



937 View Street

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20-08-12
20-01-08
19-10-02

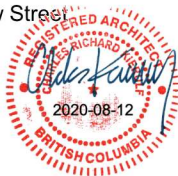
Issued for DP Revisions 2
Issued for DP Revisions 1
Issued for DP

Plot Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale 1 : 1 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Cover

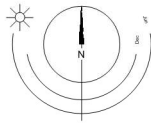


Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date
August 17, 2020

A000
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V9T 0H2
T 1-250-658-3367
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1 Context Plan Image
A001



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	H/C	Handicap	SPC	Solid Particleboard Core
ACT	Acoustical Tile	H/M	Hollow Metal	ST	Structure
AFF	Above Finished Floor	HP	High Point	STL	Steel
AL	Aluminum	HSS	Hollow Steel Section	STN	Stain(less)
AO	Auto-Opener	H/W	Hardware	STNT	Stone Tile
AP	Annunciator Panel	INSUL	Insulated	SS	Stainless Steel
BG	Building Grade	LAM	Laminated Glass	SVF	Sheet Vinyl Flooring
CEM	Cementitious Backing Board	LP	Low Point	TB	Towel Bar
Conc	Concrete	MDFB	Medium Density Fibreboard Base	T/D	Tempered / Double Glazed
CBK	Concrete Block	MR	Mirror	TLAM	Tempered Laminated Glass
CIL	Centerline	MP	Metal Panel	TGL	Tempered Glass
CPT	Carpet Tile	O/H	Overhead	TLGL	Translucent Glass
CT	Ceramic Tile	OW	Operable Window	TOC	Top of Concrete
CW	Complete With	PF	Pre-finished	TOD	Top of Drain
DD	Deck Drain	PLAM	Plastic Laminate	TOI	Top of Insulation
EB	Electric Bike Storage	PLS	Plaster	TOP	Top of Parapet
EL	Elevation	PSF	Pressed Steel Frame	TOS	Top of Slab
EPC	Epoxy Polymer Coating	PT	Paint	TOW	Top of Wall
EV	Electric Vehicle Parking	PTD	Paper Towel Dispenser	TP	Toilet Paper
EXP AGG	Exposed Aggregate	PTD/W	Paper Towel Dispenser / Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
EXT	Exterior	PTW	Paper Towel Waste	UNO	Unless Noted Otherwise
FD	Floor Drain	RA	Roof Anchor	U/S	Underside of
FEC	Fire Extinguisher Cabinet	RB	Rubber Base	VCT	Vinyl Composition Tile
FFE	Finished Floor Elevation	RES	Resilient Flooring	VI	Vision Glass
FG	Finished Grade	RD	Roof Drain	VIS	Vinyl Impact Sheet
GB	Grab Bar	RD-P	Roof Drain - Planter	VT	Vinyl Tile
GBL	Glass Block	RWL	Rain Water Leader	WVC	Vinyl Wall Covering
GL	Glass	SAFI	Spray Applied Fibrous Insulation	WC	Water Closet
GWG	Georgian Wire Glass	SCW	Solid Core Wood	WD	Wood
GWB	Gypsum Wallboard	SD	Soap Dispenser	WPM	Waterproof Membrane
HC	Hollow Core	SL	Sealer	WRC	Water Repellent Coating
HCW	Hollow Core Wood	SP	Spandrel Glass		

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM	ROOM NAME & ROOM NUMBER
201	
101a	DOOR NUMBER See Door Schedule
W-10	WINDOW NUMBER See Window Schedule
W1	WALL TYPE See Assemblies Schedule
2.0 hr	RATED WALL DESIGNATION
00.00	ELEVATION DATUM
2440	CEILING HEIGHT
	AREA OF DROP CEILING
1	KEYNOTE SYMBOL
12	MATERIAL TAG
A901	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES

PROJECT DESCRIPTION

CIVIC ADDRESS:
937 VIEW STREET, VICTORIA, BC.
LEGAL DESCRIPTION:
LOT A, OF LOTS 785, 786, AND 787, VICTORIA CITY.
PLAN 36500

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
18 STOREY RESIDENTIAL BUILDING

USES:
RESIDENTIAL

EXISTING ZONE: R-48 HARRIS GREEN

PROPOSED ZONE: R-48

DEVELOPMENT PERMIT AREA: DPA 713 (HC)

SITE AREA: 1 572.3 m² (16 924 s.f.)

FLOOR AREA:
RESIDENTIAL Level 1: 628.72 m² (6 768 s.f.)
RESIDENTIAL Level 2: 818.54 m² (8 811 s.f.)
RESIDENTIAL Level 3-4: 836.07 m² (9 069 s.f.) x 4 = 3 344.29 m²
RESIDENTIAL Level 7-10: 764.41 m² (8 228 s.f.) x 4 = 3 057.62 m²
RESIDENTIAL Level 11-17: 610.36 m² (6 570 s.f.) x 7 = 4 272.53 m²
AMENITY Level 18: 382.47 m² (4 117 s.f.)

TOTAL PROPOSED: 12 504.17 m² (134 595 s.f.)

FLOOR SPACE RATIO: 7.95 FSR

SITE COVERAGE: 80%

OPEN SITE SPACE: 20%

GREEN STORMWATER INFRASTRUCTURE: 180.54m² (1 943 s.f.)
*Minimum 30% of paving area, refer to Landscape drawing L1.02

GRADE OF BUILDING: 17.7 m (GEODETTIC AVG GRADE)
See Site Plan for Grade Calculations

HEIGHT OF BUILDING: 54.0 m

SETBACKS:
FRONT (View Street): 3.5 m
REAR (S): N/A
SIDE (E): N/A
SIDE (W): N/A

NUMBER OF STOREYS: 18 STOREYS

SUITE COMPOSITION:

Studio < 32m²: 107 Suites
1 Bed / 1 Bath < 45m²: 51 Suites
1 Bed / 1 Bath > 45m²: 107 Suites
2 Bed / 2 Bath > 45m²: 2

TOTAL: 267 SUITES

RESIDENTIAL PARKING: N/A

COMMERCIAL PARKING: N/A

BICYCLE PARKING:
Required Long Term: (51 x 1.25) + (216) = 280
Provided Long Term: 280 (23% EB)
Required Short Term: (267 x 0.1) = 27
Provided Short Term: 27
307 Total

PROJECT DIRECTORY

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BUILDING CODE SUMMARY

REFERENCED DOCUMENTS:
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3
CANADIAN STANDARDS ASSOCIATION B651-18

MAJOR OCCUPANCY CLASSIFICATION:
GROUP C - RESIDENTIAL

BUILDING AREA:
12 504.17 m² (134 595 s.f.)

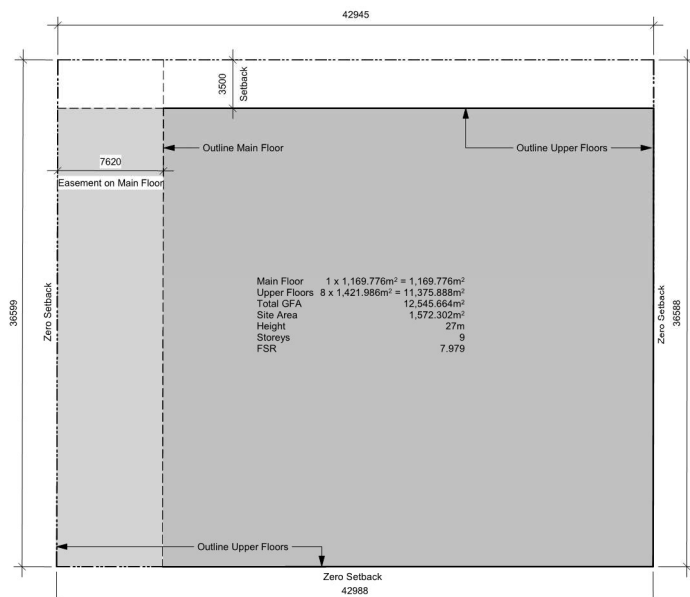
BUILDING HEIGHT:
18 STOREYS

NUMBER OF STREETS FACING:
ACCESSIBLE ENTRANCE

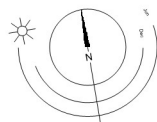
ACCESSIBLE FACILITIES:
ACCESSIBLE ENTRANCE

CONSTRUCTION REQUIREMENTS:
3.2.2.47 GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED
NON-COMBUSTIBLE CONSTRUCTION WITH 2 HR MIN. FIRE
RESISTANCE RATING TO FLOORS AND LOADBEARING
WALLS.

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS
Ref. 3.2.6.1 (1)(c)



2 Base FSR Calculation
SCALE: 1 : 250
A001



20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

Plot Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Project L

2020-08-12

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BC LAND SURVEYORS SITE PLAN OF:

Civic: 937 View Street

Legal Lot A of Lots 785, 786, and 787,
Victoria City, Plan 36505

Parcel Identifier: 000-410-233
in the City of Victoria

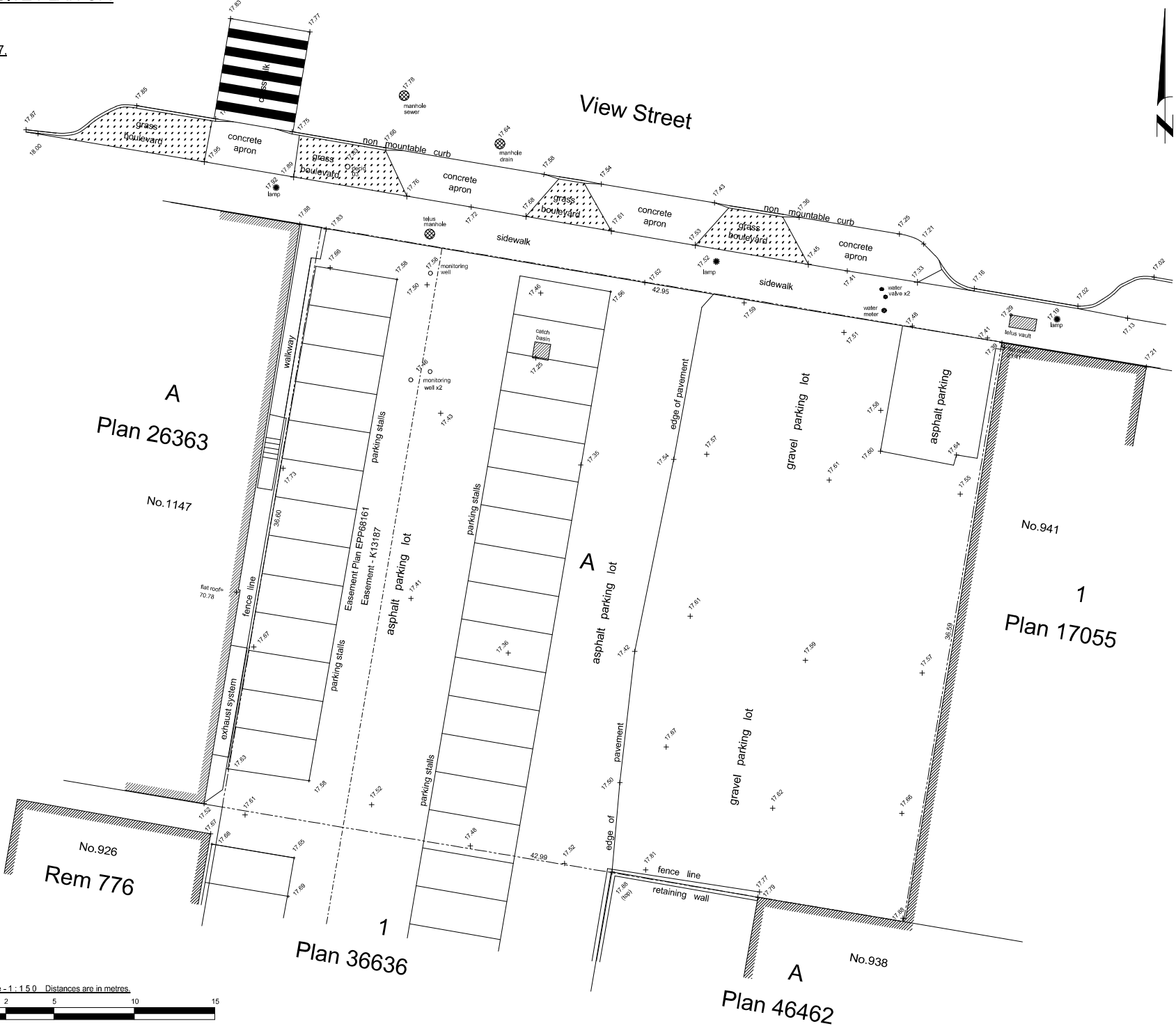
LEGEND

Elevations are to geodetic datum.

+ - denotes - existing elevation

Tree diameters are in centimetres.

Area Lot A = 1572.3m2



December 13, 2016

File : 9.929-16

POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Scale - 1 : 150 Distances are in metres.



The intended print size is 18" by 24".

19-10-02

Issued for DP

Plot Date	20/08/12	Drawing File	
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Scale	1 : 150	Project Number	1922

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Survey



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A100

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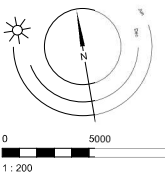
Vancouver Street

19-10-02		Issued for DP	
Plot Date	20/08/12	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	1 : 200	Project Number	1922
NOTE: All dimensions are shown in millimeters.			

NOTE: All dimensions are shown in millimeters.

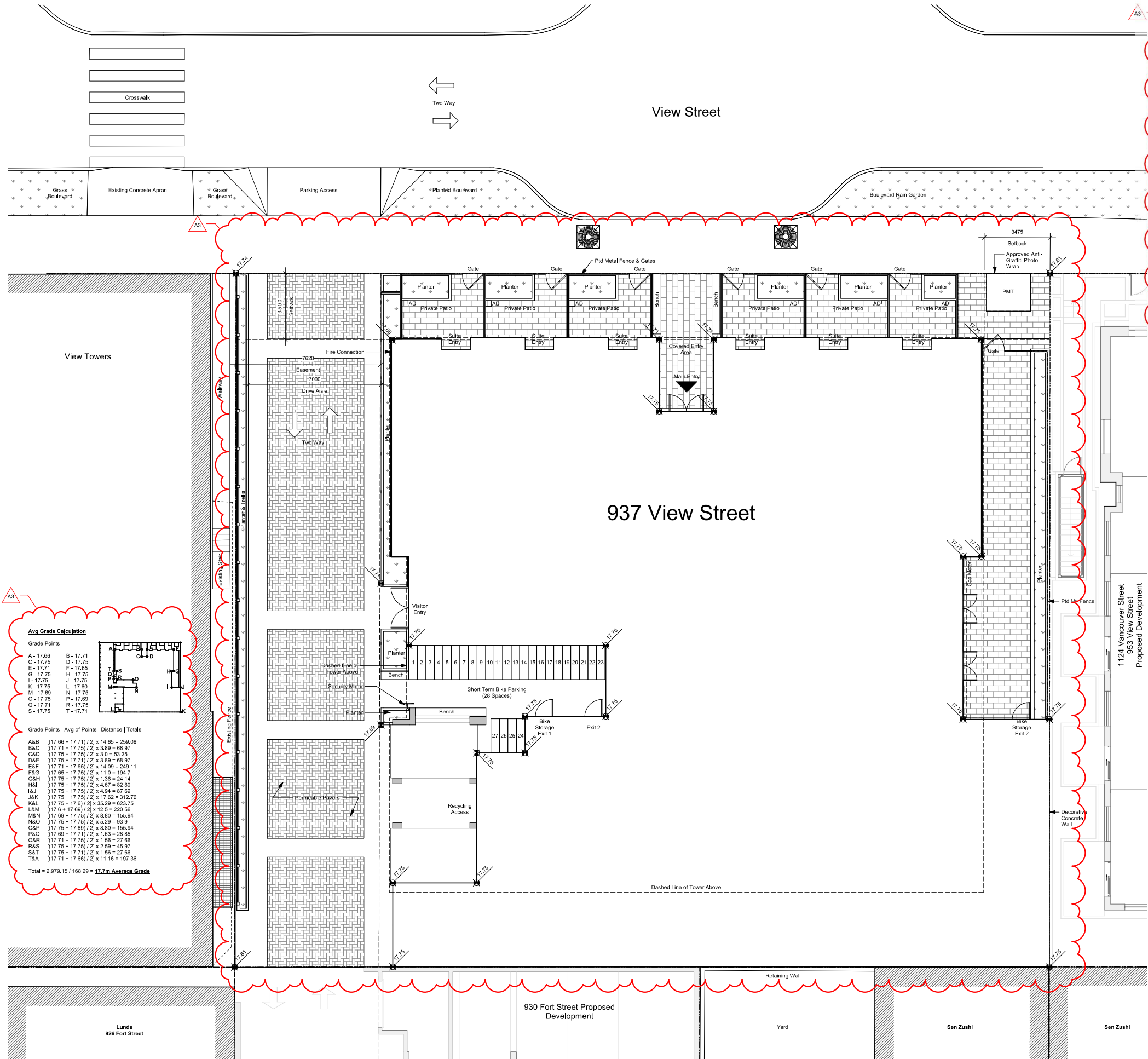
View Street Residential 937 View Street

Site Plan



dHKa **A101**

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Avg Grade Calculation

Grade Points

A - 17.66	B - 17.71
C - 17.75	D - 17.75
E - 17.71	F - 17.65
G - 17.75	H - 17.75
I - 17.75	J - 17.75
K - 17.75	L - 17.60
M - 17.69	N - 17.75
O - 17.75	P - 17.69
Q - 17.71	R - 17.75
S - 17.75	T - 17.71

Grade Points [Avg of Points] [Distance] [Totals]

A&B	[(17.66 + 17.71) / 2] x 14.65 = 259.08
B&C	[(17.71 + 17.75) / 2] x 3.89 = 68.97
C&D	[(17.75 + 17.75) / 2] x 3.0 = 53.25
D&E	[(17.75 + 17.71) / 2] x 3.89 = 68.97
E&F	[(17.71 + 17.65) / 2] x 14.09 = 249.11
F&G	[(17.65 + 17.75) / 2] x 11.0 = 194.7
G&H	[(17.75 + 17.75) / 2] x 1.36 = 24.14
H&I	[(17.75 + 17.75) / 2] x 4.67 = 82.89
I&J	[(17.75 + 17.75) / 2] x 4.94 = 87.89
J&K	[(17.75 + 17.75) / 2] x 17.62 = 312.76
K&L	[(17.75 + 17.6) / 2] x 35.29 = 623.75
L&M	[(17.6 + 17.69) / 2] x 12.5 = 220.56
M&N	[(17.69 + 17.75) / 2] x 8.80 = 155.94
N&O	[(17.75 + 17.75) / 2] x 5.29 = 93.9
O&P	[(17.75 + 17.69) / 2] x 8.80 = 155.94
P&Q	[(17.69 + 17.71) / 2] x 1.63 = 28.85
Q&R	[(17.71 + 17.75) / 2] x 1.56 = 27.86
R&S	[(17.75 + 17.75) / 2] x 2.99 = 45.97
S&T	[(17.75 + 17.71) / 2] x 1.56 = 27.86
T&A	[(17.71 + 17.66) / 2] x 11.16 = 197.36

Total = 2,979.15 / 168.29 = **17.7m Average Grade**

PROJECT INFORMATION TABLE

	Zone Standard	Proposal - if Different from Zone Standard
Zoning	R-48	R-48
Site Area (m²)	N/A	1572.3 m²
Total Floor Area (m²)	N/A	12 504.2 m²
Floor Space Ratio	N/A	7.95
Site Coverage %	N/A	80%
Open Site Space %	N/A	20%
Height (m)	30m	54.0 m
Number of Storeys	10	18
Parking Stalls (number) on site	N/A	0
Bicycle Parking Number (Short and Long Term)	N/A	307

Building Setback (m)

Front Yard	0.5m non-res / 3.5m res	3.5m res (North)
Rear Yard	N/A	3.48m (Tower, South)
Side Yard (Indicate Which Side)	N/A	3.93m (Tower, East)
Side Yard (Indicate Which Side)	N/A	7.62m (West)

Residential Use Details

Total Number of Units	N/A	267
Unit Types	N/A	Studio, 1 BR/BTH, 2 BR/ 2 BTH
Ground Oriented Units	N/A	6
Minimum Unit Floor Area	N/A	29m²
Total Residential Floor Area	N/A	9 933.94 m²

Pkt Date	20/08/12	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As Indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View Street Residential
937 View Street
Site Plan

2020-08-12

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BRITISH COLUMBIA

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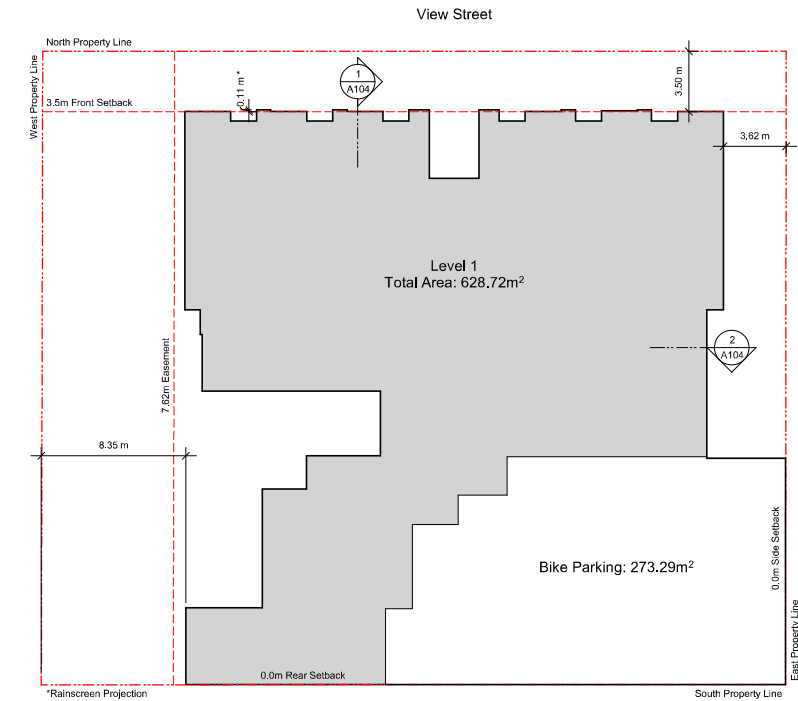
A102

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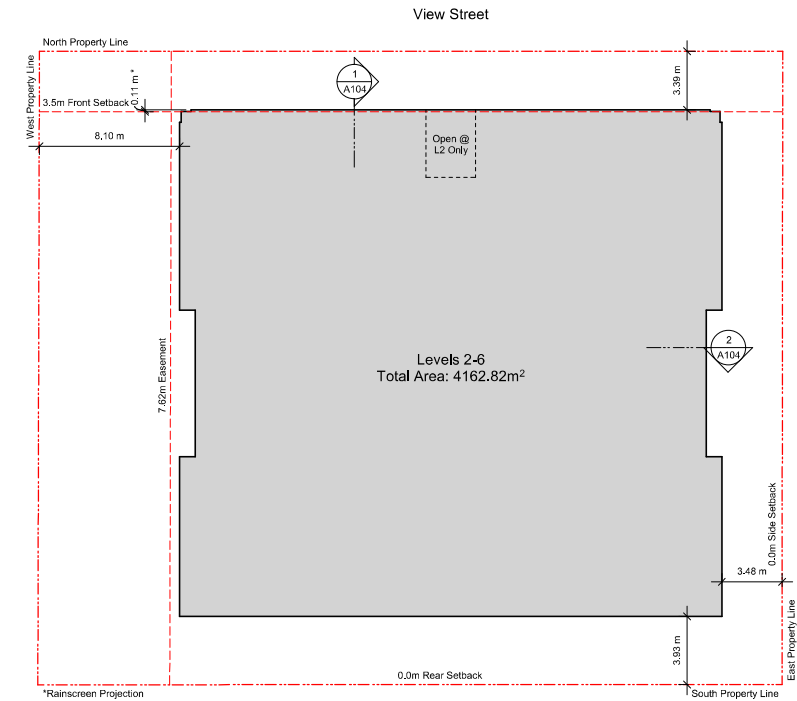
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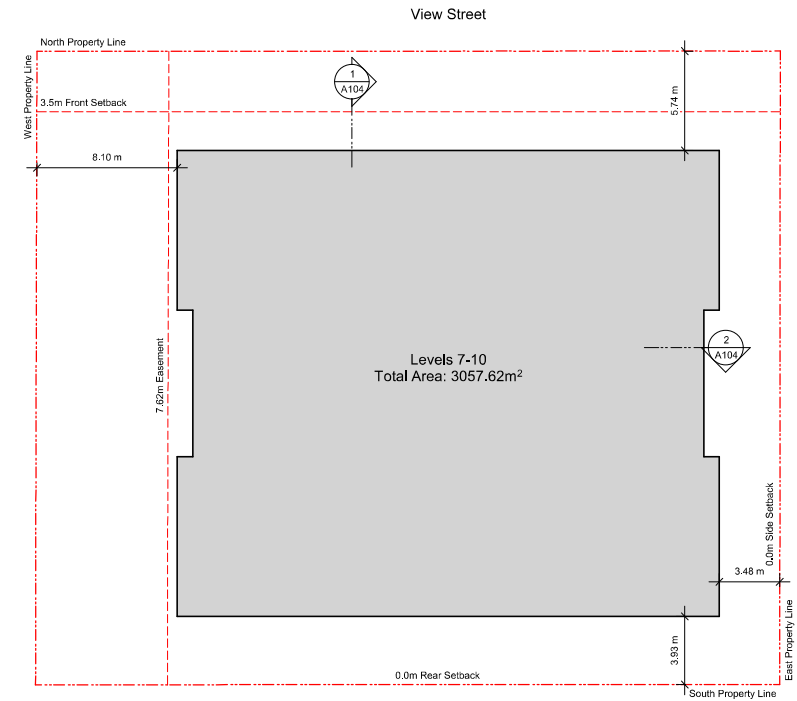
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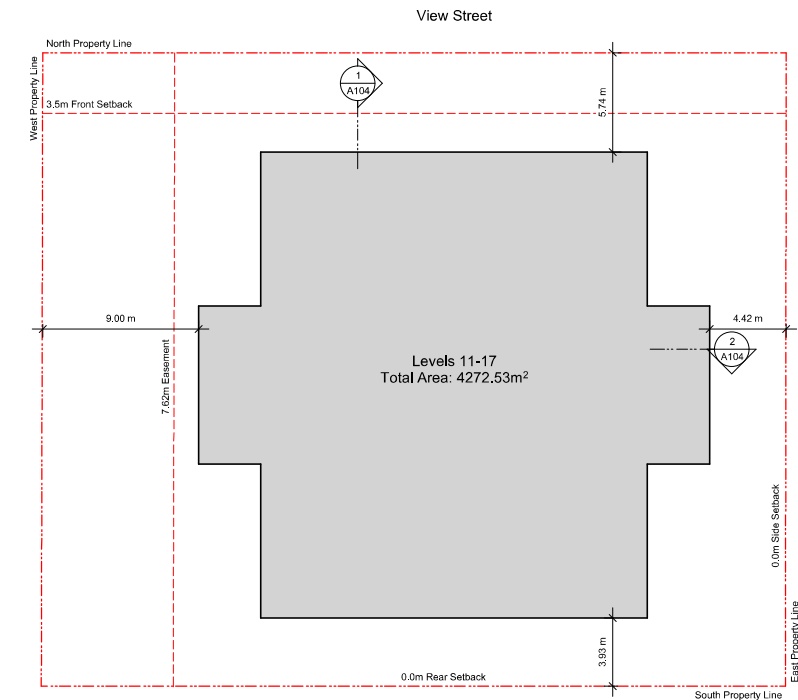
1 Setback Plan - L1
A103 SCALE: 1 : 200



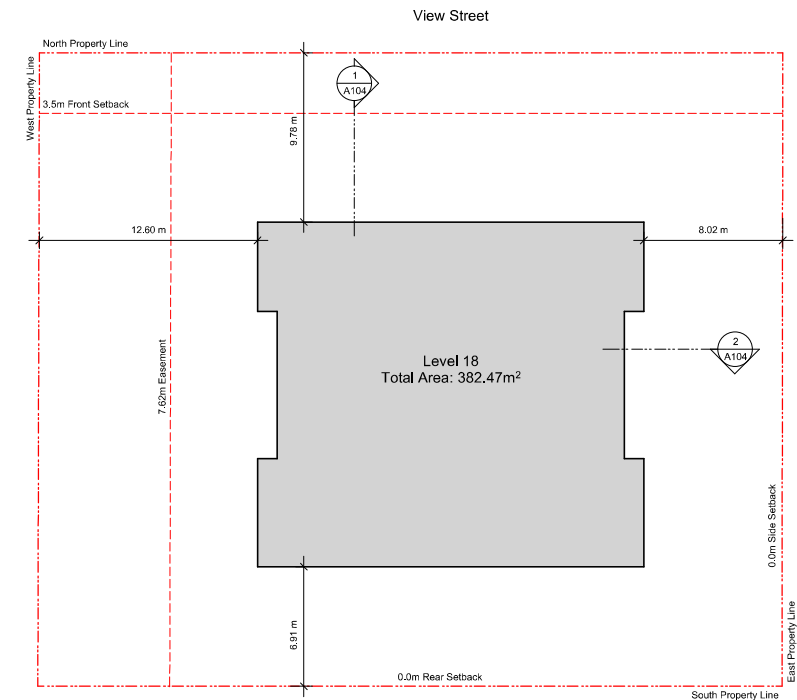
2 Setback Plan - L2-L6
A103 SCALE: 1 : 200



3 Setback Plan - L7-L10
A103 SCALE: 1 : 200



4 Setback Plan - L11-L17
A103 SCALE: 1 : 200



5 Setback Plan - L18
A103 SCALE: 1 : 200

20-08-12 Issued for DP Revisions 2

Plot Date 20/08/12 Drawing File
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Scale 1 : 200 Project Number 1922

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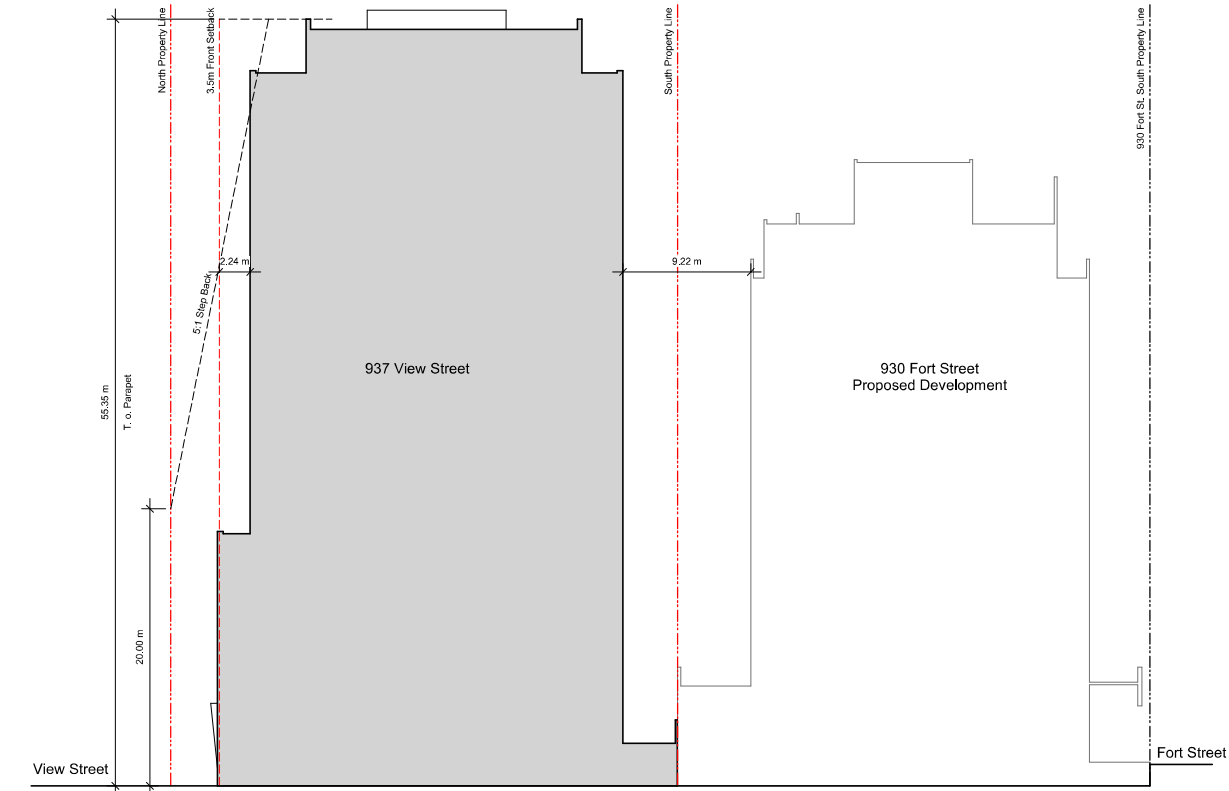
View Street
Residential
937 View Street

Setback

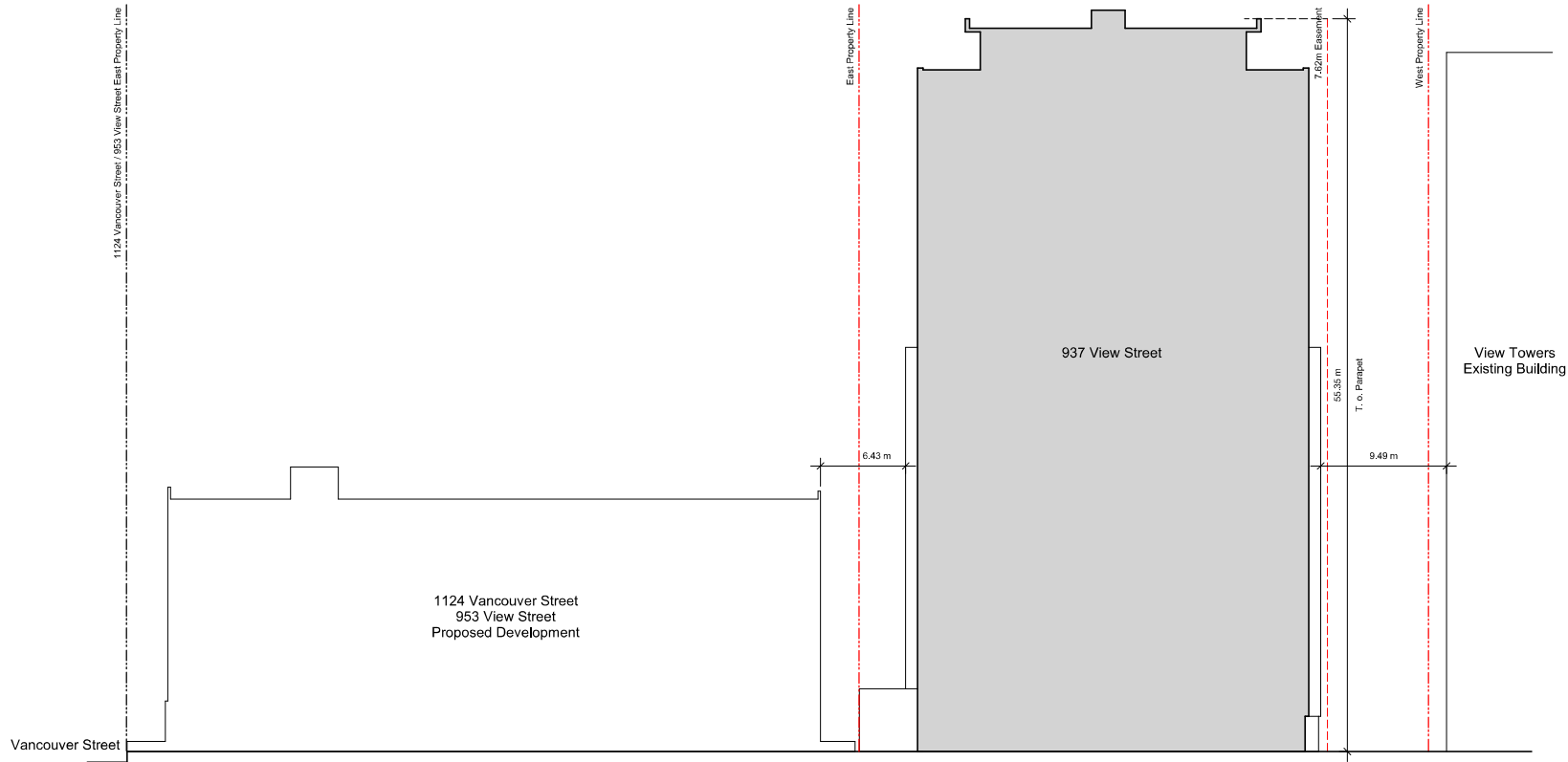


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1 Building Separation Section - North/South
A104 SCALE: 1 : 250



2 Building Separation Section - West/East
A104 SCALE: 1 : 250

General Notes

- 930 Fort Street outline based on Development Permit 5th Resubmission dated 2018-05-16.
- 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit Submission dated 2019-11-07.

20-08-12 Issued for DP Revisions 2

Pkt Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As Indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

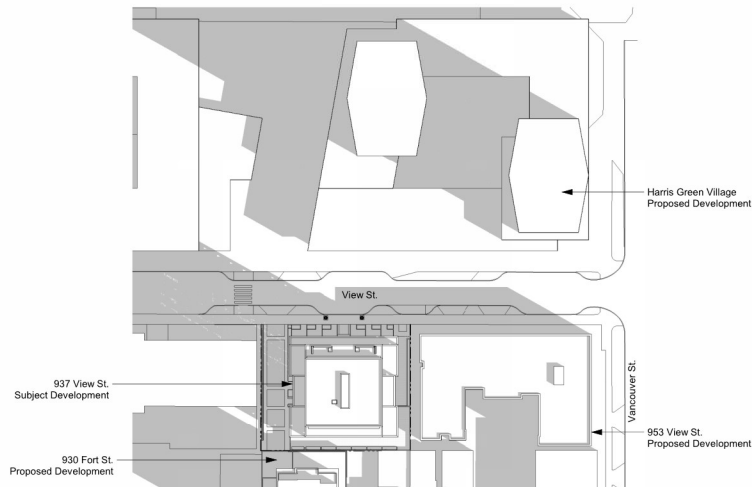
View Street
Residential
937 View Street

Setback



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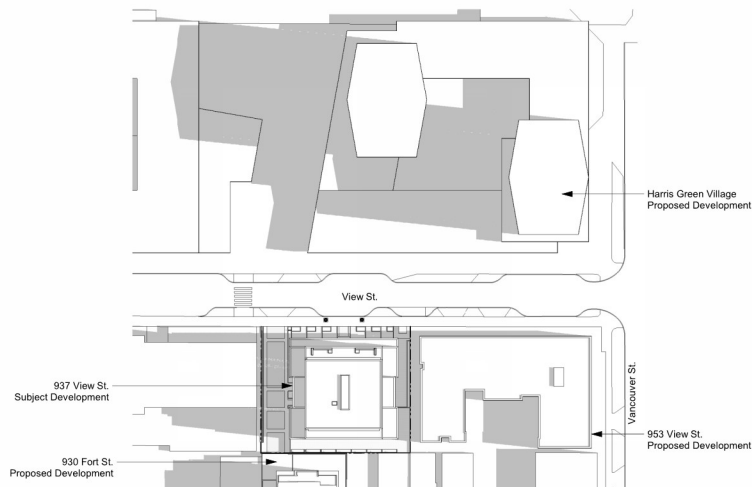
1 Shadow Study - Equinoxes - 10AM
A105 SCALE: 1 : 1000



2 Shadow Study - Equinoxes - 12PM
A105 SCALE: 1 : 1000



3 Shadow Study - Equinoxes - 2PM
A105 SCALE: 1 : 1000



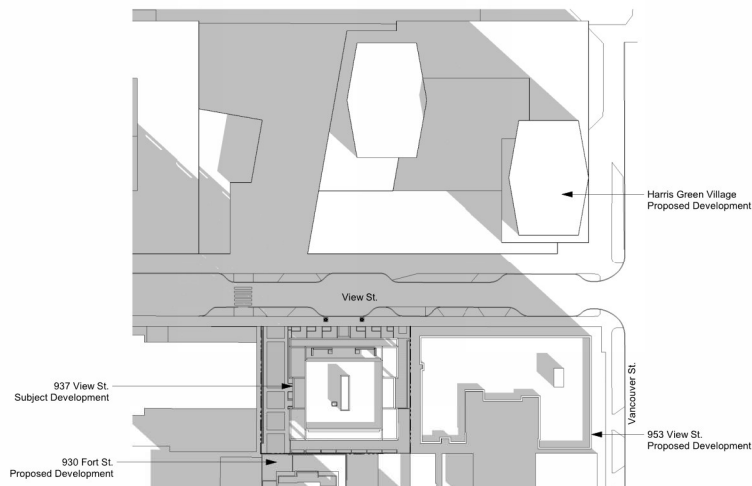
4 Shadow Study - Summer Solstice - 10AM
A105 SCALE: 1 : 1000



5 Shadow Study - Summer Solstice - 12PM
A105 SCALE: 1 : 1000



6 Shadow Study - Summer Solstice - 2PM
A105 SCALE: 1 : 1000



7 Shadow Study - Winter Solstice - 10AM
A105 SCALE: 1 : 1000



8 Shadow Study - Winter Solstice - 12PM
A105 SCALE: 1 : 1000



9 Shadow Study - Winter Solstice - 2PM
A105 SCALE: 1 : 1000

A6

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

Pkx Date 20/08/12 Drawing File
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Scale 1 : 1000 Project Number 1922

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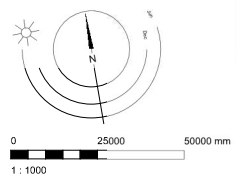
View Street
Residential
937 View Street

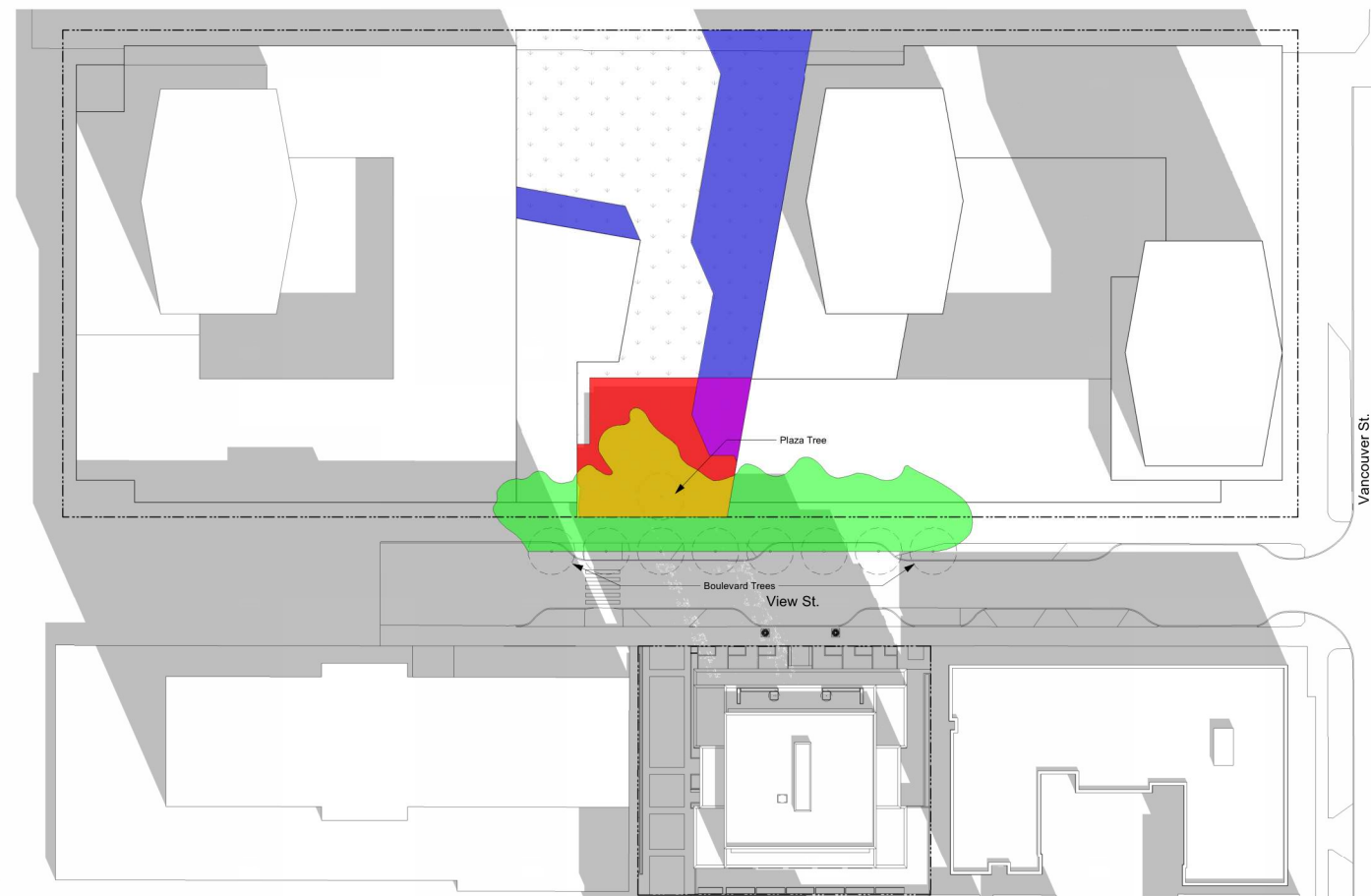
Site Concept
Shadow Study
2020-08-13





dHKa
A105

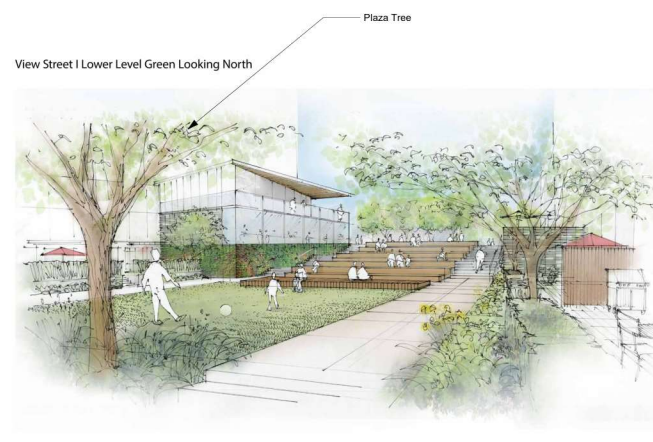
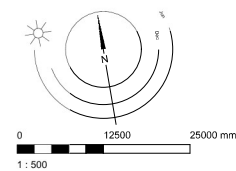
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Shadow Legend

	Harris Green Plaza
	Harris Green Buildings
	Harris Green Landscape
	937 View Street
	937 View Street / Harris Green Buildings
	937 View Street / Harris Green Landscape



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View Street
Residential
937 View Street

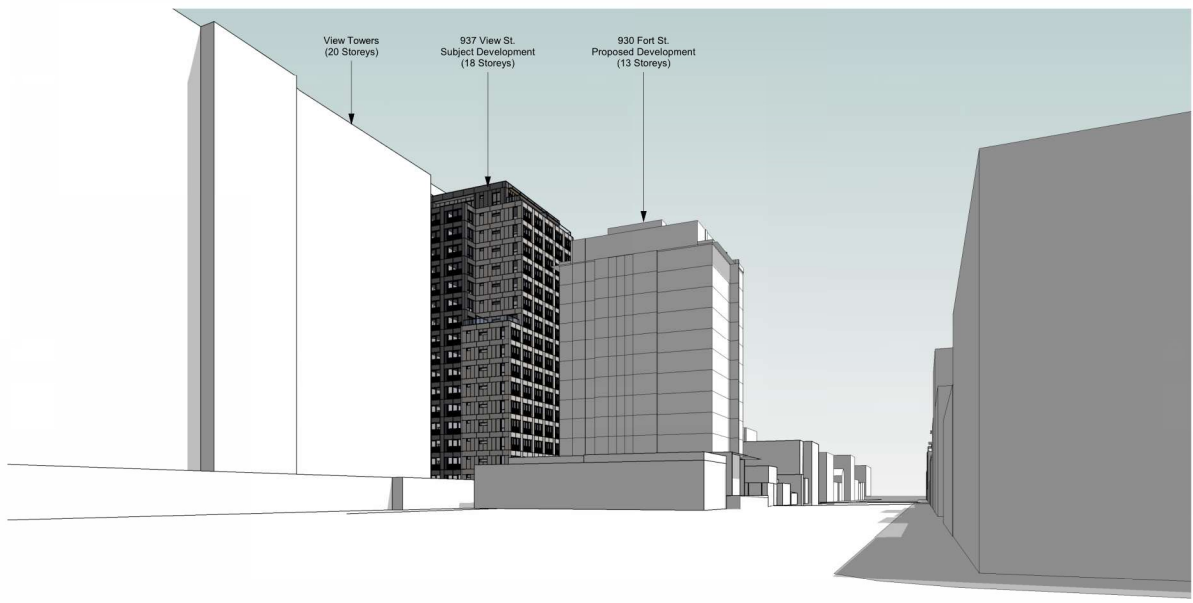
dH Ka

A106

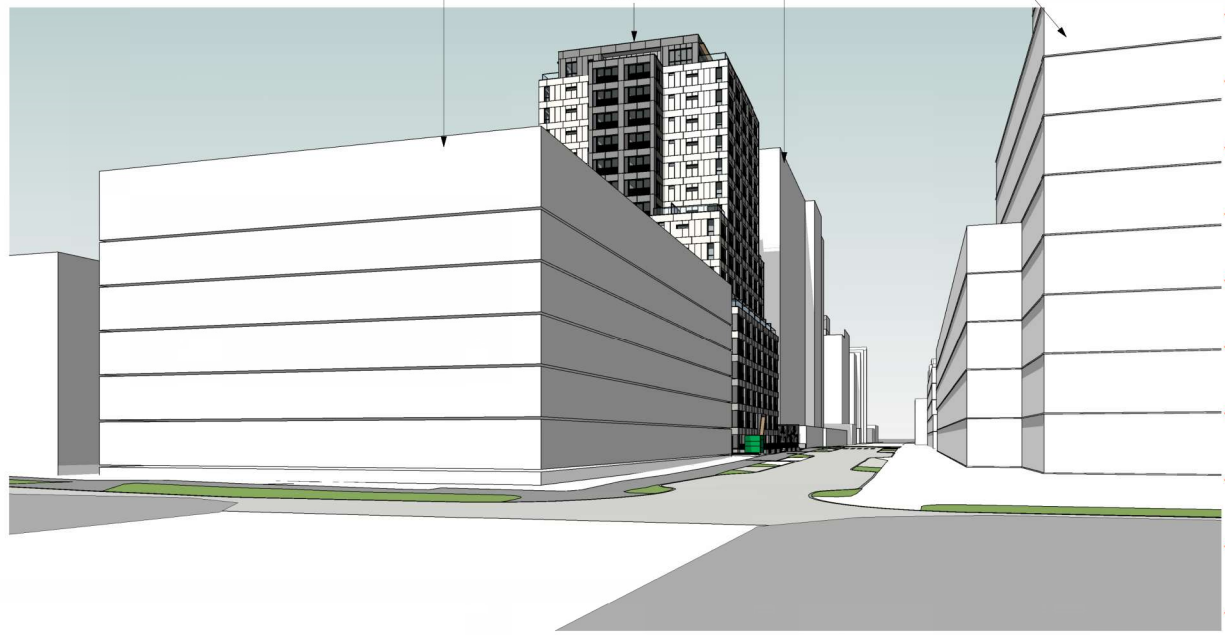
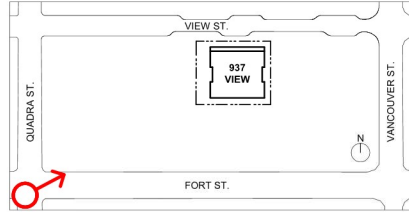
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Nanaimo
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1-250-6190 Dublin Vay V9T 0H2 T 1-250-585-5810

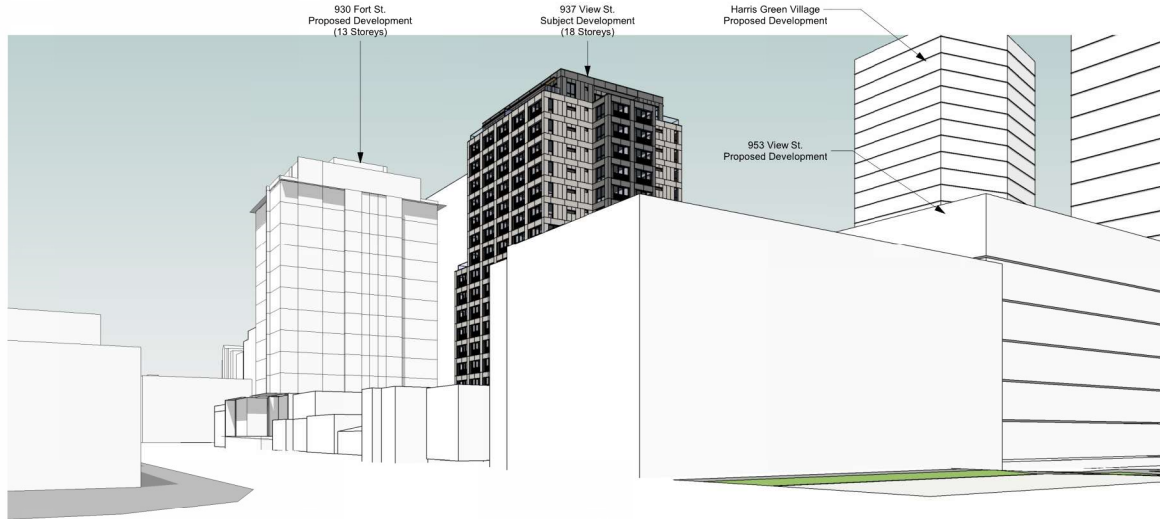
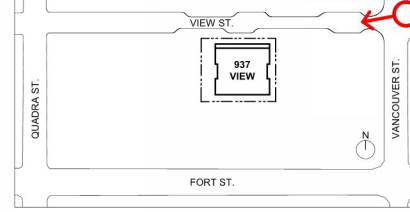
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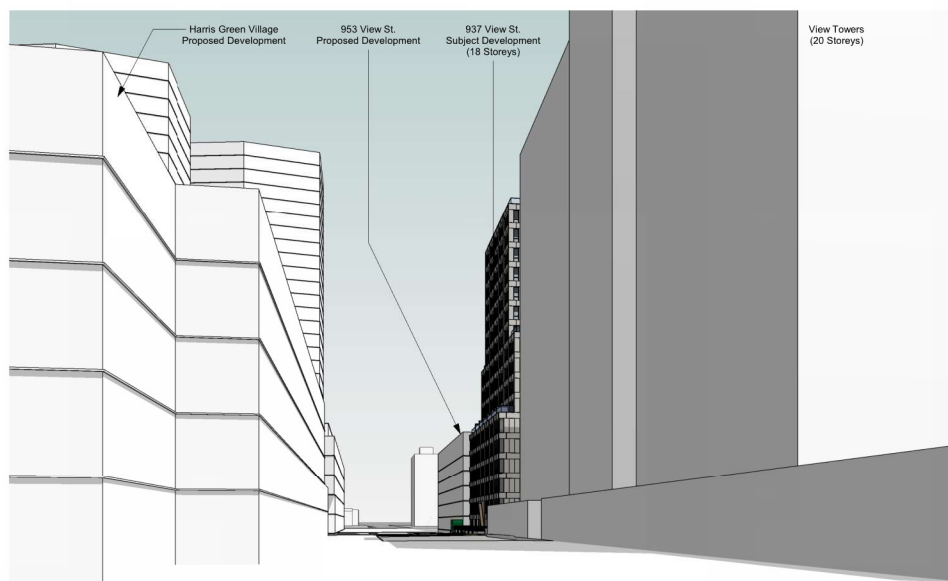
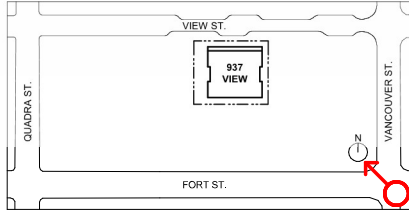
1 Street Perspective - Fort & Quadra - SW Corner
SCALE: A107



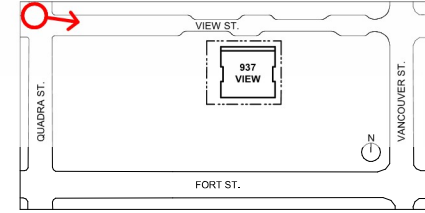
2 Street Perspective - View & Vancouver - NE Corner
SCALE: A107



3 Street Perspective - Fort & Vancouver - SE Corner
SCALE: A107



4 Street Perspective - View & Quadra - NW Corner
SCALE: A107



20-08-12
20-01-08
19-10-02

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Pkt Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale 1 : 2000 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street Residential 937 View Street

Site Context Views



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1 Street Elevation
A108 / SCALE: 1 : 300

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20-01-08
19-10-02

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Issued for DP

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Drawn By RCI Checked By ADM
Scale 1 : 300 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Site Concept
Elevation
2020-08-12

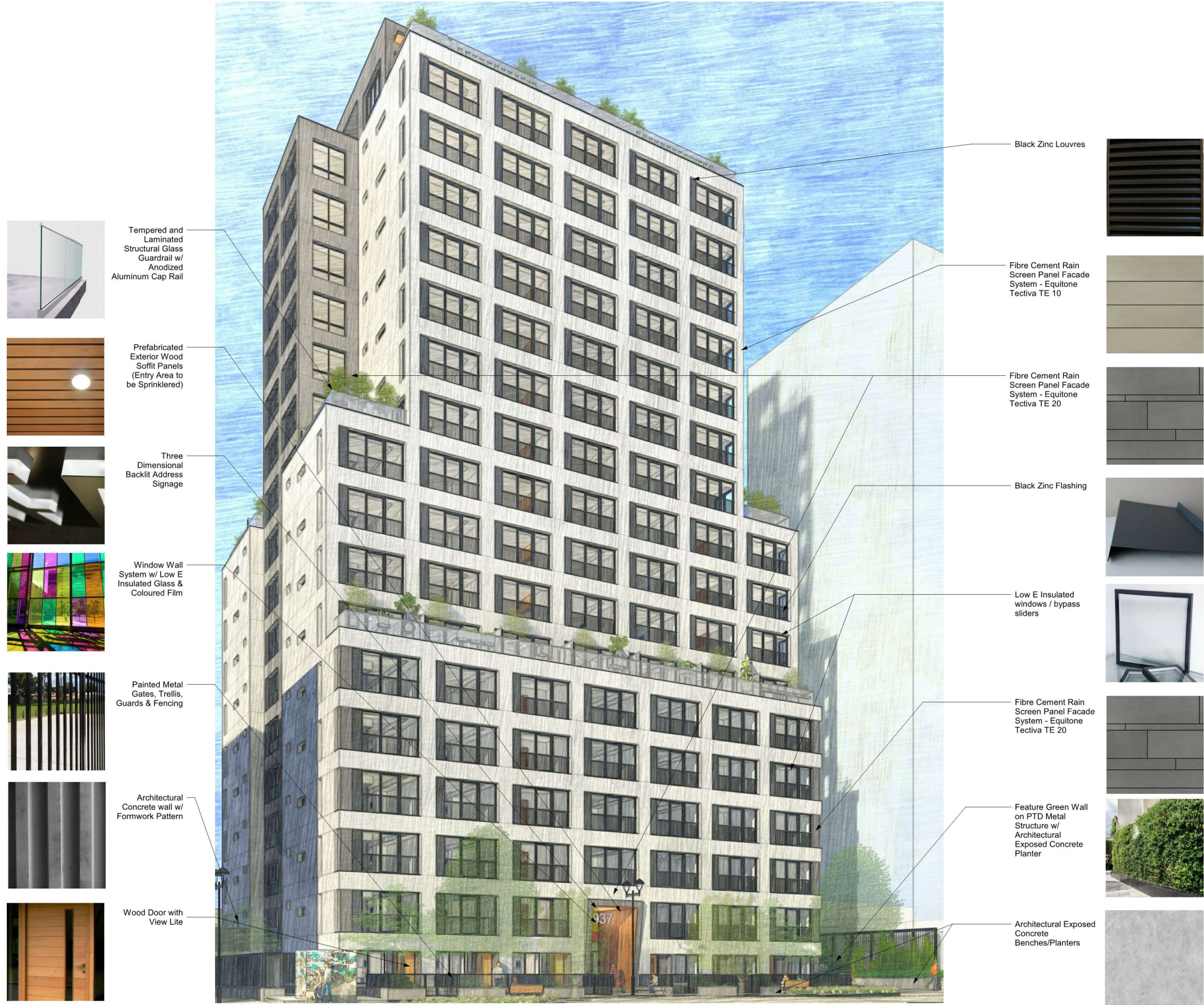


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A108

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20-01-08
19-10-02

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Plot Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As Indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Site Construction
Materials



dHKa

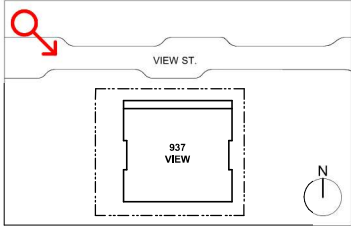
A109

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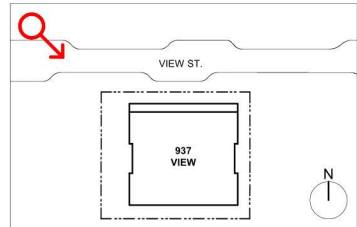
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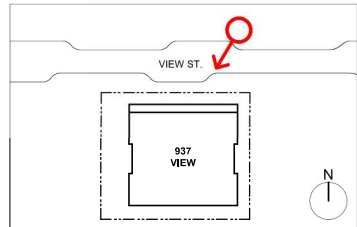
1 Perspective Render - Looking Southeast
A110 SCALE: 1 : 1



2 Perspective Rendering - Crosswalk
A110 SCALE: 1 : 1



3 Perspective Rendering - Looking Southwest
A110 SCALE: 1 : 1



20-08-12
20-01-08
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Issued for DP Revisions 1

Pict Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As Indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

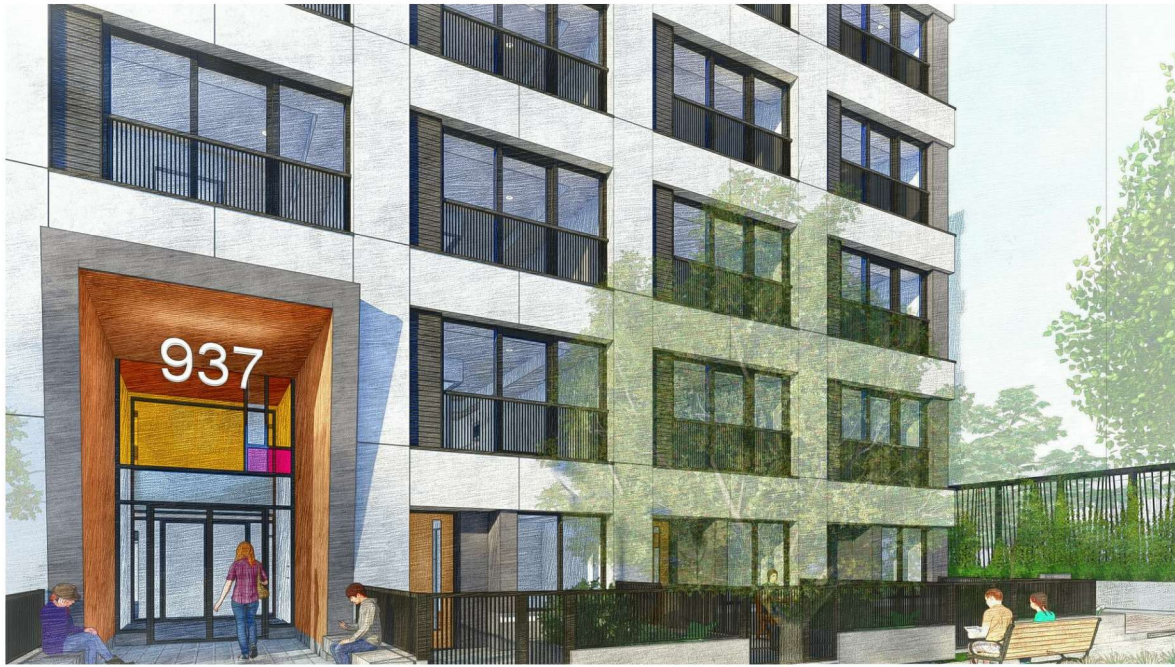
View Street
Residential
937 View Street

Site Con
Rendered
2020-08-12

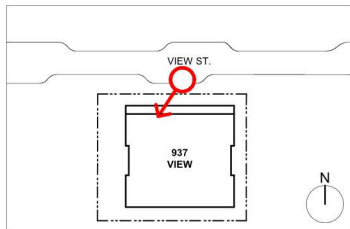
dHKA A110

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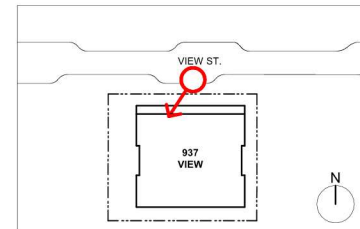
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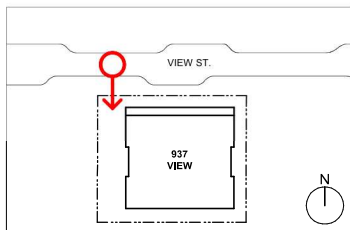
1 Perspective Rendering - Main Entry
A111 SCALE: 1 : 1



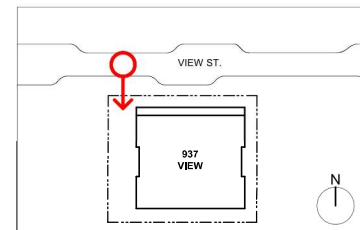
2 Perspective Rendering - Main Entry - Night
A111 SCALE: 1 : 1



3 Perspective Rendering - Easement
A111 SCALE: 1 : 1



4 Perspective Rendering - Easement - Night
A111 SCALE: 1 : 1



20-08-12
20-01-08
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Issued for DP Revisions 1

Pict Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As Indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

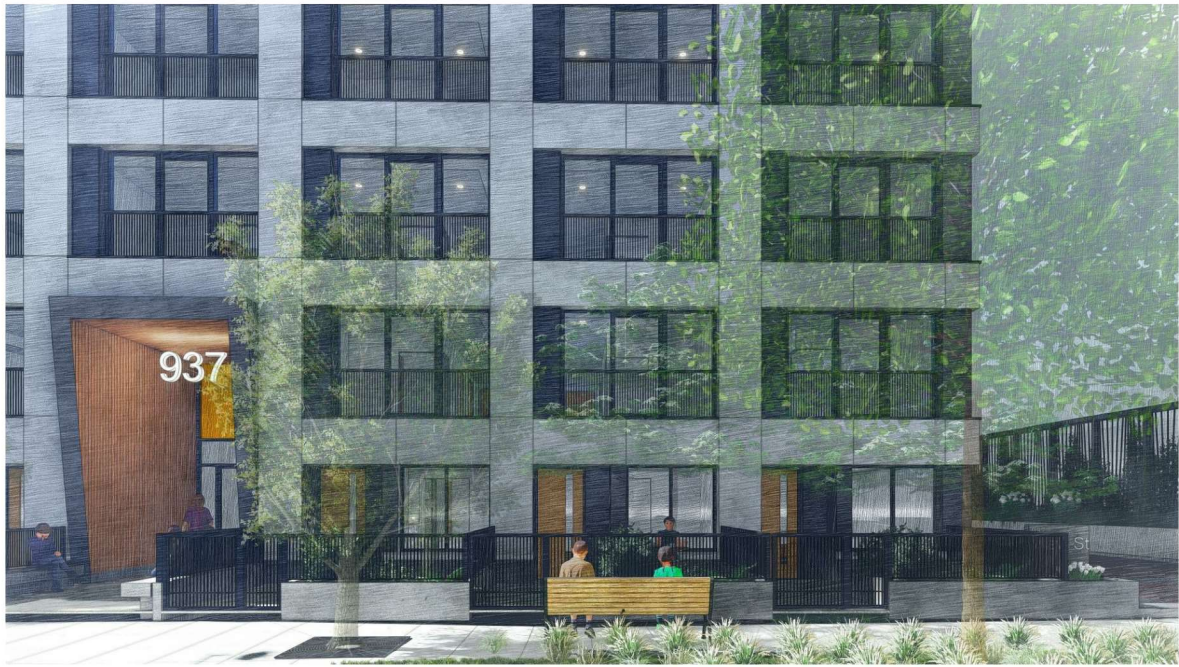
View Street
Residential
937 View Street

Site Con
Render

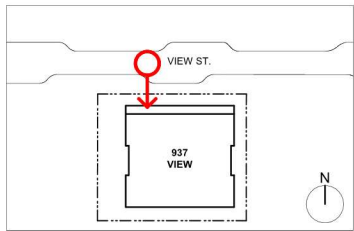


dHKa A111

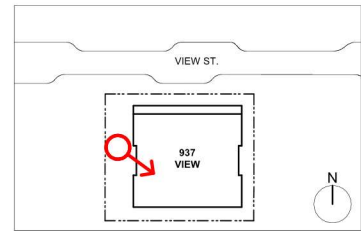
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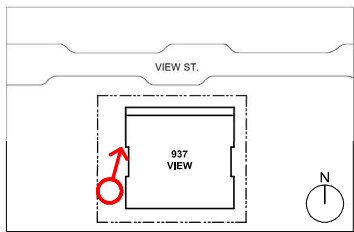
1 Perspective Rendering - Townhouses at Easement
SCALE: 1 : 1



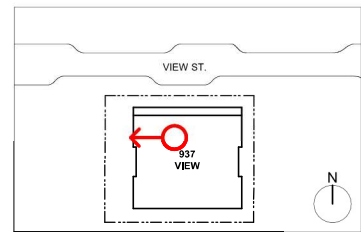
2 Perspective Rendering - Bikes and Garage
SCALE: 1 : 1



3 Perspective Rendering - Easement Looking at Bikes
SCALE: 1 : 1



4 Perspective Rendering - Parking from Garage
SCALE: 1 : 1



20-08-12
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View Street
Residential
937 View Street

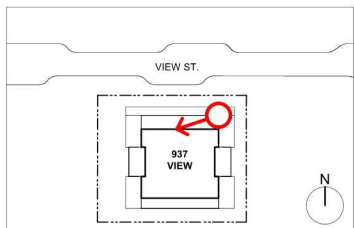
Site Concept
Rendered

dHKa A112

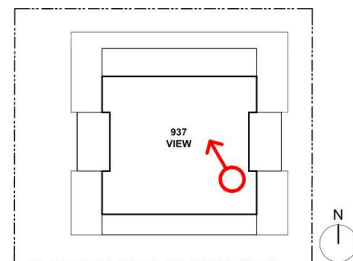
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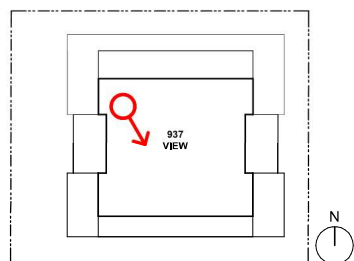
1 Perspective Rendering - L18 North Terrace
A113 SCALE: 1 : 1



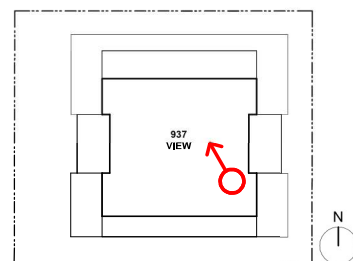
2 Perspective Rendering - L18 South Terrace
A113 SCALE: 1 : 1



3 Perspective Rendering - L18 Amenity
A113 SCALE: 1 : 1



4 Perspective Rendering - L18 Fitness
A113 SCALE: 1 : 1



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PLOT DATE 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As Indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

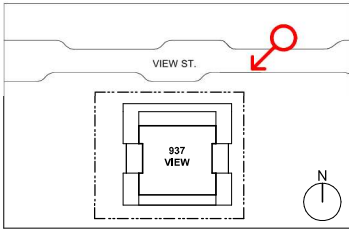
Site Concept
Rendered

dHKa A113

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1 Perspective Rendering - Overall - Night
A114 SCALE: 1 : 1



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20-01-08

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Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Site Consultation
Rendered 2020-08-12

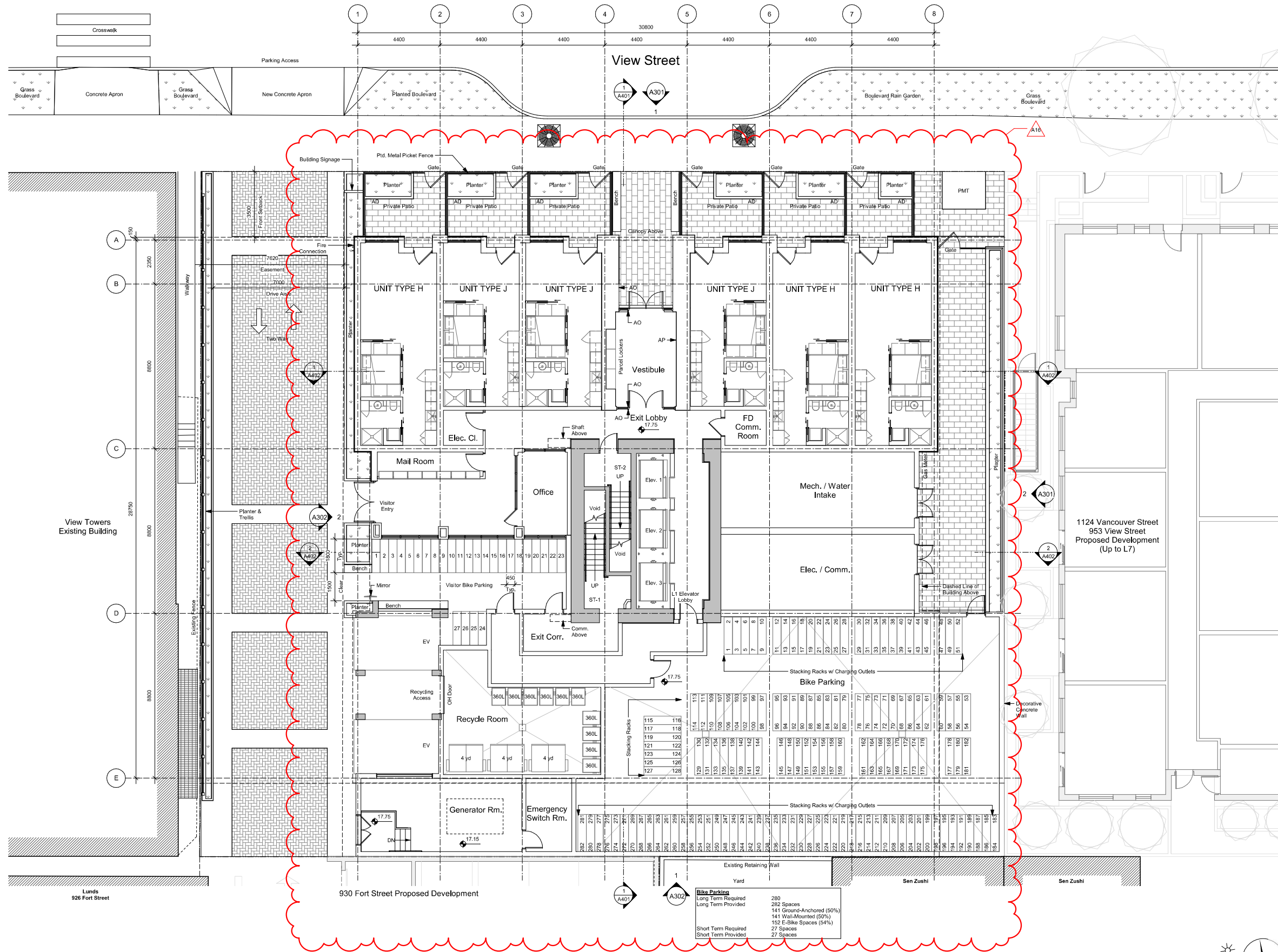


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A114

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19-10-02

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Pkt Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale 1:100 Project Number 1922

NOTE: All dimensions are shown in millimeters.

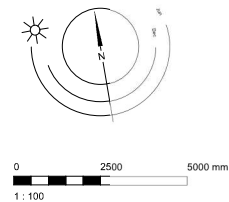
View Street
Residential
937 View Street

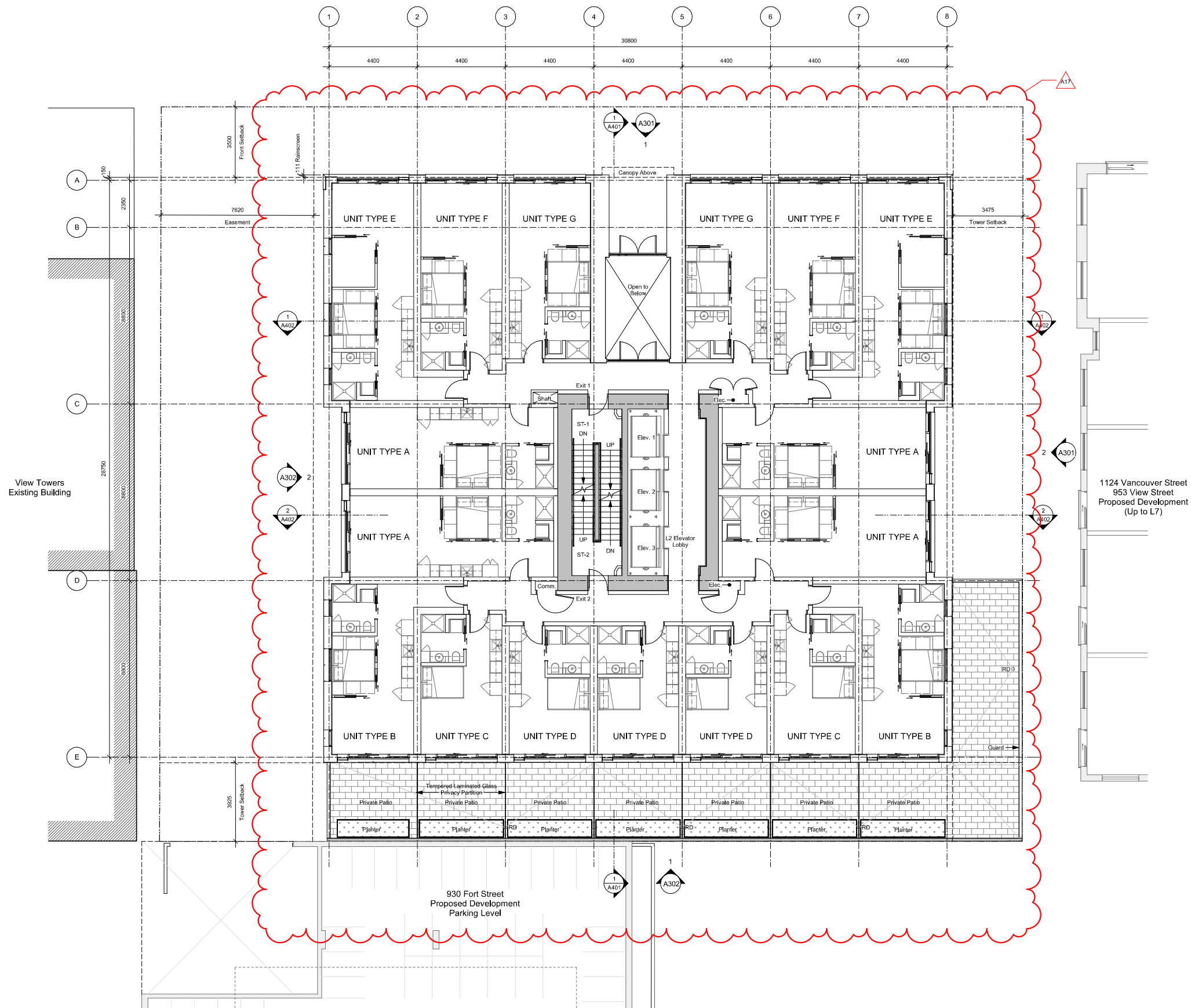
Level 1

2020-08-12

A201

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NOTE: All dimensions are shown in millimeters.

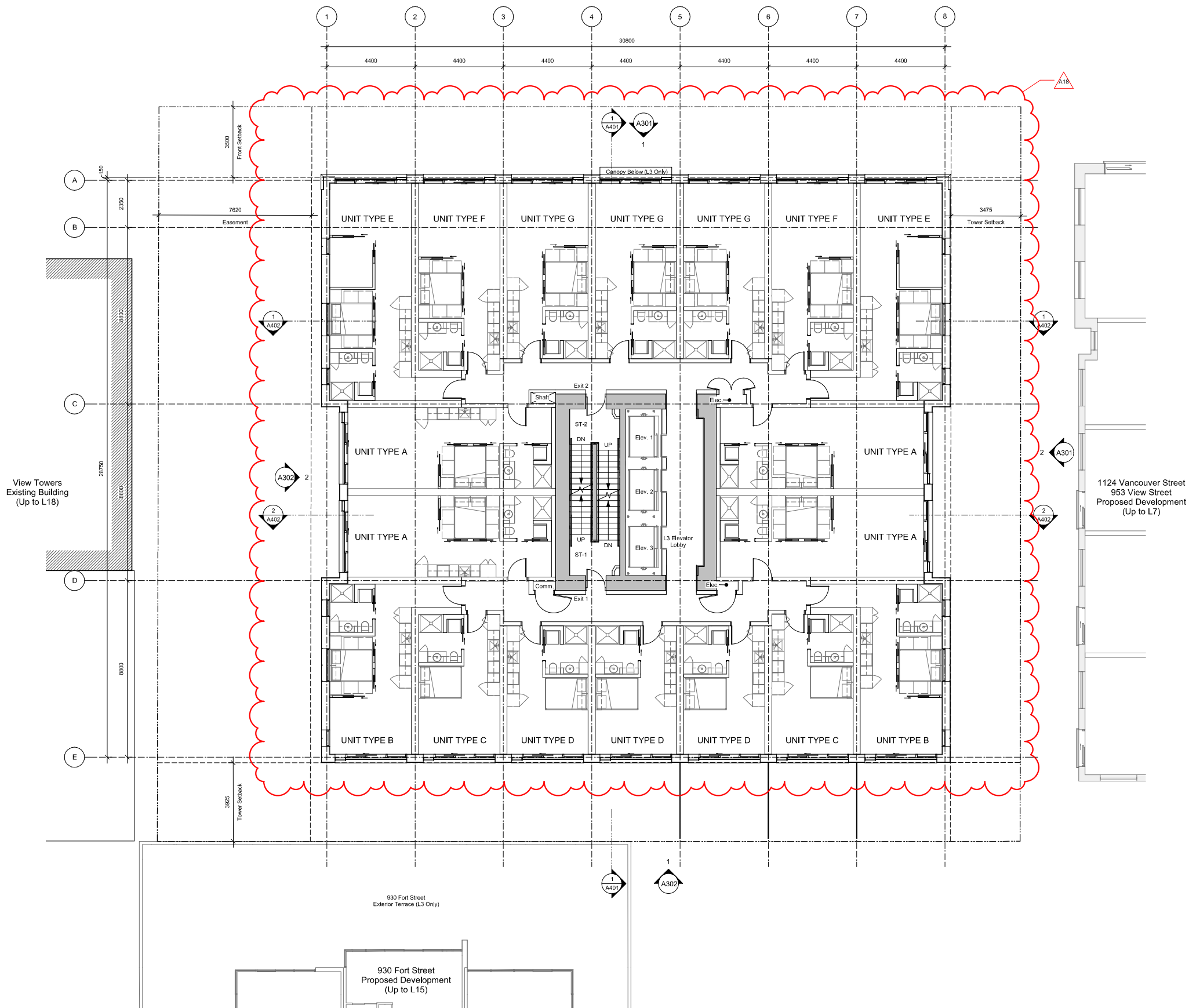
View Street
Residential
937 View Street

Level 2



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A202

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19-10-02

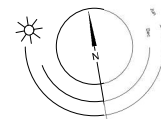
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Issued for DP Revisions 1
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Pkt Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale 1:100 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

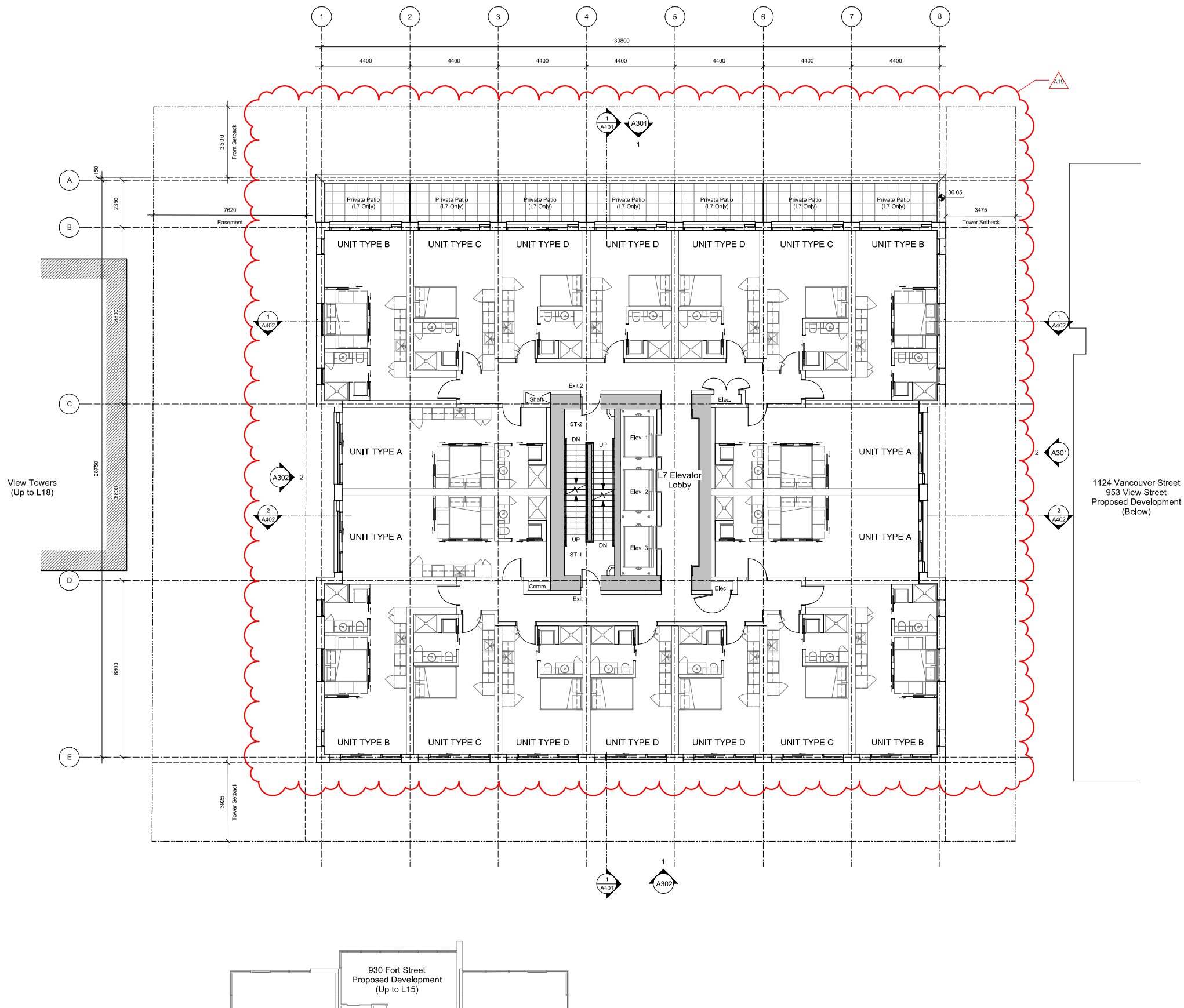
Levels 3-15



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Scale 1:100 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

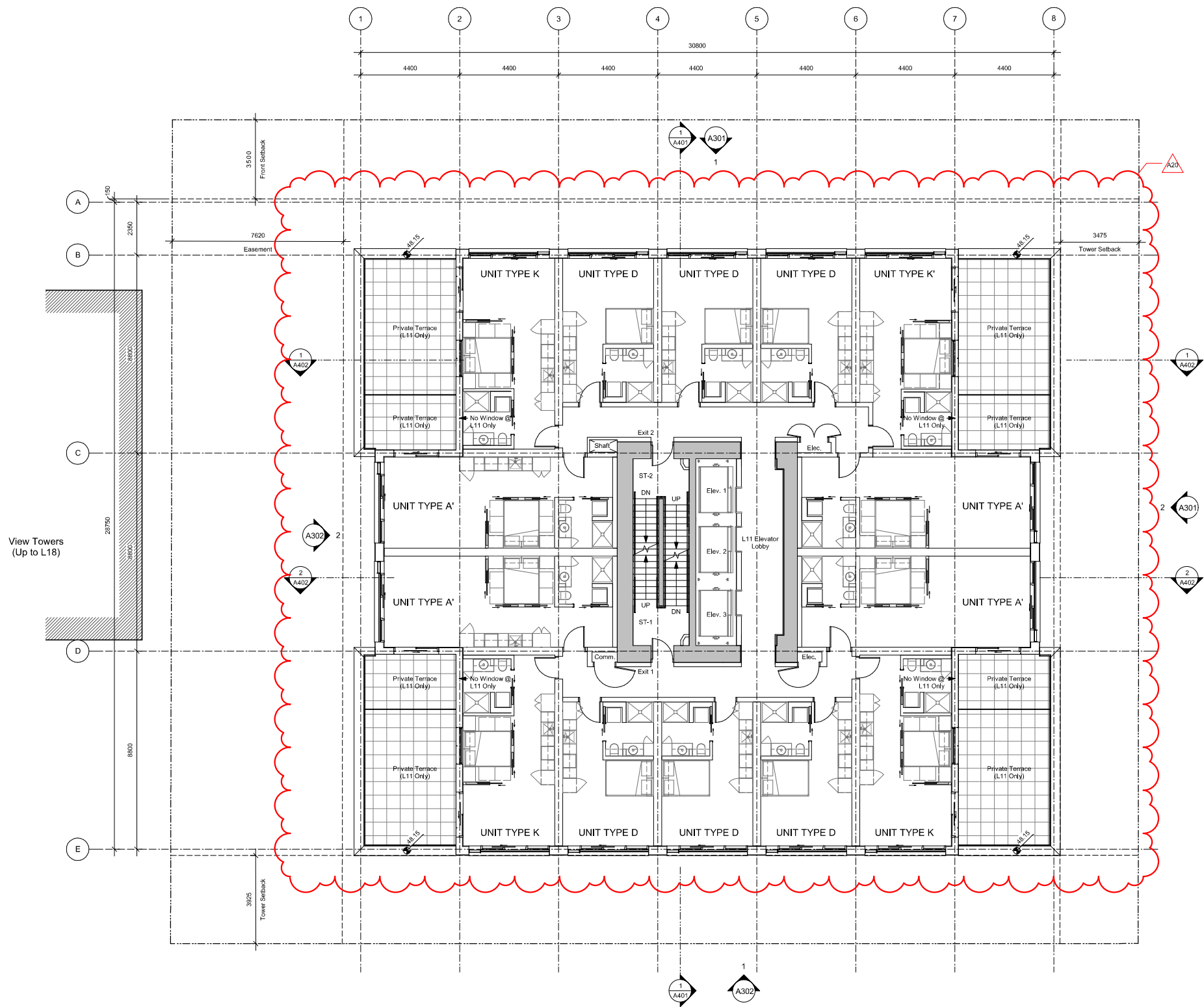
Levels



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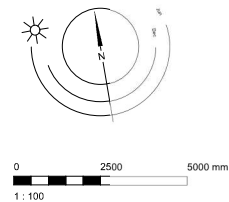
NOTE: All dimensions are shown in millimeters.

**View Street
Residential**
937 View Street

Levels

2020-08-12

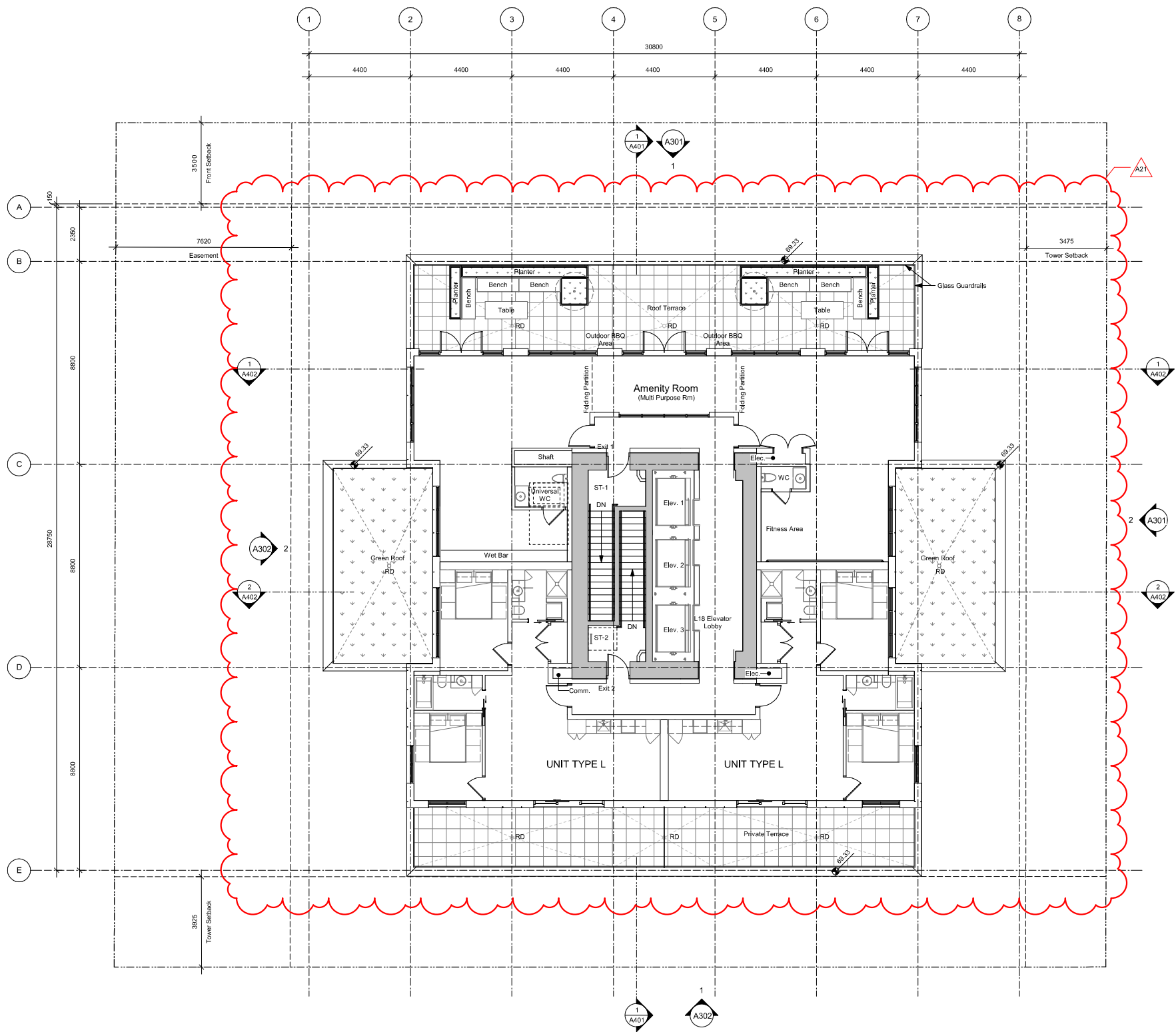
REGISTERED ARCHITECT
BRITISH COLUMBIA



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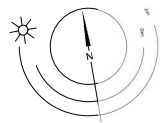
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NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

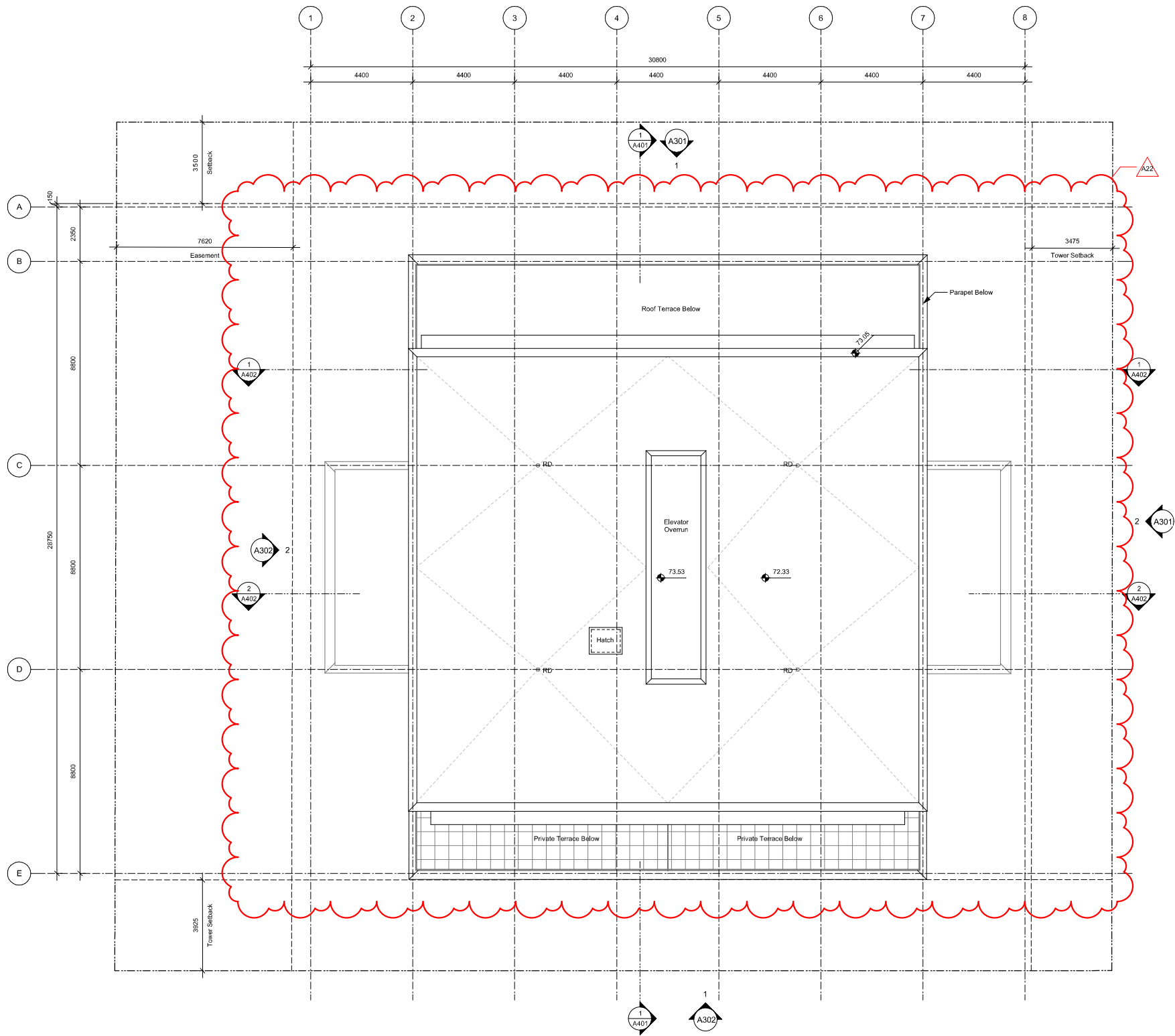
Level 13



dHKA
A206

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19-10-02

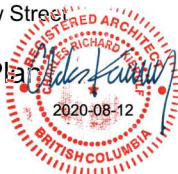
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View Street
Residential
937 View Street

Roof Plan

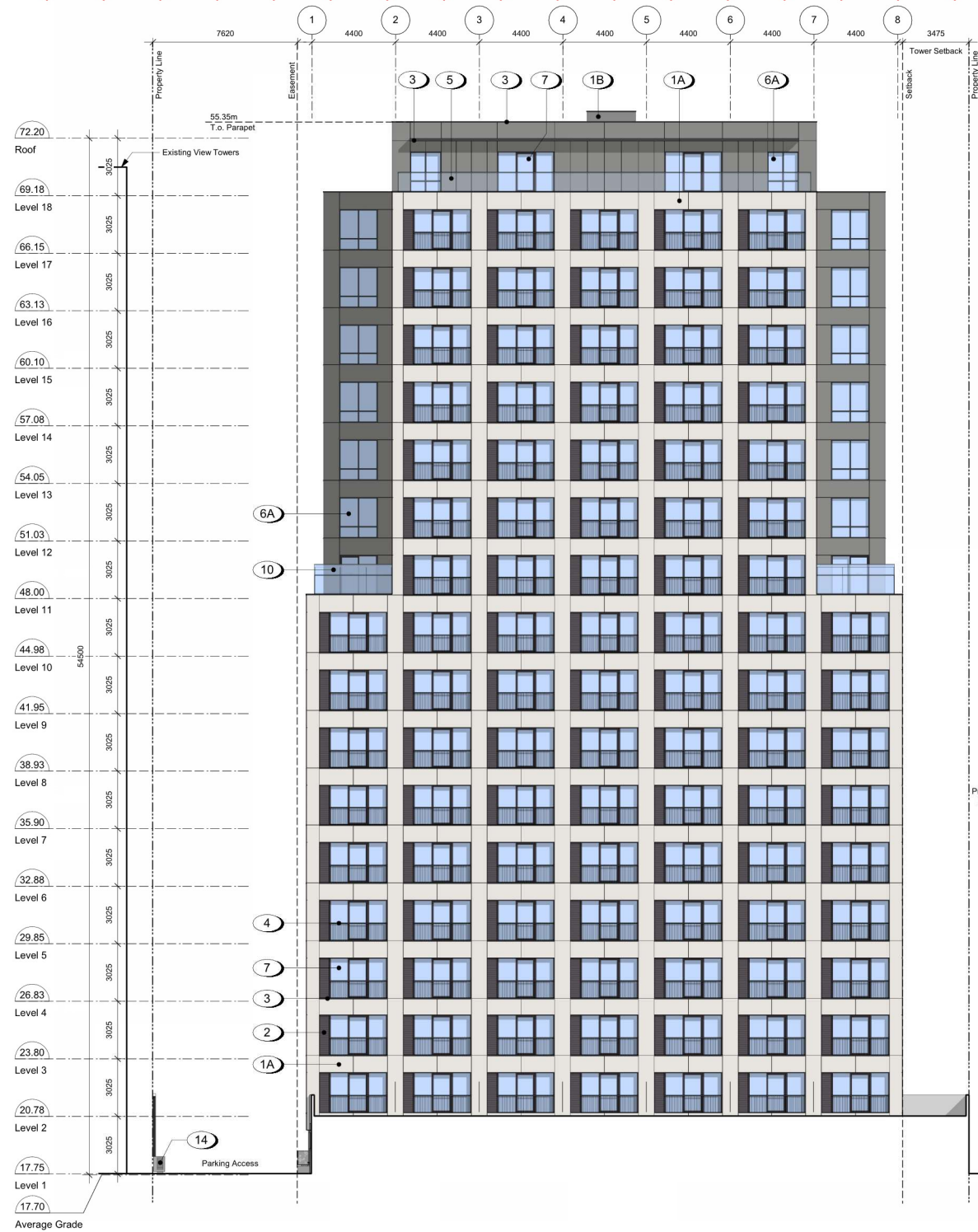


dHKa

A207

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1 Building Elevation - South
A302 SCALE: 1 : 150



2 Building Elevation - West
A302 SCALE: 1 : 150

Materials Schedule

- 1A Fibre Cement Panel - Beige
- 1B Fibre Cement Panel - Grey
- 2 Black Zinc Louvre
- 3 Prefinished Metal Flashing / Fascia 22ga
- 4 Juliette Balcony with Painted Metal Guardrail
- 5 Tempered and Laminated Glass Guardrail with Anodized Aluminum Caprail
- 6A Low-e, Insulated Glass Anodized Aluminum Framed Window
- 6B Low-e, Insulated, Frosted Glass Anodized Aluminum Framed Window
- 7 Low-e, Insulated Glass with Safety Film Sliding Glass Door
- 8 Low-e, Insulated Glass with Coloured Film Tint Window Wall System - Colour to be Specified by Architect
- 9 Low-e, Insulated Glass Window Wall System
- 10 Tempered Translucent Glass Privacy Screen with Clear Anodized Aluminum Frame
- 11 Architectural Exposed Concrete
- 12 Decorative Concrete Wall
- 13 Smooth Face Concrete Masonry Units Stack Bond - Painted Light Grey
- 14 Precast Concrete Planter
- 15 Painted Metal Fence
- 16 Metal Planting Support
- 17 Wood Door with View Lite
- 18 Sectional Aluminum Overhead Garage Door

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19-10-02 Issued for DP

Plot Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As Indicated Project Number 1922

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View Street
Residential
937 View Street

Building



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A302

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2020-08-12 11:41:35 AM



1 Building Elevation - East - Adjacent Overlay
A303 SCALE: 1 : 150



2 Building Elevation Study - Adjacency Overlay - South
A303 SCALE: 1 : 150

Notes

Area of Window on Adjacent Building

1124 Vancouver Street
953 View Street
Proposed Development

20-08-12 Issued for DP Revisions 2

Plot Date	20/08/12	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As Indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Adjacent
Analysis

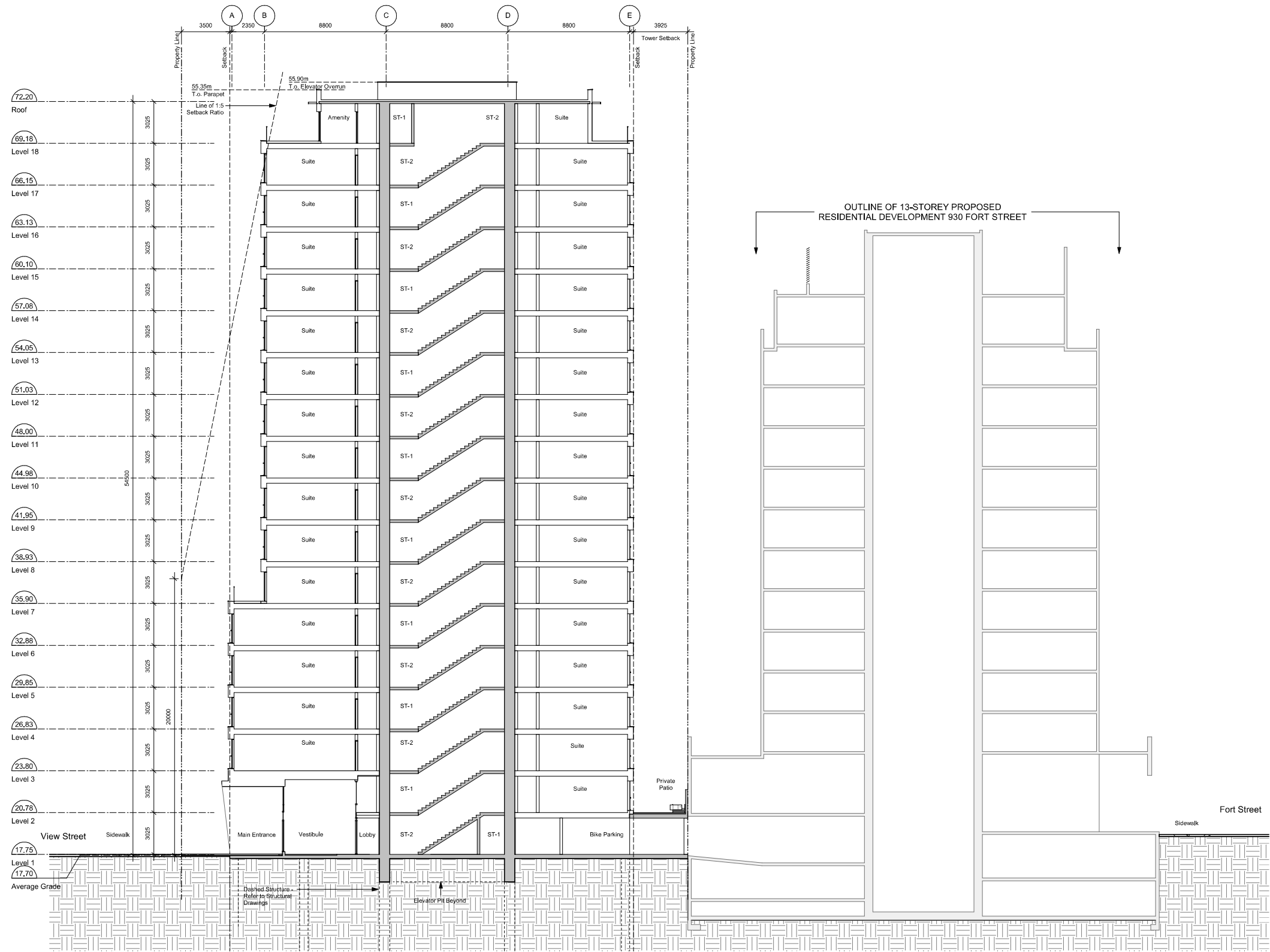
2020-08-12

dHKa

A303

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-685-5810

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General Notes

- 930 Fort Street outline based on Development Permit 5th Resubmission dated 2018-05-16.
- 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit Submission dated 2018-11-07.

20-08-12
20-01-08
19-10-02

Issued for DP Revisions 2
Issued for DP Revisions 1
Issued for DP

Pkt Date: 20/08/12
Drawing File:
Drawn By: RCI
Checked By:
Scale: As indicated
Project Number: 1922

NOTE: All dimensions are shown in millimeters.

**View Street
Residential
937 View Street**

Building



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A401

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577 Fort Street
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General Notes

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A27

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

Pkt Date 20/08/12 Drawing File
Drawn By RCI Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Building

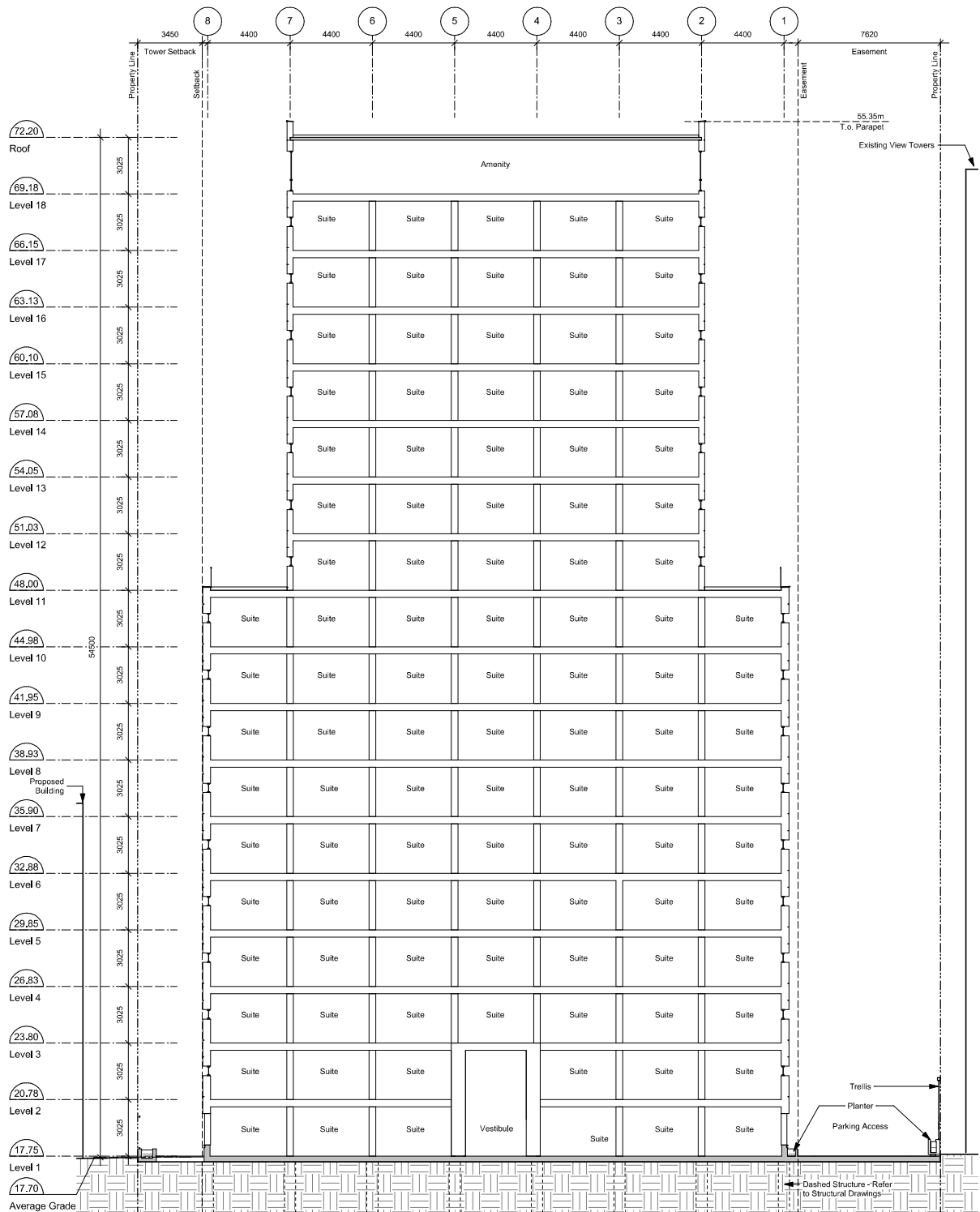


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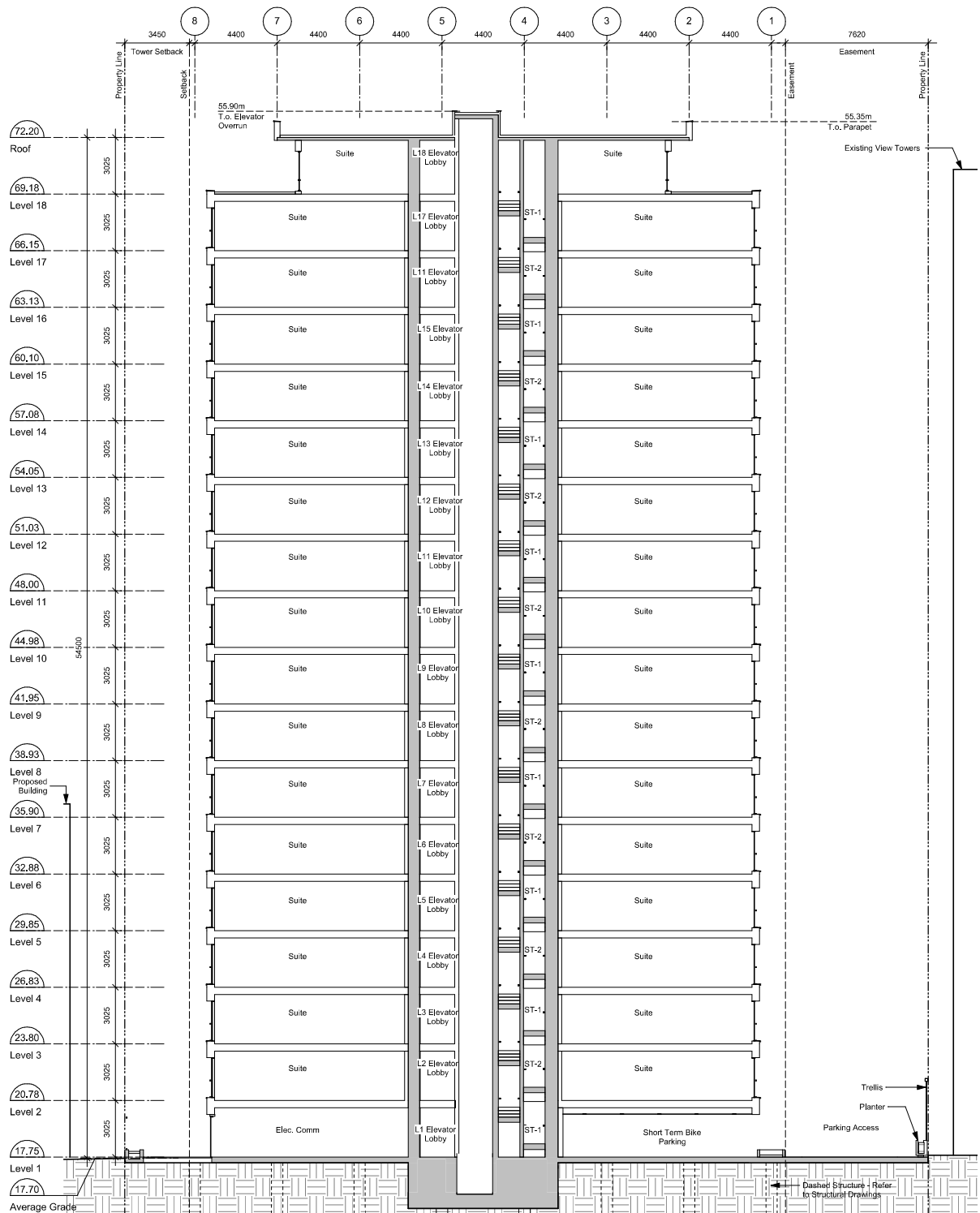
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102-5190 Dublin Way V9T 0H2 T 1-250-685-5810

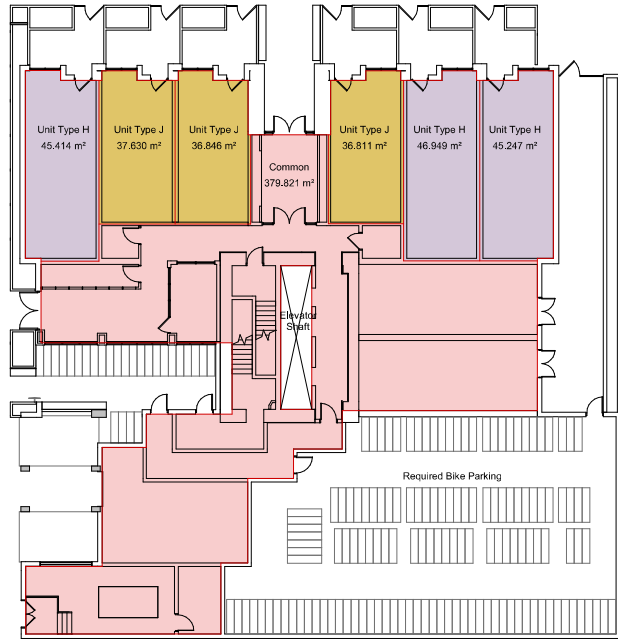
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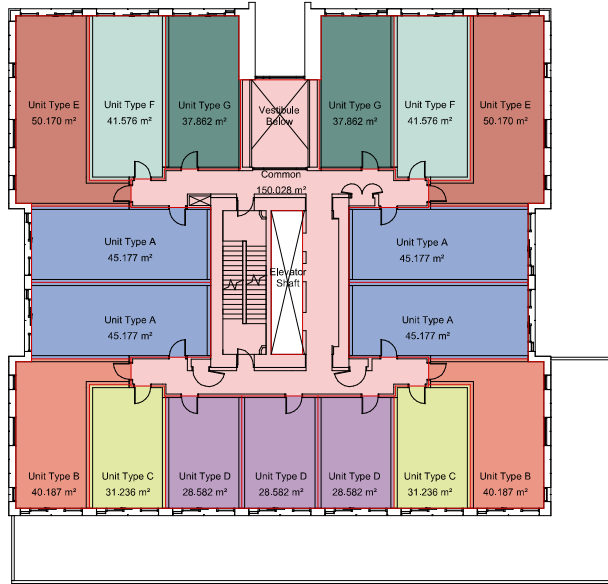
1 Building Section - East/West 1
SCALE: 1 : 150



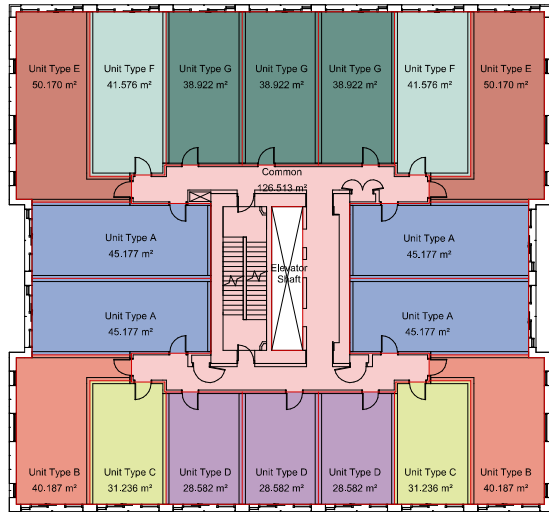
2 Building Section - East/West 2
SCALE: 1 : 150



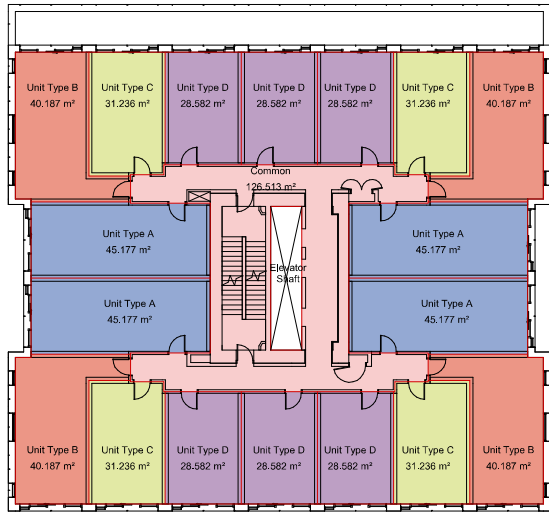
1 Level L1 Area Plan
A911 SCALE: 1 : 200



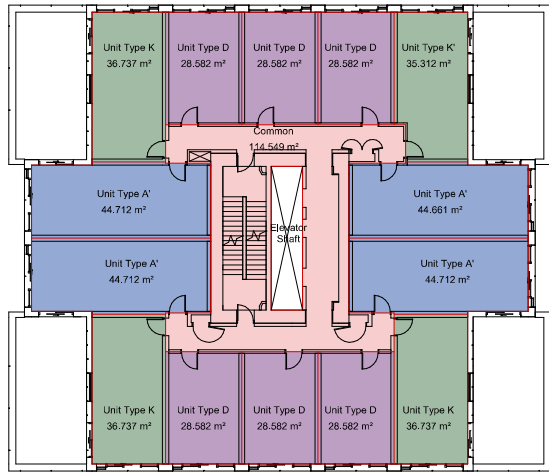
2 Level L2 Area Plan
A911 SCALE: 1 : 200



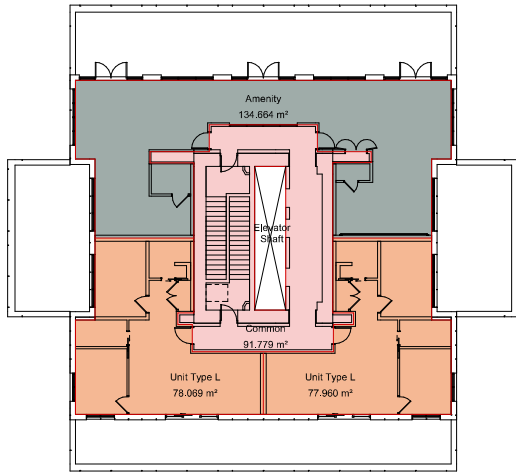
3 Level L3-L6 Area Plan
A911 SCALE: 1 : 200



4 Level L7-L10 Area Plan
A911 SCALE: 1 : 200



5 Level L11-L17 Area Plan
A911 SCALE: 1 : 200



6 Level L18
A911 SCALE: 1 : 200

AREA SCHEDULE

Description	Zoning (m²)	Zoning (SF)	No. Suites
Level 1			
City Zoning GFA	628.72 m²	6768 SF	
Residential Strata	248.90 m²	2679 SF	6
Residential Common	379.82 m²	4088 SF	
Efficiency	39.59%	39.59%	
Level 2			
City Zoning GFA	818.54 m²	8811 SF	
Residential Strata	668.52 m²	7196 SF	17
Residential Common	150.03 m²	1615 SF	
Efficiency	81.67%	81.67%	
Levels 3-6			
City Zoning GFA	836.07 m²	8999 SF	
Residential Strata	709.56 m²	7638 SF	72
Residential Common	126.51 m²	1362 SF	
Efficiency	84.87%	84.87%	
Levels 7-10			
City Zoning GFA	764.41 m²	8228 SF	
Residential Strata	637.89 m²	6866 SF	72
Residential Common	126.51 m²	1362 SF	
Efficiency	83.45%	83.45%	
Levels 11-17			
City Zoning GFA	610.36 m²	6570 SF	
Residential Strata	495.81 m²	5337 SF	98
Residential Common	114.55 m²	1233 SF	
Efficiency	81.23%	81.23%	
Level 18			
City Zoning GFA	382.47 m²	4117 SF	
Residential Strata	156.03 m²	1679 SF	2
Residential Common	91.78 m²	988 SF	
Ammenity	134.66 m²	1450 SF	
Efficiency	76.00%	76.00%	
Totals			
Total GFA	12504.17 m²	134595 SF	
Site Area	1572.30 m²	16924 SF	
FSR	7.95	7.95	
Total Residential	9933.94 m²	106929 SF	267
Total Amenity	134.66 m²	1450 SF	
Total Commercial	0.00 m²	0 SF	
Total Common & Core	2435.57 m²	26217 SF	
Efficiency	80.52%	80.52%	

General Notes

- Plans and Area Schedule show areas measured to inside face of exterior walls, and centre of demising walls.
- See A001 for required bike counts.
- Unit Schedule areas measured to inside face of wall finish on all sides.

Unit Schedule

Name	Area	Comments	Count
UNIT TYPE A	41 m²	1 Bed / 1 Bath	38
UNIT TYPE A'	41 m²	1 Bed / 1 Bath	26
UNIT TYPE B	37 m²	1 Bed / 1 Bath	26
UNIT TYPE C	28 m²	Studio	26
UNIT TYPE D	26 m²	Studio	61
UNIT TYPE E	47 m²	1 Bed / 1 Bath	10
UNIT TYPE F	38 m²	1 Bed / 1 Bath	10
UNIT TYPE G	35 m²	1 Bed / 1 Bath	14
UNIT TYPE H	43 m²	1 Bed / 1 Bath	3
UNIT TYPE J	34 m²	1 Bed / 1 Bath	3
UNIT TYPE K	34 m²	1 Bed / 1 Bath	21
UNIT TYPE L	75 m²	2 Bed / 2 Bath	2

267

A28

Pkt Date	20/08/12	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As indicated	Project Number	1922
NOTE: All dimensions are shown in millimeters.			

View Street
Residential
937 View Street

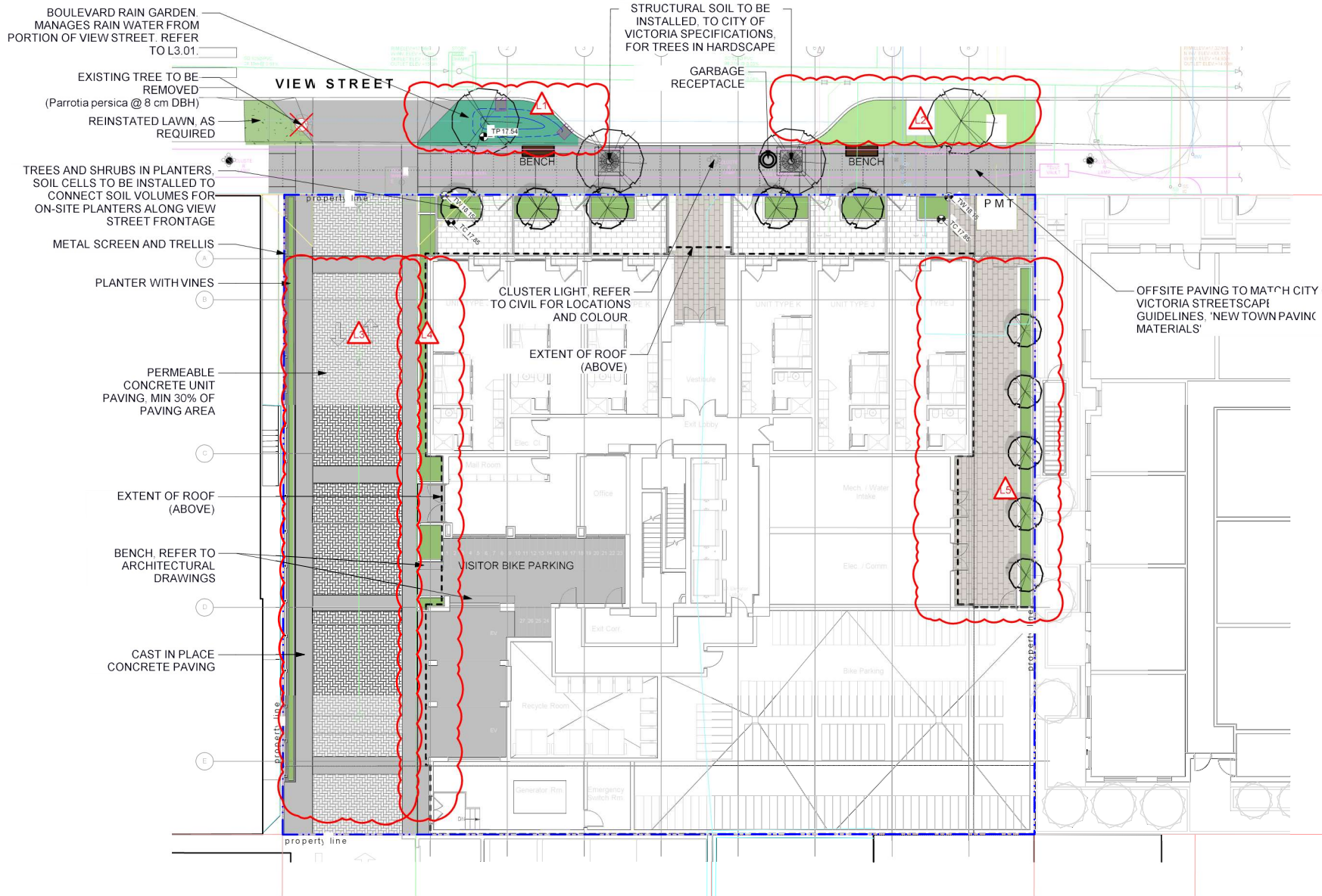
Area Plan



dHKa

A911

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V8V 3K3 T 1-250-685-5810
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LEGEND

Property line

Extent Of Underground Parking (indicative)

Extent Of Roof / Canopy Line (indicative)

Rain garden TOP OF POOL

Rain garden BOTTOM OF POOL

Architectural grade, provided for reference only

Civil grade, provided for reference only

Proposed landscape grade

TV Top of Wall

BV Bottom of Wall

TC Top of Curb

BC Bottom of Curb

TP Top of Pool

BP Bottom of Pool

TS Top of Stairs

BS Bottom of Stairs

UNDERGROUND UTILITIES

EXISTING	PROPOSED
Storm drain	
Sewer	
Water	
Electrical	
Gas	

LANDSCAPE MATERIALS

Main Entry Paving
Concrete Unit Paving on aggregate base

Patio Paving
Concrete Unit Paving on aggregate base

Driveway Paving
Permeable Concrete Unit Paving on aggregate base

Cast in place concrete paving

Shrub/ Tree Planting Area on Grade
Minimum 450 mm depth growing medium

Rain Garden Area on Grade

Raised Planting Area
Growing medium depth varies, minimum 450 mm

Extensive Green Roof Area (Level 18)

LANDSCAPE FURNISHINGS

Type H Wood Bench with Backrest
2 total @ 5'11.25" Length x 2'7.19" Height

Type A Modern Metal Bin
1 total

1 LEVEL
Scale: 1:150

2 LEVEL 2
Scale: 1:200

3 LEVEL 18
Scale: 1:200

IRRIGATION NOTES

- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner representative in writing if such data adversely affects the operation of the system.
- Sieves shall be installed at the necessary depths, prior to pavement construction. Sieves shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to mechanical drawings for irrigation point of connection.
- Refer to electrical drawings for electrical service.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Trees within shrub or rain garden areas to be irrigated with spray heads.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of a landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

N

4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07
rev no	description	date

Murdoch
de Greeff INC

Landscape Planning & Design

200 - 524 O-Road Road
Victoria BC V8Z 1S1

Phone 786 412 2891
Fax 250 412 2892

client

NELSON INVESTMENTS, INC.

project

VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

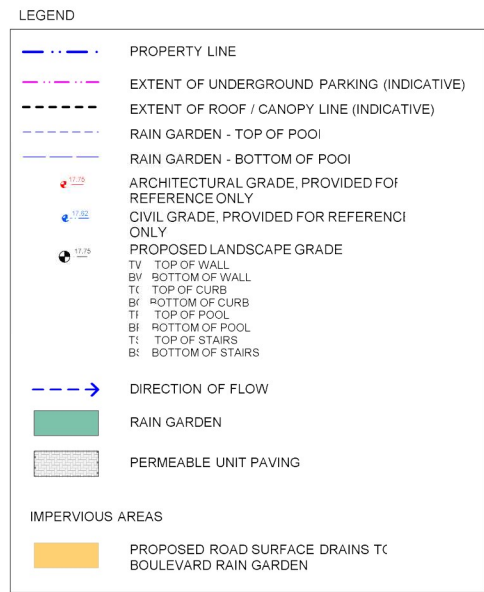
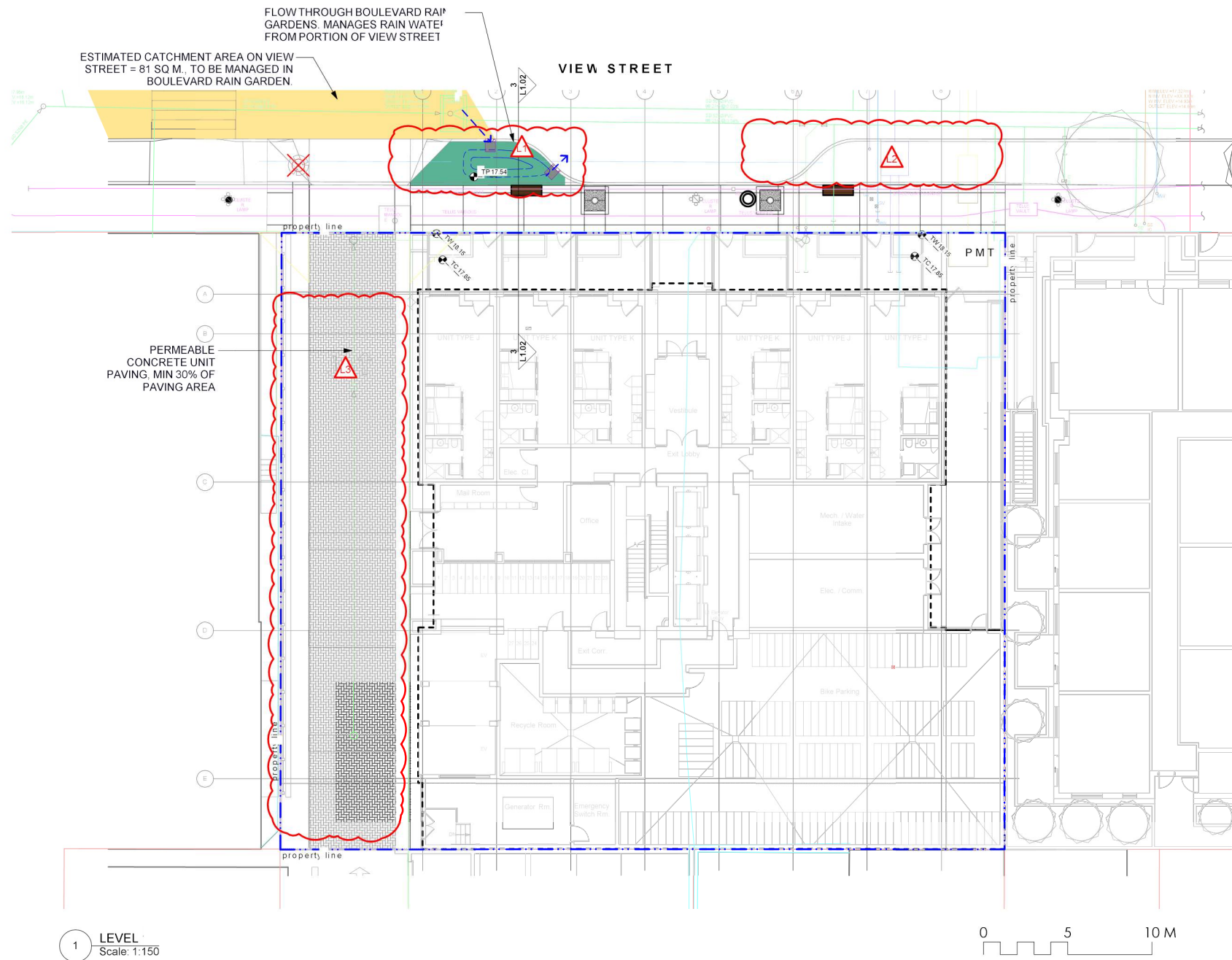
sheet title

**Landscape
Materials**

project no.	119.24
scale	AS NOTED @ 24"x36"
drawn by	ML
checked by	SM/PAG
revision no.	sheet no.

4

L1.01



RAIN WATER MANAGEMENT NOTES

Water collected from roads flow into boulevard rain gardens.

Boulevard rain gardens will be designed to be flow through planters, and will overflow to the municipal stormdrain system.

The rain gardens are sized such that the bottom of the rain planter is a minimum of 5% of the impervious area.

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rev no	description	date
4	Dev Permit Revisions	20.08.11
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2020-08-12

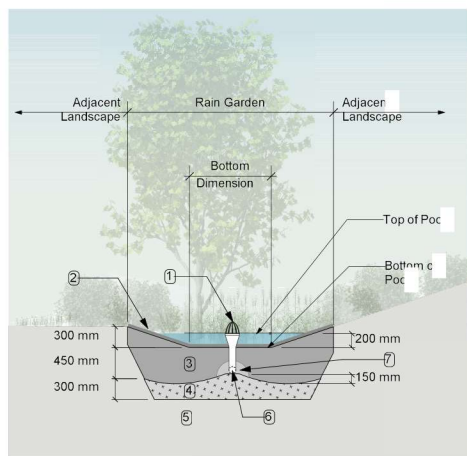
client
NELSON INVESTMENTS, INC.

project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

sheet title
Stormwater Management

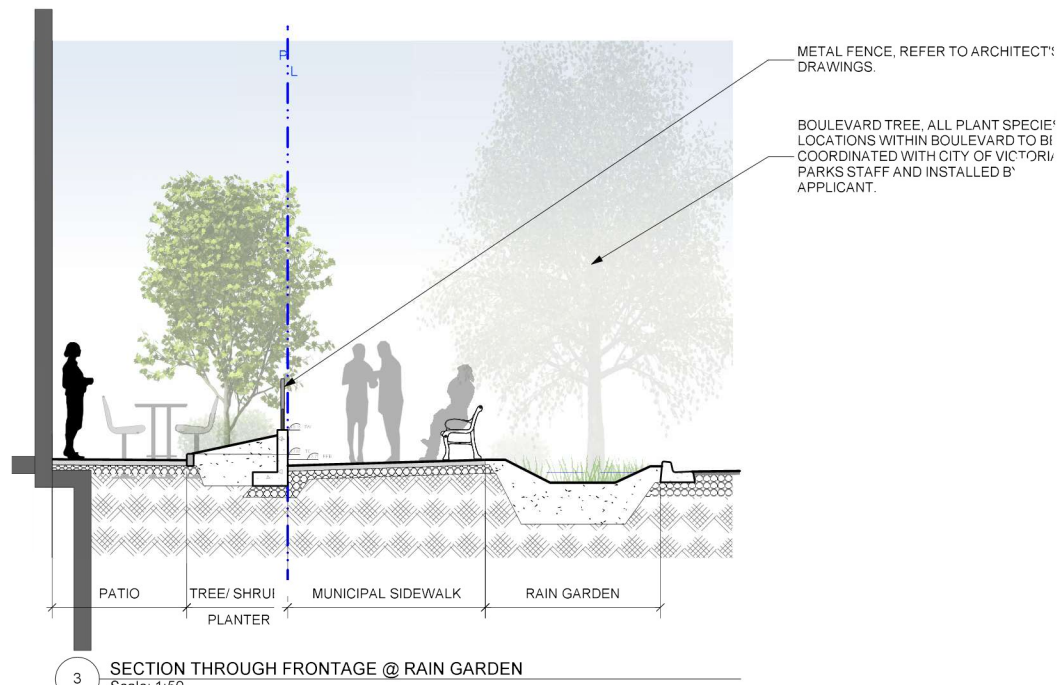
project no. 119.24
scale AS NOTED @ 24"x36"
drawn by ML
checked by SM/PdG
revision no. sheet no.

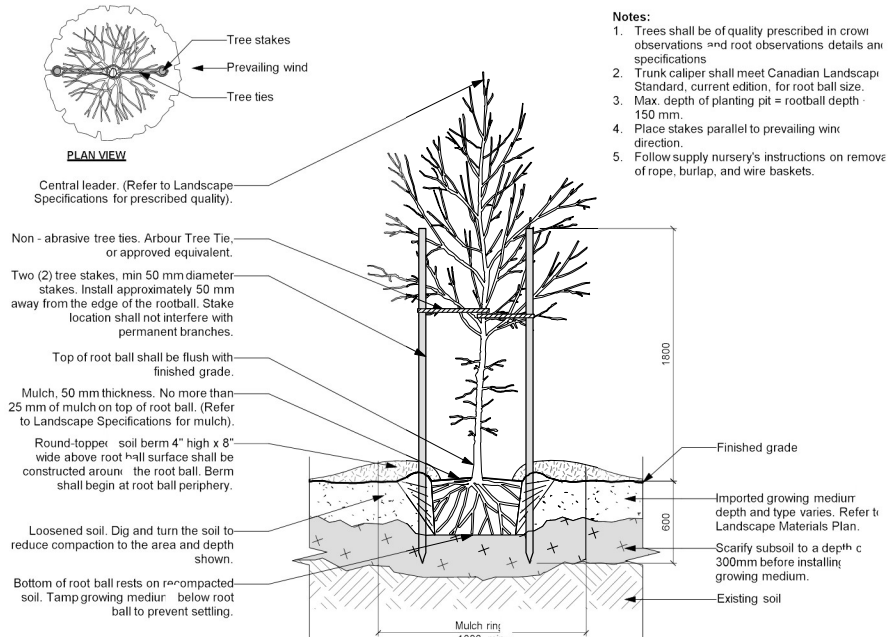
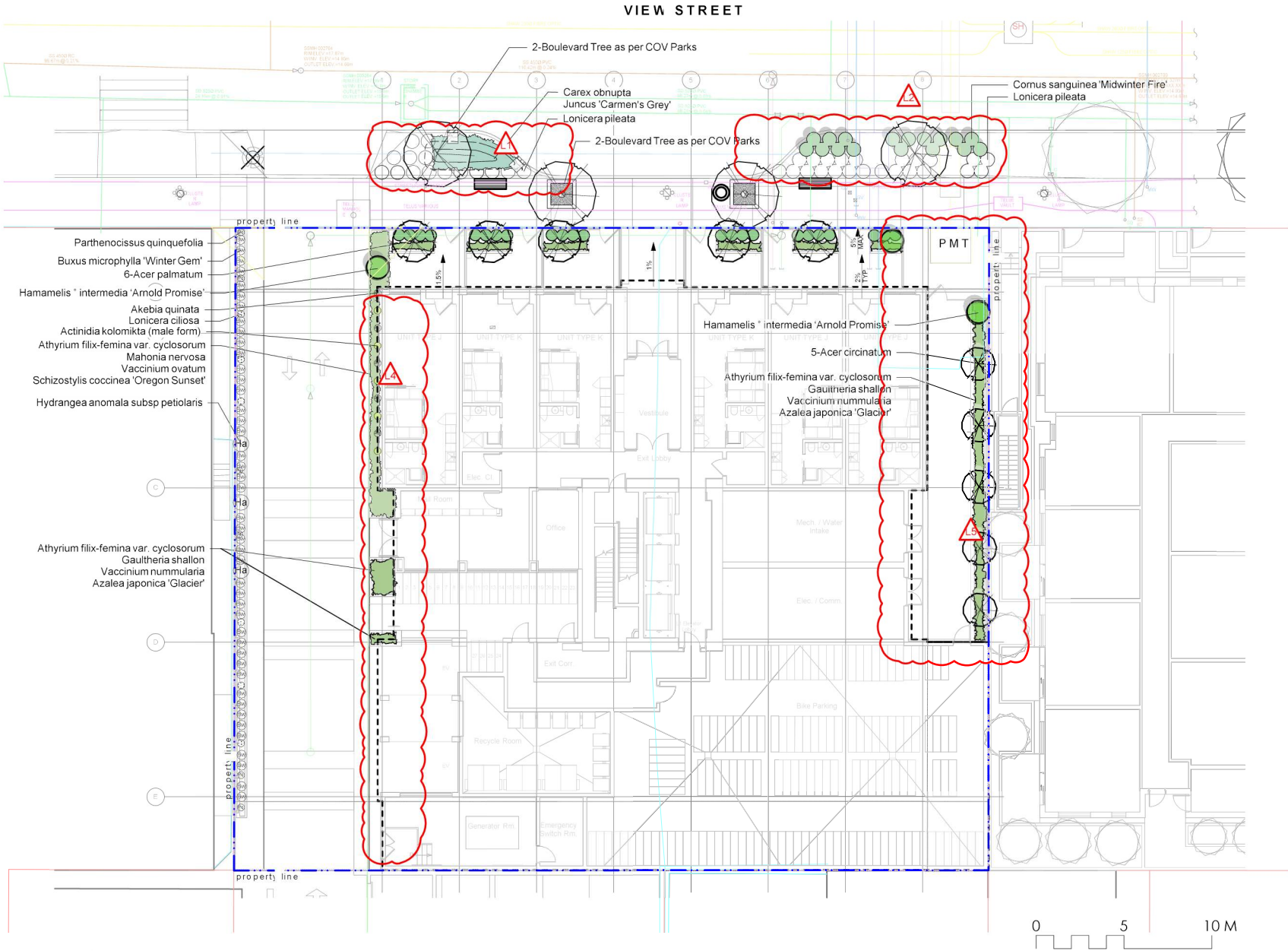
4 **L1.02**



- RAIN GARDEN MATERIALS**
- Overflow drain, 200 mm domed grate + adapter
 - Composted mulch, 50-70 mm depth
 - Bio-retention growing medium, 450 mm depth
 - Scarified/filled subgrade, 300 mm depth
 - Existing subgrade/native material
 - 100 mm diameter (min) perforated pipe
 - 25 mm diameter drain rock, 100 mm depth

2 TYPICAL RAIN GARDEN
NTS





2 TREE PLANTING DETAIL
Scale: 1:25

1 LEVEL
Scale: 1:150

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
5	5	Acer circinatum	Vine Maple	2.4 m ht, multi-stem (3 trunk)
6	6	Acer palmatum	Japanese Maple	1.8 m height, specimen quality
4	4	Boulevard Tree as per COV Parks	Boulevard Tree as per COV Parks	6 cm cal, b+b
SHRUBS:				
Ack	5	Actinidia kolomikta (male form)	Variegated Kiwi Vine	#2 pot
Ak	5	Akebia quinata	Chocolate vine	#2 pot
Aff	15	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Ag	21	Azalea japonica 'Glacier'	Glacier Azalea	#1 pot
Bw	44	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#1 pot
Co	24	Carex obnupta	Slough Sedge	#1 pot
Csm	17	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
Gsh	11	Gaultheria shallon	Salal	#1 pot
Ha	3	Hydrangea anomala subsp. petiolaris	Climbing Hydrangea	#2 pot
Jcg	8	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Loc	6	Lonicera ciliosa	Western Trumpet Honeysuckle	#1 pot
Lp	38	Lonicera pileata	Privet Honeysuckle	#2 pot
Mn	8	Mahonia nervosa	Oregon Grape Holly	#1 pot
Pq	6	Parthenocissus quinquefolia	Virginia Creeper	#2 pot
Ptn	5	Pittosporum tobira 'Nana'	Dwarf Pittosporum	#1 pot
Sc	7	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
Tmh	23	Taxus media 'Hilli'	Hilli Yew	#3 pot, 2' max ht. male only
Vnu	21	Vaccinium nummularia	Coin Whortleberry	#1 pot
Vo	4	Vaccinium ovatum	Evergreen Huckleberry	#3 pot

PLANTING NOTES

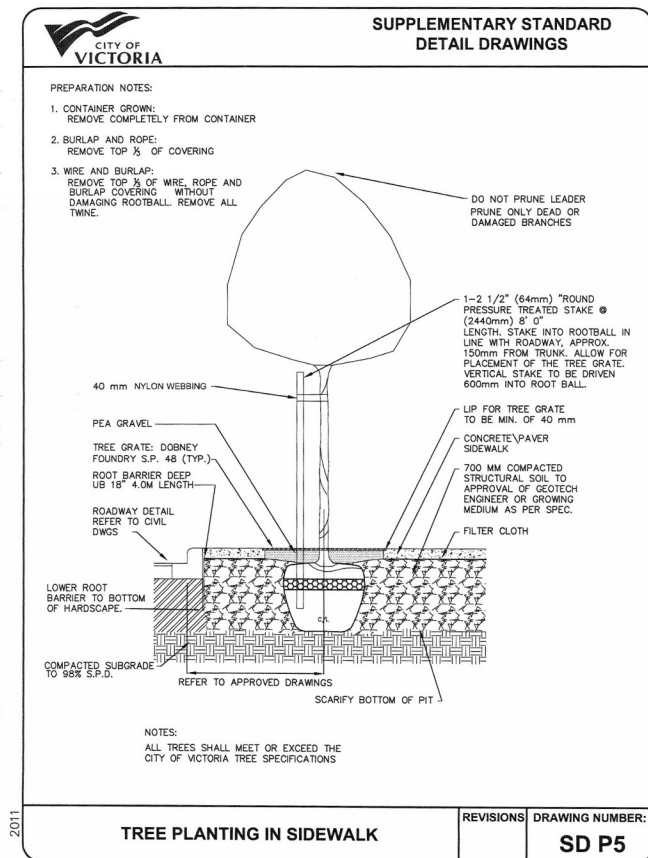
1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
2. Boulevard/Street Tree and planting locations and species to be coordinated with City of Victoria Parks Staff and installed by applicant.

DRAWING NOTES

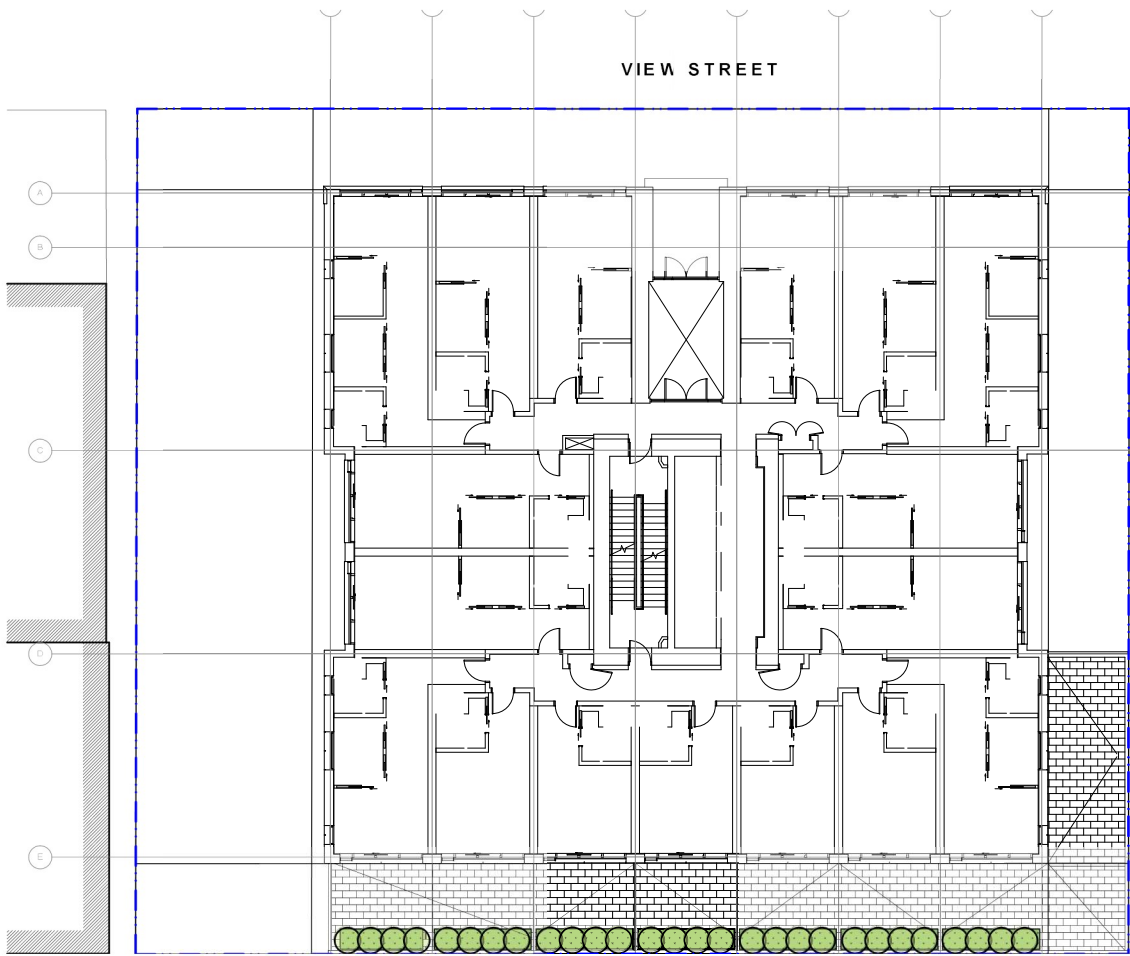
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5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of a landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

Tree Notes

1. Tree planting inspection requirement:
1st inspection - Tree pits, structural soil and root barrier
2nd inspection - Prior to planting, trees are inspected for pest: disease and structural defect
3rd inspection - Completed planting, mulch, staking, tree grate installed.
2. Two new tree guards will need to be purchased from the City of Victoria at \$500 each.
3. The applicant will be required to pay the appraised value of the small boulevard tree proposed for removal. When the tree fee has been paid, the City will post the tree for [10] working days after which it can be removed at the expense of the applicant.



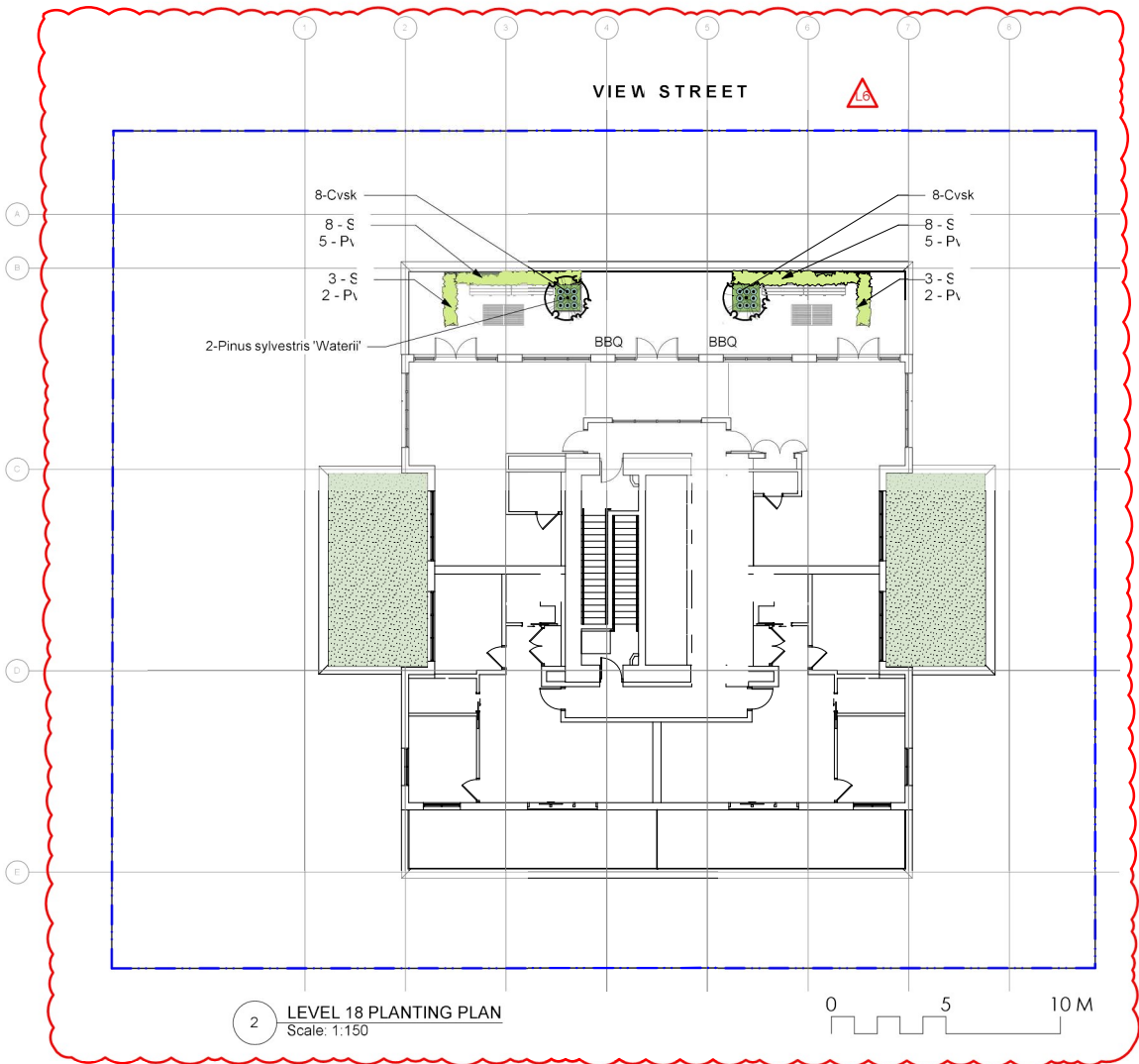
3 STRUCTURAL SOIL
NTS



1 LEVEL 2 PLANTING PLAN
Scale: 1:150

LEVEL 2 PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
SHRUBS/VINES:				
Plu	28	Prunus lusitanica	Portugal Laurel	#3 pot



2 LEVEL 18 PLANTING PLAN
Scale: 1:150

LEVEL 18 PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
	2	Pinus sylvestris 'Waterli'	Bonsai Pine	nen, cloud pruned, min 2 m hrone
SHRUBS/VINES:				
Cvsk	16	Calluna vulgaris 'Silver Knight'	Silver Knight Scotch Heather	#1 pot
Pvi	17	Pennisetum villosum	Feathertop Grass	#1 pot
St	22	Stipa tenuissima	Mexican Feathergrass	#1 pot

GREEN ROOF AREA - SUN

		Area (sq m) : 72.9
20%	Sedum acre	
20%	Sedum album 'Coral Carpet'	
20%	Sedum kamtschaticum	
20%	Sedum rupestre	
20%	Sedum spurium	

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2020-08-12

client
NELSON INVESTMENTS, INC.

project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

sheet title

Planting Plan
Levels 2 and 18

project no. 119.24

scale AS NOTED @ 24"x36"

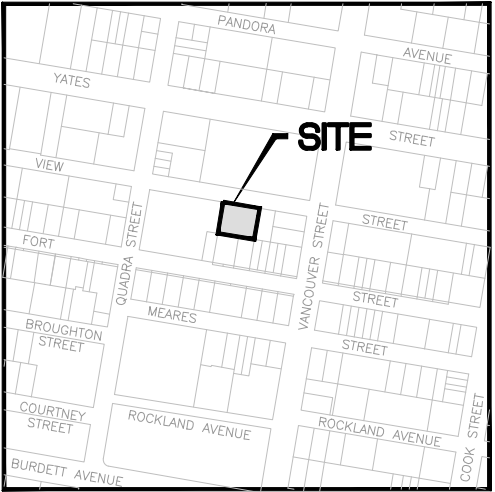
drawn by ML

checked by SM/PdG

revision no. sheet no.

4 L3.02

LEGEND					
EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
		EDGE OF PAVEMENT			REDUCER
		CURB AND GUTTER			FENCE
		EDGE OF GRAVEL			DITCH/SWALE
		TOP/BOTTOM OF BANK			WATERMAIN (SIZE AND MATERIAL NOTED)
		CATCH BASIN			SANITARY SEWER (SIZE AND MATERIAL NOTED)
		WATER VALVE			STORM DRAIN (SIZE AND MATERIAL NOTED)
		FIRE HYDRANT			UNDERGROUND TELEPHONE
		CAPPED END			UNDERGROUND HYDRO
		UTILITY POLE AND STREET LIGHT (LABELLED PP,TP,PP/LS ETC.)			IRRIGATION SLEEVES
		MANHOLE			MONUMENT
		CLEANOUT			PROPERTY LINE
		SANITARY/STORM INSPECTION CHAMBER (200# RISER)			CENTERLINE AND STATIONING
		JUNCTION BOX			SANITARY SEWER SERVICE CONNECTION AT MAIN
		AIR VALVE			ELEVATIONS
		WATER METER			PAVEMENT REMOVAL
					NEW ASPHALT



LOCATION PLAN
NTS

CIVIC ADDRESS: 937 VIEW STREET
LEGAL: LOT A, OF LOTS 785, 786 AND 787, VICTORIA CITY, PLAN 36505.
ZONING: R-48, HARRIS GREEN
LAND USE: RESIDENTIAL
PROPOSED: 253 UNIT 15 STOREY RESIDENTIAL BUILDING
SITE AREA: 1572m²
DWELLING FOOTPRINT AREA: 725m²
MAIN FLOOR ELEVATION: 17.60m

PLAN TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION

GENERAL NOTES:

- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA (CoV) SPECIFICATIONS, ITS SUPPLEMENTARY MASTER MUNICIPAL SPECIFICATIONS, STANDARD DETAIL DRAWINGS AND MMCD UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- SIGNATURE BLOCK FOR SHALLOW UTILITIES TO BE SIGNED AND DATED PRIOR TO CONSTRUCTION.
- PERMITS TO CONSTRUCT WORKS ON THE CoV RIGHT OF WAY MUST BE OBTAINED FROM THE CoV ENGINEERING DEPARTMENT PRIOR TO COMMENCING WORK. PERMITS MUST BE ON SITE FOR REVIEW AS REQUIRED.
- CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
- ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED. CARE TO BE TAKEN TO RETAIN AS MANY TREES AS POSSIBLE.
- ADJUST ALL MANHOLES, WATER VALVES, HYDRO VAULTS, ETC. TO MATCH NEW CONSTRUCTION.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
- ALL EXCAVATED TRENCH AND SUBEXCAVATION MATERIALS TO BE DISPOSED OF OFFSITE.
- ALL ELEVATIONS ARE TO GEODETIC DATUM.
- DATA SOURCES:
 - TOPOGRAPHIC SURVEY COMPLETED BY POWELL & ASSOCIATES BC LAND SURVEYORS, DECEMBER 2016.
 - DIGITAL GIS PROVIDED BY CoV.
 - BC 1 CALL DATA FOR SHALLOW UTILITIES.

ROAD NOTES:

- CONSTRUCT ALL SIDEWALK AND DRIVEWAY CROSSINGS IN ACCORDANCE WITH CoV AND MMCD STANDARDS AS NOTED ON DRAWINGS.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG VIEW STREET DURING CONSTRUCTION.
- ROAD RESTORATION FOR VIEW STREET TO CoV SUPPLEMENTAL DWG. No. SD, G5a AND G5b.
- THE PROVISION OF APPROVED SIGNS AND CERTIFIED TRAFFIC CONTROL PERSONNEL IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
- ALL PAVEMENT EXCAVATIONS TO BE SAWCUT.
- PROJECT FRONTAGE TO BE RESTORED AS NOTED ON CIVIL, LANDSCAPE AND ARCHITECTURAL DRAWINGS AS PER CoV "NEW TOWN" SPECIFICATIONS.
- PEDESTRIAN WALKING AREA TO BE DELINEATED DURING THE CONSTRUCTION OF THE WORKS AND MUST BE EASILY RECOGNIZABLE BY THE PUBLIC AND CONTAIN NO OBSTRUCTIONS TO MOBILITY SCOOTERS OR WHEELCHAIRS AND NO HAZARDOUS CONDITIONS. THE PUBLIC USING THESE AREAS MUST BE ADEQUATELY PROTECTED FROM TRAFFIC.

WATER NOTES:

- WATER SERVICE CONNECTION TO BE PER CoV STD. DWG. No. W2d SS.
- CONTRACTOR TO CONFIRM THAT EXISTING WATER SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.

STORM DRAIN AND SANITARY SEWER NOTES:

- CONTRACTOR TO CONFIRM THAT EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.
- ~~STORM DRAIN AND SANITARY SEWER CONNECTIONS TO BE AS PER CoV STD. DWG. No. SD, G5a AND G5b.~~
- STORM DRAIN CONNECTION TO BE 200# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- SANITARY SEWER CONNECTION TO BE 250# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- UNDERGROUND SERVICES TO BE LOCATED, EXPOSED AND ELEVATIONS CONFIRMED AT CROSSINGS PRIOR TO INSTALLATION OF CONNECTIONS.

SHALLOW UTILITY AND STREET LIGHT NOTES:

- EXISTING BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC INFRASTRUCTURE INFORMATION SHOWN ON DRAWINGS IS SCHEMATIC AND FOR INFORMATION ONLY.
- REFER TO UTILITY COMPANY DESIGN DRAWINGS FOR CONSTRUCTION DETAILS. CONSTRUCT UNDERGROUND UTILITIES AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS, SHAW CABLE SPECIFICATIONS AND DRAWINGS.
- CONFIRM AND COORDINATE WITH CoV FORCES REINSTATEMENT OF LAMP STANDARDS AS PER CoV SUPPLEMENTARY STANDARD DETAIL DRAWINGS, INCLUDING BASES, CONDUIT AND JUNCTION BOX.
- CONTACT BC 1 CALL AT 1-800-474-6886 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC 48 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- BC HYDRO TO COORDINATE AND PROVIDE LIAISON WITH CoV PRIOR TO AND DURING CONSTRUCTION.



KEY PLAN
1:1000

0 20 60m
1:1000

LIST OF DRAWINGS

DWG. No.	DESCRIPTION
C100	GENERAL NOTES, LOCATION PLAN, KEY PLAN, DRAWINGS LIST & LEGEND
C200	SITE SERVICING PLAN
C300	GRADING PLAN
C400	BC HYDRO INFORMATION PLAN

ISSUES		
No.	DATE	ISSUED FOR
1	2019.09.20	DEVELOPMENT PERMIT
2	2020.01.08	DEVELOPMENT PERMIT REVISIONS
3	2020.08.11	DEVELOPMENT PERMIT REVISION 3

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT

937 VIEW STREET
MARKET RENTAL RESIDENCES

VICTORIA, BC

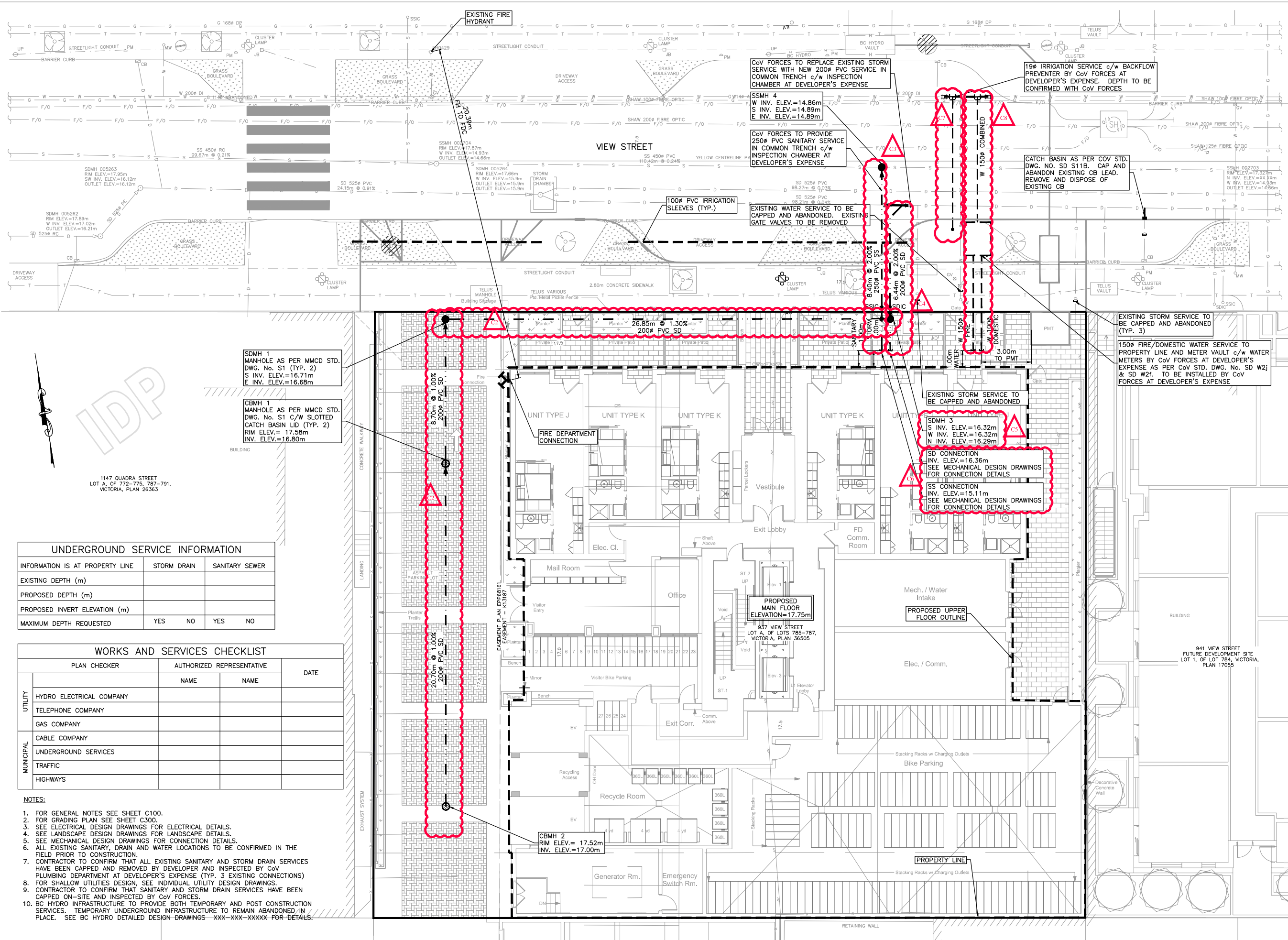
CHRIS NELSON INVESTMENTS LTD.

HEROLD ENGINEERING
1051 Vancouver St, Victoria, BC V8V 4T6
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

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GENERAL NOTES,
LOCATION PLAN,
KEY PLAN,
DRAWINGS LIST
& LEGEND

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C100	1 OF 4
	REVISION 3



UNDERGROUND SERVICE INFORMATION				
INFORMATION IS AT PROPERTY LINE	STORM DRAIN		SANITARY SEWER	
EXISTING DEPTH (m)				
PROPOSED DEPTH (m)				
PROPOSED INVERT ELEVATION (m)				
MAXIMUM DEPTH REQUESTED	YES	NO	YES	NO

WORKS AND SERVICES CHECKLIST			
PLAN CHECKER		AUTHORIZED REPRESENTATIVE	
		NAME	NAME
UTILITY	HYDRO ELECTRICAL COMPANY		
	TELEPHONE COMPANY		
	GAS COMPANY		
	CABLE COMPANY		
MUNICIPAL	UNDERGROUND SERVICES		
	TRAFFIC		
	HIGHWAYS		
		DATE	

- NOTES:
- FOR GENERAL NOTES SEE SHEET C100.
 - FOR GRADING PLAN SEE SHEET C300.
 - SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
 - SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
 - SEE MECHANICAL DESIGN DRAWINGS FOR CONNECTION DETAILS.
 - ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONFIRM THAT ALL EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED AND REMOVED BY DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE (TYP. 3 EXISTING CONNECTIONS)
 - FOR SHALLOW UTILITIES DESIGN, SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
 - CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.
 - BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS XXX-XXX-XXXXX FOR DETAILS.

ISSUES		
No.	DATE	ISSUED FOR
1	2019.09.20	DEVELOPMENT PERMIT
2	2020.01.08	DEVELOPMENT PERMIT REVISIONS
3	2020.08.11	DEVELOPMENT PERMIT REVISION 3

CLIENT

1:100

0 2 6m

ISSUED FOR
DEVELOPMENT PERMIT

937 VIEW STREET
MARKET RENTAL RESIDENCES

VICTORIA, BC

CHRIS NELSON INVESTMENTS LTD.

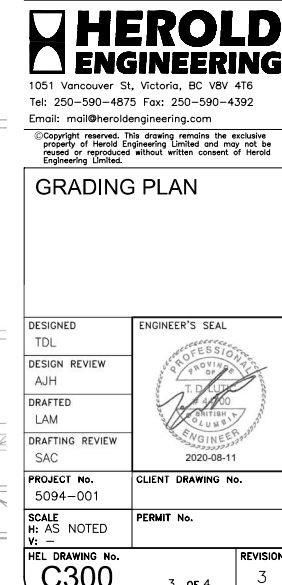
**HEROLD
ENGINEERING**

1051 Vancouver St, Victoria, BC V8V 4T6
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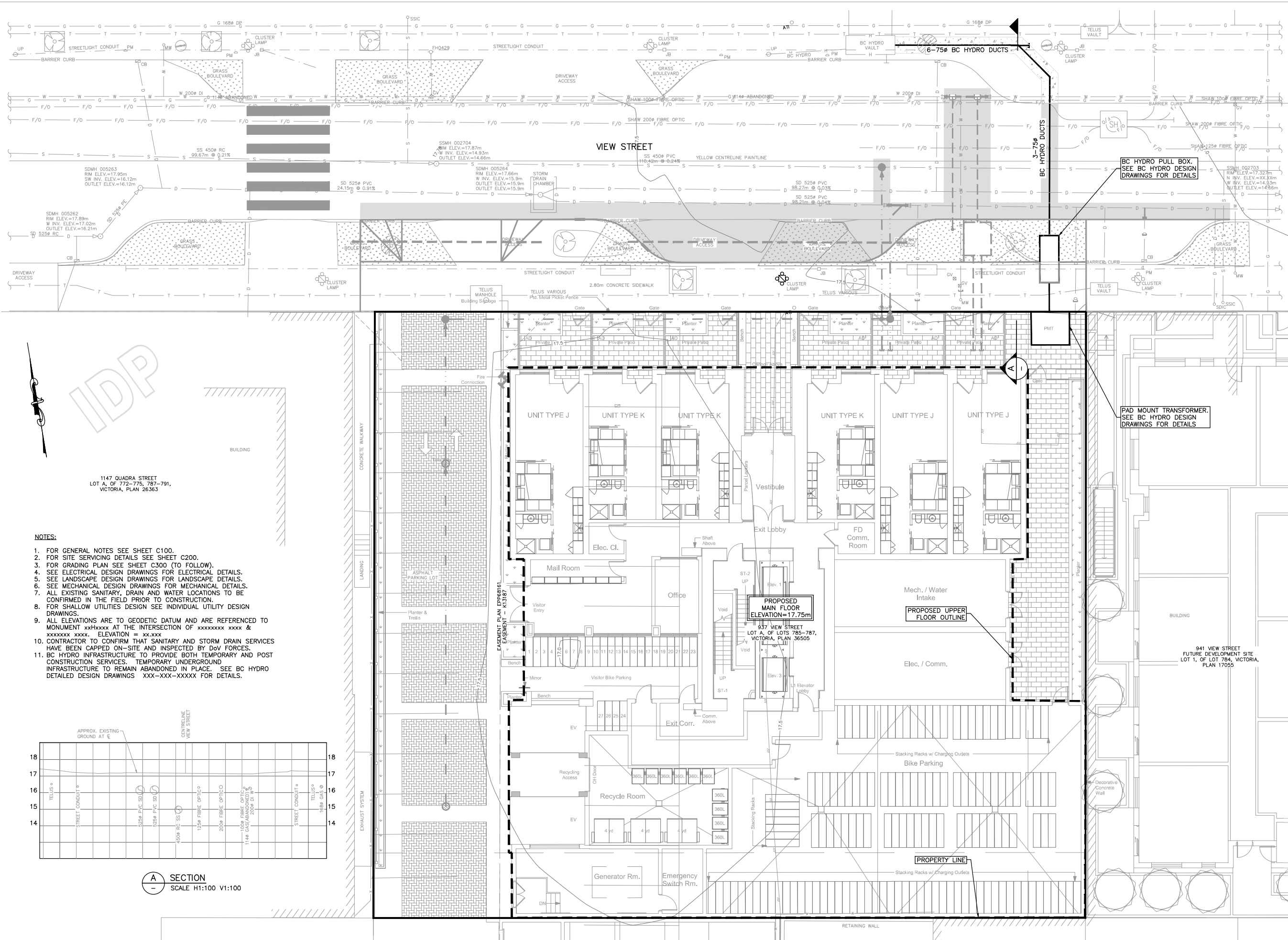
SITE SERVICING PLAN

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C200	REVISION 2 of 4 3



NOTES:

1. FOR GENERAL NOTES SEE SHEET C100.
2. FOR SITE SERVICING DETAILS SEE SHEET C200.
3. SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
4. SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
5. SEE MECHANICAL DESIGN DRAWINGS FOR MECHANICAL DETAILS.
6. ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
7. FOR SHALLOW UTILITIES DESIGN SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
8. ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO MONUMENT xx+xxxxx AT THE INTERSECTION OF xxxxxxxx xxxx & xxxxxxxx xxxx. ELEVATION = xx.xxxx
9. CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.
10. BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS XXX-XXX-XXXXX FOR DETAILS.



- NOTES:
1. FOR GENERAL NOTES SEE SHEET C100.
 2. FOR SITE SERVING DETAILS SEE SHEET C200.
 3. FOR GRADING PLAN SEE SHEET C300 (TO FOLLOW).
 4. SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
 5. SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
 6. SEE MECHANICAL DESIGN DRAWINGS FOR MECHANICAL DETAILS.
 7. ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 8. FOR SHALLOW UTILITIES DESIGN SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
 9. ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO MONUMENT XXXXXXXX AT THE INTERSECTION OF XXXXXXXX XXXX & XXXXXXXX XXXX. ELEVATION = XX.XXX
 10. CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY DOV FORCES.
 11. BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS XXX-XXX-XXXXX FOR DETAILS.

A SECTION
SCALE H1:100 V1:100

ISSUES		
No.	DATE	ISSUED FOR
1	2019.09.20	DEVELOPMENT PERMIT
2	2020.01.08	DEVELOPMENT PERMIT REVISIONS
3	2020.08.11	DEVELOPMENT PERMIT REVISION 3

CLIENT

1:100

0 2 6m

ISSUED FOR
DEVELOPMENT PERMIT

937 VIEW STREET
MARKET RENTAL RESIDENCES

VICTORIA, BC
CHRIS NELSON INVESTMENTS LTD.

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BC HYDRO INFORMATION PLAN	
DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C400	REVISION 4 OF 4 3