

COVER PAGE

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1124 Topaz Avenue

Legal Parcel A (DD 149642) of Lots 96 and 98,
Block 6, Section 4, Victoria District, Plan 299

Parcel Identifier: 008-479-993
in the City of Victoria

LEGEND
Elevations are geodetic and referenced to the CVD288C datum.

√ P - denotes - existing elevation
UPL - denotes - utility pole at light
WM - denotes - water meter
MHD - denotes - storm manhole
MWS - denotes - sewer manhole
Tree diameters are in centimeters.

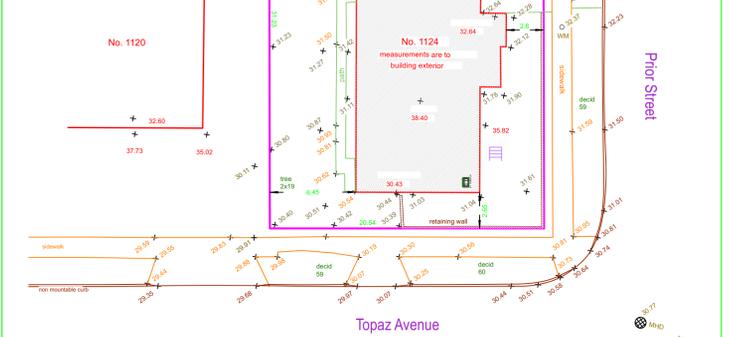
Lot Area = 641 m²
Property Lines and setbacks shown may vary upon completion of a lot repositing and preparation of a legal survey plan.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

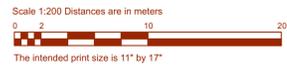
Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

Parcel B of 96 & 98
Block 6
Plan 299

No. 1120

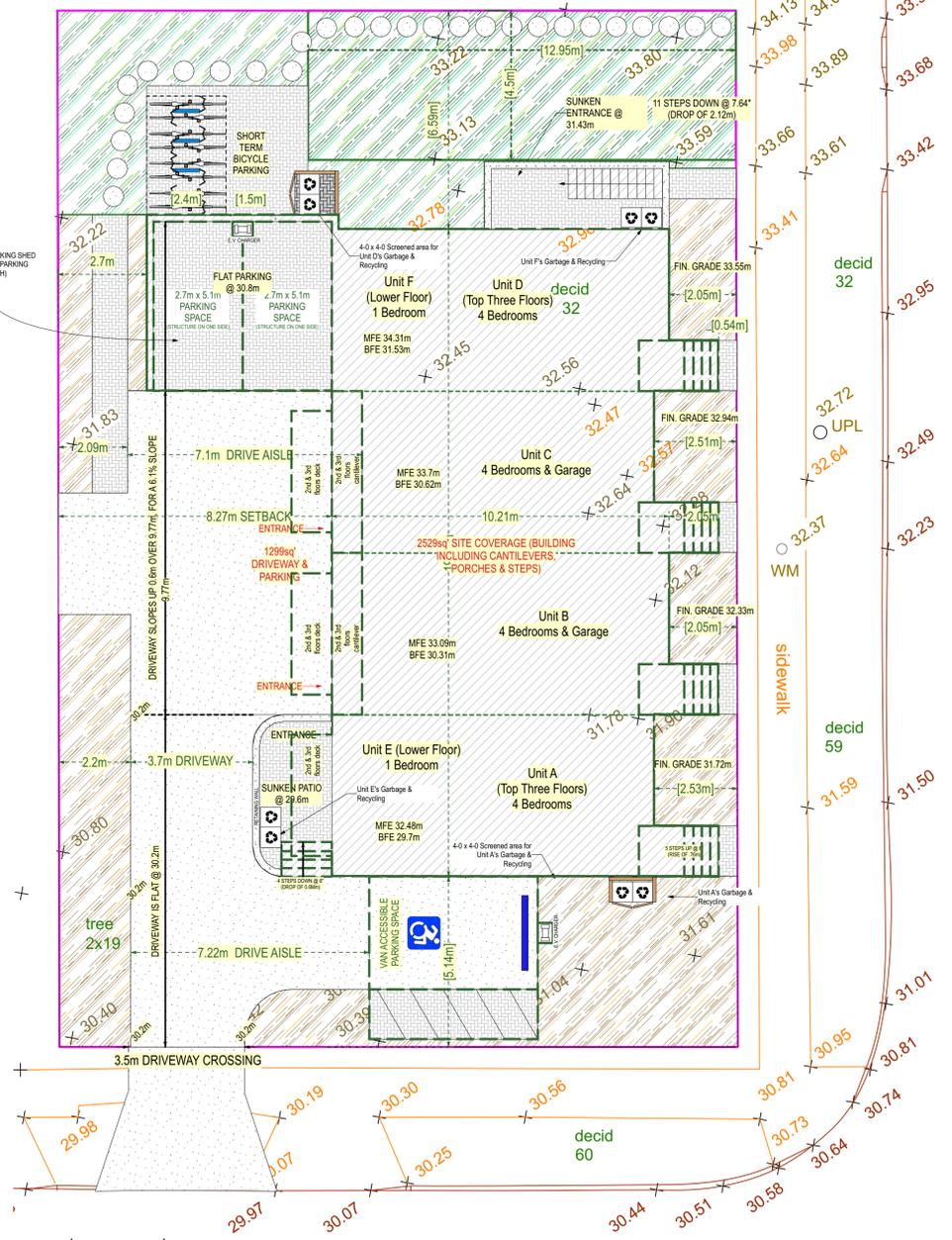


Date: November 14, 2022
File: 13878-25
POWELL & ASSOCIATES
BC Land Surveyors
250-2500 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855



Site Plan - Existing
Scale: 1:250

LONG TERM BICYCLE PARKING SHED (TWO CARPORT STYLE PARKING SPACES BENEATH)



Site Plan Proposed
Scale: 1:100

Topaz Avenue



Front (East) View

Floor Area Calculations				
Not including required vehicle or bicycle parking areas.				
Space	Area		Totals	
UNIT A	Main Level	461.35 sq'	42.9 sq.m.	
	Upper Level	468.85 sq'	43.6 sq.m.	
	Loft Level	468.85 sq'	43.6 sq.m.	1399.1 sq' 130.0 sq.m.
UNIT B	Garage Level	274.85 sq'	25.5 sq.m.	
	Main Level	476.41 sq'	44.3 sq.m.	
	Upper Level	491.41 sq'	45.7 sq.m.	1734.1 sq' 161.1 sq.m.
UNIT C	Garage Level	253.07 sq'	23.5 sq.m.	
	Main Level	461.35 sq'	42.9 sq.m.	
	Upper Level	468.85 sq'	43.6 sq.m.	1652.1 sq' 153.5 sq.m.
UNIT D	Main Level	476.41 sq'	44.3 sq.m.	
	Upper Level	491.41 sq'	45.7 sq.m.	
	Loft Level	491.41 sq'	45.7 sq.m.	1459.2 sq' 135.6 sq.m.
UNIT E	Lower Level	444.13 sq'	41.3 sq.m.	444.1 sq' 41.3 sq.m.
	Upper Level	501.49 sq'	46.6 sq.m.	501.5 sq' 46.6 sq.m.
ALL UNITS			7190.1 sq'	668.0 sq.m.

1124 Topaz - Project Info Table for Proposed Corner Rowhouse

General Regulations				
Three-bedroom Dwelling Units	Min. two or 30% (whichever is greater) of total dwelling units are 3-bedrooms	A, B, C, & D 4-Bedroom Units	OK	
Community Amenities				
Highway Dedication per Schedule "Q"	Highway dedication is NOT required for this lot			OK
Floor Area, Floor Space Ratio				
Item	Missing Middle Housing Zone	Proposed	Notes:	Notes:
Lot Area		641 sq.m.	6900 sq'	OK
Floor Area of All Floors combined for any dwelling unit	Min. 33sq.m.	41 sq.m.	444 sq'	OK Unit E is the smallest, at 441sq'.
Floor Space Ratio (if amenities are provided) (not incl. 4sq.m. of storage space per unit, if located within 4m of principal entrance)	Max. 1.1:1	668.00 sq.m.	1.04 :1	OK No Amenities are required, therefore we are allowed the max of 1.1:1
FSR is the ratio of the total floor area of a building to the area of the lot. Total floor area is the sum of all floors excluding floor space under a ceiling which is less than 1.8m above grade, is measured to the inside face of exterior walls, and does not include areas used or intended for parking (vehicles or bicycles), balconies, exposed decks, patios, roofs, or elevator shafts.				
Corner Townhouse Regulations				
Item	Missing Middle Housing Zone	Proposed	Notes:	Notes:
Lot Width for a lot with a corner townhouse	Min. 18m	2054 m	OK	
Distance from street	Entire building must be within 36m of two streets	Entire lot is less than 36m in each direction, so this is N/A	OK	
Building Height	Max. 11m (flat) or 12m (sloped)	11.82 m	To Midpoint of highest roofline	OK
Setback from any street other than a city lane	Min. 2m	5.14 m	South	OK
		2.05 m	East	OK
Porch, ramps, and stairs	May project 2m into the setback	0.54 m	to PL on the East	OK
Any setback to which the above does not apply	Min. 5m where the building elevation facing the lot line includes a window to a habitable room OR 2m if there is no window to a habitable room.	6.59 m	North	OK
		8.27 m	West	OK
Eave Projection	Max. 0.75m into any setback	0.46 m		OK
Site Coverage	Max. 50% (including all buildings, steps & cantilevers)	248.42 sq.m.	38.8%	OK
Open Site Space	Min. 45% (Whole site minus site coverage, driveways and parking)	267.06 sq.m.	41.66% lot area	Variance Req'd
Single space that is landscaped and not paved, does not have above or below ground structures, and all sides of which are at least 4.5m long	Min. 1 space, the greater of 35sq.m. or 6.5% of lot area (min. 41.7sq.m. for this lot)	58.25 sq.m.	9.09% lot area	OK
Vehicle Parking & Bicycle Parking Regulations				
Parking	Min. 0.77 spaces per unit, not including any secondary suite	6 units x 0.77 = 4.62. Round to nearest whole number = 5 spaces needed. 5 Spaces are provided	OK	
Accessible Parking	Min. 1 space is to be accessible parking	1 space is van accessible	OK	
Bicycle Parking (Long Term)	Min. 2 long-term spaces per dwelling unit that doesn't have access to a garage	8 spaces required. 8 spaces provided. All are ground anchored. Two spaces accommodate oversized bicycles. At least 4 spaces will be equipped with electric bicycle charging stations.	OK	
Bicycle Parking (Short Term)	Min. 6 outdoor (short term) spaces required	6 short term spaces provided in rear yard	OK	

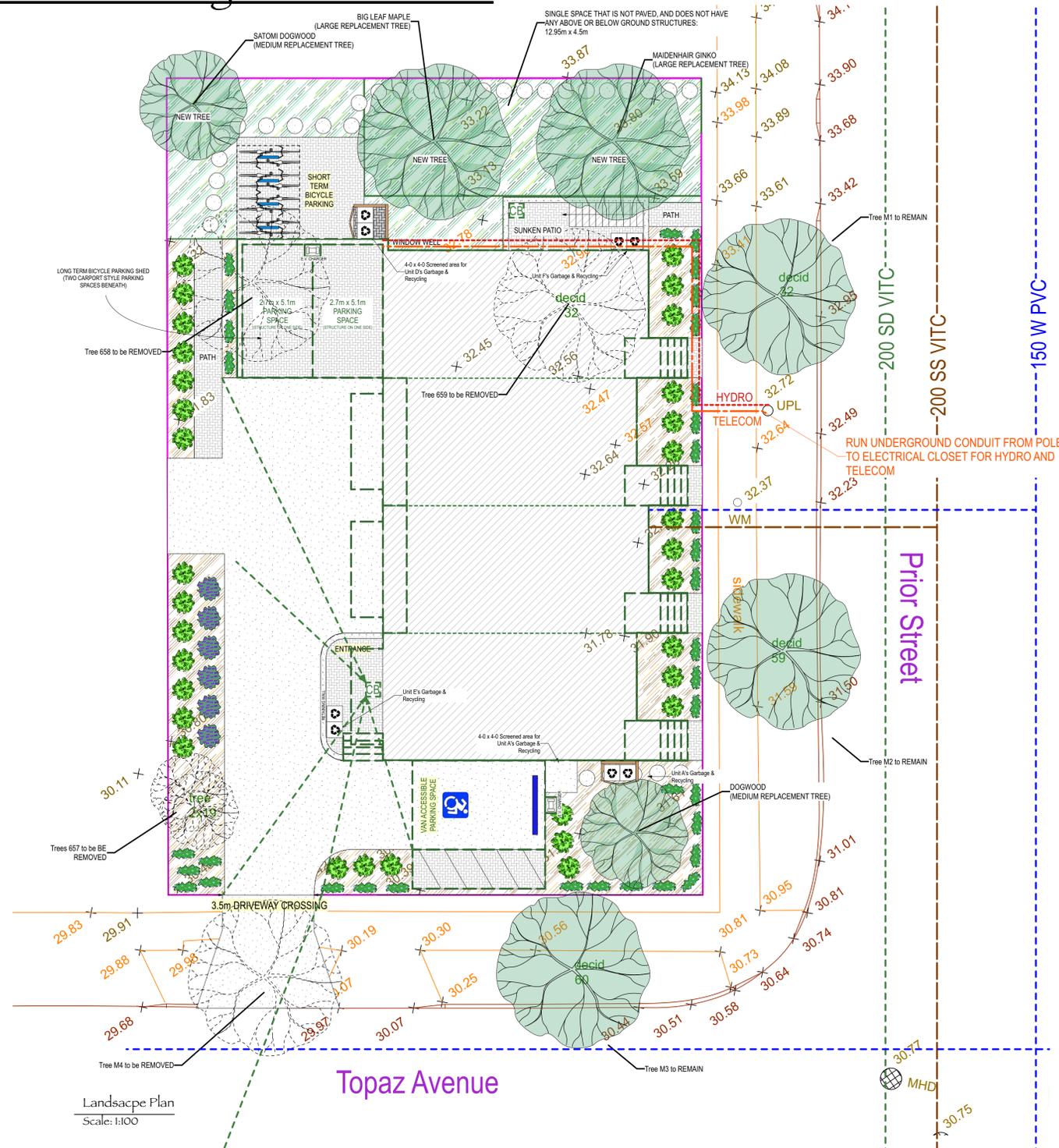


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DWG NO:	DPA-01	DESIGN & DRAWN BY:	TARA	~ 1124 Topaz Avenue ~
DATE:	2024 Jun 13 11:31:31 AM	REVIEWED BY:	John H. Ho, Architect	

*** PLANS ARE FORMATTED TO BE PRINTED AT 36" X 24" ***
*** ENGINEERS' SPECIFICATIONS TO SUPERCEDE THESE PLANS AS REQUIRED ***

Landscape Plan and Height Determinations



Landscape Plan
Scale: 1:100

- AquaPave Pathways & Patios - Pedestrian Use
- Paved Driveway - Vehicular Use
- Concrete Pavers
- Mulched Garden Bed
- Lawn
- Buildings
- Shrubs - ornamental (include native species, butterfly & bee friendly)
- Blueberry Bush
- Ground Cover / Short Perennials (include edibles, native species, butterfly & bee friendly)

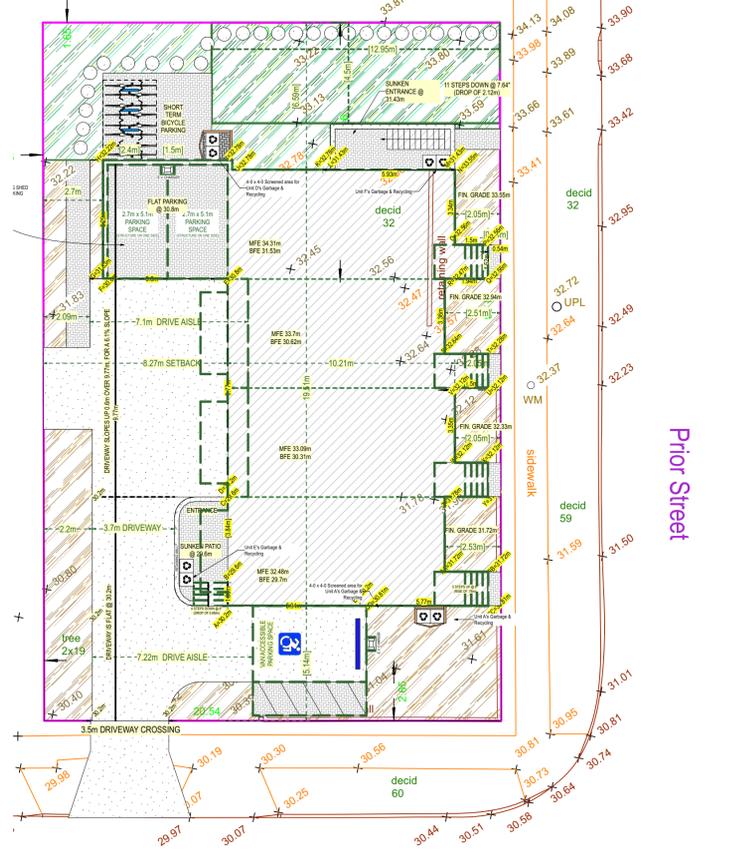
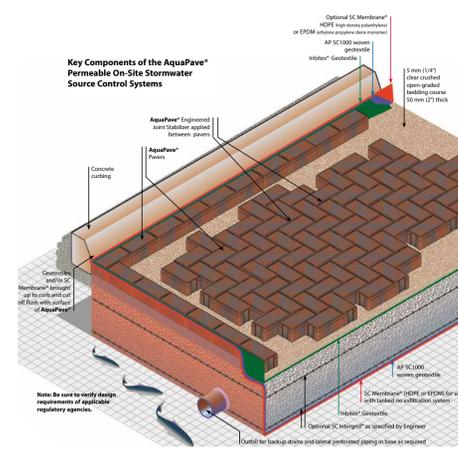
SITE SERVICING LEGEND:

- SEWER-
- DRAIN-
- CATCH BASIN-
- WATER-
- HYDRO-
- TELECOMMUNICATIONS-

Lot Area = 641sq.m.
 Proposed Impermeable areas:
 Building rooftop & Stairs: 2978sq'
 Paved Driveway: 1286sq'
 TOTAL: 4264sq' or 396sq.m. or 61.7%
 Proposed Permeable area (Grass, gardens, permeable pavers, not including areas under overhangs)
 = 2508sq' or 233sq.m. or 36.3%
 Rainwater Management areas (Permeable Paving)
 Paths & patios: 446sq' or 41.4sq.m.

Average Grade Calculation					
Point	Grade	Point	Grade	TOTALS	
A	30.2	B	29.6	1.03	31
B	29.6	C	29.6	3.84	114
C	29.6	D	30.2	0	0
D	30.2	E	30.8	9.77	298
E	30.8	F	30.8	5.6	172
F	30.8	G	31.83	0	0
G	31.83	H	32.22	5.29	169
H	32.22	I	32.78	5.81	189
I	32.78	J	32.78	0.43	14
J	32.78	K	32.78	4.87	153
K	32.78	L	31.43	0	0
L	31.43	M	31.43	1.27	40
M	31.43	N(1)	33.55	2.84	92
N(1)	33.55	N(2)	33.55	1.22	41
N(2)	33.55	O	32.56	3.34	110
O	32.56	P	32.56	1.5	49
P	32.56	Q	32.56	1.52	49
Q	32.56	R	32.47	1.94	63
R	32.47	S	32.84	3.98	109
S	32.84	T	32.28	1.49	48
T	32.28	U	32.12	1.52	49
U	32.12	V	32.12	1.5	48
V	32.12	W	32.12	3.36	109
W	32.12	X	32.12	1.5	48
X	32.12	Y	31.9	1.52	49
Y	31.9	Z	31.78	1.94	62
Z	31.78	AA	31.72	3.36	107
AA	31.72	BB	31.72	1.94	62
BB	31.72	CC	30.81	1.52	48
CC	30.81	DD	30.81	5.77	178
DD	30.81	EE	30.2	0	0
EE	30.2	A	30.2	5.94	179
				84.79	2680
				(Total Perimeter m)	(Totals)
Average Grade (Totals / Total Perimeter m)					31.60

Aqua Pave Permeable Pavers:



Site Plan - Key for Determining Average Grade
Scale: 1:150

Capital Tree Service Inc.												
Appendix A - Tree Inventory/Hazard Ratings Summary												
Location: 1124 Topaz Avenue, Victoria, BC V8T 2M7												
Date: December 28, 2023												
Conditions: Overcast, 9°C, 6km/hr NE light breeze												
Tag #	Species	DBH (cm)	PRZ (m)	Height (m)	HEALTH/Structure	Canopy (%)	Bylaw Protected	Impact Tolerance	Retention Suitability	Action	Observations	Impacts
M1	Flowering ash	31	4	7	F/F-P	3	Yes	Moderate	Suitable	Retain	All scaffold branch collars within ~30cm. Poor aspect ratio in unions. Decent bud production. Dieback of last years growth. Stem deflections. Seam in epidermis.	Located ~5.7m from proposed building.
M2	Flowering ash	65	8	9	F-P/F	4	Yes	Moderate	Suitable	Retain	All scaffold branch collars within ~30cm. Poor aspect ratio in unions. Utility pruned. Epicormics. Swollen stem ~1.5m above grade. Dieback. 5cm+ deadwood. Seam of cambial dieback.	Located ~4.9m from proposed building.
M3	Horse chestnut	59	7	12	F/P	5	Yes	Generally Poor-Good	Suitable	Retain	All scaffold branch collars within ~50cm. Poor aspect ratio in unions. Epicormics. Licorice fern growing from union. Healthy bud production.	Located ~7.7m from proposed building. ~3m from proposed parking area.
M4	Horse chestnut	58	7	13	F/P	6	Yes	Generally Poor-Good	Unsuitable	Remove	All scaffold branch collars within ~50cm. Poor aspect ratio in unions. Epicormics. Licorice fern growing from union. Healthy bud production.	Within footprint of driveway alignment.
657	English holly	37	4	5	F-P/P	2	No	Generally Good	Unsuitable	Remove	2x stem ~0.3m above grade (19+18cm DBHs). Poor aspect ratio in union. Narrow angle of attachment. Included bark. Seam at union. Lower stem dieback. Epicormics. Chlorosis. Minor deadwood. Listed as an invasive species by Invasive Species Council of BC.	Located ~1m from edge of driveway.
658	Pear	34	4	6	G-P/P	3	No	Generally Moderate	Unsuitable	Remove	2x stem ~1.2m above grade (19+15cm DBHs). Poor aspect ratio in union. Healthy bud production. Shed within CRZ. Epicormics. Decay at old pruning cuts.	Located within footprint of parking stalls with storage above.
659	Pear	31	4	6	F/P-P	3	Yes	Generally Moderate	Unsuitable	Remove	Mature fruit tree. Dieback. Deadwood. Some poor pruning cuts. Stem deflections. Originally planted in site, possibly leading to a buried root collar.	Located within building footprint.

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DWG NO: **DPA-02**

DESIGN & DRAWN BY: **TARA**

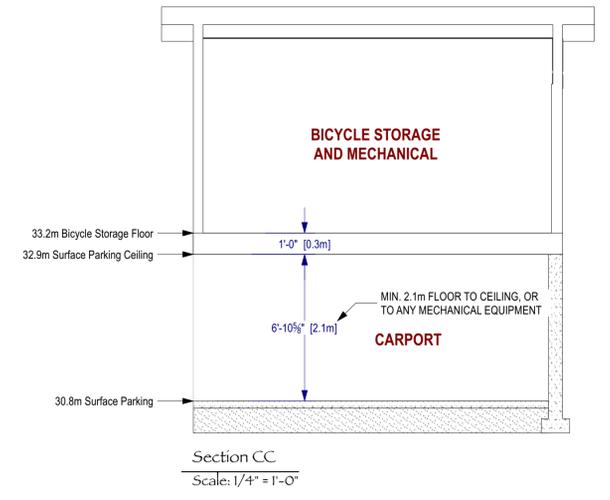
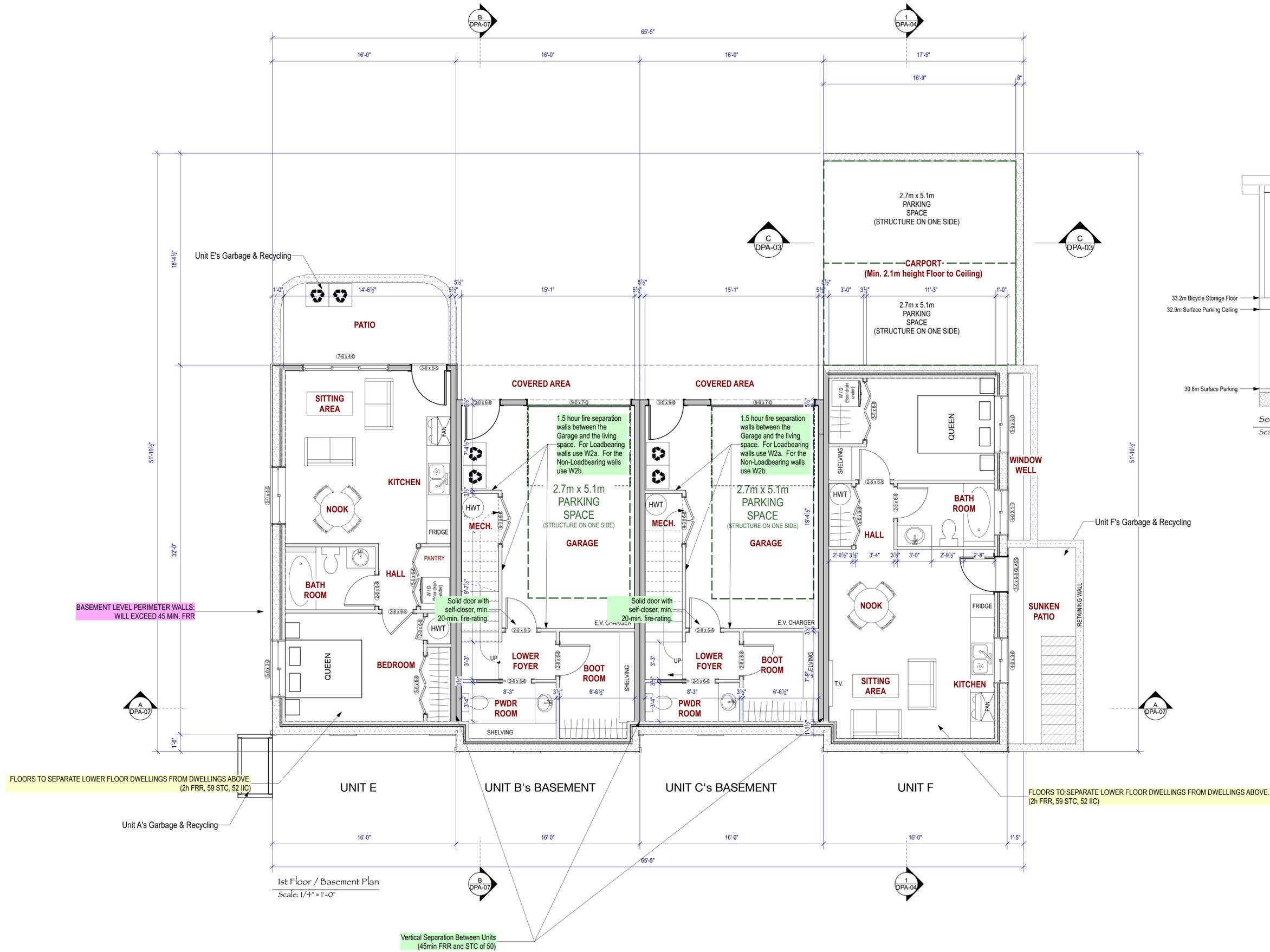
DATE: **2024 Jun 13 11:31:31 AM**

REVIEWED BY: **John H. Ho, Architect**

~ 1124 Topaz Avenue ~

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FIRST FLOOR / BASEMENT PLAN



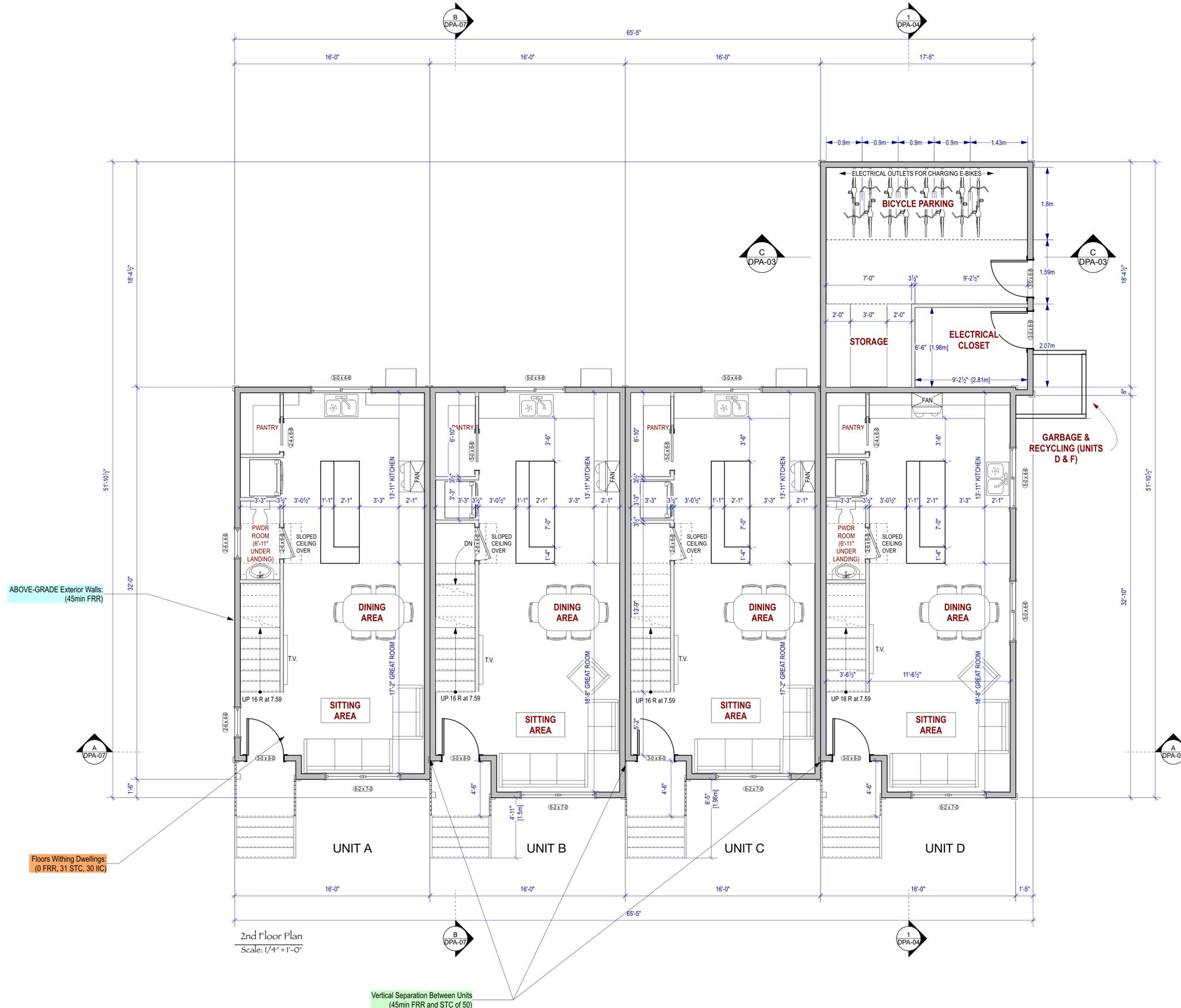
- FLOOR PLAN KEYNOTES:**
- FOUNDATION DIMENSIONS ARE TO FACE OF CONCRETE
 - EXTERIOR WALL DIMENSIONS ARE TO FACE OF FRAMING
 - INTERIOR WALL DIMENSIONS ARE TO FACE OF FRAMING
 - DESIGNER RECOMMENDS INSTALLATION OF BACKING @ POCKET DOOR WALLS, AND WHERE TV'S, CABINETS, AND CLOSET ORGANIZERS WILL BE HUNG.
 - EGRESS: EACH BEDROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW THAT CONFORMS TO LOCAL CODES
 - ALL FOOTINGS TO BE ON SOLID BEARING AND TO BE VERIFIED BY ENGINEER FOR POINT LOADS
 - SEE ENGINEER'S SPECIFICATIONS FOR ALL STRUCTURAL COMPONENTS

NOTE: MINIMUM FRR, STC AND IIC RATINGS ARE SHOWN.
ACTUAL ASSEMBLIES WILL BE DETERMINED AND DRAWINGS UPDATED, PRIOR TO BUILDING PERMIT APPLICATION

	Tara Cumming 250-889-4918 cumming_design@shaw.ca	DWG NO:	DPA-03	DESIGN & DRAWN BY:	TARA	~ 1124 Topaz Avenue ~
		DATE:	2024 Jun 13 11:31:32 AM	REVIEWED BY:	John H. Ho, Architect	

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SECOND FLOOR PLAN



NOTE: MINIMUM FRR, STC AND IIC RATINGS ARE SHOWN.
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FLOOR PLAN KEYNOTES:

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THIRD FLOOR PLAN



NOTE: MINIMUM FRR, STC AND IIC RATINGS ARE SHOWN.
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FOURTH FLOOR PLAN



4th Floor Plan
Scale: 1/4" = 1'-0"

- FLOOR PLAN KEYNOTES:**
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	Tara Cumming 250-889-4918 cumming_design@shaw.ca	DWG NO: DPA-06	DESIGN & DRAWN BY: TARA	~ 1124 Topaz Avenue ~
		DATE: 2024 Jun 13 11:31:33 AM	REVIEWED BY: John H. Ho, Architect	

EAST & WEST ELEVATIONS



West Elevation
Scale: 1/4" = 1'-0"



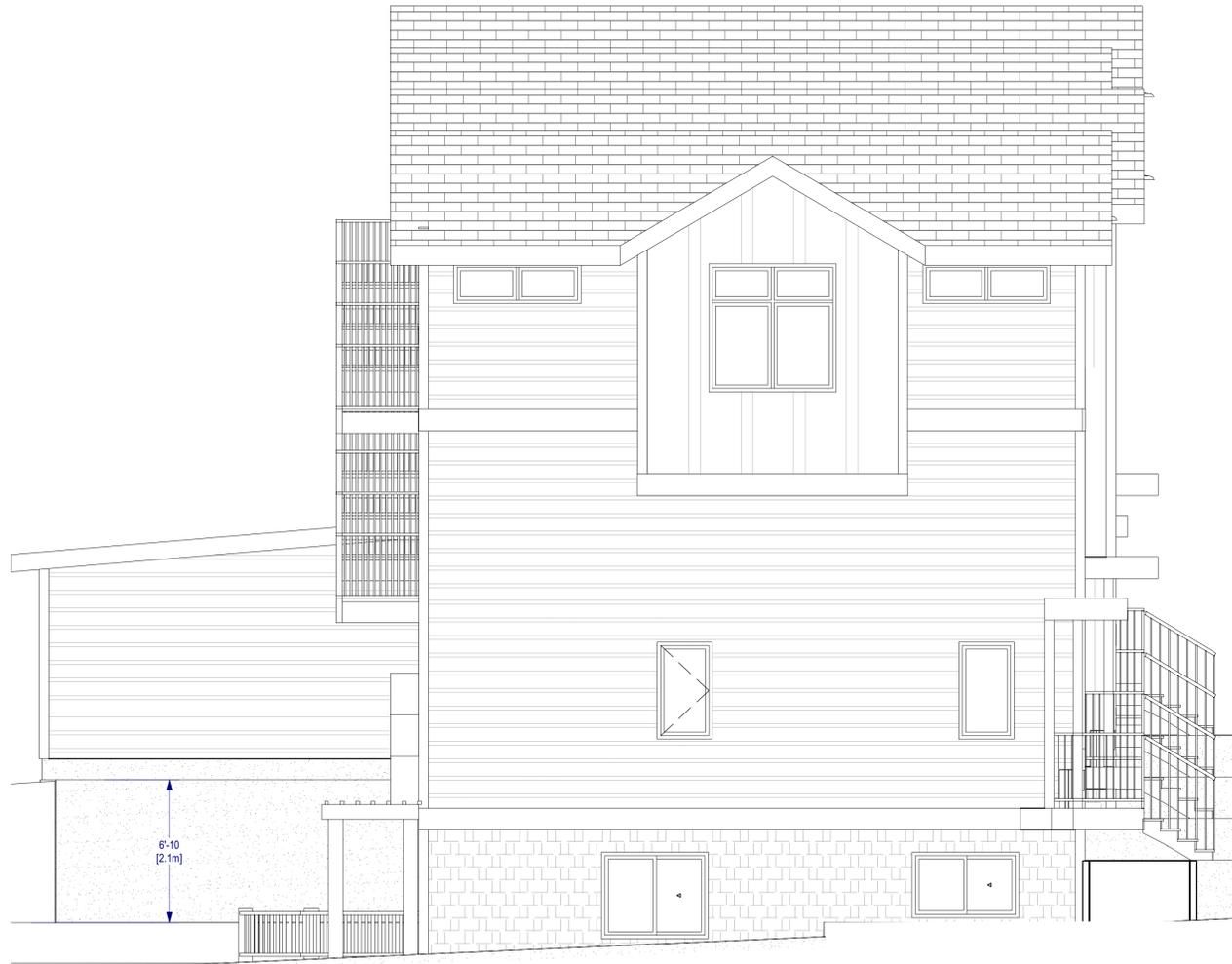
East Elevation
Scale: 1/4" = 1'-0"

Spatial Separations Calculations - West Wall							
WALL	LIMITING DISTANCE (m)	EXPOSING BUILDING FACE (sq.ft.)	EXPOSING BUILDING FACE (sq.m.)	PROPOSED UNPROTECTED OPENINGS (sq.ft.)	ALLOWABLE UNPROTECTED OPENINGS (%)	PROPOSED UNPROTECTED OPENINGS (%)	Allowable must be greater than or equal to Proposed
-From Site Plan & Elevations-	-From Site Plan-	-Finished Ground to uppermost Ceiling-	-This column auto-calculates-	-From Elevations-	-PER BCBC 9.10.14.4-	-This column auto-calculates-	-Compare Allowable to Proposed-
West Elevation	8.27m	2032	189	364	28.0%	17.9%	OK

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	Tara Cumming 250-889-4918 cumming_design@shaw.ca	DWG NO:	DPA-08	DESIGN & DRAWN BY:	TARA	~ 1124 Topaz Avenue ~
		DATE:	2024 Jun 13 11:31:33 AM	REVIEWED BY:	John H. Ho, Architect	

NORTH & SOUTH ELEVATIONS



South Elevation
Scale: 1/4" = 1'-0"



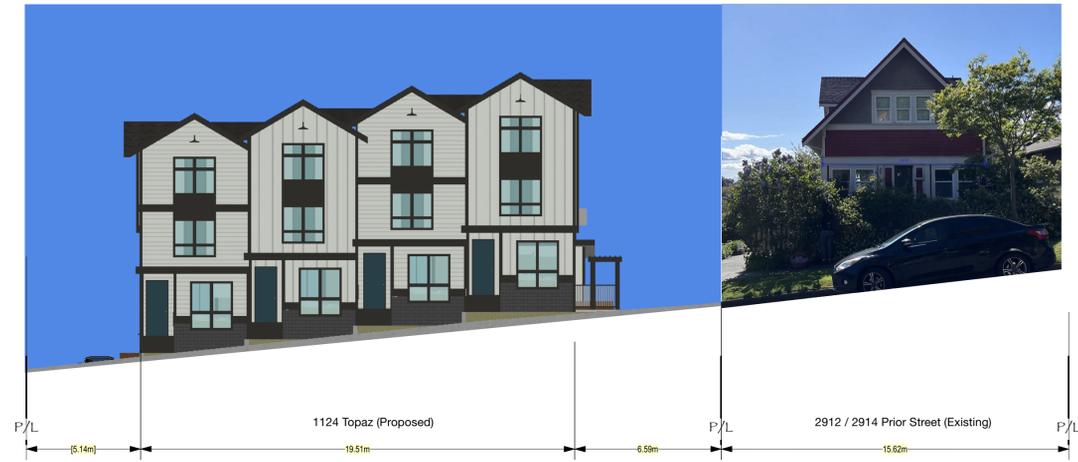
North Elevation
Scale: 1/4" = 1'-0"

Spatial Separations Calculations - North Wall							
WALL	LIMITING DISTANCE (m)	EXPOSING BUILDING FACE (sq.ft.)	EXPOSING BUILDING FACE (sq.m.)	PROPOSED UNPROTECTED OPENINGS (sq.ft.)	ALLOWABLE UNPROTECTED OPENINGS (%)	PROPOSED UNPROTECTED OPENINGS (%)	Allowable must be greater than or equal to Proposed
~From Site Plan & Elevations~	~From Site Plan~	~Finished Ground to uppermost Ceiling~	~This column auto-calculates~	~From Elevations~	~PER BCBC 9.10.14.4~	~This column auto-calculates~	~Compare Allowable to Proposed~
North Elevation	6.59m	998	93	65	43.0%	6.5%	OK

MODEL VIEWS, STREETScape & BUILDING EXTERIORS



South Streetscape (Topaz Ave)



East Streetscape (Prior Street)



South East View
Scale: 3/32" = 1'-0"



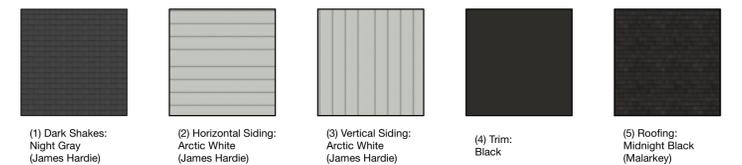
North East View
Scale: 3/32" = 1'-0"



North West View
Scale: 3/32" = 1'-0"



South West View
Scale: 3/32" = 1'-0"

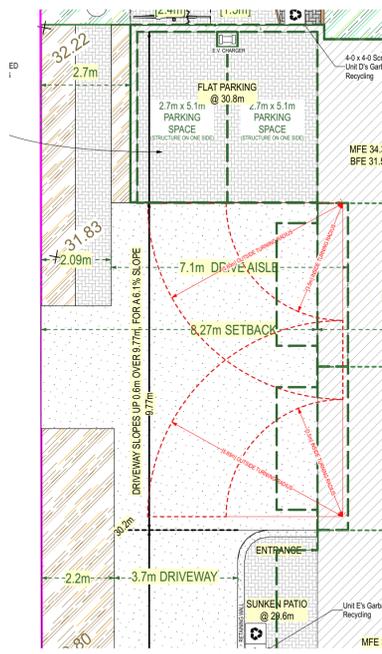


Exterior Colours

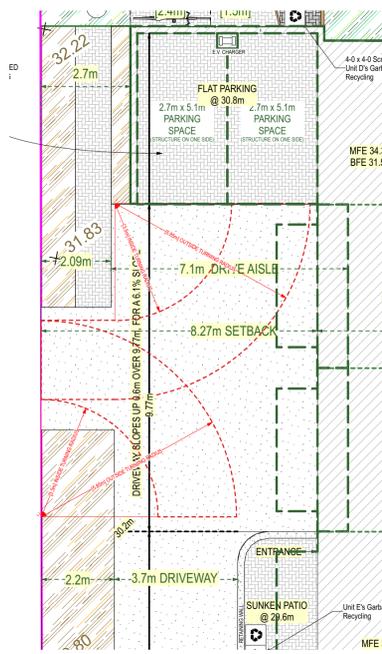
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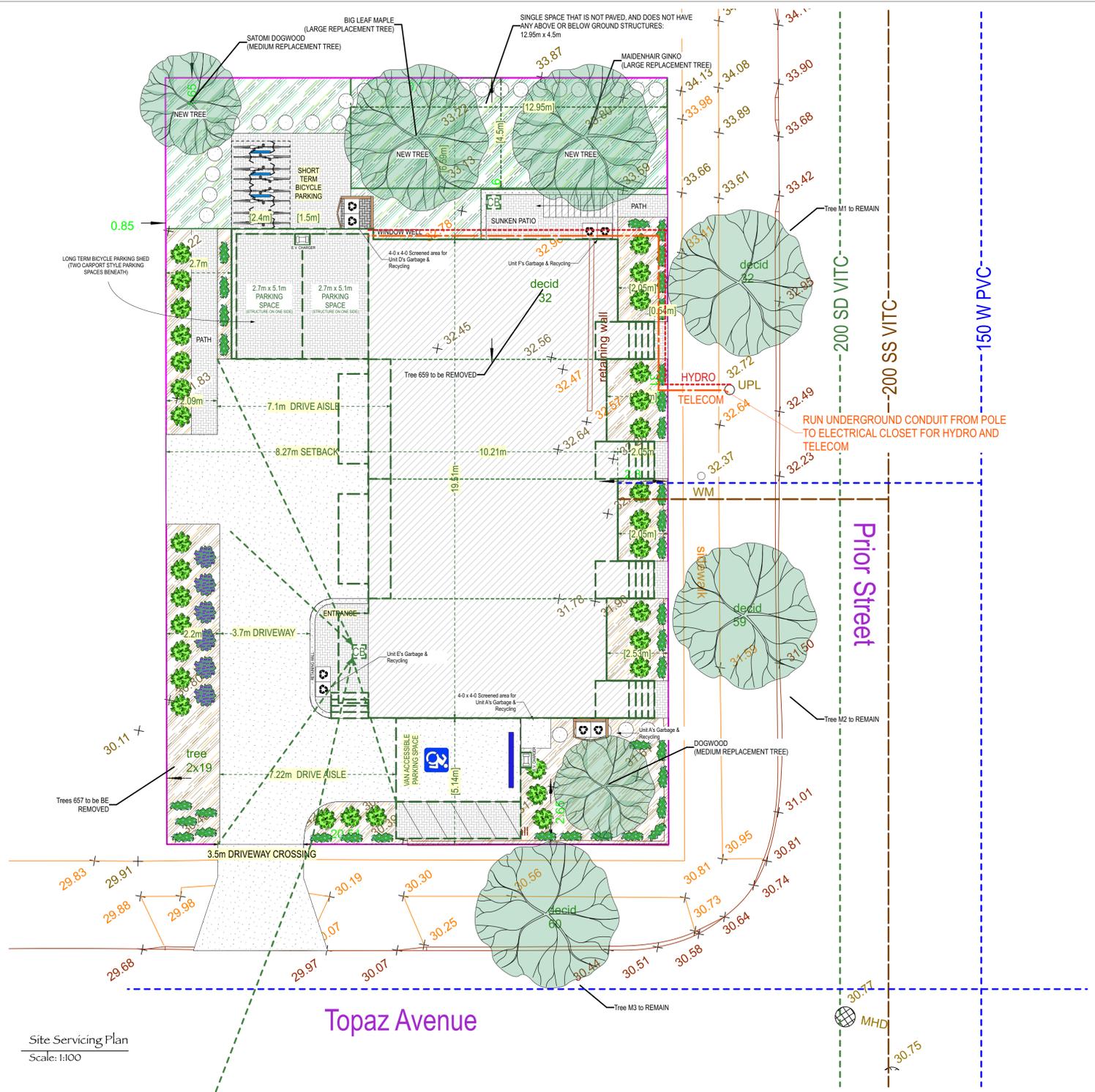
SITE SERVICING PLAN



Carport Vehicle Exit (Turning Radius for North Car)
Scale: 1:100



Carport Vehicle Exit (Turning Radius for South Car)
Scale: 1:100



Site Servicing Plan
Scale: 1:100

---200 SD VITC---

- AquaPave Pathways & Patios - Pedestrian Use
 - Paved Driveway - Vehicular Use
 - Concrete Pavers
 - Mulched Garden Bed
 - Lawn
 - Buildings
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= 2508sq' or 233sq.m. or 36.3%
Rainwater Management areas (Permeable Paving)
Paths & patios: 446sq' or 41.4sq.m.

Fixture Hydraulic Load Calculation for Water Service Pipe Size:			
Fixture or Device	Fixture Units (A)	Qty of Fixtures (B)	Load (A x B)
Bathroom Group - three fixtures only (1 toilet, 1 basin and 1 bathtub or 1 shower stall = 1 bathroom group)	3.6	10	36
Bathtub	1.4	0	0
Clothes Washer	1.4	6	8.4
Dishwasher	1.4	6	8.4
Hose Bibb - 1/2" (outside tap)	2.5	5	12.5
Sink, bar	1	0	0
Sink, bathroom (Lavatory or Basin)	0.7	8	5.6
Sink, kitchen	1.4	6	8.4
Sink, laundry (1 or 2 compartments)	1.4	0	0
Shower stall (1 shower valve)	1.4	0	0
Water Closet (Toilet)	2.2	4	8.8
TOTAL LOAD =			88.1

	Tara Cumming 250-889-4918 cumming_design@shaw.ca	DWG NO: DPA-11	DESIGN & DRAWN BY: TARA	~ 1124 Topaz Avenue ~
		DATE: 2024 Jun 13 11:31:37 AM	REVIEWED BY: John H. Ho, Architect	