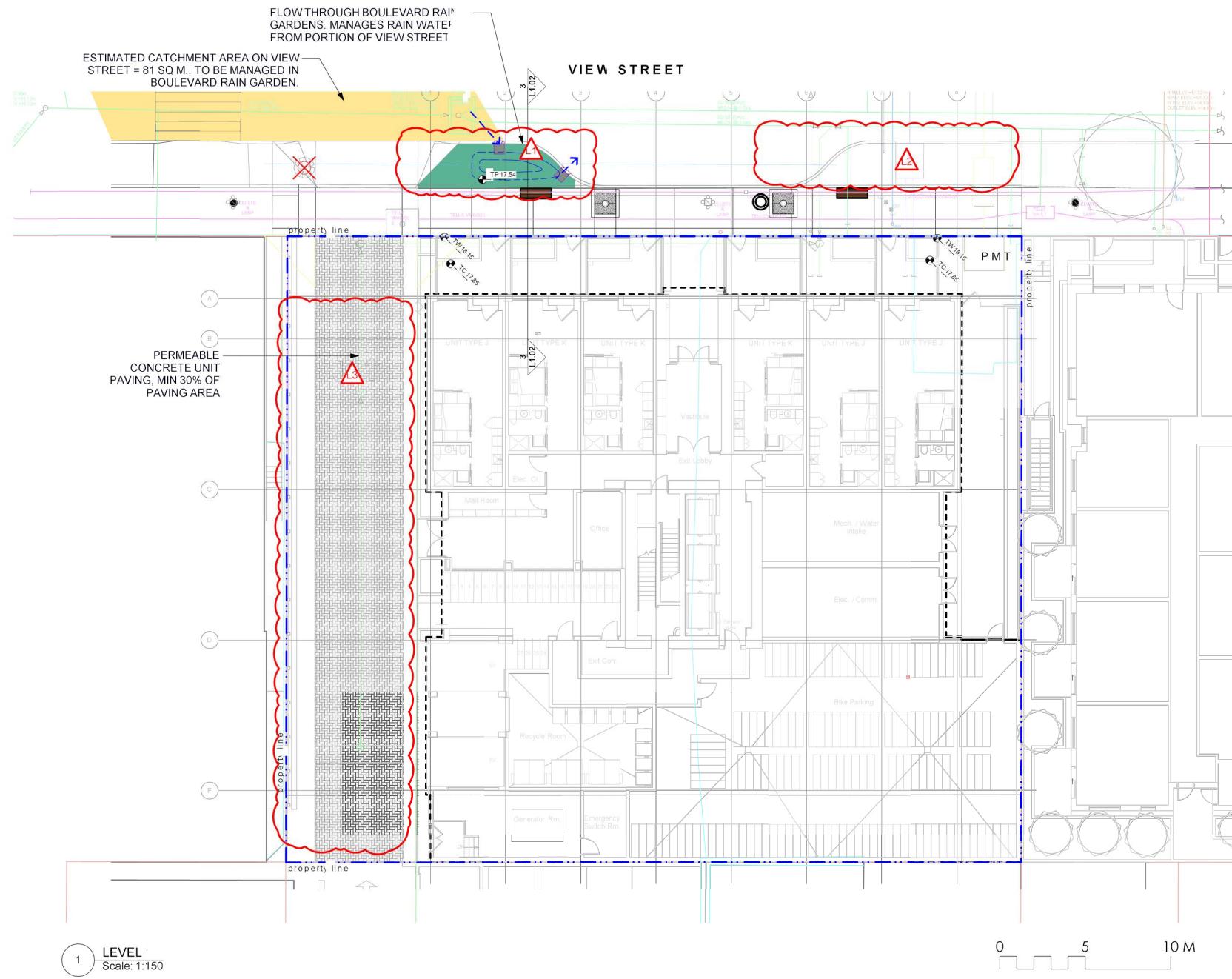


Murdoch deGreeff INC
Landscape Planning & Design
200, 624 Fisgard Road
Victoria, BC V8Z 1G1
Phone 250.412.2891
Fax 250.412.2892

2020-08-12
client
NELSON INVESTMENTS, INC.
project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC
sheet title

Landscape Materials

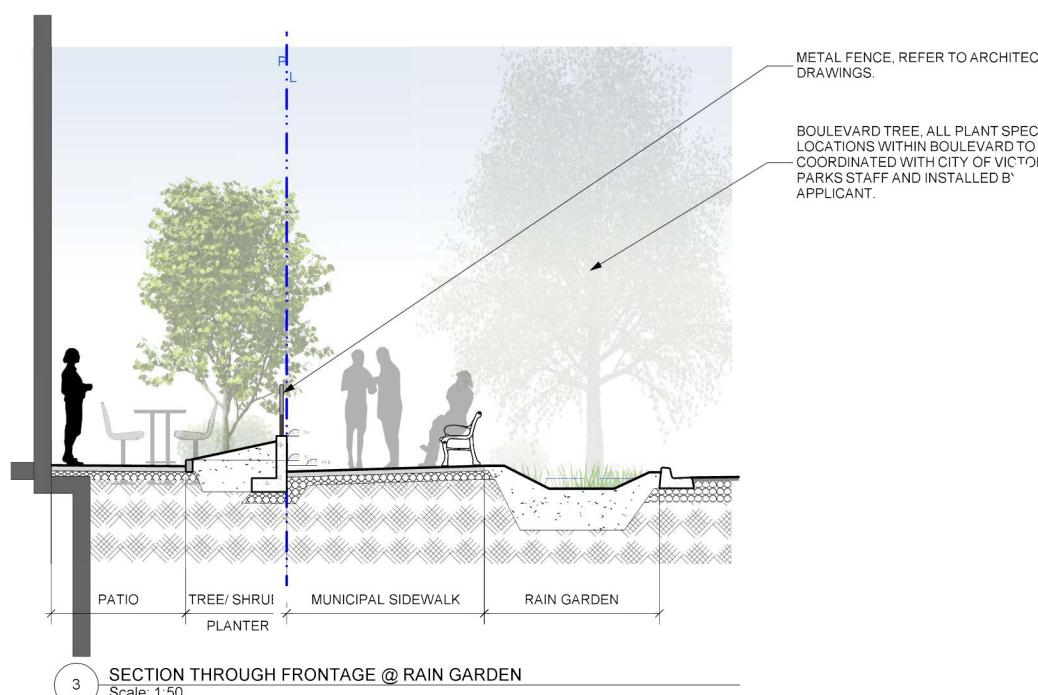
project no. 119.24
scale AS NOTED @ 24" x 36"
drawn by ML
checked by SM/PdG
revision no. sheet no.
4 L1.01



RAIN GARDEN MATERIALS

1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50 - 70 mm depth
3. Bio-retention growing medium, 450 mm depth
4. Scarified/tilled subgrade, 300 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

2 TYPICAL RAIN GARDEN NTS



PROPERTY LINE

EXTENT OF UNDERGROUND PARKING (INDICATIVE)

EXTENT OF ROOF / CANOPY LINE (INDICATIVE)

RAIN GARDEN - TOP OF POOL

RAIN GARDEN - BOTTOM OF POOL

ARCHITECTURAL GRADE, PROVIDED FOR REFERENCE ONLY

CIVIL GRADE, PROVIDED FOR REFERENCE ONLY

PROPOSED LANDSCAPE GRADE

TV: TOP OF WALL
 BV: BOTTOM OF WALL
 TC: TOP OF CURB
 BC: BOTTOM OF CURB
 TF: TOP OF POOL
 BF: BOTTOM OF POOL
 TS: TOP OF STAIRS
 BB: BOTTOM OF STAIRS

DIRECTION OF FLOW

RAIN GARDEN

PERMEABLE UNIT PAVING

IMPERVIOUS AREAS

PROPOSED ROAD SURFACE DRAINS TO BOULEVARD RAIN GARDEN

DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for costs related to production and submission to consultant of a landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

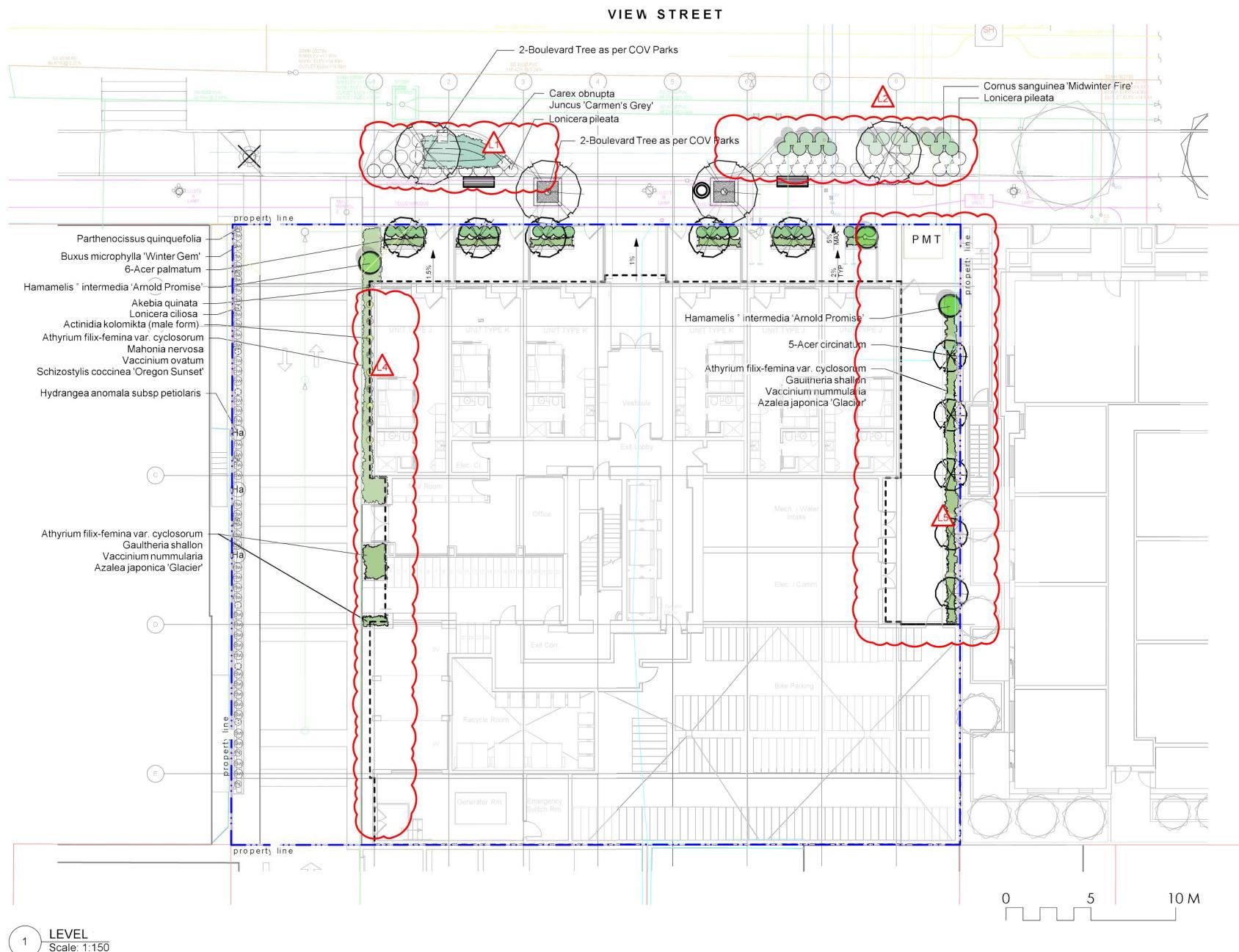


4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07
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ELSON INVESTMENTS, INC.
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EW STREET RESIDENTIAL
7 VIEW STREET
CTORIA, BC
et title
stormwater
management

ject no. 119.24
le AS NOTED @ 24" x 36"
wn by ML
cker by SM/PdG
ison no. sheet no.
 L1.02



LEVEL

Scale: 1:150

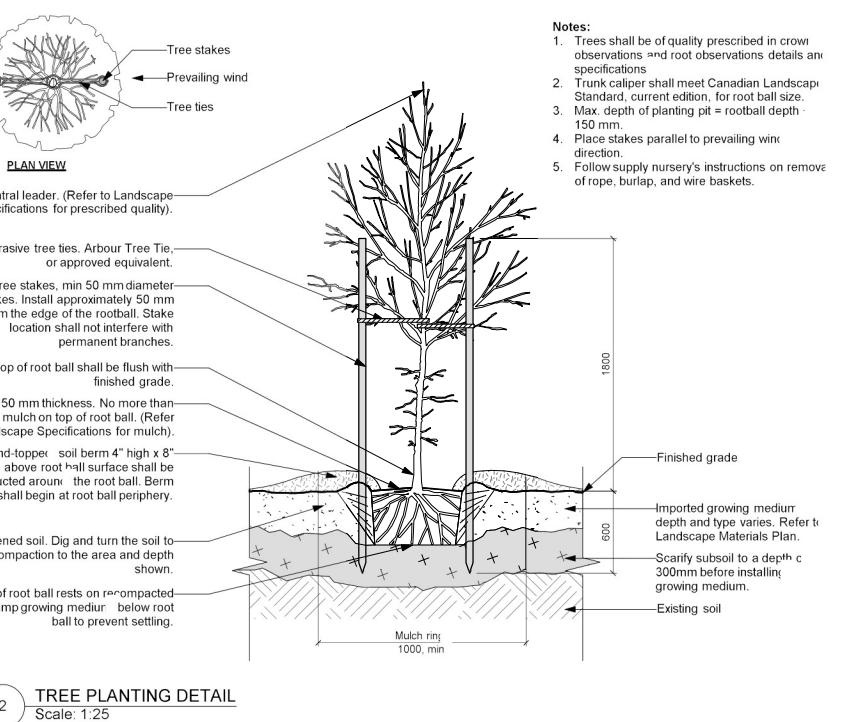
LEVEL 1 PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
5	1	Acer circinatum	Vine Maple
6	1	Acer palmatum	Japanese Maple
4	2	Boulevard Tree as per COV Parks	Boulevard Tree as per COV Parks
SHRUBS:			
Ack	5	Actinidia kolomikta (male form)	Variegated Kiwi Vine
Ak	5	Akebia quinata	Chocolate vine
Aff	15	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern
Ag	21	Azalea japonica 'Glacier'	Glacier Azalea
Bw	44	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood
Co	24	Carex obnupta	Slough Sedge
Csm	17	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood
Gsh	11	Gaultheria shallon	Salal
Ha	3	Hydrangea anomala subsp petiolaris	Climbing Hydrangea
Jcg	8	Juncus 'Carmen's Grey'	Soft Common Rush
Loc	6	Lonicera ciliosa	Western Trumpet Honeysuckle
Lp	38	Lonicera pectata	Privet Honeysuckle
Mn	8	Mahonia nervosa	Oregon Grape Holly
Pq	6	Parthenocissus quinquefolia	Virginia Creeper
Ptn	5	Pittosporum tobira 'Nana'	Dwarf Pittosporum
Sco	7	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag
Tmh	23	Taxus x media 'Hilli'	Hilli Yew
Vnu	21	Vaccinium nummularia	Coin Whortleberry
Vo	4	Vaccinium ovatum	Evergreen Huckleberry
PLANTING NOTES			
1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.			
2. Boulevard/Street Tree and planting locations and species to be coordinated with City of Victoria Parks Staff and installed by applicant.			

DRAWING NOTES

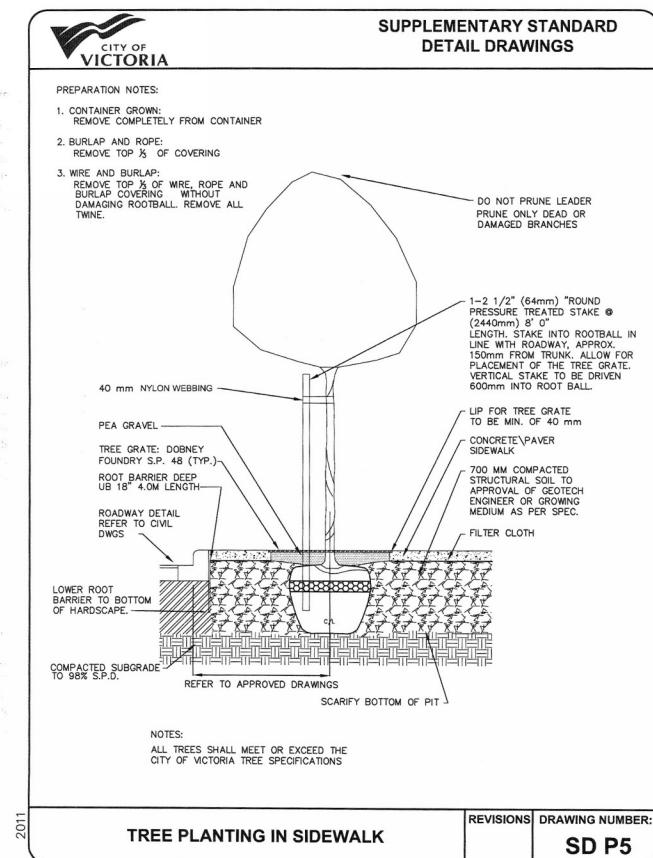
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for costs related to production and submission to consultant of a landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

Tree Notes

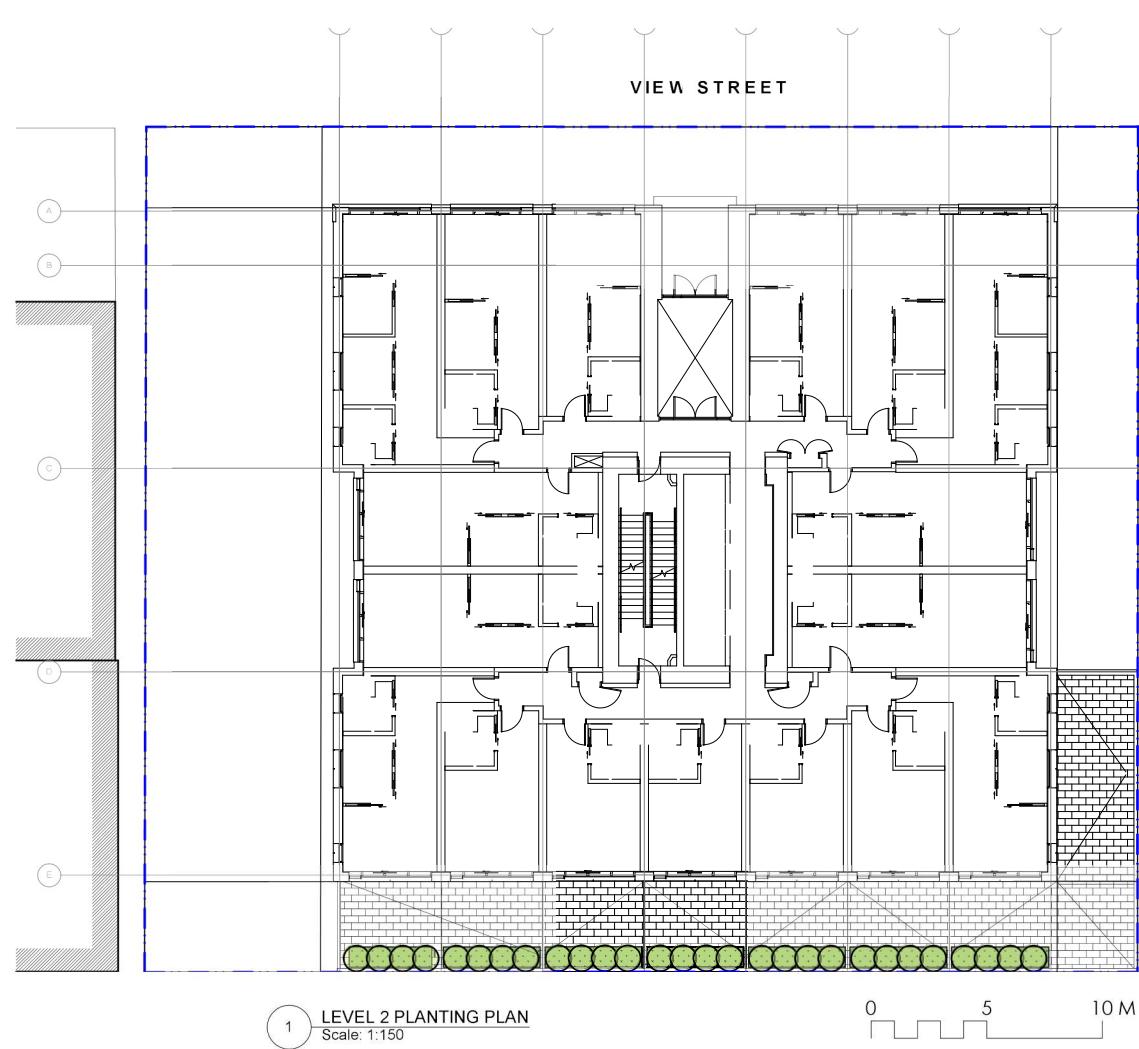
- Tree planting inspection requirement:
 - 1st Inspection - Tree pits, structural soil and root barrier
 - 2nd Inspection - Prior to planting, tree is inspected for pest, disease and structural defect
 - 3rd Inspection - Completed planting, mulch, staking, tree grate
- Two new tree guards will need to be purchased from the City of Victoria at \$500 each.
- The applicant will be required to pay the appraised value of the small boulevard tree proposed for removal. When the tree fee has been paid, the City will post the tree for 10 working days after which it can be removed at the expense of the applicant.



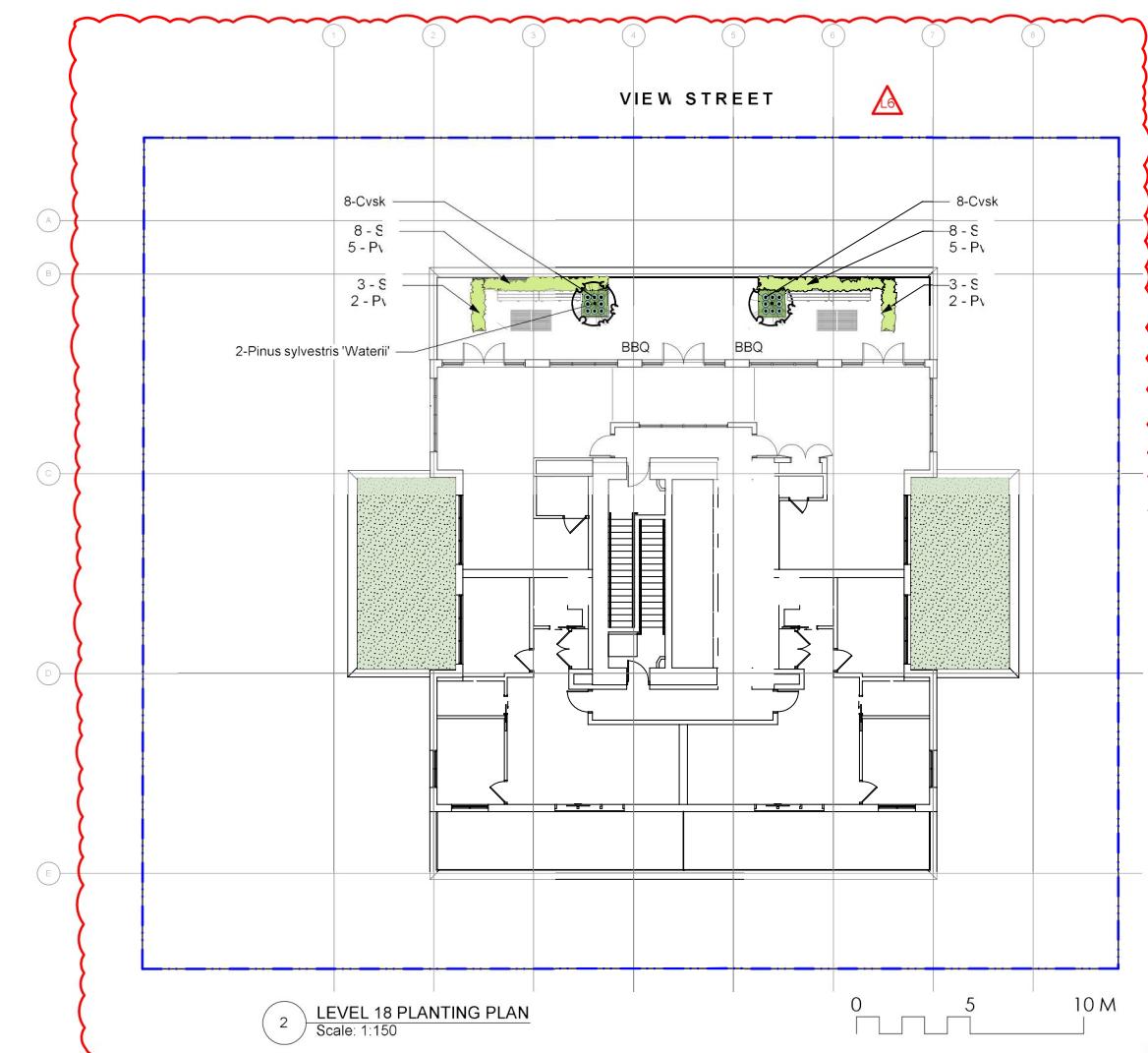
2 TREE PLANTING DETAIL
Scale: 1:25



2020-08-12
client
NELSON INVESTMENTS, INC.
project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC
sheet title
Planting Plan
Level 1
2011
project no. 119.24
scale AS NOTED @ 24" x 36"
drawn by ML
checked by SM/PdG
revision no. sheet no.
4 L3.01



LEVEL 2 PLANT LIST			
Sym	Qty	Botanical Name	Common Name
SHRUBS/VINES:			
Plu	28	Prunus lusitanica	Portugal Laurel
Sched. Size / Plant Spacing			
		#3 pot	



LEVEL 18 PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
	2	Pinus sylvestris 'Waterii'	Bonsai Pine
SHRUBS/VINES:			
Cvsk	16	Calluna vulgaris 'Silver Knight'	Silver Knight Scotch Heather
Pvi	17	Pennisetum villosum	Feathertop Grass
St	22	Stipa tenuissima	Mexican Feathergrass
GREEN ROOF AREA - SUN			
		Area (sq m): 72.9	
	20%	Sedum acre	
	20%	Sedum album 'Coral Carpet'	
	20%	Sedum kanstchaticum	
	20%	Sedum rupestre	
	20%	Sedum spurium	

DRAWING NOTES

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- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

PLANTING NOTES

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4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07
rev no	description	date



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2020-08-12

client
NELSON INVESTMENTS, INC.

project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

sheet title

Planting Plan Levels 2 and 18

project no. 119.24

scale AS NOTED @ 24" x 36"

drawn by ML

checked by SM/PdG

revised no. sheet no.

4

L3.02

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	---	EDGE OF PAVEMENT	---	---	REDUCER
CURB	---	CURB AND GUTTER	---	---	FENCE
---	---	EDGE OF GRAVEL	---	---	DITCH/SWALE
TB/BB	---	TOP/BOTTOM OF BANK	WM	WM	WATERMAIN (SIZE AND MATERIAL NOTED)
CB	---	CATCH BASIN	SS	SS	SANITARY SEWER (SIZE AND MATERIAL NOTED)
WV	---	WATER VALVE	SD	SD	STORM DRAIN (SIZE AND MATERIAL NOTED)
FH	---	FIRE HYDRANT	UT	UT	UNDERGROUND TELEPHONE
---	---	CAPPED END	UH	UH	UNDERGROUND HYDRO
MH	---	UTILITY POLE AND STREET LIGHT (LABELLED PP,TP,PP/LS ETC.)	IRR	---	IRRIGATION SLEEVES
CO	---	MANHOLE	○	○	MONUMENT
CO	---	CLEANOUT	---	---	PROPERTY LINE
SSIC/SDIC	---	SANITARY/STORM INSPECTION CHAMBER (200# RISER)	5+100	5+110	CENTERLINE AND STATIONING
SDIC	---	JUNCTION BOX	---	---	SANITARY SEWER SERVICE CONNECTION AT MAIN
---	---	AIR VALVE	+32.75	(43.170)+	ELEVATIONS
WM	---	WATER METER	---	---	PAVEMENT REMOVAL
---	---	WM	---	---	NEW ASPHALT

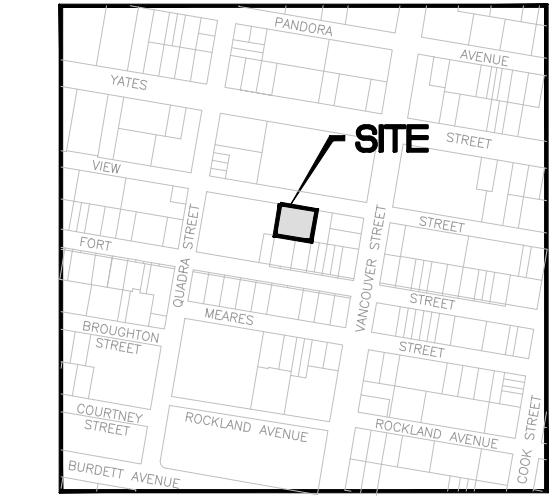


KEY PLAN

1:1000 0 20 60m

LIST OF DRAWINGS

DWG No.	DESCRIPTION
C100	GENERAL NOTES, LOCATION PLAN, KEY PLAN, DRAWINGS LIST & LEGEND
C200	SITE SERVICING PLAN
C300	GRADING PLAN
C400	BC HYDRO INFORMATION PLAN



LOCATION PLAN
NTS

CIVIC ADDRESS: 937 VIEW STREET
LEGAL: LOT A, OF LOTS 785, 786 AND 787, VICTORIA CITY, PLAN 36505.
ZONING: R-48, HARRIS GREEN
LAND USE: RESIDENTIAL
PROPOSED: 253 UNIT 15 STOREY RESIDENTIAL BUILDING
SITE AREA: 1572m²
DWELLING FOOTPRINT AREA: 725m²
MAIN FLOOR ELEVATION: 17.60m

PLAN TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION

GENERAL NOTES:

- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA (CoV) SPECIFICATIONS, ITS SUPPLEMENTARY MASTER MUNICIPAL SPECIFICATIONS, STANDARD DETAIL DRAWINGS AND MMCD UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- SIGNATURE BLOCK FOR SHALLOW UTILITIES TO BE SIGNED AND DATED PRIOR TO CONSTRUCTION.
- PERMITS TO CONSTRUCT WORKS ON THE CoV RIGHT OF WAY MUST BE OBTAINED FROM THE CoV ENGINEERING DEPARTMENT PRIOR TO COMMENCING WORK. PERMITS MUST BE ON SITE FOR REVIEW AS REQUIRED.
- CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
- ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED. CARE TO BE TAKEN TO RETAIN AS MANY TREES AS POSSIBLE.
- ADJUST ALL MANHOLES, WATER VALVES, HYDRO VAULTS, ETC. TO MATCH NEW CONSTRUCTION.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
- ALL EXCAVATED TRENCH AND SUBEXCAVATION MATERIALS TO BE DISPOSED OF OFFSITE.
- ALL ELEVATIONS ARE TO GEODETIC DATUM.
- DATA SOURCES:
-TOPOGRAPHIC SURVEY COMPLETED BY POWELL & ASSOCIATES BC LAND SURVEYORS, DECEMBER 2016.
-DIGITAL GIS PROVIDED BY CoV.
-BC 1 CALL DATA FOR SHALLOW UTILITIES.

ROAD NOTES:

- CONSTRUCT ALL SIDEWALK AND DRIVEWAY CROSSINGS IN ACCORDANCE WITH CoV AND MMCD STANDARDS AS NOTED ON DRAWINGS.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG VIEW STREET DURING CONSTRUCTION.
- ROAD RESTORATION FOR VIEW STREET TO CoV SUPPLEMENTAL DWG. No. SD G5a AND G5b.
- THE PROVISION OF APPROVED SIGNS AND CERTIFIED TRAFFIC CONTROL PERSONNEL IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
- ALL PAVEMENT EXCAVATIONS TO BE SAWCUT.
- PROJECT FRONTOAGE TO BE RESTORED AS NOTED ON CIVIL, LANDSCAPE AND ARCHITECTURAL DRAWINGS AS PER CoV "NEW TOWN" SPECIFICATIONS.
- PEDESTRIAN WALKING AREA TO BE DELINEATED DURING THE CONSTRUCTION OF THE WORKS AND MUST BE EASILY RECOGNIZABLE BY THE PUBLIC AND CONTAIN NO OBSTRUCTIONS TO MOBILITY SCOOTERS OR WHEELCHAIRS AND NO HAZARDOUS CONDITIONS. THE PUBLIC USING THESE AREAS MUST BE ADEQUATELY PROTECTED FROM TRAFFIC.

WATER NOTES:

- WATER SERVICE CONNECTION TO BE PER CoV STD. DWG. No. W2d SS.
- CONTRACTOR TO CONFIRM THAT EXISTING WATER SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.

STORM DRAIN AND SANITARY SEWER NOTES:

- CONTRACTOR TO CONFIRM THAT EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.
- STORM DRAIN CONNECTION TO BE 200# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- SANITARY SEWER CONNECTION TO BE 250# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- UNDERGROUND SERVICES TO BE LOCATED, EXPOSED AND ELEVATIONS CONFIRMED AT CROSSINGS PRIOR TO INSTALLATION OF CONNECTIONS.

SHALLOW UTILITY AND STREET LIGHT NOTES:

- EXISTING BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC INFRASTRUCTURE INFORMATION SHOWN ON DRAWINGS IS SCHEMATIC AND FOR INFORMATION ONLY.
- REFER TO UTILITY COMPANY DESIGN DRAWINGS FOR CONSTRUCTION DETAILS. CONSTRUCT UNDERGROUND UTILITIES AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS, SHAW CABLE SPECIFICATIONS AND DRAWINGS.
- CONFIRM AND COORDINATE WITH CoV FORCES REINSTATEMENT OF LAMP STANDARDS AS PER CoV SUPPLEMENTARY STANDARD DETAIL DRAWINGS, INCLUDING BASES, CONDUIT AND JUNCTION BOX.
- CONTACT BC 1 CALL AT 1-800-474-6886 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC 48 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- BC HYDRO TO COORDINATE AND PROVIDE LIAISON WITH CoV PRIOR TO AND DURING CONSTRUCTION.

937 VIEW STREET
MARKET RENTAL RESIDENCES
VICTORIA, BC

CHRIS NELSON INVESTMENTS LTD.
VICTORIA, BC

HEROLD
ENGINEERING

1051 Vancouver St, Victoria, BC V8V 4T6

Tel: 250-590-4875 Fax: 250-590-4392

Email: mail@heroldengineering.com

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**GENERAL NOTES,
LOCATION PLAN,
KEY PLAN,
DRAWINGS LIST
& LEGEND**

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C100	REVISION 3
1 OF 4	3

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION

ISSUES	
No.	DATE
1	2019.09.20 DEVELOPMENT PERMIT
2	2020.01.08 DEVELOPMENT PERMIT REVISIONS
3	2020.08.11 DEVELOPMENT PERMIT REVISION 3

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT

