



937 View Street

LIST OF DRAWINGS

ARCHITECTURAL

- A000 Cover
- A001 Project Data
- A100 Survey
- A101 Site Plan Existing
- A102 Site Plan Proposed
- A103 Setback Plans
- A104 Setback Sections
- A105 Site Context - Shadow Analysis
- A106 Site Context - Harris Green Impact Study
- A107 Site Context - Street Views
- A108 Site Context - Street Elevations
- A109 Site Context - Materials
- A110 Site Context - Rendered Views
- A111 Site Context - Rendered Views
- A112 Site Context - Rendered Views
- A113 Site Context - Rendered Views
- A114 Site Context - Rendered Views
- A201 Level 1 Plan
- A202 Level 2 Plan
- A203 Levels 3-4 Plan
- A204 Levels 5-10 Plan
- A205 Levels 11-17 Plan
- A206 Level 18 Plan
- A207 Roof Plan
- A301 Building Elevations
- A302 Building Elevations
- A303 Adjacent Buildings Analysis
- A401 Building Sections
- A402 Building Sections
- A511 Area Plans

LANDSCAPE

- L1.01 Landscape Materials
- L1.02 Stormwater Management
- L3.01 Planting Plan - Level 1
- L3.02 Planting Plan - Levels 2 and 18

CIVIL

- C100 General Notes
- C200 Site Servicing Plan
- C300 Grading Plan
- C400 BC Hydro Information Plan

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

File Name: 200812 Drawing File
Drawn By: RCI Checked By: ADM
Date: 1-1-19 Project Number: 1902


NOTE: All dimensions are given in millimeters.

View Street
Residential
937 View Street

Cover



A000



Revisions

Received Date:
August 17, 2020

dHKA Architects
Victoria
977 Fort Street
V8V 3K3 T 1-250-658-3367
102-6180 Dublin Way V9T 0H2 T 1-250-585-5810
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1 Context Plan Image
A001



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details:

ACST	Acoustic Sluice	HC	Handicap	SPC	Solid Particleboard Core
ACT	Acoustical Tile	HM	Heavy Metal	ST	Structure
APF	Aluminum Profiled Floor	HP	High Point	STL	Steel
AL	Aluminum	HSS	Heavy Steel Section	STN	Stainless
AO	Auto-Operated	HW	Handicap	STNT	Stainless Trim
AP	Annunciator Panel	INSUL	Insulated	SS	Stainless Steel
BGL	Building Grade	LM	Laminated Glass	SVF	Sheet Vinyl Flooring
CBM	Centimetre Bearing Board	LP	Low Point	TB	Tread Bar
CER	Ceramic	MDB	Medium Density Fibreboard Base	TCL	Tempered (Double Glazed)
CEM	Concrete Block	MR	Minor	TCLM	Tempered Laminated Glass
CFL	Concealed	MP	Medium Point	TCLP	Tempered Laminated Glass
CH	Chimney	OW	Operable Window	TCLL	Tempered Laminated Glass
CT	Ceramic Tile	OW	Operable Window	TCLC	Tempered Laminated Glass
CHG	Chimney With	PLM	Plastic Laminated	TCLP	Tempered Laminated Glass
DO	Deck Door	PLM	Plastic Laminated	TCLP	Tempered Laminated Glass
EB	Electric Blue Storage	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
EL	Elevation	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
EPC	Epoxy Polymer Coating	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
EV	Electric Vehicle Parking	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
EXP AGG	Exposed Aggregate	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
EKT	Exterior	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
FD	Floor Drain	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
FED	Fire Extinguisher Cabinet	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
FTE	Finished Floor Elevation	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
FG	Finished Grade	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
SB	Steel Bar	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
GL	Glass Block	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
GLV	Glass Vinyl Glass	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
GWB	Gypsum Wallboard	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
VC	Vitreous China	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass
HCW	Hardwood Core Wood	PLP	Plastic Laminated	TCLP	Tempered Laminated Glass

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

SECTION	ROOM NAME & ROOM NUMBER
DOOR NUMBER	See Door Schedule
WINDOW NUMBER	See Window Schedule
WALL TYPE	See Assembly Schedule
RATED WALL DESIGNATION	
ELEVATION DATUM	
CEILING HEIGHT	
AREA OF DROP CEILING	
KEYNOTE SYMBOL	
MATERIAL TAG	
INTERIOR ELEVATION REFERENCE	
ROOM FINISHES	

PROJECT DESCRIPTION

CITY ADDRESS: 937 VIEW STREET, VICTORIA, BC.
LEGAL DESCRIPTION: LOT A, DP 17878, 785, and 787, VICTORIA CITY, PLAN 36565

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION: 18 STORY RESIDENTIAL BUILDING

USE: RESIDENTIAL

EXISTING ZONE: R4B HAYBURN GREEN

PROPOSED ZONE: R4B

DEVELOPMENT PERMIT AREA (DPA) 113 (H)

SITE AREA: 1 572.3 m² (16 924 s.f.)

FLOOR AREA: 626.72 m² (6 769 s.f.)

RESIDENTIAL Level 1: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 2: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 3: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 4: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 5: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 6: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 7: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 8: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 9: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 10: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 11: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 12: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 13: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 14: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 15: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 16: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 17: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 18: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 19: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 20: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 21: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 22: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 23: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 24: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 25: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 26: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 27: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 28: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 29: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 30: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 31: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 32: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 33: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 34: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 35: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 36: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 37: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 38: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 39: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 40: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 41: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 42: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 43: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 44: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 45: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 46: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 47: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 48: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 49: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 50: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 51: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 52: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 53: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 54: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 55: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 56: 8 554 m² (9 241 s.f.)

RESIDENTIAL Level 57: 8 554 m² (9 241 s.f.)

PROJECT DIRECTORY

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shane@ryck.ca

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Chris Rausky
tel: 250.361.1715 x110201
crausky@morrisonmechanical.com

BUILDING CODE SUMMARY

REFERENCED DOCUMENTS: BRITISH COLUMBIA BUILDING CODE 2018 - PART 3, CANADIAN STANDARDS ASSOCIATION 905-116

MAJOR OCCUPANCY CLASSIFICATION: GROUP C - RESIDENTIAL

BUILDING AREA: 12 044.17 m² (134 598 s.f.)

BUILDING HEIGHT: 18 STOREYS

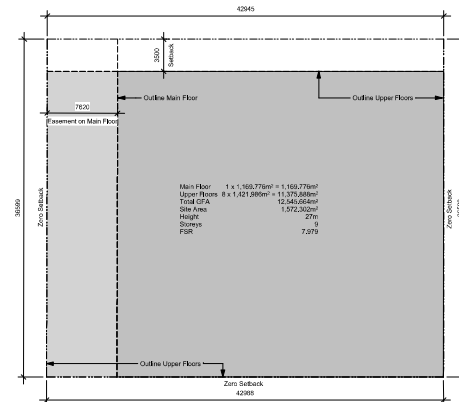
NUMBER OF STREETS FACING: 1

ACCESSIBLE FACILITIES: ACCESSIBLE ENTRANCE

CONSTRUCTION REQUIREMENTS: 3.2.2.47 CONSTRUCTION REQUIREMENT: ANY AREA SPRINKLERED

NON-COMBUSTIBLE CONSTRUCTION WITH 2 HR FIRE RESISTANT RATING TO FLOORS AND LOADING WALLS

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS: REG. 3.2.5.1 (1) (b)

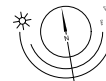


2 Base FSR Calculation

SCALE: 1 : 250

0 6250 12500 mm

1: 250



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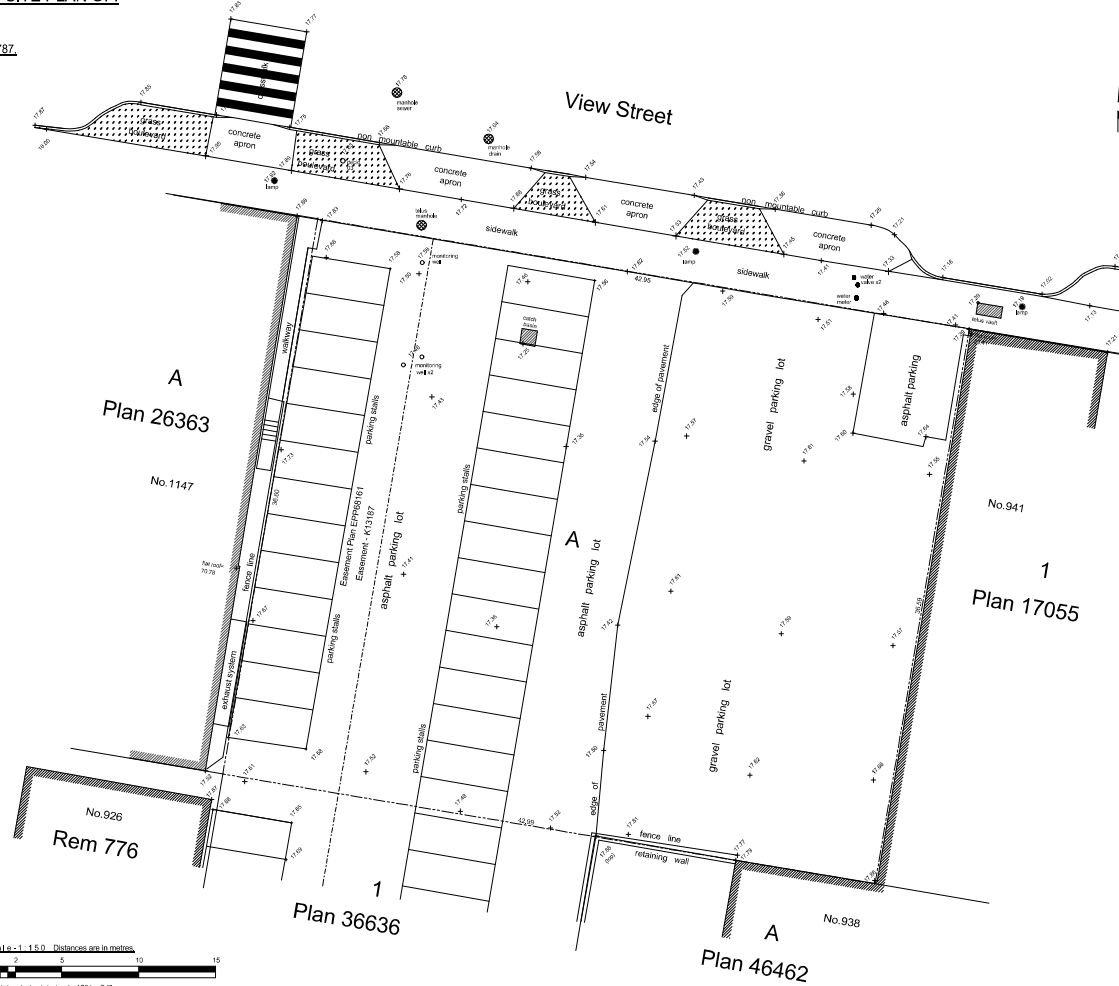
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Civic: 937 View Street
Legal Lot A, of Lots 785, 786, and 787
Victoria City, Plan 36505

Parcel Identifier: 000-410-233
in the City of Victoria

LEGEND

Elevations are to geoidetic datum.
 + . denotes - existing elevation
 Tree diameters are in centimetres.
 Area Lot A = 1572.3m²



December 13, 2016

File : 9,929-16

POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Scale - 1 : 150 Distances are in metres.



The intended print size is 18" by 24"

19-10-02

Issued for DP

Plot Date	20/08/12	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	1 : 150	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View Street

View Street Residential
937 View Street

Survey

Survey

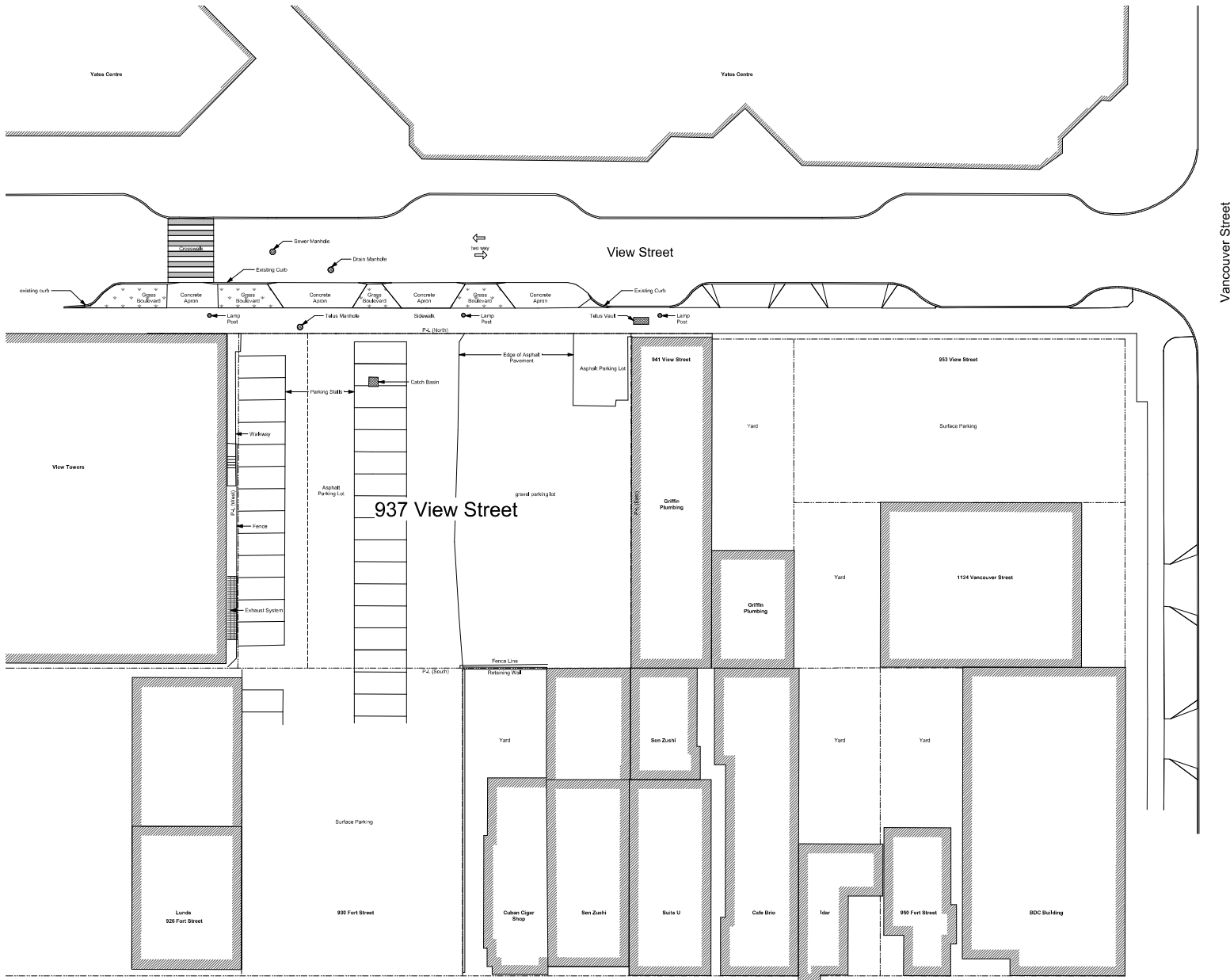
2020-08-12

BRITISH COLUMBIA

dHka A100

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 Scale: 1:200 Project Number:
 NOTE: All dimensions are shown in millimeters.

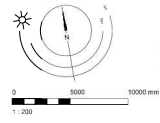
View Street
 Residential
 937 View Street

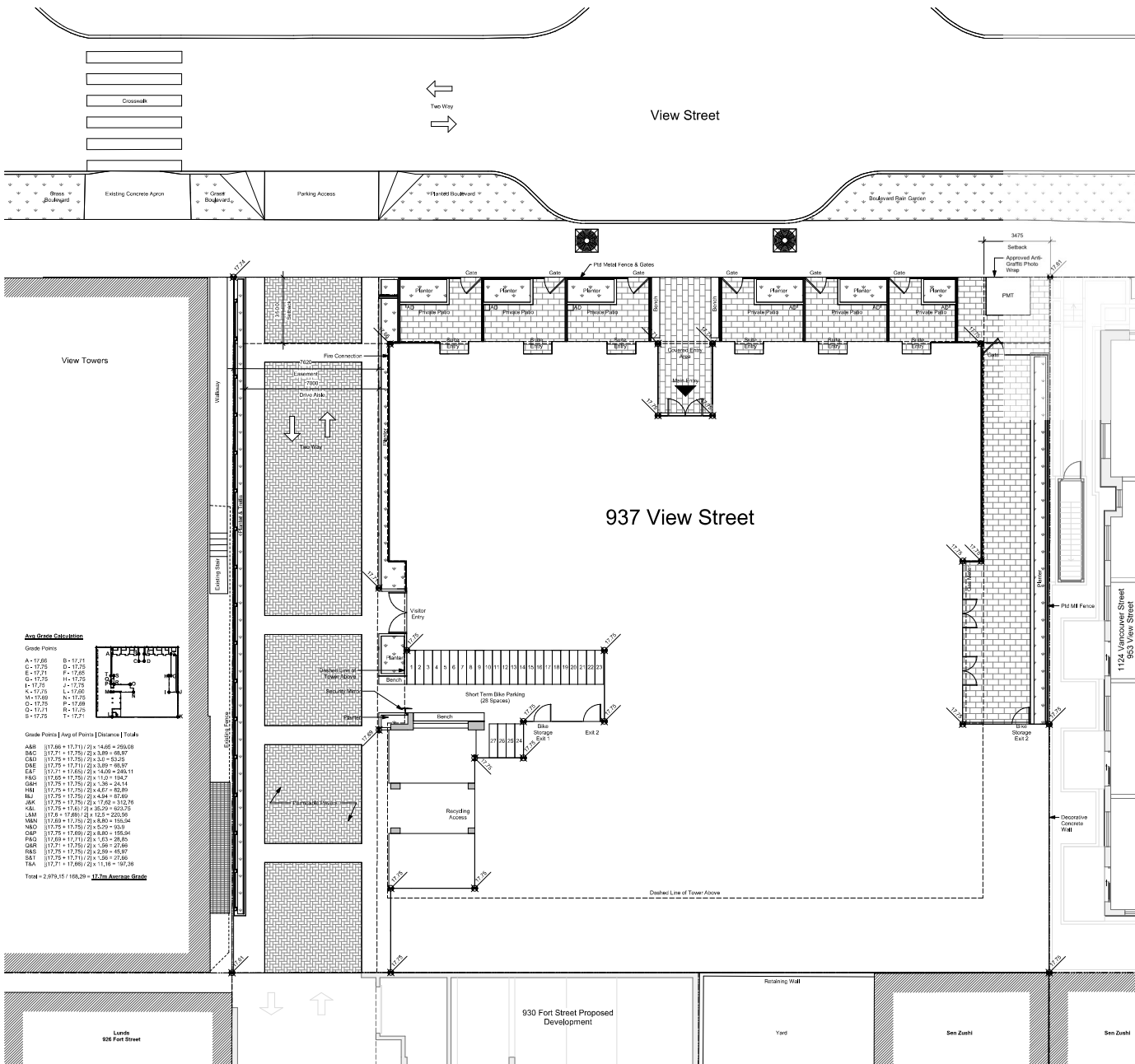
Site Plan



dHKA
A101

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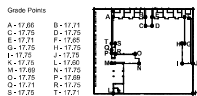
PROJECT INFORMATION TABLE

	Zone Standard	Proposal - if Different from Zone Standard
Zoning	R-48	R-48
Site Area (m ²)	N/A	1572.3 m ²
Total Floor Area (m ²)	N/A	12,554.2 m ²
Floor Space Ratio	N/A	7.95
Site Coverage %	N/A	80%
Open Site Space %	N/A	20%
Height (m)	20m	54.0 m
Number of Storeys	10	18
Parking Stalls (number) on site	N/A	0
Bicycle Parking Number (Short and Long Term)	N/A	307

Building Setback (m)	0.5m non-res / 3.5m res	3.5m res (North)
Front Yard	N/A	3.48m (Lower, South)
Rear Yard	N/A	3.55m (Lower, East)
Side Yard (Indicate Which Side)	N/A	7.62m (West)

Residential Use Details		
Total Number of Units	N/A	267
Unit Types	N/A	Studio, 1 BR/1BTH, 2 BR/2 BTH
Ground Oriented Units	N/A	6
Minimum Unit Floor Area	N/A	29m ²
Total Residential Floor Area	N/A	9,933.94 m ²

Area Grade Calculation



Grade Points [Avg of Points] [Distance] [Totals]

A88	(17.66 + 17.71) / 2 = 17.685
B4D	(17.71 + 17.75) / 2 = 17.73
C4D	(17.75 + 17.79) / 2 = 17.77
D4E	(17.79 + 17.83) / 2 = 17.81
E4F	(17.83 + 17.87) / 2 = 17.85
F4G	(17.87 + 17.91) / 2 = 17.89
G4H	(17.91 + 17.95) / 2 = 17.93
H4I	(17.95 + 17.99) / 2 = 17.97
I4J	(17.99 + 18.03) / 2 = 18.01
J4K	(18.03 + 18.07) / 2 = 18.05
K4L	(18.07 + 18.11) / 2 = 18.09
L4M	(18.11 + 18.15) / 2 = 18.13
M4N	(18.15 + 18.19) / 2 = 18.17
N4O	(18.19 + 18.23) / 2 = 18.21
O4P	(18.23 + 18.27) / 2 = 18.25
P4Q	(18.27 + 18.31) / 2 = 18.29
Q4R	(18.31 + 18.35) / 2 = 18.33
R4S	(18.35 + 18.39) / 2 = 18.37
S4T	(18.39 + 18.43) / 2 = 18.41
T4A	(18.43 + 18.47) / 2 = 18.45
Total	2,979.15 / 108.29 = 27.5m Average Grade

20-08-12
19-10-02

Issued for DP Revisions 2
Issued for DP Revisions 1
Issued for DP

File Name: 200812
Drawn By: RCI
Checked By: ADM
Scale: As Indicated
Project Number: 1902

NOTE: All dimensions are shown in millimeters.

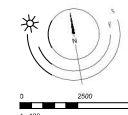
View Street
Residential
937 View Street

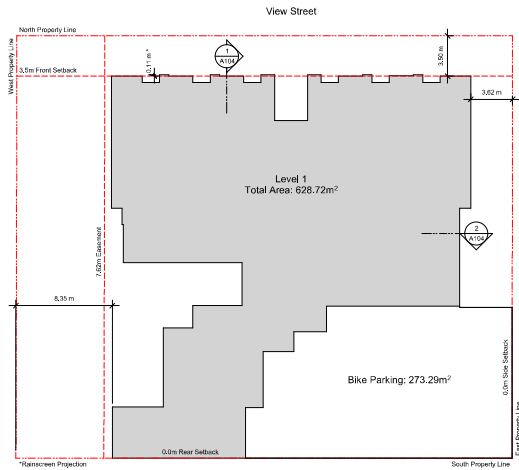
Site Plan



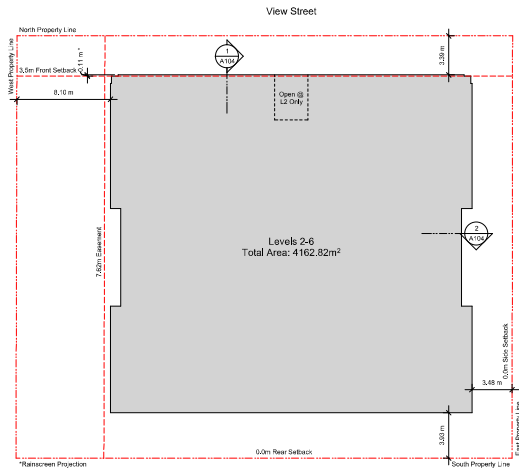
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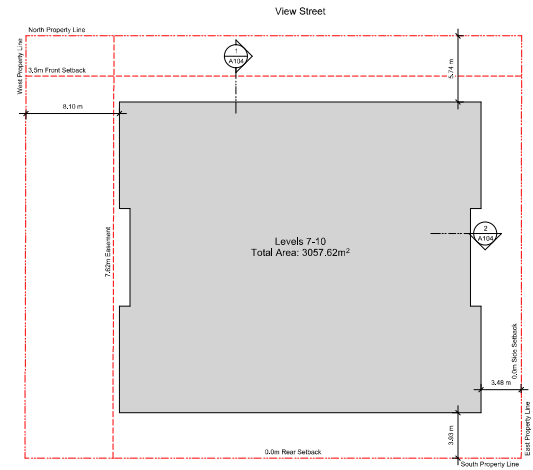




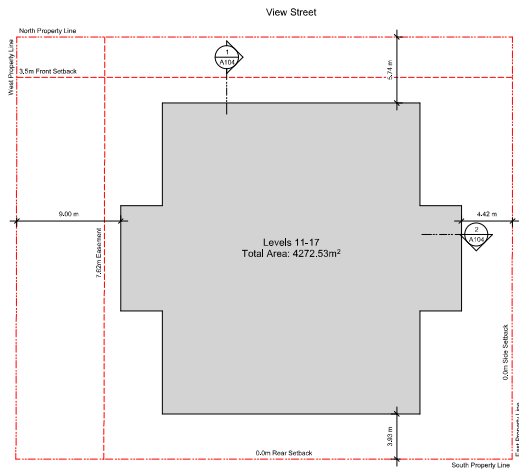
1 Setback Plan - L1
A103 SCALE: 1:200



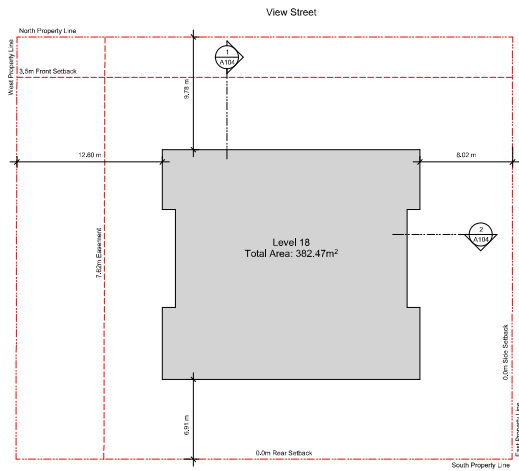
2 Setback Plan - L2-L6
A103 SCALE: 1:200



3 Setback Plan - L7-L10
A103 SCALE: 1:200



4 Setback Plan - L11-L17
A103 SCALE: 1:200



5 Setback Plan - L18
A103 SCALE: 1:200

20-08-12 Issued for CP Revisions 2

File Date: 20/08/12 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: 1:200 Project Number: 1902
NOTE: All dimensions are shown in millimeters.

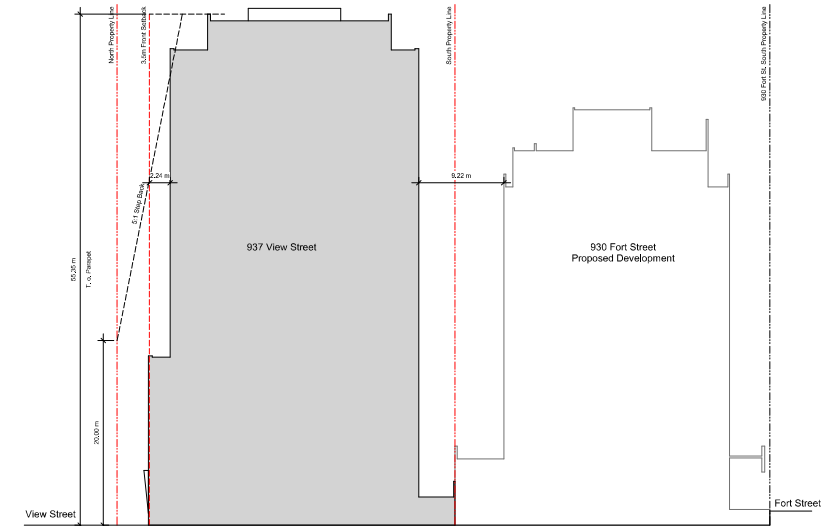
View Street
Residential
937 View Street

Setback

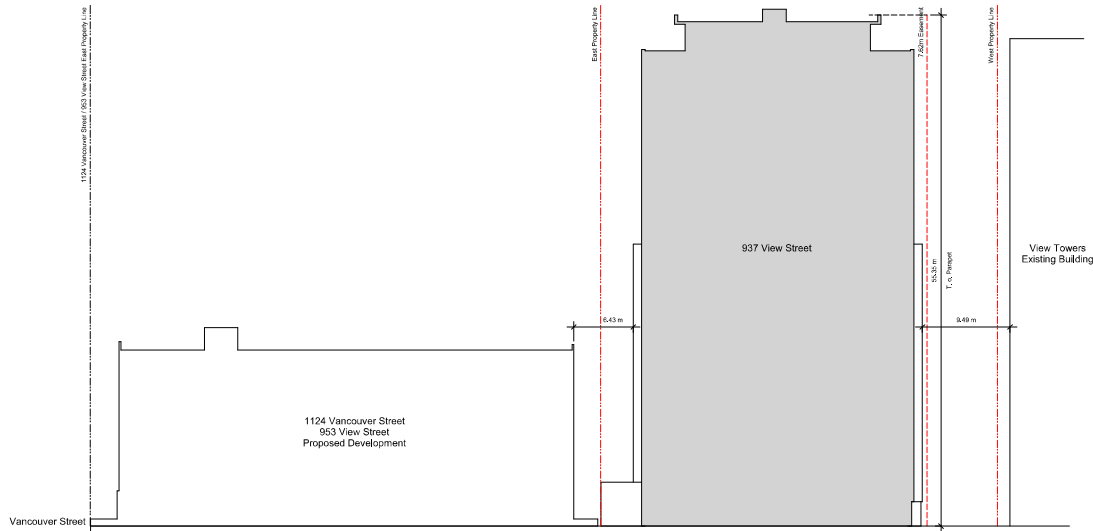


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1 Building Separation Section - North/South
A104 SCALE: 1 : 250



2 Building Separation Section - West/East
A104 SCALE: 1 : 250

General Notes

1. 930 Fort Street outline based on Development Permit No. 2019-05-05-05.
2. 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit. Submission dated 2019-07-20.

20-08-12 Issued for DP Revisions 2

File Date	2008/12	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As Indicated	Project Number	1902
NOTE: All dimensions are shown in millimeters.			

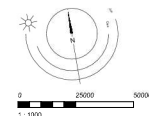
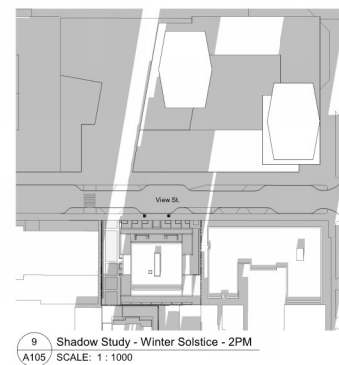
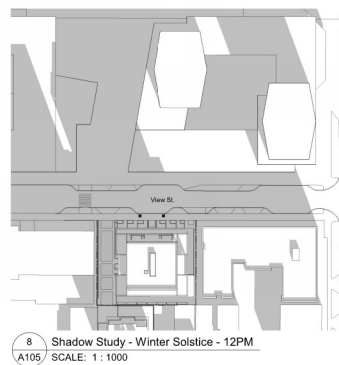
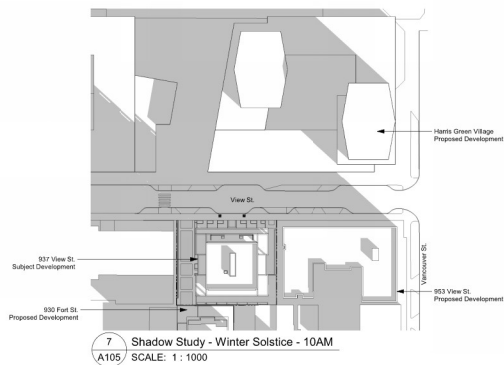
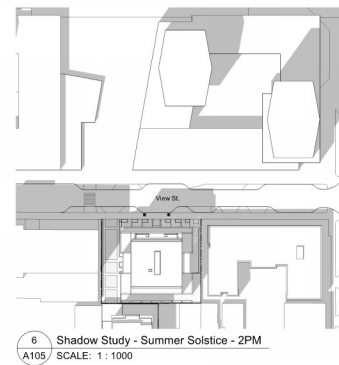
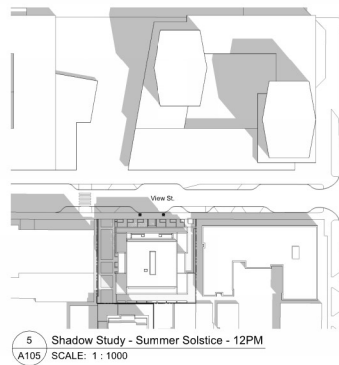
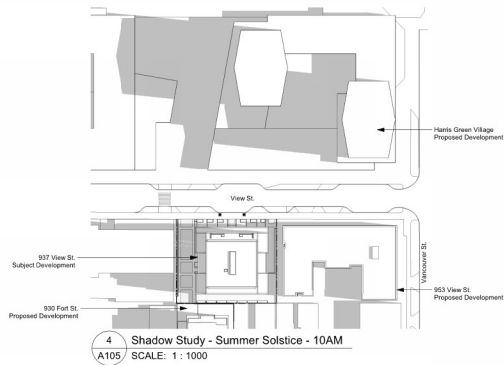
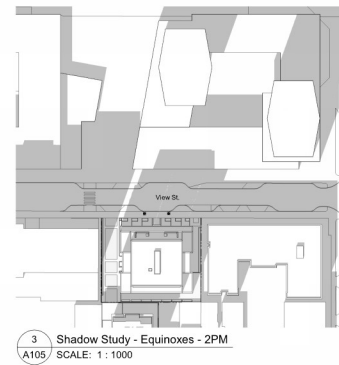
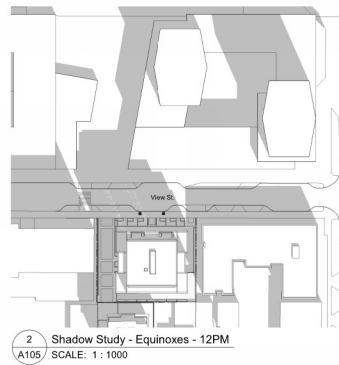
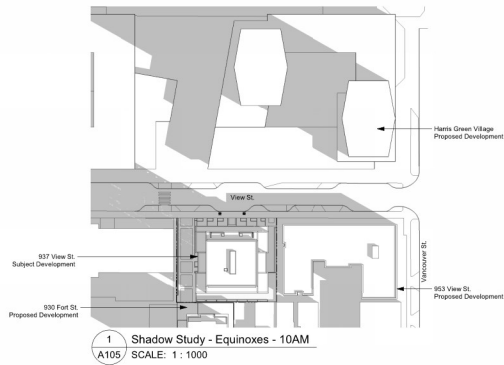
View Street
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2020-08-12
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20-08-12
20-01-09
19-10-02

Issued for DP Revisions 2
Issued for DP Revisions 1
Issued for DP

Print Date: 20/08/12 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: 1 : 1000 Project Number: 1982

NOTE: All dimensions are shown in millimeters.

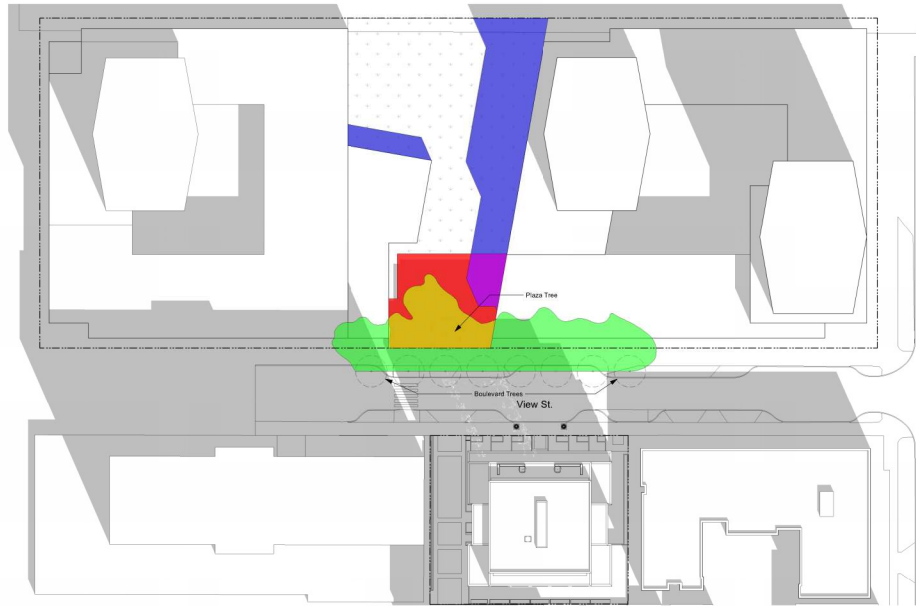
**View Street
Residential**
937 View Street

**Site Context
Shadow Analysis**

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A105

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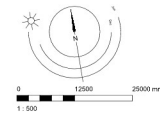
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Shadow Legend

- Harris Green Plaza
- Harris Green Buildings
- Harris Green Landscape
- 937 View Street
- 937 View Street / Harris Green Buildings
- 937 View Street / Harris Green Landscape

(Plaza Total Area (m²))	2134.361	
Shadowing Component	Shadowed Area	Percentage of Plaza Coverage
Landscape (Trees) Shadow	224.939	10.5%
Harris Green Towers Shadow	729.624	34.2%
937 View Street Tower Shadow	464.831	21.8%
Total Area of Plaza Shaded Exclusively by 937 View Street	163.252	7.6%



1 Harris Green Shadow Study - Equinoxes - 12PM
A106 SCALE: 1: 500

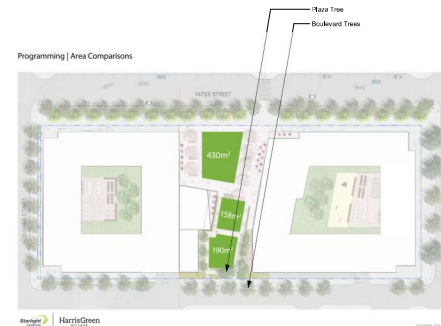
Sheets Taken from Harris Green Village Rezoning Application Dated 2020-01-30



2 Aerial from Yates
A106



3 North from View Street
A106



4 Harris Green Village Site Plan
A106

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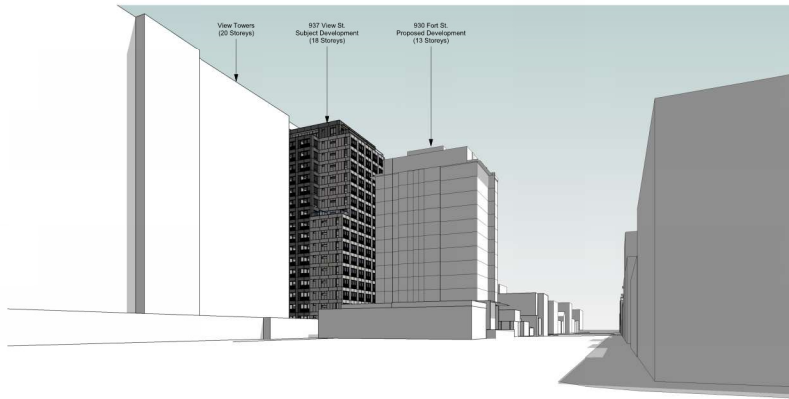
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Scale: As Indicated Project Number: 1982

NOTE: All dimensions are shown in millimeters.

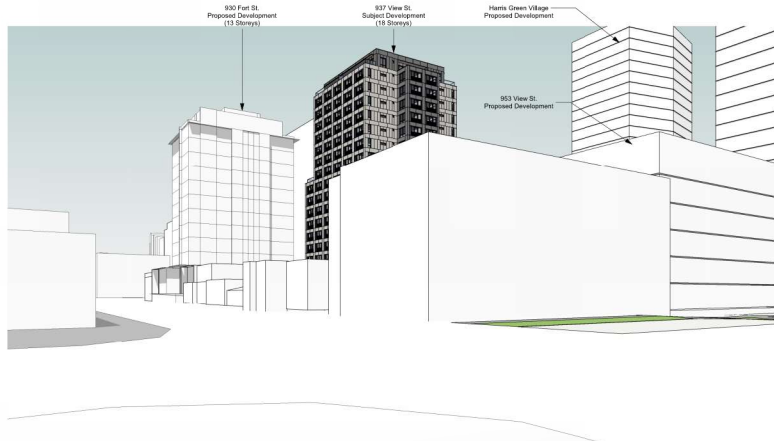
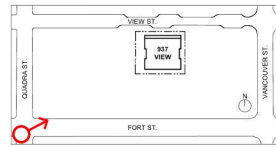
View Street
Residential
937 View Street
Site Concept
Green Impacts Study

dHka A106

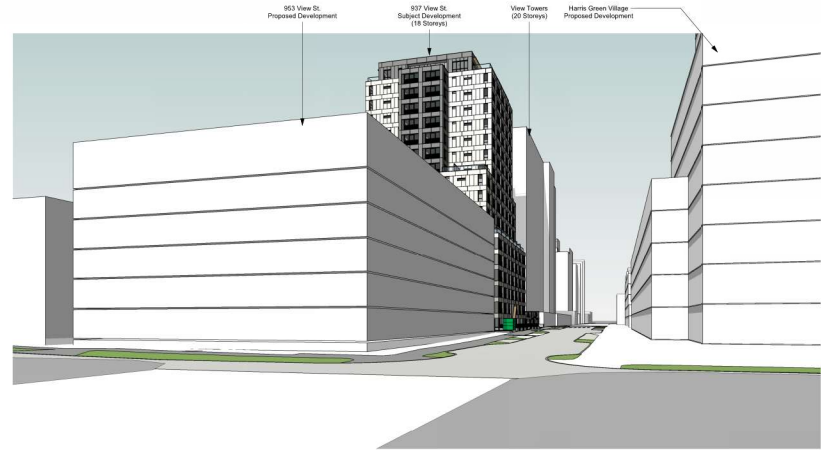
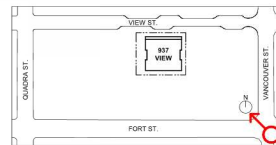
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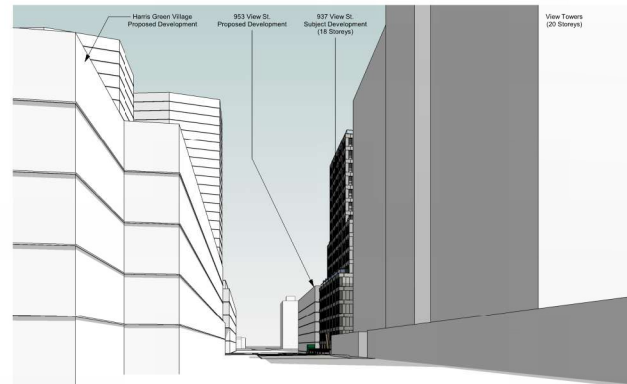
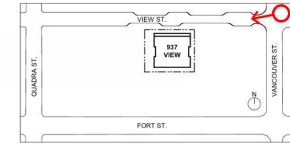
1 Street Perspective - Fort & Quadra - SW Corner
A107 SCALE:



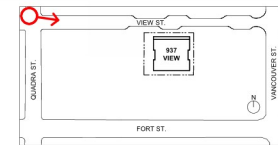
3 Street Perspective - Fort & Vancouver - SE Corner
A107 SCALE:



2 Street Perspective - View & Vancouver - NE Corner
A107 SCALE:



4 Street Perspective - View & Quadra - NW Corner
A107 SCALE:



20-08-12
20-01-08
19-10-02

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Issued for DP Revisions 1
Issued for DP

Plot Date: 2008/12
Drawn By: RCI
Scale: 1:2000
Project Number: ADM
1922

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Site Concept
Views

2020-08-12

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BRITISH COLUMBIA

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A107

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2020-08-12 11:45:39 AM



1 Street Elevation
A108 SCALE: 1: 300

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19-10-02 Issued for DP

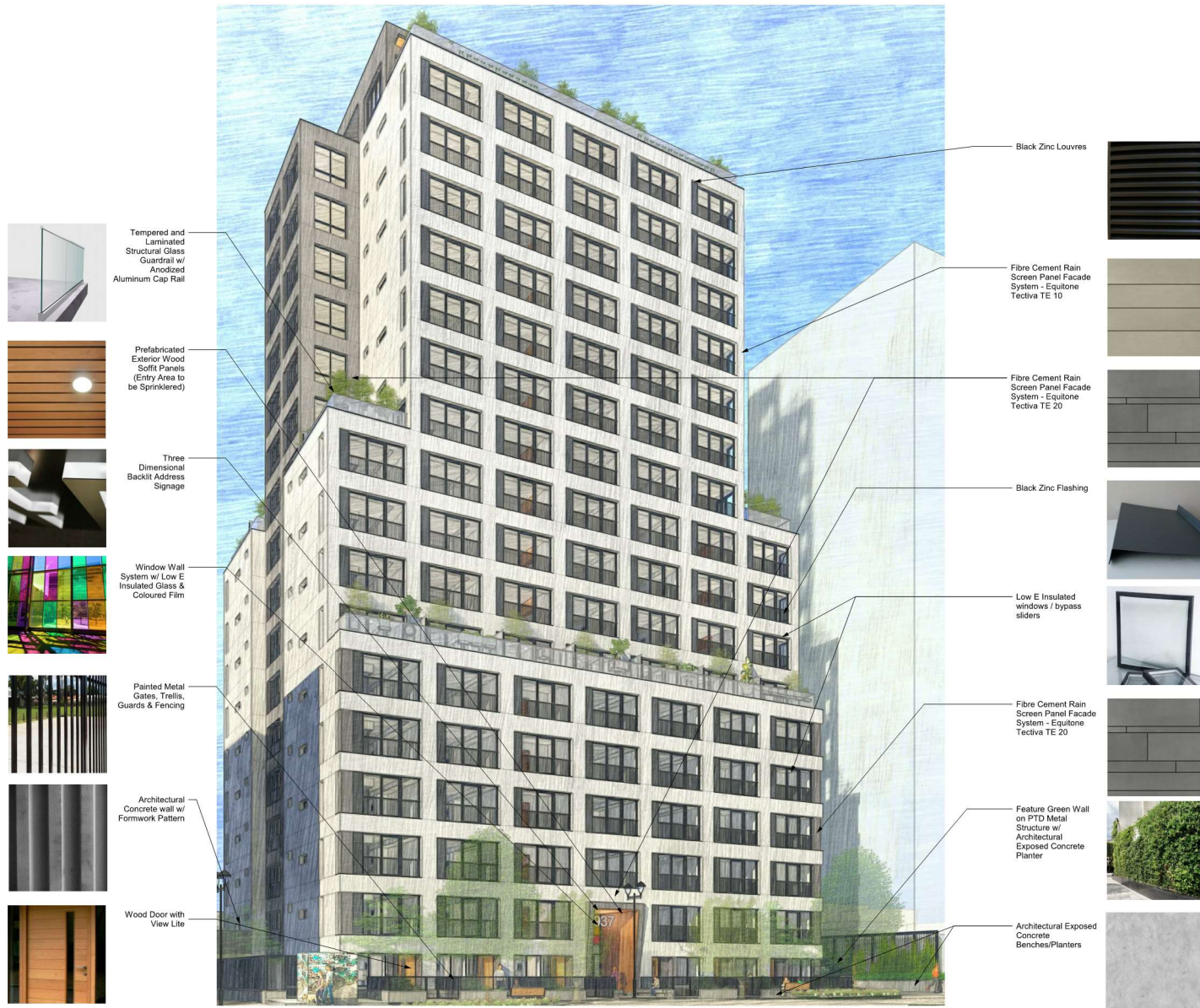
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Drawn By: RCI Checked By: ADM
Scale: 1: 300 Project Number: 1902

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street
Site Contingency
Elevations 2020-08-12

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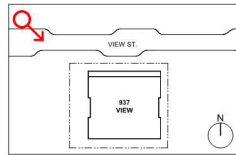
View Street
Residential
937 View Street
Site Construction
Materials

dKa A109

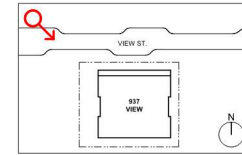
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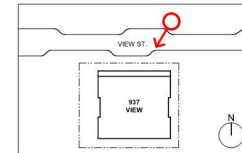
1 Perspective Render - Looking Southeast
A110 SCALE: 1:1



2 Perspective Rendering - Crosswalk
A110 SCALE: 1:1



3 Perspective Rendering - Looking Southwest
A110 SCALE: 1:1



20-08-12
20-01-08

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File Name: 2008012 Drawing File: A110
Drawn By: RCI Checked By: ADM
Date: As Indicated Project Number: 1902
NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

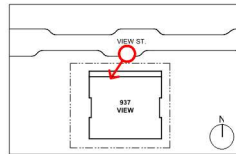
Site Concept
Rendered 2020-08-12

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A110

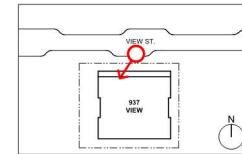
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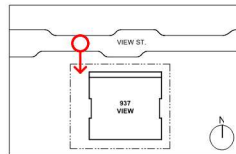
1 Perspective Rendering - Main Entry
A111/ SCALE: 1 : 1



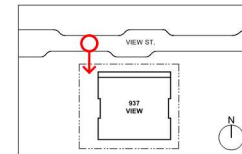
2 Perspective Rendering - Main Entry - Night
A111/ SCALE: 1 : 1



3 Perspective Rendering - Easement
A111/ SCALE: 1 : 1



4 Perspective Rendering - Easement - Night
A111/ SCALE: 1 : 1



20-08-12
20-01-08

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File Name: 2008012 Drawing File:
Drawn By: RCI Checked By: ADM
Date: As Indicated Project Number: 1902

NOTE: All dimensions are shown in millimeters.

View Street Residential
937 View Street

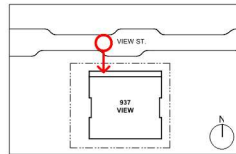
Site Condition
Rendered 2020-08-12

dKa A111

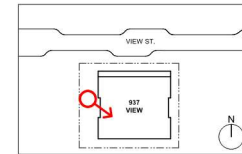
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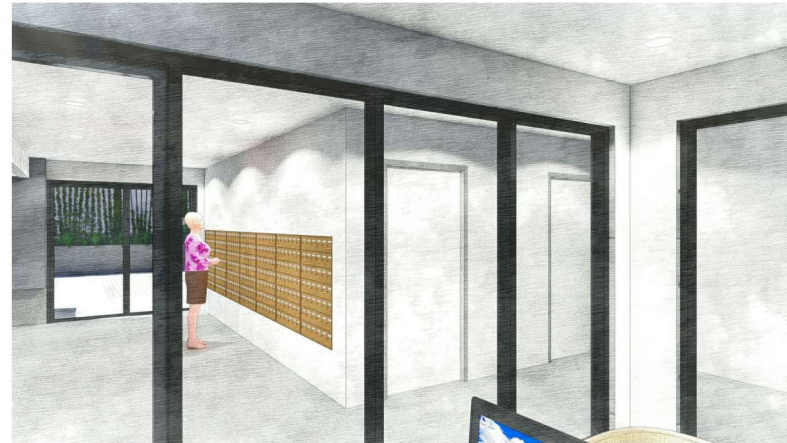
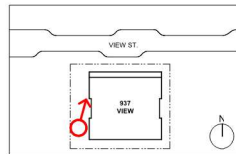
1 Perspective Rendering - Townhouses at Easement
A112 SCALE: 1:1



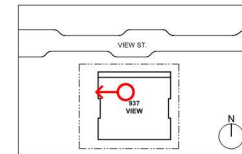
2 Perspective Rendering - Bikes and Garage
A112 SCALE: 1:1



3 Perspective Rendering - Easement Looking at Bikes
A112 SCALE: 1:1



4 Perspective Rendering - Parking from Garage
A112 SCALE: 1:1



20-08-12
20-01-08

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File Name: 200812 Drawing File: RCI
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Date: 1992
NOTE: All dimensions are shown in millimeters.

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Residential
937 View Street

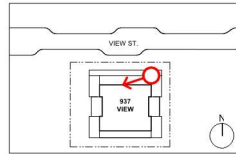
Site Condition
Rendered 2008-12

dKa A112

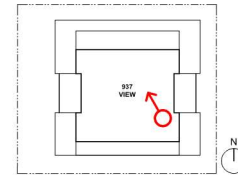
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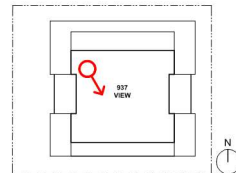
1 Perspective Rendering - L18 North Terrace
A113 SCALE: 1:1



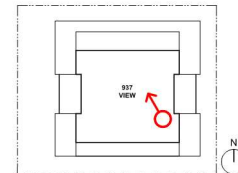
2 Perspective Rendering - L18 South Terrace
A113 SCALE: 1:1



3 Perspective Rendering - L18 Amenity
A113 SCALE: 1:1



4 Perspective Rendering - L18 Fitness
A113 SCALE: 1:1



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Drawn By: RCI Checked By: ADM
Date: As Indicated Project Number: 1902

NOTE: All dimensions are shown in millimeters.

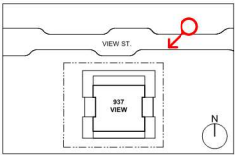
View Street
Residential
937 View Street
Site Concept
Rendered 2008-12

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A113

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1 Perspective Rendering - Overall - Night
A114 SCALE: 1:1



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Issued for CIP Revisions 1

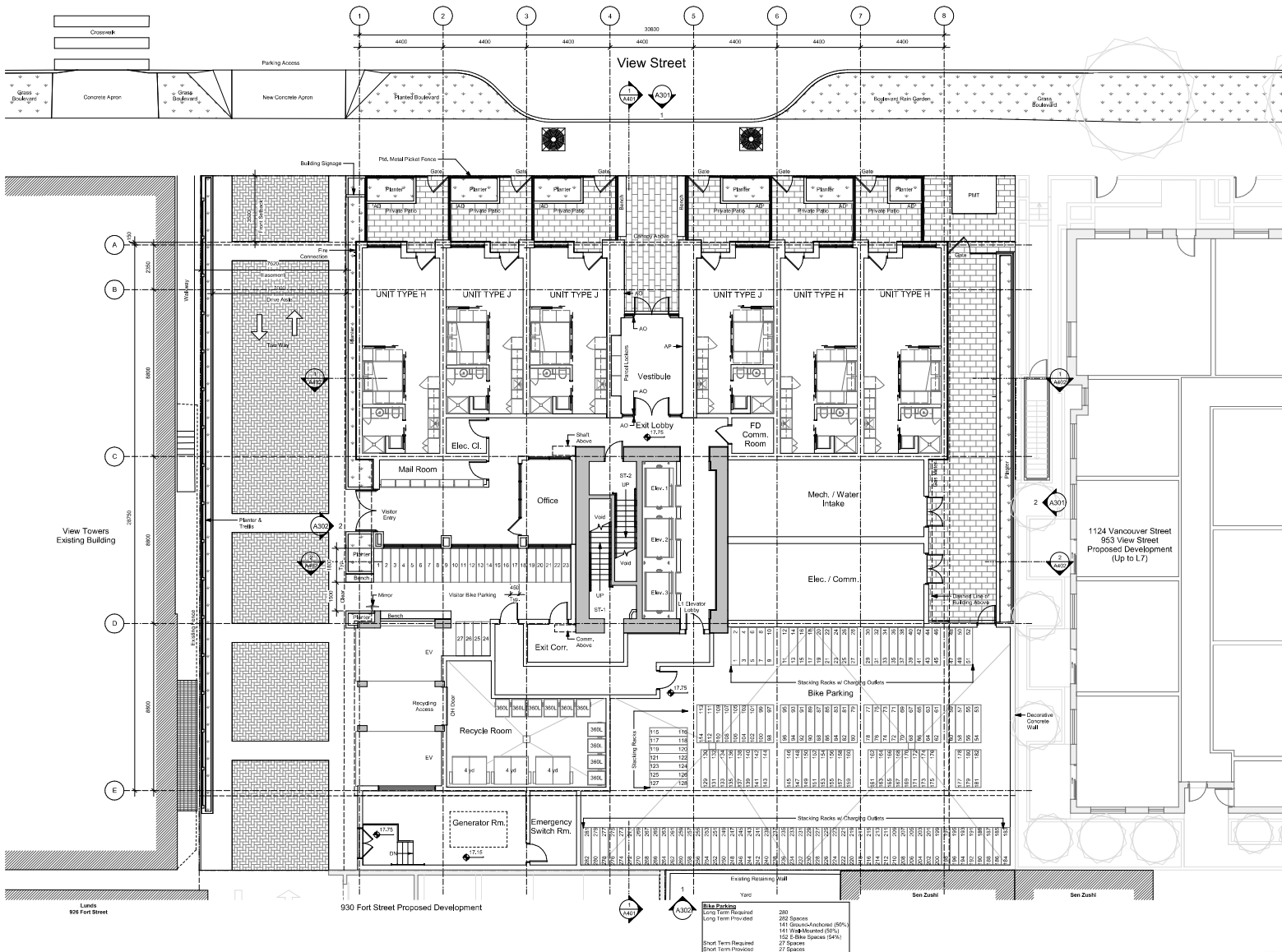
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Drawn By: RCI Checked By: ADM
Scale: As Indicated Project Number: 1982

NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street
Site Context
Rendered 20/08/12



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A114
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19-10-02

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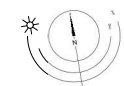
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Checked By: ADM
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Project Number: 1902
NOTE: All dimensions are given in millimeters.

View Street Residential
937 View Street
Level 1

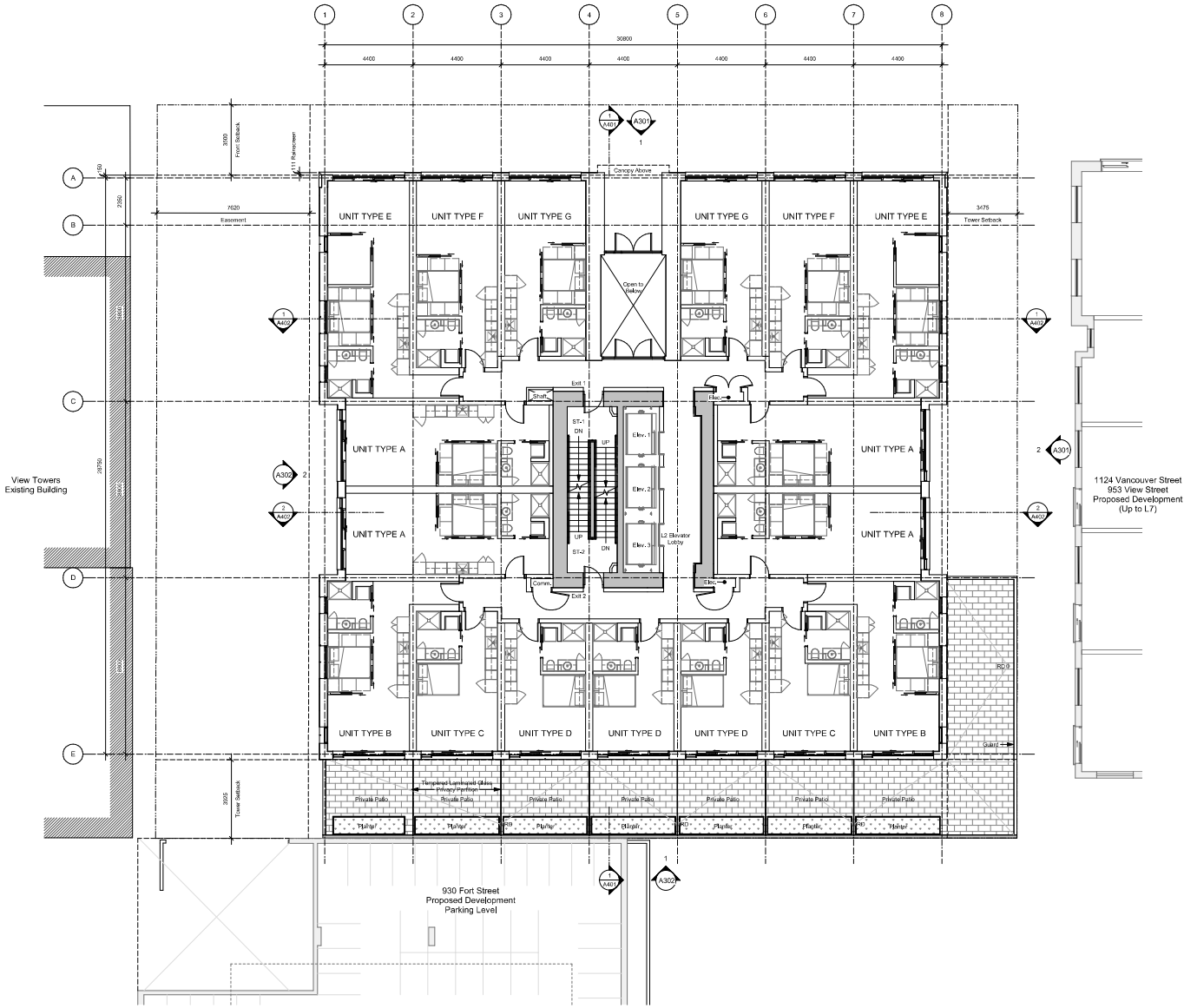


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A201
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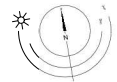
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File Name	2000R12	Drawing File	2000R12
Drawn By	RCI	Checked By	ADM
Scale	1:100	Project Number	1902
NOTE: All dimensions are given in millimeters.			

View Street
Residential
937 View Street

Level 2 Plan



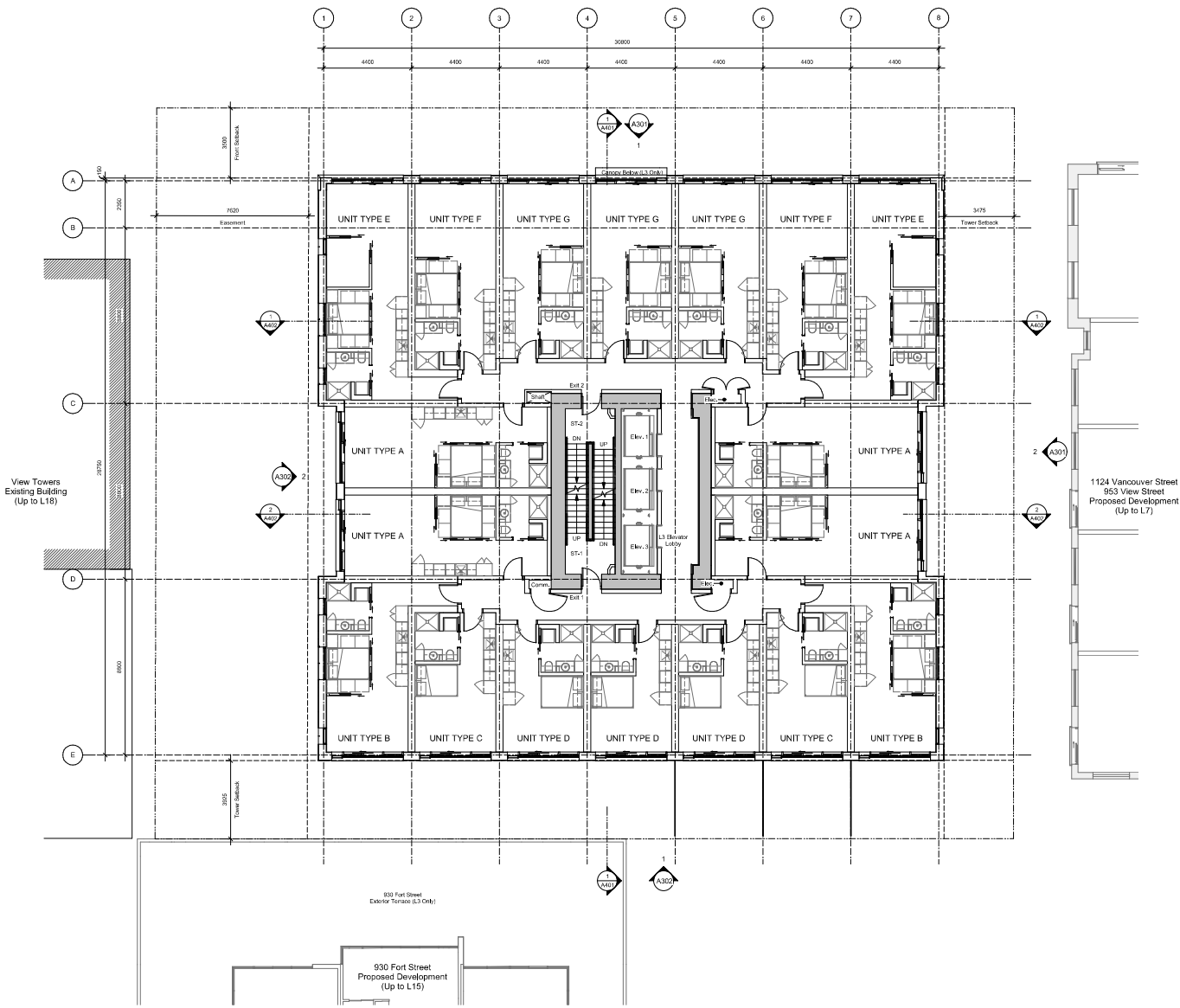
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A202

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Drawn By	RCI	Checked By	ADM
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NOTE: All dimensions are given in millimeters.			

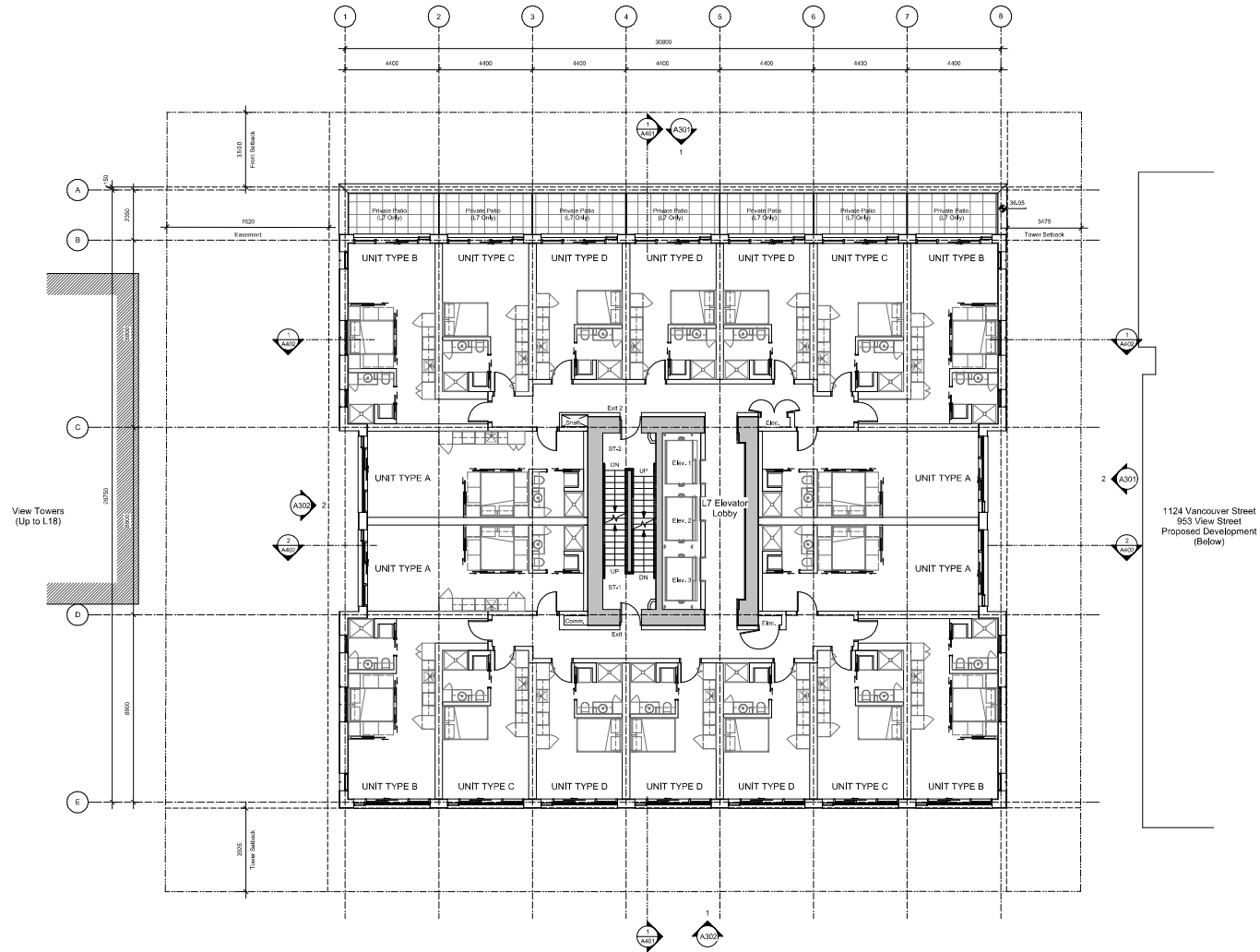
View Street Residential
937 View Street
Levels 3-7



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Scale: 1:100 Presentation
NOTE: All dimensions are given in millimeters
1902

View Street Residential

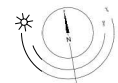
937 View Street

Levels

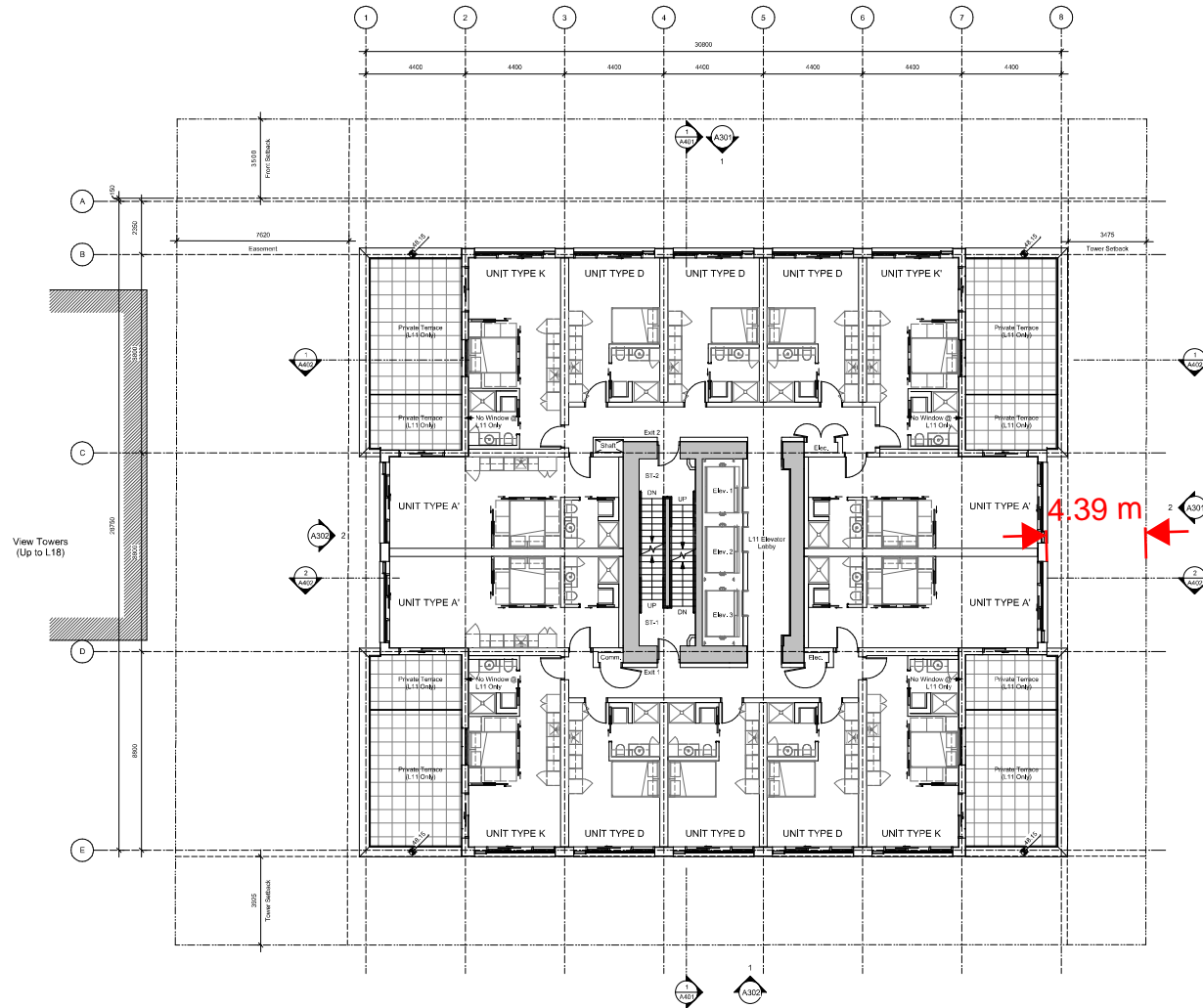


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0 2500 5000 mm
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Drawn By: RCI Checked By: ADM
Scale: 1:100 Project Number: 1902
NOTE: All dimensions are given in millimeters.

View Street Residential
937 View Street

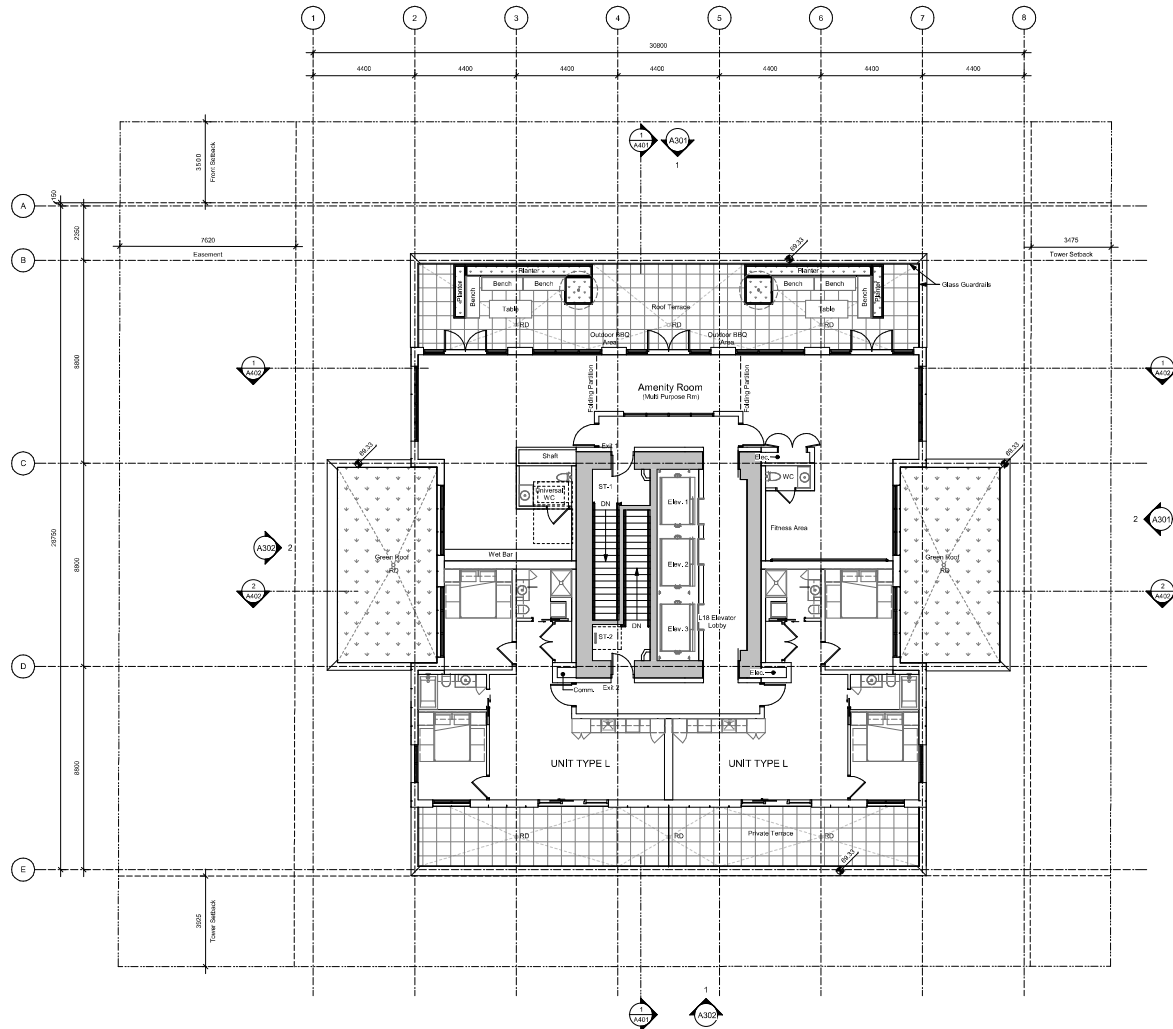
Levels
2020-08-12



0 2500 5000 mm
1:100

A205

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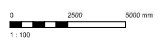
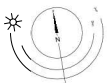


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20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

File Name: 200812 Drawing File
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NOTE: All dimensions are given in millimeters.

**View Street
Residential**
937 View Street

Level 13

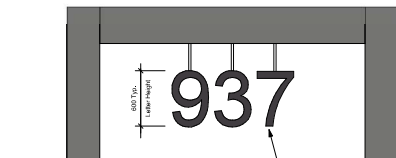


A206

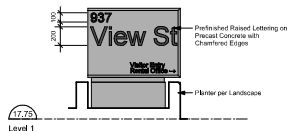
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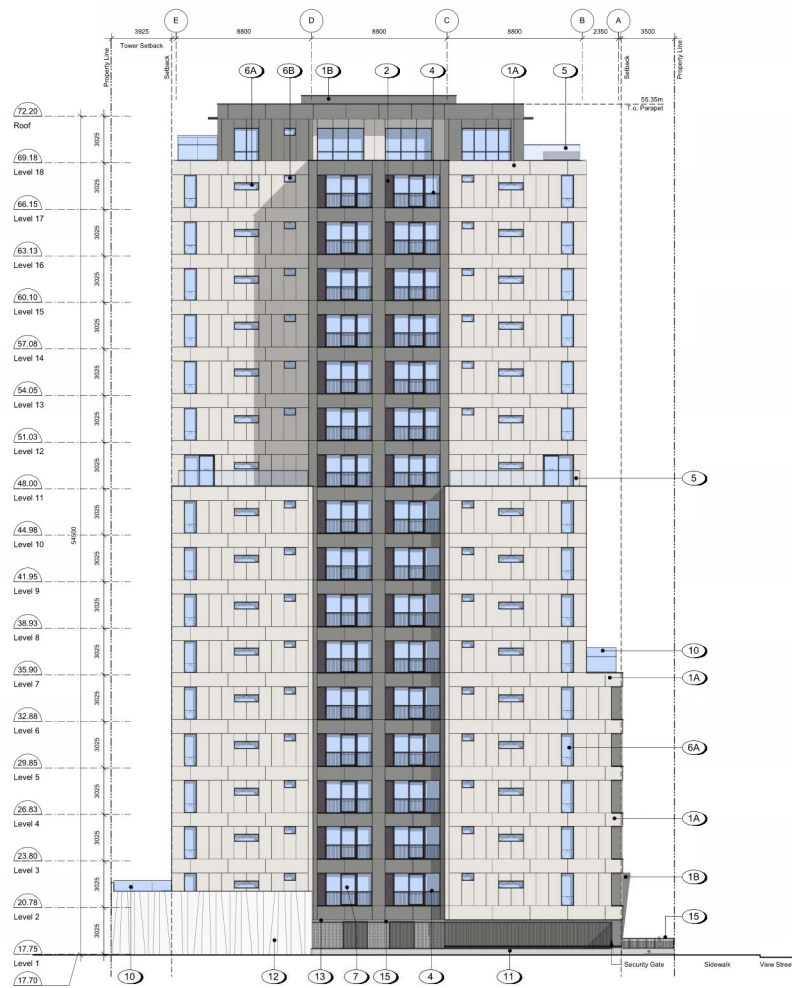
1 Building Elevation - North
A301 SCALE: 1: 150



3 Main Entry Signage
A301 SCALE: 1: 25



4 Address Signage
A301 SCALE: 1: 25



2 Building Elevation - East
A301 SCALE: 1: 150

Materials Schedule

- 1A Fibre Cement Panel - Beige
- 1B Fibre Cement Panel - Grey
- 2 Black Zinc Louvre
- 3 Prefinished Metal Flashing / Fascia Zips
- 4 Juliette Balcony with Painted Metal Guardrail
- 5 Tempered and Laminated Glass Curtain wall with Anodized Aluminum Caprail
- 6A Low-e, Insulated Glass Anodized Aluminum Framed Window
- 6B Low-e, Insulated, Frosted Glass Anodized Aluminum Framed Window
- 7 Low-e, Insulated Glass with Safety Film Sliding Glass Door
- 8 Low-e, Insulated Glass with Coloured Film Tint Window Wall System - Colour to be Specified by Architect
- 9 Low-e, Insulated Glass Window Wall System
- 10 Tempered Translucent Glass Privacy Screen with Clear Anodized Aluminum Frame
- 11 Architectural Exposed Concrete
- 12 Decorative Concrete Wall
- 13 Smooth Face Concrete Masonry Units Black Band - Painted Light Grey
- 14 Precast Concrete Planter
- 15 Painted Metal Fence
- 16 Metal Planting Support
- 17 Wood Door with View Lite
- 18 Sectional Aluminum Overhead Garage Door

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

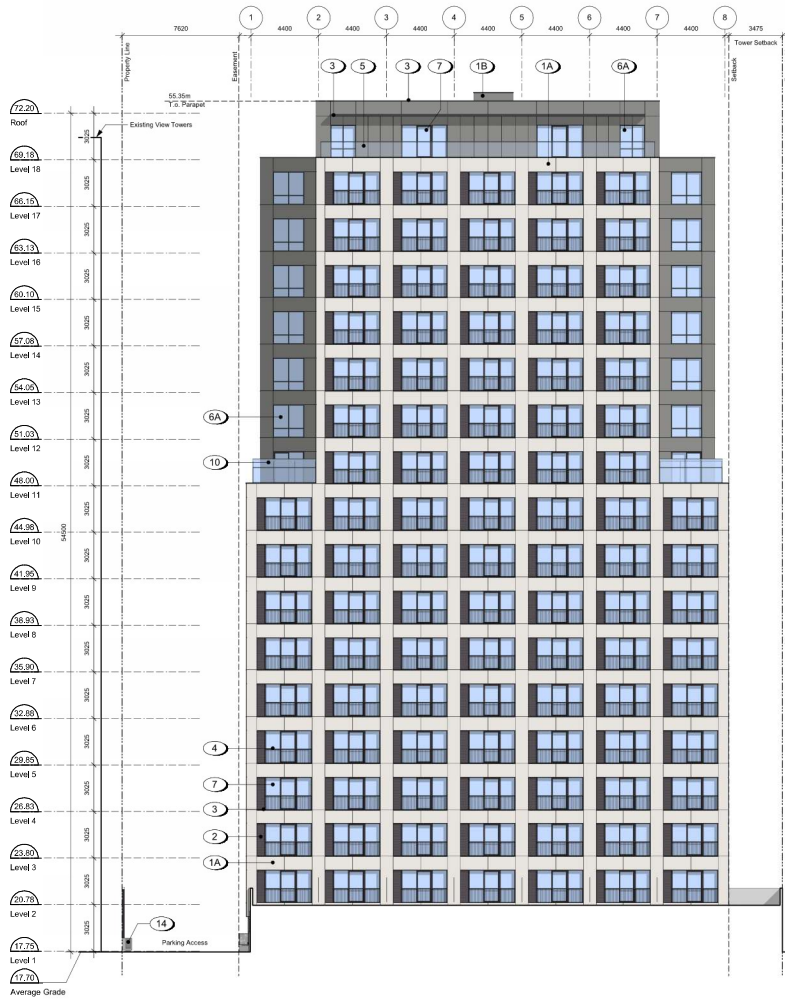
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Drawn By: RCD Checked By: ADM
Scale: As Indicated Project Number: 1922

View Street
Residential
937 View Street

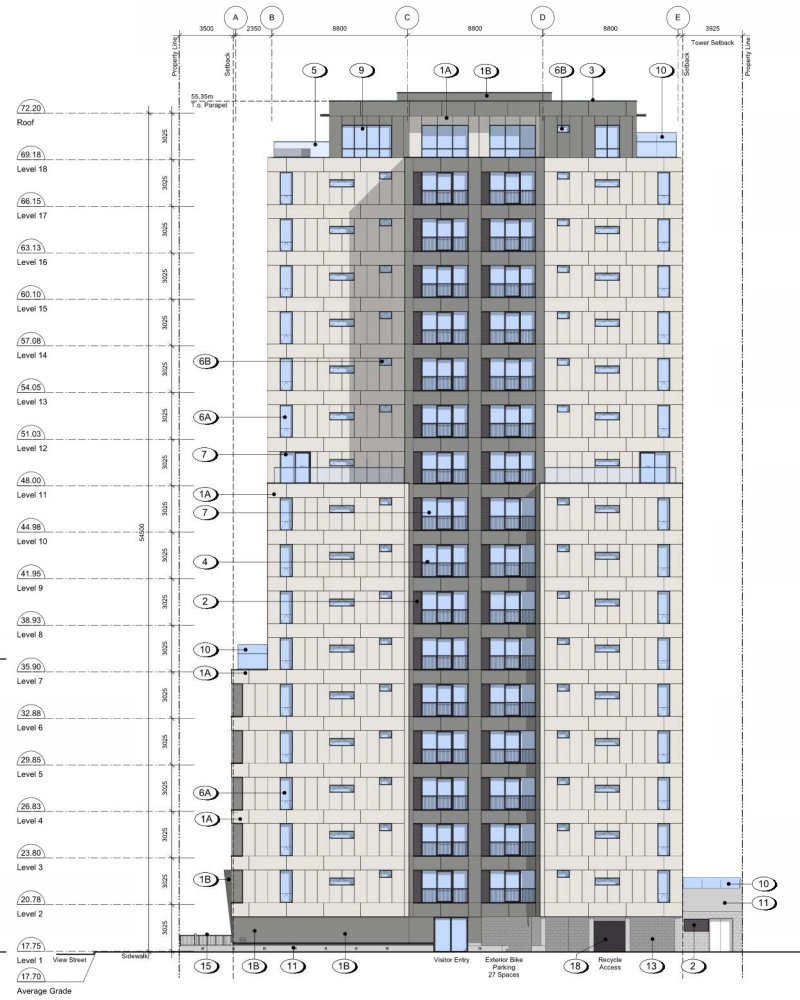
Building *Signature*
2020-08-12
BRITISH COLUMBIA

dKa A301

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1 Building Elevation - South
A302 / SCALE: 1 : 150



2 Building Elevation - West
A302 / SCALE: 1 : 150

Materials Schedule

- 1A Fibre Cement Panel - Beige
- 1B Fibre Cement Panel - Grey
- 2 Black Zinc Loure
- 3 Prefinished Metal Flashing / Fascia Zips
- 4 Juliette Balcony with Painted Metal Groutail
- 5 Tempered and Laminated Glass Guardrail with Anodized Aluminum Capail
- 6A Low-e, Insulated Glass Anodized Aluminum Framed Window
- 6B Low-e, Insulated, Frosted Glass Anodized Aluminum Framed Window
- 7 Low-e, Insulated Glass with Safety Film Sliding Glass Door
- 8 Low-e, Insulated Glass with Coloured Film Tint Window Wall System - Colour to be Specified by Architect
- 9 Low-e, Insulated Glass Window Wall System
- 10 Tempered Translucent Glass Privacy Screen with Clear Anodized Aluminum Frame
- 11 Architectural Exposed Concrete
- 12 Decorative Concrete Wall
- 13 Smooth Face Concrete Masonry Units Black Bond - Painted Light Grey
- 14 Precast Concrete Planter
- 15 Painted Metal Fence
- 16 Metal Planting Support
- 17 Wood Door with View Lite
- 18 Sectional Aluminum Overhead Garage Door

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

Print Date: 20/08/12 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: As Indicated Project Number: 1922

NOTE: All dimensions are shown in millimeters.

View Street Residential

937 View Street

Building

2020-08-12

dKa A302

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1 Building Elevation - East - Adjacent Overlay
A303 SCALE: 1: 150



2 Building Elevation Study - Adjacency Overlay - South
A303 SCALE: 1: 150

Notes
Area of Window on Adjacent Building

1124 Vancouver Street
937 View Street
Proposed Development

20-08-12 Issued for CP Revisions 2

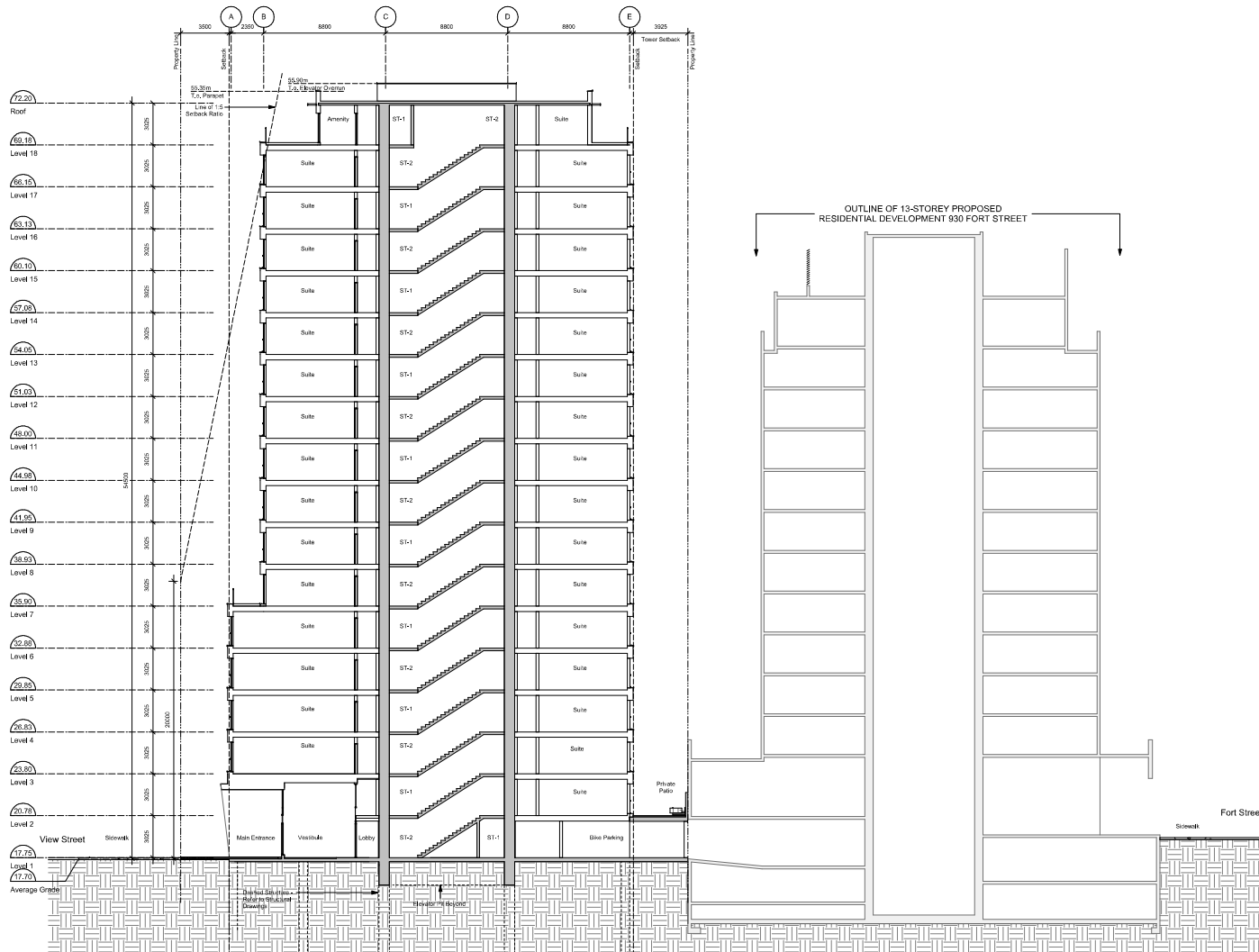
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Drawn By: RCI Checked By: ADM
Scale: As Indicated Project Number: 1982
NOTE: All dimensions are shown in millimeters.

View Street
Residential
937 View Street

Adjacent
Analysis
2020-08-12

dKa A303

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1 Building Section - North/South
A401 SCALE: 1 : 150

General Notes

- 200 Fort Street outline based on Development Permit No. 20-01-08-19-10-02.
- 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit. Submission dated 2019-11-20.

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

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Drawn By: RCI Checked By: ADM
1:14 As Issued Permit Number: 1902
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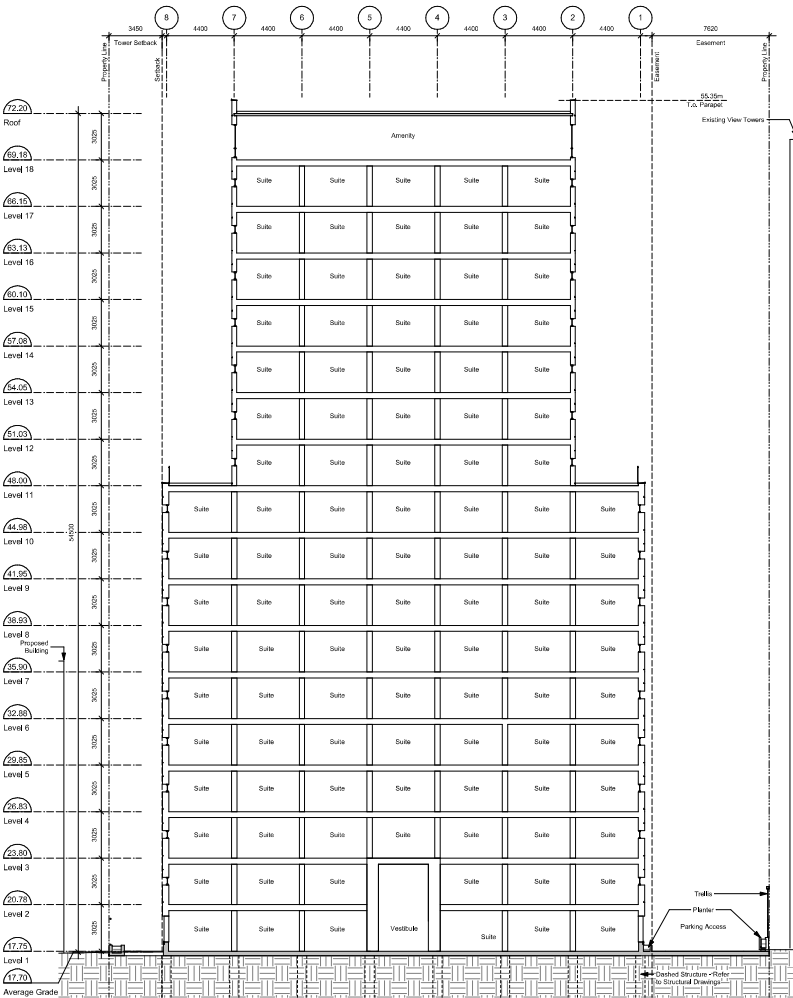
View Street
Residential
937 View Street

Building *Signature*

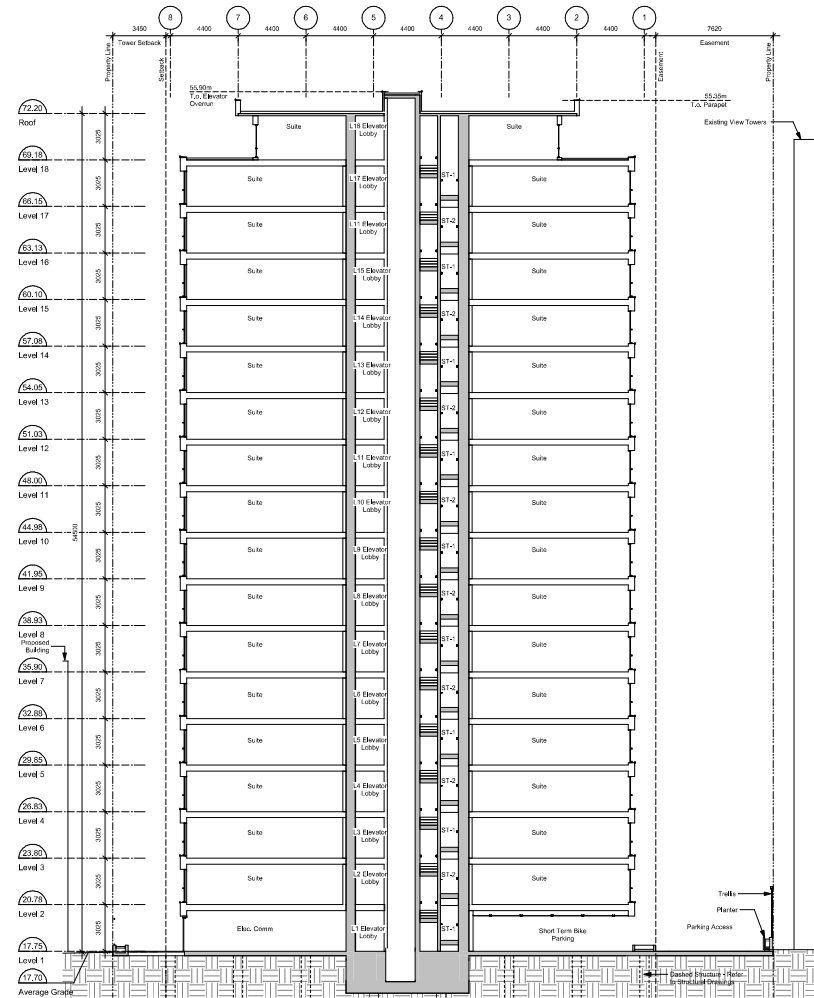


dHKA A401

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1 Building Section - East/West 1
A402 SCALE: 1:150



2 Building Section - East/West 2
A402 SCALE: 1:150

General Notes

- 200 Fort Street outline based on Development Permit No. 2000-08-12.
- 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit. Submission dated 2016-11-20.

20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

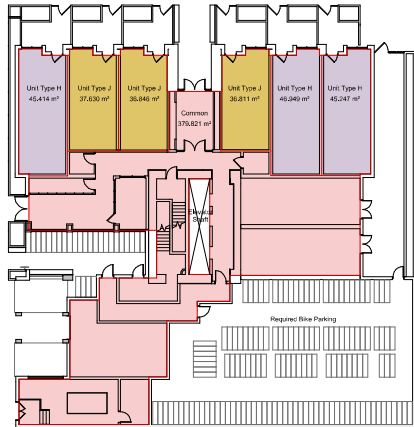
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Drawn By: RCI Checked By: ADM
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NOTE: All dimensions are given in millimeters.

View Street
Residential
937 View Street

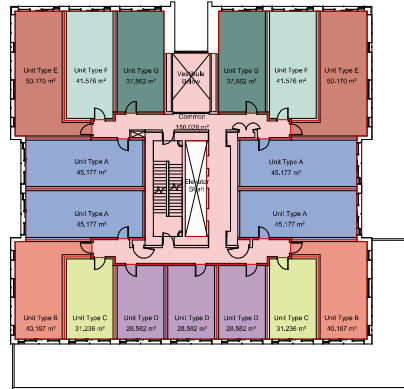
Building *Sketch*
2020-08-12
BRITISH COLUMBIA

dKa A402

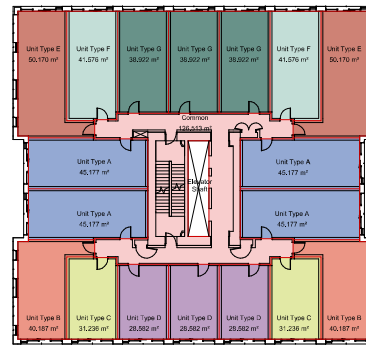
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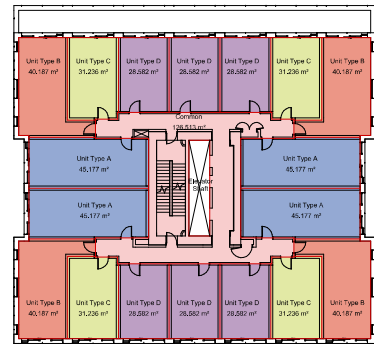
1 Level L1 Area Plan
A911 SCALE: 1 : 200



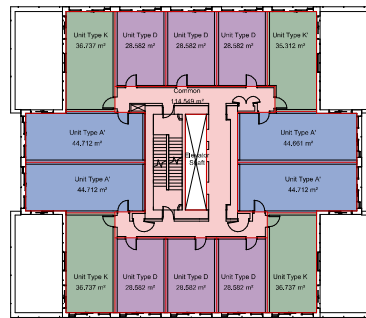
2 Level L2 Area Plan
A911 SCALE: 1 : 200



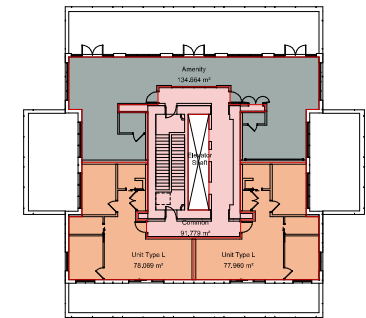
3 Level L3-L6 Area Plan
A911 SCALE: 1 : 200



4 Level L7-L10 Area Plan
A911 SCALE: 1 : 200



5 Level L11-L17 Area Plan
A911 SCALE: 1 : 200



6 Level L18
A911 SCALE: 1 : 200

AREA SCHEDULE			
Description	Zoning (m ²)	Zoning (SF)	No. Suites
Level 1			
City Zoning GFA	628.72 m ²	6768 SF	
Residential Strata	248.90 m ²	2679 SF	6
Residential Common	379.82 m ²	4088 SF	
Efficiency	39.59%	39.59%	
Level 2			
City Zoning GFA	815.54 m ²	8811 SF	
Residential Strata	668.52 m ²	7196 SF	17
Residential Common	150.03 m ²	1615 SF	
Efficiency	81.67%	81.67%	
Levels 3-6			
City Zoning GFA	836.07 m ²	8999 SF	
Residential Strata	709.56 m ²	7638 SF	72
Residential Common	126.51 m ²	1362 SF	
Efficiency	84.87%	84.87%	
Levels 7-10			
City Zoning GFA	764.41 m ²	8229 SF	
Residential Strata	637.89 m ²	6866 SF	72
Residential Common	126.51 m ²	1362 SF	
Efficiency	83.45%	83.45%	
Levels 11-17			
City Zoning GFA	610.36 m ²	6570 SF	
Residential Strata	495.81 m ²	5337 SF	98
Residential Common	114.55 m ²	1233 SF	
Efficiency	81.23%	81.23%	
Level 18			
City Zoning GFA	382.47 m ²	4117 SF	
Residential Strata	158.03 m ²	1679 SF	2
Residential Common	91.78 m ²	988 SF	
Amenity	134.56 m ²	1450 SF	
Efficiency	76.00%	76.00%	
Totals			
Total GFA	12504.17 m ²	134595 SF	
Site Area	1572.30 m ²	16924 SF	
FSR	7.95	7.95	
Total Residential	9933.94 m ²	106929 SF	267
Total Amenity	134.66 m ²	1450 SF	
Total Commercial	0.00 m ²	0 SF	
Total Common & Core	2435.57 m ²	26217 SF	
Efficiency	80.52%	80.52%	

General Notes

- Plans and Area Schedule show areas measured to inside face of exterior walls, and cores of building units.
- See A911 for required bike counts.
- Unit Schedule areas measured to inside face of wall finish or all sides.

Unit Schedule

Name	Area	Comments	Count
UNIT TYPE A	41 m ²	1 Bed / 1 Bath	18
UNIT TYPE B	41 m ²	1 Bed / 1 Bath	18
UNIT TYPE C	28 m ²	1 Bed / 1 Bath	28
UNIT TYPE D	28 m ²	1 Bed / 1 Bath	28
UNIT TYPE E	17 m ²	1 Bed / 1 Bath	18
UNIT TYPE F	39 m ²	1 Bed / 1 Bath	18
UNIT TYPE G	39 m ²	1 Bed / 1 Bath	18
UNIT TYPE H	43 m ²	1 Bed / 1 Bath	18
UNIT TYPE I	34 m ²	1 Bed / 1 Bath	18
UNIT TYPE J	34 m ²	1 Bed / 1 Bath	18
UNIT TYPE K	33 m ²	1 Bed / 1 Bath	18
UNIT TYPE L	72 m ²	2 Bed / 2 Bath	2
UNIT TYPE M	72 m ²	2 Bed / 2 Bath	2

20-08-12
20-01-08

Issued for DP Revisions 2
Issued for DP Revisions 1

File Name: 200812 Drawing File
Drawn By: RCI Checked By: ADM
As Issued: 18/02/2020
NOTE: All dimensions are given in millimeters

18/02/2020

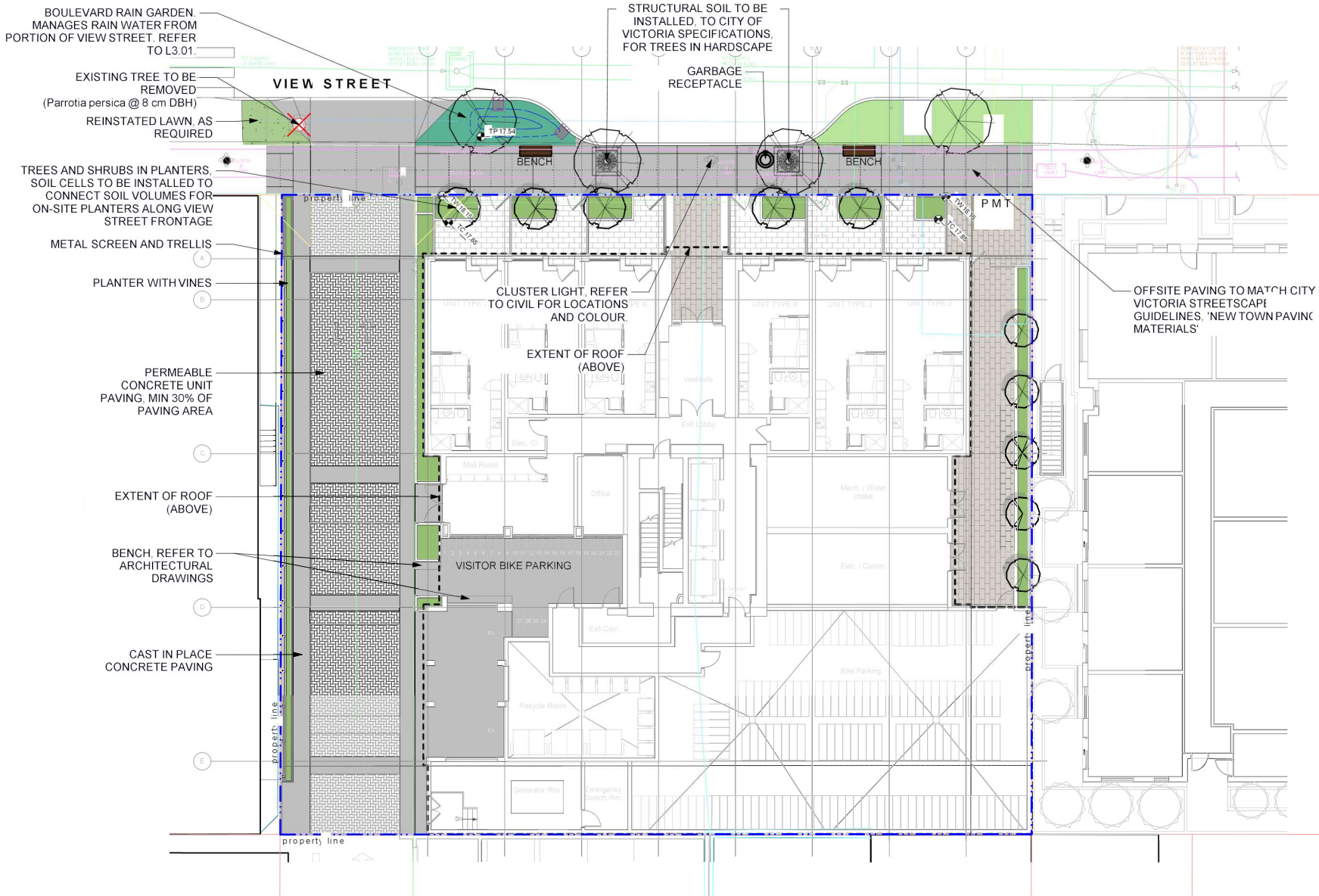
View Street
Residential
937 View Street

Area Plan



dKa A911

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LEGEND

Property line

Extent Of Underground Parking (indicative)

Extent Of Roof / Canopy Line (indicative)

Rain garden TOP OF POOL

Rain garden BOTTOM OF POOL

Architectural grade, provided for reference only

Civil grade, provided for reference only

Proposed landscape grade

TV Top of Wall

BV Bottom of Wall

TC Top of Curb

BC Bottom of Curb

TF Top of Pool

BF Bottom of Pool

TS Top of Stairs

BS Bottom of Stairs

UNDERGROUND UTILITIES

Storm drain

Sewer

Water

Electrical

Gas

LANDSCAPE MATERIALS

Main Entry Paving

Concrete Unit Paving on aggregate base

Patio Paving

Concrete Unit Paving on aggregate base

Driveway Paving

Permeable Concrete Unit Paving on aggregate base

Cast in place concrete paving

Shrub/ Tree Planting Area on Grade

Minimum 450 mm depth growing medium

Rain Garden Area on Grade

Raised Planting Area

Growing medium depth varies, minimum 450 mm

Extensive Green Roof Area (Level 18)

LANDSCAPE FURNISHINGS

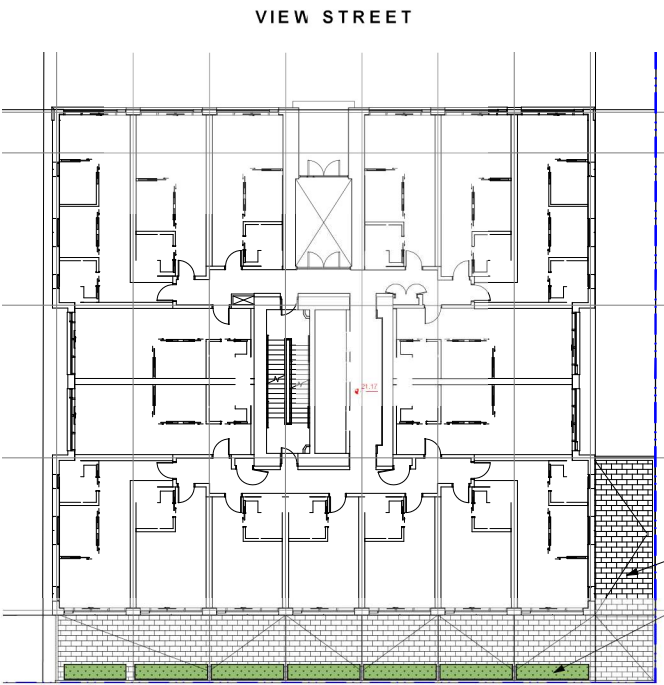
Type H Wood Bench with Backrest

2 total @ 5'11.25" Length x 2'7.19" Height

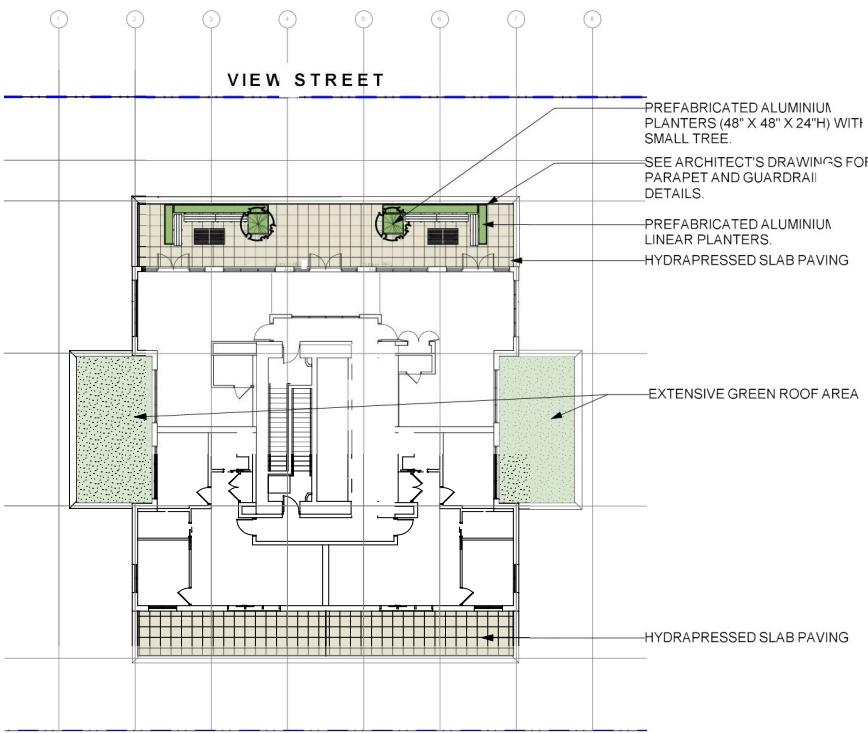
Type A Modern Metal Bin

1 total

1 LEVEL
Scale: 1:150



2 LEVEL 2
Scale: 1:200



3 LEVEL 18
Scale: 1:200

IRRIGATION NOTES

1. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.

2. Contractor to verify pressure and flow prior to installation of irrigation and notify owner representative in writing if such data adversely affects the operation of the system.

3. Screens shall be installed at the necessary depths, prior to pavement construction. Screens shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.

4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.

5. Refer to mechanical drawings for irrigation point of connection.

6. Refer to electrical drawings for electrical service.

7. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.

8. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.

9. Trees within shrub or rain garden areas to be irrigated with spray heads.

DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.

2. All plan dimensions in metres and all detail dimensions in millimetres.

3. Plant quantities on Plans shall take precedence over plant list quantities.

4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.

5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.

6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.

7. Landscape installation to carry a 1 year warranty from date of acceptance.

8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.

9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of a landscape as-built information including irrigation.

10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07
rev no	description	date

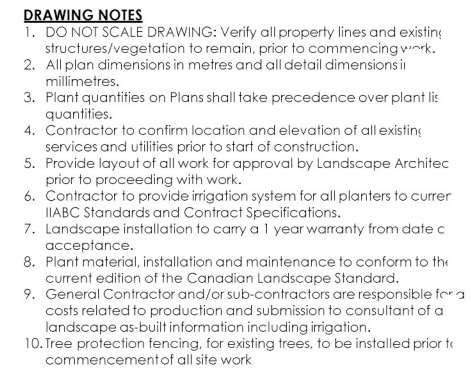
Murdoch
de Greeff INC

Landscape Planning & Design

200 - 524 O-Road Road
Victoria BC V8T 1S1

Phone 786 412-2891
Fax 250 412-2892

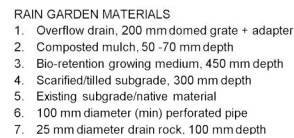
client		2020-08-12	
NELSON INVESTMENTS, INC.			
project			
VIEW STREET RESIDENTIAL 937 VIEW STREET VICTORIA, BC			
sheet title			
Landscap Materials			
project no.		119.24	
scale	AS NOTED	@ 24"x36"	
drawn by		ML	
checked by		SM/PdG	
revision no.	sheet no.		
	L1.01		



Water collected from roads flow into boulevard rain gardens.

Boulevard rain gardens will be designed to be flow through planters, and will overflow to the municipal stormdrain system.

The rain gardens are sized such that the bottom of the rain planter is a minimum of 5% of the impervious area.



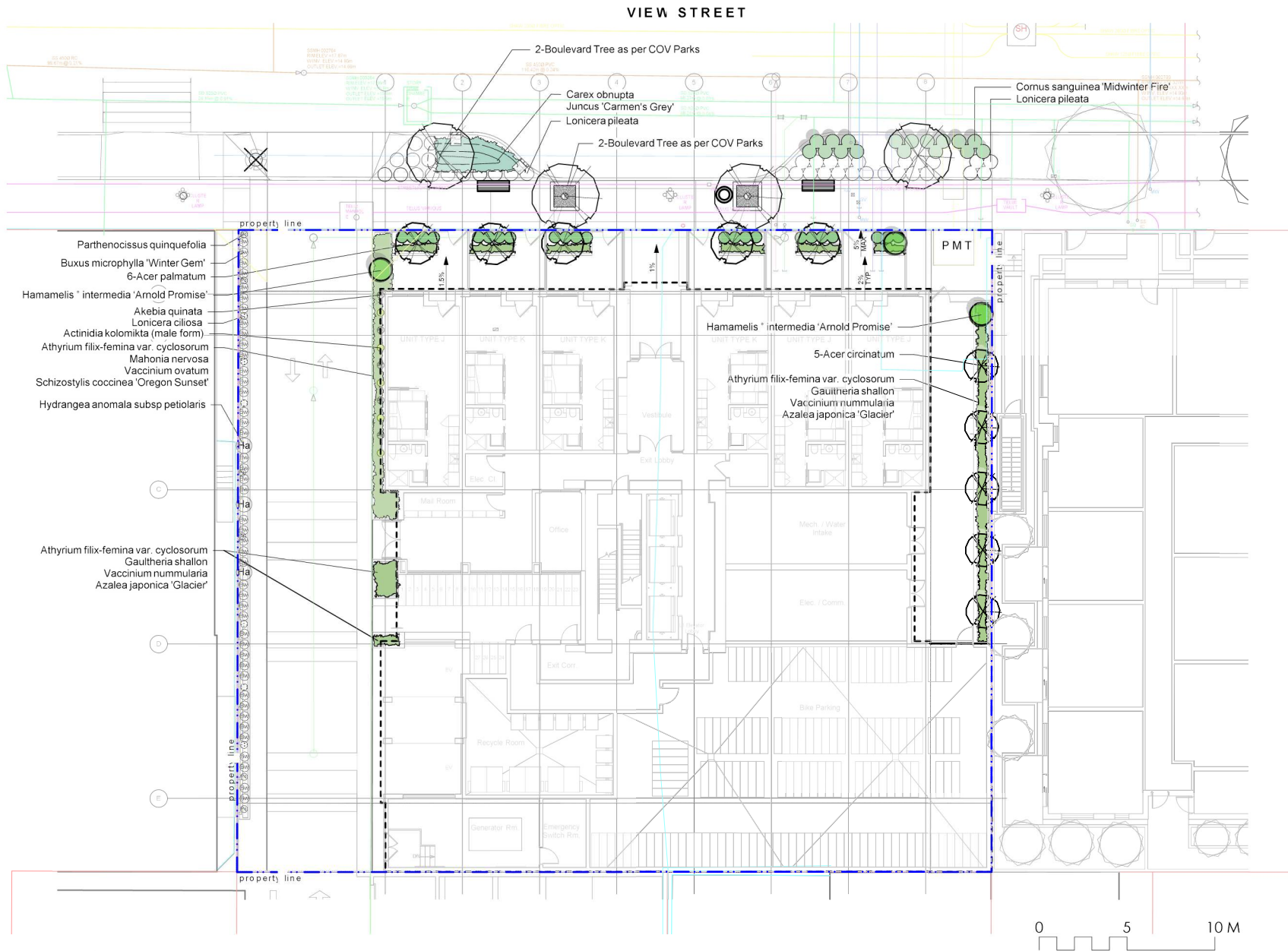
 **Murdoch
de Greeff** INC
Landscape Planning & Design

200 - 624 Colbourne Road
Victoria BC V8Z 1G1

Phone 250 412-2891
Fax 250 412-2892

project no.	119.24
scale	AS NOTED @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

L1.02



Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
LEVEL 1 PLANT LIST				
TREES:				
5		Acer circinatum	Vine Maple	2.4 m ht, multi-stem (3 trunk)
6		Acer palmatum	Japanese Maple	1.8 m height, specimen quality
4		Boulevard Tree as per COV Parks	Boulevard Tree as per COV Parks	6 cm cal, b+b
SHRUBS:				
Ack	5	Actinidia kolomikta (male form)	Variegated Kiwi Vine	#2 pot
Ak	5	Akebia quinata	Chocolate vine	#2 pot
Aff	15	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Ag	21	Azalea japonica 'Glacier'	Glacier Azalea	#1 pot
Bw	44	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#1 pot
Co	24	Carex obnupta	Slough Sedge	#1 pot
Csm	17	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
Gsh	11	Gaultheria shallon	Salal	#1 pot
Ha	3	Hydrangea anomala subsp. petiolaris	Climbing Hydrangea	#2 pot
Jcg	8	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Loc	6	Lonicera ciliosa	Western Trumpet Honeysuckle	#1 pot
Lp	38	Lonicera pileata	Privet Honeysuckle	#2 pot
Mn	8	Mahonia nervosa	Oregon Grape Holly	#1 pot
Pq	6	Parthenocissus quinquefolia	Virginia Creeper	#2 pot
Ptn	5	Pittosporum tobira 'Nana'	Dwarf Pittosporum	#1 pot
Sc	7	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
Tmh	23	Taxus media 'Hilli'	Hilli Yew	#3 pot, 2' max ht. male only
Vnu	21	Vaccinium nummularia	Coin Whortleberry	#1 pot
Vo	4	Vaccinium ovatum	Evergreen Huckleberry	#3 pot

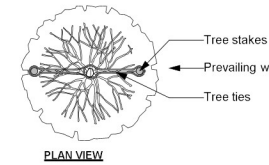
- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - Boulevard/Street Tree and planting locations and species to be coordinated with City of Victoria Parks Staff and installed by applicant.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of a landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

Tree Notes

- Tree planting inspection requirement:
1st inspection - Tree pits, structural soil and root barrier.
2nd inspection - Prior to planting, trees are inspected for pest: disease and structural defect.
3rd inspection - Completed planting, mulch, staking, tree grate installed.
- Two new tree guards will need to be purchased from the City of Victoria at \$500 each.
- The applicant will be required to pay the appraised value of the small boulevard tree proposed for removal. When the tree fee has been paid, the City will post the tree for [10] working days after which it can be removed at the expense of the applicant.



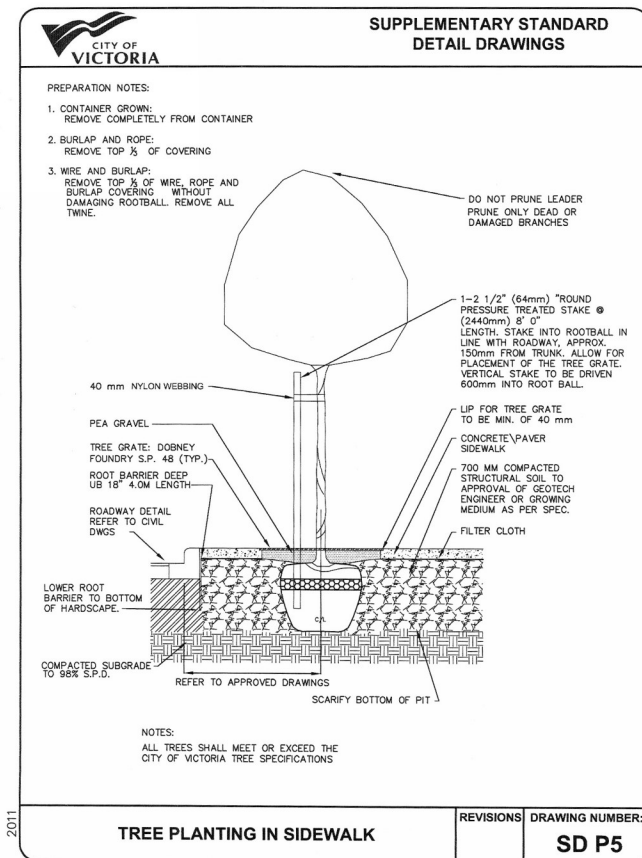
PLAN VIEW
Central leader. (Refer to Landscape Specifications for prescribed quality).

Non - abrasive tree ties. Arbour Tree Tie, or approved equivalent.
Two (2) tree stakes, min 50 mm diameter stakes. Install approximately 50 mm away from the edge of the rootball. Stake location shall not interfere with permanent branches.

Top of root ball shall be flush with finished grade.
Mulch, 50 mm thickness. No more than 25 mm of mulch on top of root ball. (Refer to Landscape Specifications for mulch).
Round-topper soil berm 4" high x 8" wide above root ball surface shall be constructed around the root ball. Berm shall begin at root ball periphery.

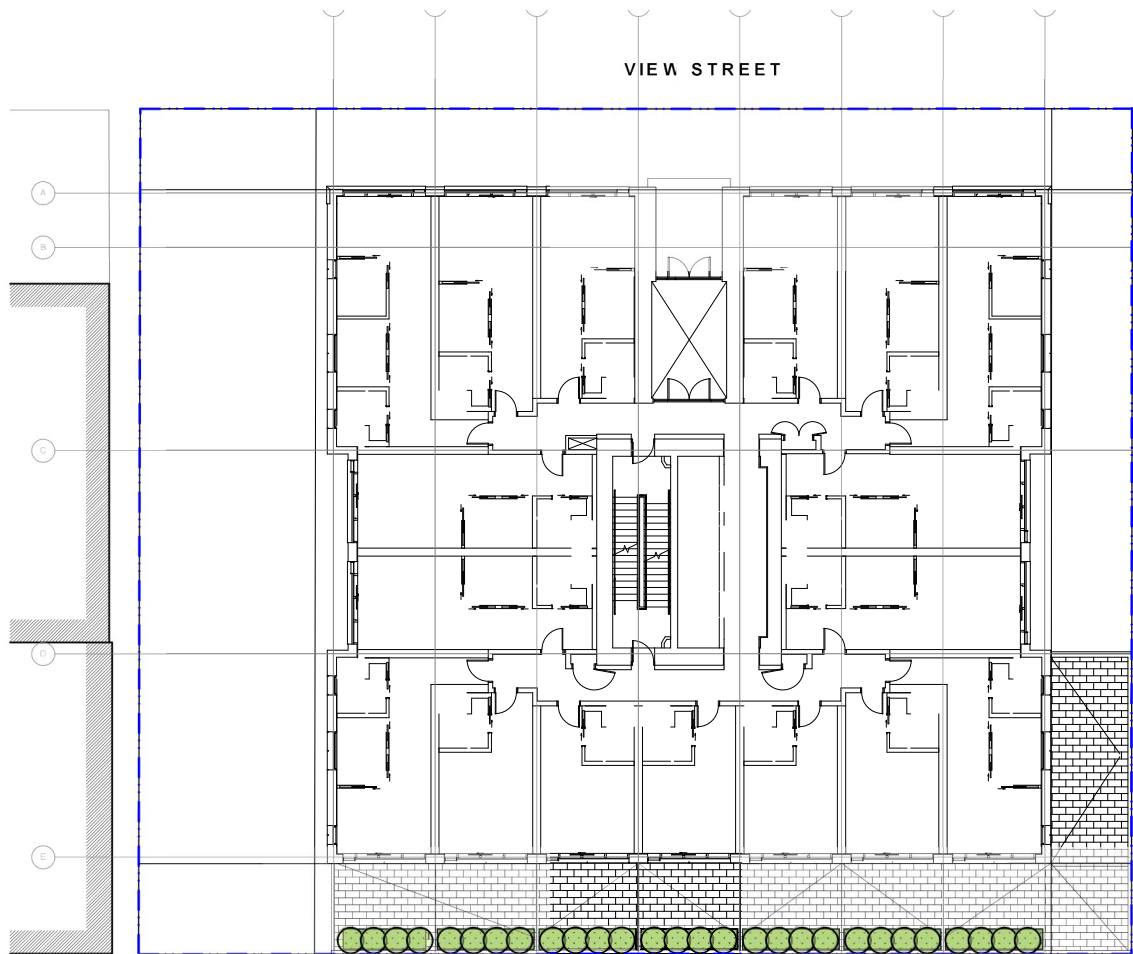
Loosened soil. Dig and turn the soil to reduce compaction to the area and depth shown.
Bottom of root ball rests on re-compact soil. Tamp growing medium below root ball to prevent settling.

2 TREE PLANTING DETAIL
Scale: 1:25



3 STRUCTURAL SOIL
NTS

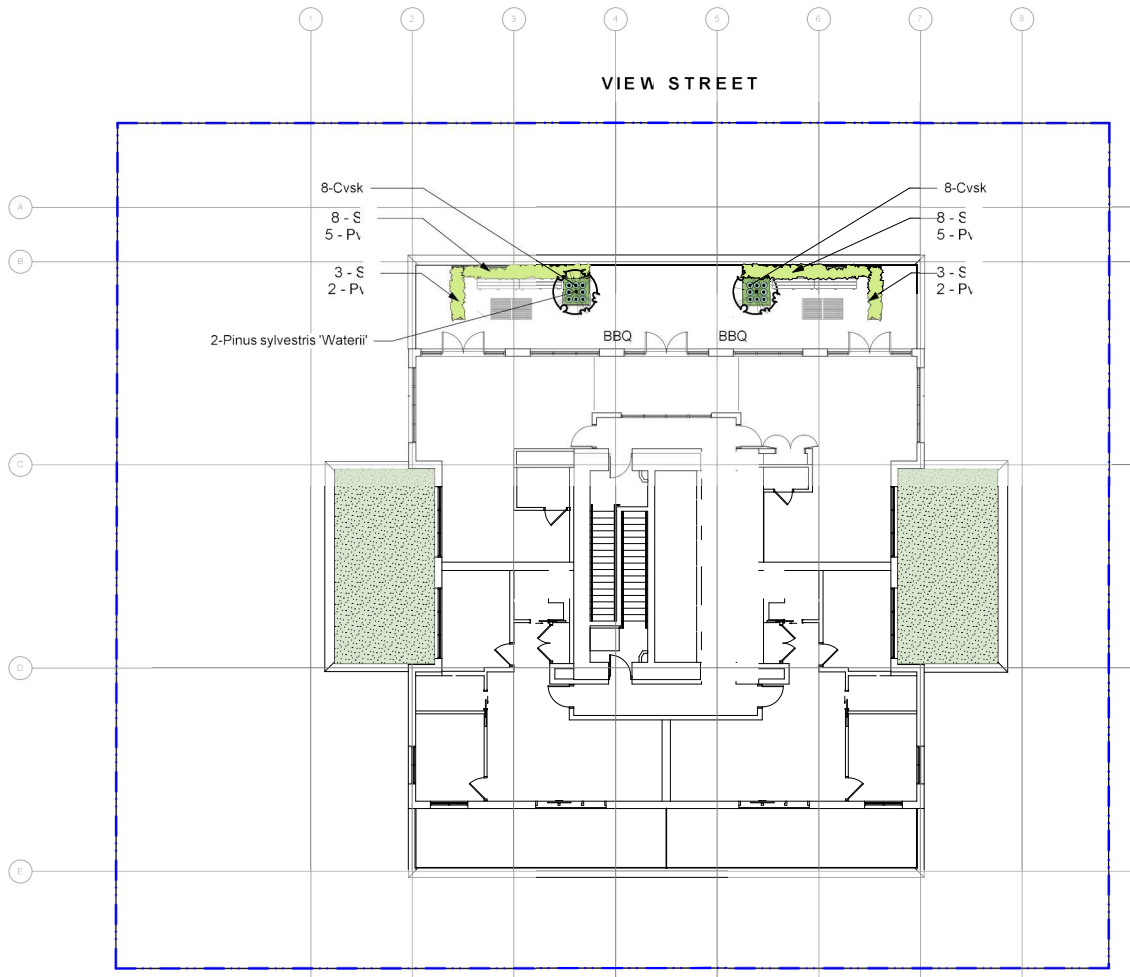
- Notes:**
- Trees shall be of quality prescribed in crown observations and root observations details and specifications.
 - Trunk caliper shall meet Canadian Landscape Standard, current edition, for root ball size.
 - Max. depth of planting pit = rootball depth + 150 mm.
 - Place stakes parallel to prevailing wind direction.
 - Follow supply nursery's instructions on remove of rope, burlap, and wire baskets.



1 LEVEL 2 PLANTING PLAN
Scale: 1:150

LEVEL 2 PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
SHRUBS/VINES:				
Plu	28	Prunus lusitanica	Portugal Laurel	#3 pot



2 LEVEL 18 PLANTING PLAN
Scale: 1:150

LEVEL 18 PLANT LIST

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
	2	Pinus sylvestris 'Waterli'	Bonsai Pine	nen, cloud pruned, min 2 m hrune
SHRUBS/VINES:				
Cvsk	16	Calluna vulgaris 'Silver Knight'	Silver Knight Scotch Heather	#1 pot
Pvi	17	Pennisetum villosum	Feathertop Grass	#1 pot
St	22	Stipa tenuissima	Mexican Feathergrass	#1 pot

GREEN ROOF AREA - SUN

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

Area (sq m): 72.9

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of a landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

PLANTING NOTES

- Plant quantities and species may change between issuance of DI and Construction due to plant availability and design changes.
- Boulevard/Street Tree and planting locations and species to be coordinated with City of Victoria Parks Staff, and installed by applicant.



2020-08-12

client
NELSON INVESTMENTS, INC.

project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

sheet title

Planting Plan
Levels 2 and 18

project no. 119.24

scale AS NOTED @ 24"x36"

drawn by ML

checked by SM/PdG

revision no. sheet no.

4 L3.02

LEGEND					
EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	---	EDGE OF PAVEMENT	---	---	REDUCER
---	---	CURB AND GUTTER	---	---	FENCE
---	---	EDGE OF GRAVEL	---	---	DITCH/SWALE
---	---	TOP/BOTTOM OF BANK	---	---	WATERMAN (SIZE AND MATERIAL NOTED)
---	---	CATCH BASIN	---	---	SANITARY SEWER (SIZE AND MATERIAL NOTED)
---	---	WATER VALVE	---	---	STORM DRAIN (SIZE AND MATERIAL NOTED)
---	---	FIRE HYDRANT	---	---	UNDERGROUND HYDRO
---	---	UTILITY POLE	---	---	UNDERGROUND HYDRO
---	---	UTILITY POLE AND STREET LIGHT (LABELLED PP,TP,PP/L,S ETC.)	---	---	IRRIGATION SLEEVES
---	---	MANHOLE	---	---	MONUMENT
---	---	CLEANOUT	---	---	PROPERTY LINE
---	---	SANITARY/STORM INSPECTION CHAMBER (200# RISER)	---	---	CENTERLINE AND STATIONING
---	---	JUNCTION BOX	---	---	SANITARY SEWER SERVICE CONNECTION AT MAIN
---	---	AIR VALVE	---	---	ELEVATIONS
---	---	WATER METER	---	---	PAVEMENT REMOVAL
					NEW ASPHALT

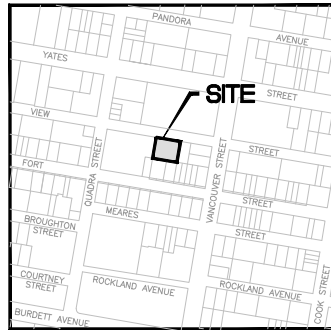


KEY PLAN
1:1000

0 20 60m
1:1000

LIST OF DRAWINGS

DWG. No.	DESCRIPTION
C100	GENERAL NOTES, LOCATION PLAN, KEY PLAN, DRAWINGS LIST & LEGEND
C200	SITE SERVING PLAN
C300	GRADING PLAN
C400	BC HYDRO INFORMATION PLAN



LOCATION PLAN
NTS

CIVIC ADDRESS: 937 VIEW STREET
LEGAL: LOT A, OF LOTS 785, 786 AND 787, VICTORIA CITY, PLAN 36505.
ZONING: R-45, HARRIS GREEN
LAND USE: RESIDENTIAL
PROPOSED: 253 UNIT 15 STOREY RESIDENTIAL BUILDING
SITE AREA: 1572m²
DWELLING FOOTPRINT AREA: 725m²
MAIN FLOOR ELEVATION: 17.60m
PLAN TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION

GENERAL NOTES:

- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA (CoV) SPECIFICATIONS, ITS SUPPLEMENTARY MASTER MUNICIPAL SPECIFICATIONS, STANDARD DETAIL DRAWINGS AND MMCD UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- SIGNATURE BLOCK FOR SHALLOW UTILITIES TO BE SIGNED AND DATED PRIOR TO CONSTRUCTION.
- PERMITS TO CONSTRUCT WORKS ON THE CoV RIGHT OF WAY MUST BE OBTAINED FROM THE CoV ENGINEERING DEPARTMENT PRIOR TO COMMENCING WORK. PERMITS MUST BE ON SITE FOR REVIEW AS REQUIRED.
- CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
- ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED. CARE TO BE TAKEN TO RETAIN AS MANY TREES AS POSSIBLE.
- ADJUST ALL MANHOLES, WATER VALVES, HYDRO VAULTS, ETC. TO MATCH NEW CONSTRUCTION.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
- ALL EXCAVATED TRENCH AND SUBEXCAVATION MATERIALS TO BE DISPOSED OF OFFSITE.
- ALL ELEVATIONS ARE TO GEODETIC DATUM.
- DATA SOURCES:
 - TOPOGRAPHIC SURVEY COMPLETED BY POWELL & ASSOCIATES BC LAND SURVEYORS, DECEMBER 2016.
 - DIGITAL GIS PROVIDED BY CoV.
 - BC 1 CALL DATA FOR SHALLOW UTILITIES.

ROAD NOTES:

- CONSTRUCT ALL SIDEWALK AND DRIVEWAY CROSSINGS IN ACCORDANCE WITH CoV AND MMCD STANDARDS AS NOTED ON DRAWINGS.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG VIEW STREET DURING CONSTRUCTION.
- ROAD RESTORATION FOR VIEW STREET TO CoV SUPPLEMENTAL DWG. NO. SD 05a AND 05b.
- THE PROVISION OF APPROVED SIGNS AND CERTIFIED TRAFFIC CONTROL PERSONNEL IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
- ALL PAVEMENT EXCAVATIONS TO BE SAWCUT.
- PROJECT FRONTAGE TO BE RESTORED AS NOTED ON CIVIL, LANDSCAPE AND ARCHITECTURAL DRAWINGS AS PER CoV "NEW TOWN" SPECIFICATIONS.
- PEDESTRIAN WALKING AREA TO BE DELINEATED DURING THE CONSTRUCTION OF THE WORKS AND MUST BE EASILY RECOGNIZABLE BY THE PUBLIC AND CONTAIN NO OBSTRUCTIONS TO MOBILITY SCOOTERS OR WHEELCHAIRS AND NO HAZARDOUS CONDITIONS. THE PUBLIC USING THESE AREAS MUST BE ADEQUATELY PROTECTED FROM TRAFFIC.

WATER NOTES:

- WATER SERVICE CONNECTION TO BE PER CoV STD. DWG. NO. W2d SS.
- CONTRACTOR TO CONFIRM THAT EXISTING WATER SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.

STORM DRAIN AND SANITARY SEWER NOTES:

- CONTRACTOR TO CONFIRM THAT EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.
- STORM DRAIN AND SANITARY SEWER CONNECTIONS TO BE AS PER CoV STD. DWG. NO. S7 SS.
- STORM DRAIN CONNECTION TO BE 200# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- SANITARY SEWER CONNECTION TO BE 250# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- UNDERGROUND SERVICES TO BE LOCATED, EXPOSED AND ELEVATIONS CONFIRMED AT CROSSINGS PRIOR TO INSTALLATION OF CONNECTIONS.

SHALLOW UTILITY AND STREET LIGHT NOTES:

- EXISTING BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC INFRASTRUCTURE INFORMATION SHOWN ON DRAWINGS IS SCHEMATIC AND FOR INFORMATION ONLY.
- REFER TO UTILITY COMPANY DESIGN DRAWINGS FOR CONSTRUCTION DETAILS. CONSTRUCT UNDERGROUND UTILITIES AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS, SHAW CABLE SPECIFICATIONS AND DRAWINGS.
- CONFIRM AND COORDINATE WITH CoV FORCES REINSTATEMENT OF LAMP STANDARDS AS PER CoV SUPPLEMENTARY STANDARD DETAIL DRAWINGS, INCLUDING BASES, CONDUIT AND JUNCTION BOX.
- CONTACT BC 1 CALL AT 1-800-474-6886 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC 48 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- BC HYDRO TO COORDINATE AND PROVIDE LIAISON WITH CoV PRIOR TO AND DURING CONSTRUCTION.

ISSUES	
No.	DATE ISSUED FOR
1	2019.09.20 DEVELOPMENT PERMIT
2	2020.01.08 DEVELOPMENT PERMIT REVISIONS
3	2020.08.11 DEVELOPMENT PERMIT REVISION 3

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT

937 VIEW STREET
MARKET RENTAL RESIDENCES

VICTORIA, BC

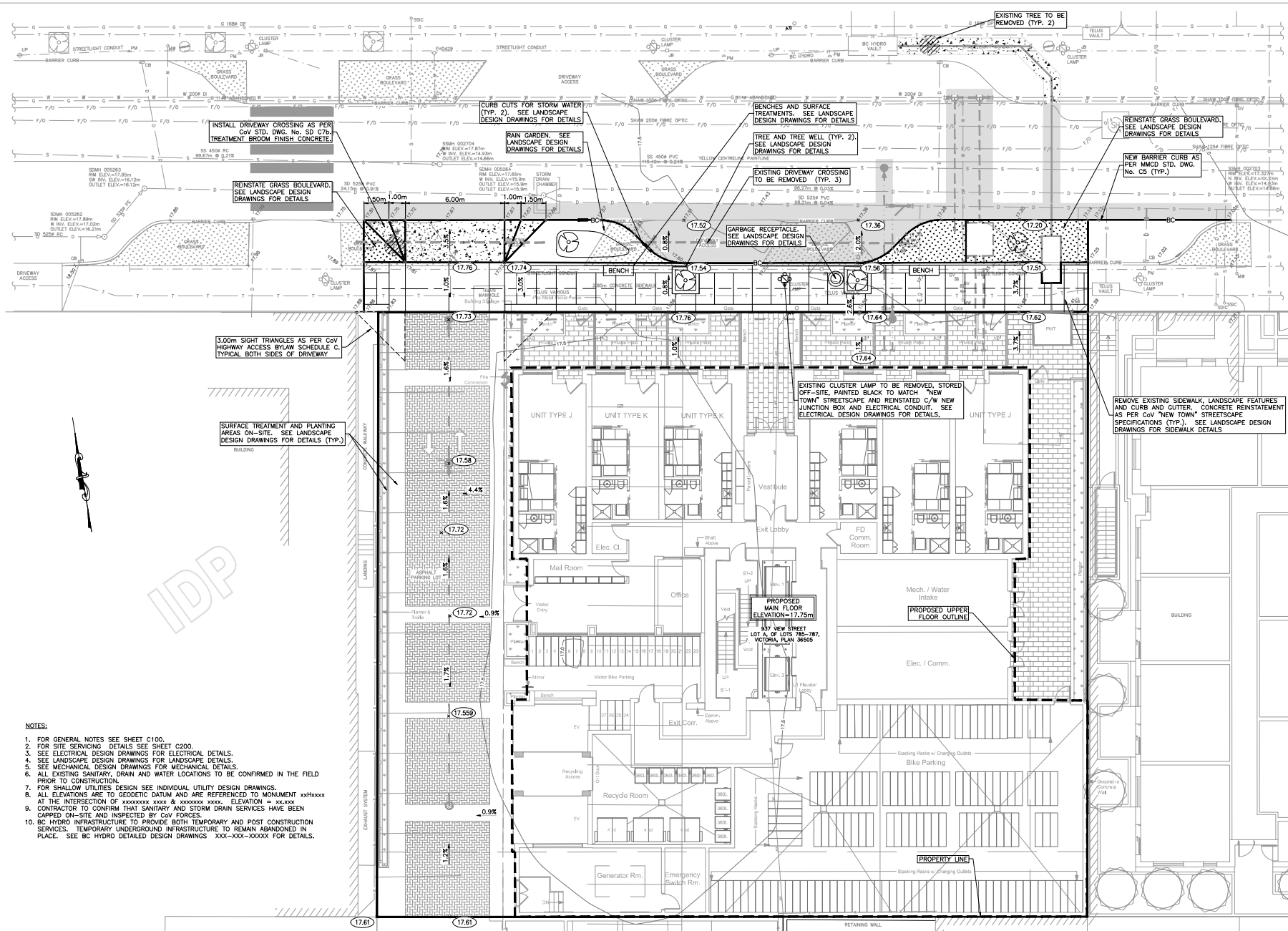
CHRIS NELSON INVESTMENTS LTD.

**HEROLD
ENGINEERING**
1051 Vancouver St., Victoria, BC V8W 4T6
Tel: 250-580-4875 Fax: 250-580-4392
Email: mail@heroldengineering.com

GENERAL NOTES,
LOCATION PLAN,
KEY PLAN,
DRAWINGS LIST
& LEGEND

DESIGNED	ENGINEER'S SEAL
TDL	
DESIGN REVIEW	
AJH	
DRAFTED	
LAM	
DRAFTING REVIEW	
SAC	
PROJECT No.	CLIENT DRAWING No.
5034-001	2020-08-11
SCALE	PERMIT No.
AS NOTED	
DWG. No.	REVISION
C100	1 OF 4 3

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION



- NOTES:
- FOR GENERAL NOTES SEE SHEET C100.
 - FOR SITE SERVING DETAILS SEE SHEET C200.
 - SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
 - SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
 - SEE MECHANICAL DESIGN DRAWINGS FOR MECHANICAL DETAILS.
 - ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 - FOR SHALLOW UTILITIES DESIGN SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
 - ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO MONUMENT 5094/5095 AT THE INTERSECTION OF XXXXXXXX XXXX & XXXXXXXX XXXX. ELEVATION = 100.000.
 - CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY COV FORCES.
 - BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS XXX-XXX-XXXXX FOR DETAILS.

ISSUES

NO.	DATE	ISSUED FOR
1	2019.09.20	DEVELOPMENT PERMIT
2	2020.01.08	DEVELOPMENT PERMIT REVISIONS
3	2020.08.11	DEVELOPMENT PERMIT REVISION 3

CLIENT

1:100

0 2 6m

ISSUED FOR DEVELOPMENT PERMIT

**937 VIEW STREET
MARKET RENTAL RESIDENCES**

VICTORIA, BC

CHRIS NELSON INVESTMENTS LTD.

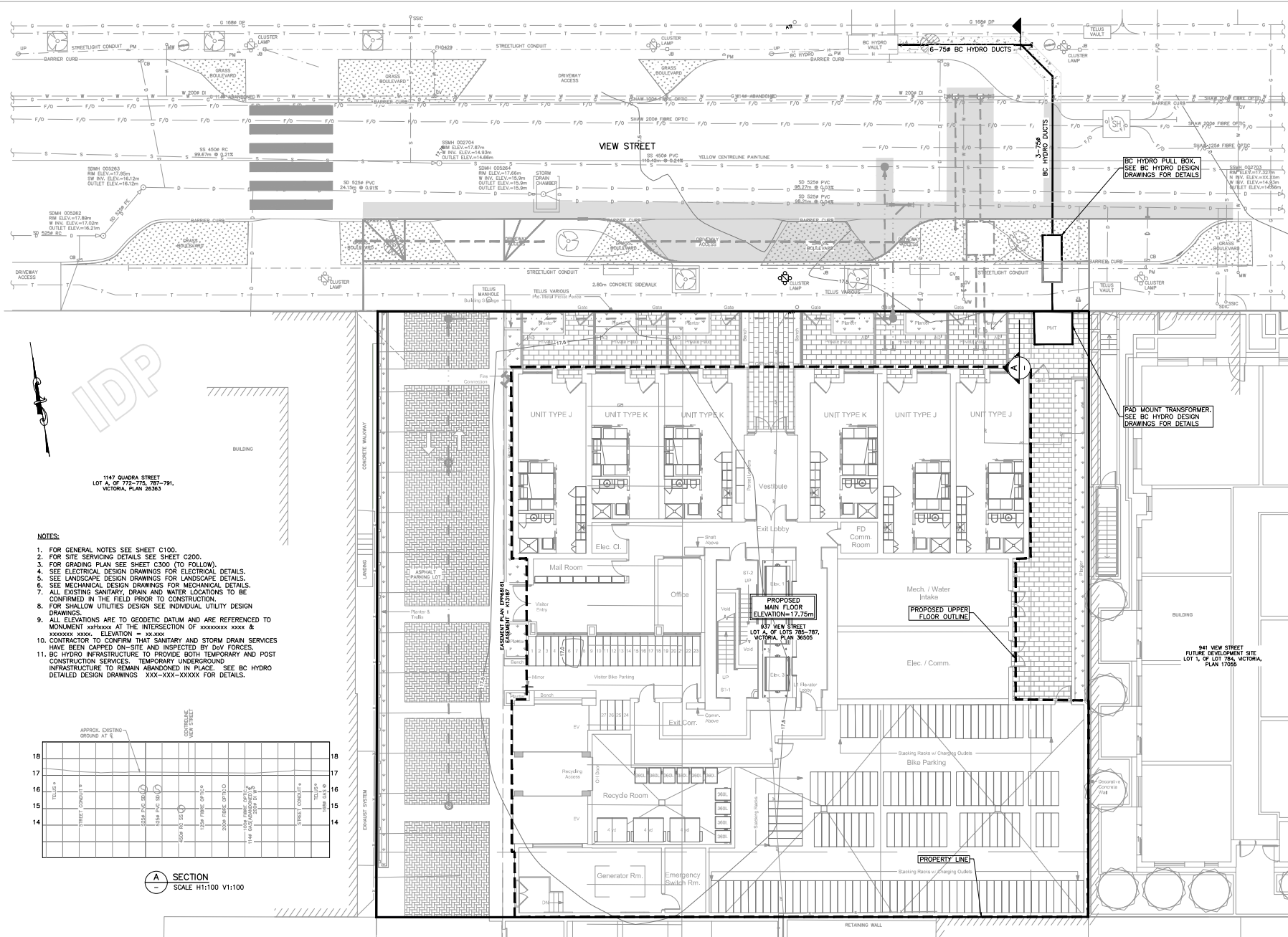
HEROLD ENGINEERING

1051 Vancouver St, Victoria, BC V8V 4T6
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

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GRADING PLAN

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT NO. 5094-001	CLIENT DRAWING NO.
SCALE AS NOTED	PERMIT NO.
REV. DRAWING NO. C300	REVISION 3 OF 4



1147 QUADRA STREET
LOT A OF 772-776, 787-791,
VICTORIA, PLAN 26363

NOTES:

1. FOR GENERAL NOTES SEE SHEET C100.
2. FOR SITE SERVING DETAILS SEE SHEET C200.
3. FOR GRADING PLAN SEE SHEET C300 (TO FOLLOW).
4. SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
5. SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
6. SEE MECHANICAL DESIGN DRAWINGS FOR MECHANICAL DETAILS.
7. ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
8. FOR SHALLOW UTILITIES DESIGN SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
9. ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO MONUMENT XXXXXXXX AT THE INTERSECTION OF XXXXXXXX XXXX & XXXXXXXX XXXX. ELEVATION = 14.00m.
10. CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CARRIED ON-SITE AND INSPECTED BY DOV FORCES.
11. BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS XXX-XXX-XXXX FOR DETAILS.

SECTION
SCALE H1:100 V1:100

ISSUES	
NO.	DATE
1	2019.09.20
2	2020.01.08
3	2020.08.11

CLIENT
1:100

ISSUED FOR
DEVELOPMENT PERMIT

937 VIEW STREET
MARKET RENTAL RESIDENCES
VICTORIA, BC
CHRIS NELSON INVESTMENTS LTD.

HEROLD ENGINEERING
1051 Vancouver St., Victoria, BC V8W 4T6
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

BC HYDRO
INFORMATION PLAN

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	2020-08-11
DRAFTED LAM	CLIENT DRAWING NO.
DRAFTING REVIEW SAC	PERMIT NO.
PROJECT NO. 5094-001	REVISION 3
SCALE H: AS NOTED	
FILE DRAWING NO. C400	4 OF 4

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION