

9 Unit Multi-Family Development Rezoning & Development Permit Application 600 Dallas Rd.

Nov 12th., 2025



VIEW LOOKING NORTH-EAST



600 DALLAS ROAD
Project Location


LOCATION PLAN

SITE STATISTICS	
Zone R-2 Two Family Dwelling District (Existing)	(Proposed) Site Specific
Total Site area (m2)	721m2 (7,760.8 sq.ft.)
- Site Area Post Road Dedication (m2)	651.40m2 (7,011.6 sq.ft.)
- Area of Road Dedication (m2)	69.60m2 (749.2 sq.ft.)
Total floor area (m2)	1,099.12m2 (See Area Calculations Table)
Floor Space Ratio	1,099.12 ÷ 721 = 1.52 : 1
Lot Coverage (%)	455.00 m2 ÷ 64.84%
Main Structure = 448.00m2 Short-Term Bicycle Shed = 7.00 m2 Total = 455.00 m2	
Lot Area = 651.40m2 Structures ÷ Lot Area = .696 or 69.84%	
Number of storeys	4 Storeys
Parking stalls (number) on site	11 Spaces Req'd, 7 Spaces Provided Including 1 Van Accessible (See Calculations at Left)
Bicycle parking number (Class 1 and Class 2)	See Parking Calculations Table
Average Grade	16.85m Geodetic
Height of Building (Above Average Grade)	12.55 m (41'-2")
Building Setbacks (m)	
Front Lot Line (South)	3.0m (9'-10")
Rear Lot Line (North)	8.10m (26'-7")
Side Lot Line (West)	2.085m (6'-10") (0m to Property Line at Parkade Level)
Side Lot Line (East)	1.938m (6'-4 1/2")

Parking Calculations:	
Apartment (Rental Dwelling Units Secured in Perpetuity) in "Other" Area	
1 - Unit @ .75 Per Unit = .75 or 1	
8 - Units @ 1.30 Per Unit = 10.4 or 10	
Sub-Total Spaces	11
(1 Space Required To Be Accessible)	
Visitor Parking Req'd 11 x .1 = 1.1 OR 1	
Total Parking Required	12 Spaces
7 Stalls Provided over 1 Level Of At-grade Covered Parking Including 1 Van Accessible and 1 Visitor	
(3 Space Deficit)	
All Spaces To Have Electric Charging Stations	
Bicycle Parking Required:	
Long Term:	
1 per dwelling unit < 45m2 = 1	
1.25 per dwelling unit > 45m2 (3 units) = 10	
Total Bike Spaces Required = 11	
12 Bike Spaces Provided Including 4 Cargo Bike Areas & Bike Wash Station	
Short Term:	
1 - 6 Space Bike Rack Provided Within 15m Of Front Entry Distance to Visitor Access Entry Is 9m	

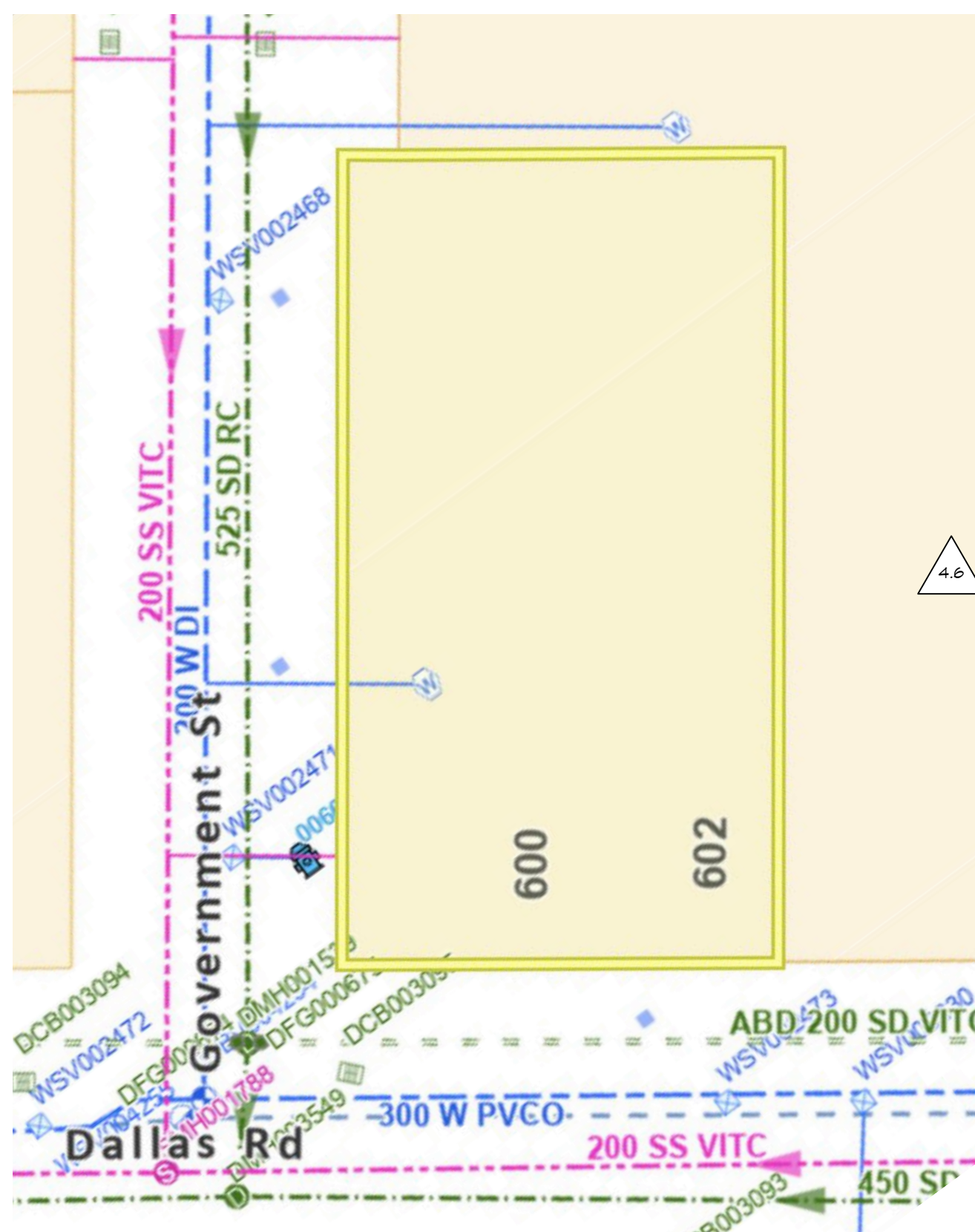
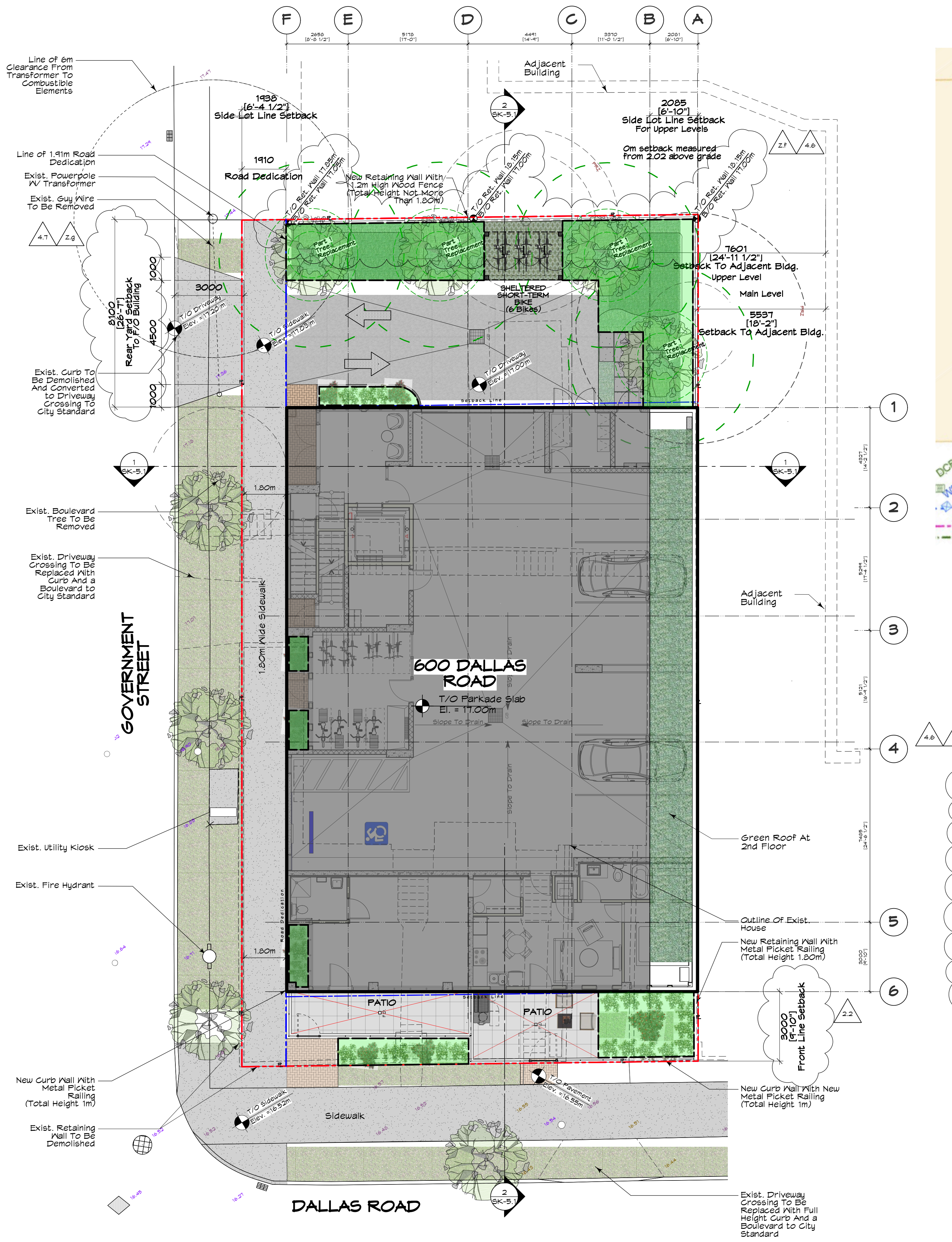
Unit Mix & Areas (Note: Area for units below measured to <i>inside</i> of finished walls)			
Floor Level	Unit Type	Unit #	Area
Main (Parkade)	1 Bedroom (Including Office)	101	93.23m2 (1,003.52s.f.) (Including Office area of 38.46m2)
	2 Bedroom	201	95.31m2 (1,025.91s.f.)
Second	2 Bedroom	202	103.13 (1,110.08s.f.)
	1 Bedroom	103	76.39m2 (822.25s.f.)
Third	2 Bedroom	301	95.31m2 (1,025.91s.f.)
	2 Bedroom	302	103.13 (1,110.08s.f.)
Fourth (Penthouse)	2 Bedroom	303	76.39m2 (822.25s.f.)
	3 Bedroom	401	108.66m2 (1,169.60s.f.)
SUBTOTAL UNITS	2 Bedroom	402	66.69m2 (717.84s.f.)
	1 Bedroom	3	33.33%
TOTAL # OF SUITES	2 Bedroom	5	55.56%
	3 Bedroom	1	11.11%
TOTAL SUITE AREA			818.24m2 (8,807.46s.f.)

Area Calculations:	
Site Area = 721 m2	
Parkade Level (Excludes Parking & Bicycle)	= 160.05m2 (1,722.76s.f.)
Floor Levels 2 & 3 (2 x 338.52m2 Ea.) (Excludes Balconies)	= 677.04m2 (7,287.59s.f.)
Penthouse Level 4 (Excludes Balconies)	= 237.44m2 (2,555.78s.f.)
Roof	= 25.19m2 (271.14s.f.)
Total Floor Area =	= 1,099.12m2 (11,837.24s.f.)
FSR : 1,099.12 ÷ 721 = 1.52 : 1	



Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date
November 19, 2025

Michael Jon Moody Principal Architect AIBC, MRAG, LEED A.P. [®]		4 Storey Multi-Family 600 Dallas Road, Victoria, BC		2340
MJM Architect Inc. #801, 585 Yates Street, Victoria BC V8W 1G7 ph: 778.966.8013 email: office@mjmarchitect.ca		DRAWING TITLE Cover Sheet/Site Data		DRAWN BY MJM CHECKED BY AS NOTED
		DATE 2025-11-12		DRAWING NO. SK-0

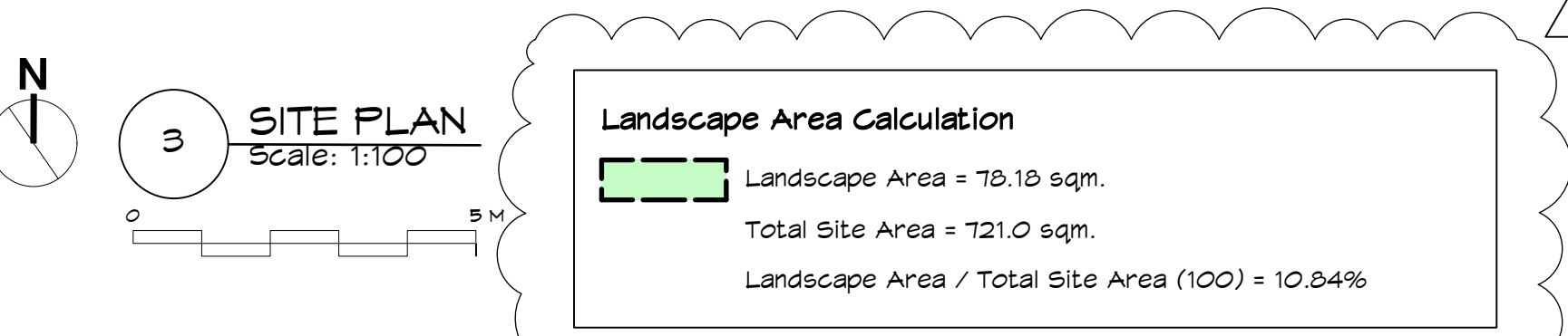
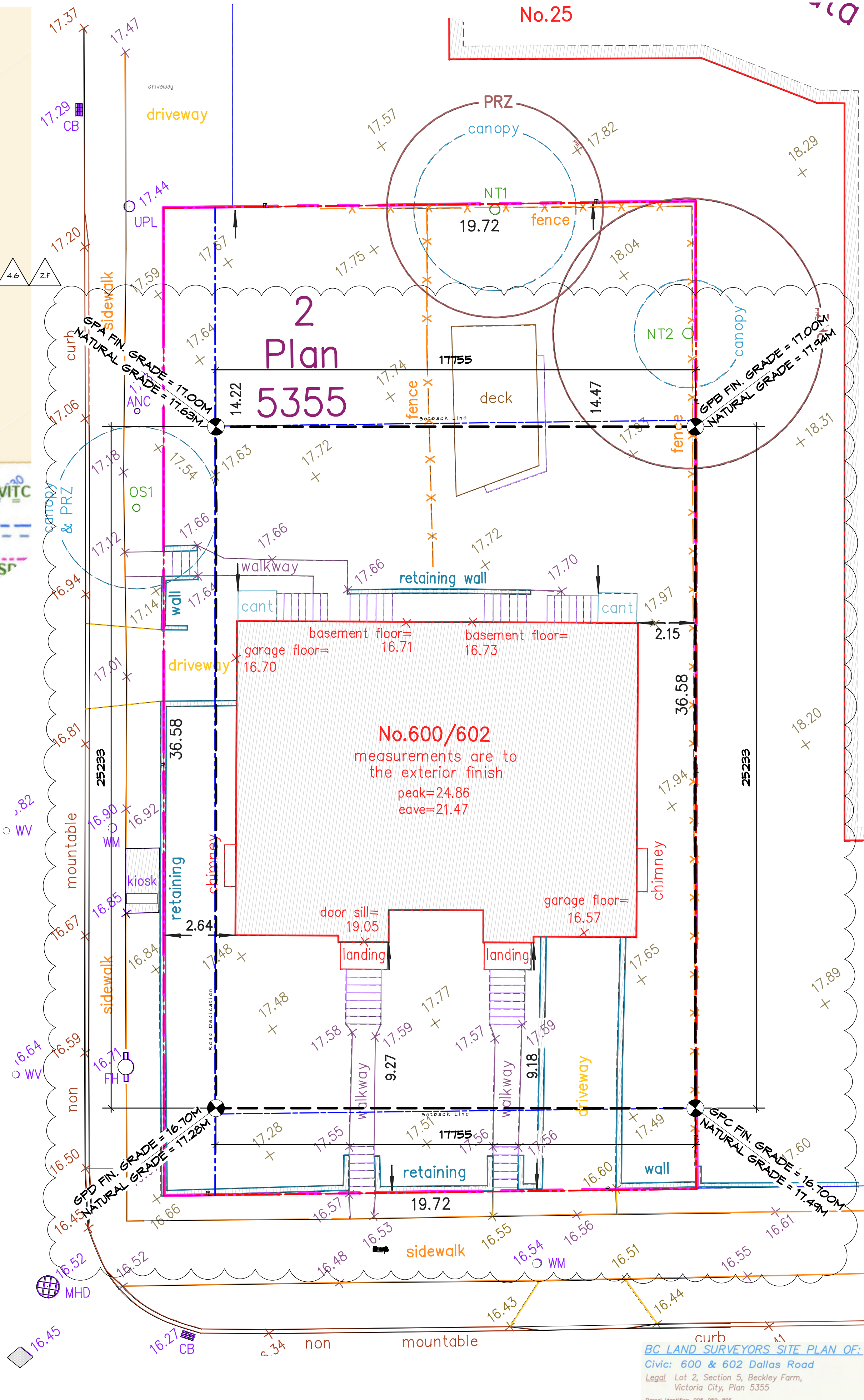


Average Grade Calculation

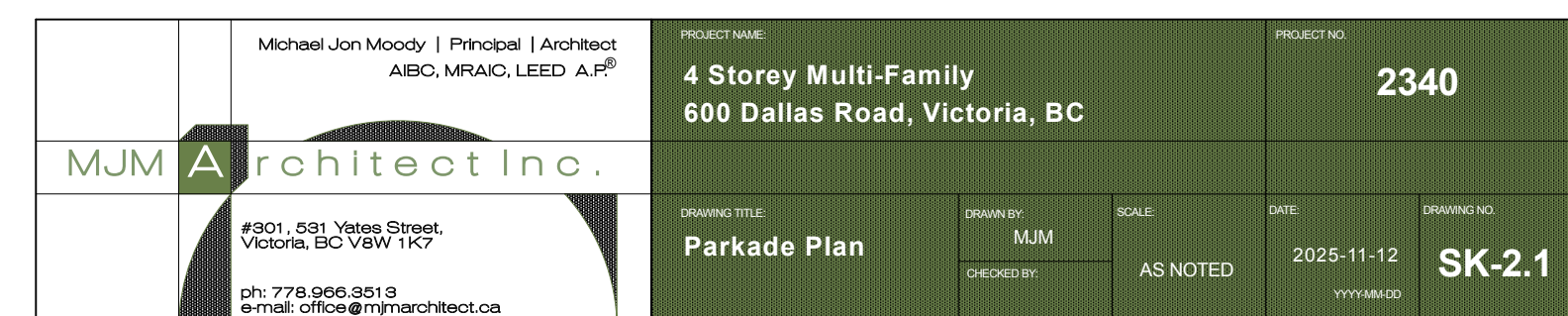
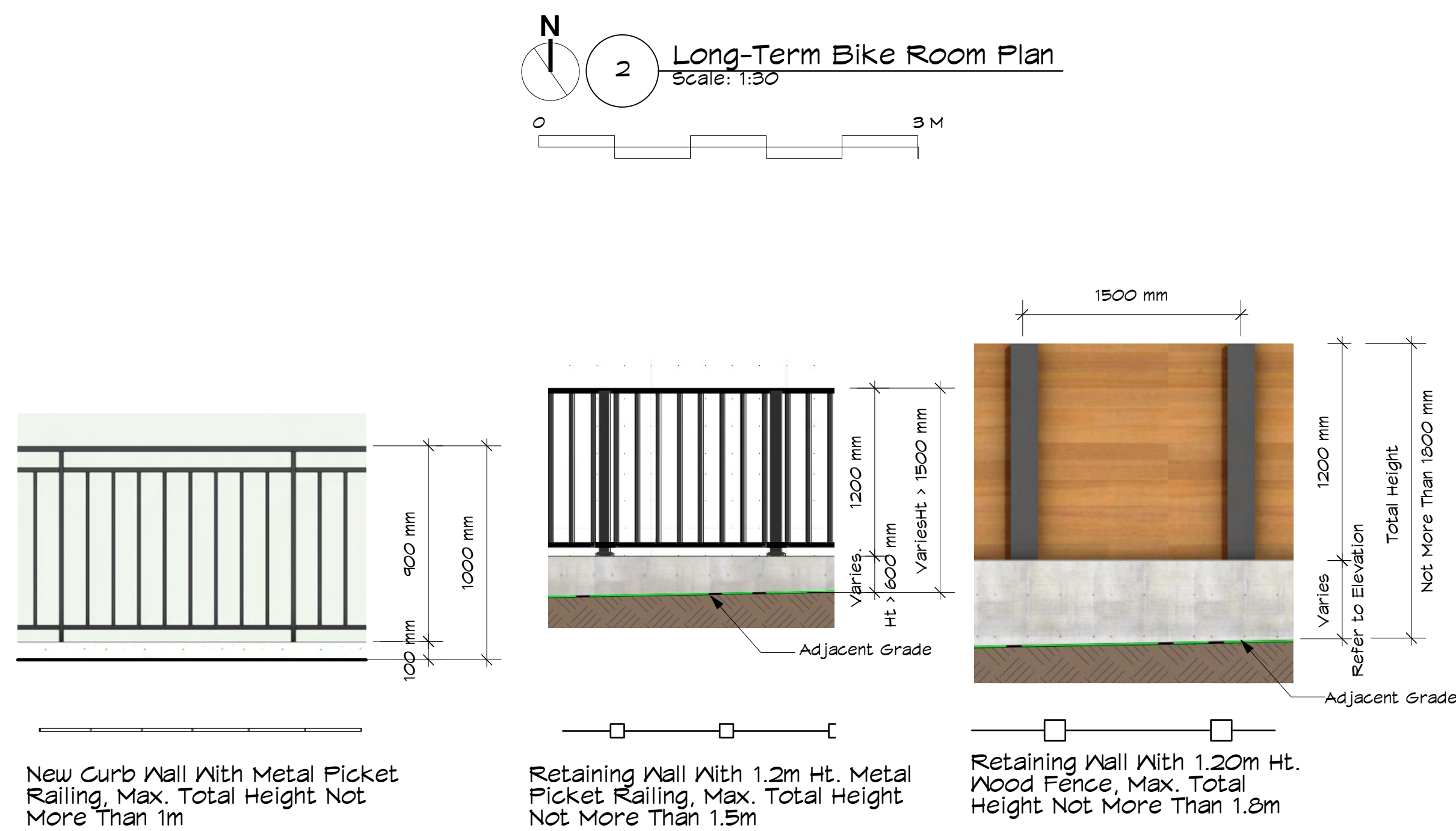
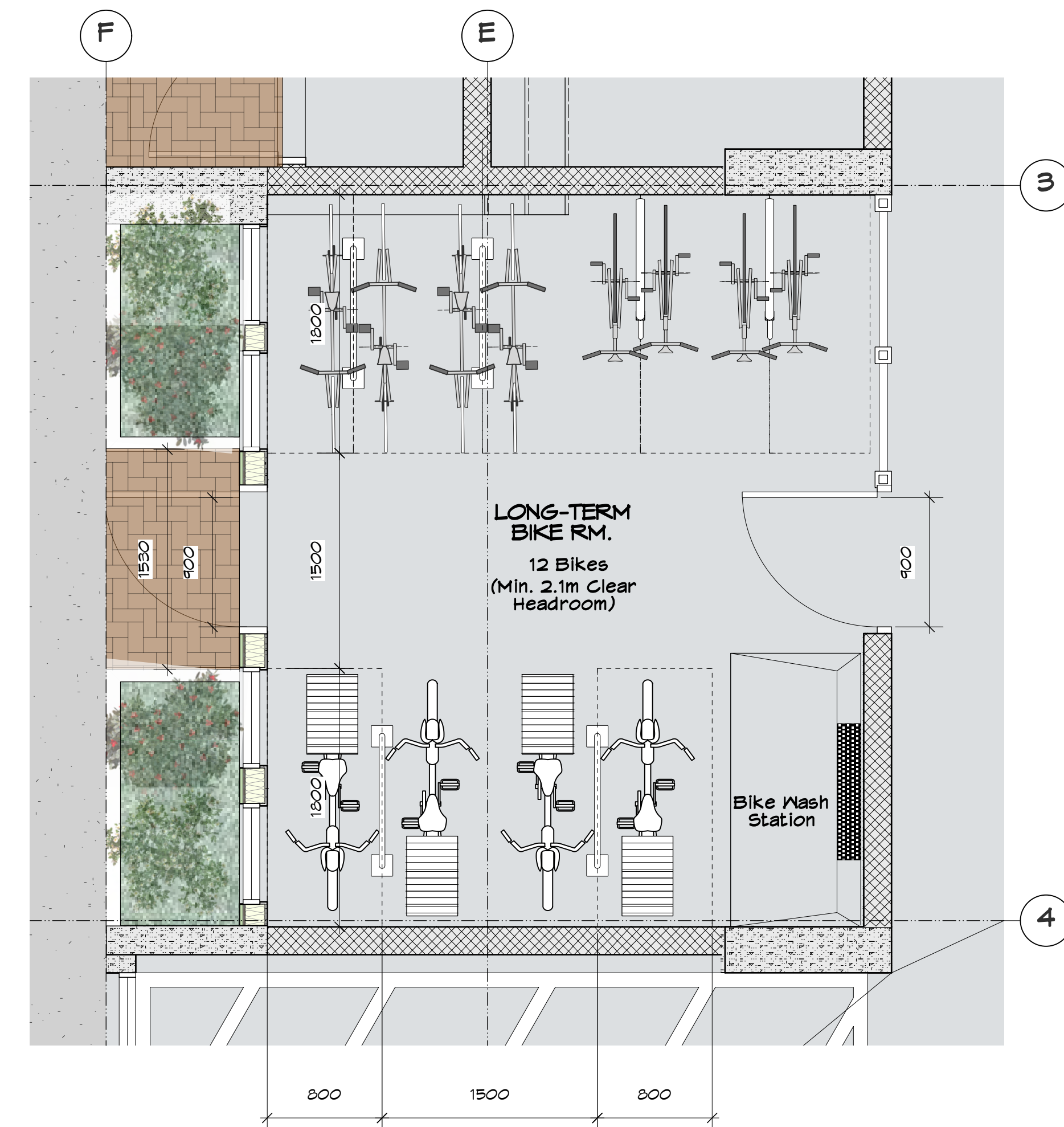
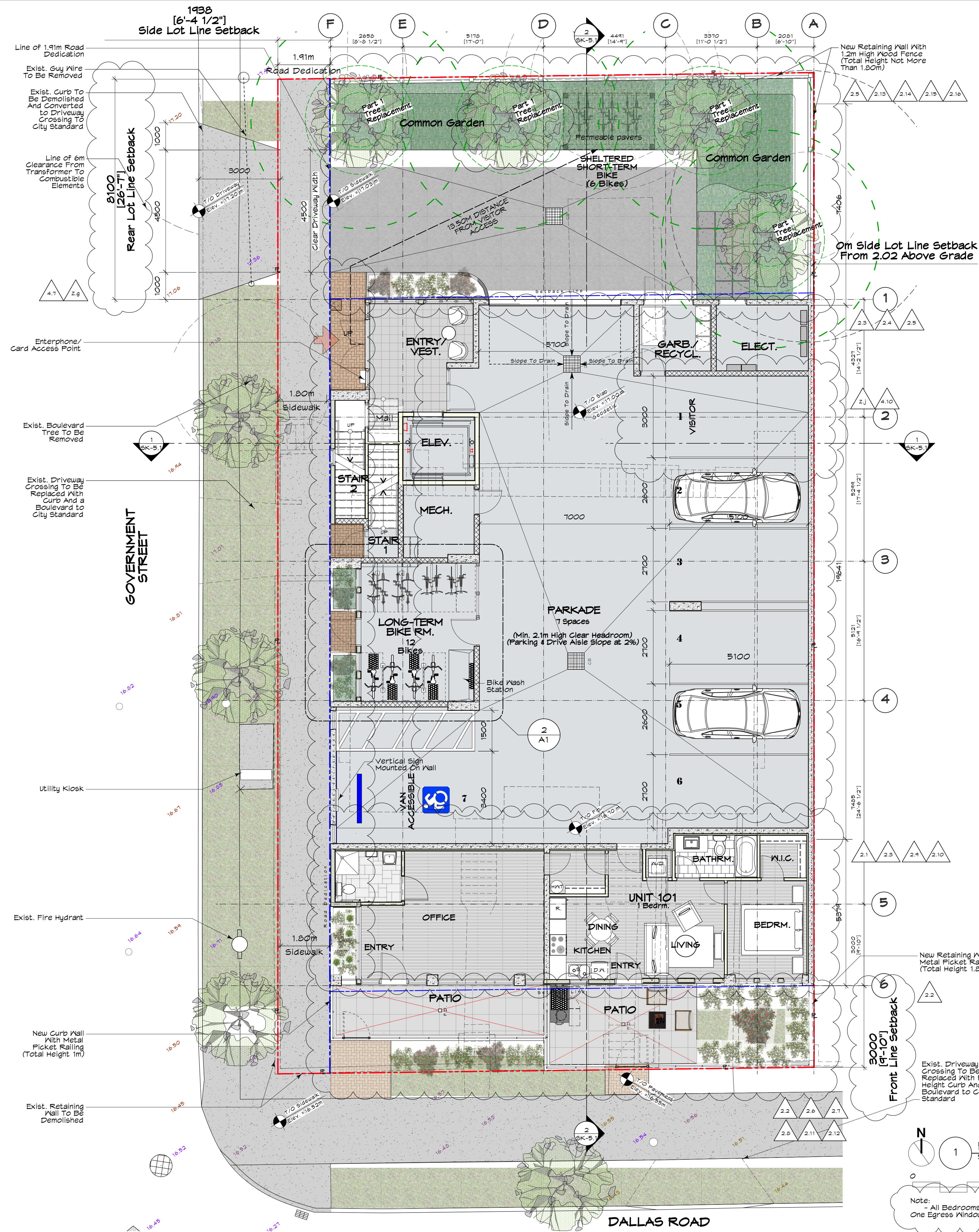
Grade Point	Elevation (metres)
GPA	17.00
GPB	17.00
GPC	16.70
GPD	16.70

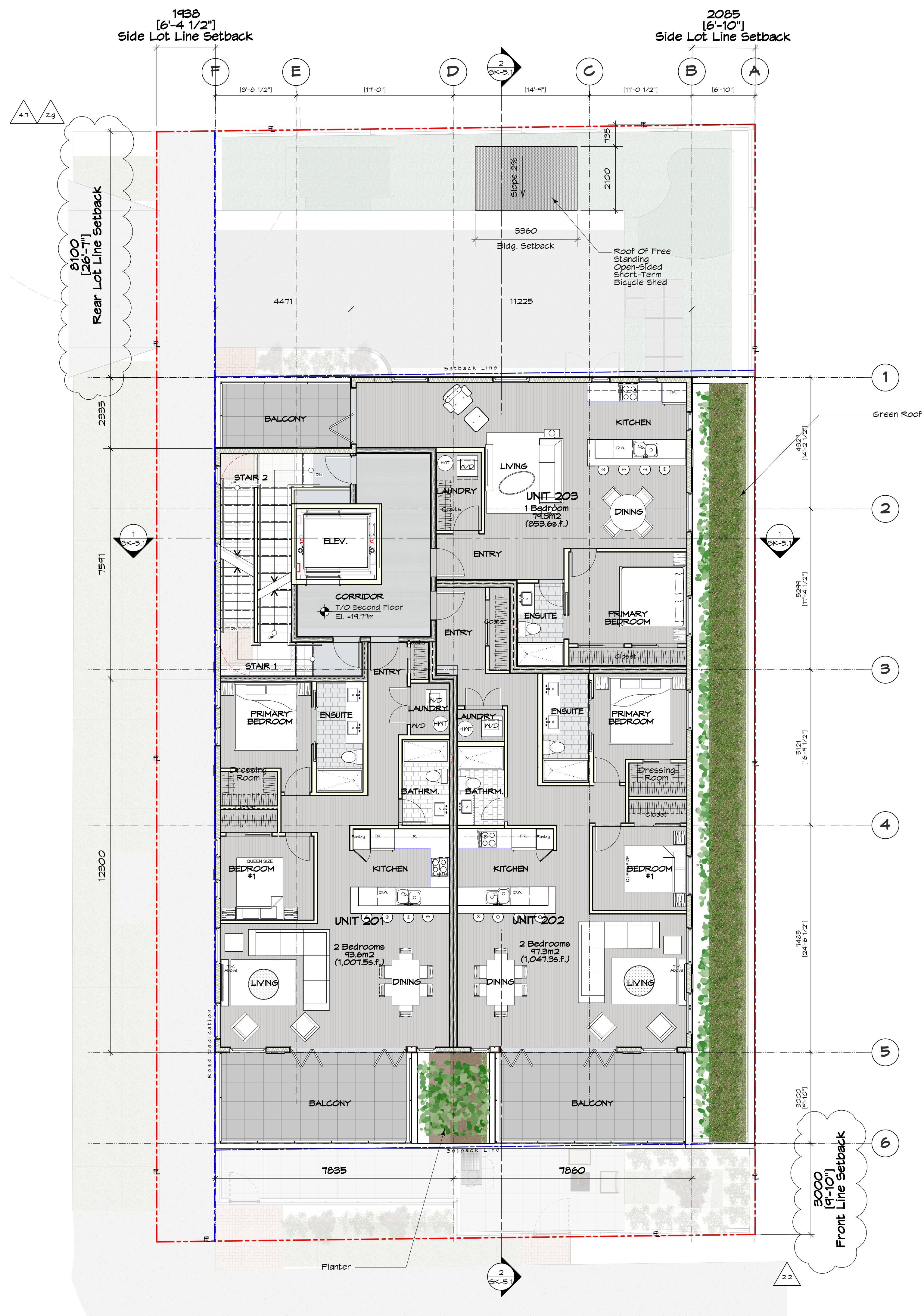
Grade Point Average	Distance Between Grade Points(m)	Totals
GPA + GPB/2	17.00 x 17.75	= 301.75
GPB + GPC/2	16.85 x 25.23	= 425.12
GPC + GPD/2	16.70 x 17.75	= 296.42
GPD + GPA/2	16.85 x 25.23	= 425.12
Grade Calculation	25.46	= 1448.41

1448.41 / 25.46 (perimeter of building) = 16.85



MJM Architect Inc. #801, 888 Yates Street, Victoria BC V8W 1P7 ph: 778.966.8018 email: office@mjmarchitect.ca	Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P.	PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC	PROJECT NO. 2340
	DRAWING TITLE Site Plan & Legal Survey	DRAWN BY MJM	SCALE AS NOTED
DATE 2025-11-12		DRAWING NO. SK-1	

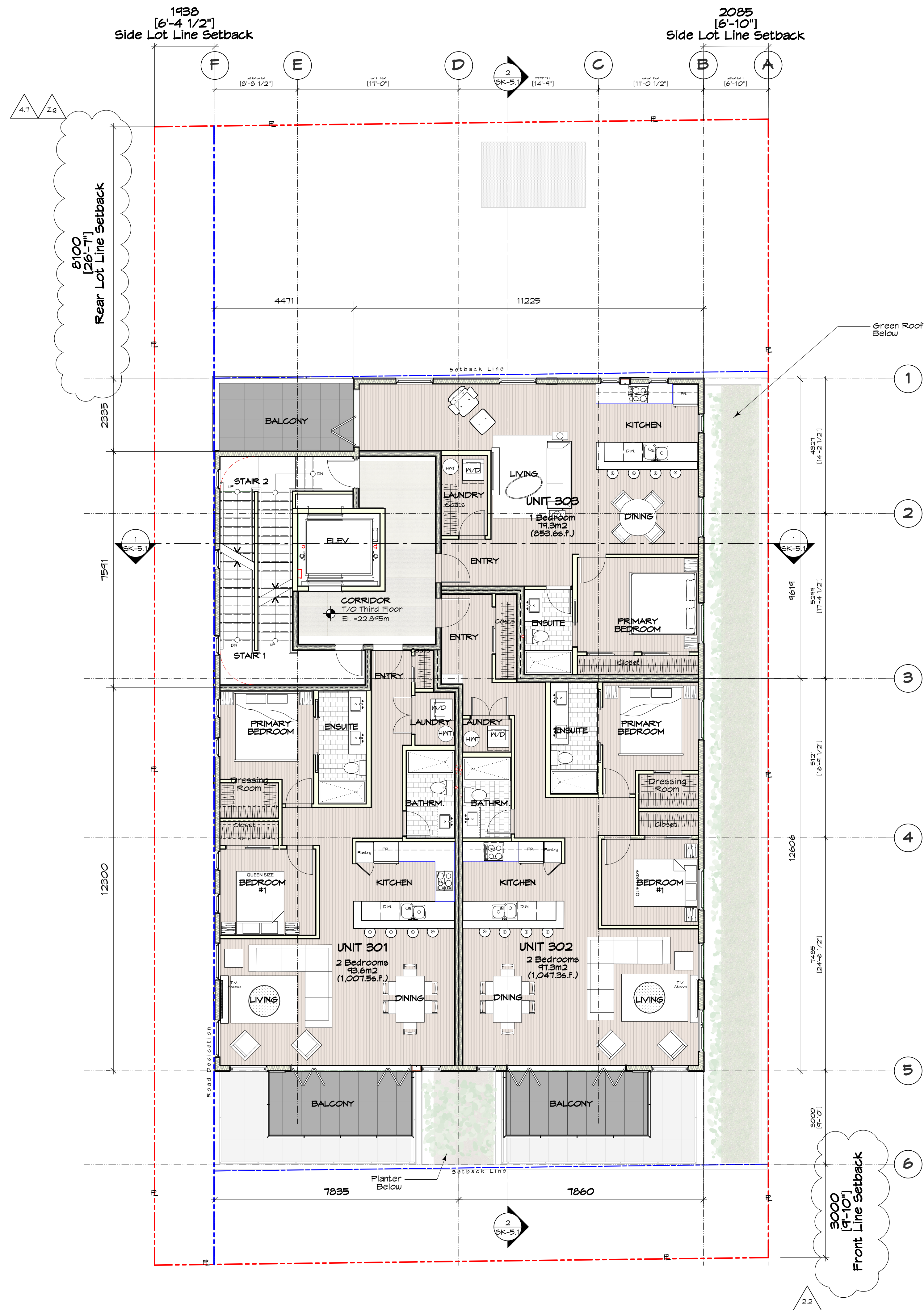




1 Second Floor Plan
Scale: 1:15

Note: - All Bedrooms Will Be Provided With At Least One Egress Window As Per BCBC 2024

Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]		PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC		PROJECT NO. 2340	
MJM Architect Inc. #801, 585 Yates Street, Victoria, BC V8W 1K7 ph: 778.266.2013 email: office@mjmarchitect.ca		DRAWING TITLE Second Floor Plan		SCALE AS NOTED	DATE 2025-11-12
DRAWN BY MJM		CHECKED BY AS NOTED		DRAWING NO. SK-2.2	



Third Floor Plan
Scale: 1:15

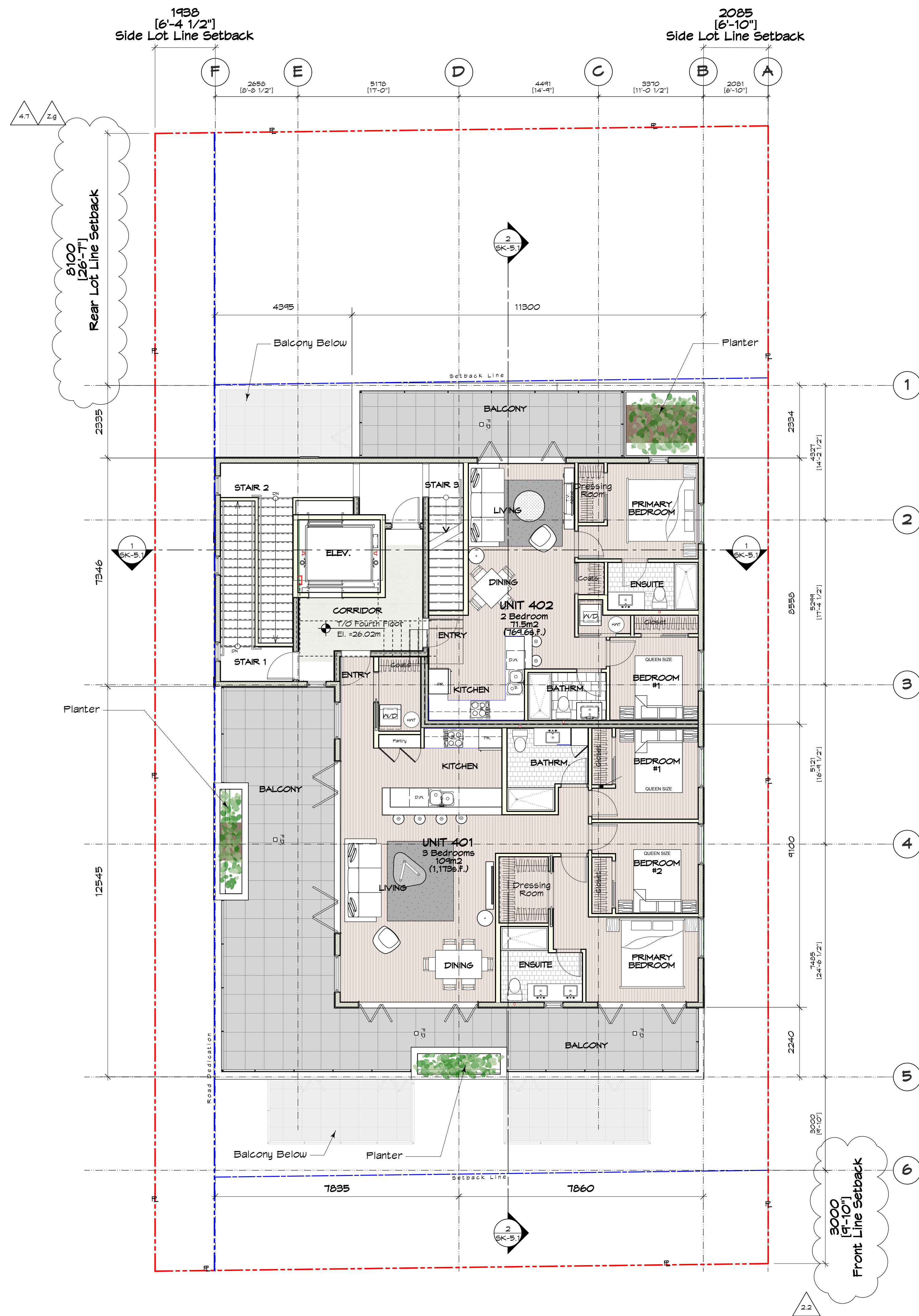
Note: - All Bedrooms Will Be Provided With At Least One Egress Window As Per BCBC 2024

North Arrow

Scale: 0 to 5 M

Orientation: 4:1, 2:2

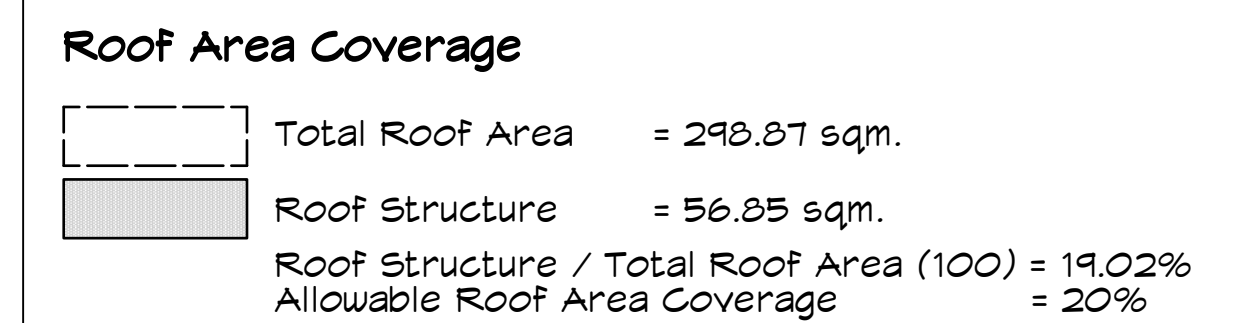
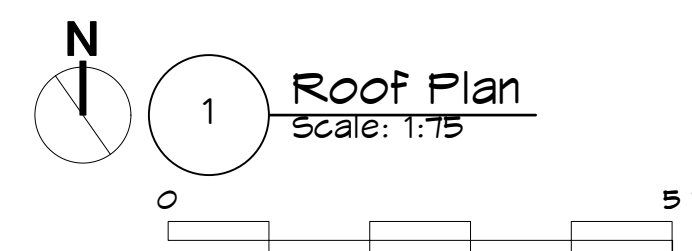
MJM Architect Inc. #801, 805 Yates Street Victoria, BC V8W 1K7 ph: 778.266.2013 email: office@mjmarchitect.ca	Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]	PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC	PROJECT NO. 2340
	DRAWING TITLE Third Floor Plan	DRAWN BY MJM	DATE 2025-11-12 DRAWING NO. SK-2.3






1 Fourth Floor Plan
Scale: 1:15

Note:
- All Bedrooms Will Be Provided With At Least
One Egress Window As Per BCBC 2024

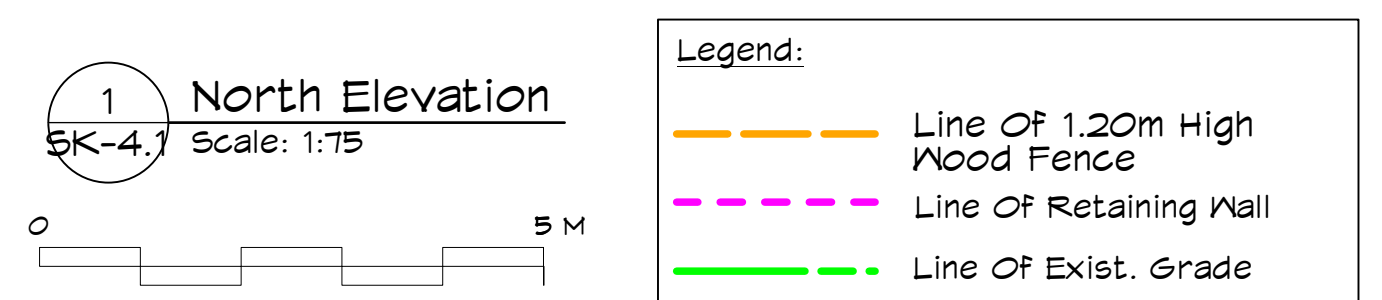
Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]		PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC		PROJECT NO. 2340	
MJM Architect Inc. #801, 605 Yates Street, Victoria, BC V8W 1K7 ph: 778.906.3013 email: office@mjmarchitect.ca		DRAWING TITLE Fourth Floor Plan		DRAWN BY MJM	SCALE AS NOTED
		DATE 2025-11-12		DRAWING NO. SK-2.4	



		Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P.	PROJECT NAME		PROJECT NO.	
 MJM Architect Inc.			4 Storey Multi-Family 600 Dallas Road, Victoria, BC		2340	
 MJM Architect Inc. #301, 551 Yates Street, Victoria, BC V6W 1K7 ph: 779.956.2519 email: office@mjmarchitect.ca			DRAWING TITLE		DRAWING NO.	
			Roof Plan		SK-2.5	
			DRAWN BY MJM		SCALE	
			CHECKED BY		DATE	
			AS NOTED		2025-11-12	
					11/15/26 02	



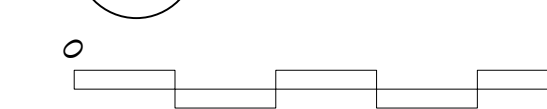
MATERIAL LEGEND	
1	Vert. Metal Siding Finish
2	Hardie Panels (Ptd. White) w/ 3/8" Reveal Panel Gaps
3	Horizontal Cedar Cladding
4	Pre-Fin. Metal Flashing
5	Boardformed (Vert.) Concrete
6	Thermally Broken Dbl. Glazed Vinyl Windows (Blk.)
7	Face-mounted Alum. Picket Guardrails (Blk.)
8	Hollow Metal Door in Pressed Steel Frame (Ptd.)



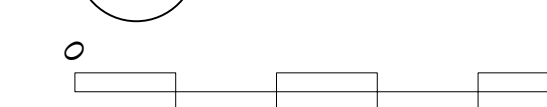
MJM Architect Inc. 8801, 8815 Vines Street Victoria BC V8N 1K7 ph: 778.966.8013 email: office@mjmarchitect.ca	Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]		4 Storey Multi-Family 600 Dallas Road, Victoria, BC		2340
	DRAWING TITLE	DRAWN BY	SCALE	DATE	DRAWING NO.
	Elevations	MJM	AS NOTED	2025-11-12	SK-4.1



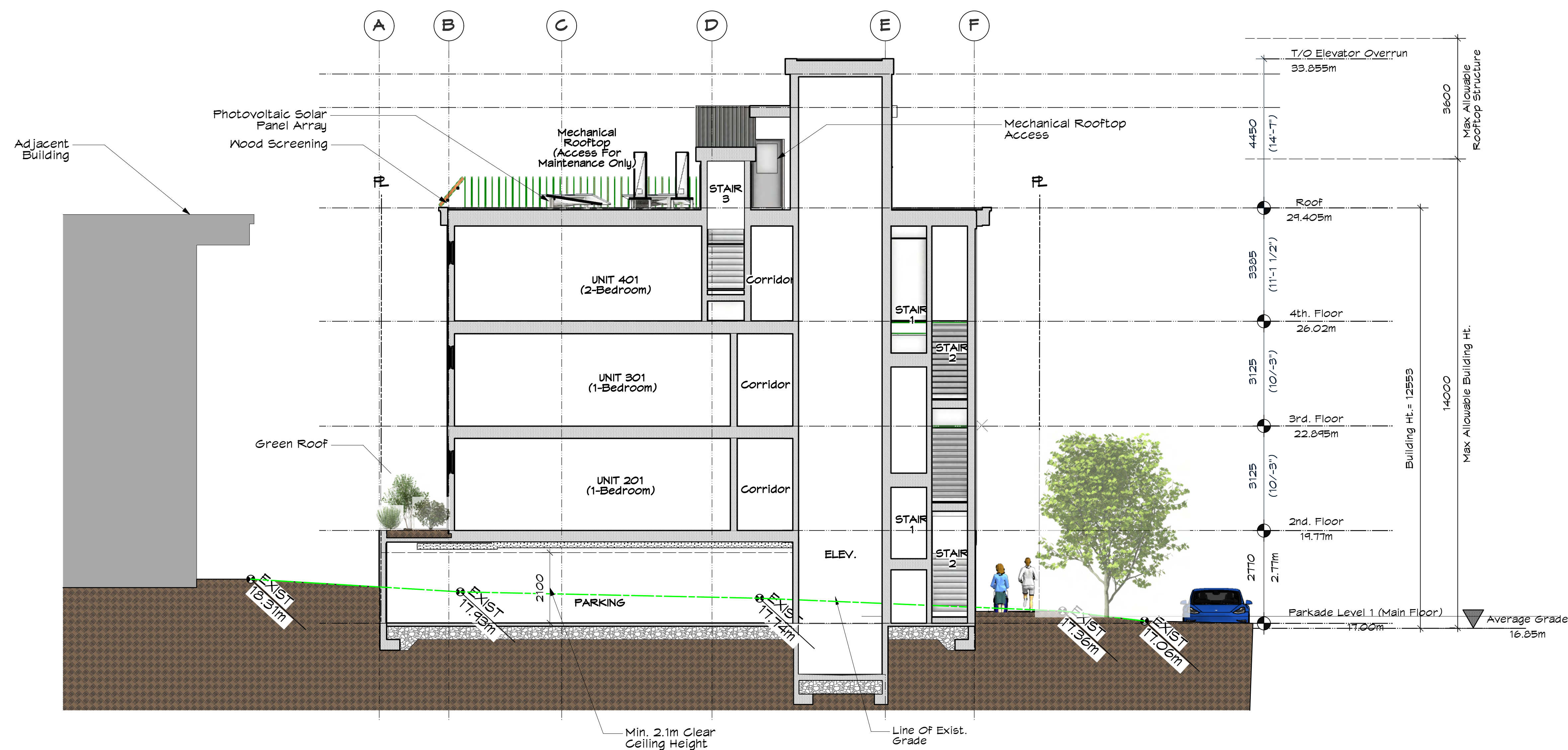
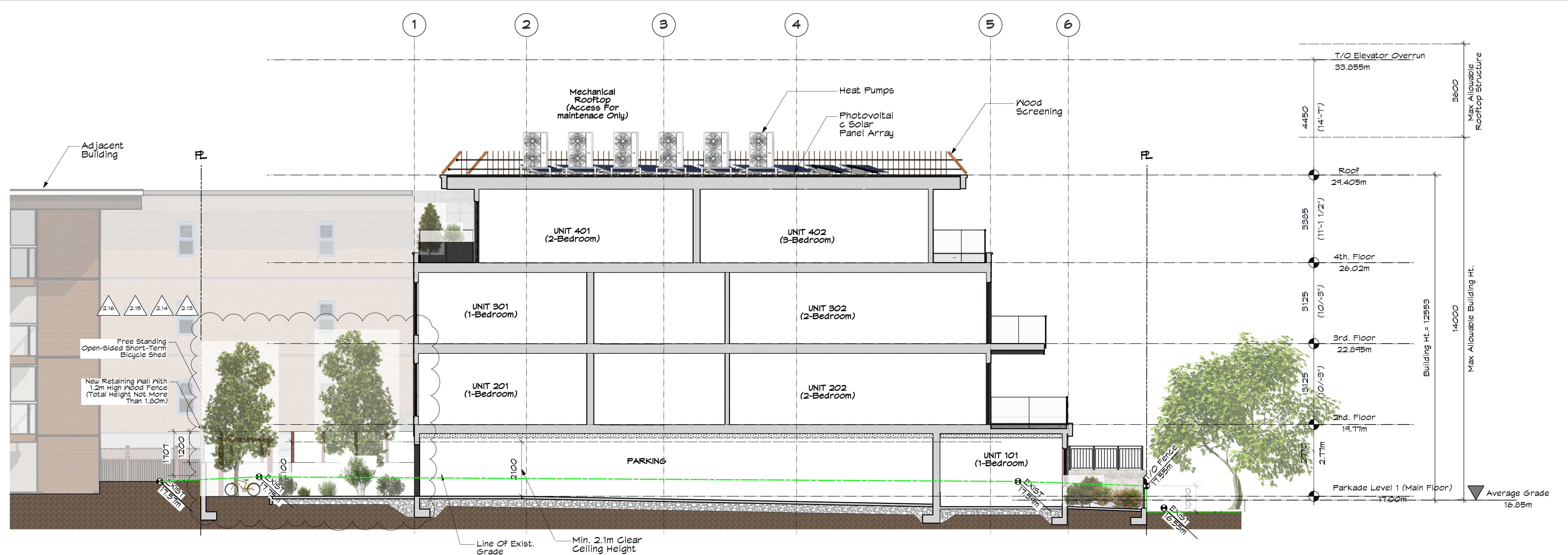
1 East Elevation
Scale: 1:75



2 South Elevation
Scale: 1:75



MATERIAL LEGEND	
1	Vert. Metal Sliding Finish
2	Hardie Panels (Pld. White) w/ 3/8" Reveal Panel Gaps
3	Horizontal Cedar Cladding
4	Pre-fin. Metal Flashing
5	Boardformed (Vert.) Concrete
6	Thermally Broken Dbl. Glazed Vinyl Windows (Blk.)
7	Face-mounted Alum. Picket Guardrails (Blk.)
8	Hollow Metal Door in Pressed Steel Frame (Pld.)



MJM Architect Inc. #801, 808 Yates Street, Victoria BC V8W 1K7 ph: 778.966.9213 email: office@mjmarchitect.ca	PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC	PROJECT NO. 2340
	DRAWING TITLE Sections	DRAWN BY MJM CHECKED BY AS NOTED DATE 2025-11-12 DRAWING NO. SK-5.1



VIEW OF PROJECT
FROM DALLAS ROAD



VIEW OF PROJECT
FROM GOVERNMENT STREET

Conceptual Illustrations Only.
Please refer to Elevations.

<div><div><div>Michael Jon Moody Principal Architect</div><div>AIBC, MRAC, LEED A.P.[®]</div></div><div><div>MJM Architect Inc.</div><div><div>#801, 581 Yates Street,</div><div>Victoria, BC V8W 1K7</div><div>ph: 778.266.2013</div><div>email: office@mjmarcitect.ca</div></div></div></div>		<div>PROJECT NAME</div> <div>4 Storey Multi-Family</div> <div>600 Dallas Road, Victoria, BC</div>		<div>PROJECT NO.</div> <div>2340</div>	
<div>DRAWING TITLE</div> <div>Exterior Views</div>		<div>DRAWN BY</div> <div>MJM</div>	<div>SCALE</div> <div>AS NOTED</div>	<div>DATE</div> <div>2025-11-12</div>	<div>DRAWING NO.</div> <div>SK-6.1</div>



Bicycle Room
Entry Door

Planters

VIEW OF ENTRY
FROM GOVERNMENT STREET

Metal Soffit in Faux
Wood Finish

Sectional Overhead
Wood Garage Door

Recessed Entry Doors To
Main Lobby in Aluminum
Storefront System

"600 DALLAS ROAD"
Signage

Light Tan Stucco
Cladding w/
Control Joints

Office & One
Bedroom
Suite

Concrete Column &
Walls

New Sidewalk

New Grassed
Boulevard



Glass Balcony
Guards

VIEW OF FRONT YARD
FROM DALLAS ROAD

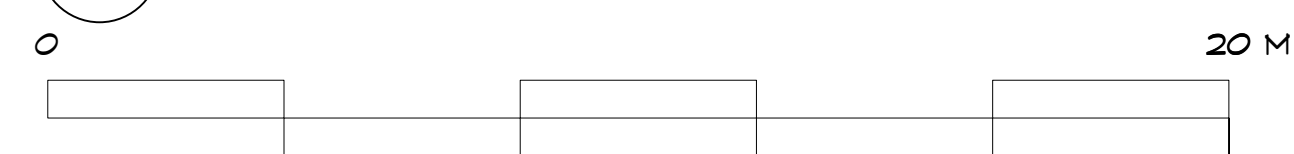
Conceptual Illustrations Only.
Please refer to Elevations.

	Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]		PROJECT NAME 4 Storey Multi-Family 600 Dalias Road, Victoria, BC		PROJECT NO. 2340	
	 #301, 581 Yates Street, Victoria, BC V8W 1G7 ph: 778.266.2013 email: office@mjmarchitect.ca		DRAWING TITLE Exterior Views		DRAWN BY MJM	
CHECKED BY:			AS NOTED	DATE 2025-11-12	DRAWING NO. SK-6.2	
				DATE 2025-11-12		DRAWING NO. SK-6.2



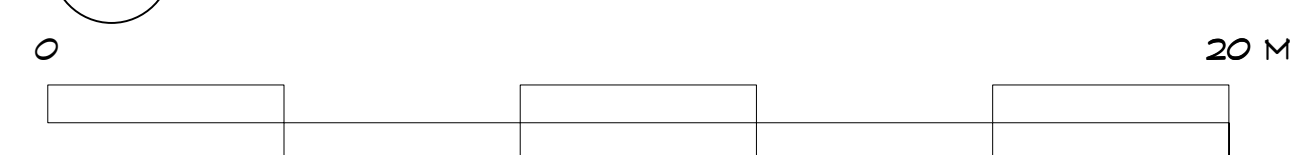
2 Streetscape Looking North on Dallas Road

SK-6.3 Scale: 1:125

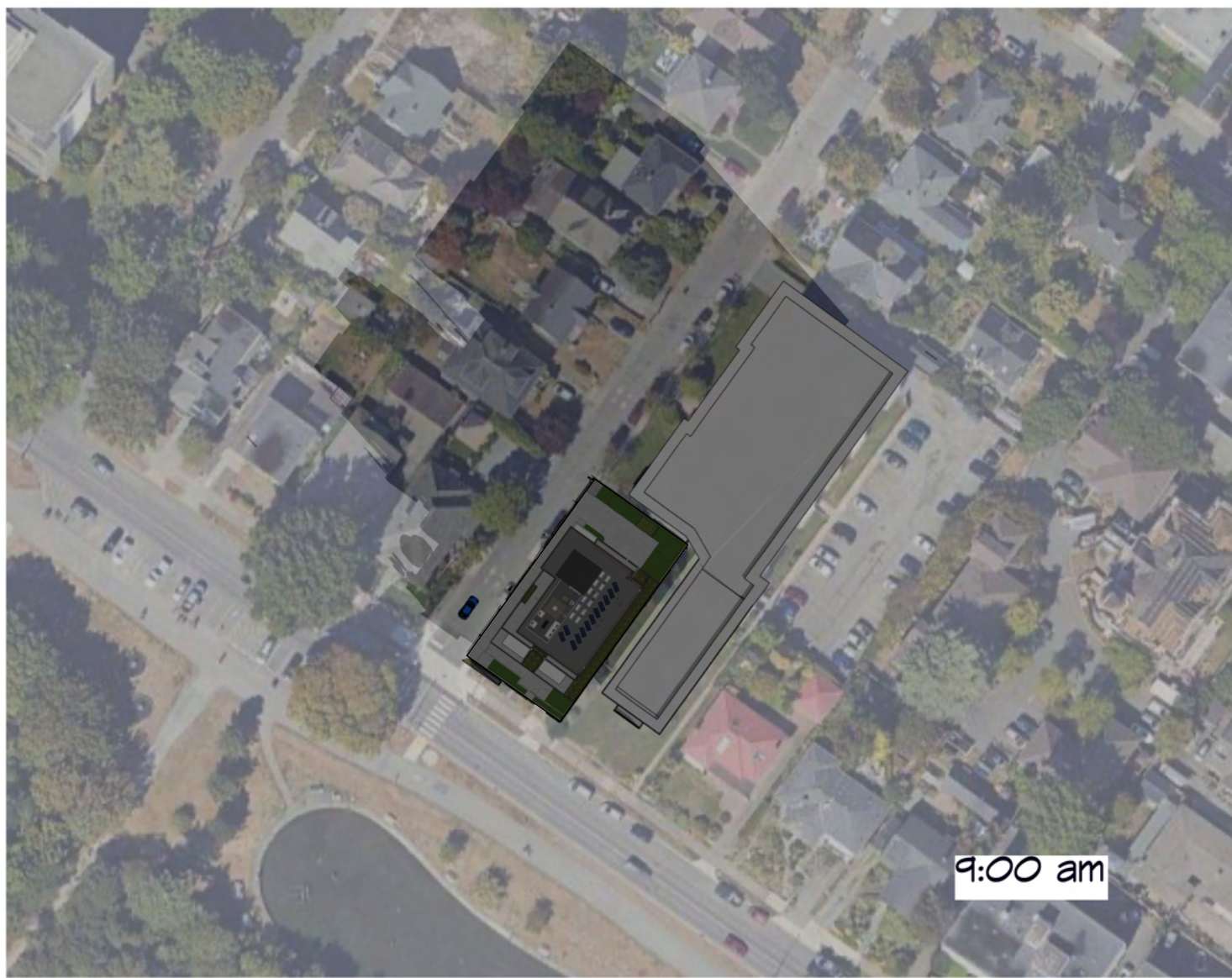


1 Streetscape Looking East on Government Street

SK-6.3 Scale: 1:125



MJM Architect Inc. #801, 585 Yates Street Victoria, BC V8W 1K7 ph: 778.966.8013 email: office@mjmarchitect.ca	PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC		PROJECT NO. 2340	
	DRAWING TITLE Streetscapes	DRAWN BY MJM	SCALE AS NOTED	DATE 2025-11-12 DRAWING NO. SK-6.3



9:00 am



12:00 pm



3:00 pm



6:00 pm

WINTER SOLSTICE

DECEMBER 21st



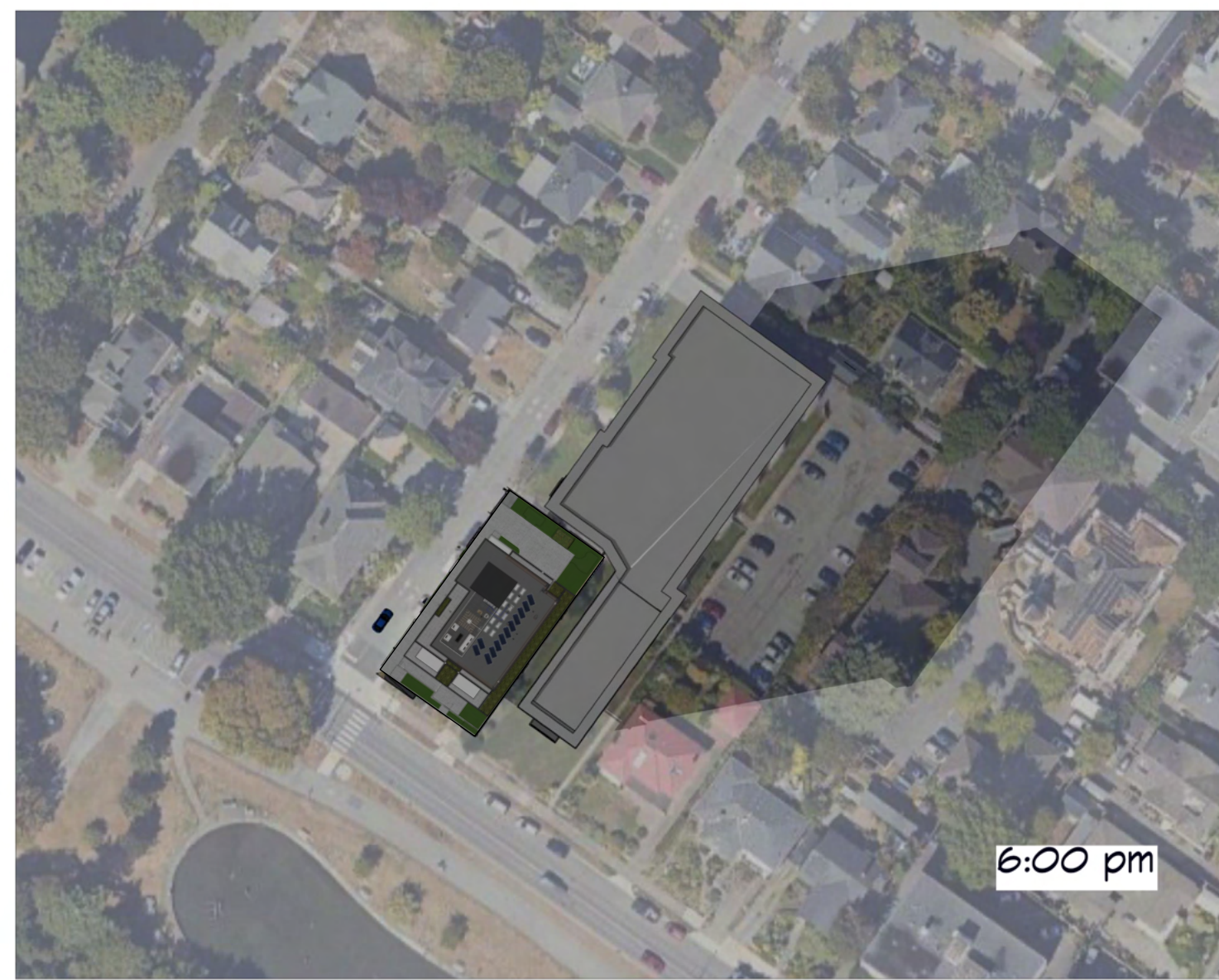
9:00 am



12:00 pm



3:00 pm



6:00 pm

SPRING & FALL EQUINOX

MARCH 21st & SEPTEMBER 21st



9:00 am



12:00 pm



3:00 pm



6:00 pm

SUMMER SOLSTICE

JUNE 21st

MJM Architect Inc. #801, 605 Yates Street, Victoria, BC V8W 1Y7 ph: 778.266.8013 email: office@mjmarchitect.ca	Michael Jon Moody Principal Architect AIBC, MRAG, LEED A.P. [®]		PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC		PROJECT NO. 2340	
	DRAWING TITLE Shadow Study	DRAWN BY MJM	SCALE AS NOTED	DATE 2025-11-12	DRAWING NO. SK-7.0	

RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
TREES		
1 Gleditsia tricanthos inermis	Shademaker Honeylocust	6m. cal. /B&B
3 Quercus robur fastigiata	Columnar English Oak	6m. cal. /B&B
SHRUBS & PERENNIALS		
Alchemilla mollis robusta	Lady's Mantle	#1 Pot
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#5 Pot
Calamagrostis x acutiflora	Karl Foerster Grass	#1 Pot
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot
Euphorbia characias Wulfenii	Wolf's Euphorbia	#5 Pot
Hamamelis Int. Jellena	Orange Witch Hazel	1.5M. Ht.
Hakonechloa macra aureola	Hakone Grass	#1 Pot
Hosta Hadspen Blue	Hosta Hadspen Blue	#1 Pot
Lavandula Munstead	English Lavender	#1 Pot
Liriope Muscari	Big Blue Lily Turf	#1 Pot
Mahonia aquifolium *	Oregon Grape	#5 Pot
Ophiopogon planiscapus nigra	Black Mondo Grass	#1 Pot
Polystichum munitum *	Western Sword Fern	#3 Pot
Ribes Sang. King Edward *	Ornamental Currant	#5 Pot
Rosemary Officinalis	Rosemary	#3 Pot
Rudbeckia Fulgida	Orange Coneflower	#1 Pot
Spiraea japonica Goldflame	Goldflame Spirea	#3 Pot
VINES & GROUND COVER		
Arctostaphylos uva ursi *	Kinnikinnick	SP3
Gaultheria procumbens *	Wintergreen	SP3
Thymus pseudolanuginosus	Wooly Thyme	SP3

NOTES:

THIS PLAN IS NOT FOR CONSTRUCTION.

- Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition).
- All growing medium to comply to BCSLA/ BCLNA standard designation "IP - Level-1 Well Groomed Areas". Greenroof soil depth to comply with required Greenroof soil requirements. Greenroof to include a temporary irrigation system approved by project Landscape Architect.
- Automatic underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IABC Standards. Irrigation to include a timer and rain sensor. Drip irrigation for groundcover and shrub beds, emitter loops for trees, and sprays for lawn areas. All irrigation piping under hardsurfaces to be sleeved. Boulevard lawn or plantings must be compliant with City of Victoria Specifications and Standards.
- Fencing to be built as shown on Architectural plan; 5. Proposed Street tree locations and species selection to be approved by City of Victoria Parks Dept. Street trees must have one dominant central leader or single straight trunk, 6-8cm diameter caliper measured 15cm above ground, and a well balanced crown with the branching starting at 1.8m -2.5m above ground. trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) or the Canadian Landscape Standard.
- Required Parks inspections for street tree planting: 1) Inspection of soil and planting area prior to planting. 2) Inspection of tree stock prior to planting. 3) Inspection of installed tree. Trees must be in good health and condition with no signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
- All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arborist where necessary. Arborist to install tree protection fencing for boulevard trees where necessary. See also Davey Resource Group Arborist Report dated September 11, 2024. See also (specifically) Arborist Tree Management Plan (Appendix 4) and Replacement Tree Plan (Appendix 5) dated September 11, 2024.
- Boulevard landscape as shown on this plan. The number and location of new boulevard trees along Government Street to be reviewed by project landscape designer and City of Victoria Parks once underground service/utility information is known. Driveway crossing to be removed and grassed boulevard to be reinstated to municipal standards and City of Victoria approval.
- The details for the seed and sod boulevard can be found in schedule B3-4. Ensure that adequate soil volumes for the proposed street trees are installed in the grass boulevards. Required inspections for seed and sod boulevard: 1) Inspection of excavation and scarified subgrade prior to backfill. 2) Inspection of installed, rolled and prepared growing medium prior to sodding. 3) Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard. A soil test for the growing media, for each landscape application on City Property must be submitted top City Parks for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria webpage.

LEGEND

HARDSCAPE FINISHES:

PP1	CIP natural finish concrete Driveway, Natural colour
PP2	Belgard Aqualine Series Interlocking Permeable Paving system; colour to be Midnight Grey
PP3	Concrete unit paving, Origins by Belgard, all sizes, Iron Bay colour
PP4	1/2" crushed gravel base
PP5	CIP concrete sidewalk, Natural

SOFTSCAPE:

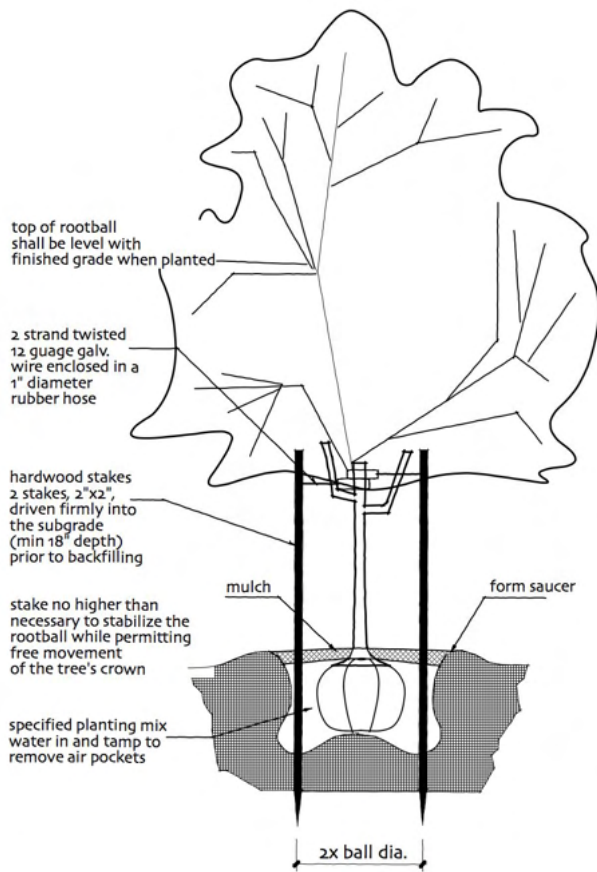
	Lawn
	Planting area c/w groundcover planted
	Green roof planting area

MISCELLANEOUS:

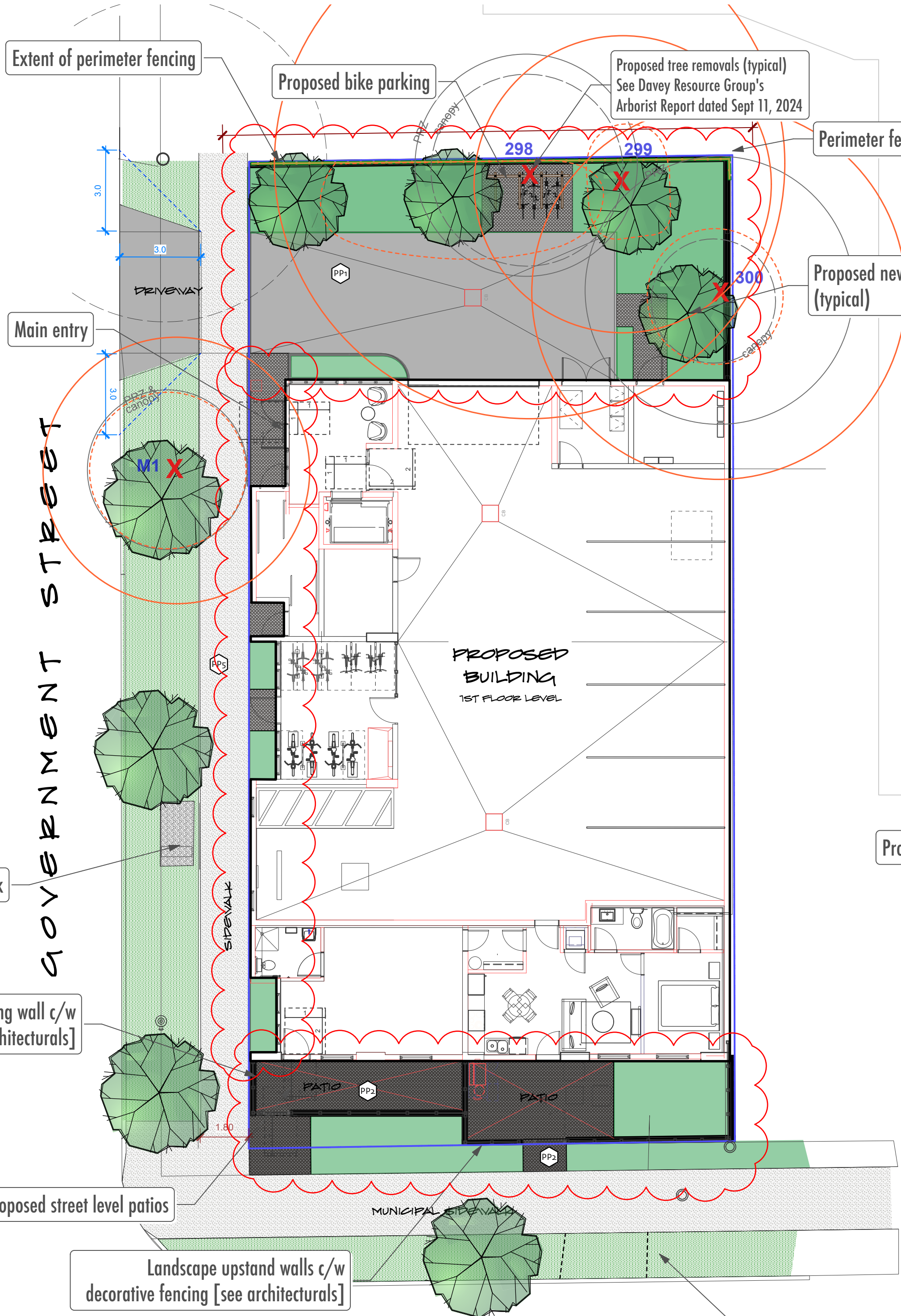
	New concrete or mortared rock retaining/upstand walls; Heights vary.
	Exist concrete or mortared rock retaining/upstand walls; Heights vary.

NOTES:

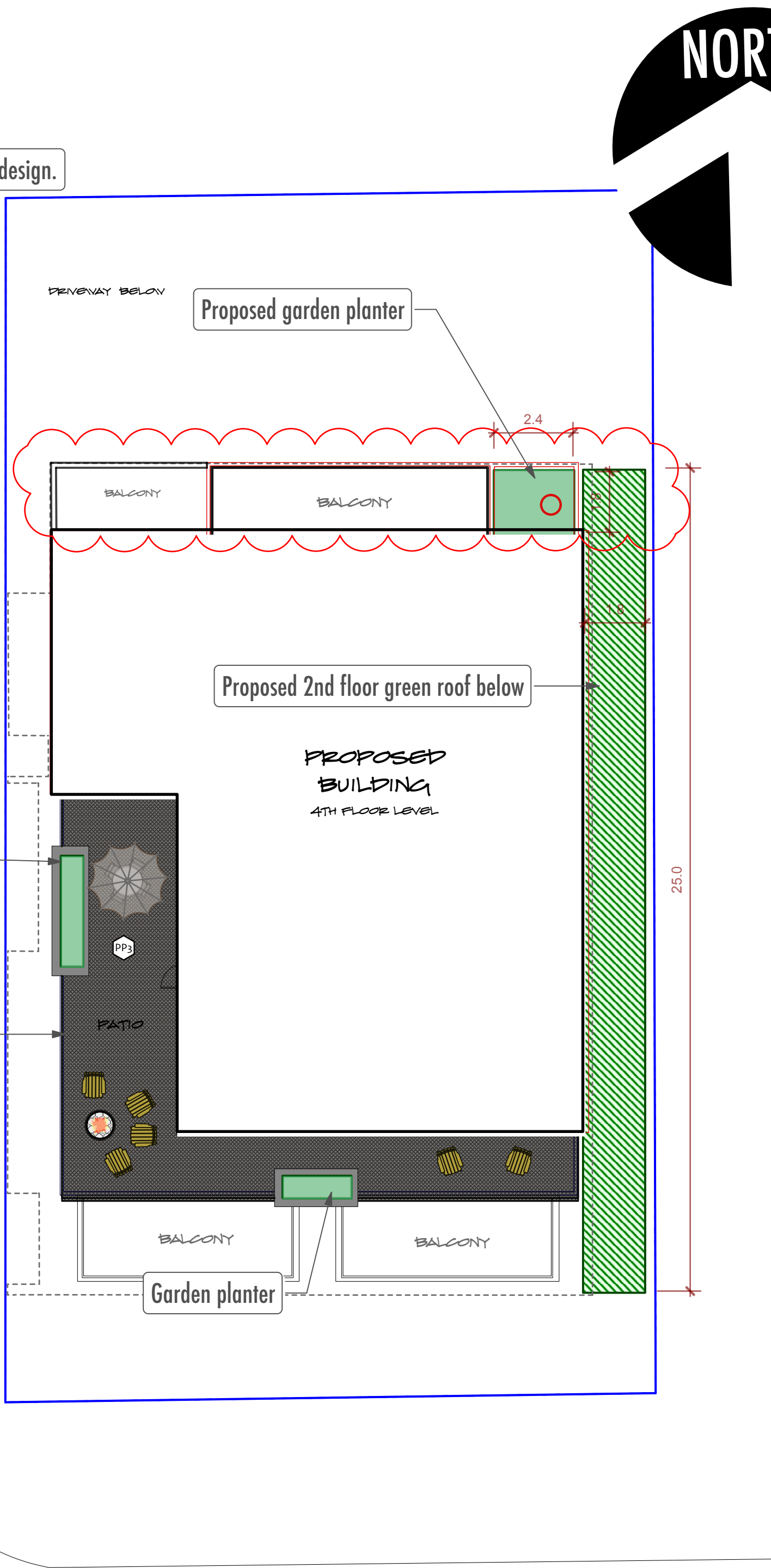
- All building layout information and setback dimensions supplied by MJM Architect Inc.
- All survey information supplied by MJM Architect Inc.
- This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
- All errors and omissions must be reported immediately to the Designer.
- This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.



TREE PLANTING DETAIL
SCALE: NTS



GROUND LEVEL LANDSCAPE



GREEN ROOF LANDSCAPE PLAN



SKL.01
10.JULY.2024
1:125
LATEST REVISION: 04.NOVEMBER.2025

NOT FOR CONSTRUCTION.
FOR DEVELOPMENT PERMIT ONLY.

600 DALLAS ROAD LANDSCAPE LAYOUT

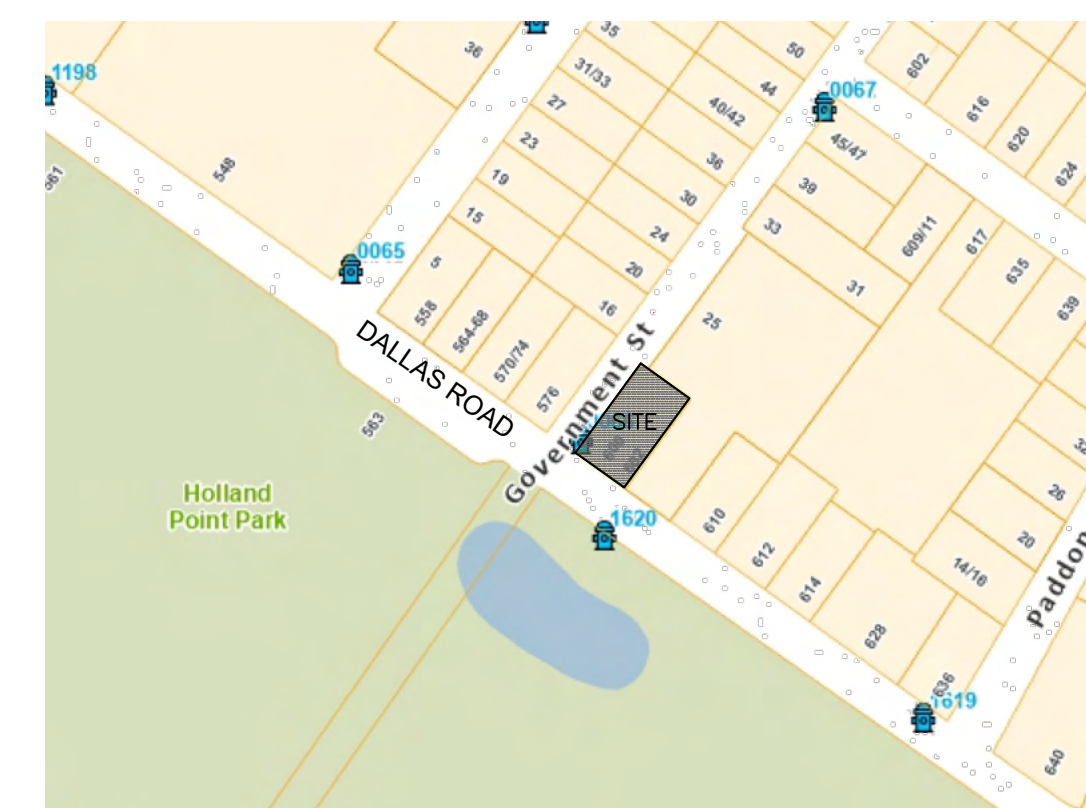
STUDIO ONE CREATIVE
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CALID SERVICES LTD
250.388.6919 - 2750 Quadra St, Victoria, BC

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:: RESIDENTIAL DEVELOPMENT :: 600 DALLAS ROAD :: SKL.01 :: landscape layout ::



ISSUED FOR DISCUSSION



LEGAL DESCRIPTION: LOT 2, SECTION 5, BECKLEY FARM, VICTORIA CITY, PLAN 5355
BENCHMARK: MONUMENT _____ ELEV. _____

J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com