

# 9 Unit Multi-Family Development Rezoning & Development Permit Application 600 Dallas Rd.

Nov 12th., 2025



VIEW LOOKING NORTH-EAST



600 DALLAS ROAD  
Project Location

LOCATION PLAN

| SITE STATISTICS                                  |                                                                                          |
|--------------------------------------------------|------------------------------------------------------------------------------------------|
| Zone R-2 Two Family Dwelling District (Existing) | (Proposed) Site Specific                                                                 |
| Total Site area (m2)                             | 721m2 (7,760.8 sq.ft.)                                                                   |
| - Site Area Post Road Dedication (m2)            | 651.40m2 (7,011.6 sq.ft.)                                                                |
| - Area of Road Dedication (m2)                   | 69.60m2 (749.2 sq.ft.)                                                                   |
| Total Floor area (m2)                            | 1,099.12m2 (See Area Calculations Table)                                                 |
| Floor Space Ratio                                | 1,099.12 ÷ 721 = 1.52 : 1                                                                |
| Lot Coverage (%)                                 | 455.00 m2 / 69.84%                                                                       |
| Lot Area                                         |                                                                                          |
| Main Structure = 448.00m2                        |                                                                                          |
| Short-Term Bicycle Shed = 7.00 m2                |                                                                                          |
| Total = 455.00 m2                                |                                                                                          |
| Lot Area Structures ÷ Lot Area                   | = 651.40m2 = .698 or 69.84%                                                              |
| Number of storeys                                | 4 Storeys                                                                                |
| Parking stalls (number) on site                  | 11 Spaces Req'd, 7 Spaces Provided Including 1 Van Accessible (See Calculations at Left) |
| Bicycle parking number (Class 1 and Class 2)     | See Parking Calculations Table                                                           |
| Average Grade                                    | 16.85m Geodetic                                                                          |
| Height of Building (Above Average Grade)         | 12.55 m (41'-2")                                                                         |
| Building Setbacks (m)                            |                                                                                          |
| Front Lot Line (South)                           | 3.0m (9'-10")                                                                            |
| Rear Lot Line (North)                            | 3.10m (26'-7")                                                                           |
| Side Lot Line (West)                             | 2.085m (6'-10") (0m to Property Line at Parkade Level)                                   |
| Side Lot Line (East)                             | 1.938m (6'-4 1/2")                                                                       |

| Parking Calculations:                                                                               |           |
|-----------------------------------------------------------------------------------------------------|-----------|
| Apartment (Rental Dwelling Units Secured in Perpetuity) in "Other" Area                             |           |
| 1 - Unit @ .75 Per Unit = .75 or 1                                                                  |           |
| 8 - Units @ 1.30 Per Unit = 10.4 or 10                                                              |           |
| Sub-Total Spaces                                                                                    | 11        |
| ( 1 Space Required To Be Accessible)                                                                |           |
| Visitor Parking Req'd 11 x .1 = 1.1 OR 1                                                            |           |
| Total Parking Required                                                                              | 12 Spaces |
| 7 Stalls Provided over 1 Level Of At-grade Covered Parking Including 1 Van Accessible and 1 Visitor |           |
| (3 Space Deficit)                                                                                   |           |
| All Spaces To Have Electric Charging Stations                                                       |           |
| Bicycle Parking Required:                                                                           |           |
| Long Term:                                                                                          |           |
| 1 per dwelling unit < 45m2 = 1                                                                      |           |
| 1.25 per dwelling unit > 45m2 (8 units) = 10                                                        |           |
| Total Bike Spaces Required                                                                          | = 11      |
| 12 Bike Spaces Provided Including 4 Cargo Bike Areas & Bike Wash Station                            |           |
| Short Term:                                                                                         |           |
| 1 - 6 Space Bike Rack Provided Within 15m Of Front Entry Distance to Visitor Access Entry is 9m     |           |

| Unit Mix & Areas<br>(Note: Area for units below measured to inside of finished walls) |                              |        |                                                          |
|---------------------------------------------------------------------------------------|------------------------------|--------|----------------------------------------------------------|
| Floor Level                                                                           | Unit Type                    | Unit # | Area                                                     |
| Main (Parkade)                                                                        | 1 Bedroom (Including Office) | 101    | 93.23m2 (1003.52s.f.) (Including Office area of 38.46m2) |
|                                                                                       | 2 Bedroom                    | 201    | 95.31m2 (1,025.91s.f.)                                   |
| Second                                                                                | 2 Bedroom                    | 202    | 103.13 (1,110.08s.f.)                                    |
|                                                                                       | 1 Bedroom                    | 103    | 76.39m2 (822.25s.f.)                                     |
| Third                                                                                 | 2 Bedroom                    | 301    | 95.31m2 (1,025.91s.f.)                                   |
|                                                                                       | 2 Bedroom                    | 302    | 103.13 (1,110.08s.f.)                                    |
|                                                                                       | 1 Bedroom                    | 303    | 76.39m2 (822.25s.f.)                                     |
| Fourth (Penthouse)                                                                    | 3 Bedroom                    | 401    | 108.66m2 (1,169.60s.f.)                                  |
|                                                                                       | 2 Bedroom                    | 402    | 66.69m2 (717.84s.f.)                                     |
| SUBTOTAL UNITS                                                                        | 1 Bedroom                    | 3      | 33.33%                                                   |
|                                                                                       | 2 Bedroom                    | 5      | 55.56%                                                   |
|                                                                                       | 3 Bedroom                    | 1      | 11.11%                                                   |
| TOTAL # OF SUITES                                                                     |                              | 9      |                                                          |
| TOTAL SUITE AREA                                                                      |                              |        | 818.24m2 (8,807.46s.f.)                                  |

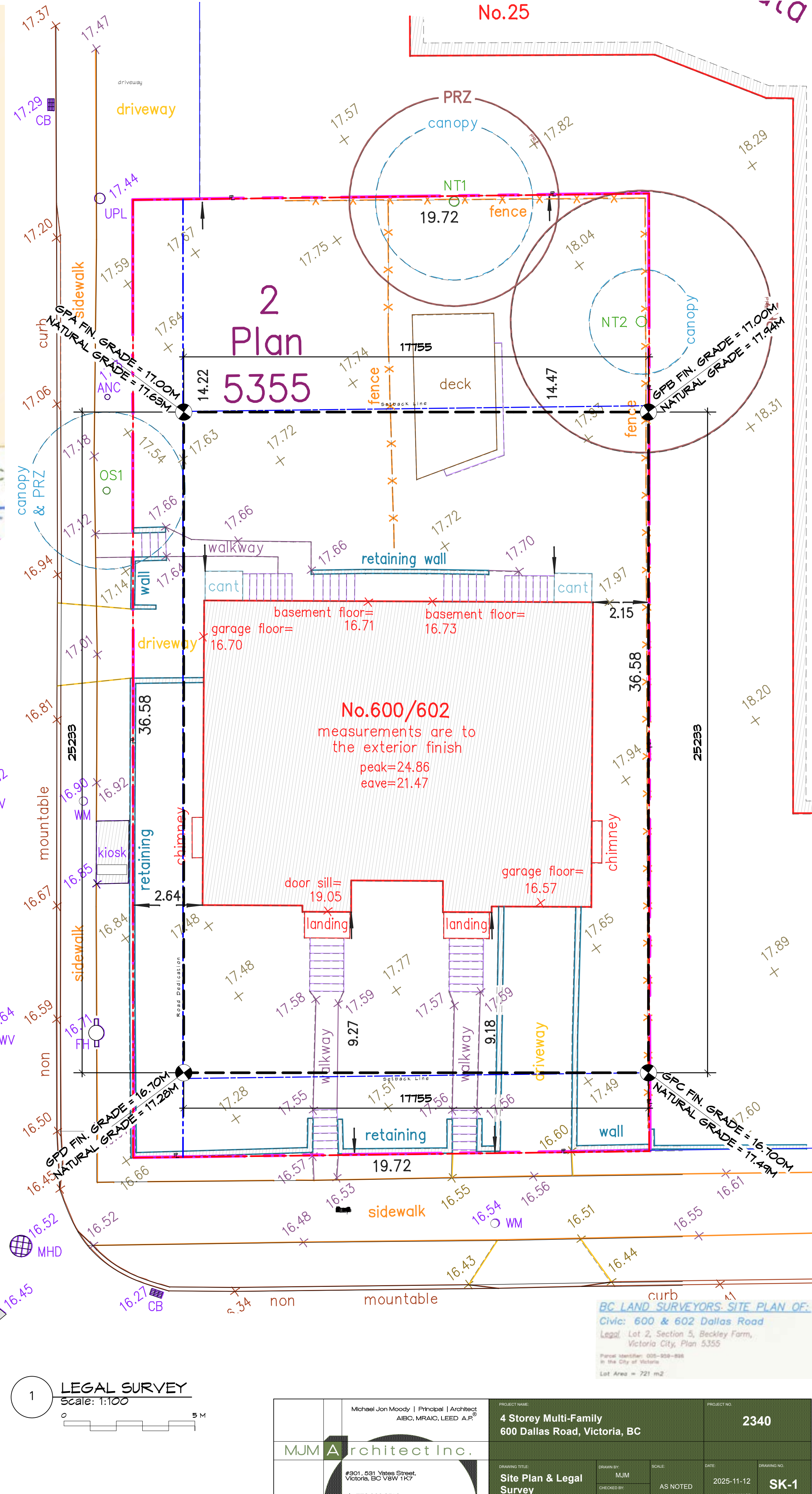
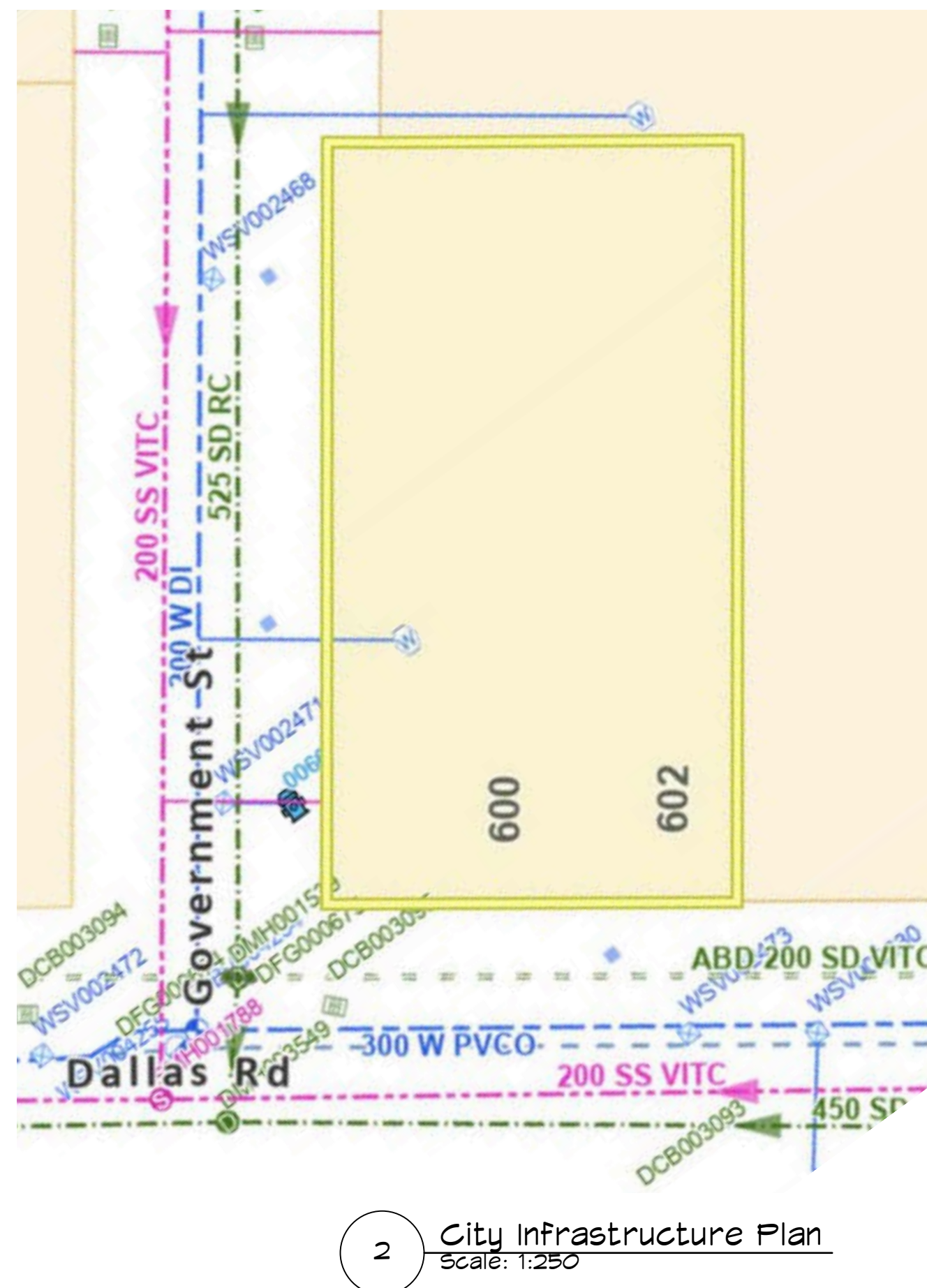
| Area Calculations:                                         |                              |
|------------------------------------------------------------|------------------------------|
| Site Area = 721 m2                                         |                              |
| Parkade Level (Excludes Parking & Bicycle)                 | = 160.05m2 (1,722.76s.f.)    |
| Floor Levels 2 & 3 (2 x 338.52m2 Ea.) (Excludes Balconies) | = 677.04m2 (7,287.59s.f.)    |
| Penthouse Level 4 (Excludes Balconies)                     | = 237.44m2 (2,555.78s.f.)    |
| Roof                                                       | = 25.19m2 (271.14s.f.)       |
| Total Floor Area =                                         | = 1,099.12m2 (11,837.24s.f.) |
| FSR : 1,099.12 ÷ 721 = 1.52 : 1                            |                              |



Revisions

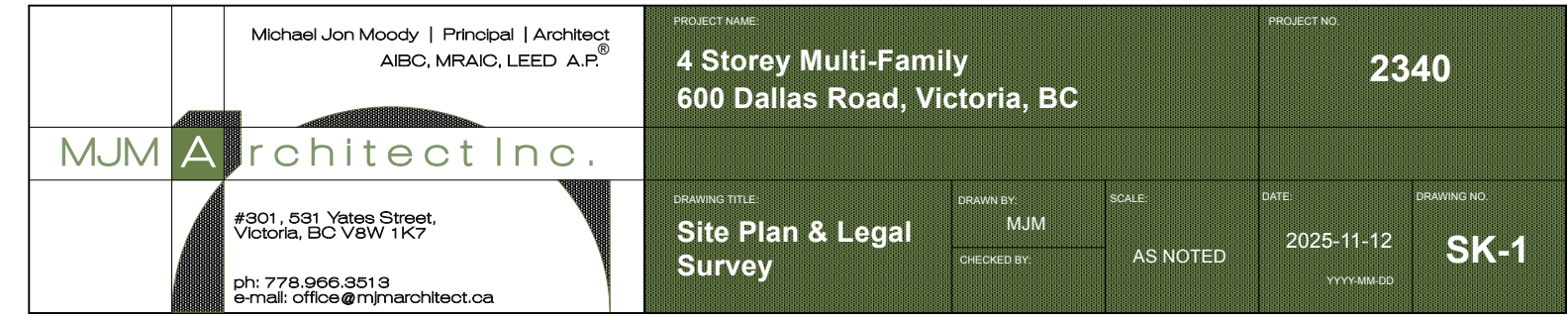
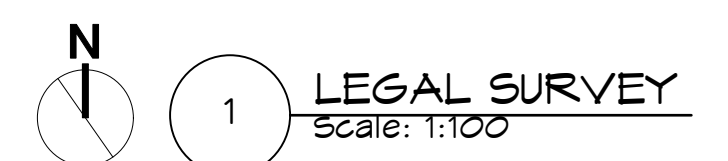
Received Date:  
November 19, 2025

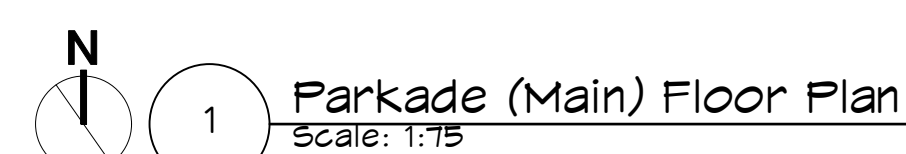
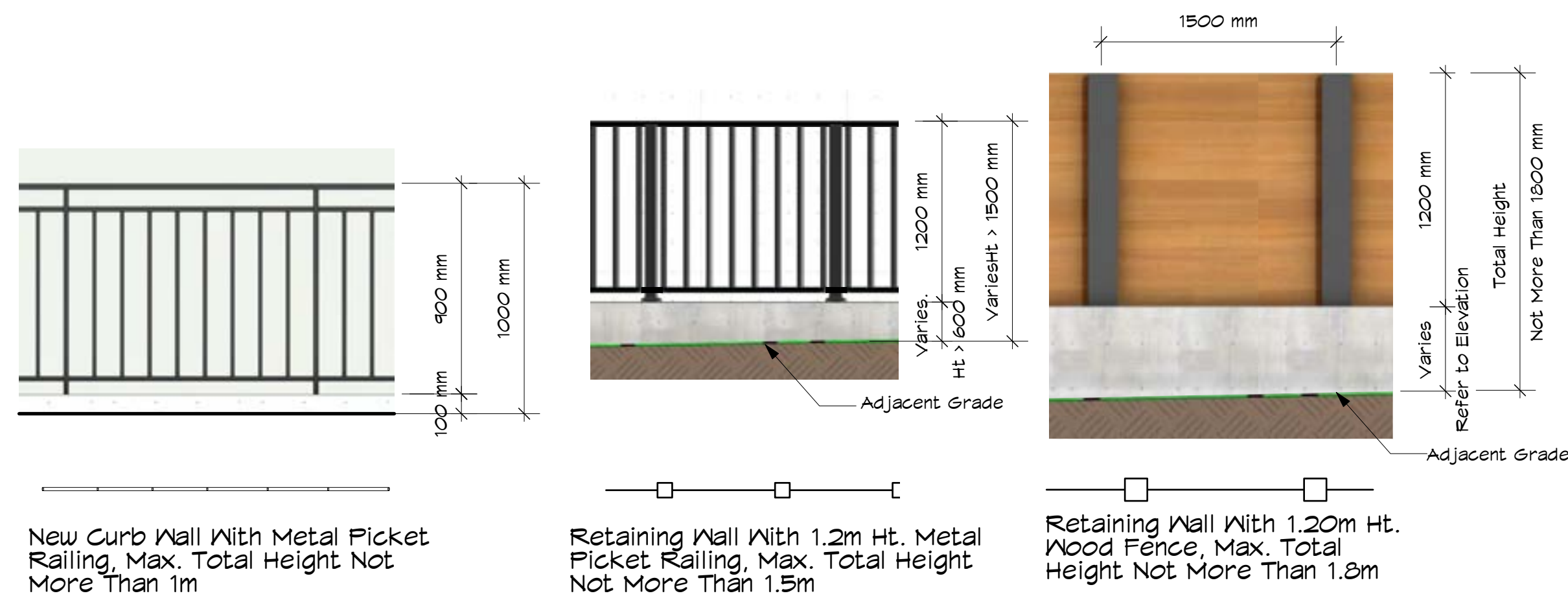
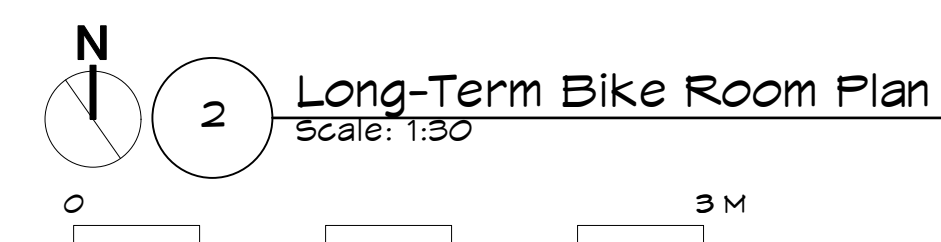
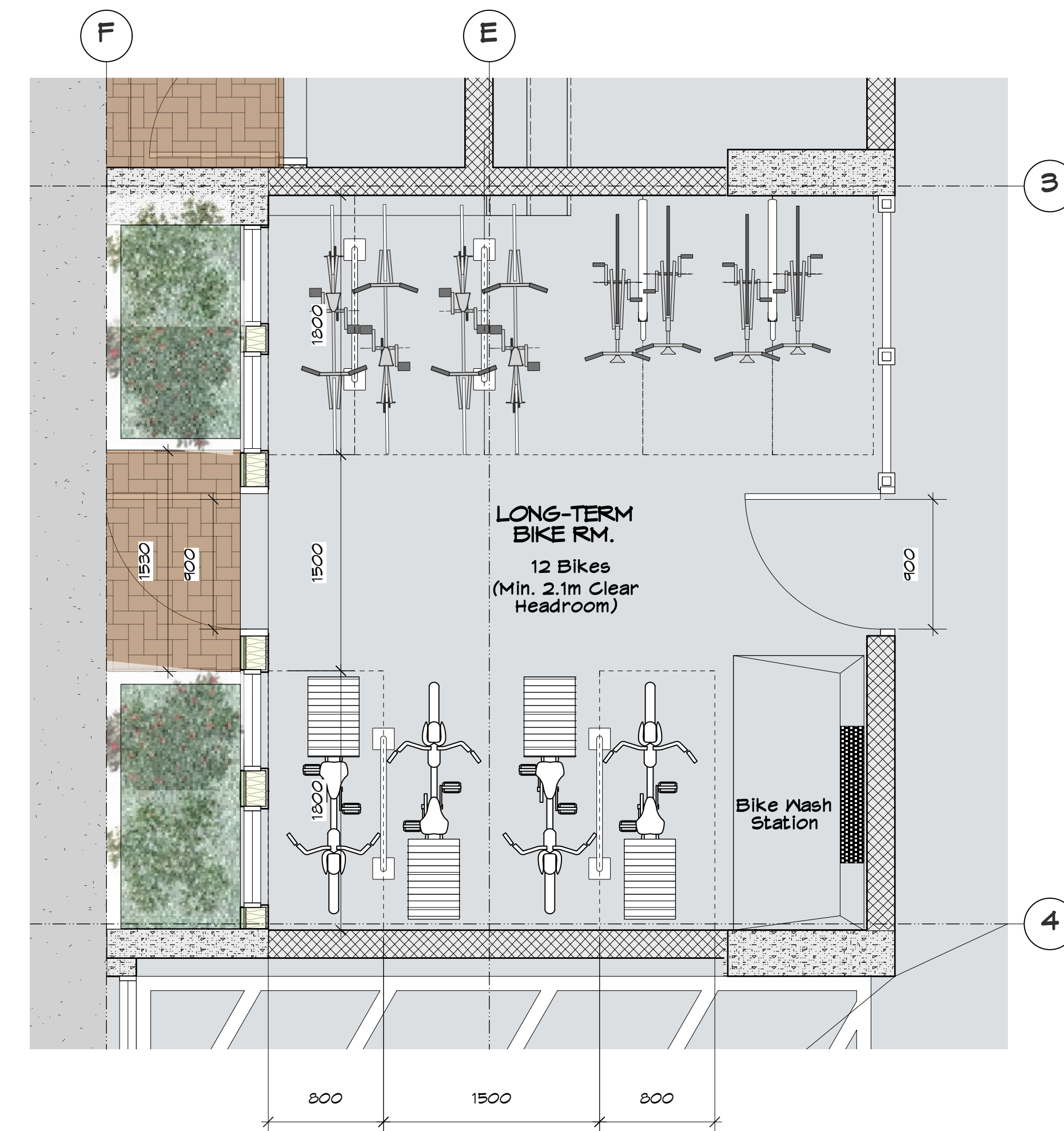
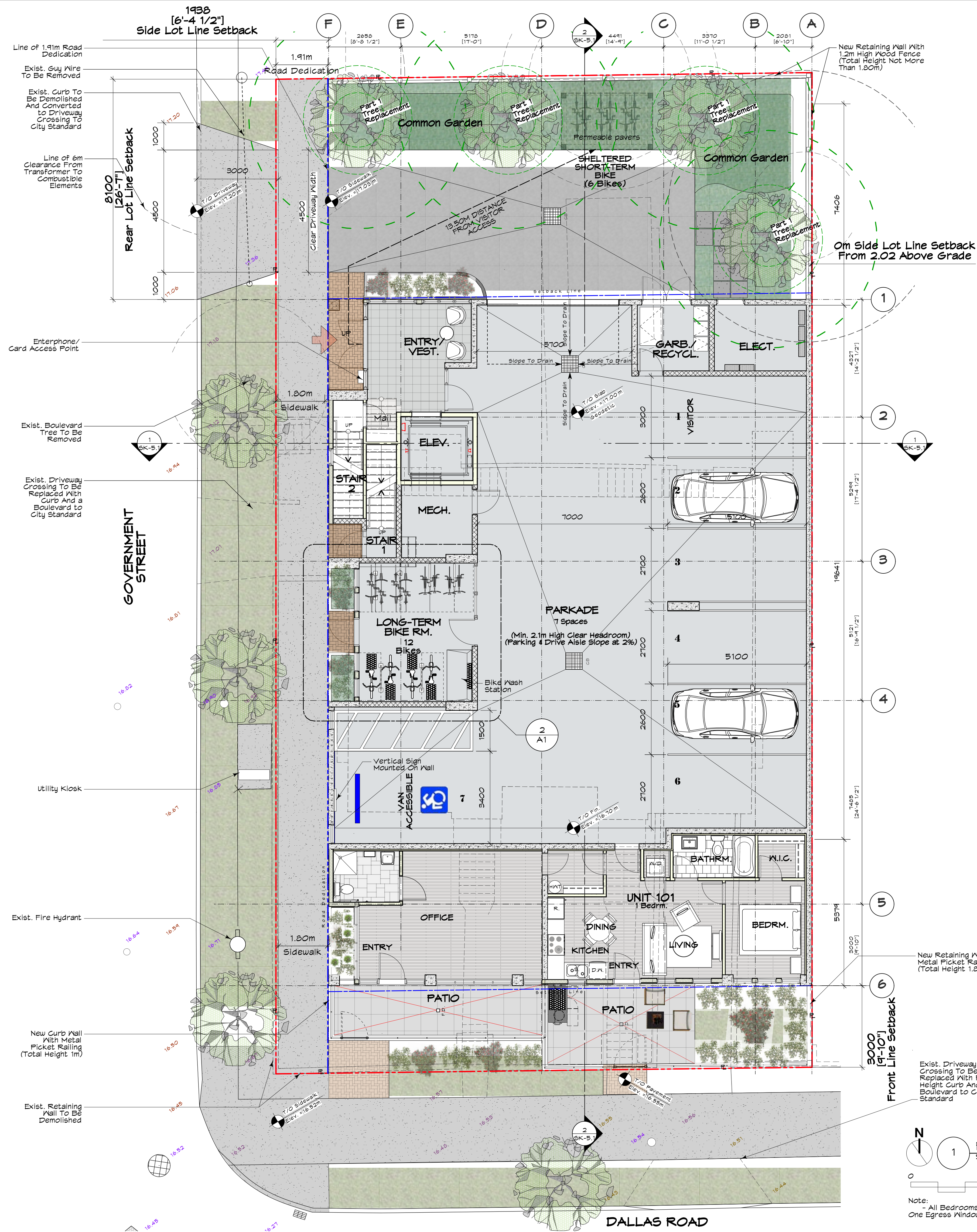
|                                                                                                                           |                                                                                 |                 |                                                                        |                    |                     |  |
|---------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|-----------------|------------------------------------------------------------------------|--------------------|---------------------|--|
| MJM Architect Inc.<br>#801, 585 Yates Street,<br>Victoria BC V8W 1G7<br>ph: 778.966.8018<br>email: office@mjmarchitect.ca | Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup> |                 | PROJECT NAME<br>4 Storey Multi-Family<br>600 Dallas Road, Victoria, BC |                    | PROJECT NO.<br>2340 |  |
|                                                                                                                           | DRAWING TITLE<br>Cover Sheet/Site<br>Data                                       | DRAWN BY<br>MJM | SCALE<br>AS NOTED                                                      | DATE<br>2025-11-12 | DRAWING NO.<br>SK-0 |  |



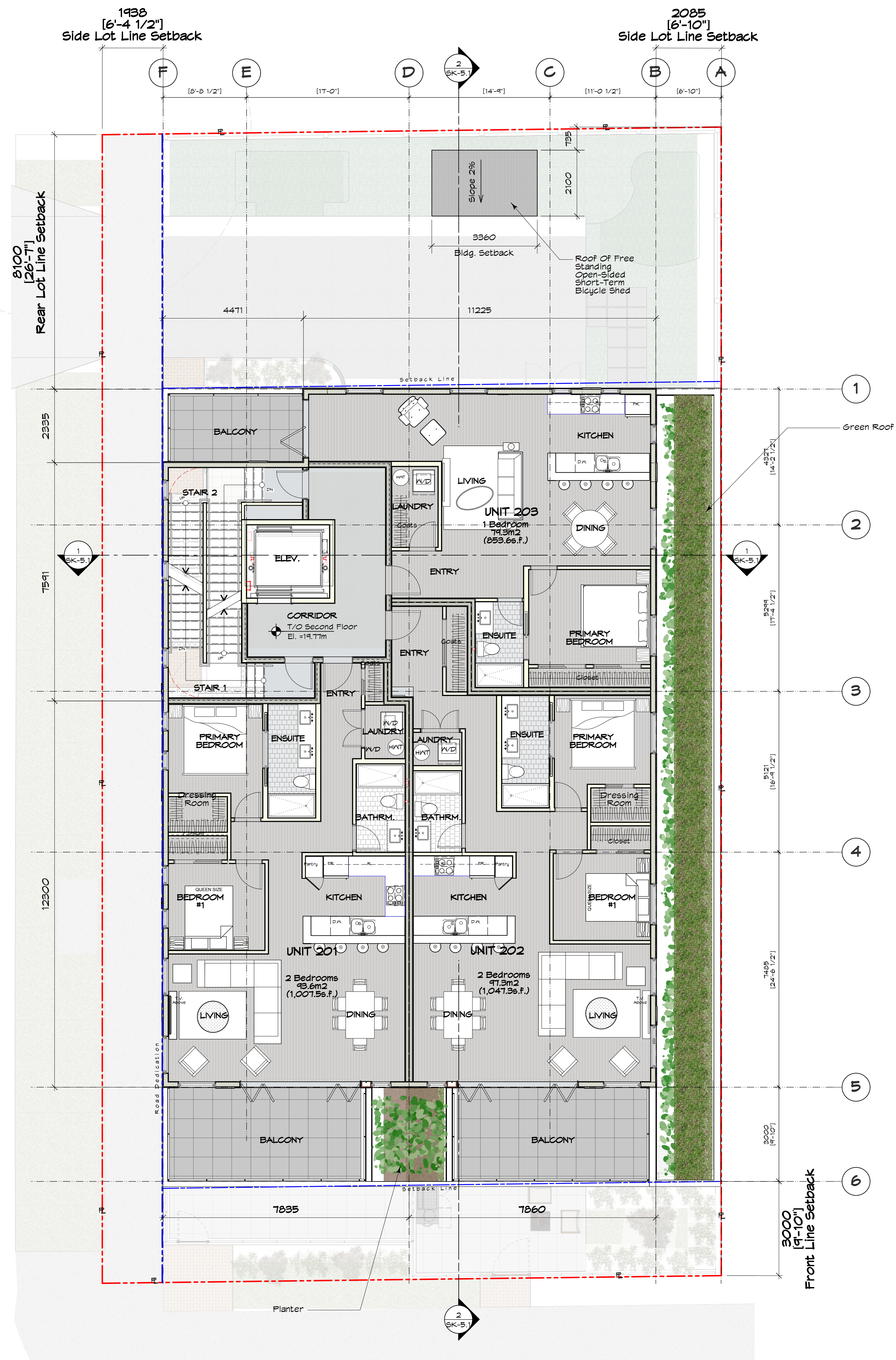
### Average Grade Calculation

| Grade Point                                     | Elevation (metres) |                                     |              |           |
|-------------------------------------------------|--------------------|-------------------------------------|--------------|-----------|
| GPA                                             | 17.00              |                                     |              |           |
| GPB                                             | 17.00              |                                     |              |           |
| GPC                                             | 16.70              |                                     |              |           |
| GPD                                             | 16.70              |                                     |              |           |
|                                                 |                    |                                     |              |           |
| Grade Point Average                             |                    | Distance Between<br>Grade Points(m) |              | Totals    |
| GPA + GPB/2                                     | 17.00              | x                                   | 17.75        | = 301.75  |
| GPB + GPC/2                                     | 16.85              | x                                   | 25.23        | = 425.12  |
| GPC + GPD/2                                     | 16.70              | x                                   | 17.75        | = 296.42  |
| GPD + GPA/2                                     | 16.85              | x                                   | <u>25.23</u> | = 425.12  |
|                                                 |                    |                                     | 85.96        | = 1448.41 |
| Grade Calculation                               |                    |                                     |              |           |
| 1448.41 / 85.96 (perimeter of building) = 16.85 |                    |                                     |              |           |





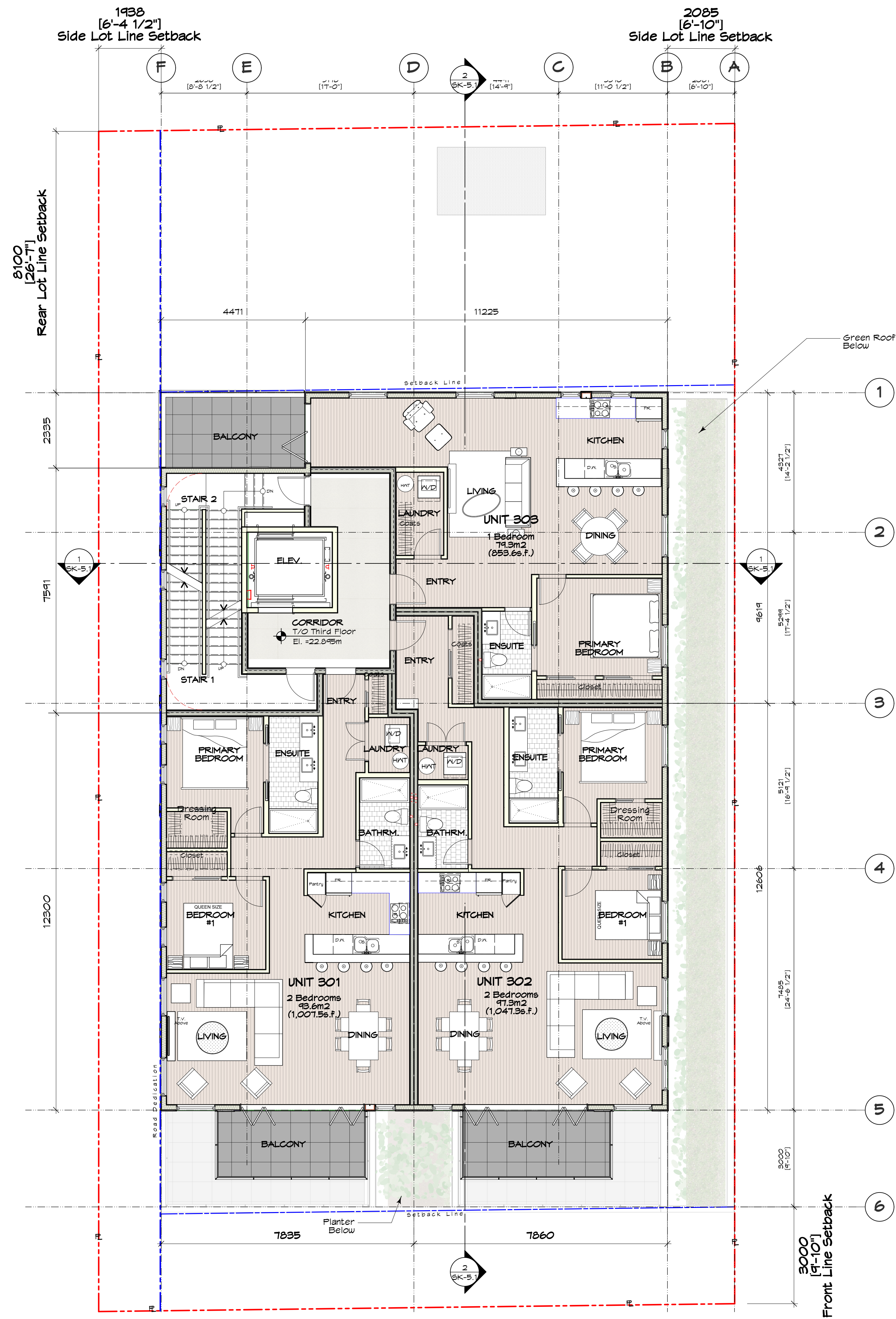
Note:  
- All Bedrooms Will Be Provided With At Least One Egress Window As Per BCBC 2024



1 Second Floor Plan  
Scale: 1:15

Note:  
- All Bedrooms Will Be Provided With At Least  
One Egress Window As Per BCBC 2024

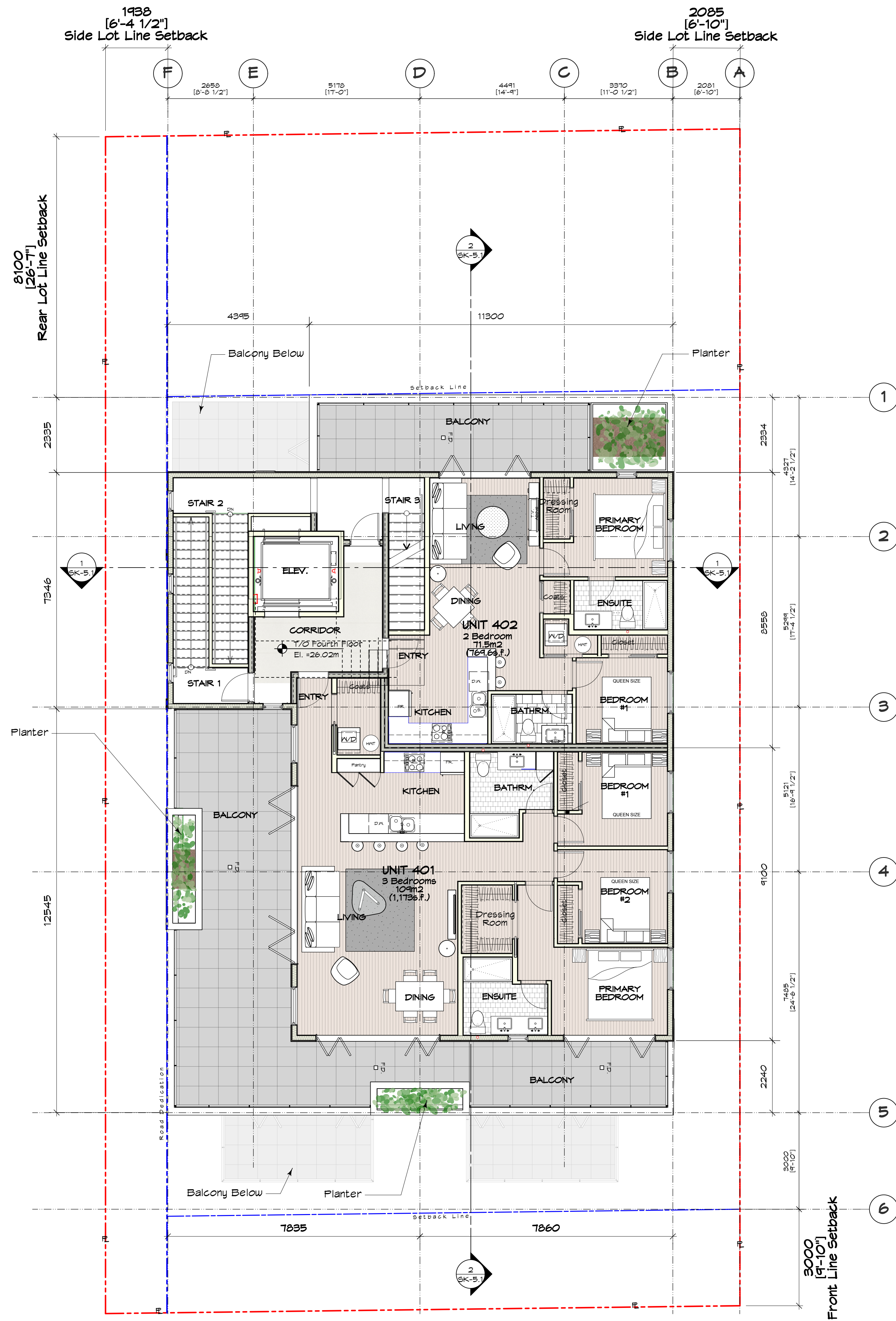
|                                                                                                                                  |                                                                                 |                                                                               |                                                    |
|----------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|-------------------------------------------------------------------------------|----------------------------------------------------|
| <b>MJM Architect Inc.</b><br>#801, 618 Yates Street<br>Victoria, BC V8W 1K7<br>ph: 778.266.2013<br>email: office@mjmarchitect.ca | Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup> | PROJECT NAME<br><b>4 Storey Multi-Family</b><br>600 Dallas Road, Victoria, BC | PROJECT NO.<br><b>2340</b>                         |
|                                                                                                                                  | DRAWING TITLE<br><b>Second Floor Plan</b>                                       | DRAWN BY<br>MJM                                                               | DATE<br>2025-11-12<br>DRAWING NO.<br><b>SK-2.2</b> |



1 Third Floor Plan  
Scale: 1:15

Note:  
- All Bedrooms Will Be Provided With At Least  
One Egress Window As Per BCBC 2024

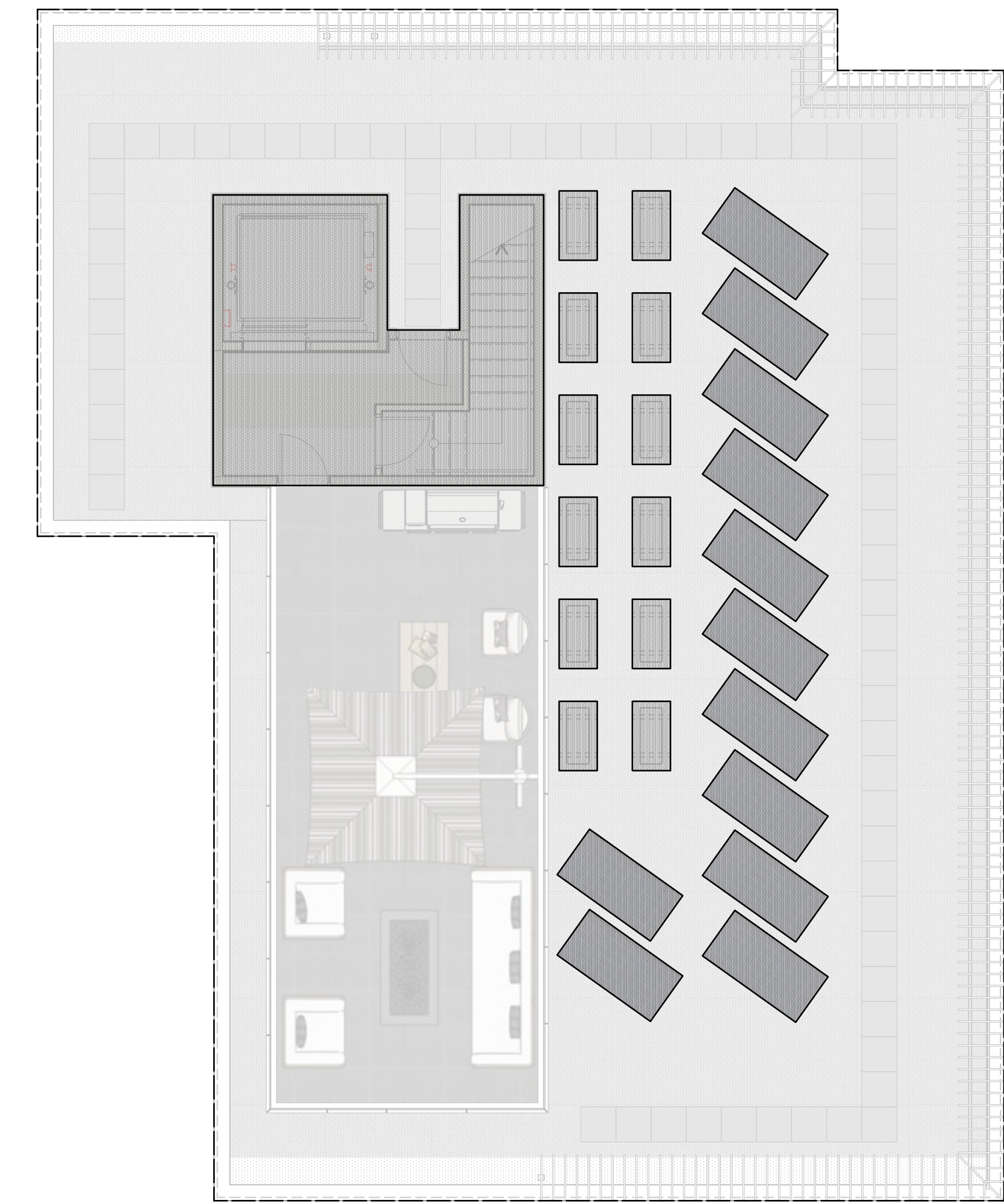
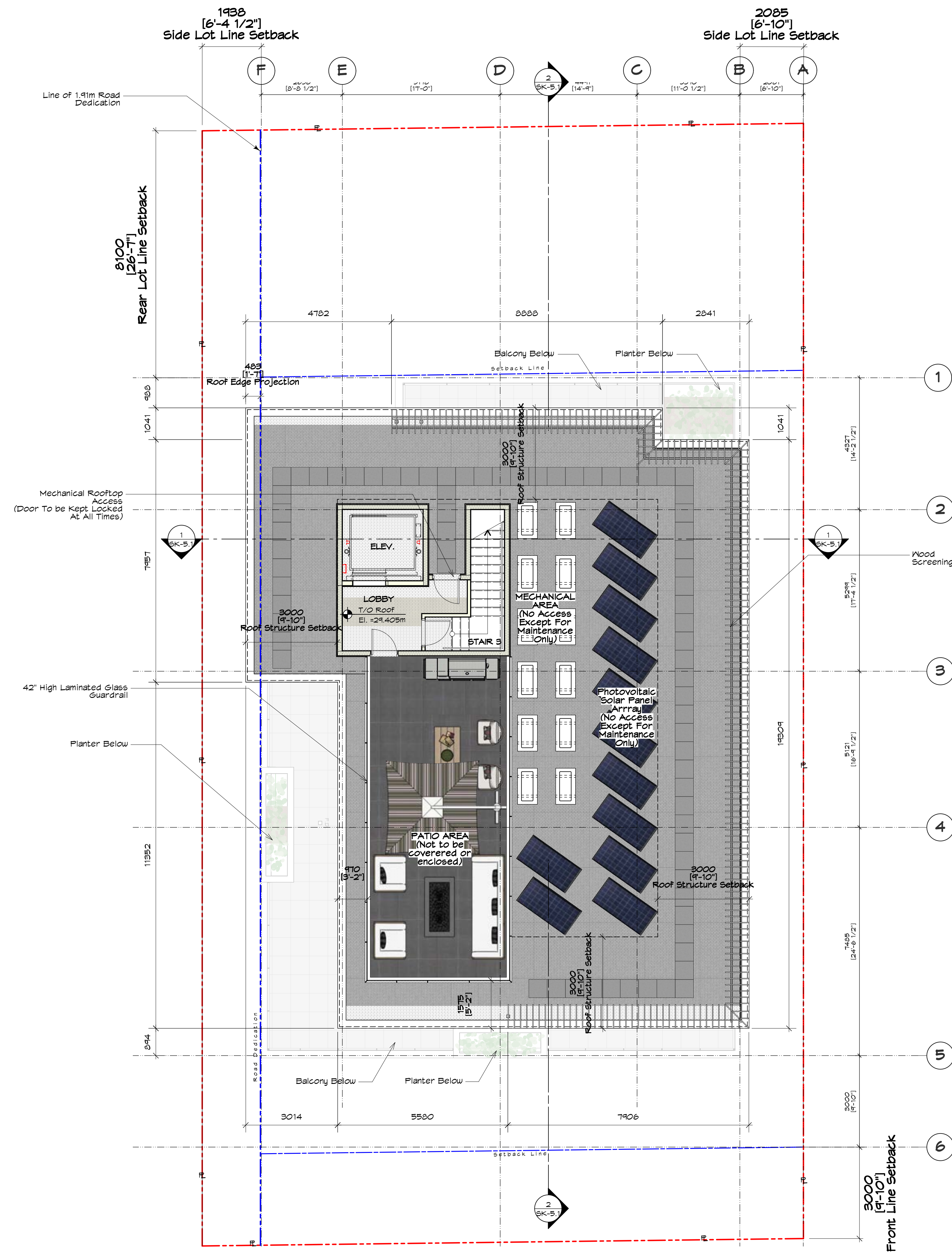
|                                                                                                                           |  |                                                                        |  |                       |                    |
|---------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------|--|-----------------------|--------------------|
| Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup>                                           |  | PROJECT NAME<br>4 Storey Multi-Family<br>600 Dallas Road, Victoria, BC |  | PROJECT NO.<br>2340   |                    |
| MJM Architect Inc.<br>#801, 605 Yates Street<br>Victoria, BC V8W 1K7<br>ph: 778.266.2013<br>email: office@mjmarchitect.ca |  | DRAWING TITLE<br>Third Floor Plan                                      |  | DRAWN BY<br>MJM       | DATE<br>2025-11-12 |
|                                                                                                                           |  | SCALE<br>AS NOTED                                                      |  | DRAWING NO.<br>SK-2.3 |                    |



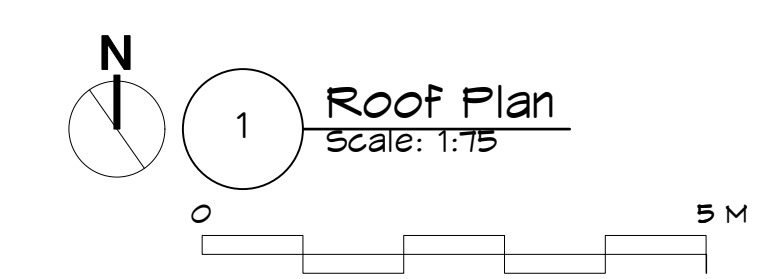
**Fourth Floor Plan**  
Scale: 1:15

Note:  
- All Bedrooms Will Be Provided With At Least One Egress Window As Per BCBC 2024

|                                                                                                                                  |  |                                                                               |                               |                                |
|----------------------------------------------------------------------------------------------------------------------------------|--|-------------------------------------------------------------------------------|-------------------------------|--------------------------------|
| Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup>                                                  |  | PROJECT NAME<br><b>4 Storey Multi-Family</b><br>600 Dallas Road, Victoria, BC |                               | PROJECT NO.<br><b>2340</b>     |
| <b>MJM Architect Inc.</b><br>#801, 515 Yates Street,<br>Victoria, BC V8W 1K7<br>ph: 778.266.2013<br>email: office@mjmarcitect.ca |  | DRAWING TITLE<br><b>Fourth Floor Plan</b>                                     | DRAWN BY<br>MJM<br>CHECKED BY | DATE<br>2025-11-12<br>YYYYMMDD |
|                                                                                                                                  |  | SCALE<br>AS NOTED                                                             | DRAWING NO.<br><b>SK-2.4</b>  |                                |



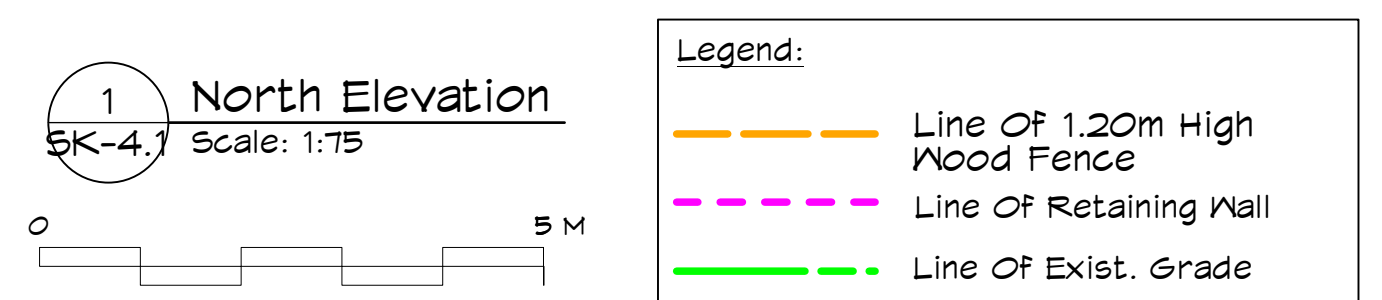
| Roof Area Coverage                              |                               |
|-------------------------------------------------|-------------------------------|
|                                                 | Total Roof Area = 298.87 sqm. |
|                                                 | Roof Structure = 56.85 sqm.   |
| Roof Structure / Total Roof Area (100) = 19.02% |                               |
| Allowable Roof Area Coverage = 20%              |                               |



|  |                                                                                                      |                    |                                                                        |                 |                     |
|--|------------------------------------------------------------------------------------------------------|--------------------|------------------------------------------------------------------------|-----------------|---------------------|
|  | Michael Jon Moody   Principal   Architect<br>AIBC, MRAG, LEED A.P. <sup>®</sup>                      |                    | PROJECT NAME<br>4 Storey Multi-Family<br>600 Dallas Road, Victoria, BC |                 | PROJECT NO.<br>2340 |
|  | 8801, 881 Yates Street,<br>Victoria, BC V8W 1K7<br>ph: 778.266.2013<br>email: office@mjmarchitect.ca |                    | DRAWING TITLE<br>Roof Plan                                             | DRAWN BY<br>MJM | SCALE<br>AS NOTED   |
|  |                                                                                                      | DATE<br>2025-11-12 | DRAWING NO.<br>SK-2.5                                                  |                 |                     |



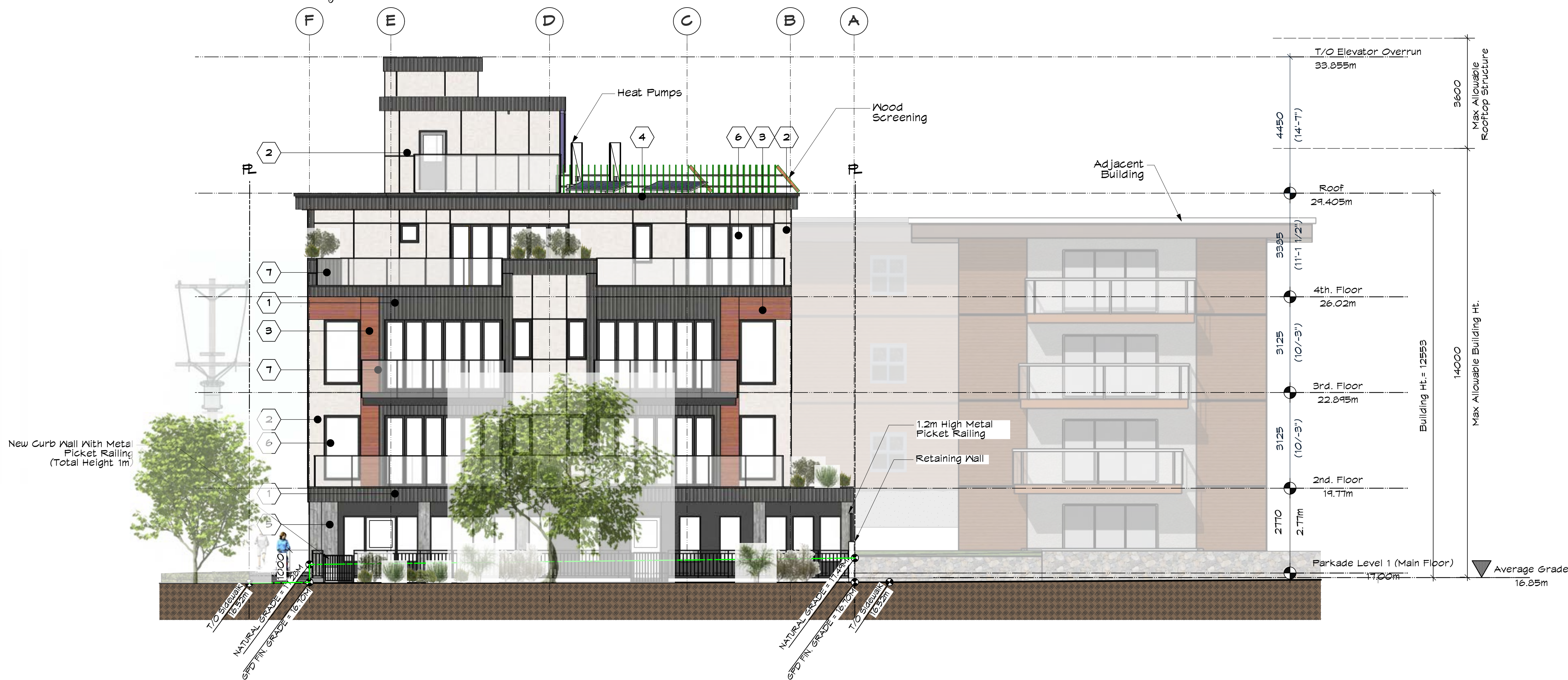
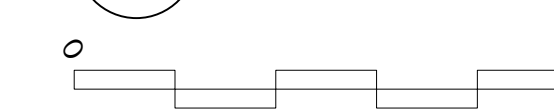
| MATERIAL LEGEND |                                                      |
|-----------------|------------------------------------------------------|
| 1               | Vert. Metal Siding Finish                            |
| 2               | Hardie Panels (Ptd. White) w/ 3/8" Reveal Panel Gaps |
| 3               | Horizontal Cedar Cladding                            |
| 4               | Pre-Fin. Metal Flashing                              |
| 5               | Boardformed (Vert.) Concrete                         |
| 6               | Thermally Broken Dbl. Glazed Vinyl Windows (Blk.)    |
| 7               | Face-mounted Alum. Picket Guardrails (Blk.)          |
| 8               | Hollow Metal Door in Pressed Steel Frame (Ptd.)      |



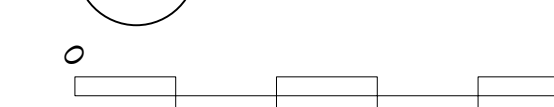
|                                                                                                                           |                                                                                 |          |                                                        |            |             |
|---------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|----------|--------------------------------------------------------|------------|-------------|
| MJM Architect Inc.<br>#801, 585 Yates Street,<br>Victoria BC V8W 1G7<br>ph: 778.966.8013<br>email: office@mjmarchitect.ca | Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup> |          | 4 Storey Multi-Family<br>600 Dallas Road, Victoria, BC |            | 2340        |
|                                                                                                                           | DRAWING TITLE                                                                   | DRAWN BY | SCALE                                                  | DATE       | DRAWING NO. |
|                                                                                                                           | Elevations                                                                      | MJM      | AS NOTED                                               | 2025-11-12 | SK-4.1      |



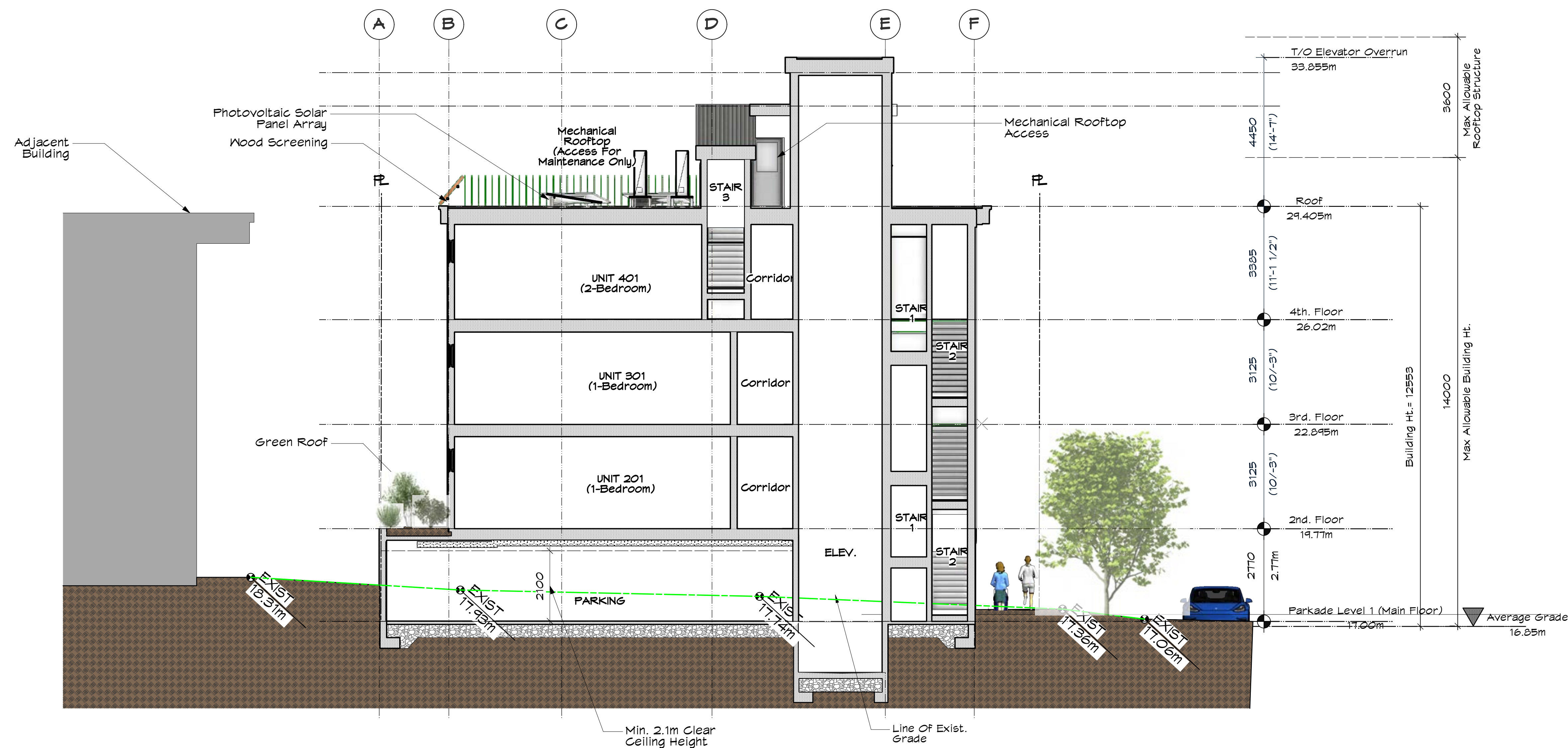
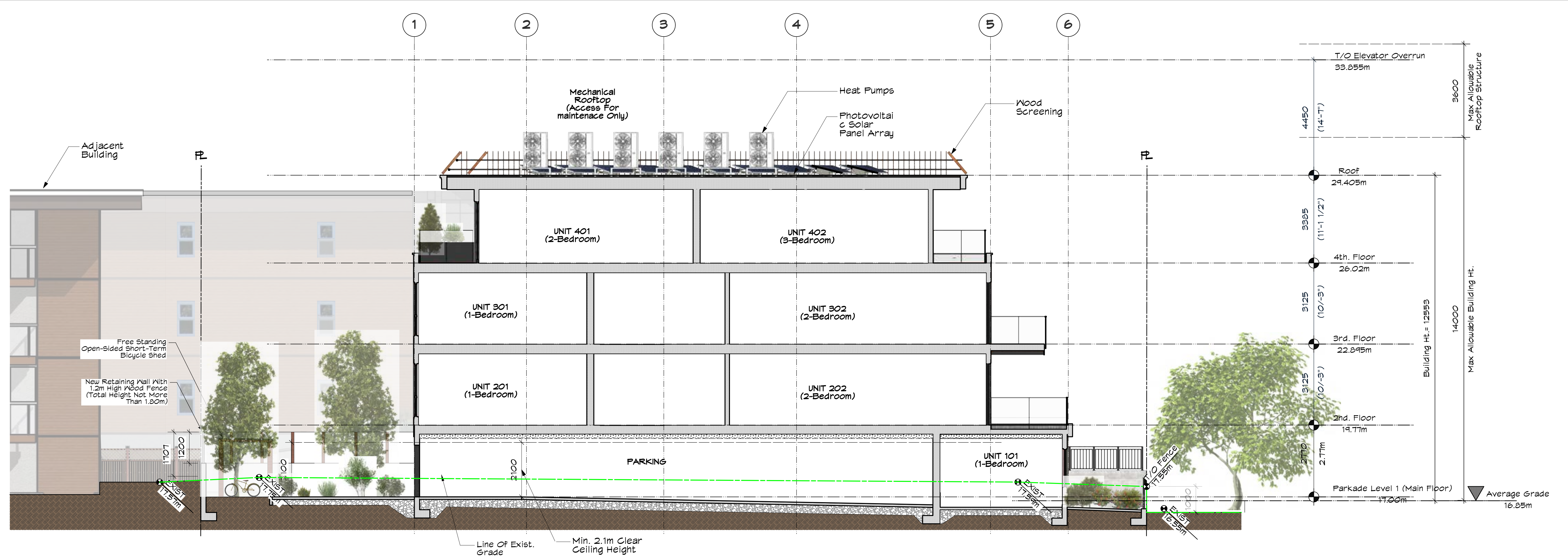
1 East Elevation  
Scale: 1:75



2 South Elevation  
Scale: 1:75



| MATERIAL LEGEND |                                                      |
|-----------------|------------------------------------------------------|
| 1               | Vert. Metal Sliding Finish                           |
| 2               | Hardie Panels (Pld. White) w/ 3/8" Reveal Panel Gaps |
| 3               | Horizontal Cedar Cladding                            |
| 4               | Pre-fin. Metal Flashing                              |
| 5               | Boardformed (Vert.) Concrete                         |
| 6               | Thermally Broken Dbl. Glazed Vinyl Windows (Blk.)    |
| 7               | Face-mounted Alum. Picket Guardrails (Blk.)          |
| 8               | Hollow Metal Door in Pressed Steel Frame (Pld.)      |



|                                                                                                                                                    |                                                                               |  |                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|--|------------------------------|
| <b>MJM Architect Inc.</b><br><small>#801, 605 Yates Street<br/>Victoria, BC V8W 1K7<br/>ph: 778.966.8013<br/>email: office@mjmarchitect.ca</small> | PROJECT NAME<br><b>4 Storey Multi-Family</b><br>600 Dallas Road, Victoria, BC |  | PROJECT NO.<br><b>2340</b>   |
|                                                                                                                                                    | DRAWING TITLE<br><b>Sections</b>                                              |  | DRAWN BY<br>MJM              |
|                                                                                                                                                    | SCALE<br>AS NOTED                                                             |  | DATE<br>2025-11-12           |
|                                                                                                                                                    | CHECKED BY<br>AS NOTED                                                        |  | DRAWING NO.<br><b>SK-5.1</b> |



VIEW OF PROJECT  
FROM DALLAS ROAD



VIEW OF PROJECT  
FROM GOVERNMENT STREET

Conceptual Illustrations Only.  
Please refer to Elevations.

|                                                                                                                                  |                                                                               |                 |                            |                                                    |
|----------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-----------------|----------------------------|----------------------------------------------------|
| <b>MJM Architect Inc.</b><br>#801, 605 Yates Street,<br>Victoria, BC V8W 1G7<br>ph: 778.266.2013<br>email: office@mjmarcitect.ca | PROJECT NAME<br><b>4 Storey Multi-Family</b><br>600 Dallas Road, Victoria, BC |                 | PROJECT NO.<br><b>2340</b> |                                                    |
|                                                                                                                                  | DRAWING TITLE<br><b>Exterior Views</b>                                        | DRAWN BY<br>MJM | SCALE<br>AS NOTED          | DATE<br>2025-11-12<br>DRAWING NO.<br><b>SK-6.1</b> |



Bicycle Room  
Entry Door

Planters

VIEW OF ENTRY  
FROM GOVERNMENT STREET

Metal Soffit in Faux  
Wood Finish

Sectional Overhead  
Wood Garage Door

Recessed Entry Doors To  
Main Lobby in Aluminum  
Storefront System

"600 DALLAS ROAD"  
Signage

Light Tan Stucco  
Cladding w/  
Control Joints

Office & One  
Bedroom  
Suite

Concrete Column &  
Walls

New Sidewalk

New Grassed  
Boulevard



Glass Balcony  
Guards

VIEW OF FRONT YARD  
FROM DALLAS ROAD

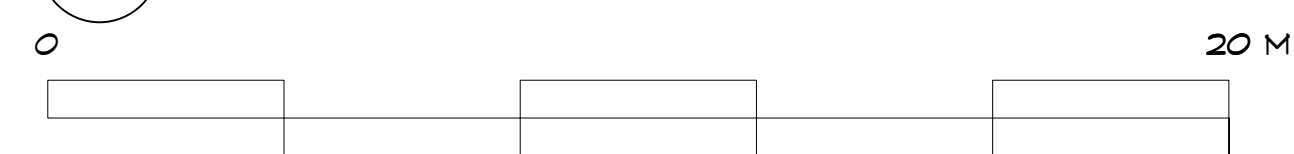
Conceptual Illustrations Only.  
Please refer to Elevations.

|                                                                                       |                                                                                                                                                                                               |  |                                                                                |                    |                              |
|---------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------|--------------------|------------------------------|
|  | Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup>                                                                                                               |  | PROJECT NAME<br><b>4 Storey Multi-Family<br/>600 Dalias Road, Victoria, BC</b> |                    | PROJECT NO.<br><b>2340</b>   |
|                                                                                       | <br>#301, 581 Yates Street,<br>Victoria, BC V8W 1G7<br>ph: 778.266.2013<br>email: office@mjmarchitect.ca |  | DRAWING TITLE<br><b>Exterior Views</b>                                         |                    | DRAWN BY<br>MJM              |
| CHECKED BY:                                                                           |                                                                                                                                                                                               |  | SCALE<br>AS NOTED                                                              | DATE<br>2025-11-12 | DRAWING NO.<br><b>SK-6.2</b> |
|                                                                                       |                                                                                                                                                                                               |  |                                                                                | VTT/ABG            |                              |



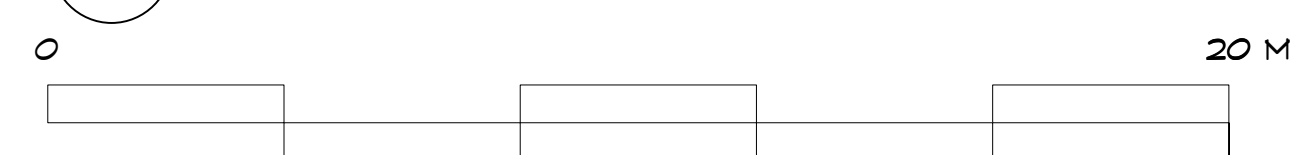
2 Streetscape Looking North on Dallas Road

SK-6.3 Scale: 1:125



1 Streetscape Looking East on Government Street

SK-6.3 Scale: 1:125



|                                                                                                                                 |                                                                               |                 |                            |                                                    |
|---------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-----------------|----------------------------|----------------------------------------------------|
| <b>MJM Architect Inc.</b><br>#801, 585 Yates Street<br>Victoria BC V8W 1K7<br>ph: 778.966.8013<br>email: office@mjmarchitect.ca | PROJECT NAME<br><b>4 Storey Multi-Family</b><br>600 Dallas Road, Victoria, BC |                 | PROJECT NO.<br><b>2340</b> |                                                    |
|                                                                                                                                 | DRAWING TITLE<br><b>Streetscapes</b>                                          | DRAWN BY<br>MJM | SCALE<br>AS NOTED          | DATE<br>2025-11-12<br>DRAWING NO.<br><b>SK-6.3</b> |



9:00 am



12:00 pm



3:00 pm



6:00 pm

WINTER SOLSTICE

DECEMBER 21st



9:00 am



12:00 pm



3:00 pm



6:00 pm

SPRING & FALL EQUINOX

MARCH 21st & SEPTEMBER 21st



9:00 am



12:00 pm



3:00 pm



6:00 pm

SUMMER SOLSTICE

JUNE 21st

|                                                                                                                           |                                                                                 |                 |                                                                        |                    |                       |  |
|---------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|-----------------|------------------------------------------------------------------------|--------------------|-----------------------|--|
| MJM Architect Inc.<br>#801, 605 Yates Street<br>Victoria, BC V8W 1Y7<br>ph: 778.266.8013<br>email: office@mjmarchitect.ca | Michael Jon Moody   Principal   Architect<br>AIBC, MRAC, LEED A.P. <sup>®</sup> |                 | PROJECT NAME<br>4 Storey Multi-Family<br>600 Dallas Road, Victoria, BC |                    | PROJECT NO.<br>2340   |  |
|                                                                                                                           | DRAWING TITLE<br>Shadow Study                                                   | DRAWN BY<br>MJM | SCALE<br>AS NOTED                                                      | DATE<br>2025-11-12 | DRAWING NO.<br>SK-7.0 |  |

RECOMMENDED PLANT LIST

| BOTANICAL NAME                 | COMMON NAME            | SIZE /REMARKS |
|--------------------------------|------------------------|---------------|
| TREES                          |                        |               |
| 1 Gleditsia tricanthos inermis | Shademaker Honeylocust | 6m. cal. /B&B |
| 3 Quercus robur fastigiata     | Columnar English Oak   | 6m. cal. /B&B |
| SHRUBS & PERENNIALS            |                        |               |
| Alchemilla mollis robusta      | Lady's Mantle          | #1 Pot        |
| Buxus Microphylla Winter Gem   | Littleleaf Boxwood     | #5 Pot        |
| Calamagrostis x acutiflora     | Karl Foerster Grass    | #1 Pot        |
| Euonymus Alatus Compacta       | Dwarf Burning Bush     | #5 Pot        |
| Euphorbia characias Wulfenii   | Wall's Euphorbia       | #5 Pot        |
| Hamamelis Int. Jellena         | Orange Witch Hazel     | 1.5M. Ht.     |
| Hakonechloa macra aureola      | Hakone Grass           | #1 Pot        |
| Hosta Hadspen Blue             | Hosta Hadspen Blue     | #1 Pot        |
| Lavandula Munstead             | English Lavender       | #1 Pot        |
| Liriope Muscari                | Big Blue Lily Turf     | #1 Pot        |
| Mahonia aquifolium *           | Oregon Grape           | #5 Pot        |
| Ophiopogon planiscapus nigra   | Black Mondo Grass      | #1 Pot        |
| Polystichum munitum*           | Western Sword Fern     | #3 Pot        |
| Ribes Sang. King Edward*       | Ornamental Currant     | #5 Pot        |
| Rosemary Officinalis           | Rosemary               | #3 Pot        |
| Rudbeckia Fulgida              | Orange Coneflower      | #1 Pot        |
| Spiraea japonica Goldflame     | Goldflame Spirea       | #3 Pot        |
| VINES & GROUND COVER           |                        |               |
| Arctostaphylos uva ursi *      | Kinnikinnick           | SP3           |
| Gaultheria procumbens*         | Wintergreen            | SP3           |
| Thymus pseudolanuginosus       | Woolly Thyme           | SP3           |

LEGEND

|                     |                                                                                          |
|---------------------|------------------------------------------------------------------------------------------|
| HARDSCAPE FINISHES: |                                                                                          |
| PP1                 | CIP natural finish concrete Driveway, Natural colour                                     |
| PP2                 | Belgard Aqualine Series Interlocking Permeable Paving system; colour to be Midnight Grey |
| PP3                 | Concrete unit paving, Origins by Belgard, all sizes, Iron Bay colour                     |
| PP4                 | 1/2" crushed gravel base                                                                 |
| PP5                 | CIP concrete sidewalk, Natural                                                           |

|            |                                       |
|------------|---------------------------------------|
| SOFTSCAPE: |                                       |
|            | Lawn                                  |
|            | Planting area c/w groundcover planted |
|            | Green roof planting area              |

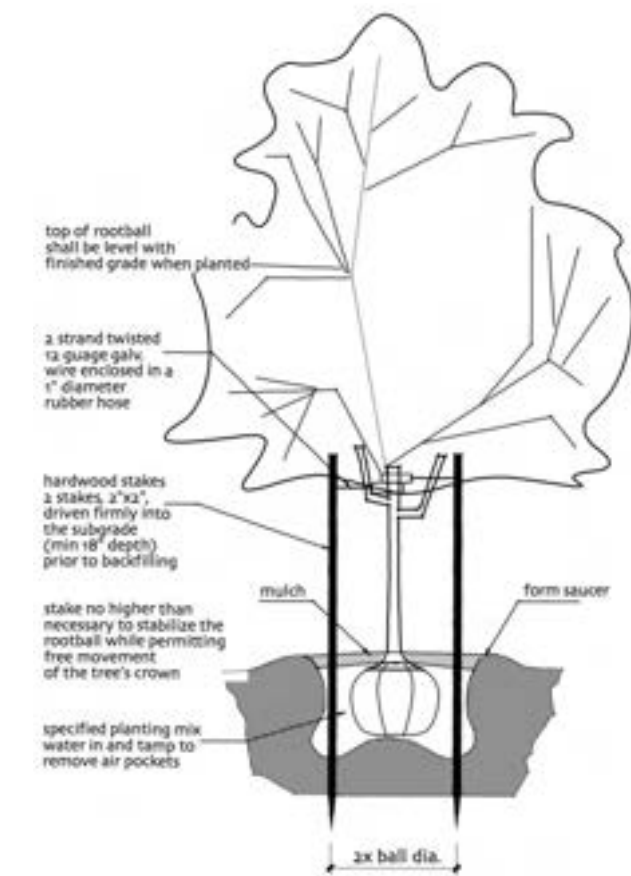
|                |                                                                        |
|----------------|------------------------------------------------------------------------|
| MISCELLANEOUS: |                                                                        |
|                | New concrete or mortared rock retaining/upstand walls; Heights vary.   |
|                | Exist concrete or mortared rock retaining/upstand walls; Heights vary. |

- NOTES:
- 1) All building layout information and setback dimensions supplied by MJM Architect Inc.
  - 2) All survey information supplied by MJM Architect Inc.
  - 3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
  - 4) All errors and omissions must be reported immediately to the Designer.
  - 5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.

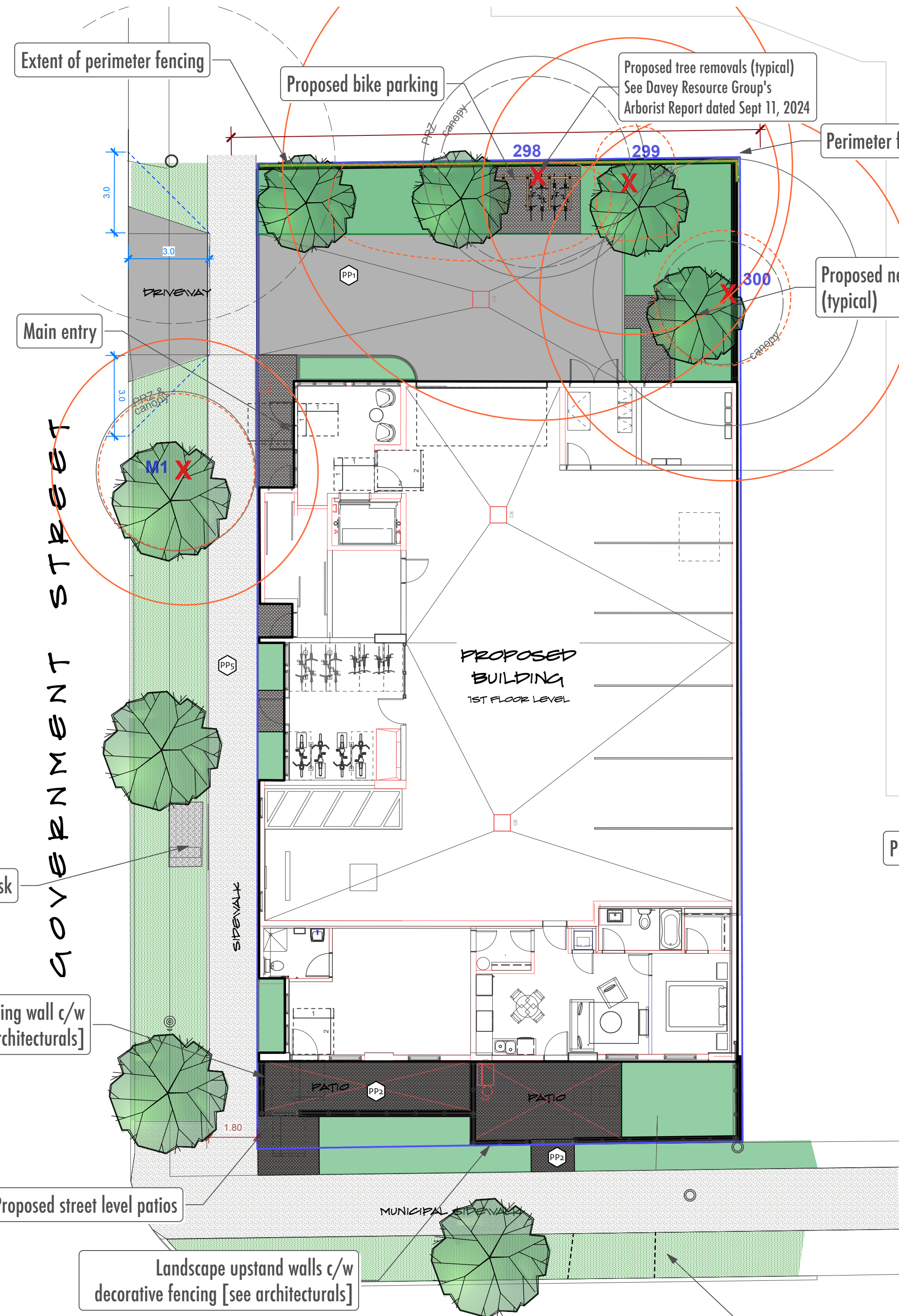
NOTES:

THIS PLAN IS NOT FOR CONSTRUCTION.

1. Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition).
2. All growing medium to comply to BCSLA/ BCLNA standard designation "IP - Level-1 Well Groomed Areas". Greenroof soil depth to comply with required Greenroof soil requirements. Greenroof to include a temporary irrigation system approved by project Landscape Architect.
3. Automatic underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. Irrigation to include a timer and rain sensor. Drip irrigation for groundcover and shrub beds, emitter loops for trees, and sprays for lawn areas. All irrigation piping under hardsurfaces to be sleeved. Boulevard lawn or plantings must be compliant with City of Victoria Specifications and Standards.
4. Fencing to be built as shown on Architectural plan; 5. Proposed Street tree locations and species selection to be approved by City of Victoria Parks Dept. Street trees must have one dominant central leader or single straight trunk, 6-8cm diameter caliper measured 15cm above ground, and a well balanced crown with the branching starting at 1.8m -2.5m above ground. trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) or the Canadian Landscape Standard.
6. Required Parks inspections for street tree planting: 1) Inspection of soil and planting area prior to planting. 2) Inspection of tree stock prior to planting. 3) Inspection of installed tree. Trees must be in good health and condition with no signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
7. All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arborist where necessary. Arborist to install tree protection fencing for boulevard trees where necessary. See also Davey Resource Group Arborist Report dated September 11, 2024. See also (specifically) Arborist Tree Management Plan (Appendix 4) and Replacement Tree Plan (Appendix 5) dated September 11, 2024.
8. Boulevard landscape as shown on this plan. The number and location of new boulevard trees along Government Street to be reviewed by project landscape designer and City of Victoria Parks once underground service/utility information is known. Driveway crossing to be removed and grassed boulevard to be reinstated to municipal standards and City of Victoria approval.
9. The details for the seed and sod boulevard can be found in schedule B3-4. Ensure that adequate soil volumes for the proposed street trees are installed in the grass boulevards. Required inspections for seed and sod boulevard: 1) Inspection of excavation and scarified subgrade prior to backfill. 2) Inspection of installed, rolled and prepared growing medium prior to sodding. 3) Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard. A soil test for the growing media, for each landscape application on City Property must be submitted top City Parks for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
10. The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria webpage.



TREE PLANTING DETAIL  
SCALE: NTS



GROUND LEVEL LANDSCAPE



GREEN ROOF LANDSCAPE PLAN

SKL.01  
10.JULY.2024  
1:125  
LATEST REVISION: 04.NOVEMBER.2025

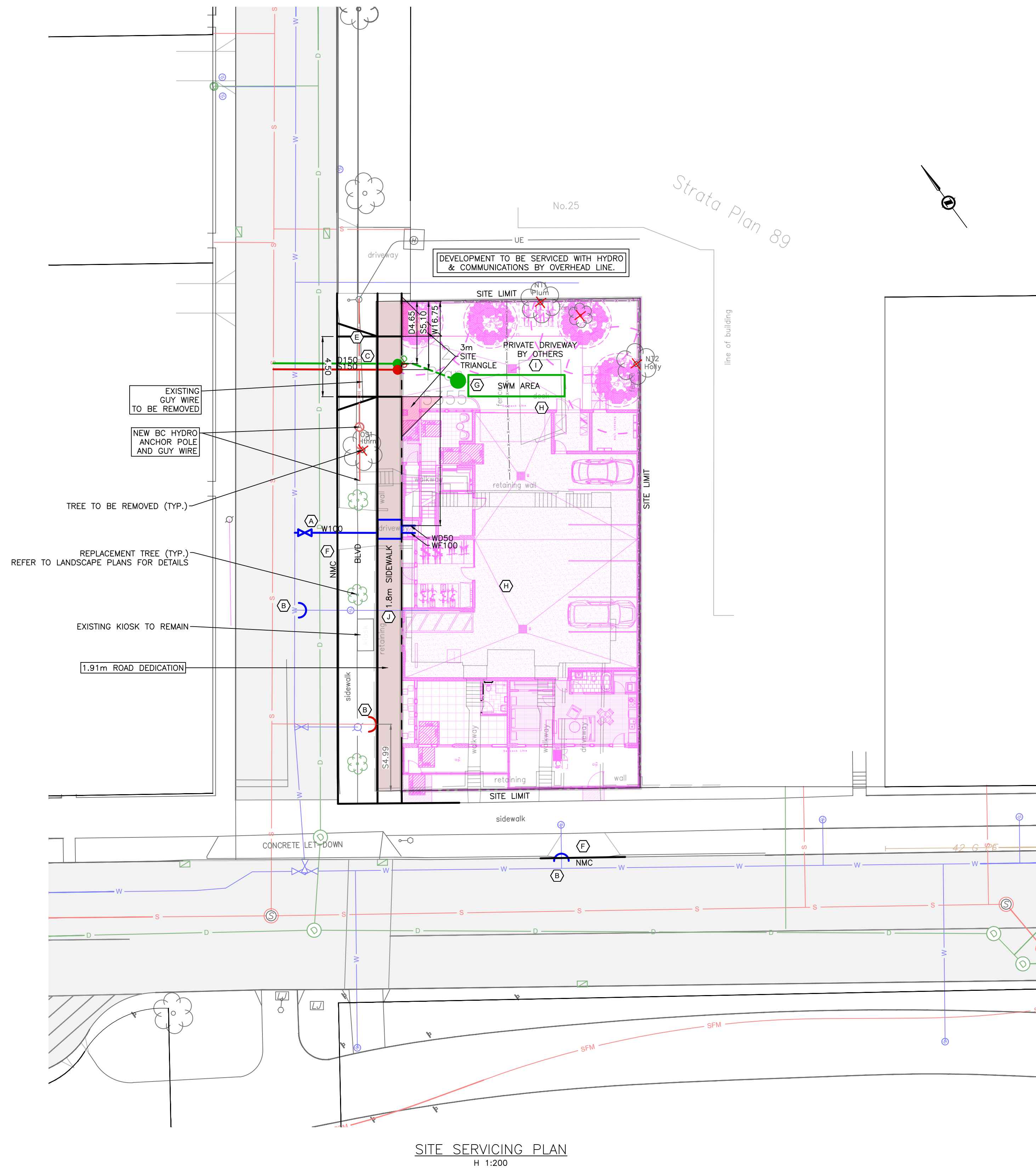
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FOR DEVELOPMENT PERMIT ONLY.

# 600 DALLAS ROAD LANDSCAPE LAYOUT

STUDIO ONE CREATIVE  
250.881.0706 - 4539 Viewmont Avenue, Victoria, BC  
CALID SERVICES LTD  
250.388.6919 - 2750 Quadra St, Victoria, BC

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:: RESIDENTIAL DEVELOPMENT :: 600 DALLAS ROAD :: SKL.01 :: landscape layout ::



SITE SERVICING PLAN  
H 1:200

PRELIMINARY SERVICING NOTES:

- (A) NEW 100mm FIRE WATER SERVICE AND 50mm DOMESTIC WATER SERVICE C/W METER AT DEVELOPERS EXPENSE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.
- (B) SERVICES TO BE CAPPED AT DEVELOPERS EXPENSE.
- (C) CITY OF VICTORIA TO INSTALL NEW 150mm DRAIN SERVICE AND 150mm SEWER SERVICE IN COMMON TRENCH COMPLETE WITH IC'S AT DEVELOPERS EXPENSE.
- (E) CONTRACTOR TO INSTALL NEW 4.5m WIDE CONCRETE DRIVEWAY APRON AS PER CITY OF VICTORIA SD C7a.
- (F) CONTRACTOR TO REMOVE EXISTING DRIVEWAY AND SIDEWALK AND REINSTATE BOULEVARD AND INSTALL NEW NON-MOUNTABLE CURB. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.
- (G) ONSITE STORMWATER MANAGEMENT AREA COMPLETE WITH CISTERN AND FLOW CONTROL MANHOLE AS PER CoV RAINWATER MANAGEMENT STANDARDS - PROFESSIONAL EDITION. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.
- (H) EXISTING STRUCTURES TO BE REMOVED. OWNER TO APPLY FOR SEPARATE DEMO PERMIT.
- (I) ONSITE GRADING FOR 6m AS PER CoV HIGHWAY ACCESS BYLAW.
- (J) CONTRACTOR TO INSTALL NEW 1.80m CONCRETE SIDEWALK PER CITY OF VICTORIA SD C15a.

PRELIMINARY RAINWATER MANAGEMENT CALCULATIONS

— PROPOSED BELOW GRADE CISTERN COMPLETE WITH FLOW CONTROL MANHOLE TO BE USED AS GREEN STORMWATER INFRASTRUCTURE.  
— SIZING AS PER CITY OF VICTORIA RAINWATER MANAGEMENT STANDARDS SIZING APPROACH FOR CISTERNS.  
— DESIGN MUST MEET CITY OF VICTORIA'S RAINWATER MANAGEMENT STANDARD OF MANAGING 32mm / 24hrs.  
— FLOW CONTROL MANHOLE ORIFICE TO BE SIZED TO REDUCE POST DEVELOPMENT FLOW RATE TO PRE DEVELOPMENT RATE.

REQUIRED VOLUME OF CISTERN =  $0.032m \times$  IMPERVIOUS CONTRIBUTORY AREA  
IMPERVIOUS CONTRIBUTORY AREA =  $340m^2$  (ROOFS ONLY - HARDSCAPE AREAS TO DRAIN TO LANDSCAPE)  
REQUIRED VOLUME OF CISTERN =  $0.032m \times 420m^2$   
=  $13.4m^3$

PROPOSED CISTERN DIMENSIONS = 1.6m WIDE x 7.2m LONG x 1.2m DEEP =  $13.8m^3$

ALL PERIMETER DRAINS TO BYPASS FLOW CONTROL DEVICES.

ALL ROOF LEADERS AND HARD SURFACE RUN-OFF TO BE DIRECTED TO ONSITE STORMWATER MANAGEMENT AREAS OR LANDSCAPED AREAS FOR TREATMENT.

DETAILED STORMWATER MANAGEMENT DESIGN AND CALCULATIONS TO BE CONFIRMED AT BUILDING PERMIT.



KEY PLAN  
1:2500

LEGAL DESCRIPTION: LOT 2, SECTION 5, BECKLEY FARM, VICTORIA CITY, PLAN 5355  
BENCHMARK: MONUMENT \_\_\_\_\_ ELEV. \_\_\_\_\_

600 DALLAS  
PRELIMINARY  
SITE SERVICING

Scale  
horiz. 1:200 Scale  
vert. \_\_\_\_\_  
Sheet 1 of 1  
Eng. Project No. 34922  
Drafted by. KHG

**JEA** J E ANDERSON &  
ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com

20251104

ISSUED FOR DISCUSSION

