

PROJECT DATATABLE - MULTI FAMILY DWELLING			
Address	1734 Hollywood Cres		
Lot Size	616.53m ² (6,636.27 ft ²)		
Zoning	R1-G - MISSING MIDDLE BYLAW - SCHEDULE P		
	BLOCK A	BLOCK B	REQUIRED
Location			
Lot Width***	17.53m***	20m	
Building to be within 36m of two streets	29.99m	15.20m	-
All buildings to be within 20m of a street	15.51m	14.50m	-
Floor Area			
Upper Floor Area	90.61m ² (975.34 ft ²)	98.66 m ² (1,061.98 ft ²)	-
Main Floor Area	91.84m ² (986.60 ft ²)	98.92 m ² (1,064.81 ft ²)	-
Lower Floor Area	88.64m ² (954.12 ft ²)	100.11 m ² (1,077.54 ft ²)	-
Basement Floor Area	52.82m ² (568.55 ft ²)	59.44 m ² (639.81 ft ²)	-
Bicycle Storage Area	17.12m ² (184.28 ft ²)	17.12 m ² (184.28 ft ²)	-
Floor Space Ratio	0.923	1.1	
	565.78 m ² (6,124.39 ft ²)	678.18m ² (7,299.87 ft ²)	
Height			
Average grade	8.77m Geo.	8.40m Geo.	-
Building Height (maximum)	11.33m (37.17 ft)	11.68m (38.32 ft)	11.00m - Flat roofs 12.00m - All other roofs
Setbacks, Projections			
Street setback (Robertson) (minimum) (South)	2.00m (6.56 ft)	2.02m (6.63 ft)	2.00m (6.56 ft)
Street setback (Hollywood) (minimum) (East)	-	2.02m (6.63 ft)	2.00m (6.56 ft)
Maximum projections into all setbacks:	-	1.93m (6.33 ft)	2.00m (6.56 ft)
North setback (minimum)	6.01m (Habitable) (19.72 ft)	21.95m (Habitable) (72.01 ft)	6.00m (Habitable) 2.00m (Non-hab.)
West setback (minimum)	2.01m (Non-hab.) (6.60 ft)	2.24m (Non-hab.) (7.34 ft)	6.00m (Habitable) 2.00m (Non-hab.)
Eave projections into setback (maximum)	0.65m (2.13 ft)	0.65m (2.13 ft)	0.75m (2.46 ft)
Building separation (minimum)	5.04m (16.54 ft)	5.04m (16.54 ft)	5.00m (16.40 ft)
Site Coverage			
Site coverage (maximum)	39.85% (245.69m ² (2,644.59ft ²))	40.00% (246.61m ² (2,654.49ft ²))	
Open Site Space (minimum)	45.25% (278.98m ² (3,002.92ft ²))	45.00% (277.44m ² (2,986.34ft ²))	
Amenity Space (25m ² or 6.5% of lot area and min 4.5m in length on all sides)	14.13% (87.13m ² (937.86ft ²))	6.50% (40.08m ² (431.42ft ²))	
Site Impervious Areas			
Site Impervious Areas	43.25% (266.03m ² (2,863.52ft ²))	45.00% (277.44m ² (2,986.34ft ²))	
Permeable Areas			
Permeable Areas	56.65% (350.50m ² (3,772.75ft ²))	55.00% (349.20m ² (3,762.34ft ²))	
Rainwater Management Areas			
Rainwater Management Areas	56.65% (350.50m ² (3,772.75ft ²))	55.00% (349.20m ² (3,762.34ft ²))	
Parking			
Bicycle Parking	BLOCK A	BLOCK B	REQUIRED
Bicycle Storage	8 long term spaces	7 long term spaces	• 15 long term spaces
• Long Term Storage Spaces (2 per unit; 1 per secondary unit)	6 short term spaces	6 short term spaces	• 5 visitor spaces per bldg
• Short Term Storage Spaces (Not required)			
Oversized Bicycle Storage	1 oversized space	1 oversized space	15% of total stalls 2 spaces
Energized Bicycle Spaces	4 energized	4 energized	50% of total stalls 8 spaces
Bicycle Maintenance Facility	1 facility	1 facility	1 Required in each bike room
Van Accessible Parking	1 - Van accessible parking space located close to Block A (contains adaptable unit)		1 Required
EV Equipped Parking	1 - Standard EV equipped parking space	1 - Dedicated future car share (SRW) EV equipped parking space	0.15 Parking spaces per unit up to a maximum of 4 car share vehicle parking 2 Spaces Required

***VARIANCE REQUIRED

PROPOSED SITE PLAN

SCALE = 1 : 150

NAFS REQUIREMENTS:

Performance Grade of 30

Water Test Pressure of 160 Pa

GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE AS WELL AS ANY LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.

ALL MEASUREMENTS MUST BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION, AND ANY DISCREPANCIES REPORTED TO THE DESIGNER.

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

-SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR

SITE PLAN

ALL LAYOUTS SHOULD BE CONFIRMED BY A REGISTERED B.C. LAND SURVEYOR. ALL SETBACKS SHALL BE CONFIRMED BY THE OWNER/BUILDER. ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER/BUILDER AND ANY MODIFICATIONS ARE TO BE MADE ON SITE.

CONFORMITY OF THESE PLANS TO THE ACTUAL SITE IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

CONCRETE AND FOUNDATIONS

ALL CONCRETE FOOTINGS TO HAVE SOLID BEARING ON COMPACTED, UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.

IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.

GARAGE & CARPORT FLOORS AND EXTERIOR STEPS SHALL NOT BE LESS THAN 32 MPA

FOUNDATION CONCRETE SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 2800 psi (20MPa) AT 28 DAYS, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.

ALL WALLS ARE 8" CONCRETE UNLESS OTHERWISE NOTED.

ALL GRADES ARE ESTIMATED ONLY AND SHALL BE ADJUSTED ON SITE.

ALL WOOD IN CONTACT WITH CONCRETE SHALL BE TREATED OR SEPARATED BY A MOISTURE RESISTANT GASKET MATERIAL.

LUMBER, FRAMING AND BEAMS

BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.

ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.

ALL SPANS SHALL CONFORM TO THE TABLES SET OUT IN "THE SPAN BOOK" AND THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.

TRUSSES

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, INCLUDING ALL BRACING.

ROOFING

ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMS AND SNOW BUILD UP.

PLUMBING & ELECTRICAL

ANY ELECTRICAL SHOWN ON PLANS IS TO SERVE AS A GUIDE ONLY AND MUST BE INSTALLED BY A QUALIFIED PERSONNEL.

FLASHING

ALL EXPOSED OPENINGS SHALL BE PROVIDED WITH ADEQUATE FLASHING. ALL ROOFING SHALL INCORPORATE STEP FLASHING. ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.

DOORS - ROUGH OPENING SIZES

FRAME OPENING 1 1/4" WIDER THAN DOOR

FRAME OPENING 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS. FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT 81.5".

MISC.

CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

NEITHER JAVADESIGNS INC. NOR THE DESIGNER ACCEPT RESPONSIBILITY FOR THE FOLLOWING:

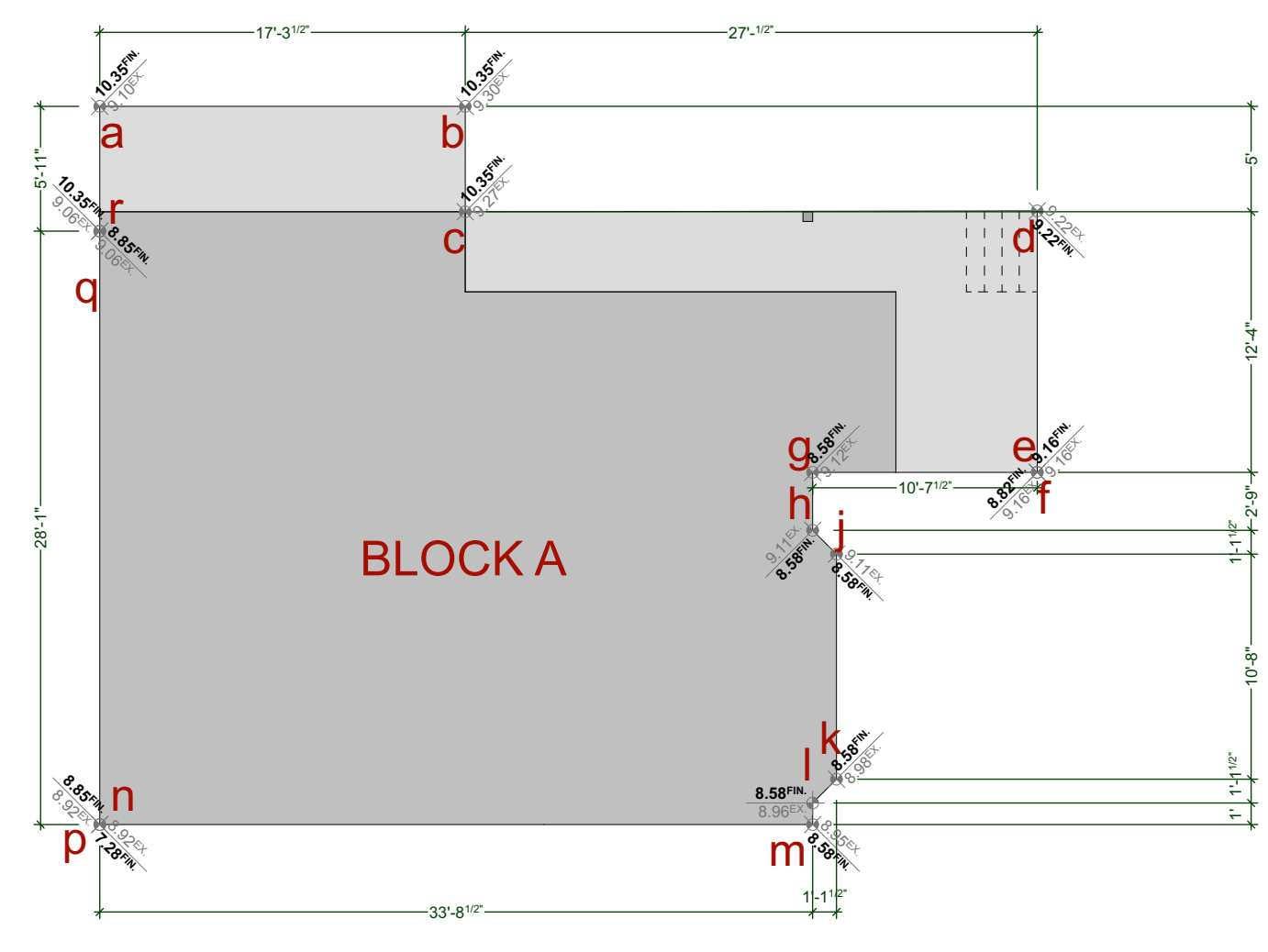
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE.


-CONFORMITY OF PLANS TO SITE.

-ERRORS AND OMISSIONS -ANY WORK BUILT FROM THESE PLANS

SHEET NUMBER

A1

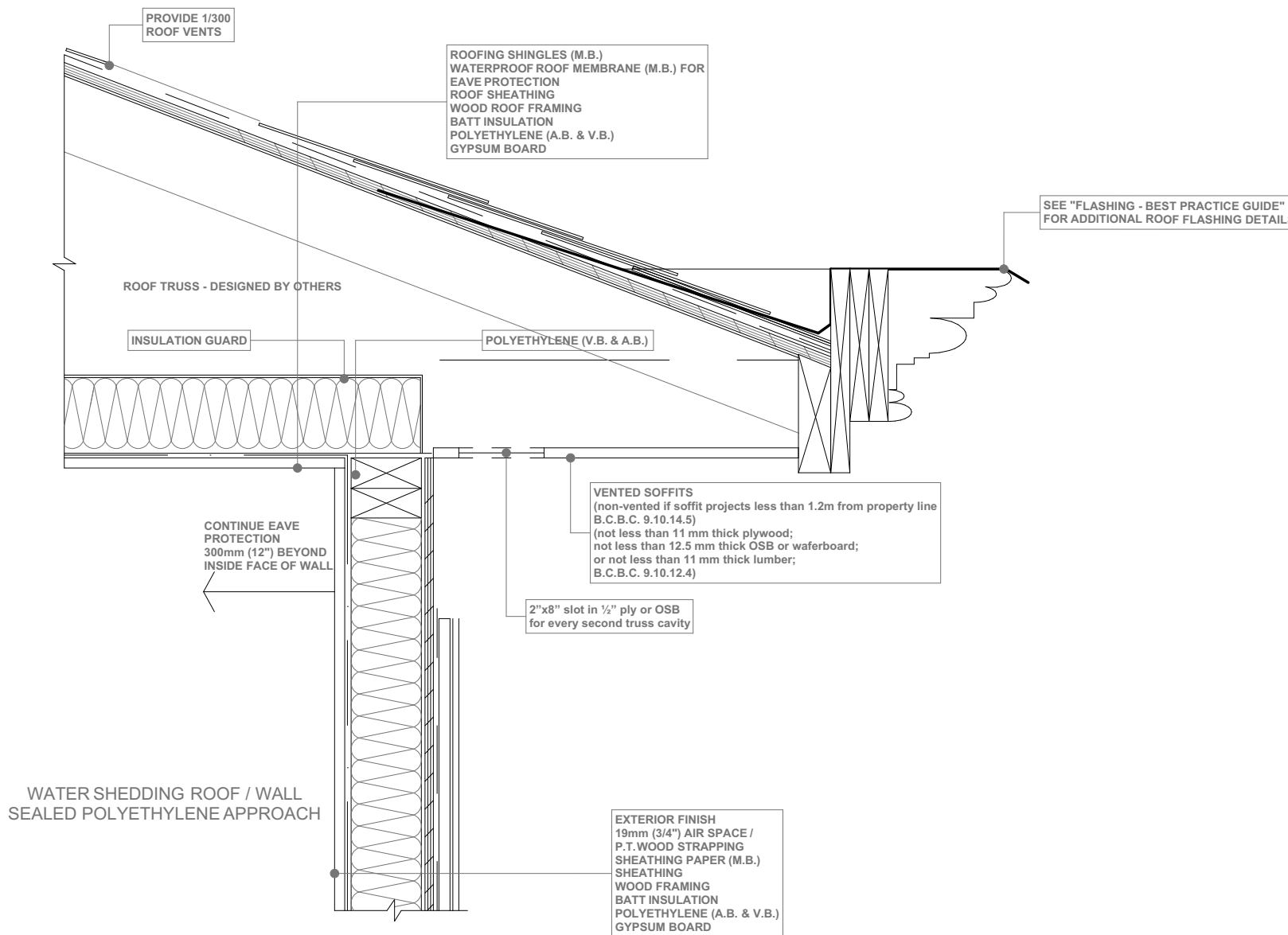
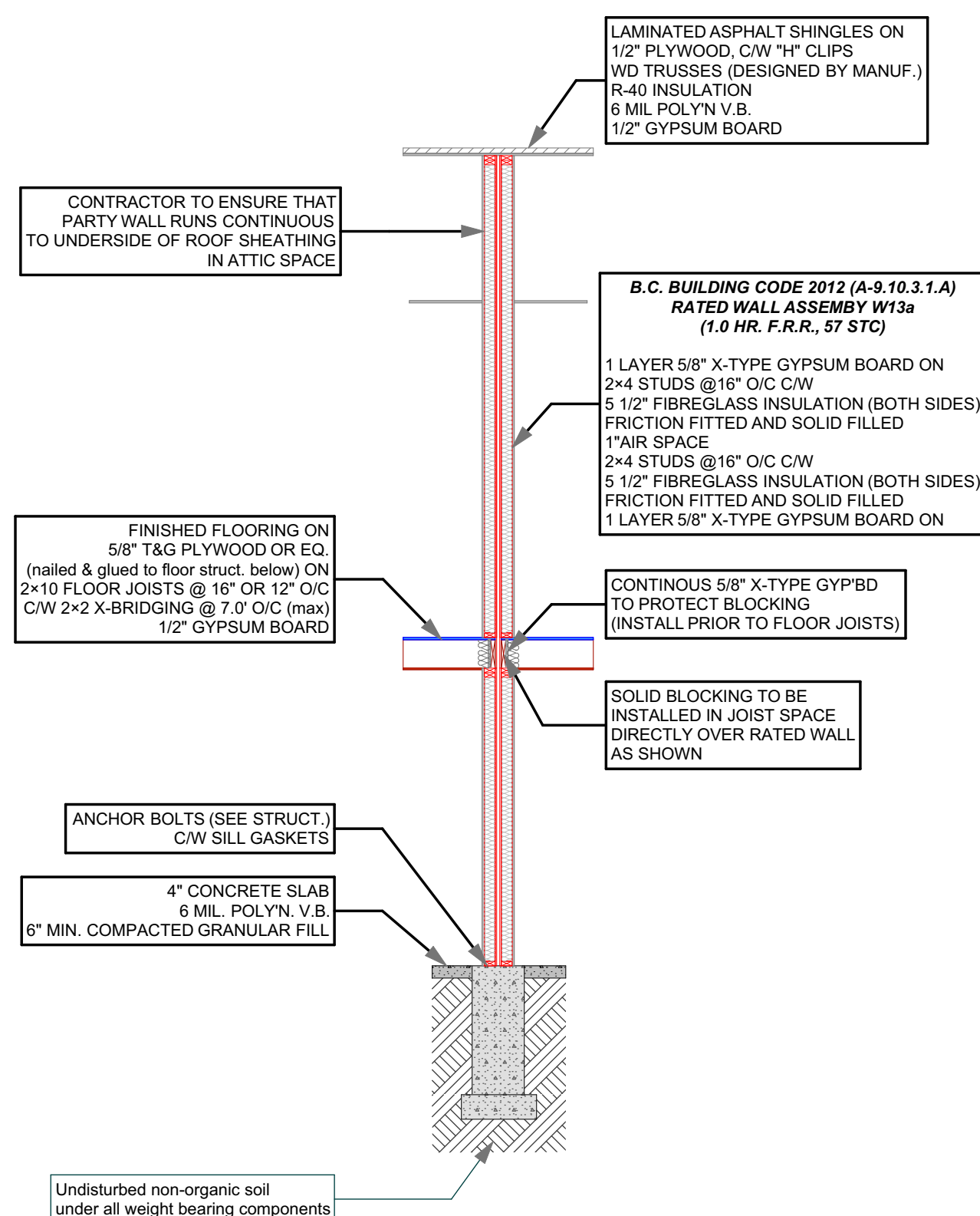




PROPOSED GRADE PLAN

NOT TO SCALE

Grade Points	Avg. Of Points	Distance Between	Totals
a / b	9.10	9.30 (2 = 9.20)	5.27
b / c	9.10	9.27 (2 = 9.12)	48.48
c / d	9.27	9.22 (2 = 9.25)	8.25
d / e	9.22	9.16 (2 = 9.19)	3.76
e / f	8.82	8.58 (2 = 8.70)	3.24
f / g	8.58	8.58 (2 = 8.58)	0.84
g / h	8.58	8.58 (2 = 8.58)	0.34
h / i	8.58	8.58 (2 = 8.58)	0.34
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l / m	8.58	8.58 (2 = 8.58)	0.34
m / n	8.58	8.58 (2 = 8.58)	0.34
n / o	8.58	8.58 (2 = 8.58)	0.34
o / p	8.58	8.58 (2 = 8.58)	0.34
p / q	8.58	8.58 (2 = 8.58)	0.34
q / r	8.58	8.58 (2 = 8.58)	0.34
r / s	8.58	8.58 (2 = 8.58)	0.34
s / t	8.58	8.58 (2 = 8.58)	0.34
t / u	8.58	8.58 (2 = 8.58)	0.34
u / v	8.58	8.58 (2 = 8.58)	0.34
v / w	8.58	8.58 (2 = 8.58)	0.34
w / x	8		



SOFFIT DETAIL

SCALE : 1" = 1' - 0"

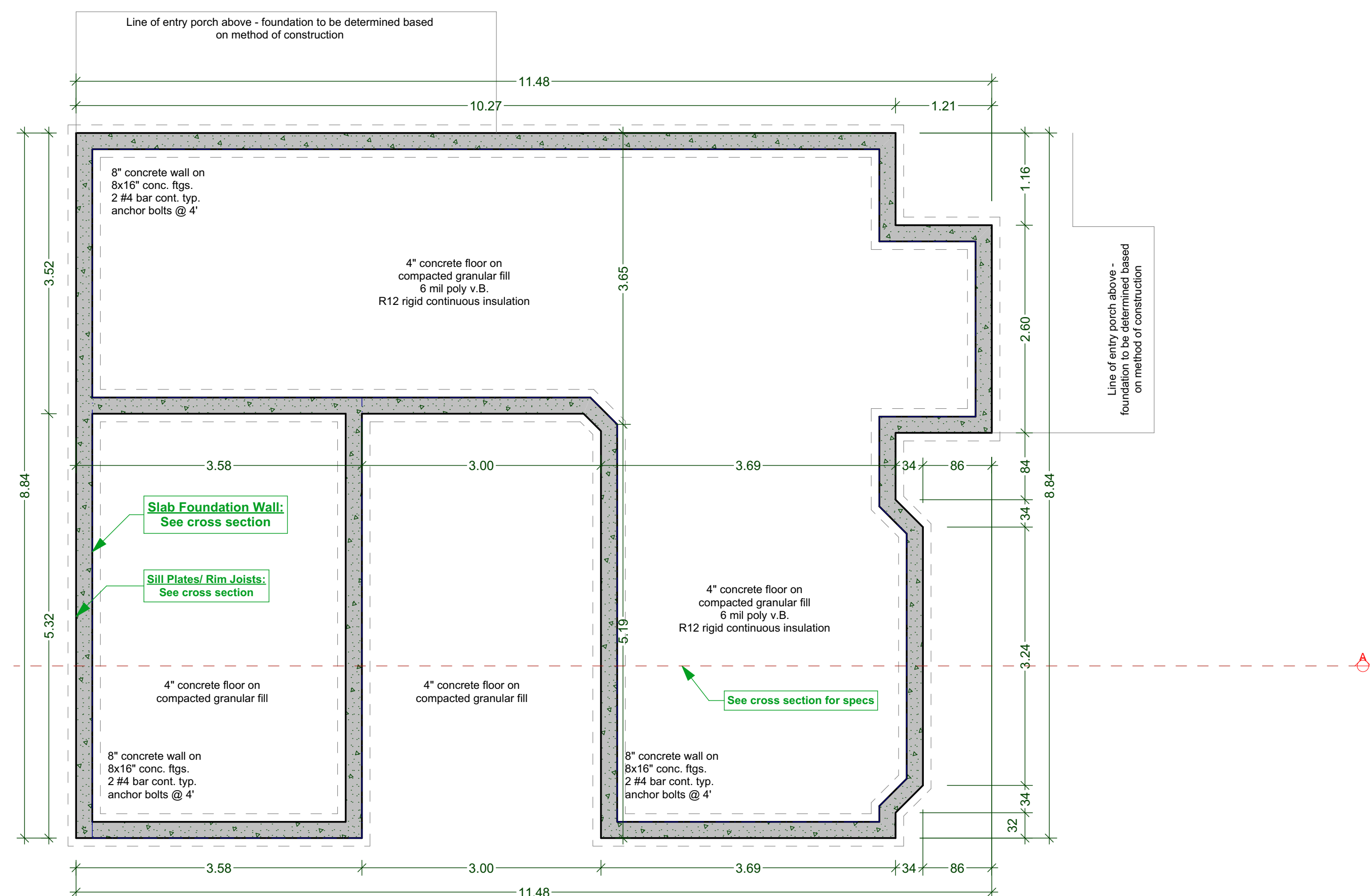
HEAT SOURCES: HEAT PUMPS WITH
HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION ASSEMBLIES:

- | | | | |
|-----------|---|------------|--|
| F1 | 4" concrete floor on compacted granular fill, 6 mil poly VB | F12 | Exterior Finish, 3/4" air space. Pressure treated strapping, 2 layers 30 mil building paper, 1/2" sheathing, 2x6 studs at 16" O.C., R-20 Batt insulation, 6 MIL Poly VB, 1/2" Drywall. (See elevations) |
| F2 | 2x12 Floor Joist 16" O.C. typ. Nail and Glue 3/4" 1x6 plywood X briding @ F.O.C. typ. | F13 | DEMISING WALL: (1h as per W13a - Table A-9 1.0 3.1 A) <ul style="list-style-type: none"> • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. x 89 mm plates set 25 mm apart • 89 mm thick absorptive material on each side • 1 meter of 15.9 mm Type X gypsum board on each side |
| F3 | Low slope asphalt shingles, building paper, 7/16" O.S.B. (or 1/2" plywood), Engineered Trusses designed by supplier @ 24" O.C. typ. | F14 | DEMISING FLOOR: (1h as per F11d - Table A-9 1.0 3.1 B) <ul style="list-style-type: none"> • one subfloor layer of 11mm sanded plywood, or OSB or waferboard • one subfloor layer of 15.9mm plywood, OSB or waferboard, or 17mm tongue and groove laminate • on wood joists or wood joists spaced not more than 600 mm o.c. • with absorptive material in cavity • resilient metal channels spaced 400 mm o.c. • 15.9 mm Type X gypsum board |
| F4 | 2x4 framing 16" O.C. typ. 1/2" drywall finish throughout | F15 | |

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

****ALL WINDOWS MUST COMPLY WITH CBC AND NAES REQUIREMENTS****
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION. -ONE
EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST HAVE
U-VALUE LESS THEN 1.80 (AS PER TABLE 9.36.2.7.A) -GARAGE VEHICULAR DOORS MUST BE MINIMUM
NOMINAL RSI OF 1.1

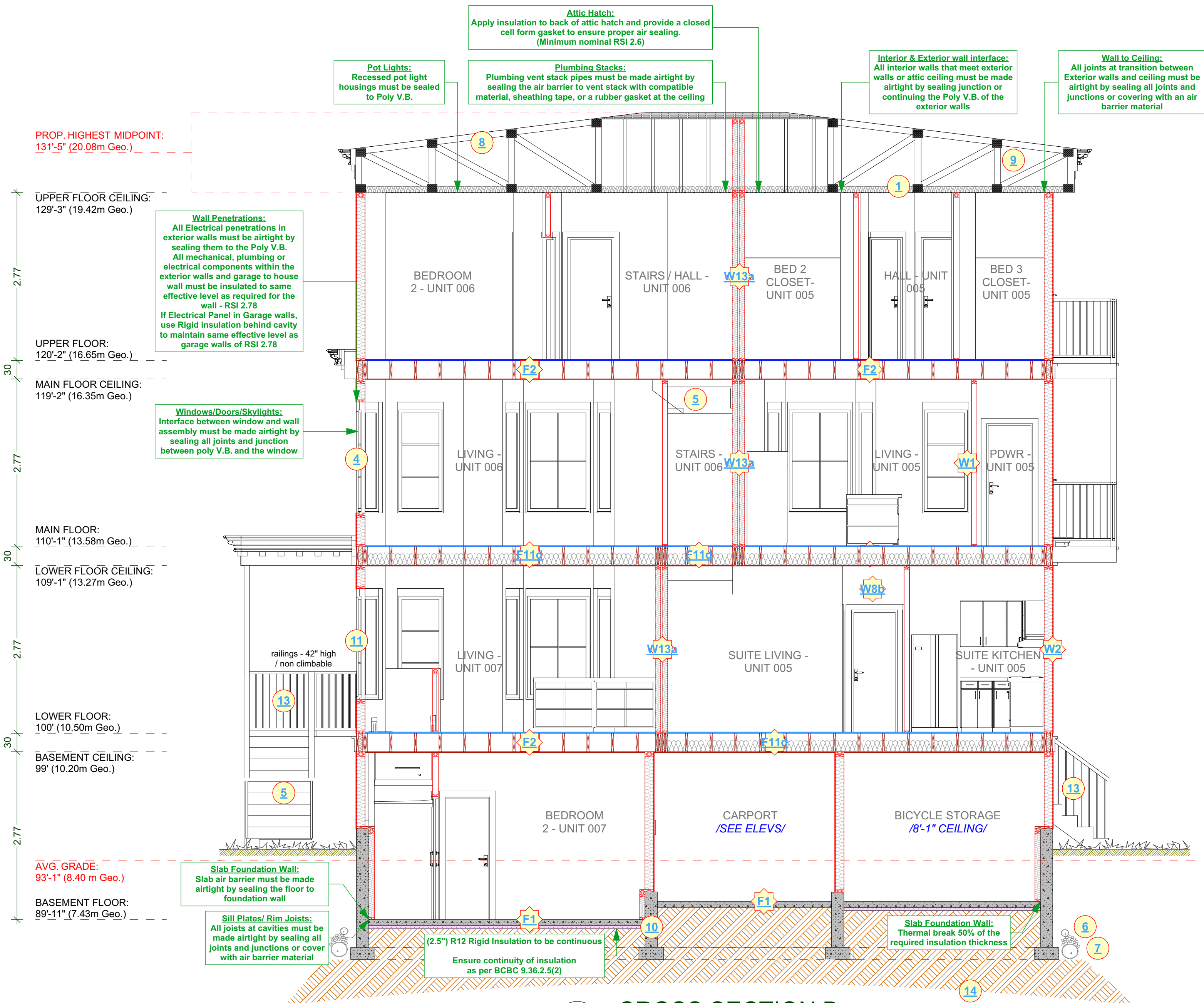


DRAWING NAME:
CROSS SECTION - BLOCK A
FOUNDATION PLAN AND SOFFIT
DETAIL
DRAWING SCALE:
SEE DRAWINGS

ISSUE DATE:
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NS
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KL

SHEET
NUMBER

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CROSS SECTION B

HEAT SOURCES: HEAT PUMPS WITH
HWT ON DEMAND FOR ALL UNITS

CONSTRUCTION NOTES:

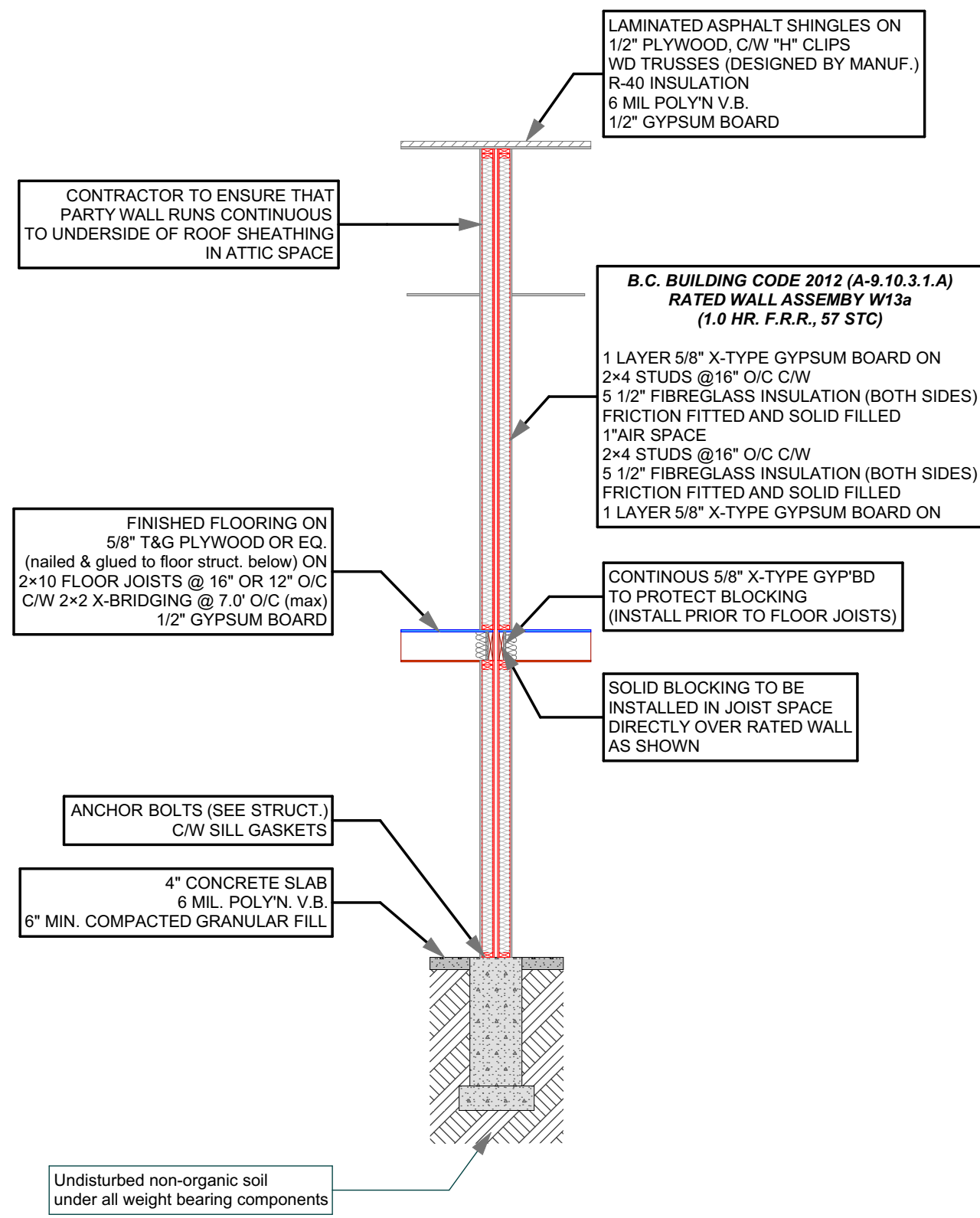
- R40 insulation, 6 mil poly V.B. 1/2" ceiling board. RSI VALUE OF 6.91
- Continuous gutters
- Aluminum Gutters and Vented Soffits- Roof overhangs as per plans
- All windows vinyl, supply rain pan under, rainscreen as per BCBC Windows in doors to be safety glass
- Stairs: 7 5/8" rise, 10.04" tread, 1" nosing with continuous handrail.
- Provide drains to perimeter system
- 4" drainless with 6" rock over
- Provide roof vents: vent 1/300 - See Soffit Detail
- Eave protection to 12" beyond heated wall
- 8" concrete wall on 8"x16" conc. fgs - 2#4 bar cont.-R12 rigid insulation - 2 coats dampproofing
- caulk over and around all exterior openings
- 10" X 10" post saddle on 8" pilaster 2'6x2'6 conc. footing. NOT SHOWN
- 42" Non climbable Continuous Handrail.
- Undisturbed non-organic soil

CONSTRUCTION ASSEMBLIES:

- DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)**
- 2 layers of 12.7mm Type X gypsum board on one side
 - Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 - 89mm thick absorptive material on one side
 - 12.7mm Type X gypsum board on other side
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.9mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board
- DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)**
- SUBFLOOR OF 15.9mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 - WOOD JOISTS OR WOOD JOISTS SPACED max of 600mm O.C.
 - ABSORPTIVE MATERIAL IN CAVITY
 - RESILIENT METAL CHANNELS SPACED 600mm
 - 15.9mm TYPE "X" GYPSUM BOARD

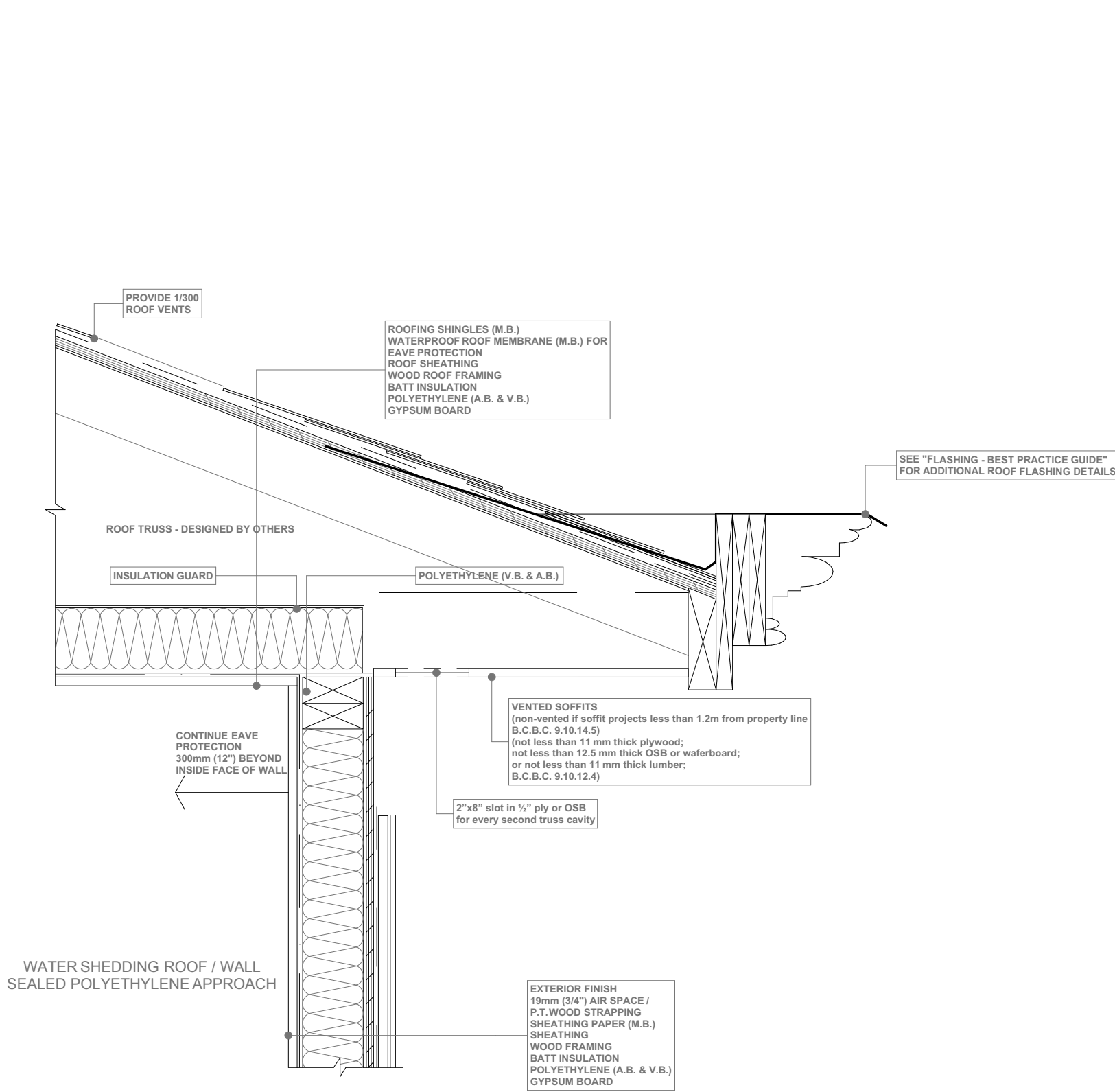
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS, IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

ADD INTERCONNECTED PHOTO-ELECTRIC SMOKE ALARM CONFORMING TO ARTICLE 9.37.2.19.
SECONDARY DWELLING UNIT TO BE SEPARATED FROM PRIMARY DWELLING UNIT BY A FIRE SEPARATION HAVING A FIRE-RESISTANCE RATING OF NOT LESS THAN 30 min, AS PER 9.37.2.15.(b)



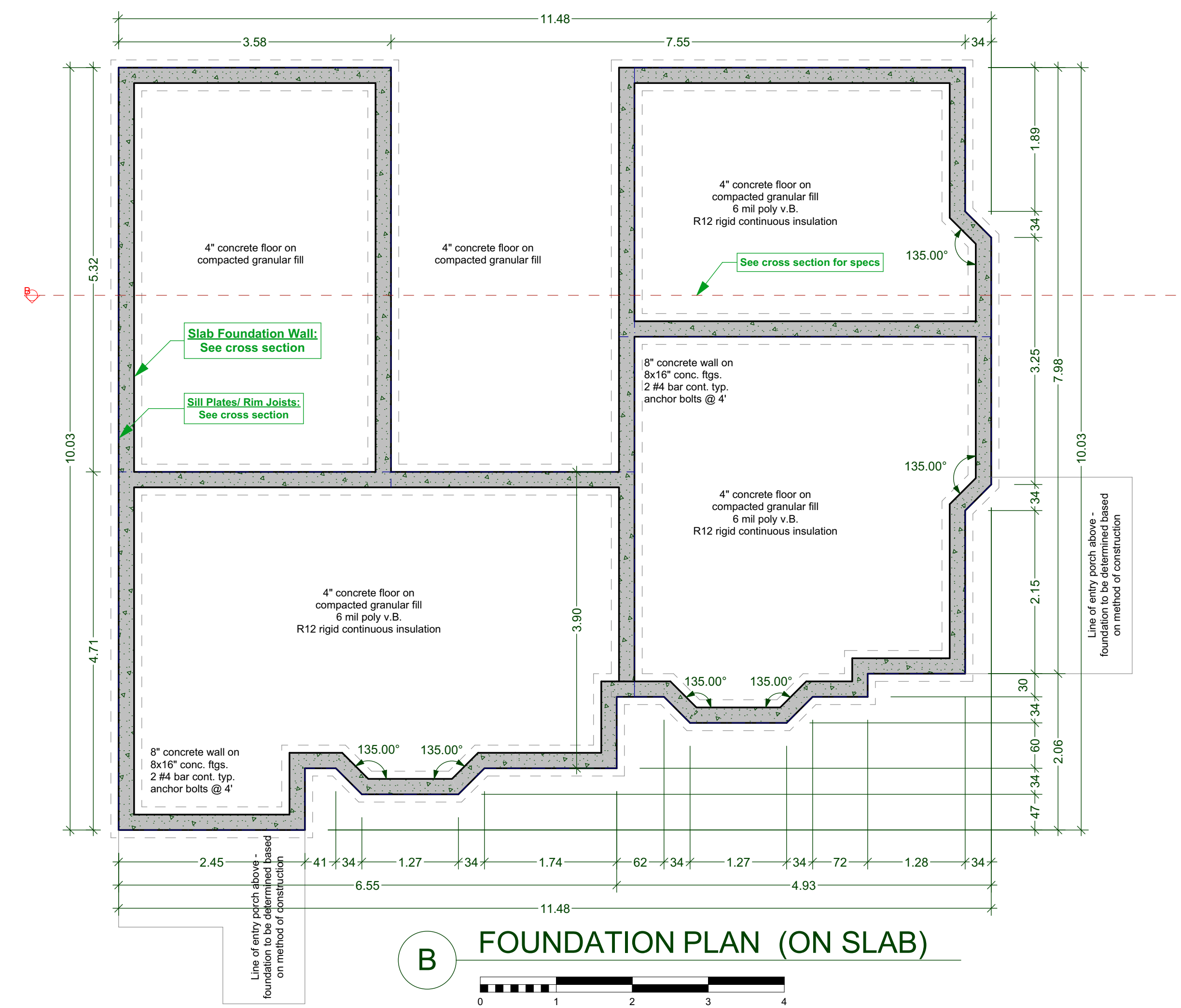
W13a - PARTY WALL DETAIL

SCALE: 1/4" = 1' - 0"



SOFFIT DETAIL

SCALE: 1" = 1' - 0"



FOUNDATION PLAN (ON SLAB)

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1, 1734 HOLLYWOOD CRESCENT, VICTORIA

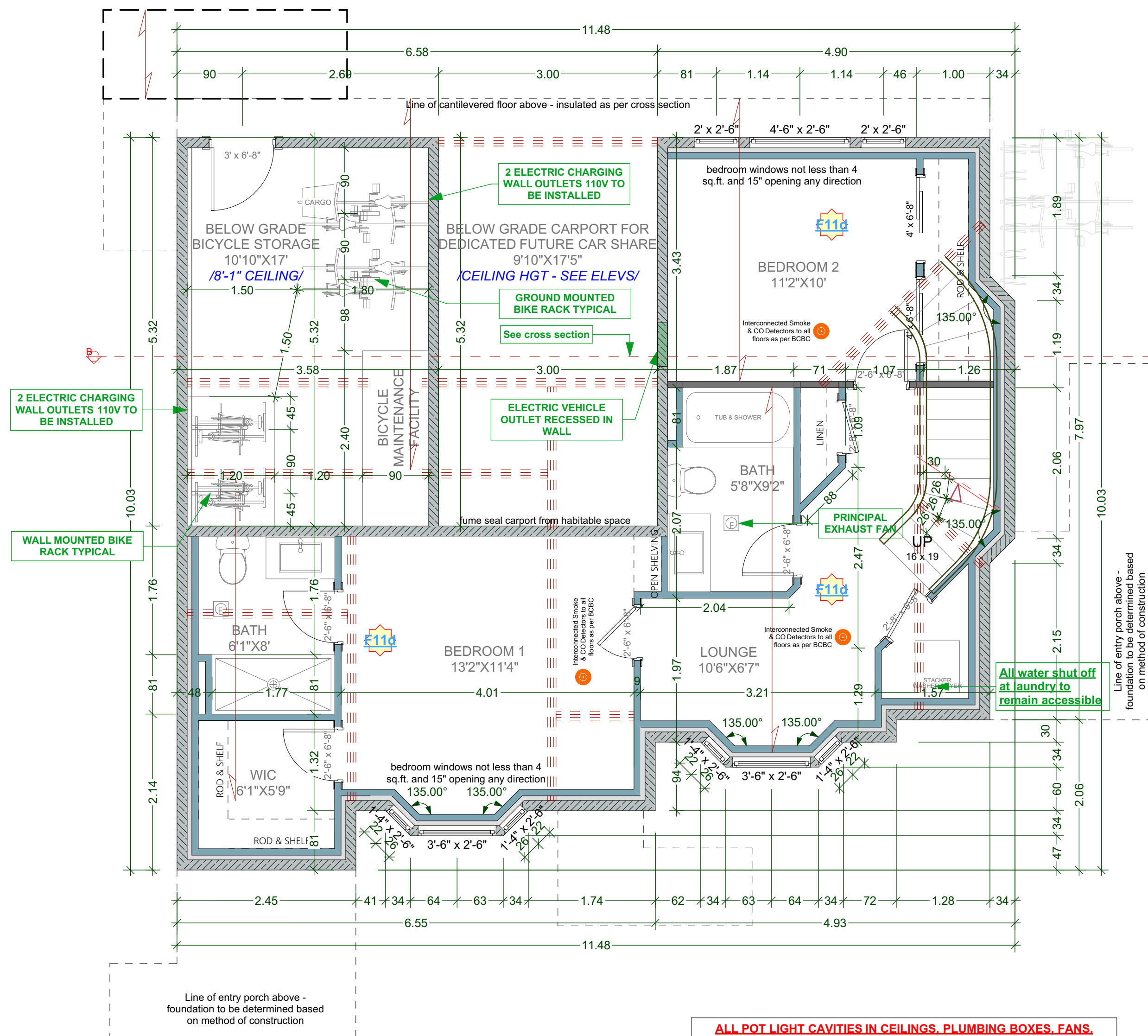
DRAWING NAME: CROSS SECTION - BLOCK A
FOUNDATION PLAN AND SOFFIT
DETAIL
DRAWING SCALE: SEE DRAWINGS

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B

BASEMENT FLOOR PLAN

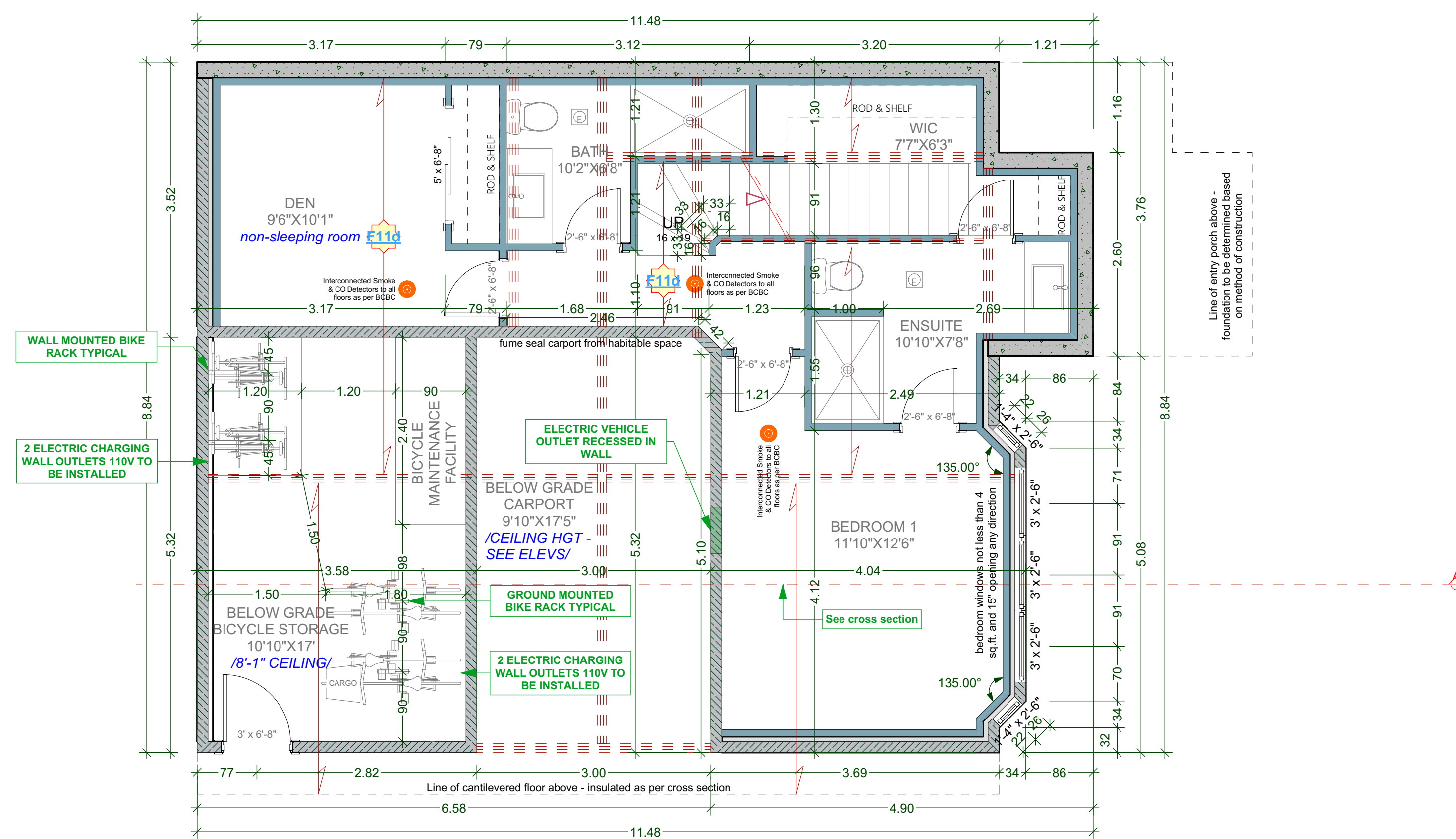


UNIT 007 AREA: 639.81 Sq Ft
BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, or OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
• on wood joists or wood joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board



A

BASEMENT FLOOR PLAN



UNIT 004 AREA: 568.55 Sq Ft
BICYCLE AREA: 184.28 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
• two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
• 89 mm thick absorptive material on each side
• 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
• one subfloor layer of 11mm sanded plywood, or OSB or waferboard
• one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
• on wood joists or wood joists spaced not more than 600 mm o.c.
• with absorptive material in cavity
• resilient metal channels spaced 400 mm o.c.
• 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
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VICTORIA**

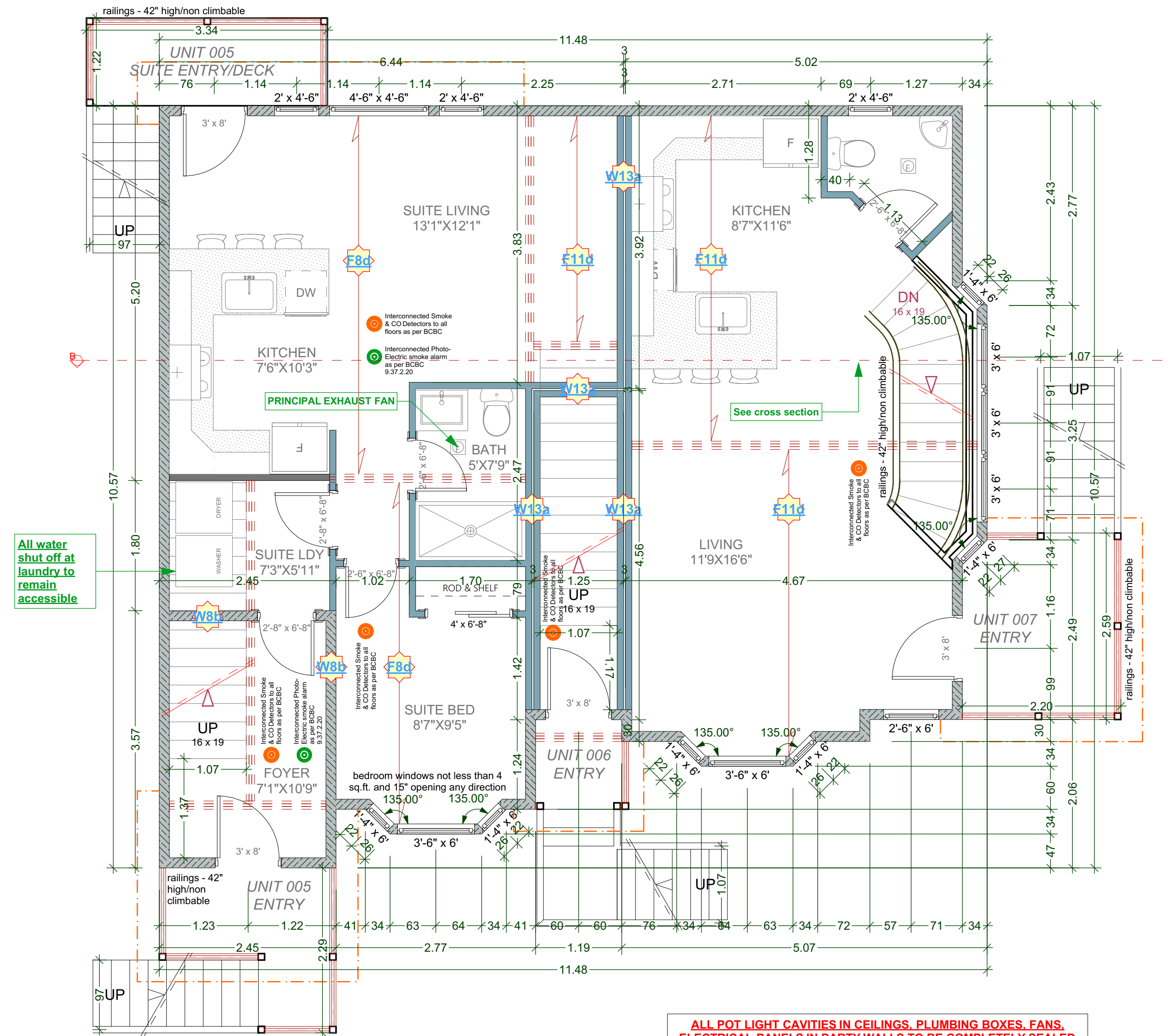
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BASEMENT FLOOR PLANS**
DRAWING SCALE:
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B LOWER FLOOR PLAN



UNIT 005 SUITE AREA: 503.83 Sq Ft
 UNIT 005 AREA: 84.02 Sq Ft
 UNIT 006 AREA: 59.32 Sq Ft
 UNIT 007 AREA: 430.37 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

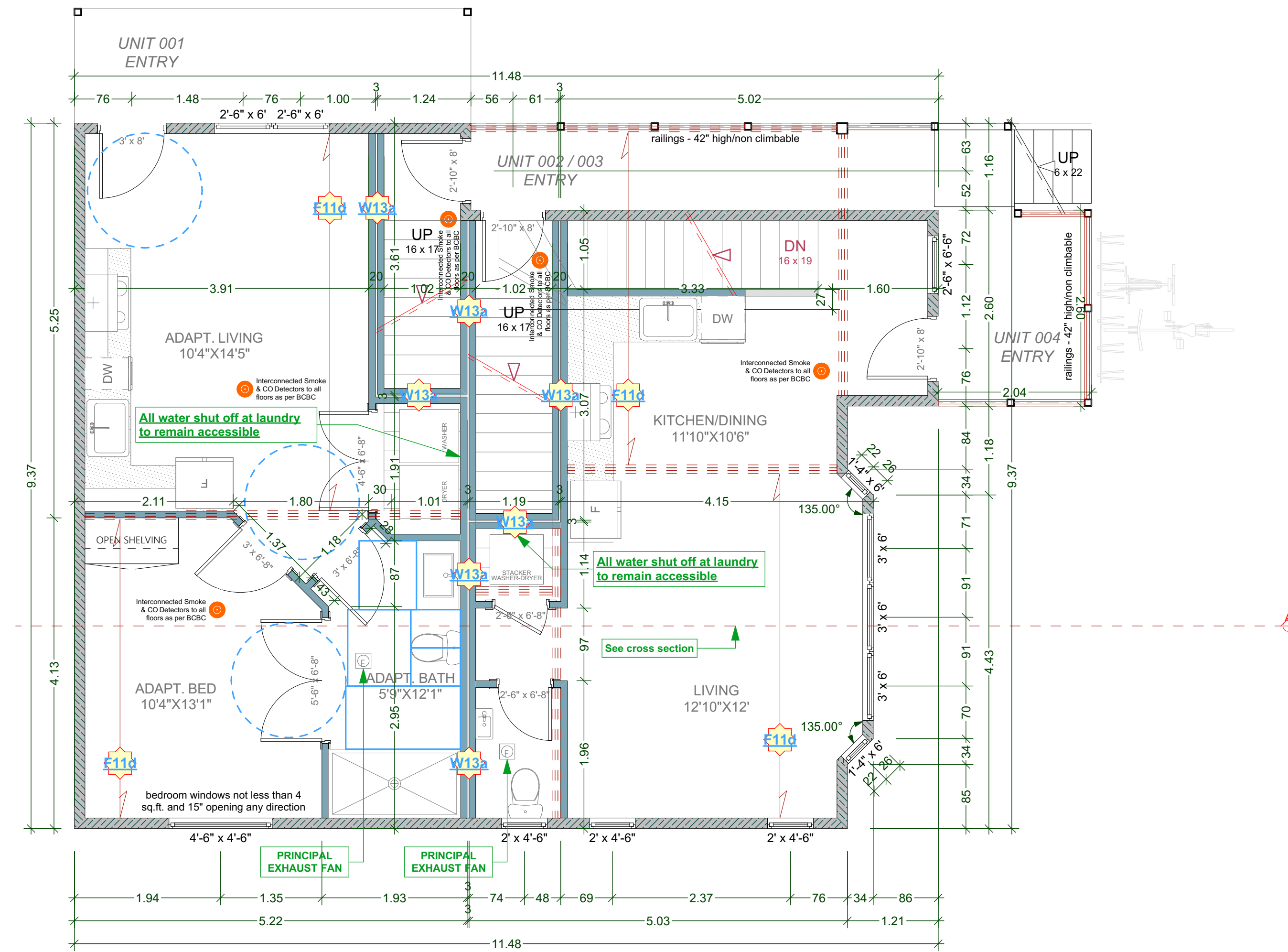
DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS.....IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING FLOOR: (30min as per F8d - Table A-9.10.3.1.B)
 • SUBFLOOR OF 15.5mm PLYWOOD, OSB OR WAFERBOARD, OR 17mm TONGUE AND GROOVE LUMBER
 • WOOD JOISTS OR WOOD I-JOISTS SPACED max of 600mm O.C.
 • ABSORPTIVE MATERIAL IN CAVITY
 • RESILIENT METAL CHANNELS SPACED 600mm
 • 15.9mm TYPE 'X' GYPSUM BOARD

DEMISING WALL: (45min as per W8b - Table A-9.10.3.1.A)
 • 2 layers of 12.7mm Type X gypsum board to one side
 • Two rows 38mm x 89mm studs spaced 600mm O.C. staggered on common 38mm x 140mm plate
 • 89mm thick absorptive material on one side
 • 12.7mm Type X gypsum board on other side



A LOWER FLOOR PLAN



UNIT 001 AREA: 451.24 Sq Ft
 UNIT 002 AREA: 43.52 Sq Ft
 UNIT 003 AREA: 51.14 Sq Ft
 UNIT 004 AREA: 408.22 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)
 • two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 • 89 mm thick absorptive material on each side
 • 1 layer of 15.9 mm Type X gypsum board on each side

DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)
 • one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 • one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 • on wood joists or wood I-joists spaced not more than 600 mm o.c.
 • with absorptive material in cavity
 • resilient metal channels spaced 400 mm o.c.
 • 15.9 mm Type X gypsum board

CUSTOMER:
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VICTORIA

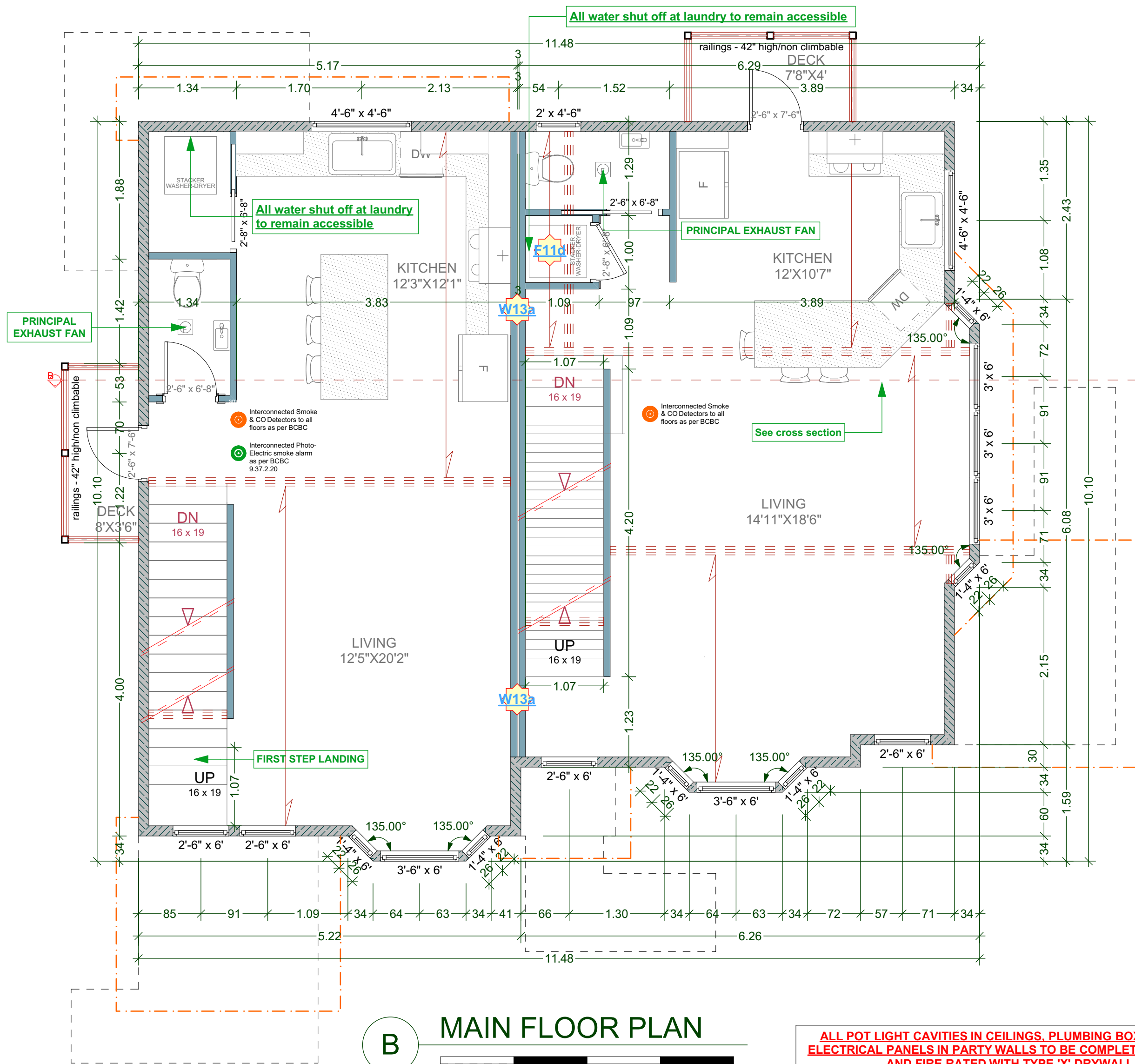
DRAWING NAME:
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 DRAWING SCALE:
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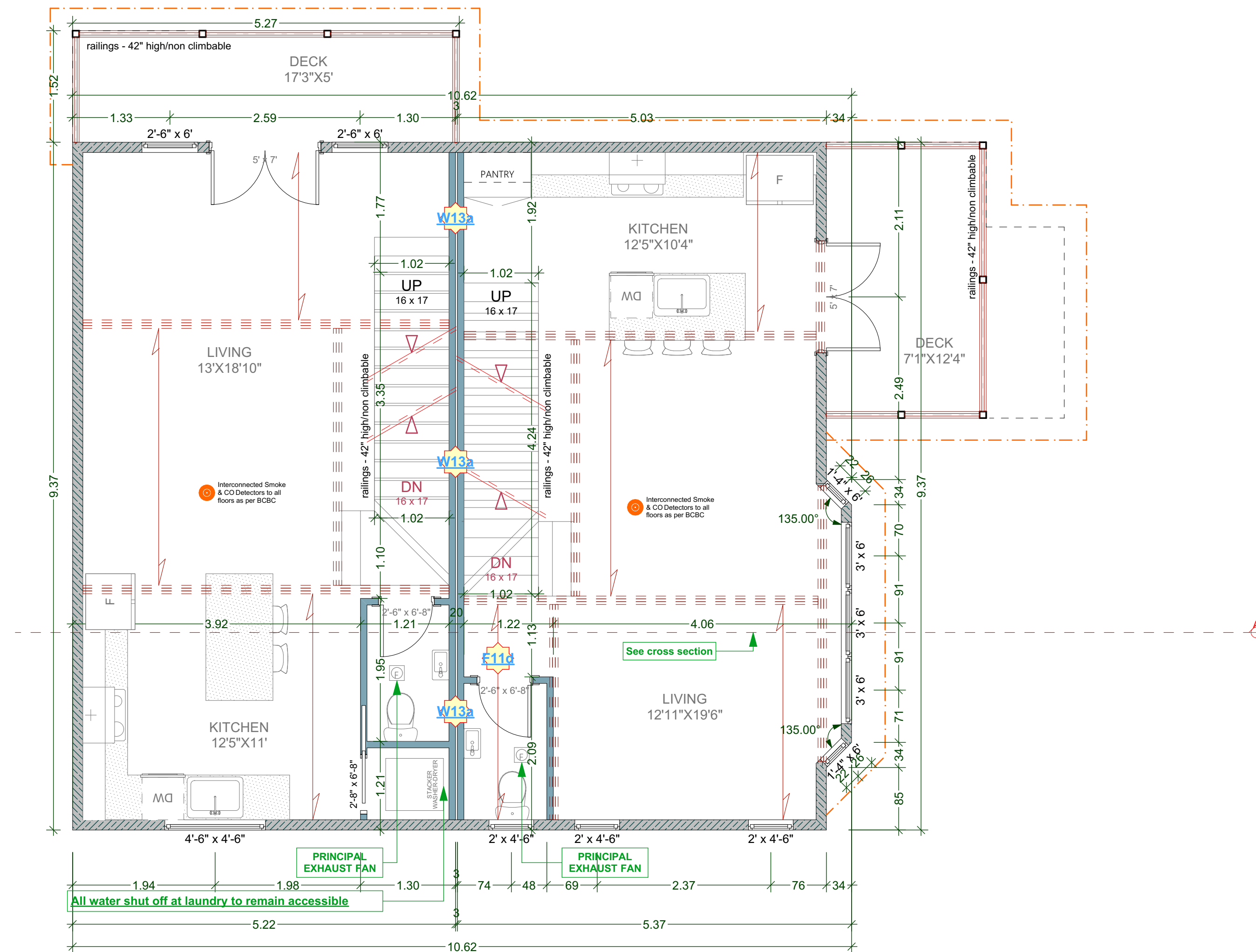


B MAIN FLOOR PLAN

UNIT 005 AREA: 517.42 Sq Ft
UNIT 006 AREA: 547.39 Sq Ft

ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

- DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.2 mm Type X gypsum board



A MAIN FLOOR PLAN

UNIT 002 AREA: 497.16 Sq Ft
UNIT 003 AREA: 491.44 Sq Ft

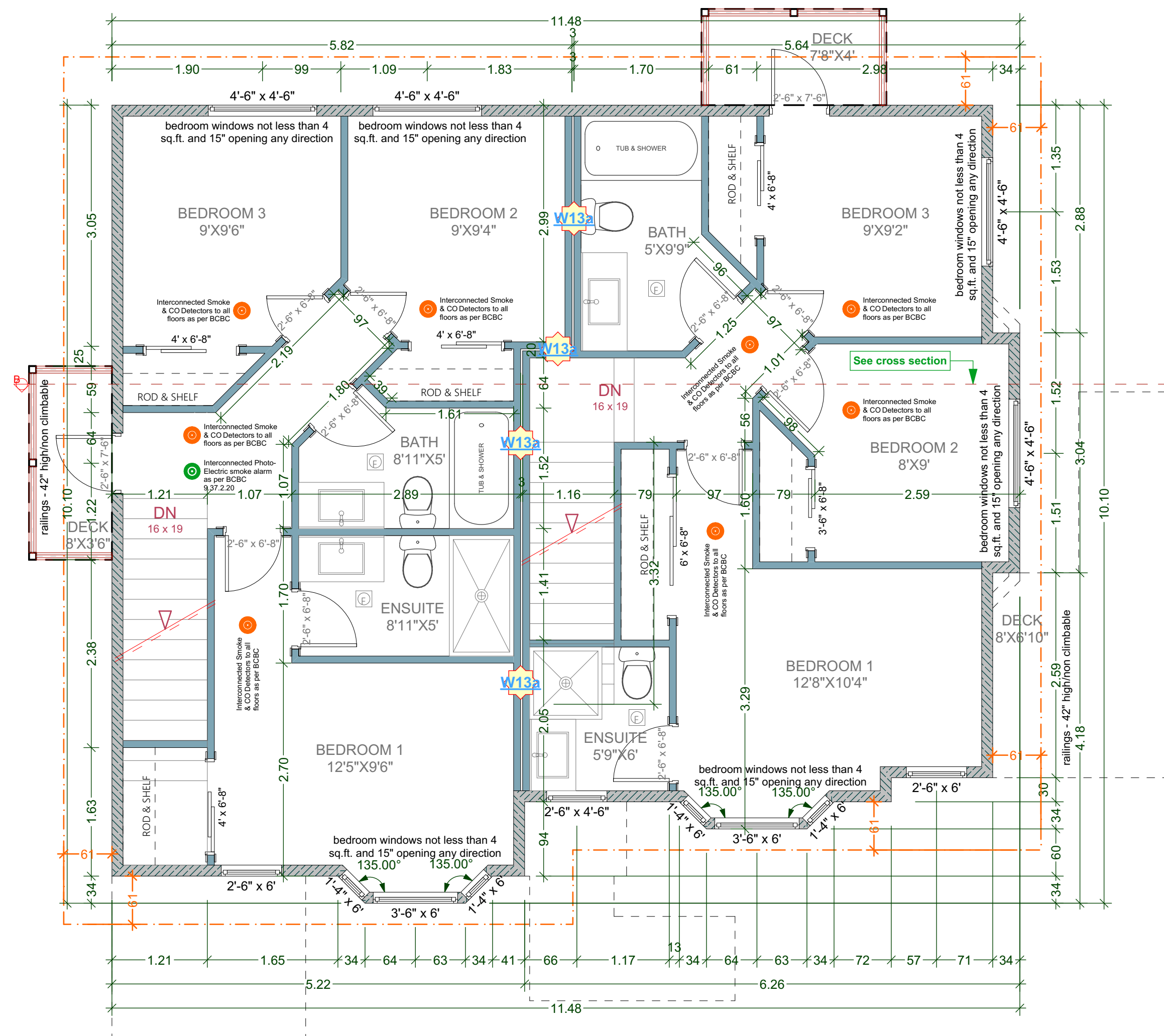
ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL

- DEMISING WALL:** (1h as per W13a - Table A-9.10.3.1.A)
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR:** (1h as per F11d - Table A-9.10.3.1.B)
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED
MAIN FLOOR PLANS**
DRAWING SCALE:
1/4"=1'-0"

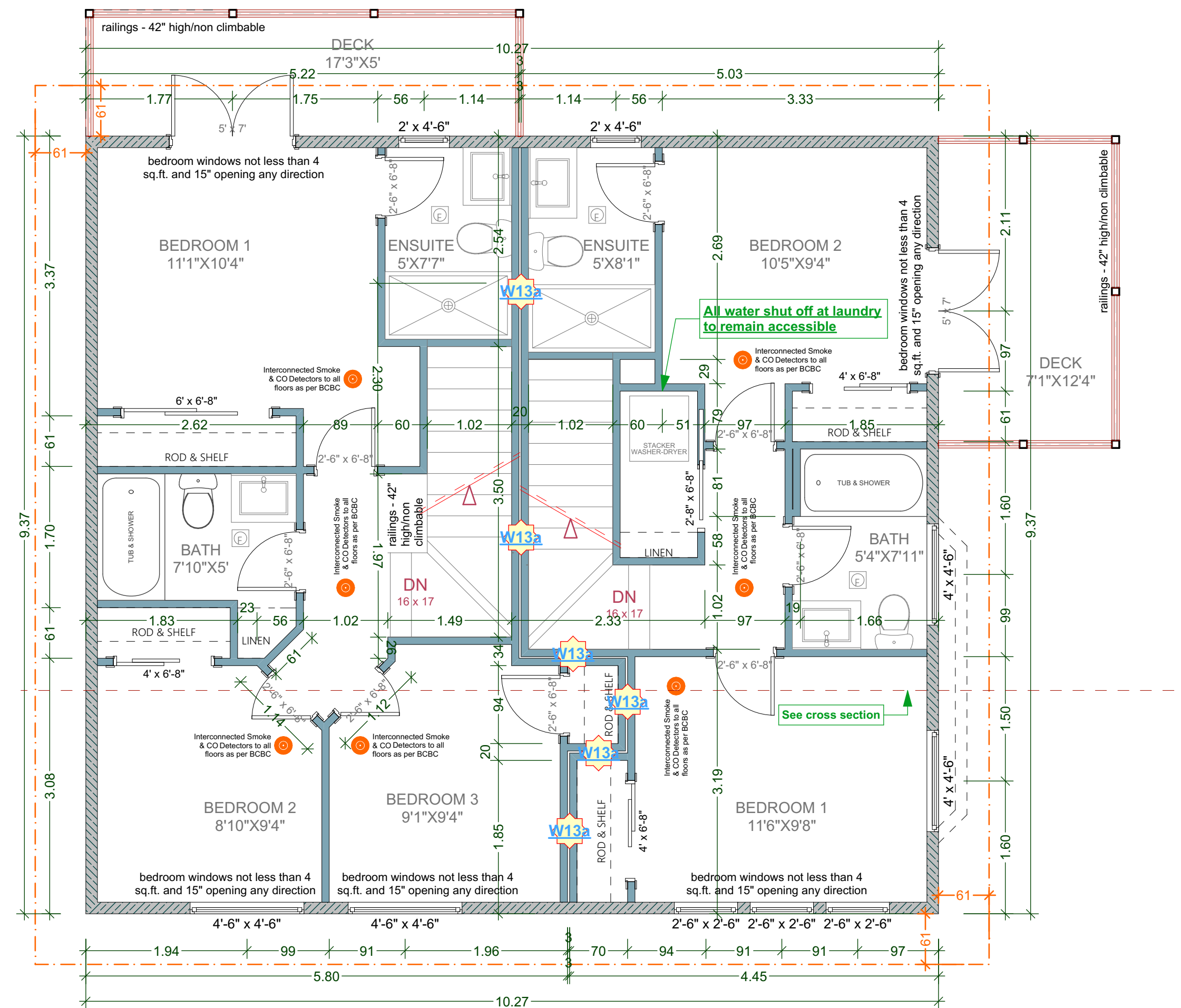
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B UPPER FLOOR PLAN

UNIT 005 AREA: 537.99 Sq Ft
UNIT 006 AREA: 523.99 Sq Ft

- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board



A UPPER FLOOR PLAN

UNIT 002 AREA: 524.06 Sq Ft
UNIT 003 AREA: 451.28 Sq Ft

- ALL POT LIGHT CAVITIES IN CEILINGS, PLUMBING BOXES, FANS, ELECTRICAL PANELS IN PARTY WALLS TO BE COMPLETELY SEALED AND FIRE RATED WITH TYPE 'X' DRYWALL**
- DEMISING WALL: (1h as per W13a - Table A-9.10.3.1.A)**
- two rows 38 mm x 89 mm studs, each spaced 400 mm or 600 mm o.c. on separate 38 mm x 89 mm plates set 25 mm apart
 - 89 mm thick absorptive material on each side
 - 1 layer of 15.9 mm Type X gypsum board on each side
- DEMISING FLOOR: (1h as per F11d - Table A-9.10.3.1.B)**
- one subfloor layer of 11mm sanded plywood, or OSB or waferboard
 - one subfloor layer of 15.5mm plywood, OSB or waferboard, or 17mm tongue and groove lumber
 - on wood joists or wood joists spaced not more than 600 mm o.c.
 - with absorptive material in cavity
 - resilient metal channels spaced 400 mm o.c.
 - 15.9 mm Type X gypsum board

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
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DRAWING NAME:
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UPPER FLOOR PLANS**
DRAWING SCALE:
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B PROPOSED SOUTH ELEVATION

HOLLYWOOD CRES.



A PROPOSED SOUTH ELEVATION

EXPOSING BUILDING FACE: 121.36 m²
LIMITING DISTANCE: 3.105 m
AREA OF GLAZED OPENINGS: 9.49 m²
% GLAZED OPENINGS: 7.82 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 9.71 m²

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1. 1734 HOLLYWOOD CRESCENT, VICTORIA

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DRAWING SCALE: 1/4"=1'-0"

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1726 HOLLYWOOD CRES
SCALE: 1/4" = 1' - 0"



EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANIF SPECS	F WALL FINISH:
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND:
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS:
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS:
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA:

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

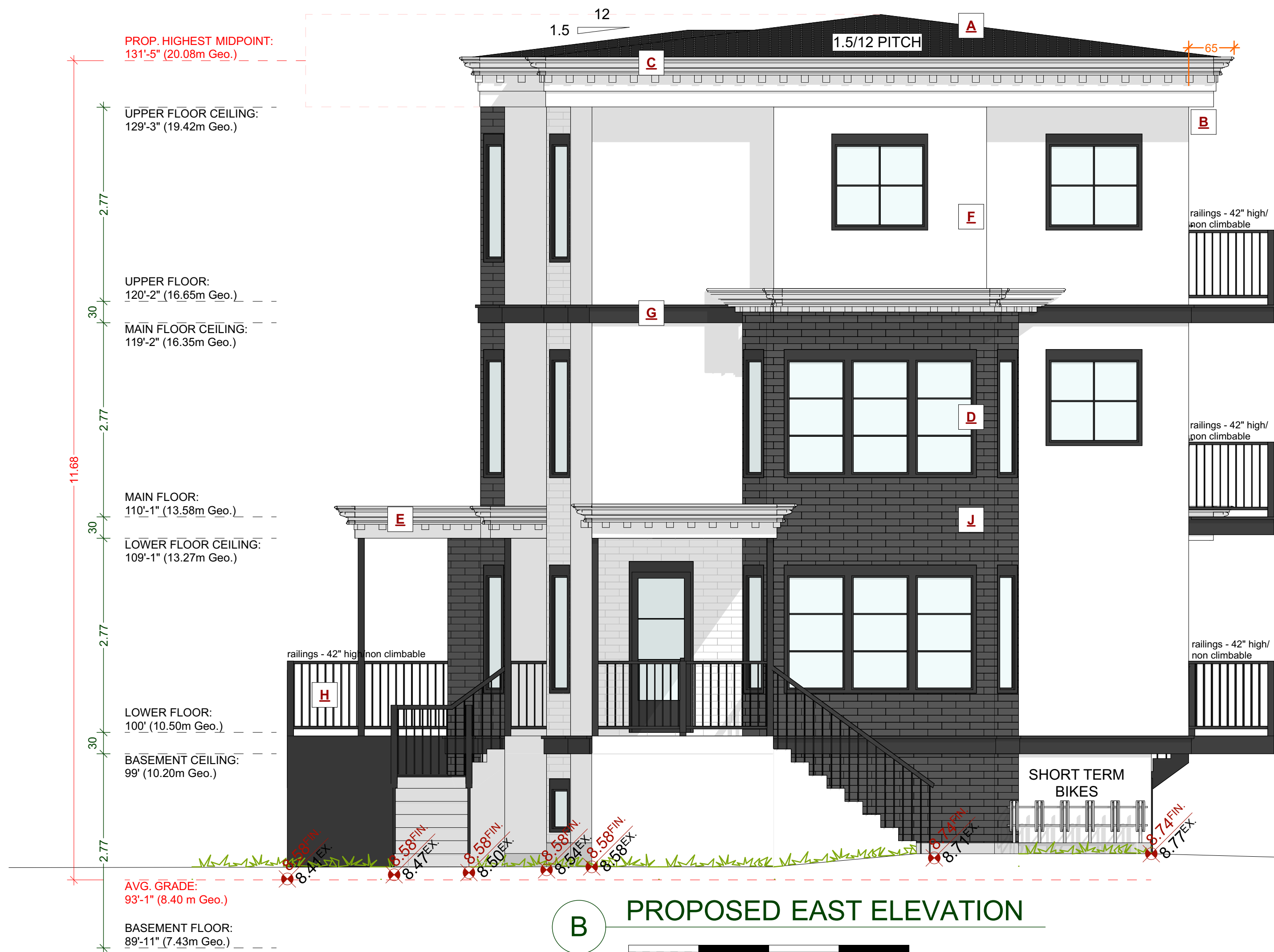
CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1. 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED HOLLYWOOD
CRES STREETSCAPE**
DRAWING SCALE:
1/4"=1'-0"

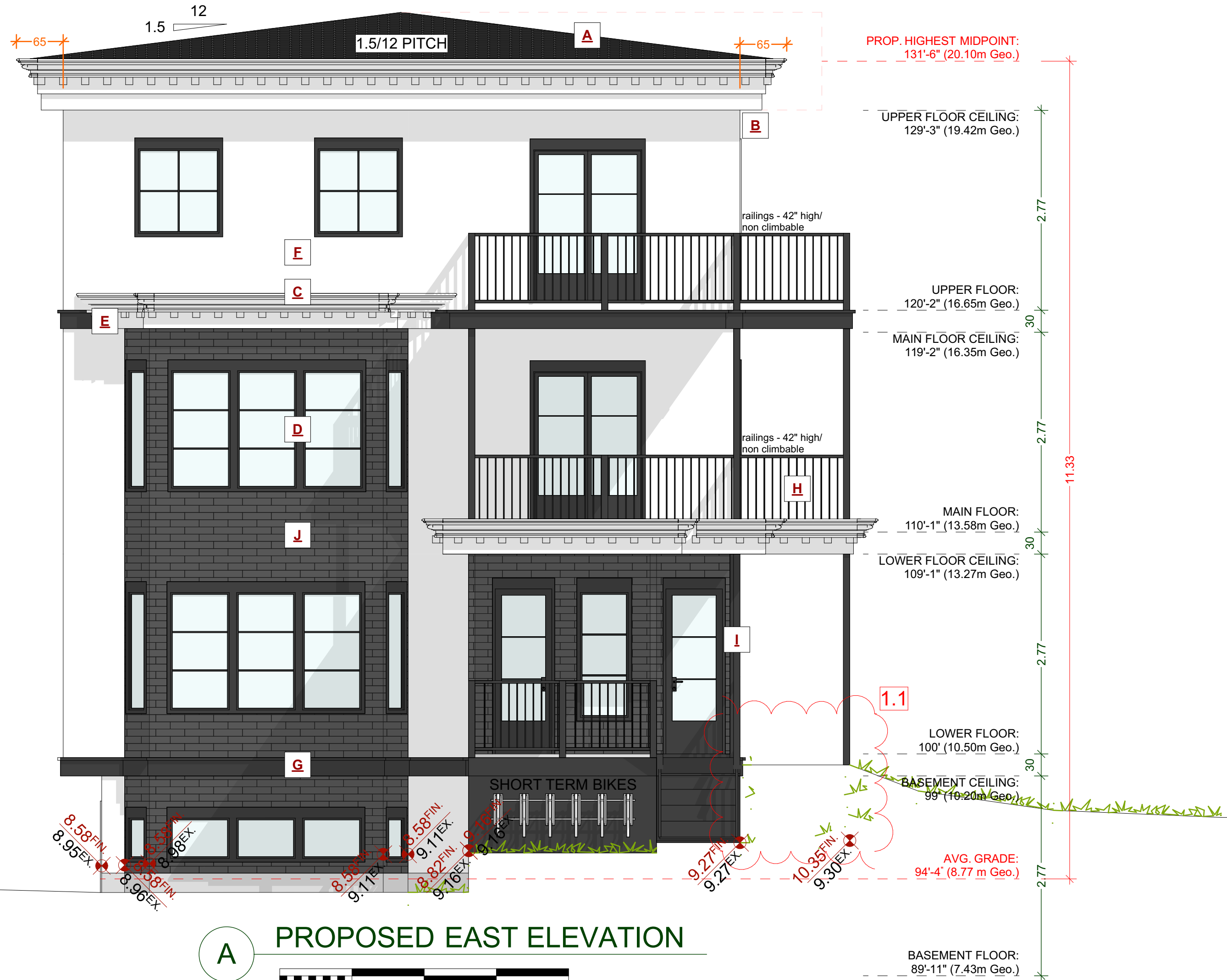
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PROPOSED EAST ELEVATION



PROPOSED EAST ELEVATION

ROBERTSON STREET

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED. SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINIUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.
-ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6, ALL OTHERS MUST BE LOWER.
-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

CUSTOMER:
AMIT AND KARISHMA SETHI
ADDRESS:
**LOT 1, 1734 HOLLYWOOD CRESCENT,
VICTORIA**

DRAWING NAME:
**PROPOSED REAR AND
RIGHT ELEVATIONS**
DRAWING SCALE:
1/4"=1'-0"

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PROPOSED NORTH ELEVATION

EXPOSING BUILDING FACE: 101.43 m²
LIMITING DISTANCE: 7.52 m
AREA OF GLAZED OPENINGS: 11.40 m²
% GLAZED OPENINGS: 11.24 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 55.75 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 56.55 m²



PROPOSED NORTH ELEVATION

EXPOSING BUILDING FACE: 132.21 m²
LIMITING DISTANCE: 3.105 m
AREA OF GLAZED OPENINGS: 10.53 m²
% GLAZED OPENINGS: 7.97 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits
PERMITTED % OF GLAZED OPENINGS (as per Table 9.10.15.4): 8.00 %
PERMITTED AGGREGATE AREA OF GLAZED OPENINGS: 10.58 m²

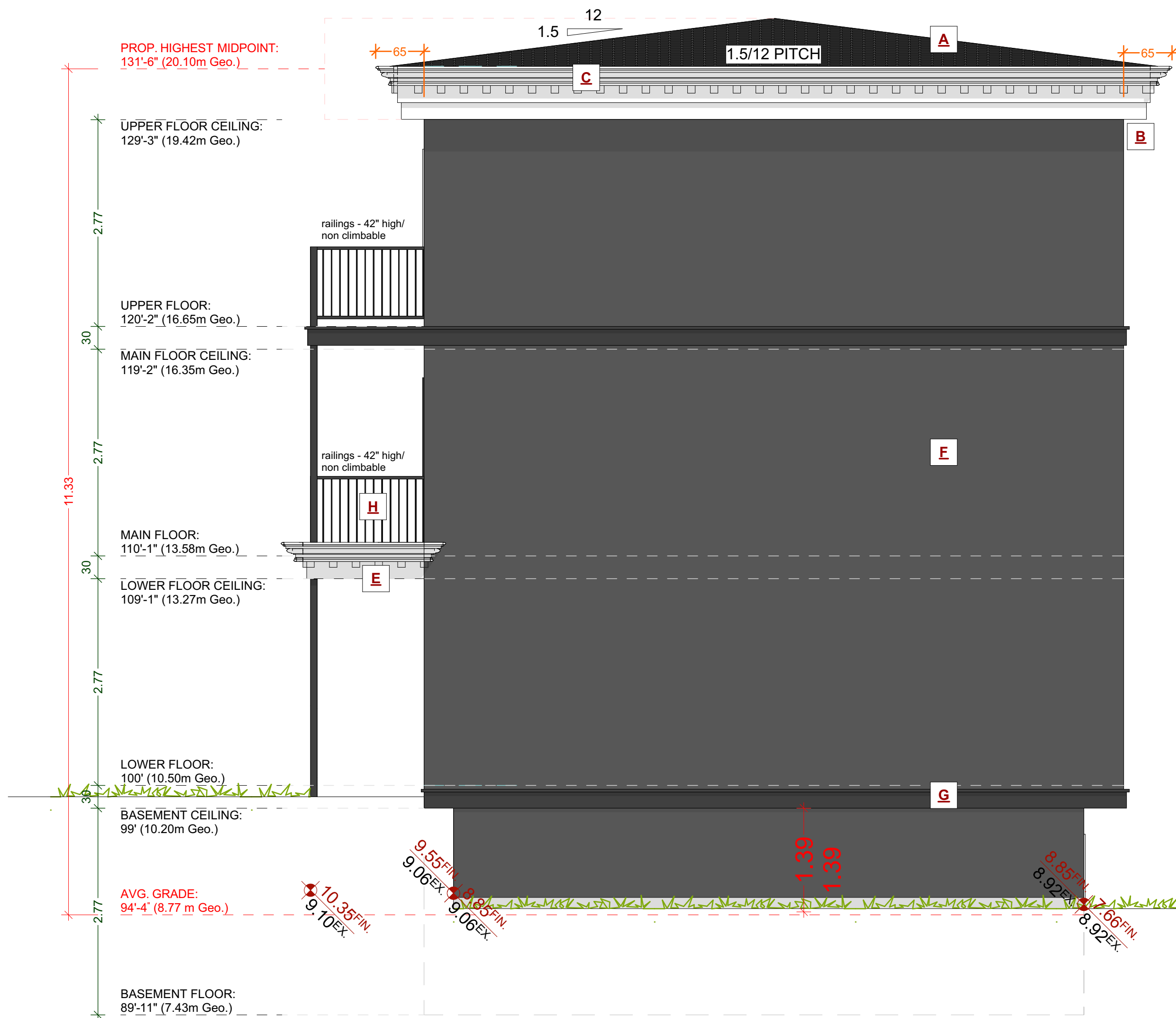
EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	E WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
C	CROWN MOULDING:	CUSTOM ROOF MOULDING DESIGNED AS PER ELEVATIONS - PAINTED AS PER OWNERS SPECS	H RAILINGS: ALUMINUM RAILINGS - 42" HIGH/ NON CLIMBABLE
D	WINDOW & DOOR TRIM:	1x4 TRIM BOARDS - PAINTED/ STAINED	I POSTS: PAINTED WOOD POSTS - SEE ELEVATIONS/PLANS FOR SIZE
E	DENTAL BLOCKS:	3X4 DECORATIVE DENTAL BLOCKS W/IN ROOF MOULDING AND TRIM - PAINTED/ STAINED AS PER OWNERS SPECS - SEE ELEVATIONS	J BRICK FASCIA: ACCENT BRICK FASCIA - OWNER TO CONFIRM MATERIAL AND FINISH - SEE ELEVATIONS

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-GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RSI OF 1.1

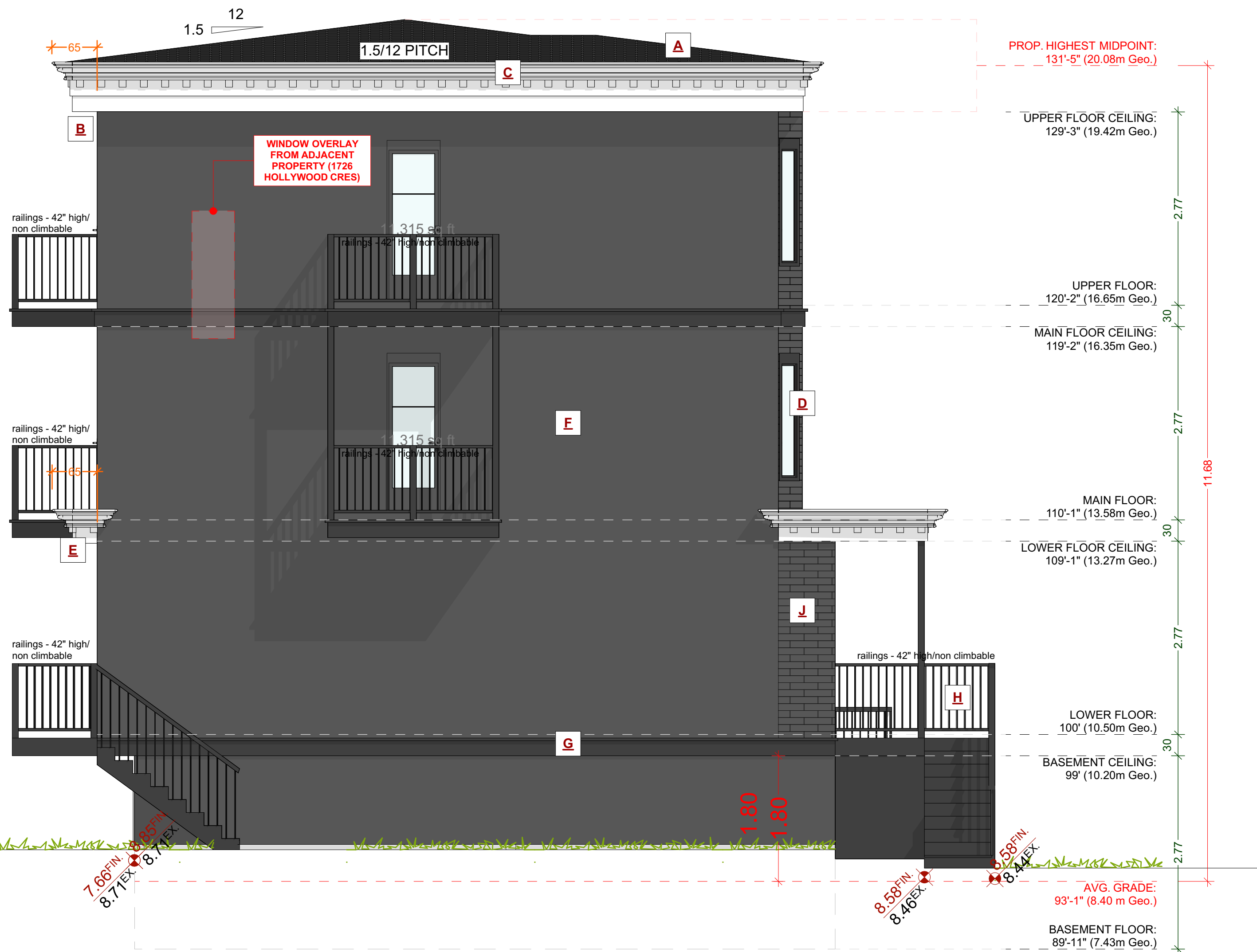
CUSTOMER: AMIT AND KARISHMA SETHI
ADDRESS: LOT 1. 1734 HOLLYWOOD CRESCENT, VICTORIA

DRAWING NAME: PROPOSED WEST ELEVATIONS
- BLOCK A AND B
DRAWING SCALE: 1/4"=1'-0"

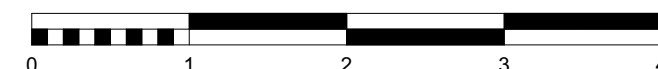
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A PROPOSED WEST ELEVATION



B PROPOSED WEST ELEVATION



EXPOSING BUILDING FACE: 108.29 m²
LIMITING DISTANCE: 3.29 m
AREA OF GLAZED OPENINGS: 2.10 m²
% GLAZED OPENINGS: 1.94 %
45 min FIRE-RESISTANCE RATING: not required
TYPE OF CLADDING: no limits

1,165.612 sq ft

EXTERIOR FINISHES SCHEDULE			
A	ROOFING:	LOW SLOPE ASPHALT ROOFING WITH RAISED RIDGE & HIP CAPS & MEMBRANE AS PER MANF SPECS	F WALL FINISH: SMOOTH ACRYLIC STUCCO - SEE OWNER FOR TEXTURE / FINISH - RAIN SCREEN AS PER BCBC
B	GUTTER & SOFFIT:	HIDDEN GUTTER WITH TJI RIM BOARD AND 1x10 FASCIA BOARD. ALUMINUM SOFFITS - VENTED, SEE ELEVATIONS	G BELLY BAND: 2x10 BELLY BAND W/ 2X2 DETAILS PAINTED C/W FLASHING, COLOUR AS PER OWNERS SPECS
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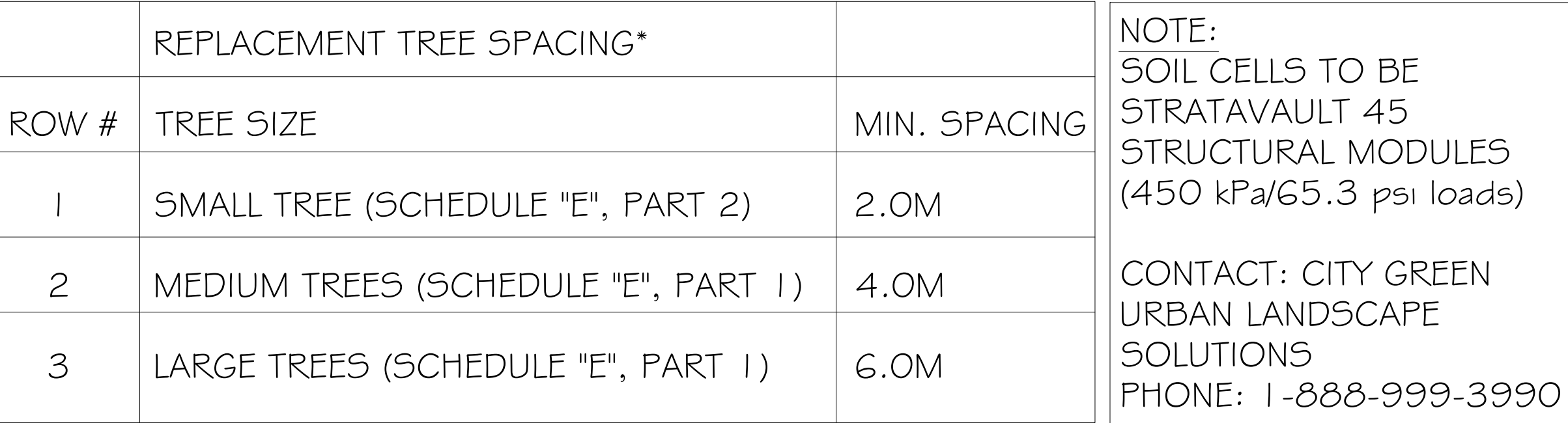
DRAWING NAME:
**PROPOSED WEST ELEVATIONS
- BLOCK A AND B**
DRAWING SCALE:
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SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

				Replacement Trees Proposed			Soil Volume Required (m³)			
Planting Area ID	Area (m²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m³)	B # Small	C # Medium	D # Large	B # Small	C # Medium	D # Large	Total**
				ONSITE						
1	20	1.5M	30		1			1		30
2	15	1.0M	15		1			1		15
3	15	1.0M	15		1			1		15
4	15	1.0M	15		1			1		15
5	12	1.5M	18		1			1		15
6	10	1.5M	15		1			1		15

Notes:

- (1) All soil volume calculations are for replacement trees only
- (2) All replacement trees are ONSITE
- (3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
- (4) All replacement trees meet soil volume requirements for this project.



USABLE PLANTING SOIL VOLUME
FOR EACH REPLACEMENT TREE