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Richmond Rd Perspective View

Issued for DP Resubmission #3

2026-06-18

PROJECT ADDRESS

2612, 2616, 2620, 2628 Richmond Rd
Victoria, BC

DRAWING LIST

ARCHITECTURAL

- A-000000 Cover Page
- A-000001 Project Data & Site Plan
- A-000002 Perspective Views
- A-000004 Perspective Views
- A-000005 Legal Survey
- A-011000 Level P1
- A-011010 Level 01 Plan
- A-011020 Level 02 Plan
- A-011030 Level 03 Plan
- A-011040 Level 04 Plan
- A-011050 Level 05 Plan
- A-011060 Level 06 Plan
- A-011061 Roof
- A-011111 Zoning Calculations
- A-011112 Zoning Calculations
- A-012001 Section 01
- A-012002 Section 02
- A-013001 Elevation (N)
- A-013002 Elevation (S)
- A-013003 Elevation (E)
- A-013004 Elevation (W)
- A-013006 Context Elevations
- A-014010 Shadow Study
- A-014011 Spatial Setback

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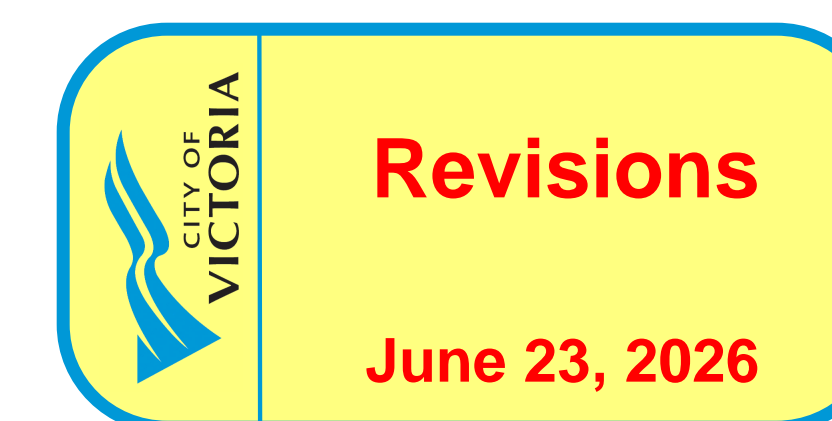
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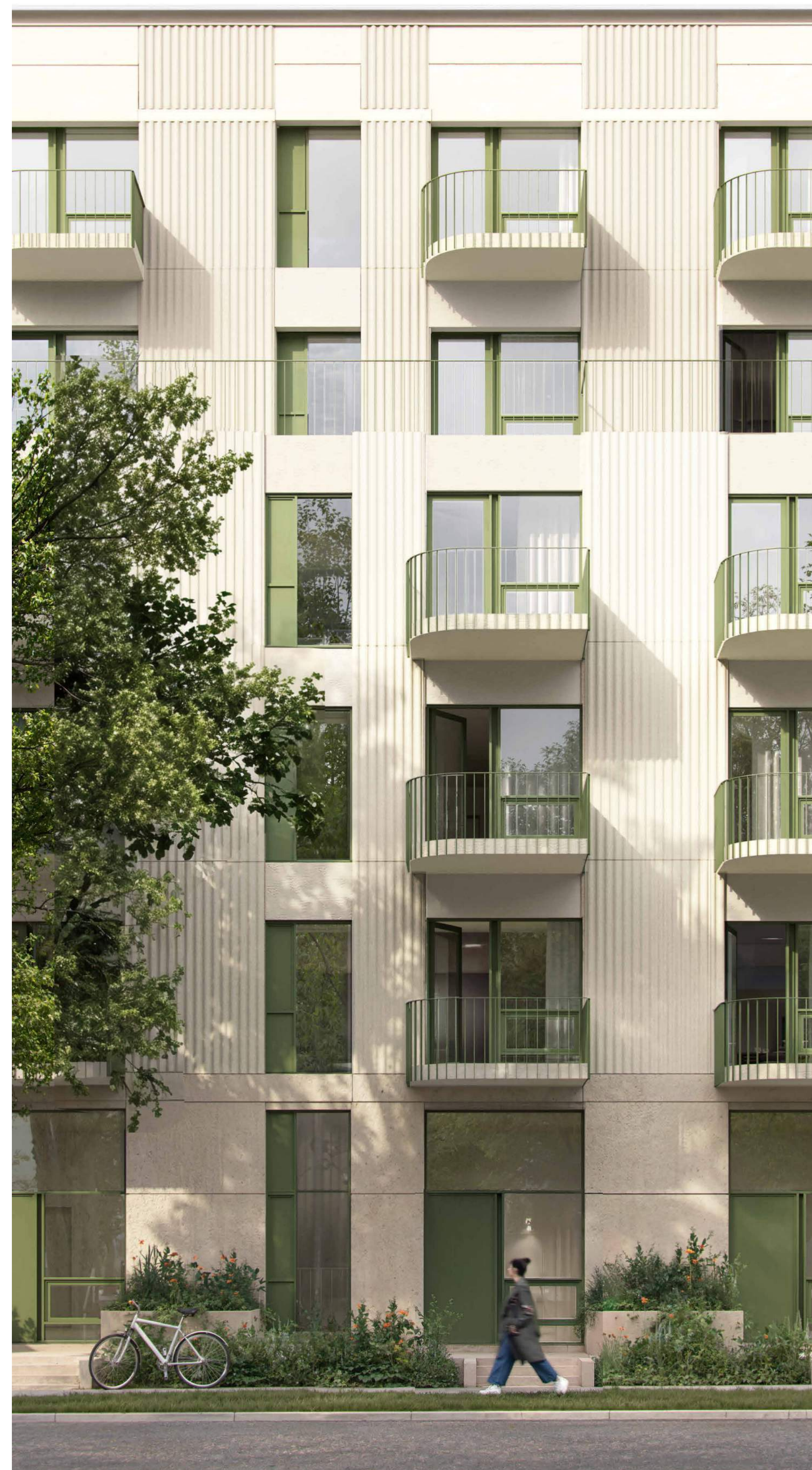
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P05	06/18/2026	Issued for DP Resubmission #3		
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P01	06/07/2025	Issued for Development Tracker		

Drawing No:	Rev:		
A-000000	P05		
Project Name:			
2612 - 2628 Richmond Road, Victoria			
Drawing Name:			
Cover Page			
Drawing Status:			
PLANNING			
Project No:	Scale:	Drawn:	Checked:
4153-C	1:100	HN	KB



Richmond Rd, Perspective View

Three distinct finishes are proposed: a textured cementitious panel, a smooth cementitious panel, and RAL green as the colour in focus.



Textured Finish
Cementitious Panel



Smooth Finish
Cementitious Panel



Accent Colour
Railings, windows and doors

P04	04/09/2025	Issued for DP Re-submission #2		
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Rev.	Date	Description	Issued by	Checked by
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A-000002		P04		
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Perspective Views				
Drawing Status:				
PLANNING				
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Carrick St Elevation



Cornice Detail

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PO4	04/09/2025	Issued for DP Re-submission #2		
PO3	09/26/2025	Reissued for Reasoning & Development Permit		
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PO1	06/07/2025	Issued for Development Tracker		
Rev.	Date	Description	Issued By	Checked By

Drawing No: **A-000004** Rev: **P05**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Title: **Perspective Views**

Drawing Scope: **PLANNING**

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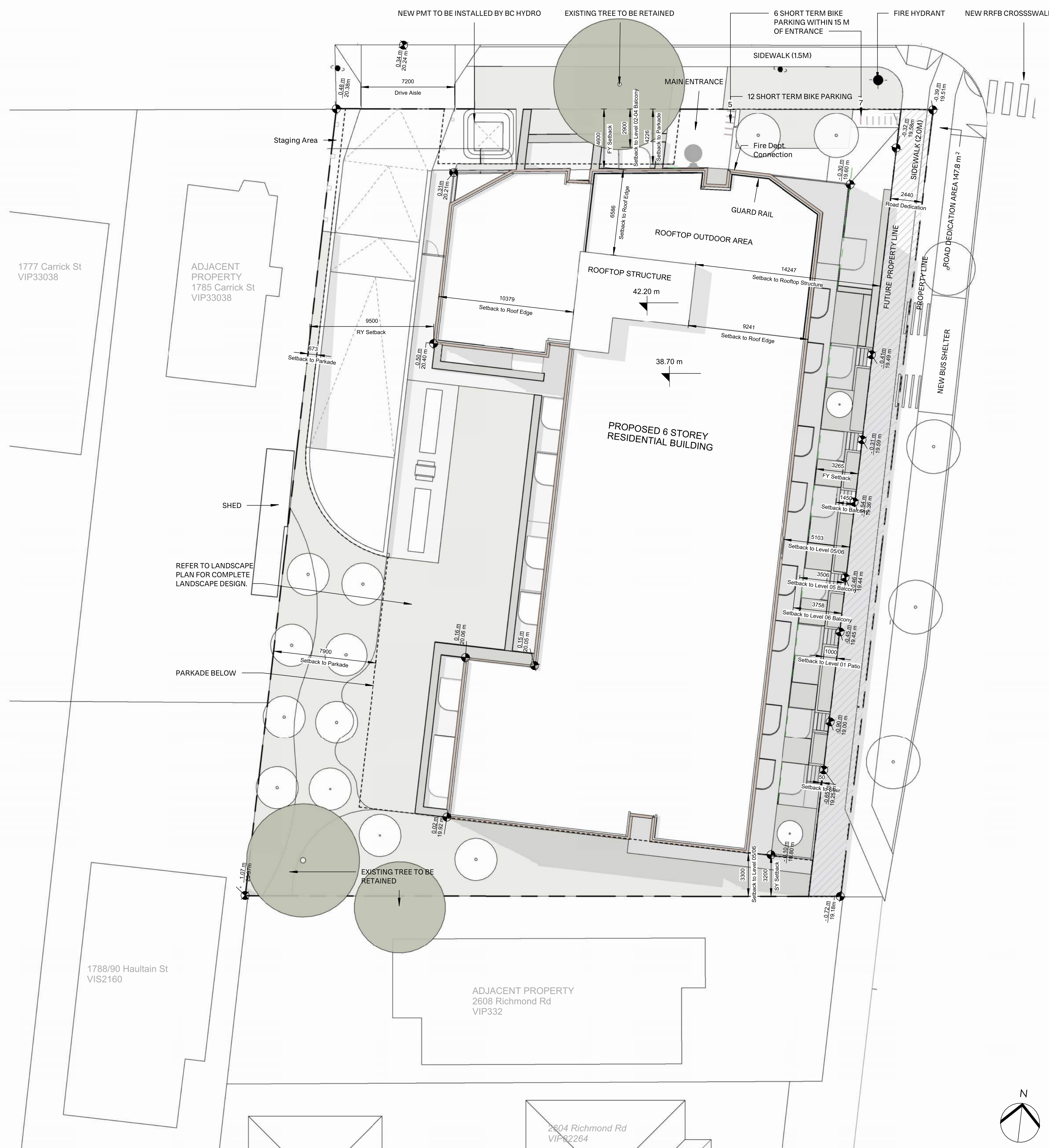
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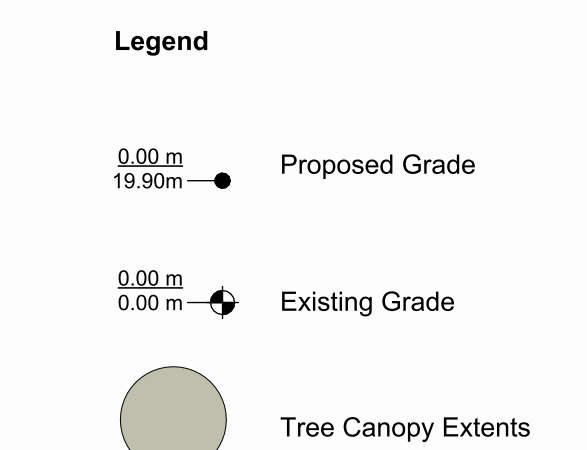


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Drawing No:	Rev:			
A-000005	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C			HN	KB



PROJECT INFORMATION TABLE		
Current Use	SFD/DUPEX/OFFICES	
Proposed Use	Rental Housing	
Proposed Scope of Work	105 Units - Purpose Built Mixed-Use Rental Housing	
Location and Siting of Uses and Structures	Proposed	Zone Standard
First storey non-residential use	Yes	Yes - Corner Lot
Minimum one criteria must apply if first storey non-residential use proposed		
Floor Area Occupied by Dwelling Units (%)	>50.00	
Number of buildings	1	
Dwelling unit size (m ²)(min.)	33	
3-bedroom units (m ²)(min.)	11 units (10.5%)	10%
2-bedroom units (m ²)(min.)	21 units (20%)	20%
Operable bedroom window	1 per bedroom	
Operable bedroom window (min. size)	475 mm ²	
Site Planning		
Zone (existing)	GRD-1	
Lot area (post road dedication)	2603 m ²	
Lot area + road dedication	2750 m ²	
Street Frontage	52 m	
Gross floor area (m ²)	6,743.68 m ²	
Floor space ratio	2.59	
Open lot space (%) pre road dedication	50.5% (1,391 m ²)	
Soft Landscaping	755 m ²	min 50%
Hard Landscaping	636 m ²	max 50%
Lot Coverage (%) post road dedication	52%	max 55%
Landscape Area (%)	10% (260 m ²)	
Above and belowground structures	yes	
Building Data		
Building Height Average grade (m)	19.0 m	
Height (m)	18.8 m	20.5 m
Number of storeys	6	
Balcony Projection	1.8 m	2.0 m
Underground Parkade Projection	refer to A-000001	
Setback to residential unit stair	220 mm	4.0 m
Building Setbacks		
Side on Flanking Street (Carrick)	4.6 m	4.0 m
Front Yard (Richmond) (post road dedication)	3.3 m	4.0 m
Rear Yard	9.5 m (variance is req'd)	8.0m or 25% of Lot Depth
Side Yard (not a primary facade)	3.2 m	ii. 9.0m to a Primary Facade above 4 Storeys iv. 3.0m to all other facades above 4 Storeys
Residential Use details		
Total number of units	105	
Unit Types	Studio, 1B, 1B+Den, 2B, 3B	
Ground-oriented units	16	
Minimum unit floor area (m ²)	33 m ²	
Total residential floor area	5713 m ²	
Rooftop Structure		
Projection (into height)	0m projection (0.8m height)	
Parapets	2.04m projection (3.5 m height)	
Rooftop Structure	5.46%	
Roof area coverage (%) (max)	refer to A-00001	
Setback from edge (m)(min)		
Fencing		
Height - Residential - Front	<1.22	
Height - Residential - Rear and side	<1.8	
Front Yard Gate height (m) (max)	<2.6	
Front Yard Gate width (m) (max)	<1.5	
refer to A-013001, A-013002, A-013003, A-013004		
Vehicle Parking (min.)		
Commercial	0	2
Residential	36	95
Accessible - standard	3	3
Accessible - van	1	1
Visitor	6	11
Accessible - standard visitor	0	0
Accessible - van visitor	1	1
Accessible Signage	refer to A-01000	
Car-share (EV charging station to be provided)	1	
Height clearance	Min. 2.1m	
Drive aisle grade (%) max	Max 5%	
Driveway grade (%) max	15%	
Driveway/ parking materials	Hard Surface	
Electric charging outlets - Residential	100%	
Energized electric vehicle outlets have been provided in accordance with Zoning Bylaw 2018, Amendment Bylaw (No. 5).		
One outlet to be provided per required vehicle parking space not inclusive of visitor parking spaces.		
Electric charging - Commercial	1	5% of req'd parking stalls
Bicycle Parking (min.)		
Long Term Total (Residential)	123	121
Long Term Total (Commercial)	1	1
Long Term	P1 - Bicycle Storage	
Long term ceiling clearance	3100 mm (ref A-012001)	
Door entry width	900 - 1027 mm	
Aisle Width	15 m	min 15 m
Ground anchored (50%) min	61%	
Long Term Count Breakdown		
Horizontal Ground Mounted	56	
Stacked	48	
Oversized Ground Mounted	20	
Short Term Total:	12	
Location	6 within 15.00 m of entrance	
Residential Short Term	11	
Commercial Short term	1	



UNIT MIX							
	L01	L02	L03	L04	L05	L06	Total %
Studio	7	9	9	9	5	5	44 41.90%
1B	0	0	0	0	3	3	6 5.71%
1B+Den	4	5	5	5	2	2	23 21.90%
2B	4	3	3	3	4	4	21 20.00%
3B	1	2	2	2	2	2	11 10.48%
Total	16	19	19	19	16	16	105 100%

1 SITE PLAN
1:200

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Drawing No: **A-000001** Rev: **P05**

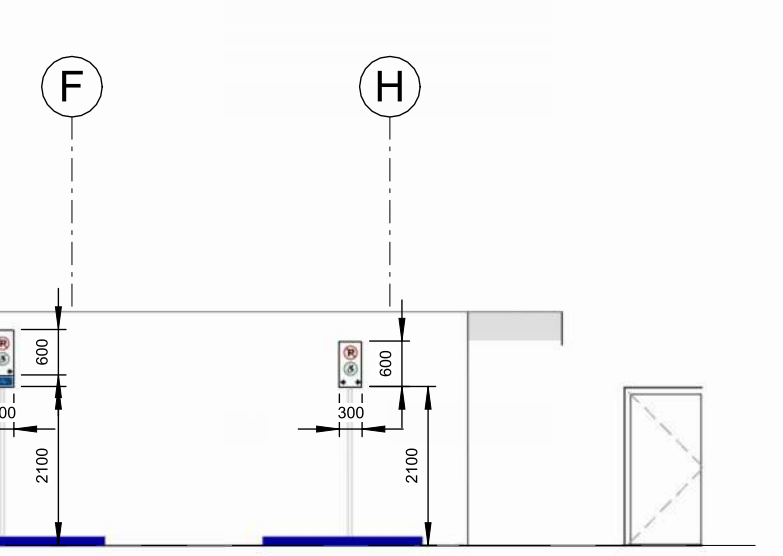
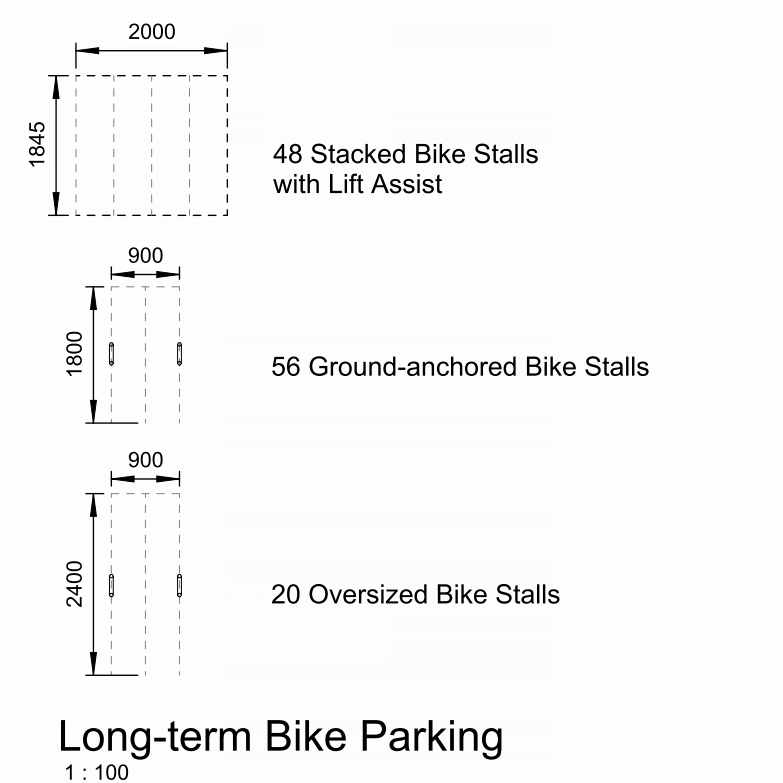
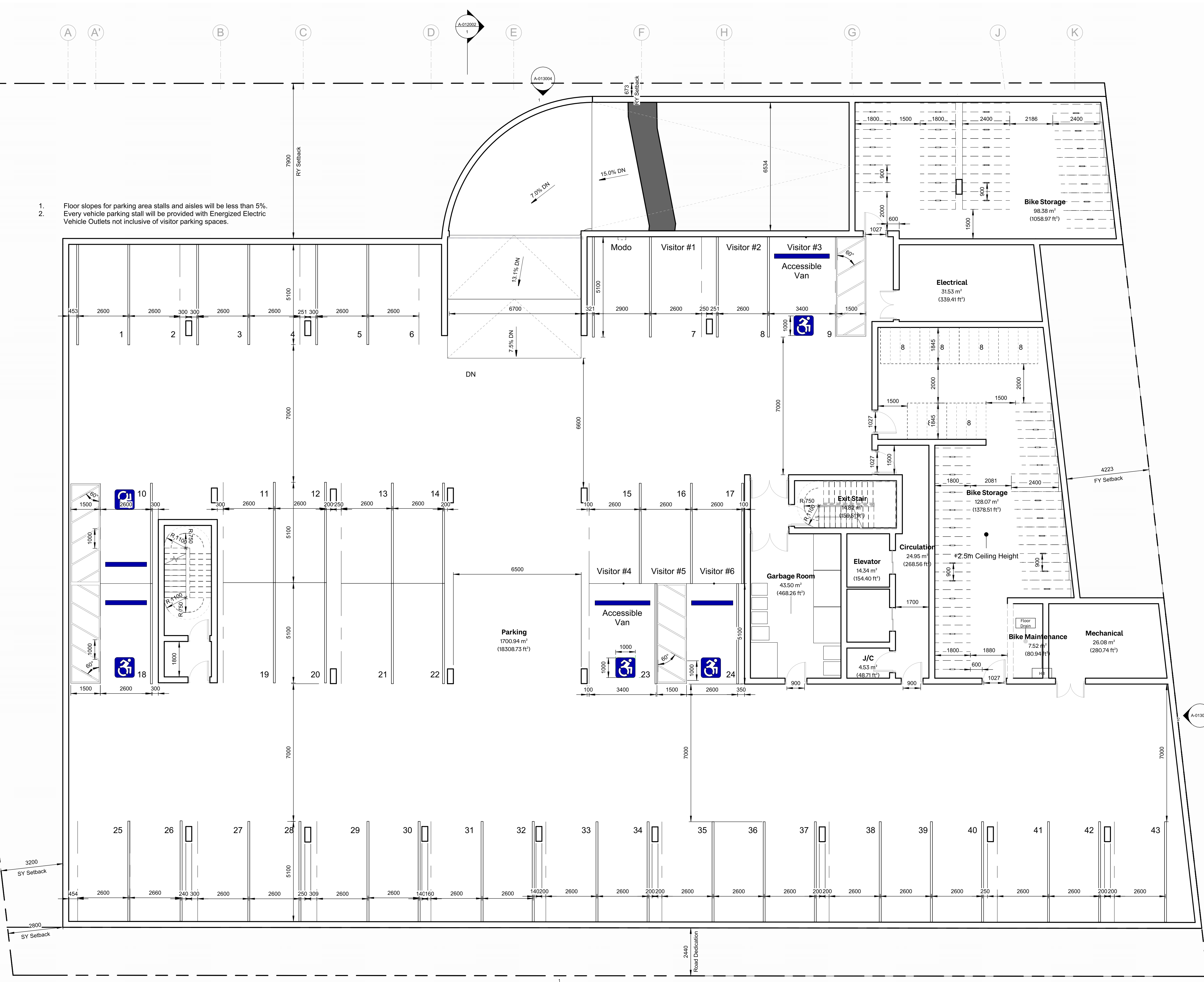
Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Project Data & Site Plan**

Drawing Status: **PLANNING**

Project No: **4153-C** Date: **As indicated** Scale: **HN** Drawn: **KB** Checked: **KB**

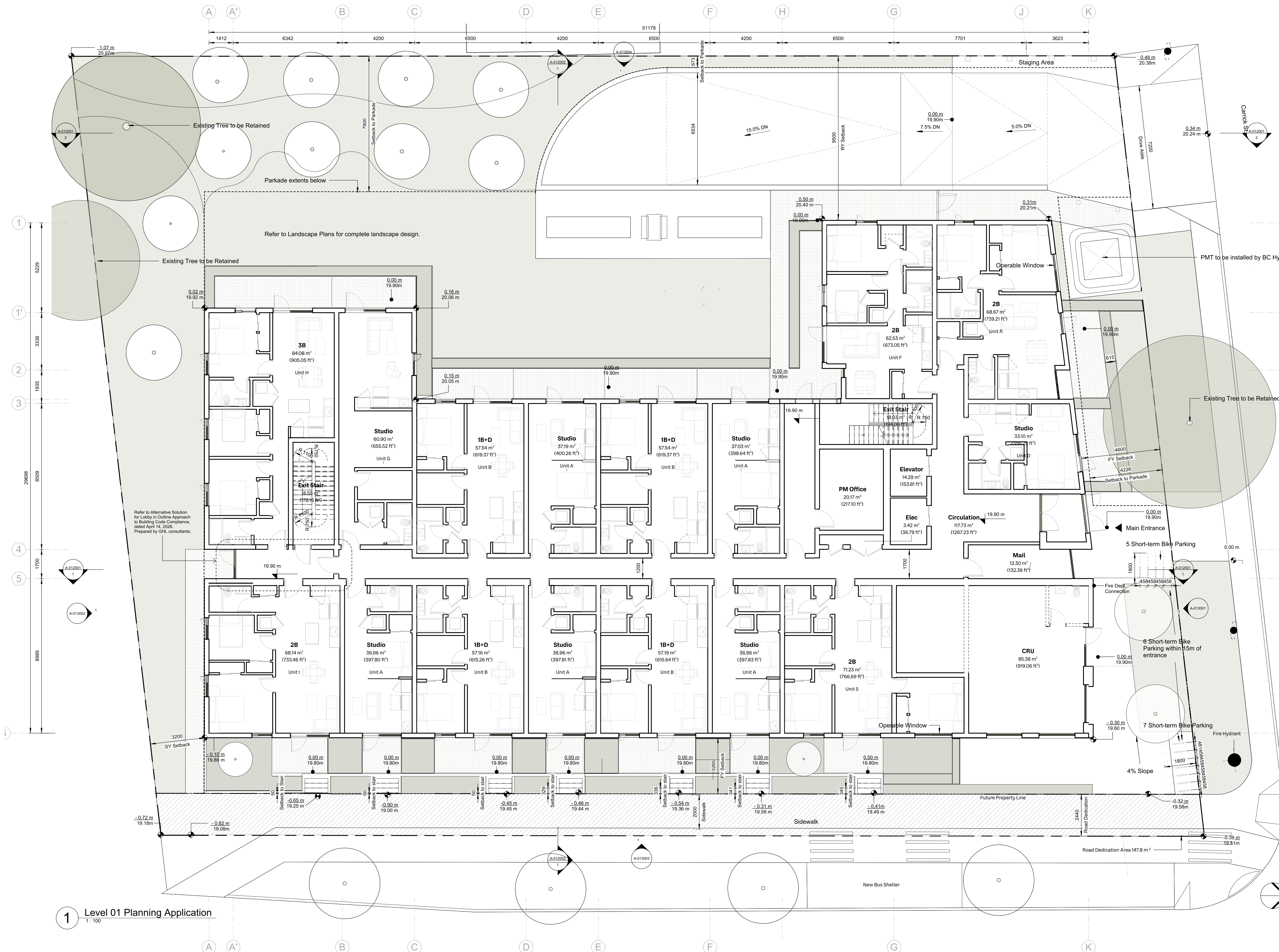
1. Floor slopes for parking area stalls and aisles will be less than 5%.
2. Every vehicle parking stall will be provided with Energized Electric Vehicle Outlets not inclusive of visitor parking spaces.



Accessible Parking Sign Specifications
1:100

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Drawing No:	Rev:			
A-011000	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Level P1				
Drawing Status:				
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Project No:	Date:	Scale:	Drawn:	Checked:
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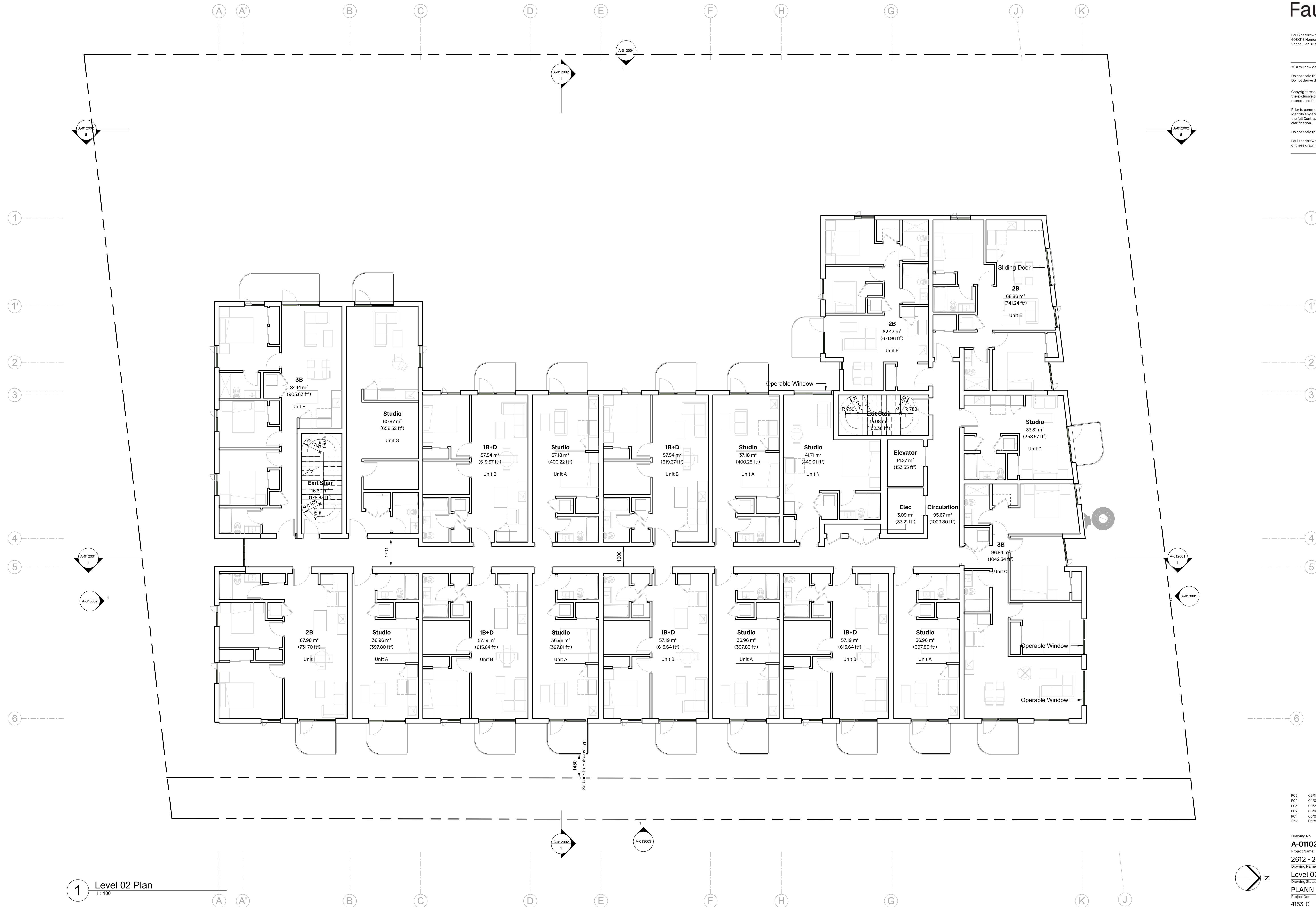
Legend

- 0.00 m 19.90m ● Proposed Grade
- 0.00 m 0.00 m ● Existing Grade
- Tree Canopy Extents

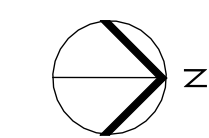
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P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-011010	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Level 01 Plan				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C		1:100	HN	KB

1 Level 01 Planning Application
1:100



1 Level 02 Plan
1:100



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P02	06/18/2025	Issued for Reasoning & Development Permit		
P01	06/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-011020	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Level 02 Plan				
Drawing Status:				
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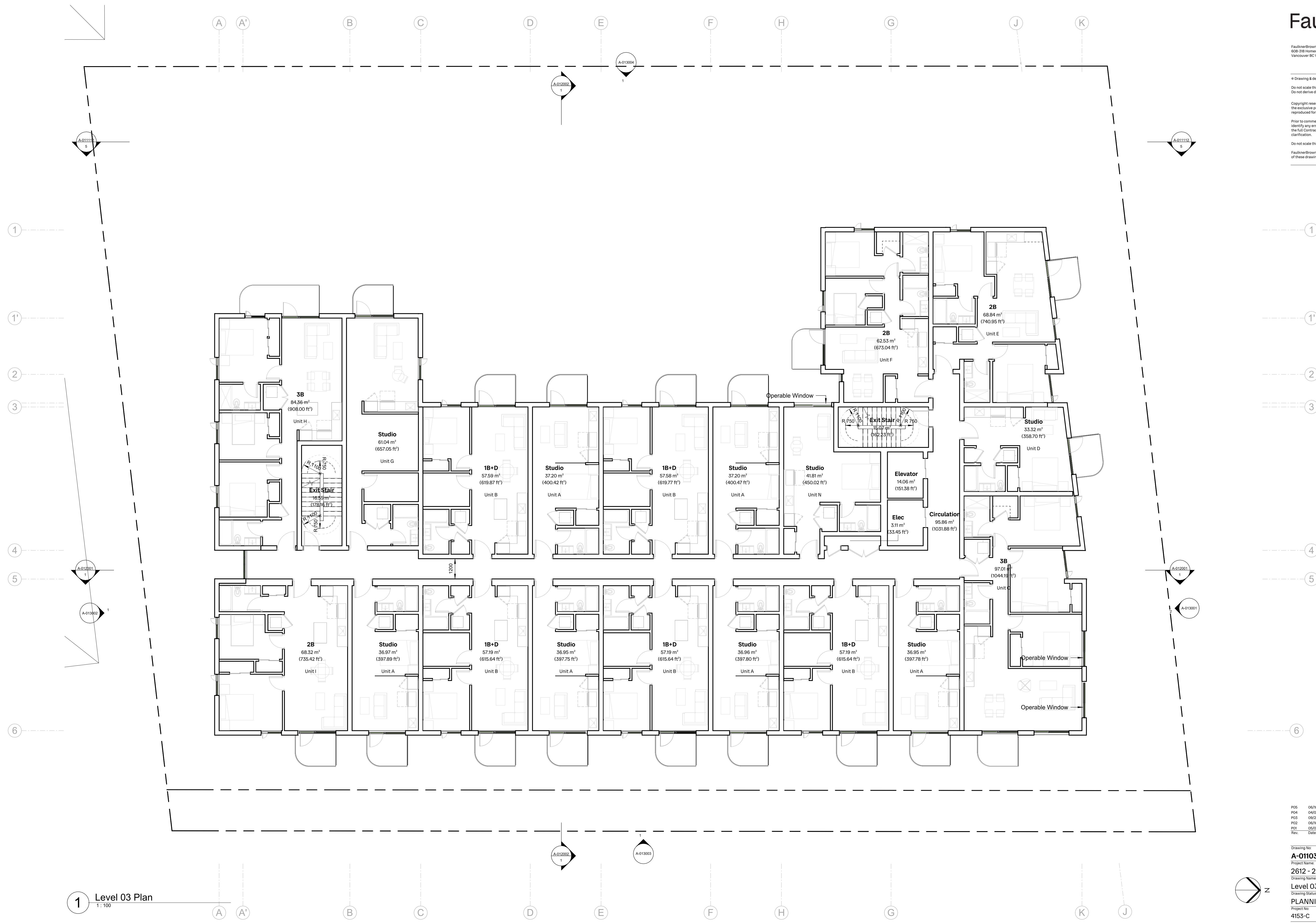
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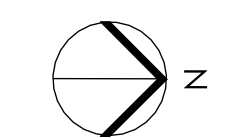
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1 Level 03 Plan
1:100



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Drawing No:	Rev:			
A-011030	P05			
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2612 - 2628 Richmond Road, Victoria				
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Level 03 Plan				
Drawing Status:				
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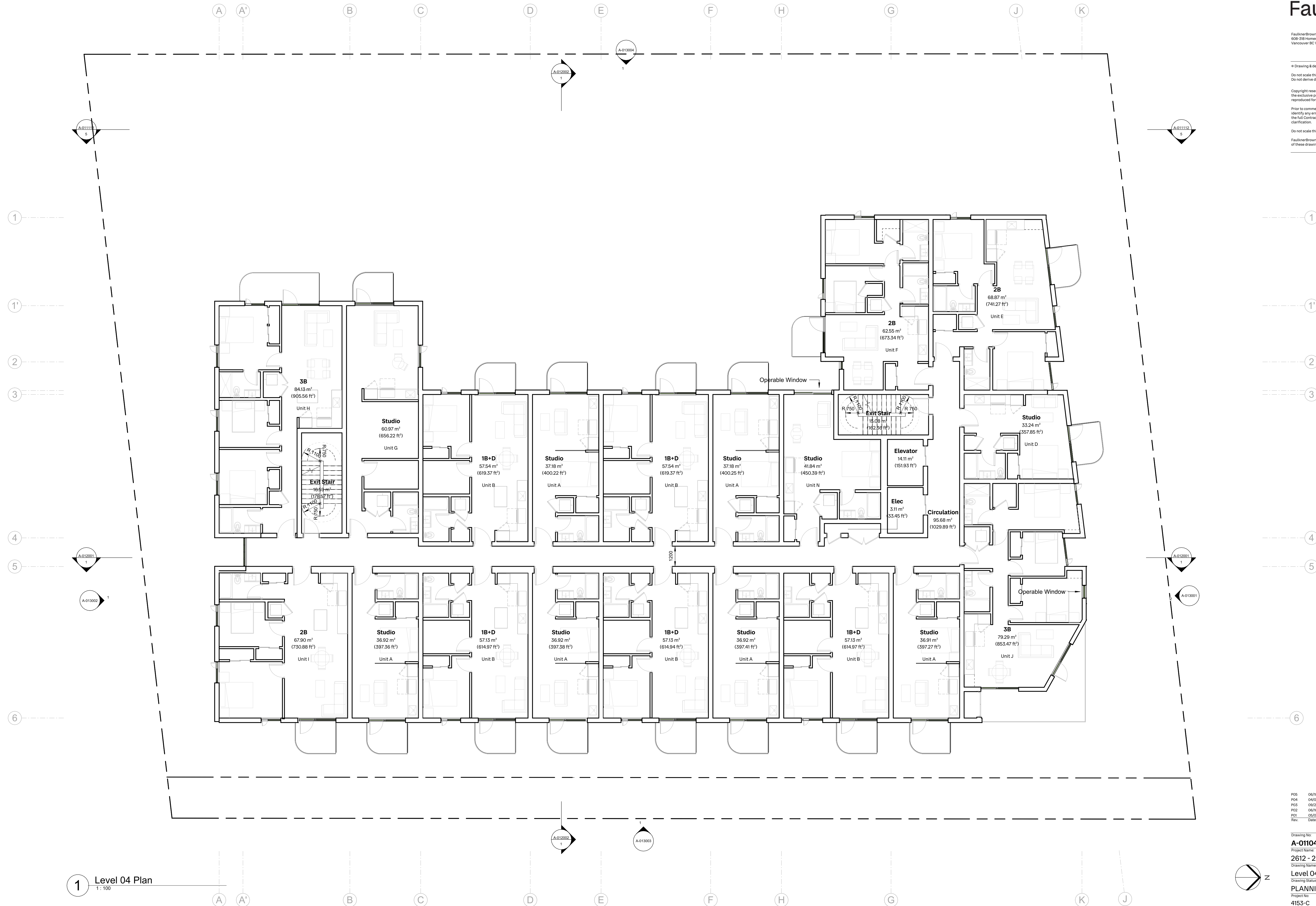
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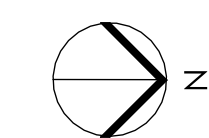
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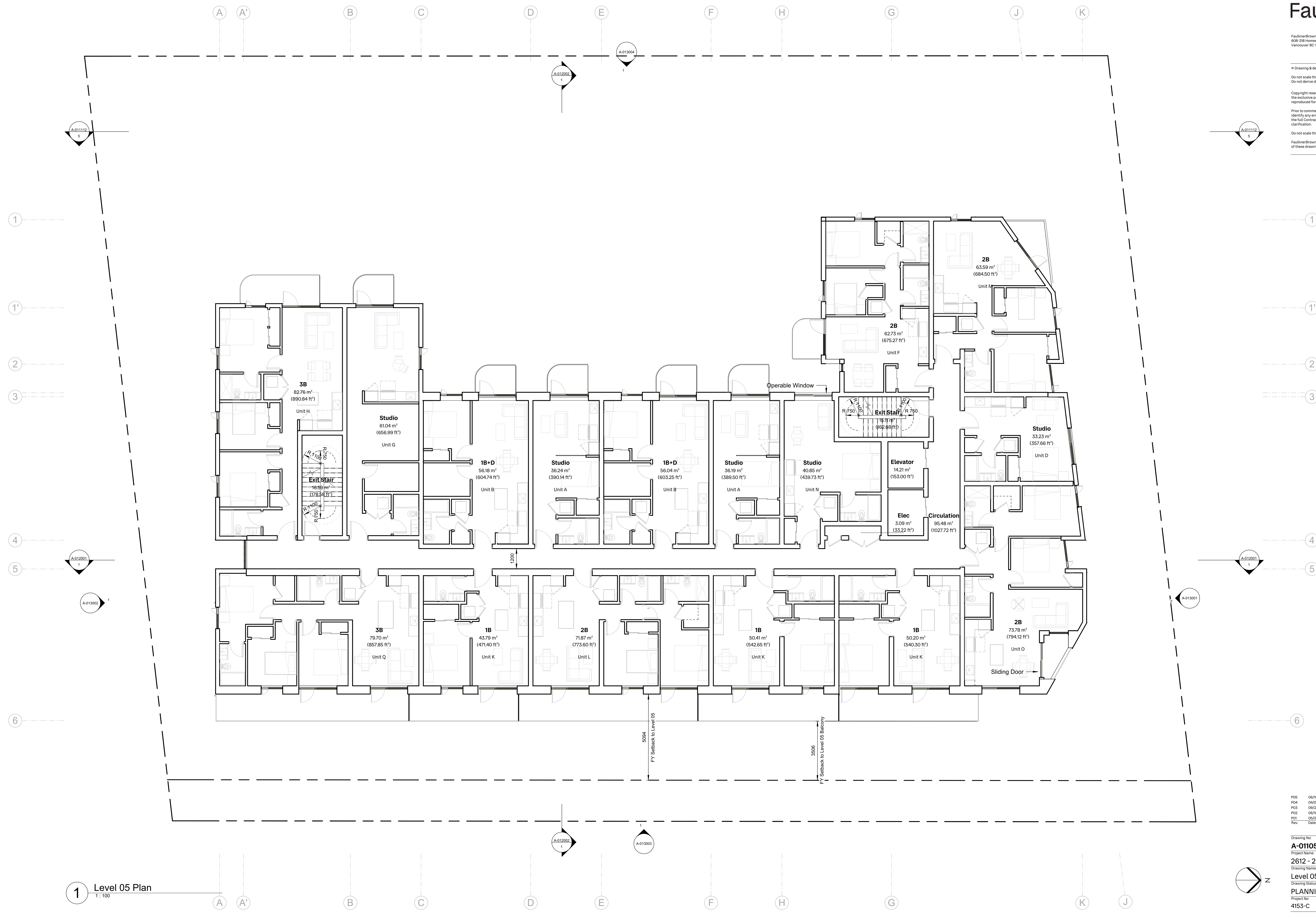


1 Level 04 Plan
1:100



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P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-011040	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Level 04 Plan				
Drawing Status:				
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Project No:	Date:	Scale:	Drawn:	Checked:
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1 Level 05 Plan
1:100

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P01	05/07/2025	Issued for Development Tracker		

Drawing No:	A-011050			Rev:	P05
Project Name:	2612 - 2628 Richmond Road, Victoria				
Drawing Name:	Level 05 Plan				
Drawing Status:	PLANNING				
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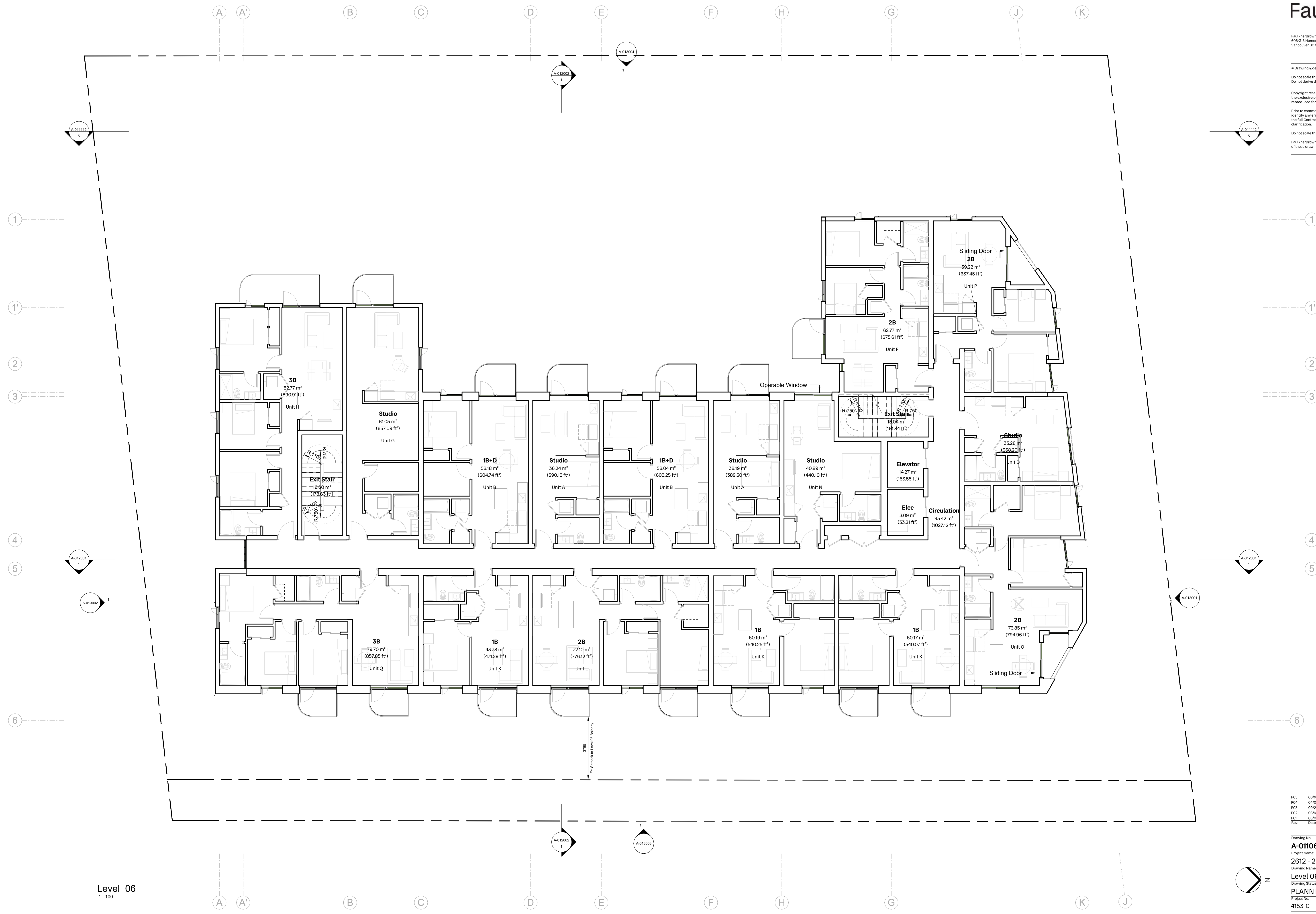
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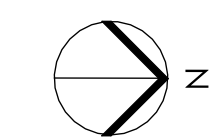
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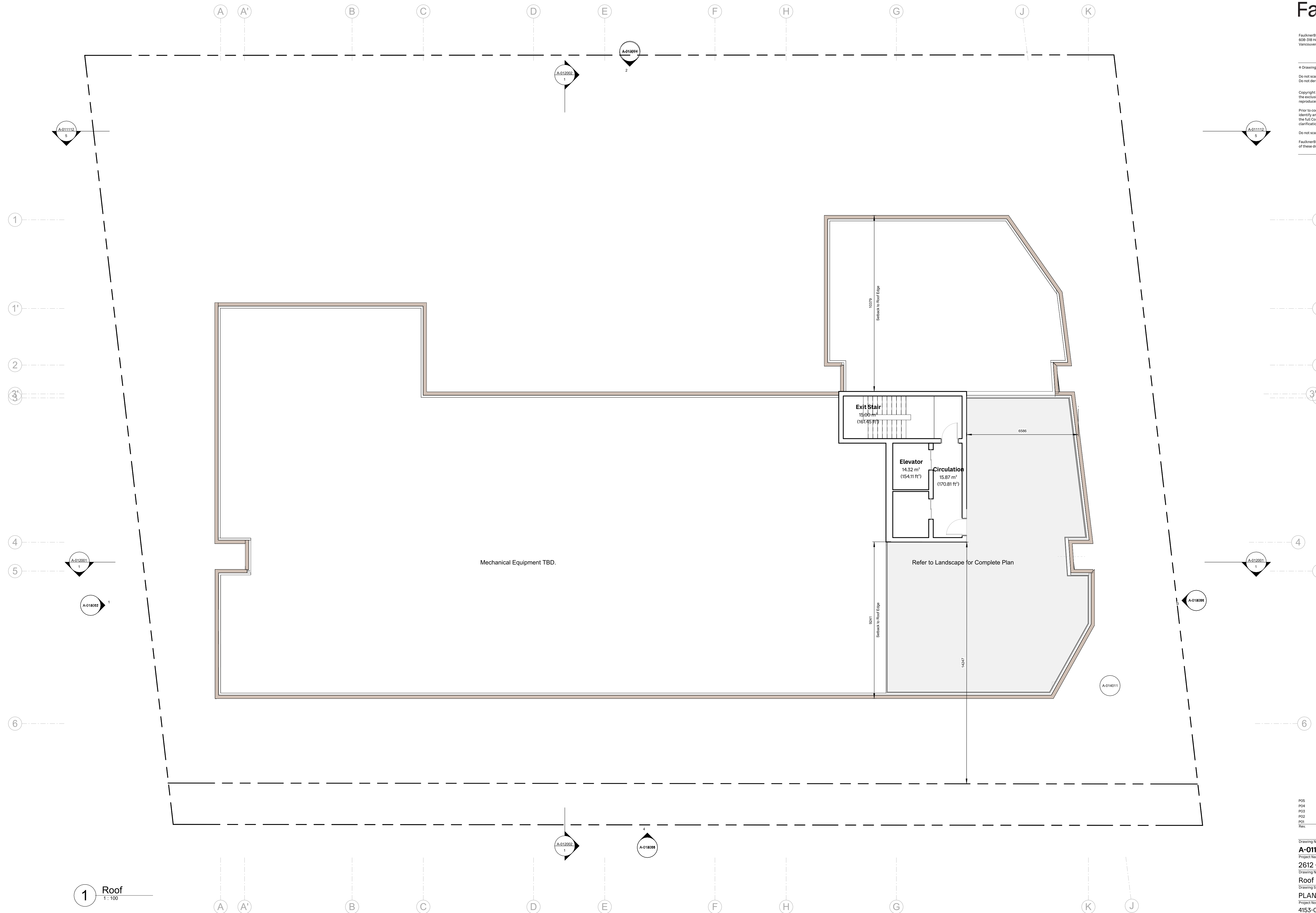


Level 06
1:100

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Drawing No:	Rev:			
A-011060	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Level 06 Plan				
Drawing Status:				
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1 Roof
1:100

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Drawing No:	Rev:			
A-011061	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Roof				
Drawing Status:				
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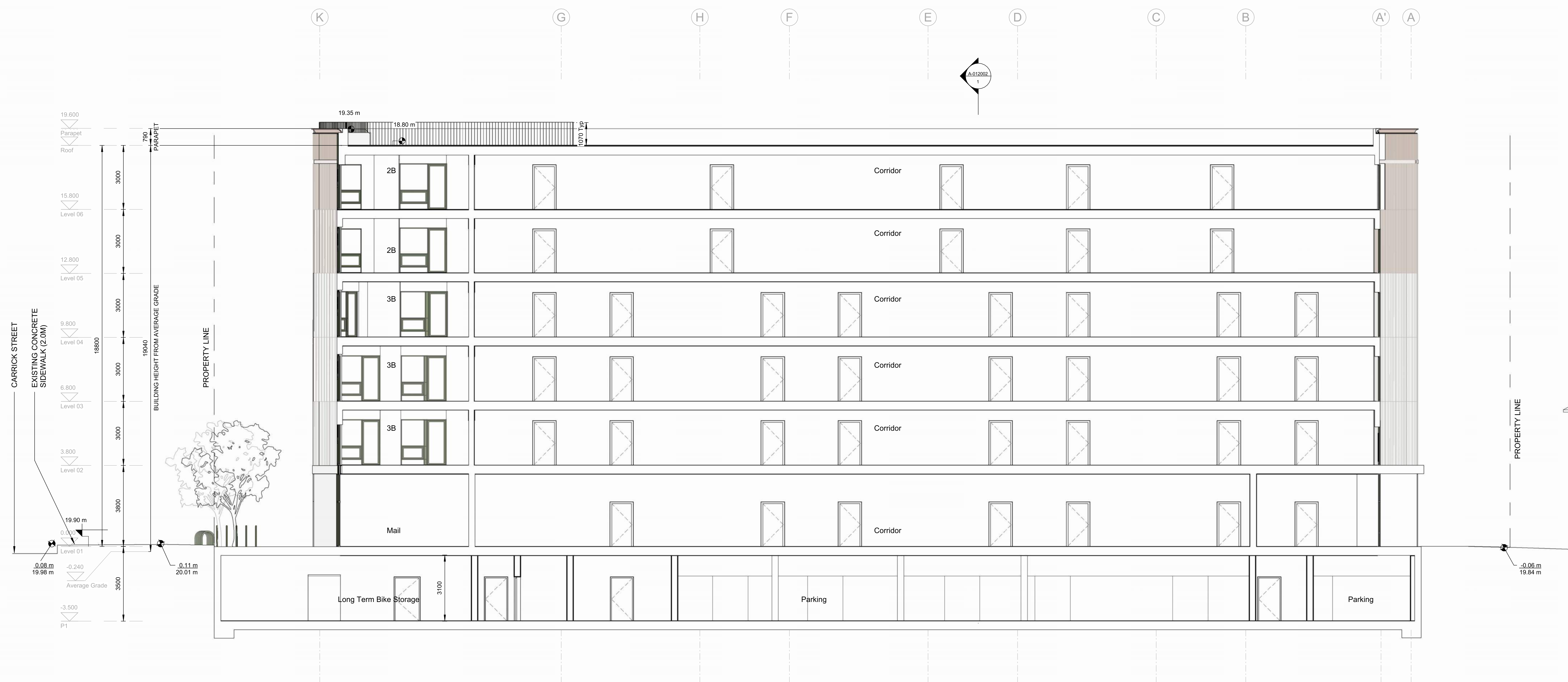
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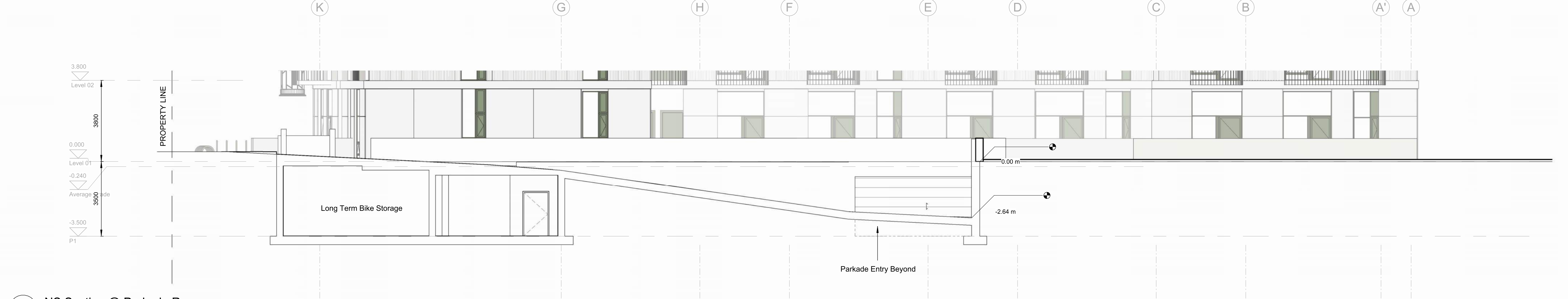
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1 NS Section
1:100



2 NS Section @ Parkade Ramp
1:100

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Drawing No: **A-012001** Rev: **P05**
 Project Name: **2612 - 2628 Richmond Road, Victoria**
 Drawing Name: **Section 01**
 Drawing Status: **PLANNING**
 Project No: **4153-C** Date: **--/--** Scale: **1:100** Drawn: **HN** Checked: **KB**

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P04	04/09/2025	Issued for DP Resubmission #2		
P03	09/26/2025	Released for Reasoning & Development Permit		
P02	06/18/2025	Issued for Reasoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-012002	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Section 02				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C		1:100	HN	KB

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North Elevation
1:100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 Cementitious Cladding Panel
- M03a Cementitious Overhead Panel
- M03b Metal Overhead Panel, Paint Finish
- M03c Metal Panel, Paint Finish
- M04a Cementitious Corrugated Cladding Panel
- M04b Cementitious Corrugated Cladding Panel
- M05 Prefinished Vinyl Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

Rev.	Date	Description	Issued by	Checked by
P05	06/18/2026	Issued for DP Resubmission #3		
P04	04/09/2026	Issued for DP Resubmission #2		
P03	09/26/2025	Reissued for Rezoning & Development Permit		
P02	06/18/2025	Issued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-013001	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Elevation (N)				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--	As indicated	HN	KB

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1 South Elevation
1:100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 Cementitious Cladding Panel
- M03a Cementitious Overhead Panel
- M03b Metal Overhead Panel, Paint Finish
- M03c Metal Panel, Paint Finish
- M04a Cementitious Corrugated Cladding Panel
- M04b Cementitious Corrugated Cladding Panel
- M05 Prefinished Vinyl Windows, Paint Finish
- M06 Prefinished Metal Railings Colour Match Windows and Doors

Rev.	Date	Description	Issued by	Checked by
P05	06/18/2026	Issued for DP Resubmission #3		
P04	04/09/2026	Issued for DP Resubmission #2		
P03	09/24/2025	Released for Reasoning & Development Permit		
P02	06/18/2025	Issued for Reasoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-013002	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Elevation (S)				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--	As indicated	HN	KB

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1 East Elevation

1:100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 Cementitious Cladding Panel
- M03a Cementitious Overhead Panel
- M03b Metal Overhead Panel, Paint Finish
- M03c Metal Panel, Paint Finish
- M04a Cementitious Corrugated Cladding Panel
- M04b Cementitious Corrugated Cladding Panel
- M05 Prefinished Vinyl Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

Rev.	Date	Description	Issued by	Checked by
P05	06/18/2025	Issued for DP Resubmission #3		
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P03	09/26/2025	Reissued for Reasoning & Development Permit		
P02	06/18/2025	Issued for Reasoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No:	A-013003			Rev:	P05
Project Name:	2612 - 2628 Richmond Road, Victoria				
Drawing Name:	Elevation (E)				
Drawing Status:	PLANNING				
Project No:	4153-C	Date:	--/--	Scale:	As indicated
Drawn:	HN	Checked:	KB		

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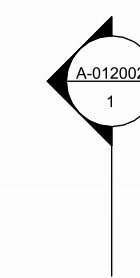
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1 West Elevation
1:100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 Cementitious Cladding Panel
- M03a Cementitious Overhead Panel
- M03b Metal Overhead Panel, Paint Finish
- M03c Metal Panel, Paint Finish
- M04a Cementitious Corrugated Cladding Panel
- M04b Cementitious Corrugated Cladding Panel
- M05 Prefinished Vinyl Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

Rev.	Date	Description	Issued by	Checked by
P05	06/18/2025	Issued for DP Resubmission #3		
P04	04/09/2025	Issued for DP Resubmission #2		
P03	09/26/2025	Reissued for Rezoning & Development Permit		
P02	06/18/2025	Issued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-013004	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Elevation (W)				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C		As indicated	Author	Checker



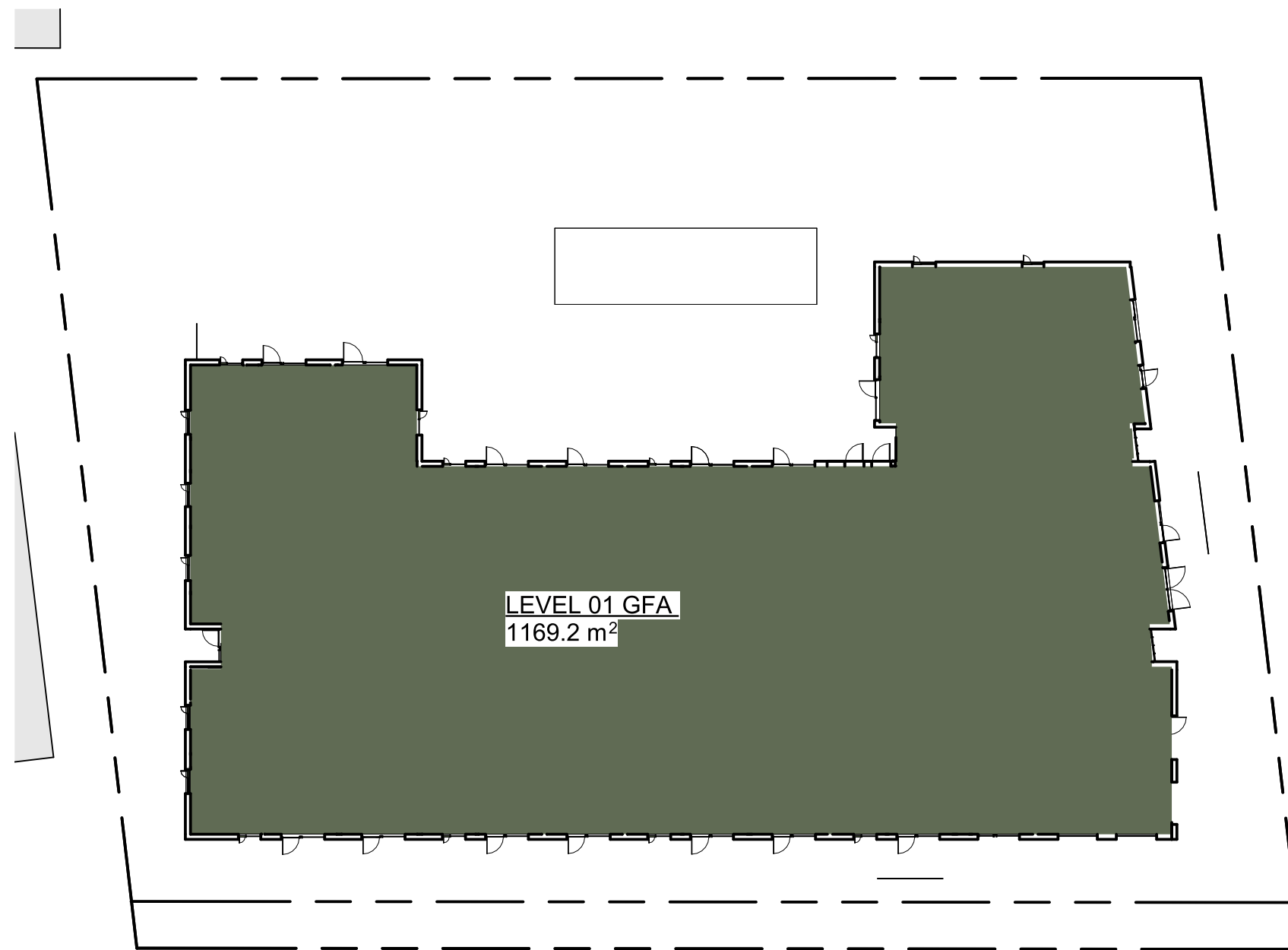
North Context Elevation
1 : 200



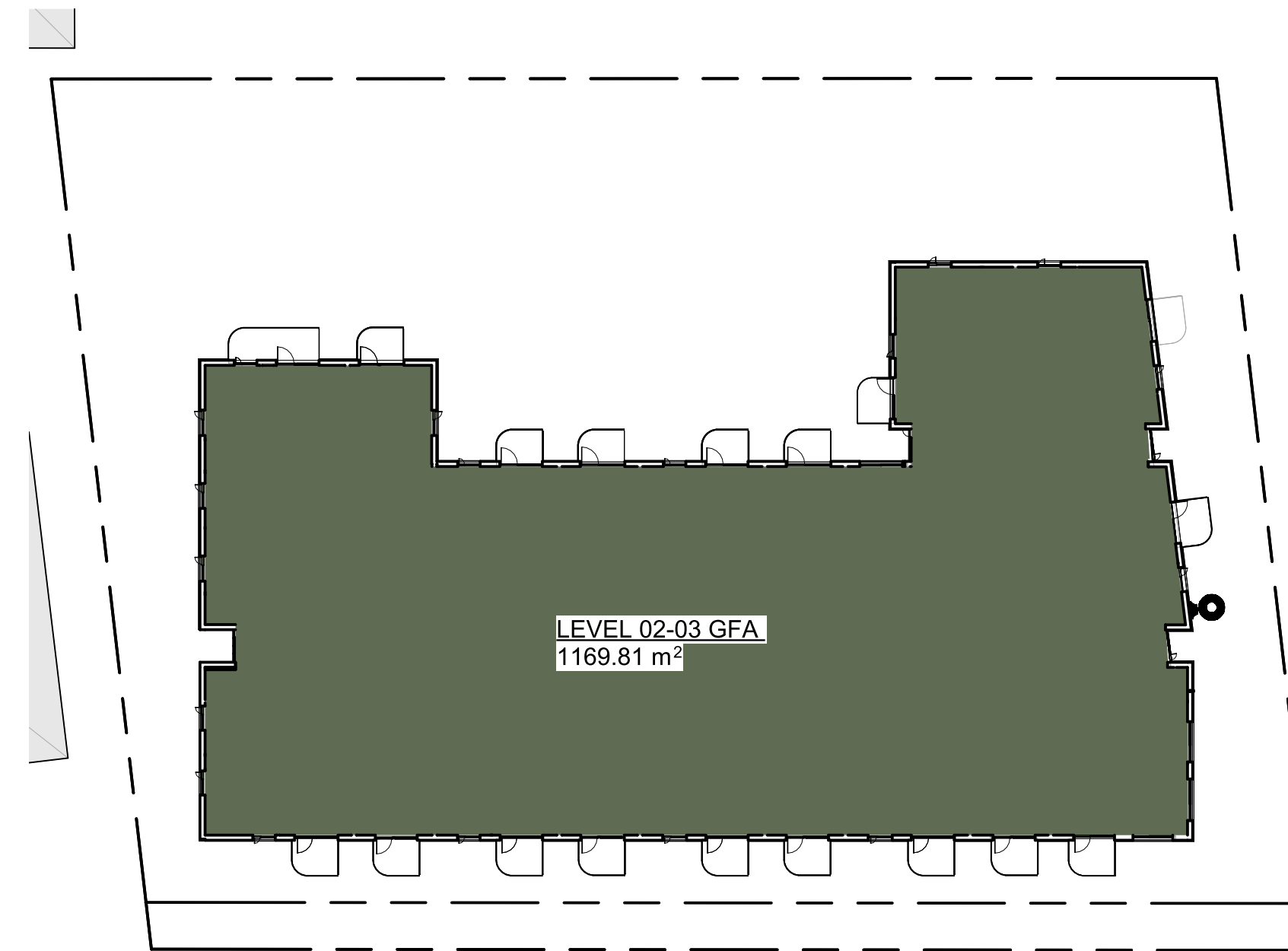
East Context Elevation
1 : 200

Rev.	Date	Description	Issued by	Checked by
P05	06/18/2028	Issued for DP Resubmission #3		
P04	04/09/2026	Issued for DP Resubmission #2		
P03	09/26/2025	Reissued for Rezoning & Development Permit		
P02	06/18/2025	Issued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

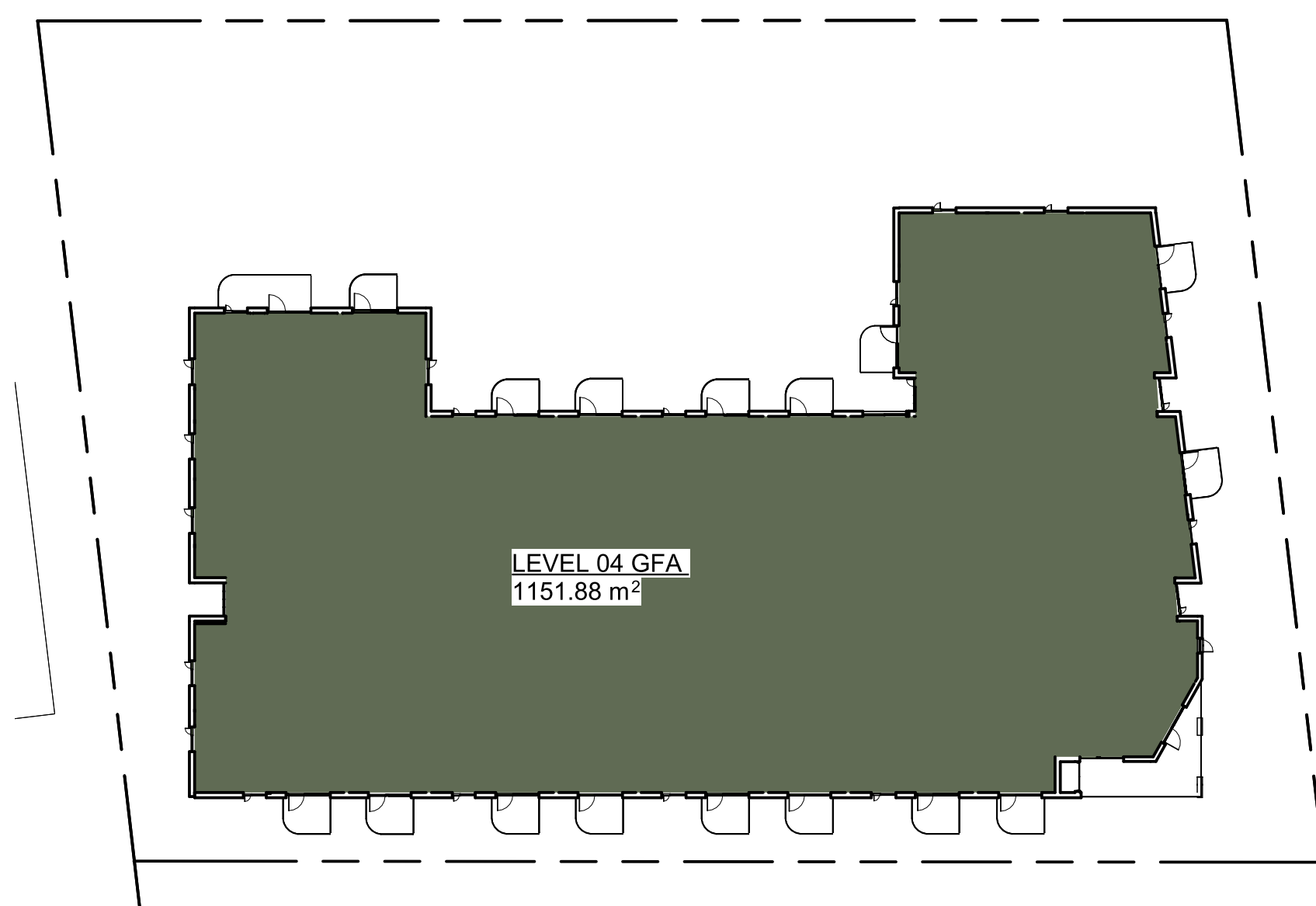
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A-013006	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Context Elevations				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--	1:200	HN	KB



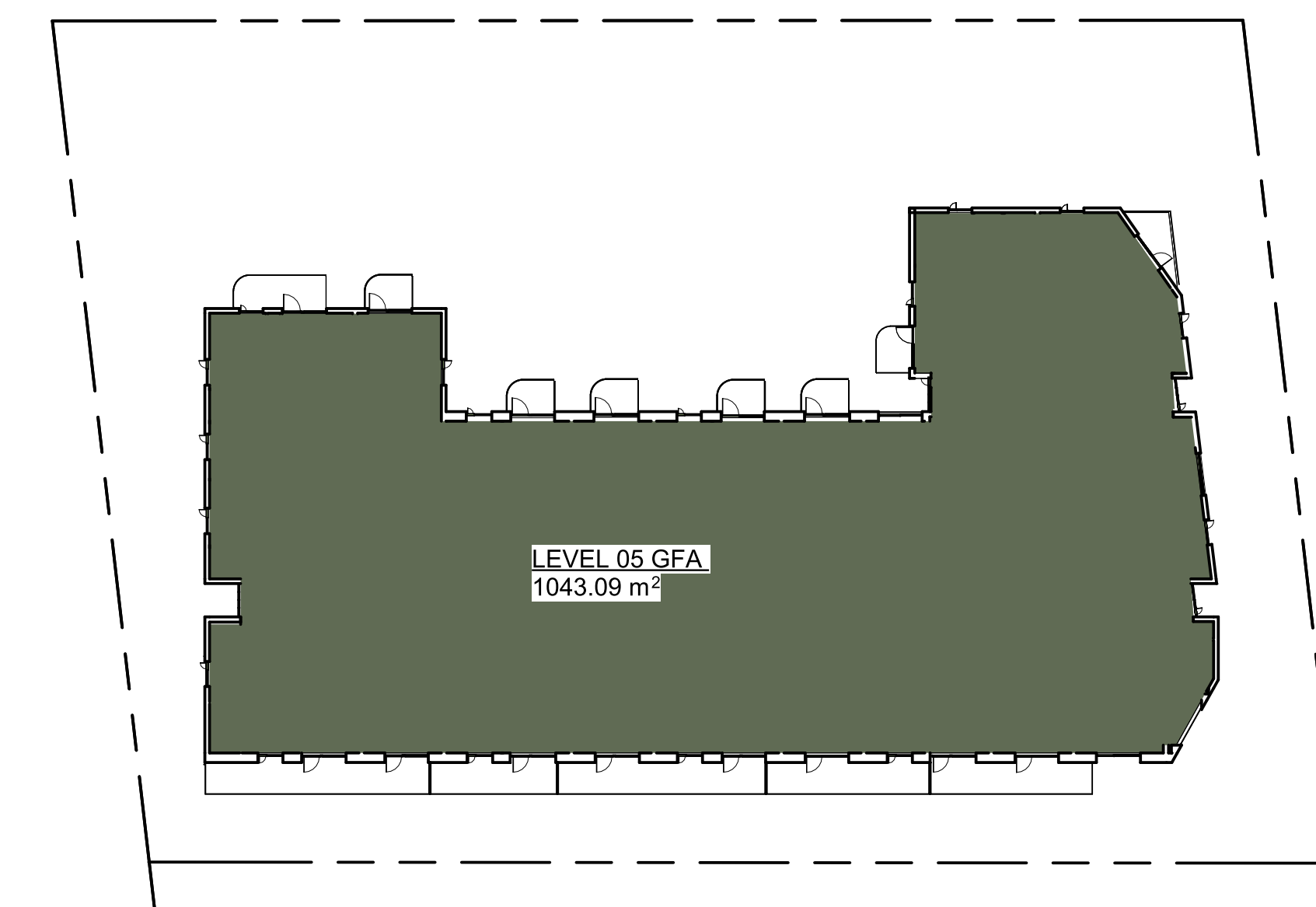
Level 01 Area Plan
1 : 300



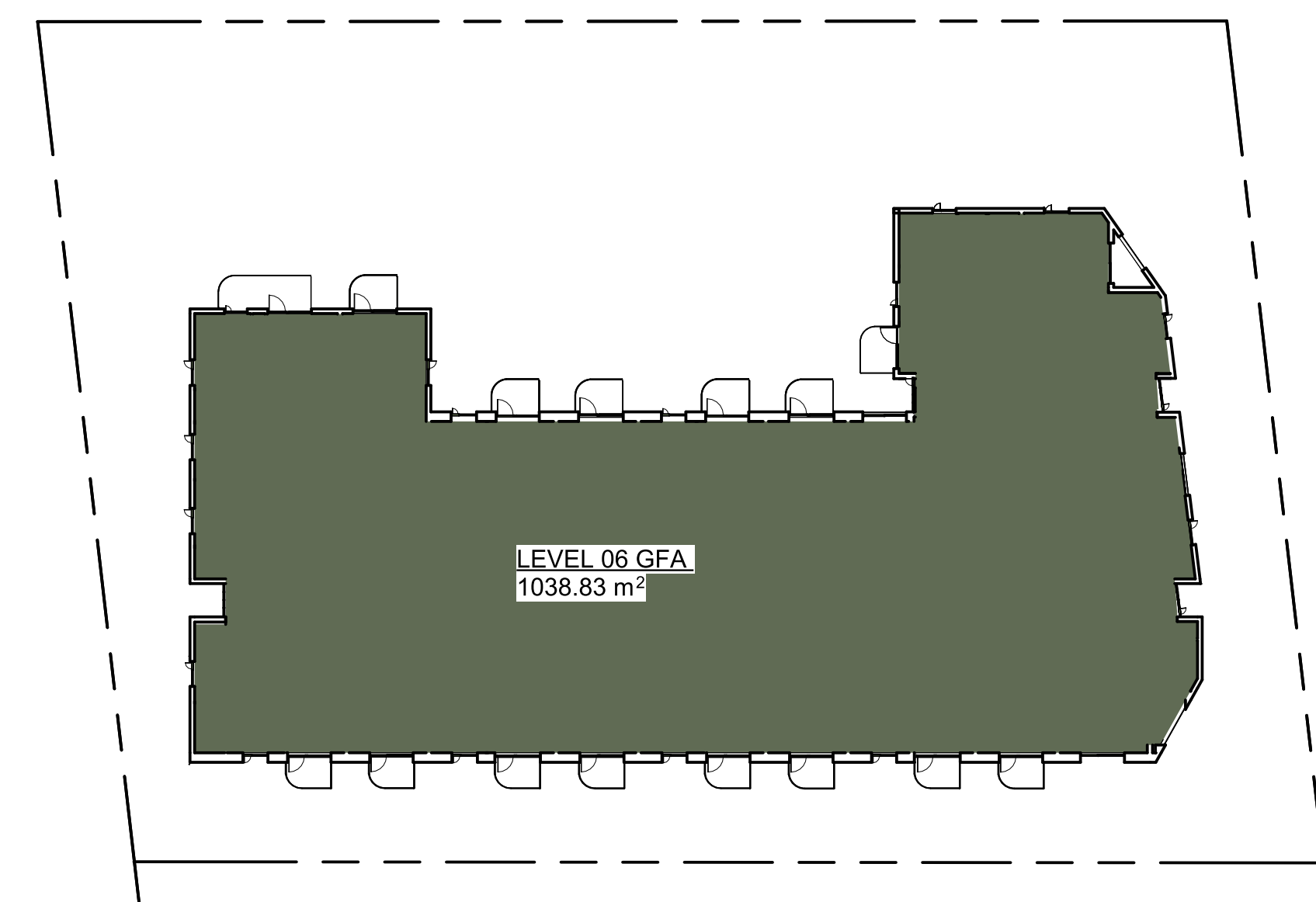
Level 02-03 Area Plan
1 : 300



Level 04 Area Plan
1 : 300



Level 05 Area Plan
1 : 300



Level 06 Area Plan
1 : 300

SCHEDULE OF AREAS EXCL. IN FSR

Floor Level	Area
P1	
Circulation	25.82 m ²
Elevator	14.34 m ²
Exit Stair	36.41 m ²
M&E	63.39 m ²
Parking	1695.62 m ²
Services	48.03 m ²
Storage	238.42 m ²
Total	2122.03 m²

SCHEDULE OF AREAS INCL. IN FSR

Level 01	
Circulation	135.88 m ²
Elevator	14.29 m ²
Exit Stair	34.58 m ²
M&E	3.42 m ²
Services	32.47 m ²
Units	948.56 m ²
	1169.20 m ²
Level 02	
Circulation	95.67 m ²
Elevator	14.27 m ²
Exit Stair	31.68 m ²
M&E	3.09 m ²
Units	1025.10 m ²
	1169.81 m ²
Level 03	
Circulation	95.86 m ²
Elevator	14.06 m ²
Exit Stair	31.62 m ²
M&E	3.11 m ²
Units	1026.21 m ²
	1170.87 m ²
Level 04	
Circulation	95.68 m ²
Elevator	14.11 m ²
Exit Stair	31.67 m ²
M&E	3.11 m ²
Units	1007.30 m ²
	1151.88 m ²
Level 05	
Circulation	95.48 m ²
Elevator	14.21 m ²
Exit Stair	31.70 m ²
M&E	3.09 m ²
Units	898.61 m ²
	1043.09 m ²
Level 06	
Circulation	95.42 m ²
Elevator	14.27 m ²
Exit Stair	31.63 m ²
M&E	3.09 m ²
Units	894.42 m ²
	1038.83 m ²
Total	6743.67 m²

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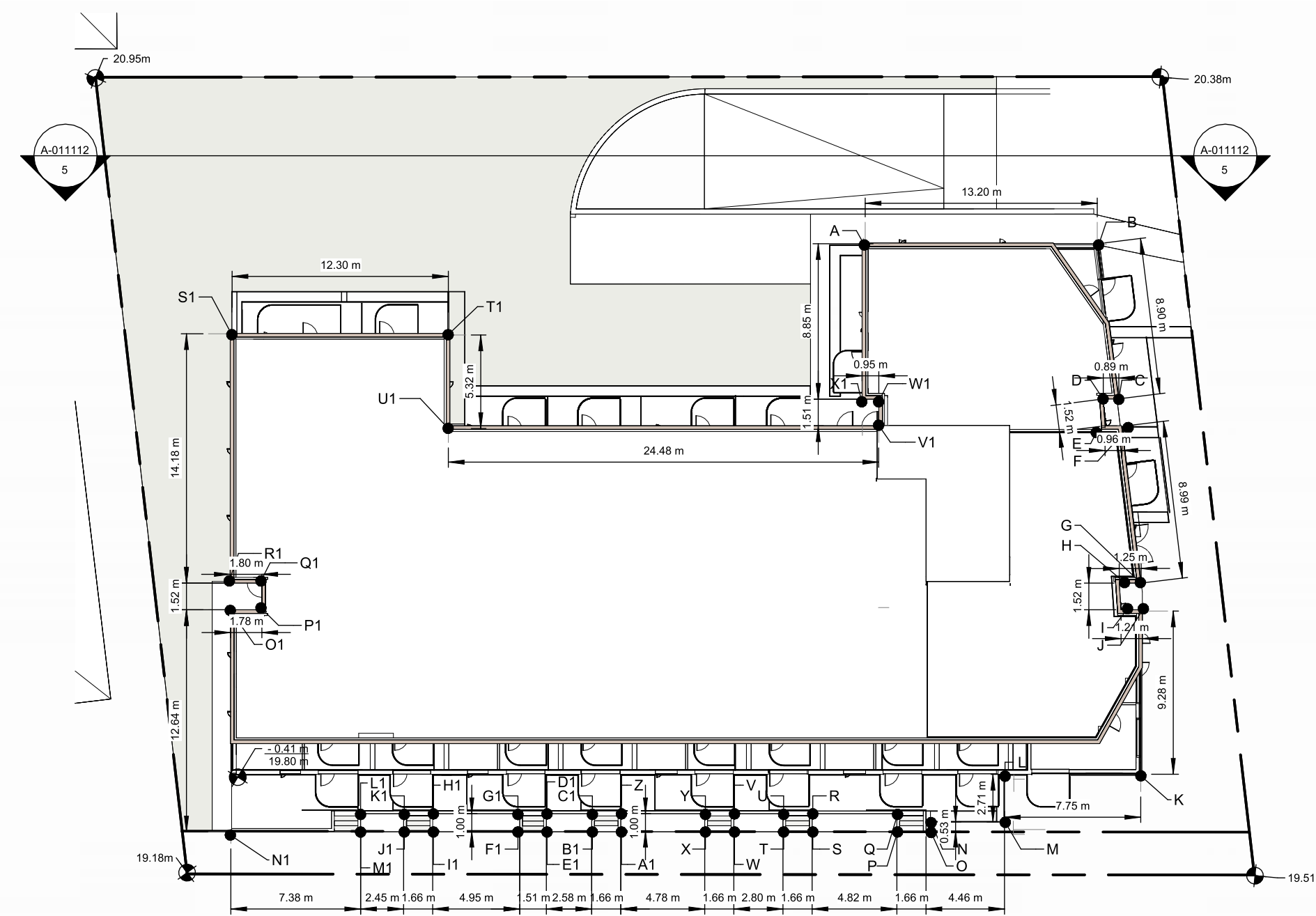
Drawing No: **A-011111** Rev: **P05**

Project Name: **2612 - 2628 Richmond Road, Victoria**

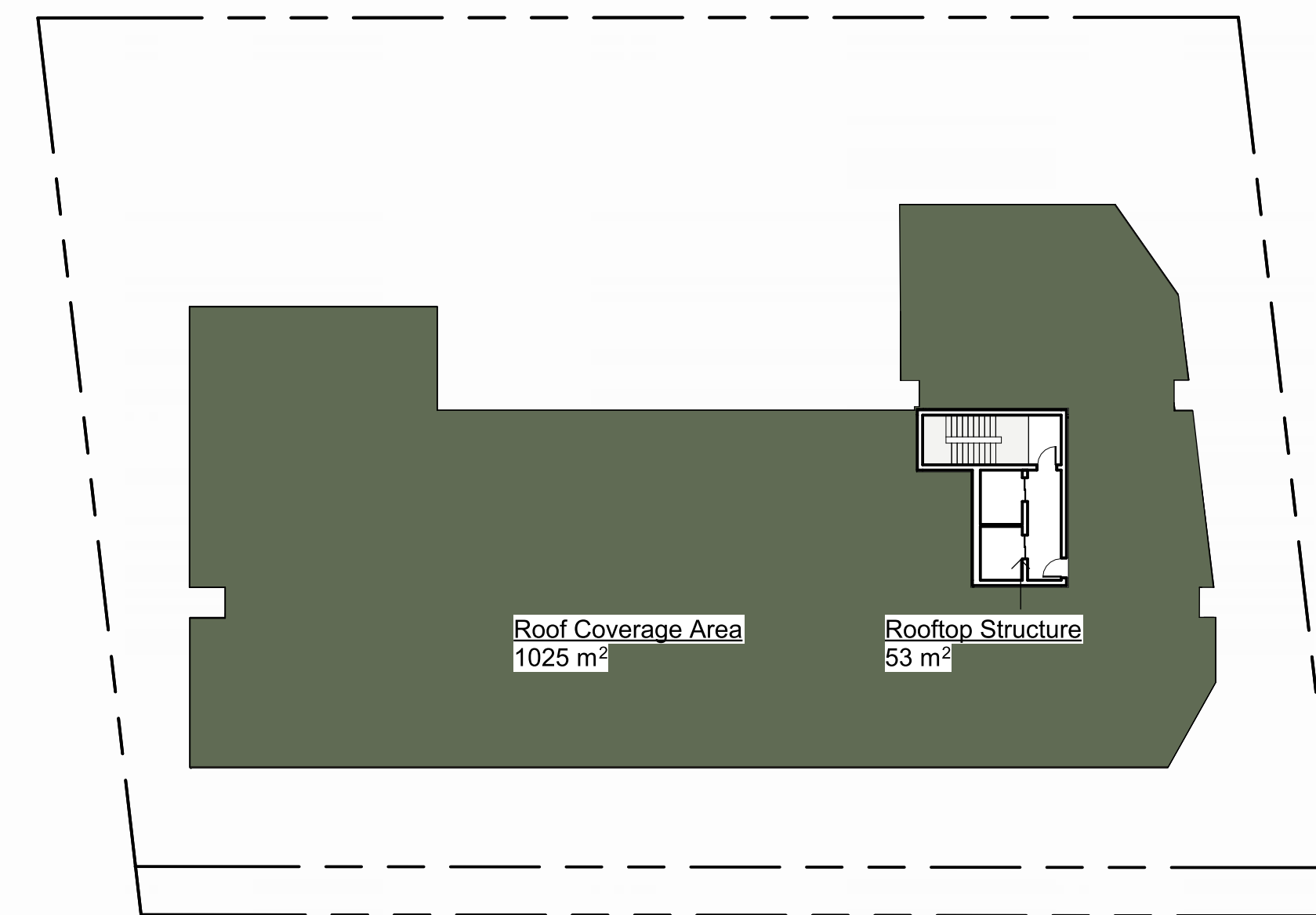
Drawing Name: **Zoning Calculations**

Drawing Status: **PLANNING**

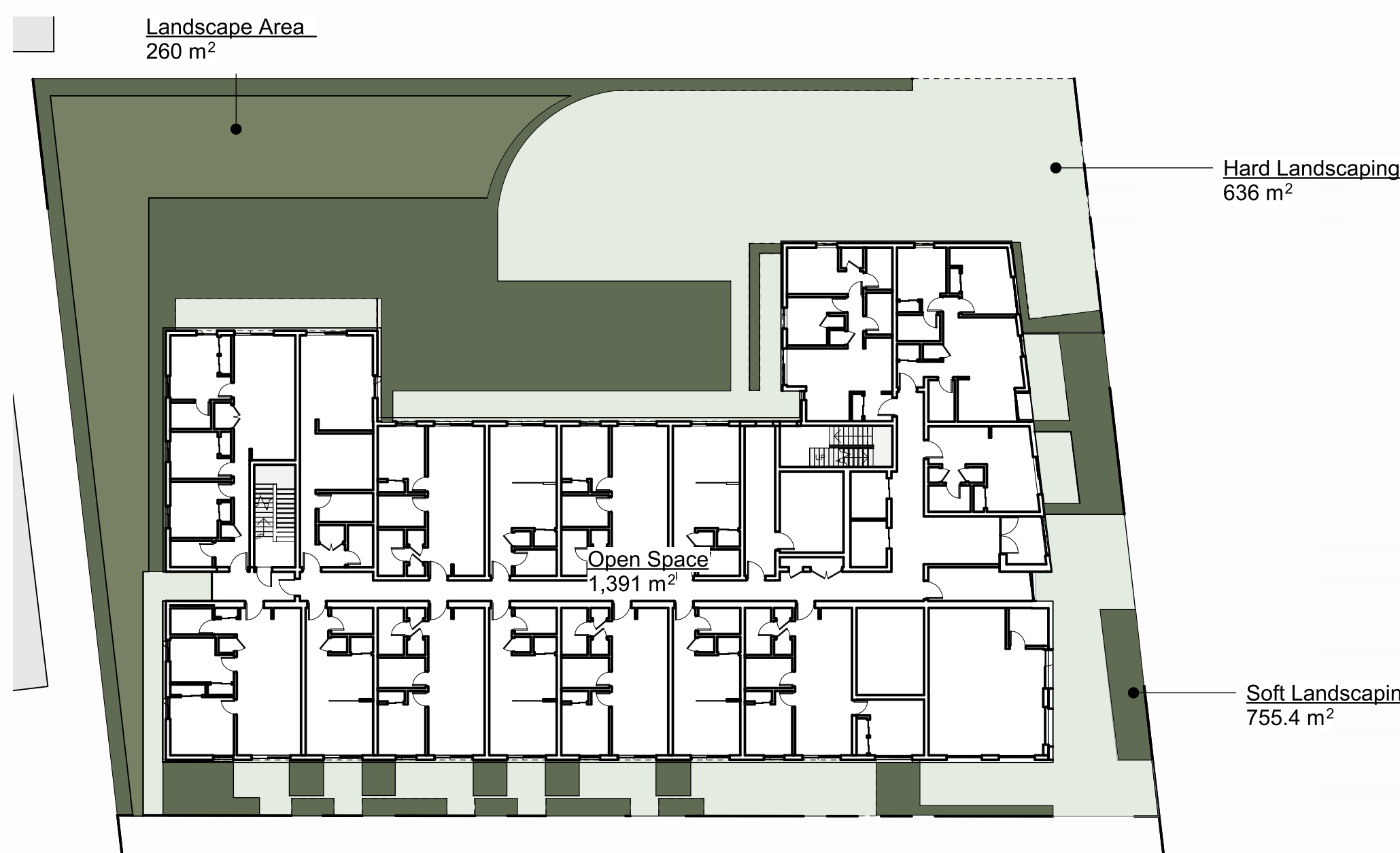
Project No.	Date	Scale	Drawn	Checked
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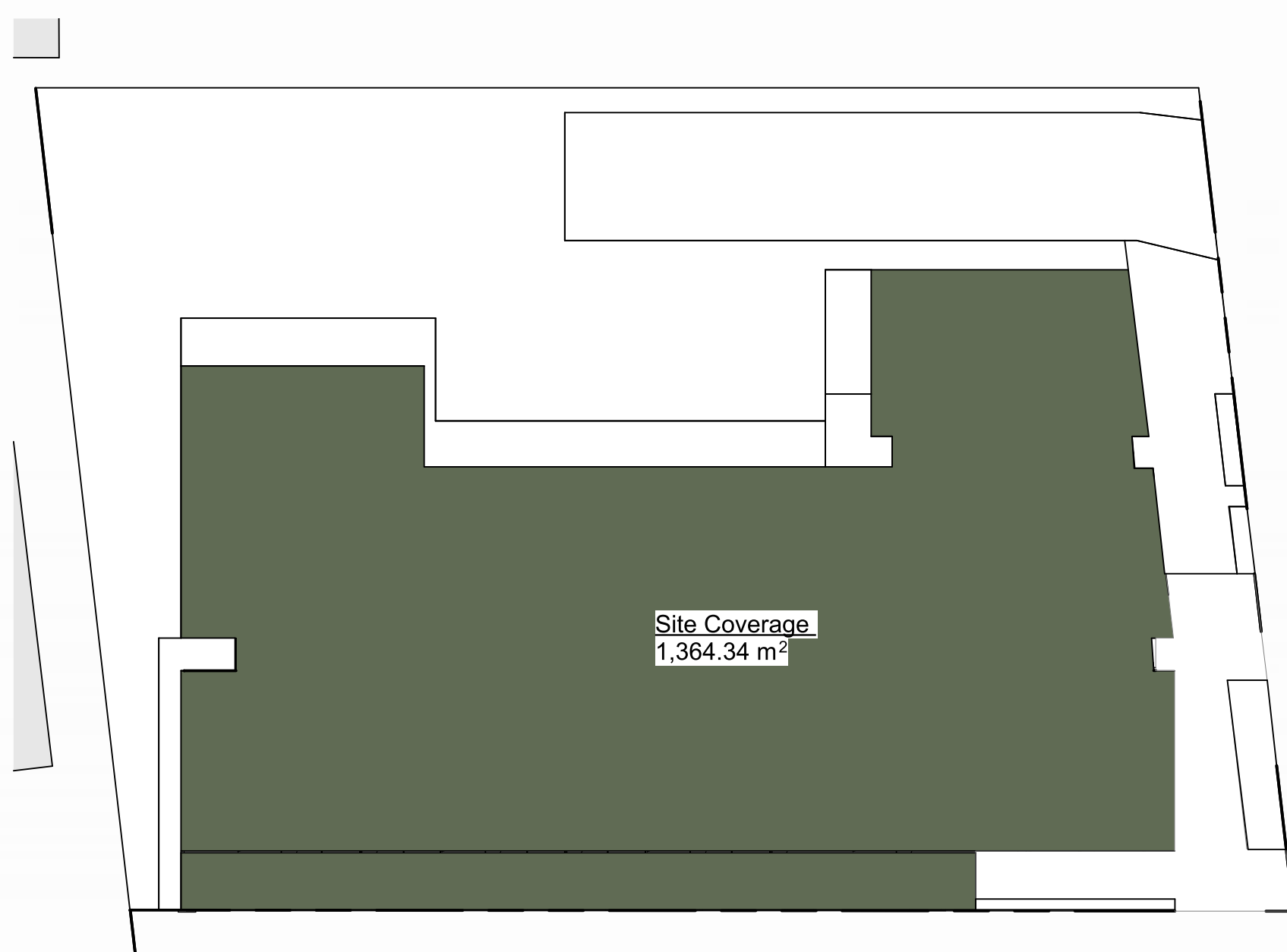
Average Grade Key Plan
1 : 300



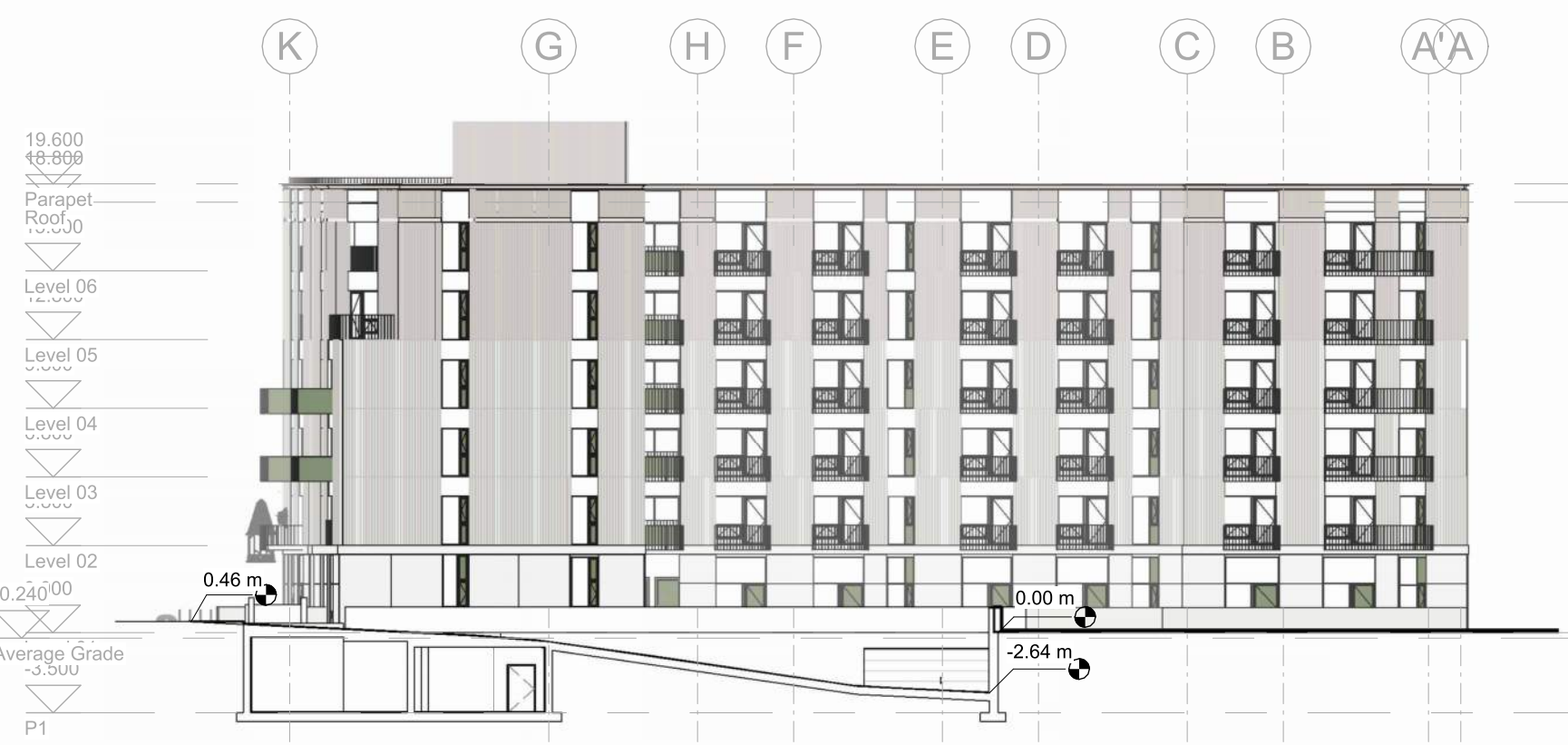
Roof Coverage Area
1 : 300



Open Site Space Area
1 : 300



Site Coverage
1 : 300



NS Section, Parkade Ramp
1 : 300

Point Name	Natural	Proposed
A	20.4	19.90
B	20.25	20.21
C	20.24	19.90
D	20.22	19.90
E	20.22	19.90
F	20.22	19.90
G	20.02	19.90
H	20	19.90
I	19.92	19.90
J	19.92	19.90
K	19.6	19.66
L	19.5	19.79
M	19.5	19.57
N	19.49	19.33
O	19.49	19.33
P	19.49	19.33
Q	19.49	19.33
R	19.59	19.30
S	19.59	19.30
T	19.59	19.30
U	19.59	19.30
V	19.36	19.28
W	19.36	19.28
X	19.36	19.28
Y	19.36	19.28
Z	19.44	19.22
A1	19.44	19.22
B1	19.44	19.22
C1	19.44	19.22
D1	19.45	19.19
E1	19.45	19.19
F1	19.48	19.19
G1	19.5	19.19
H1	19	19.15
I1	19	19.15
J1	19	19.15
K1	19	19.15
L1	19	19.12
M1	19	19.12
N1	19.685	19.08
O1	19.81	19.80
P1	19.81	19.80
Q1	19.81	19.80
R1	19.81	19.80
S1	19.81	19.80
T1	20	19.90
U1	20	19.90
V1	20.33	19.90
W1	20.44	19.90
X1	20.44	19.90

AVERAGE GRADE CALCULATION				
Grade Points	Average of Points	Average	Distance	Totals
Points A&B	(19.9+20.21)/2	20.06	A-B 13.20	264.73
Points B & C	(20.21+19.9)/2	20.06	B-C 8.90	178.49
Points C&D	(19.9+19.9)/2	19.90	C-D 0.89	17.71
Points D&E	(19.9+19.9)/2	19.90	D-E 1.52	30.25
Points E&F	(19.9+19.9)/2	19.90	E-F 0.96	19.10
Points F&G	(19.9+19.9)/2	19.90	F-G 8.99	178.90
Points G&H	(19.9+19.9)/2	19.90	G-H 1.25	24.88
Points H&I	(19.9+19.9)/2	19.90	H-I 1.52	30.25
Points I&J	(19.9+19.88)/2	19.90	I-J 1.21	24.08
Points J&K	(19.88+19.6)/2	19.75	J-K 9.28	183.28
Points K&L	(19.6+19.5)/2	19.55	K-L 7.75	151.51
Points L&M	(19.5+19.5)/2	19.50	L-M 2.71	52.85
Points M&N	(19.5+19.33)/2	19.42	M-N 4.46	86.59
Points N&O	(19.33+19.33)/2	19.33	N-O 0.53	10.24
Points O&P	(19.33+19.33)/2	19.33	O-P 1.66	32.09
Points P&Q	(19.33+19.33)/2	19.33	P-Q 1.00	19.33
Points Q&R	(19.33+19.30)/2	19.32	Q-R 4.82	93.10
Points R&S	(19.30+19.30)/2	19.30	R-S 1.00	19.30
Points S&T	(19.30+19.30)/2	19.30	S-T 1.66	32.04
Points T&U	(19.30+19.30)/2	19.30	T-U 1.00	19.30
Points U&V	(19.30+19.28)/2	19.29	U-V 2.80	54.01
Points V&W	(19.28+19.28)/2	19.28	V-W 1.00	19.28
Points W&X	(19.28+19.28)/2	19.28	W-X 1.66	32.00
Points X&Y	(19.28+19.28)/2	19.28	X-Y 1.00	19.28
Points Y&Z	(19.28+19.22)/2	19.25	Y-Z 4.78	92.02
Points Z&A1	(19.22+19.22)/2	19.22	Z-A1 1.00	19.22
Points A1&B1	(19.22+19.22)/2	19.22	A1-B1 1.66	31.91
Points B1&C1	(19.22+19.22)/2	19.22	B1-C1 1.00	19.22
Points C1&D1	(19.22+19.19)/2	19.21	C1-D1 2.58	49.55
Points D1&E1	(19.19+19.19)/2	19.19	D1-E1 1.00	19.19
Points E1&F1	(19.19+19.19)/2	19.19	E1-F1 1.66	31.86
Points F1&G1	(19.19+19.19)/2	19.19	F1-G1 1.00	19.19
Points G1&H1	(19.19+19.15)/2	19.10	G1-H1 4.81	91.85
Points H1&I1	(19.0+19.0)/2	19.00	H1-I1 1.00	19.00
Points I1&J1	(19.0+19.0)/2	19.00	I1-J1 1.66	31.54
Points J1&K1	(19.0+19.0)/2	19.00	J1-K1 1.00	19.00
Points K1&L1	(19.0+19.0)/2	19.00	K1-L1 2.45	46.55
Points L1&M1	(19.0+19.0)/2	19.00	L1-M1 1.00	19.00
Points M1&N1	(19.0+19.08)/2	19.04	M1-N1 7.38	140.52
Points N1&O1	(19.08+19.80)/2	19.44	N1-O1 12.64	245.72
Points O1&P1	(19.8+19.8)/2	19.80	O1-P1 1.78	35.24
Points P1&Q1	(19.8+19.8)/2	19.80	P1-Q1 1.52	30.10
Points Q1&R1	(19.8+19.8)/2	19.80	Q1-R1 1.80	35.64
Points R1&S1	(19.8+19.92)/2	19.86	R1-S1 14.18	281.61
Points S1&T1	(19.92+19.9)/2	19.91	S1-T1 12.30	244.89
Points T1&U1	(19.9+19.9)/2	19.90	T1-U1 5.32	105.87
Points U1&V1	(19.9+19.9)/2	19.90	U1-V1 24.48	487.5
Points V1&W1	(19.9+19.9)/2	19.90	V1-W1 1.51	30.05
Points W1&X1	(19.9+19.9)/2	19.90	W1-X1 0.95	18.91
Points X1&A	(19.9+19.9)/2	19.90	X1-A 8.85	176.12
Totals			200.08	3933.48
Average			19.66	

Rev.	Date	Description	Issued by	Checked by
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P02	06/18/2025	Issued for Reasoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No:	Rev:			
A-011112	P05			
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
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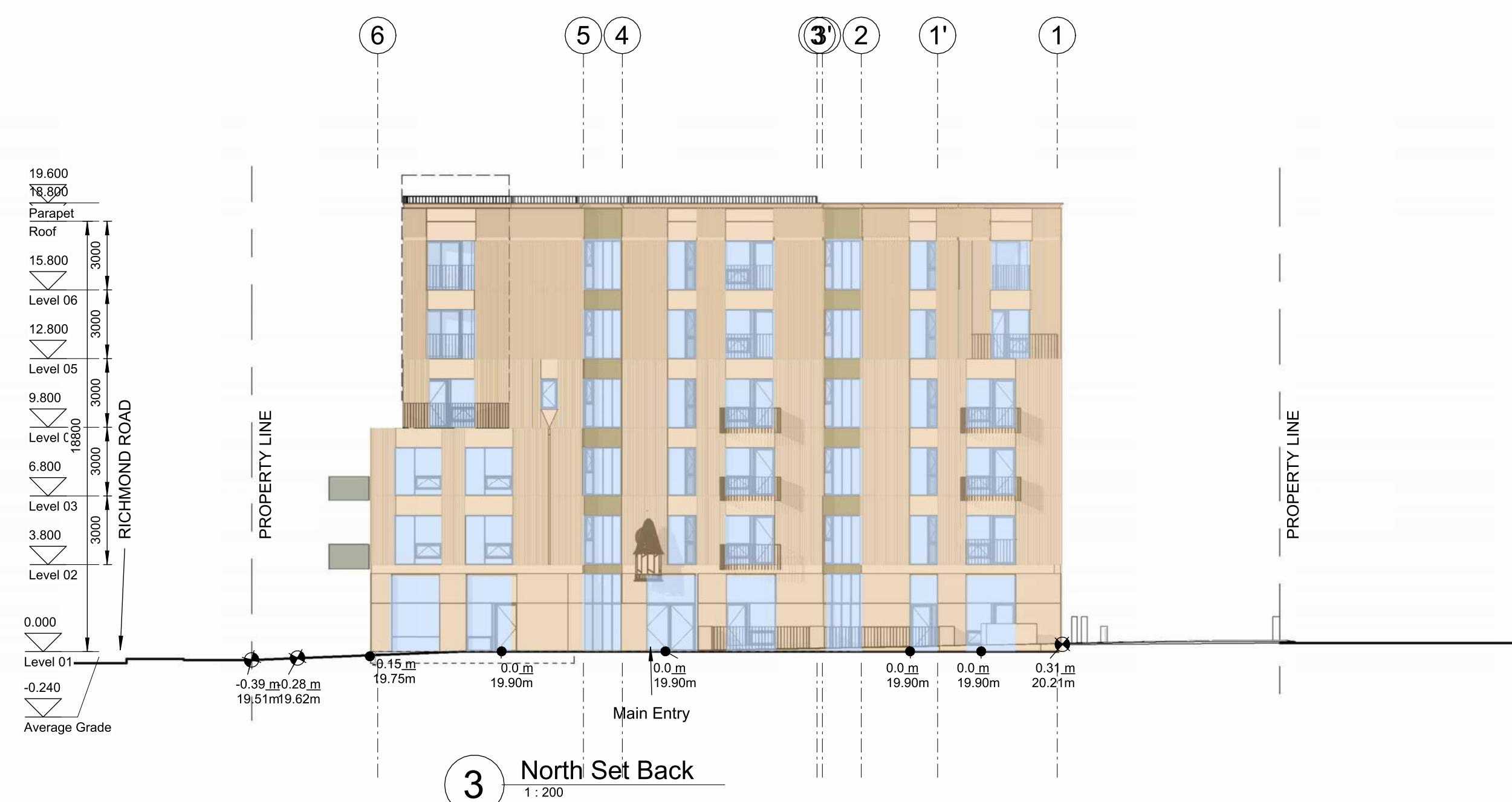
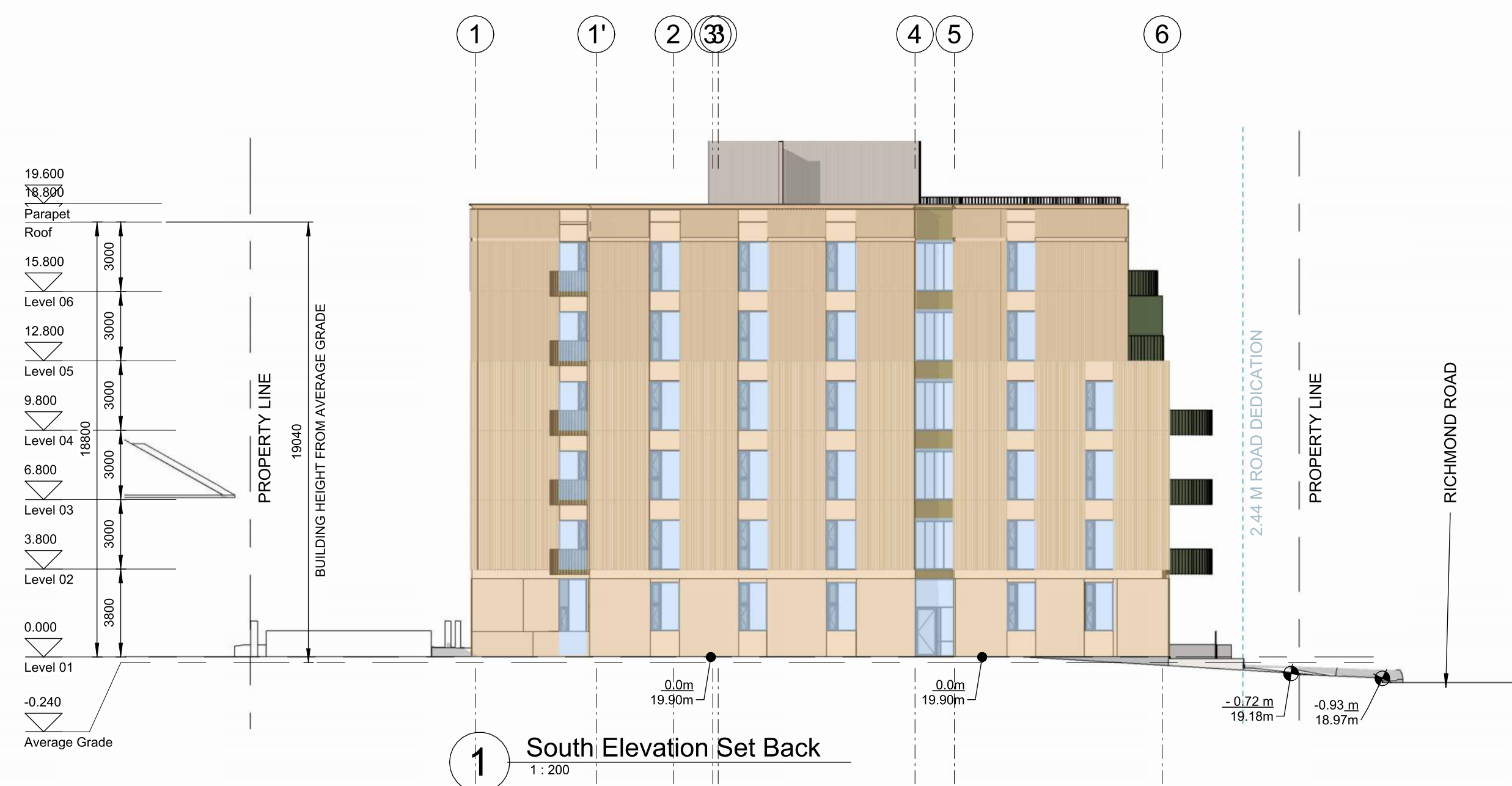
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Spatial Separation							
	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	F.R.R.	Construction Type	Cladding
North	578.45m ²	16.4m	100%	32.50%	45 min	COMBUSTIBLE	NON-COMBUSTIBLE
South	460.8m ²	3.2m	26%	25.7%		COMBUSTIBLE	NON-COMBUSTIBLE
East	995.8m ²	17.2m	100%	35.7%		COMBUSTIBLE	NON-COMBUSTIBLE
West 1	246m ²	9.5m	100%	12.6%		COMBUSTIBLE	NON-COMBUSTIBLE
West 2	461.9m ²	14.6m	100%	38.0%	COMBUSTIBLE	NON-COMBUSTIBLE	
West 3	243.25m ²	19.9m	100%	33.0%	COMBUSTIBLE	NON-COMBUSTIBLE	

Notes
*CRU occupancy E has 2hr FRR
*BCBC 2024 Reference table 3.2.31 D

Rev.	Date	Description	Issued by	Checked by
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P01	05/07/2025	Issued for Development Tracker		

Drawing No: **A-014011** Rev: **P05**
Project Name: **2612 - 2628 Richmond Road, Victoria**
Drawing Name: **Spatial Setback**
Drawing Status: **PLANNING**
Project No: **4153-C** Date: **--/--** Scale: **As indicated** Drawn: **HN** Checked: **KB**

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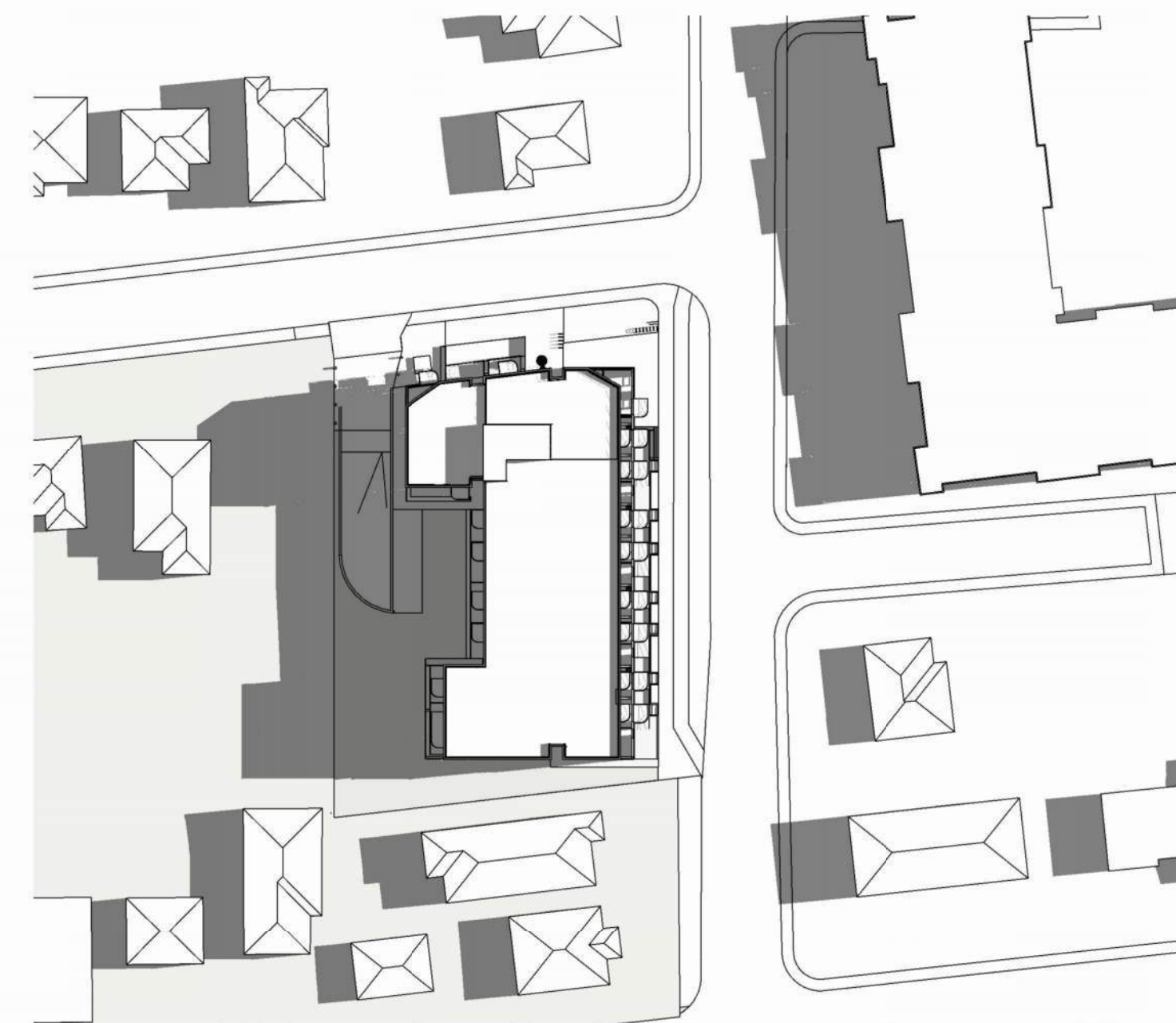
Do not scale this drawing
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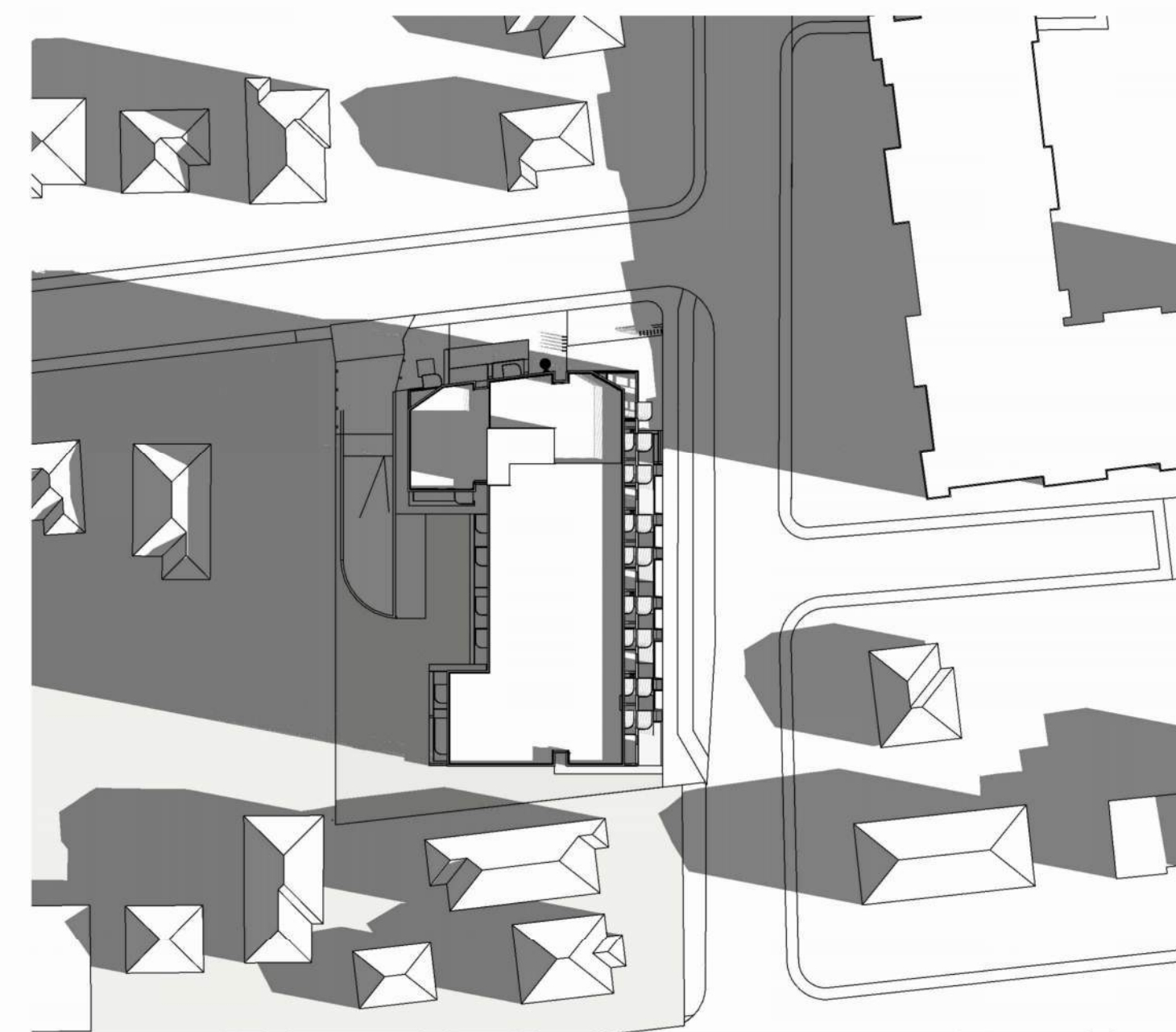
Prior to commencement of the Work the Contractor shall verify all measurements; identify any errors and omissions; ascertain any discrepancies between this drawing and the full Contract Documents; and bring these items to the attention of the Architect for clarification.

Do not scale this drawing. This drawing supercedes previous issues.

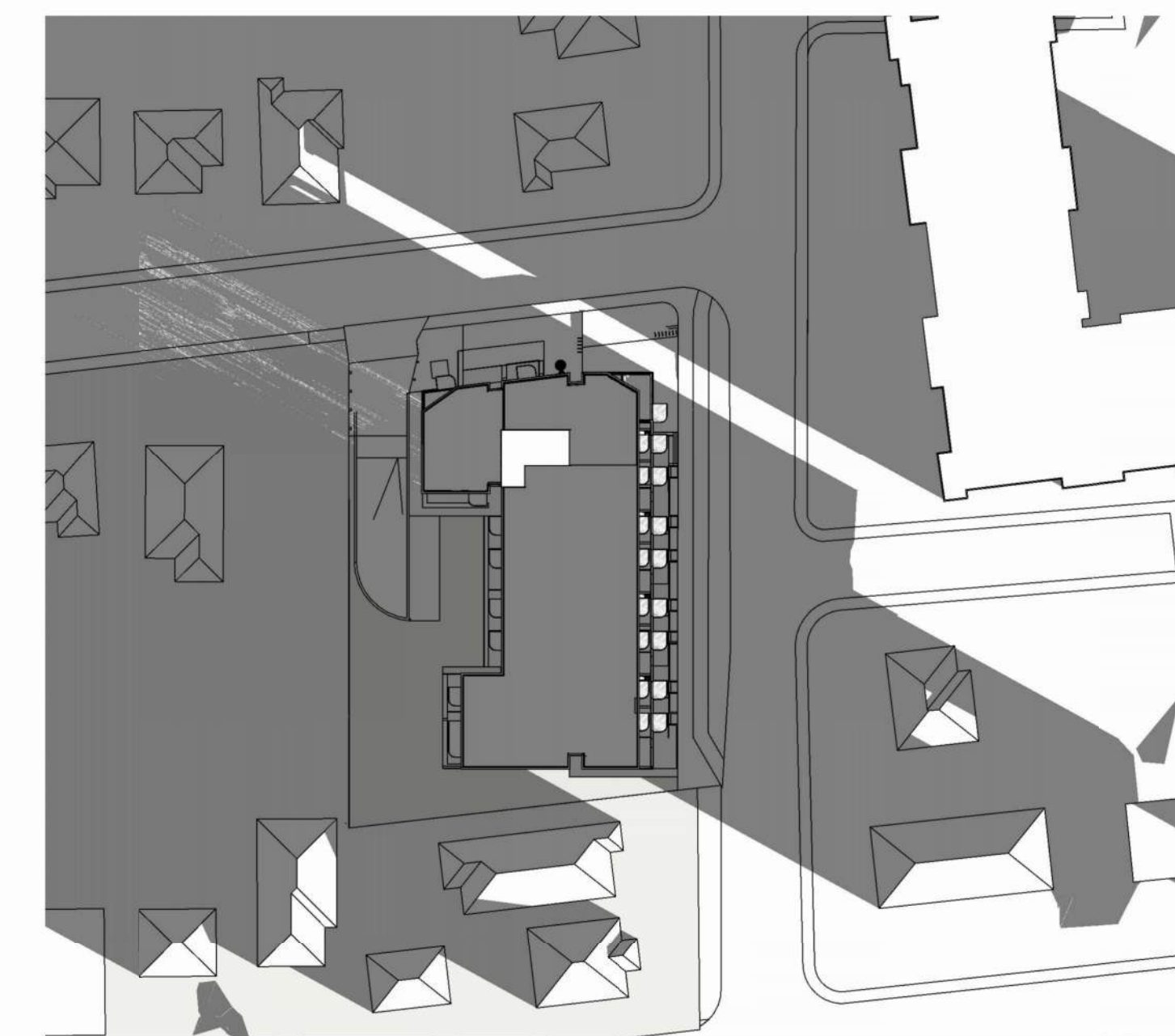
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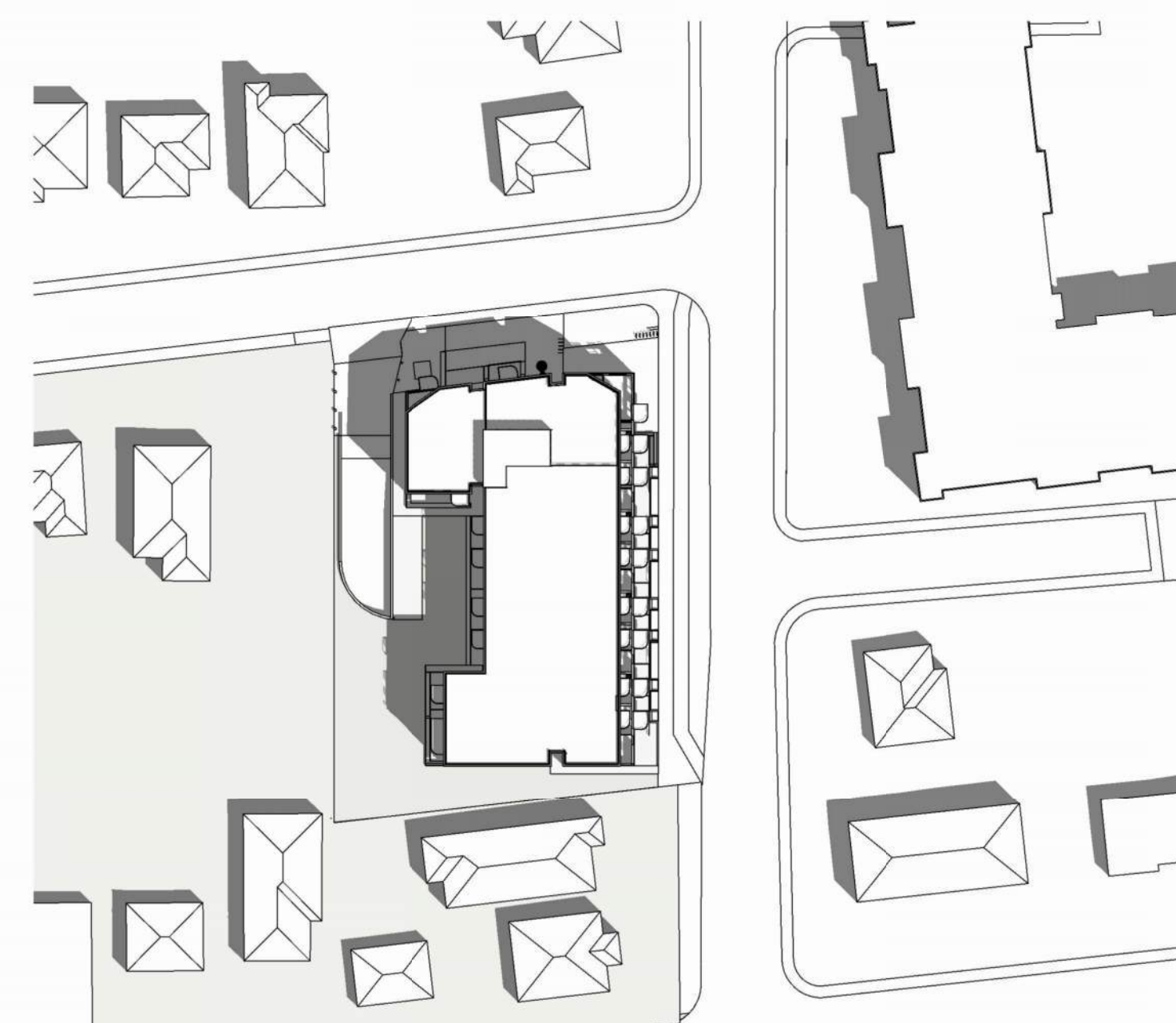
Summer Solstice 9AM



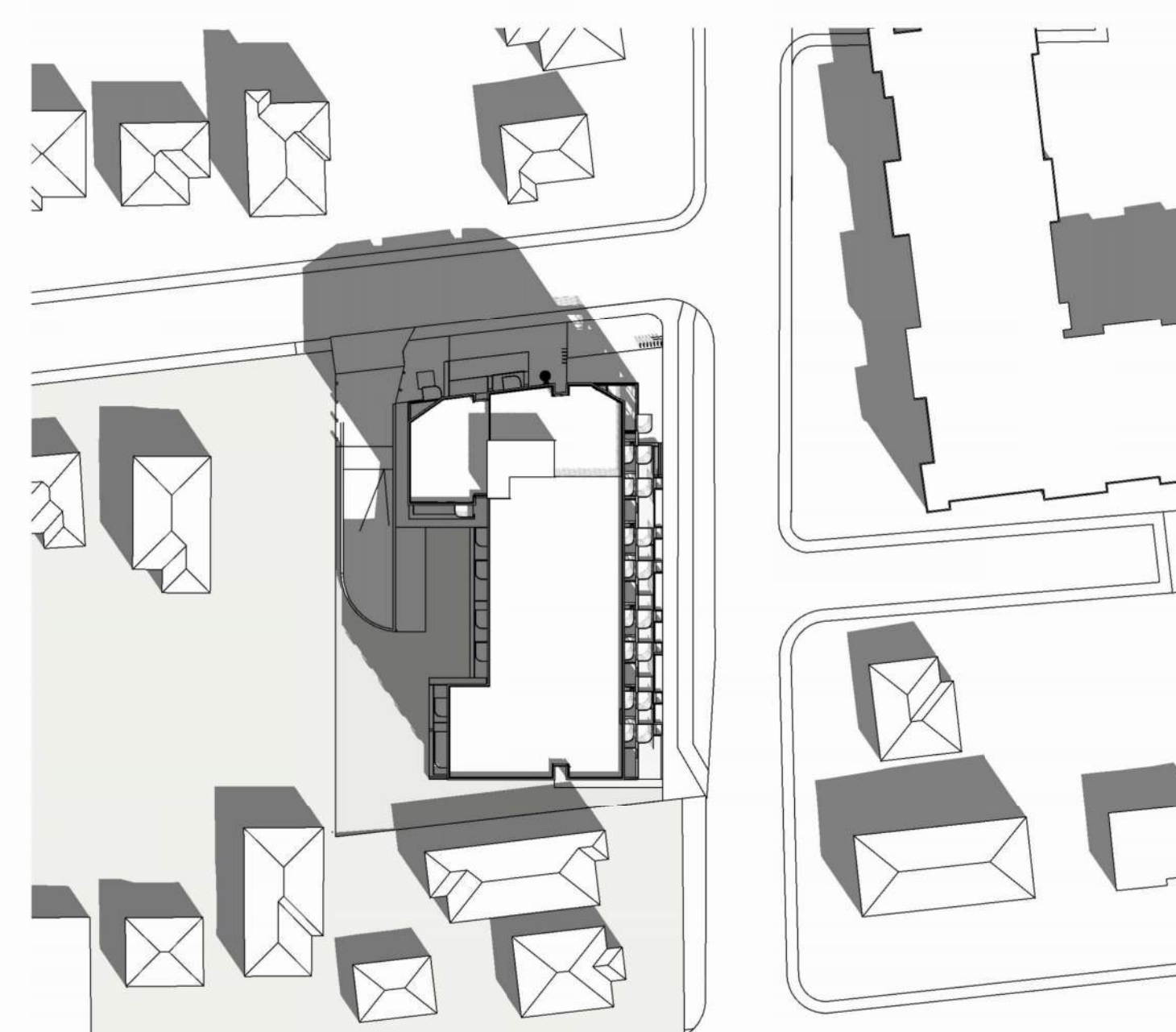
Equinox 9AM



Winter Solstice 9AM



Summer Solstice 12 PM



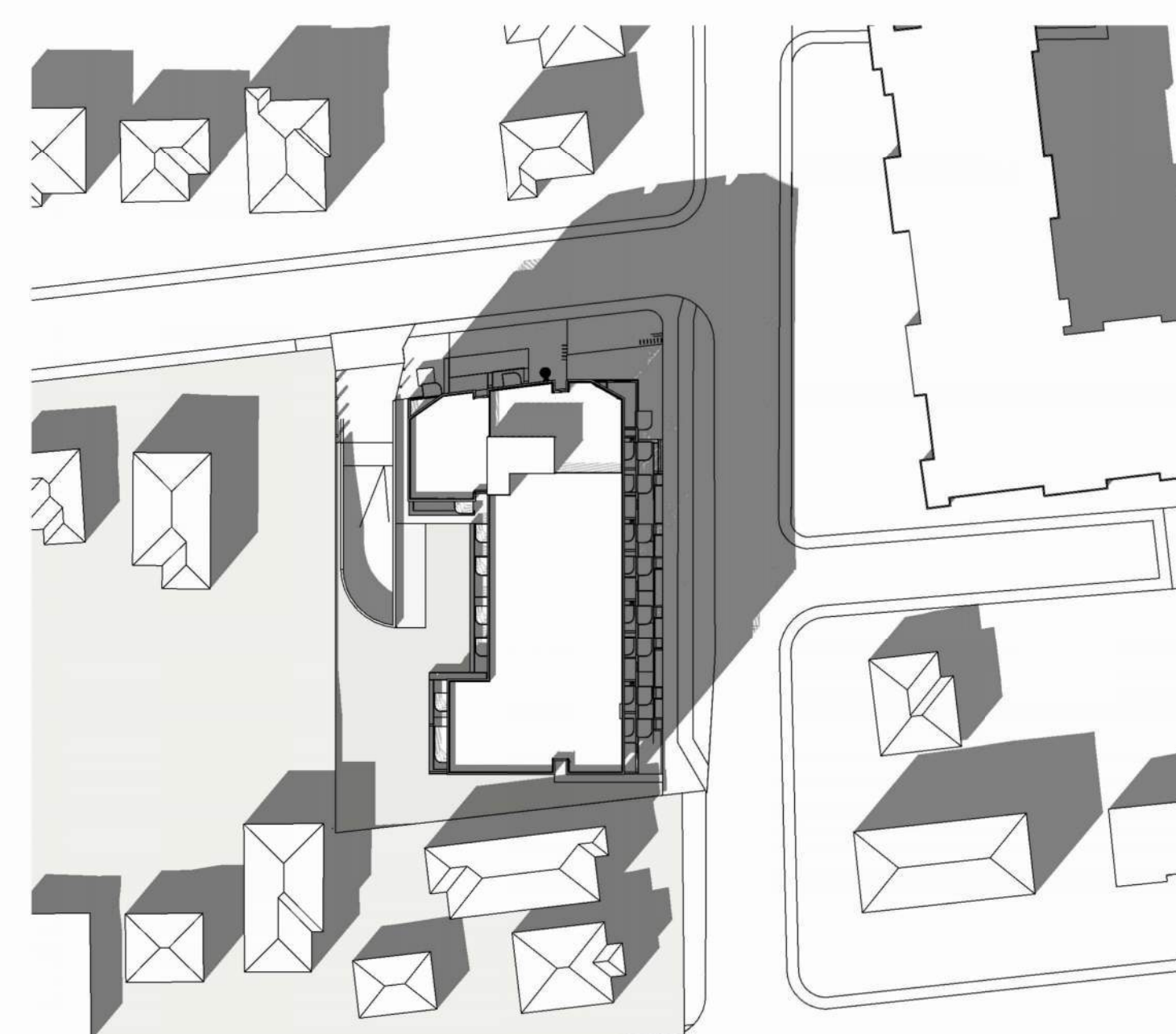
Equinox 12PM



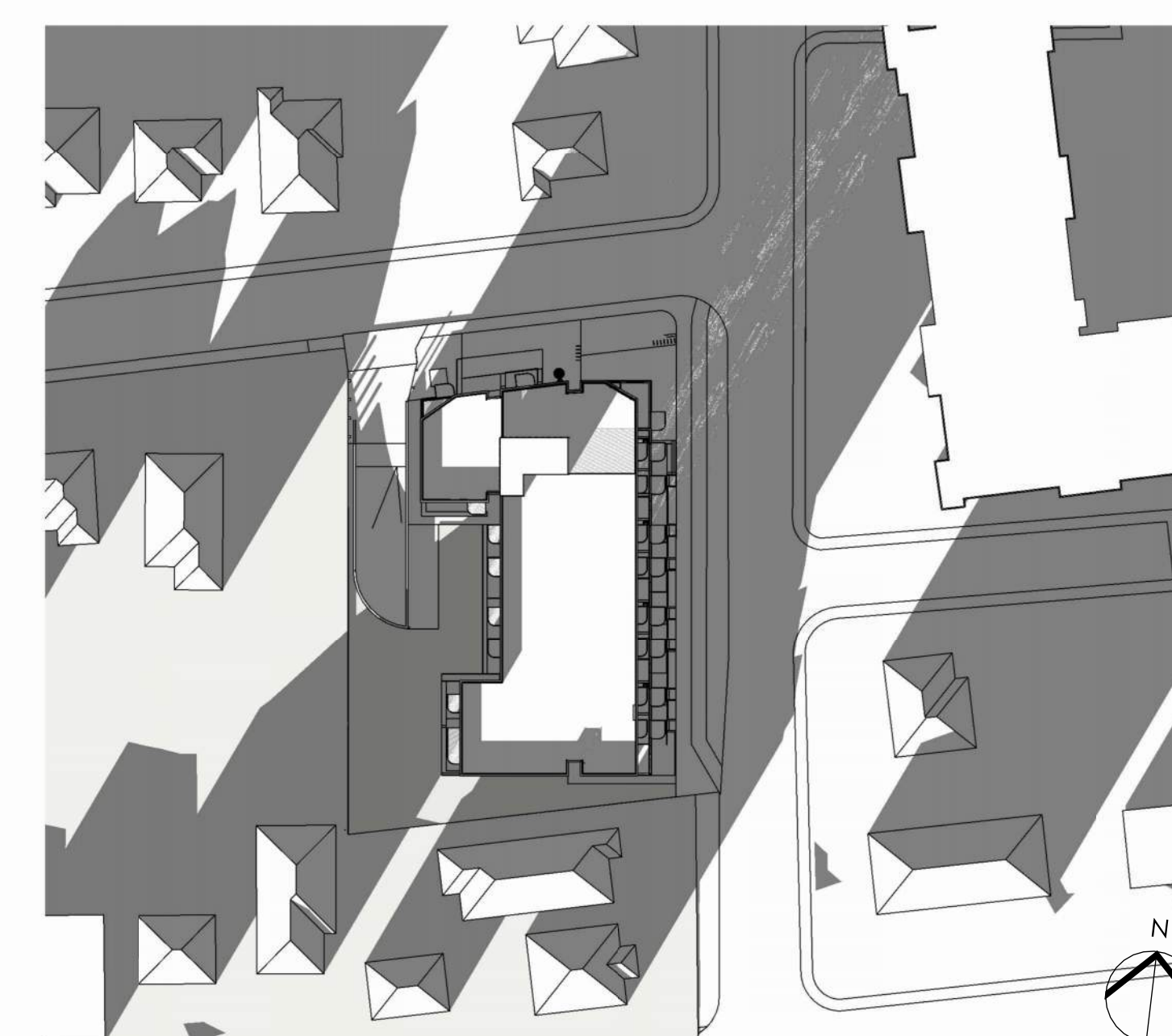
Winter Solstice 12PM



Summer Solstice 4PM



Equinox 4PM



Winter Solstice 4PM

Rev.	Date	Description	Issued by	Checked by
P05	06/18/2026	Issued for DP Resubmission #3		
P04	04/09/2026	Issued for DP Resubmission #2		
P03	09/26/2025	Reissued for Reasoning & Development Permit		
P02	06/18/2025	Issued for Reasoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		

Drawing No: _____ Rev: _____

Project Name: **A-014010** P05

Drawing Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Status: **Shadow Study**

Project No: _____ Date: _____

Scale: _____ Drawn: _____ Checked: _____

4153-C --/---- HN KB

PRELIMINARY ONLY

NO.	DESCRIPTION	DATE
6	ISSUED FOR DP RESUBMISSION #3	20260619
5	ISSUED FOR DP RESUBMISSION #2	20260417
4	REISSUED FOR RZ/DP APPLICATION	20251205
3	REISSUED FOR RZ/DP APPLICATION	20251010
2	ISSUED FOR RZ/DP APPLICATION	20250618
1	ISSUED FOR DEVELOPMENT TRACKER	20250416
		YYYYMMDD

PRELIMINARY SITE PLAN
H 1:200

NOTES:
SERVICING SIZES AND LOCATIONS ARE
PRELIMINARY WILL BE FINALIZED AT DETAILED
DESIGN STAGE FOR BUILDING PERMIT SUBMISSION.

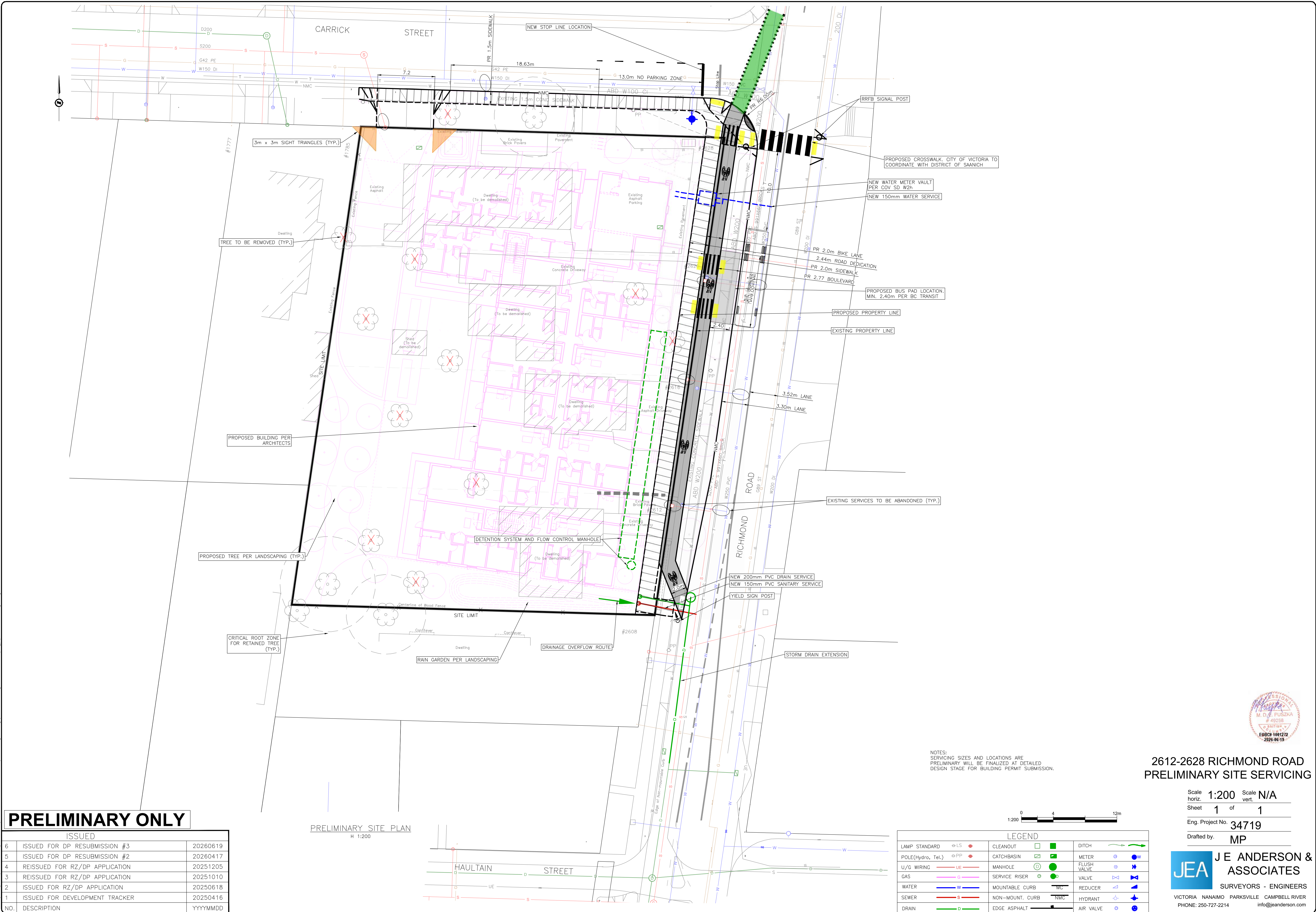


LEGEND	
LAMP STANDARD	LS
POLE (Hydro, Tel.)	PP
U/G WIRING	UE
GAS	GE
WATER	WE
SEWER	SE
DRAIN	DE
CLEANOUT	CE
CATCHBASIN	CB
MANHOLE	MH
SERVICE RISER	SR
MOUNTABLE CURB	MC
NON-MOUNT. CURB	NMC
EDGE ASPHALT	EA
DITCH	DI
METER	ME
FLUSH VALVE	FV
VALVE	VA
REDUCER	RD
HYDRANT	HY
AIR VALVE	AV

2612-2628 RICHMOND ROAD
PRELIMINARY SITE SERVICING

Scale 1:200
horiz. Scale N/A
vert.
Sheet 1 of 1
Eng. Project No. 34719
Drafted by: MP

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com



DRAWING LIST

SHEET	DRAWING TITLE	SCALE
L-0.00	COVER SHEET	1:200
L-0.01	NOTE	NTS
L-1.01	LANDSCAPE PLAN - GROUND LEVEL	1:100
L-1.02	PLANTING & GRADING PLAN - GROUND LEVEL	1:100
L-1.03	LANDSCAPE PLAN - ROOF	1:100
L-1.04	PLANTING PLAN - ROOF	1:100
L-1.05	RAINWATER MANAGEMENT PLAN	1:150
L-1.06	SOIL VOLUME DIAGRAM & REPLACEMENT TREE PLAN	1:150
L-2.01	SECTION 1	1:50
L-2.02	SECTION 2	1:50
L-3.01	DETAILS	1:10

DRAWING KEY

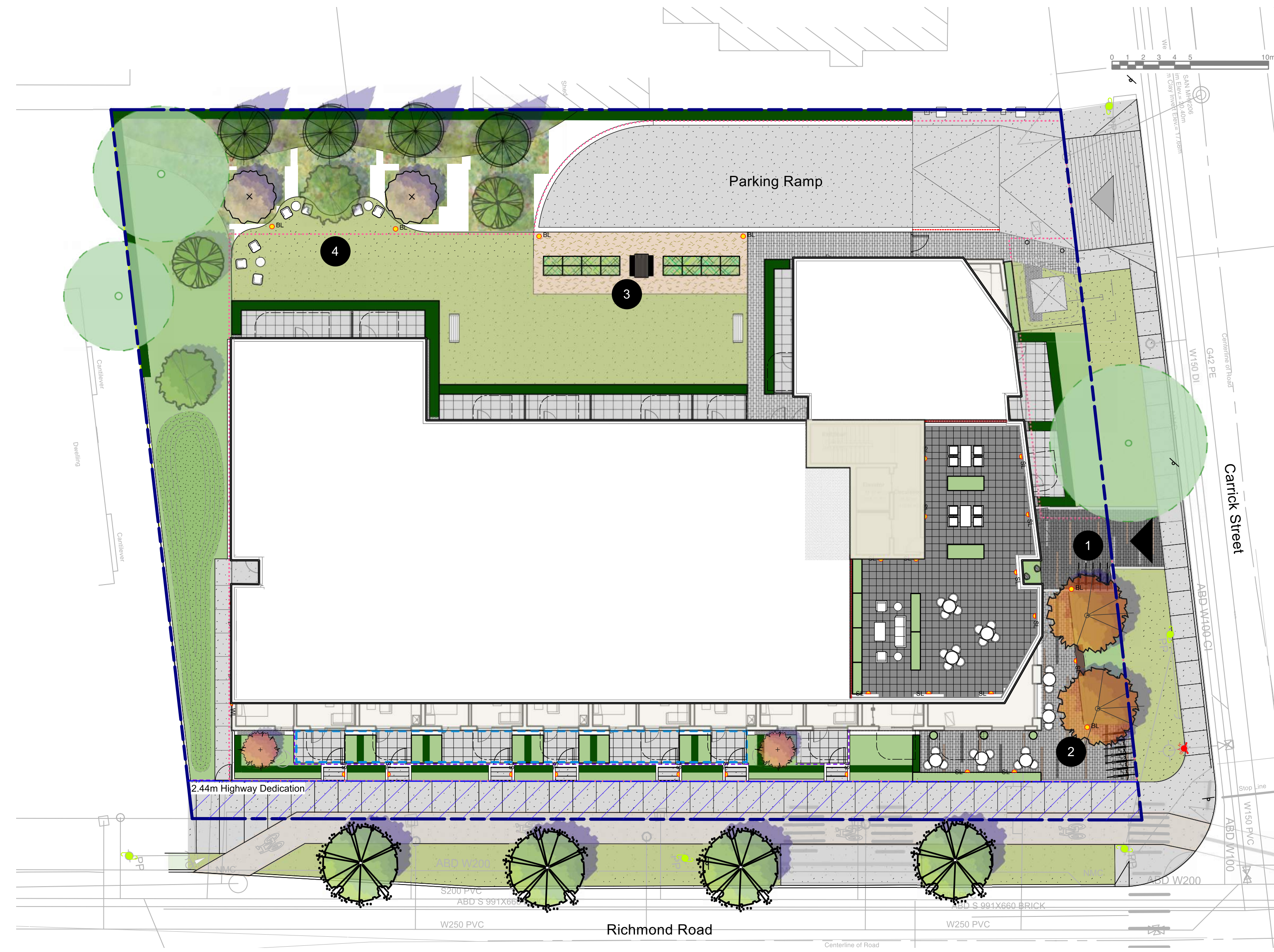
	PROPERTY LINE
	HIGHWAY DEDICATION
	BALCONY ABOVE
	PARKADE BELOW
	DECORATIVE FENCE
	GUARDRAIL
	UNIT PAVER
	CIP CONCRETE
	SLAB PAVERS
	GRANULAR MATERIAL
	ENGINEERED WOOD FIBER
	NEW PLANTING
	LAWN
	HEDGES
	RAINGARDEN & BIOSWALE
	EXISTING TREE TO BE RETAINED (CANOPY SHOWN ONLY. REFER TO ARBOIST AND CIVIL DRAWINGS FOR CRITICAL ROOT ZONE)
	PROPOSED NEW TREE
	STORMWATER DETENTION TANK

LEGEND

	PEDESTRIAN ENTRANCE
	VEHICULAR ENTRANCE
	RESIDENTIAL MAIN ENTRANCE
	CRU COMMUNITY TERRACE
	URBAN GARDEN
	MEANDERING ALCOVE GARDEN

LIGHTING LEGEND

	BOLLARD LIGHT
	STEPS LIGHT



PRECEDENT IMAGE

Feature Planting



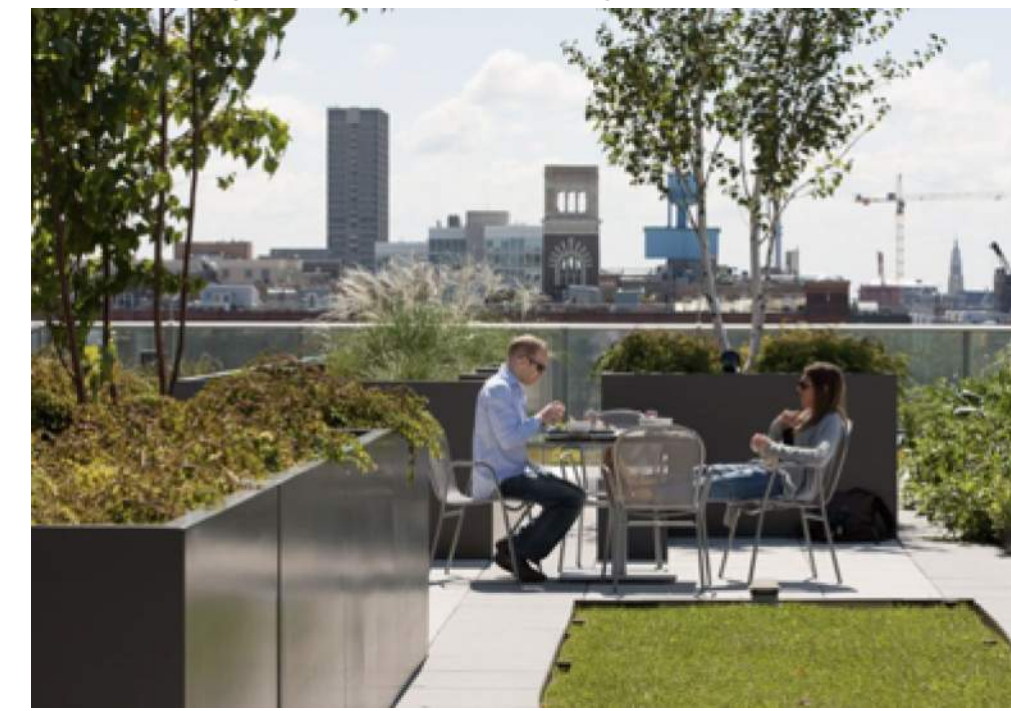
Ceder Hedge



CRU Community Terrace



Roof - Lounge and Small Gathering Space



Rain Garden and Bioswale



Community Garden



8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
4	2025-10-31	Issued for Review

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Revisions:

Stamp:



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Project:

**Residential
Development**

**2612, 2616, 2620, 2628
Richmond Road, Victoria**

Drawn by: KY

Checked by: SV

Date: 17 JUN 2026

Scale: 1:200

Drawing Title:

COVER SHEET

Project No.:
25016

Sheet No.:

L-0.00

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
- Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
- All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, i.e. it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
- Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
- All trees to be staked in accordance with CNLA Standards.
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.

OFF-SITE PLANTING NOTES

- Street tree final spacing and quantity to the approval of City of Victoria Engineering.
- Street tree final species to the approval of City of Victoria Park Board.
- Approved root barrier to be installed per City of Victoria standard, 8' (2.4m) long and 18" (450mm) deep.
- Call Park Board for inspection after tree planting.

ADDITIONAL NOTES

- All sidewalks between curb and property line are to be reconstructed fully at the applicant's expense.
- This plan is NOT FOR CONSTRUCTION and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/ or your Engineering Building Site Inspector for details.
- Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, installed with approved root barriers and appropriate soil. Root barriers shall be of rigid construction, 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Park Board (604-257-8587) for inspection after tree planting completion.

IRRIGATION NOTES

- All on-site 'Soft Landscape Areas' are to be irrigated with high-efficiency automatic irrigation systems, including rain sensors, to IIABC Standards.
- Irrigation stub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
- Irrigation system is a design-build. Landscape contractor to provide irrigation design/layout for review by Landscape Consultant for approval.
- No visible irrigation lines will be accepted.
- All irrigation boxes to be equipped with quick couplers.
- Irrigation controller to be located in mechanical room.

BIRD FRIENDLY STRATEGY







Elements of the landscape design and planting selection have been thoughtfully considered to support the City of Victoria's Bird Friendly Strategy Design Guidelines. The use of native tiered planting materials will provide a variety of textures and heights that will support bird habitat. The plantings should provide opportunities for nesting, food sources, pollination support, shelters as well as protection.

A landscape consideration that will make this proposed development more bird friendly will be the expansion of the urban tree canopy. The development proposes to add street trees along Richmond Road to City of Victoria Standard. These additional trees can to provide shade, perching and nesting opportunities.

The proposed landscape planting incorporates canopy and habit stratification with tree(s), shrub(s) and groundcover planting, utilizing plants that attract birds, insects and includes native and non-native/non-invasive plants.

PLANT LIST

TREES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	2	Acer circinatum	siçətp - Vine Maple	5 cm cal., B&B
	2	Acer davidii	David Maple	5 cm cal., B&B
	4	Carpinus betulus 'Fastigiata'	European hornbeam	5 cm cal., B&B
	2	Cercis canadensis	Eastern redbud	5 cm cal., B&B
	2	Magnolia kobus	Kobus magnolia	5cm cal. B&B
	2	Malus fusca	Pacific crabapple	5 cm cal., B&B

SHRUBS


SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Ag	27	Azalea 'Gumpo White'	Gumpo White Azalea	#1 pot / 18" O.C.
Bw	7	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot / 24" O.C.
Ct	6	Choisya ternata	Mexican orange blossom	#5 pot / 36" O.C.
Cs	11	Cornus sericea	Red Twig Dogwood	#2 pot / 40" O.C.
e	92	Erica carnea	Spring Heath	#2 Pot / 24" O.C.
jw	11	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	#2 pot / 30" O.C.
Lg	22	Ledum groenlandicum	Labrador Tea	#2 pot / 36" O.C.
Lp	6	Lonicera Pileata	Privet honeysuckle	#2 pot / 36" O.C.
Ma	45	Mahonia aquifolium	Oregon Grape	#2 pot / 36" O.C.
Mr	52	Mahonia repens	Creeping mahonia	#1 pot / 16" O.C.
Mg	20	Myrica gale	Sweet Gale	#2 pot / 36" O.C.
OC	36	Oemleria cerasiformis	osoberry or Indian plum	#3 pot. 48" O.C.
Pe	7	Philadelphus lewisii	Mock Orange	#3 pot / 48" O.C.
Rk	14	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhodo	#2 pot / 36" O.C.
Rc	20	Ribes sanguineum	Red flowering currant	#2 pot / 36" O.C.
Rn	28	Rosa nutkana	Nootka Rose	#2 pot / 36" O.C.
Ru	27	Rubus idaeus	raspberry	#3 pot. 24" o.c.
Sg	12	Senecio greyi	Daisy bush	#2 pot/ 30" O.C.
Sr	78	Skimmia reevesiana	Reeves Skimmia	#2 pot / 18" O.C.
Sy	19	Symphoricarpos albus	Snowberry	#3 pot / 48" O.C.
T	186	Taxus x media 'Hillii' (Male Plants Only)	Hill's yew	4' ht B&B / 18" O.C.
Ts	111	Thuja occidentalis 'Smaragd'	Emerald Cedar	4'ht B&B / 24" O.C.
Vp	1	Vaccinium parvifolium	sk*aq*cəsetp - Red Huckleberry	#2 pot / 36" O.C.

GROUNDCOVERS, GRASSES, FERNS & VINES

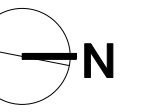
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Js	10	Juniperus squamata 'Blue Star'	Blue Star Juniper	#2 pot / 24" O.C.
Ll	57	Lupinus latifolius	Broadleaf Lupine	#1 pot / 12"O.C.
Pa	18	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1 pot / 18 O.C.
M	26	Pinus mugo pumilio	Dwarf Mugo Pine	#2 pot / 24" O.C.
Pm	71	Polystichum munitum	səxeləḿ - Sword fern	#1 pot / 18" O.C.
Ss	81	Sedum spathulifolium	Stonecrop	#1 pot / 12" O.C.
sd	77	Symphotrichum dumosum 'Wood's Pink'	Aster 'Wood's Pink'	#1 Pot / 12" O.C.

PLANTING - OFFSITE

TREES

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	4	***Street Tree to City of Victoria Standards***		6cm cal., B&B

Tree Impact Summary			
TREE STATUS	# of Trees	# of Trees to be Removed	# of Replacement Trees
On-site trees	10	9	13
Off-site Trees	2	1	0
Municipal Trees	2	1	4
TOTAL	14	11	17



8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
4	2025-10-31	Issued for Review

no.:	date:	Item:
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Revisions:

Stamp:



Project:

Residential Development

2612, 2616, 2620, 2628
Richmond Road, Victoria

Drawn by: KY

Checked by: SV

Date: 17 JUN 2026

Scale: NTS

Drawing Title:

NOTE

Project No.:
25016

Sheet No.:

L-0.01



8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
5	2026-02-13	Issued for Review

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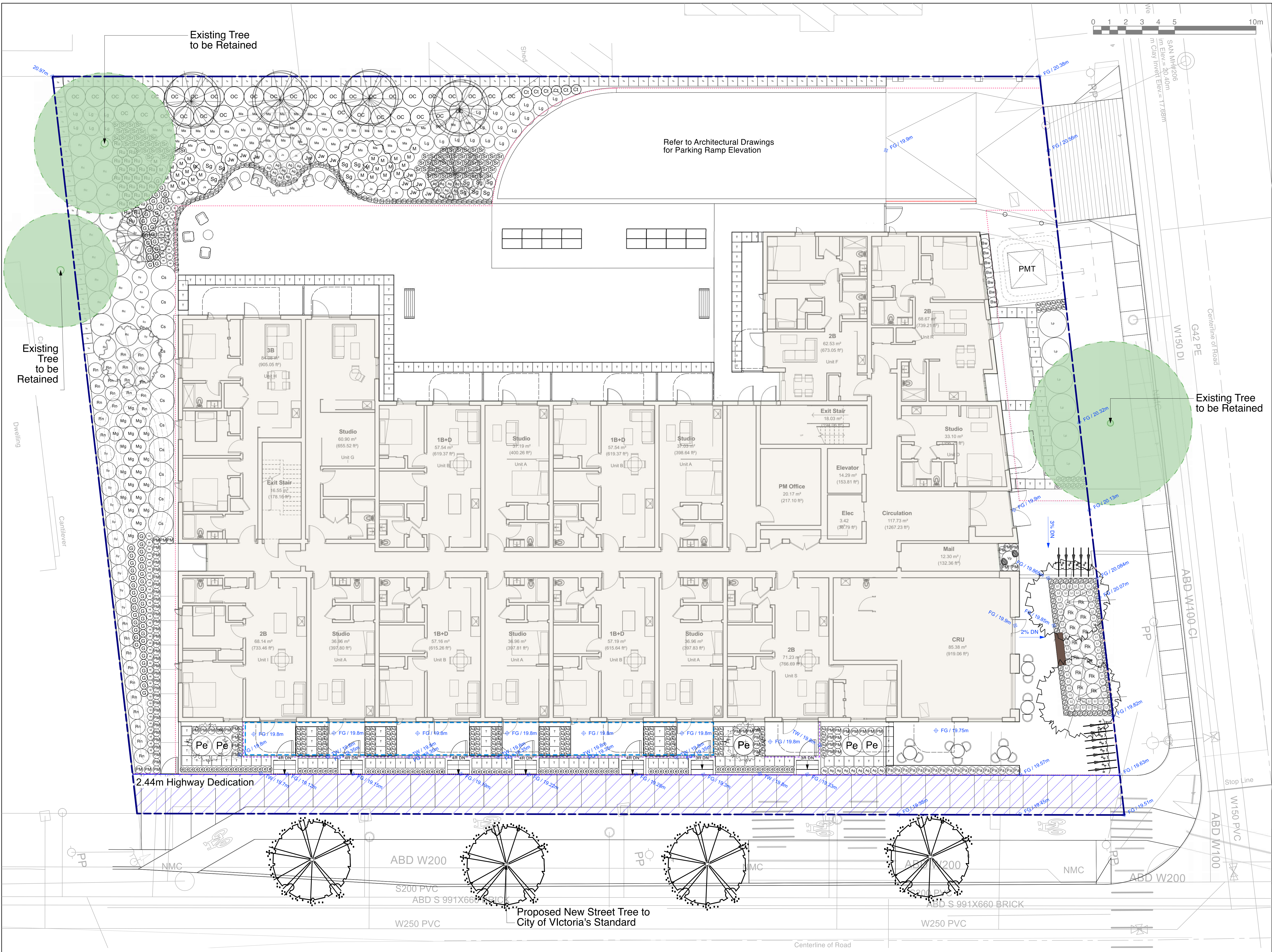
Residential Development

**2612, 2616, 2620, 2628
 Richmond Road, Victoria**

Drawn by: KY
 Checked by: SV
 Date: 17 JUN 2026
 Scale: 1:100
 Drawing Title:

**LANDSCAPE PLAN -
 GROUND LEVEL**

Project No.: 25016
 Sheet No.:



Refer to Architectural Drawings for Parking Ramp Elevation

Existing Tree to be Retained

Existing Tree to be Retained

Existing Tree to be Retained

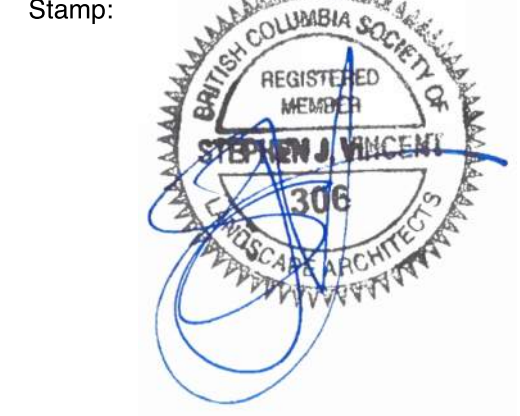
2.44m Highway Dedication

Proposed New Street Tree to City of Victoria's Standard

8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
4	2025-10-31	Issued for Review

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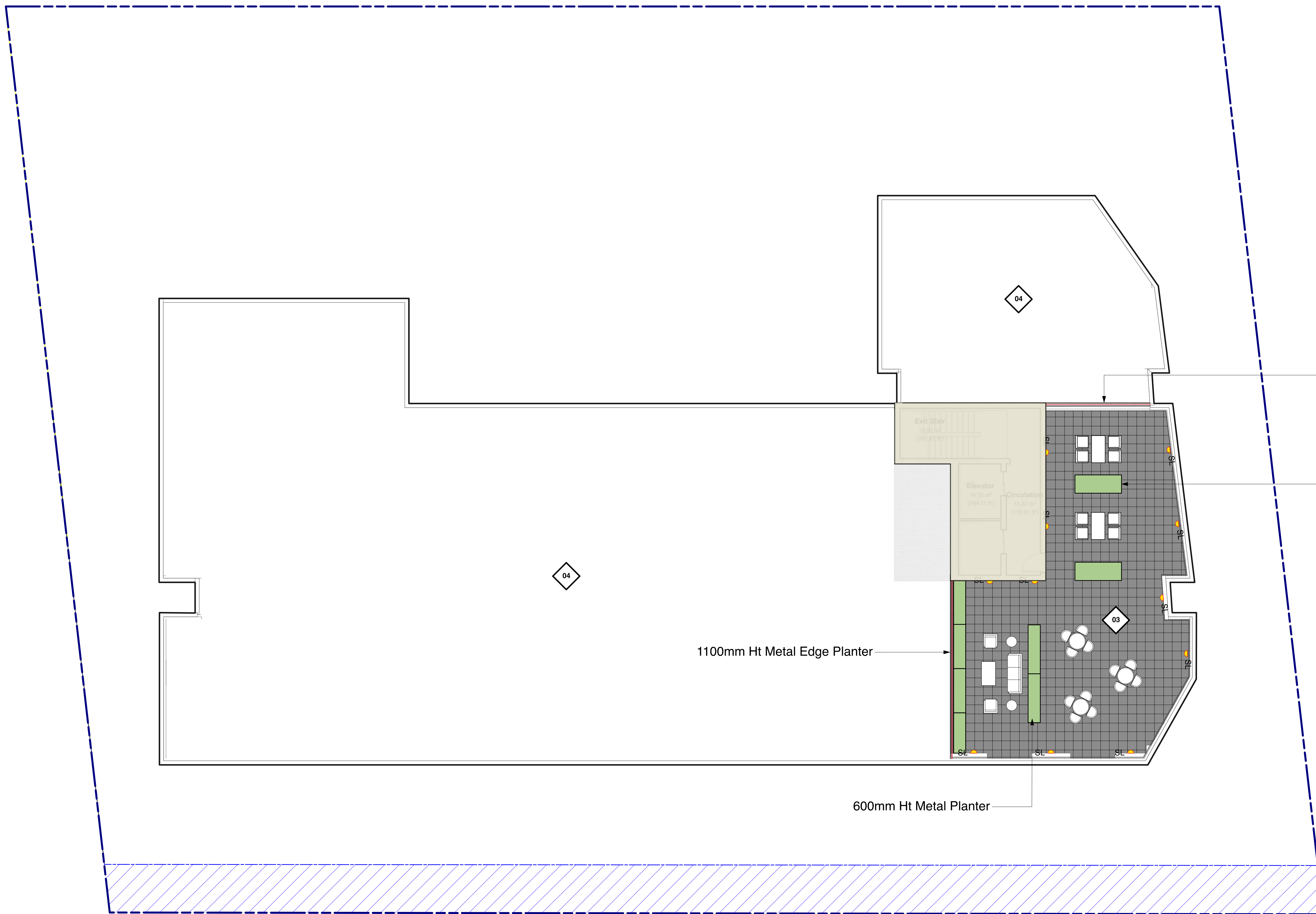
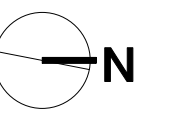
Residential Development

2612, 2616, 2620, 2628
 Richmond Road, Victoria

Drawn by: KY
 Checked by: SV
 Date: 17 JUN 2026
 Scale: 1:100

PLANTING & GRADING PLAN - GROUND LEVEL

Project No.: 25016
 Sheet No.:



8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
4	2025-10-31	Issued for Review

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Residential Development

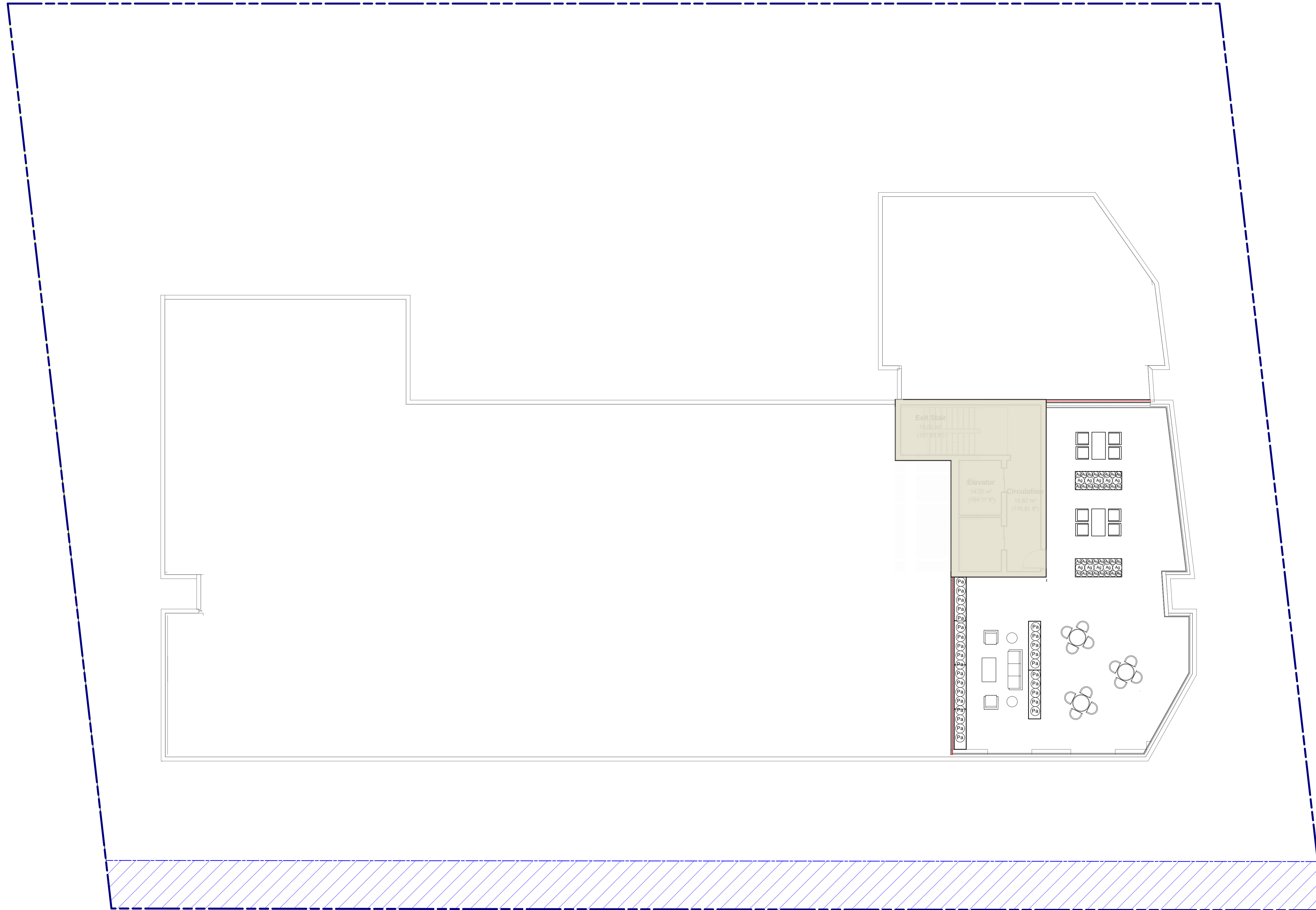
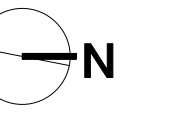
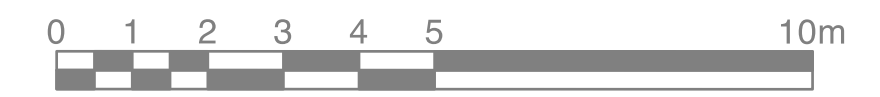
**2612, 2616, 2620, 2628
 Richmond Road, Victoria**

Drawn by: KY
 Checked by: SV
 Date: 17 JUN 2026
 Scale: 1:100

Drawing Title:
**LANDSCAPE PLAN -
 ROOF**

Project No.:
25016
 Sheet No.:

L-1.03



8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
4	2025-10-31	Issued for Review

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Revisions:

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Project:

**Residential
Development**

**2612, 2616, 2620, 2628
Richmond Road, Victoria**

Drawn by: KY

Checked by: SV

Date: 17 JUN 2026

Scale: 1:100

Drawing Title:

**PLANTING PLAN -
ROOF**

Project No.:

25016

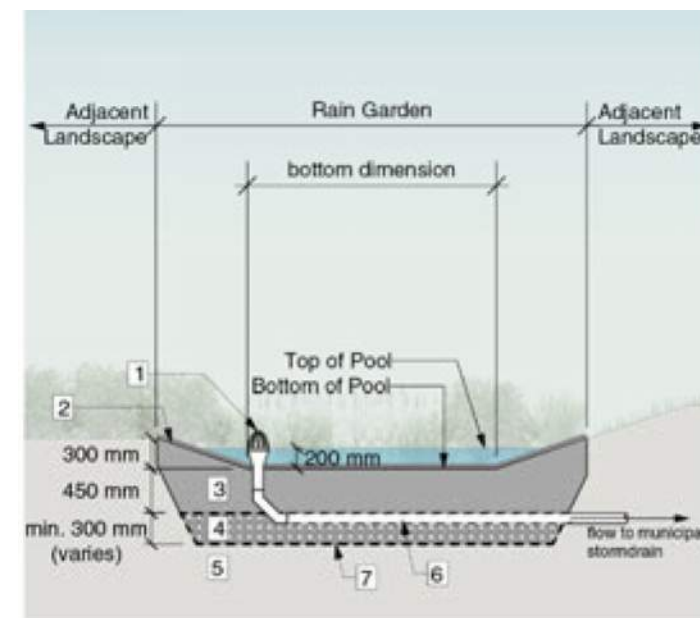
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L-1.04

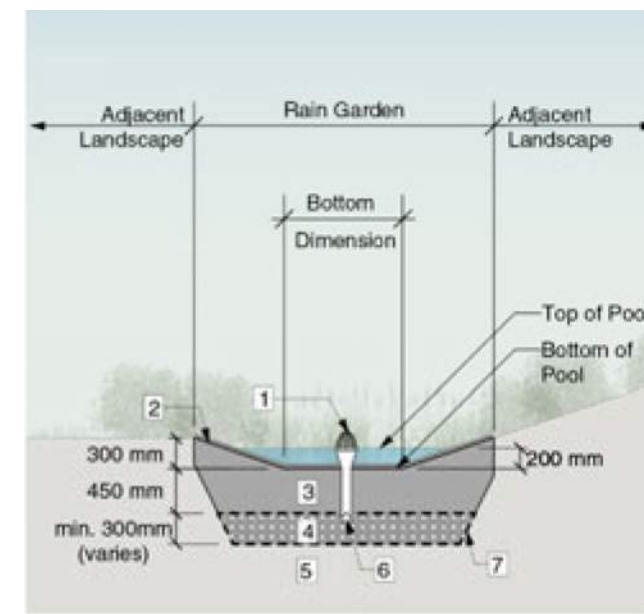
LEGEND

- PLANTING AREA**
768 sqm
- PERMEABLE SURFACE**
13 sqm
- BUILDING FOOTPRINT**
1202 sqm
- IMPERMEABLE SURFACE**
620 sqm

Rain Garden Details



Profile



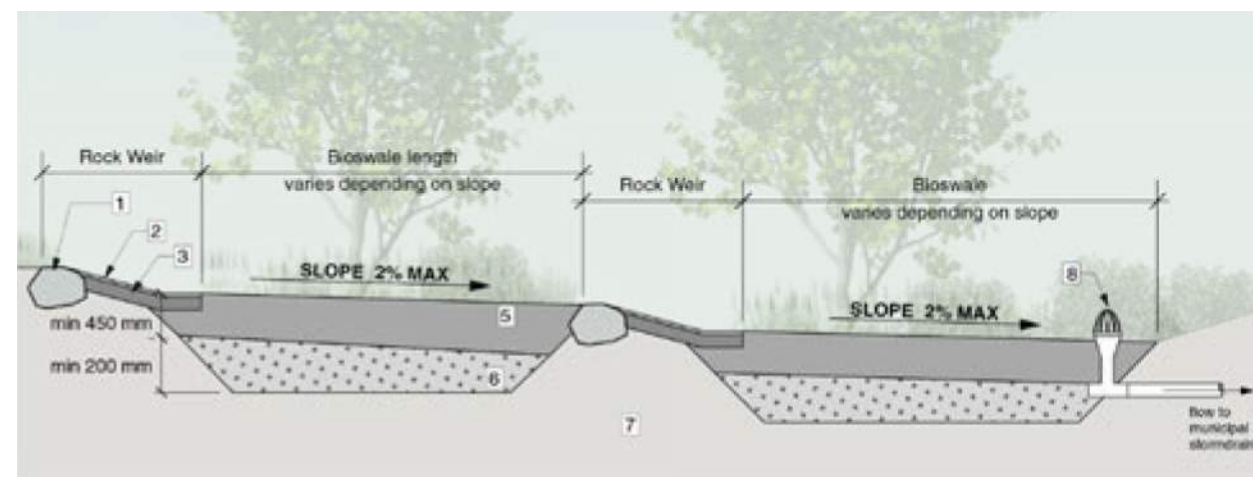
Cross Section

Rain Garden Materials

1. Overflow drain, 200 mm domed grate and adapter
2. Composted mulch, 50-70 mm depth
3. Bio-retention growing medium, 450 mm depth
4. Reservoir base
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. Non-woven geotextile on bottom, sides, and top drain rock

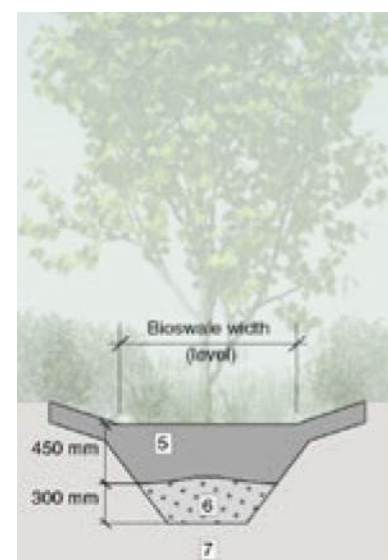
Note: Flow dissipator inlet options and pop-up emitter details are located at the end of this section.

Bioswale



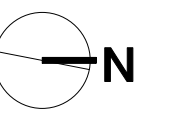
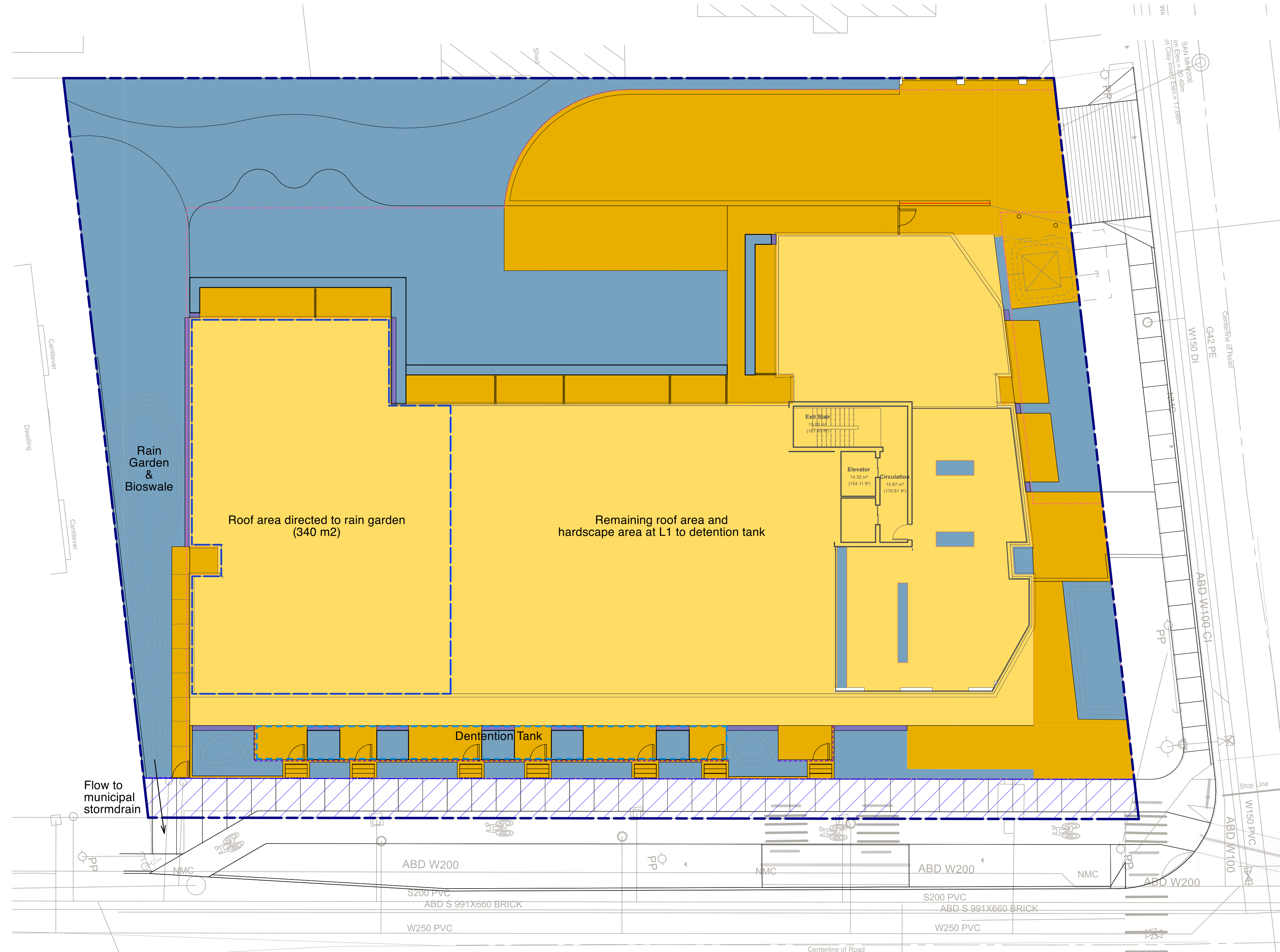
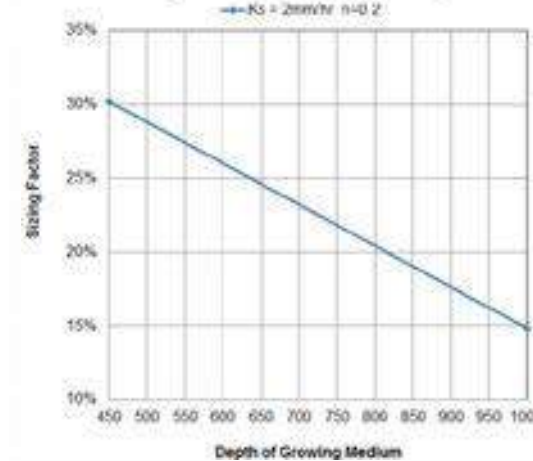
Bioswale Materials

1. Rock weir (300-400 mm dia)
2. 25 mm dia drain rock, 25 mm depth
3. 50-75 mm dia drain rock, 100 mm depth min
4. Composted mulch, 50-70 mm depth
5. Bio-retention growing medium, 450 mm depth min
6. Scarified/titled subgrade, 200 mm depth minimum
7. Existing subgrade/native material
8. Overflow drain, 200 mm domed grate and adapter



Bioswale cross section

Sizing Factor versus Depth of Growing Medium



8	2026-06-18	Issued for DP Resubmission #3
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4	2025-10-31	Issued for Review

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Project:
Residential Development

**2612, 2616, 2620, 2628
 Richmond Road, Victoria**

Drawn by:	KY
Checked by:	SV
Date:	17 JUN 2026
Scale:	1:150

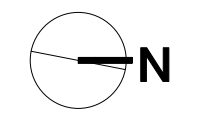
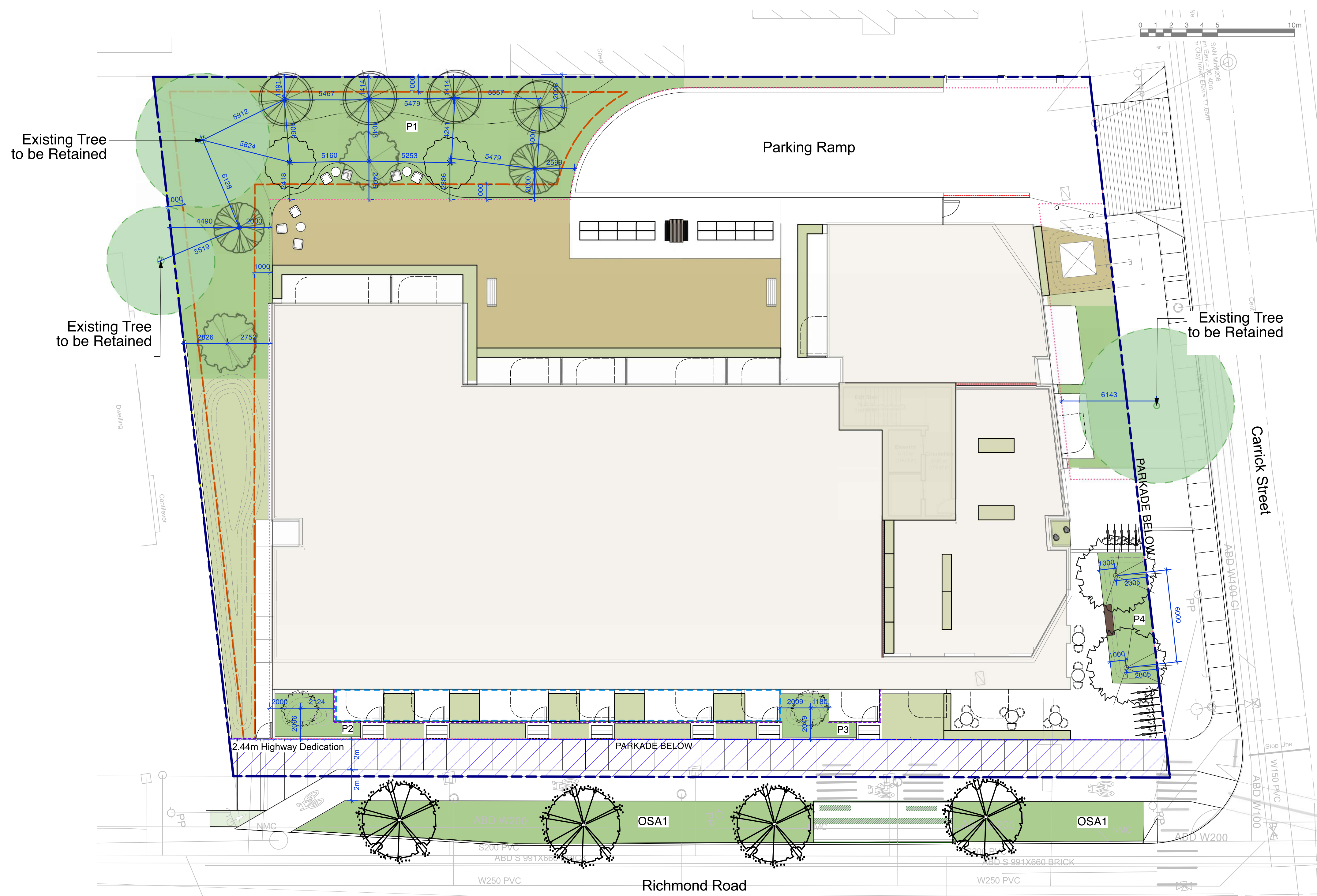
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RAINWATER MANAGEMENT PLAN

Project No.:	25016
Sheet No.:	

L-1.05

LEGEND

- TREE PLANTING AREA**
Min. 900mm
- SHRUB PLANTING AREA**
Min. 450mm
- LAWN AREA**
Min. 300mm
- STRUCTURAL SOIL**
- PARKADE OUTLINE**
- CONTIGUOUS LANDSCAPE AREA**
260 sqm (10% of site area)



Planting Area ID	Planting Area (m2)	Soil Depth (m)	Estimated Soil Volume (m3)	No. of Replacement Trees	Tree Size	Soil Volume Provided per Tree (m3)	Note
P1	300	1	300	10	M	30	
P2	12.3	0.9	11.07	1	S	11.07	On Slab
P3	10.9	0.9	9.81	1	S	9.81	On Slab
P4	25.6	0.9	23.04	2	M	11.52	On Slab

Planting Area ID	Planting Area (m2)	Structural Soil (m2)	Soil Depth (m)	Estimated Soil Volume (m3)	No. of Trees	Tree Size	Soil Volume Provided per Tree (m3)
OSA1	115.7	23.8	1	120.46	4	M	30.1

REPLACEMENT TREE - ON SITE

TREES SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	2	Acer circinatum	sičəɸp - Vine Maple	5 cm cal., B&B
	2	Acer davidii	David Maple	5 cm cal., B&B
	4	Carpinus betulus 'Fastigiata'	European hornbeam	5 cm cal., B&B
	2	Cercis canadensis	Eastern redbud	5 cm cal., B&B
	2	Magnolia kobus	Kobus magnolia	5cm cal. B&B
	2	Malus fusca	Pacific crabapple	5 cm cal., B&B

PLANTING - OFFSITE

TREES SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	4	***Street Tree to City of Victoria Standards***		6cm cal., B&B

- 8 2026-06-18 Issued for DP Resubmission #3
- 7 2026-04-17 Issued for DP Resubmission #2
- 6 2026-03-24 Issued for Review

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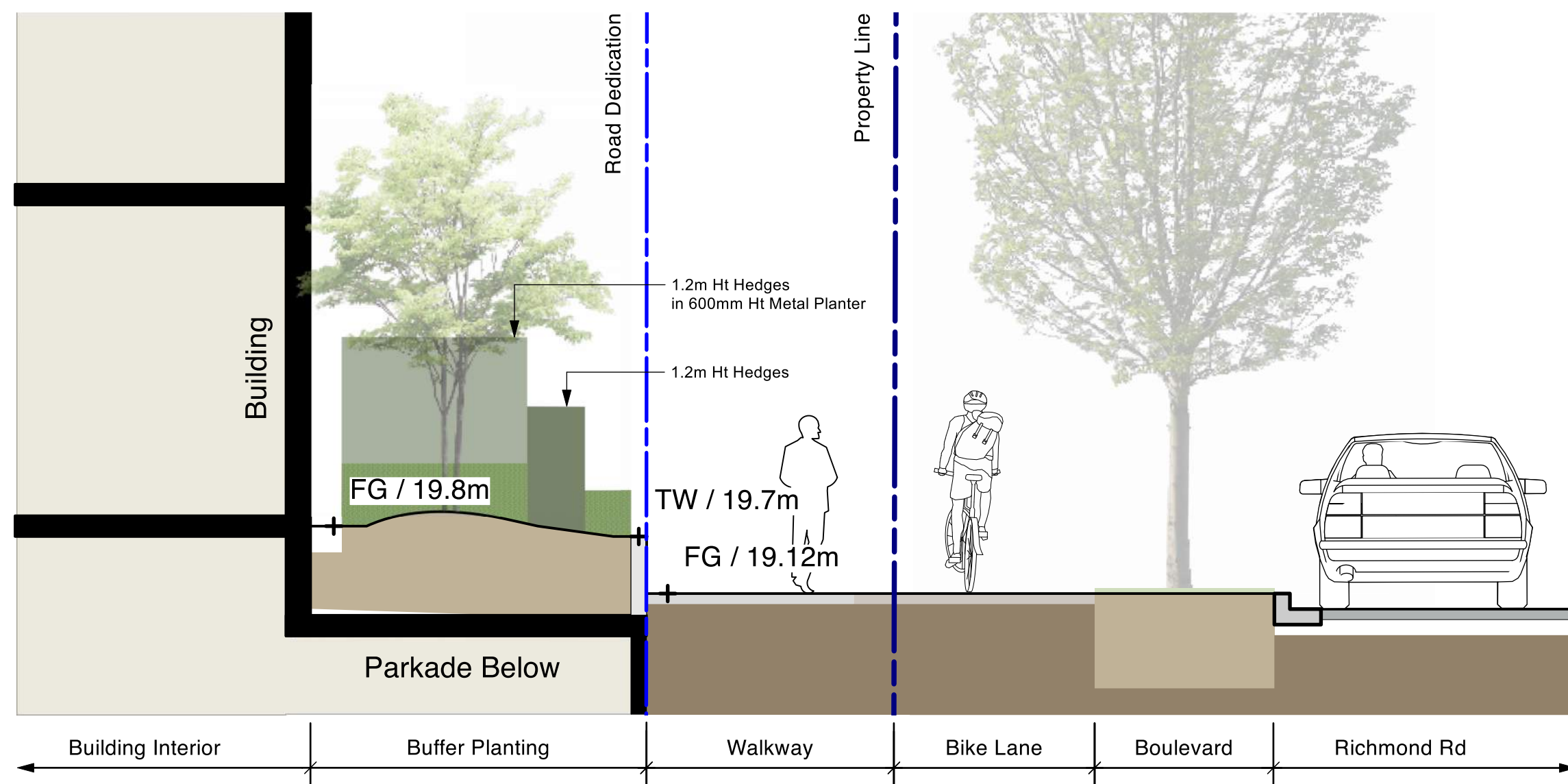
Project:
Residential Development

**2612, 2616, 2620, 2628
 Richmond Road, Victoria**

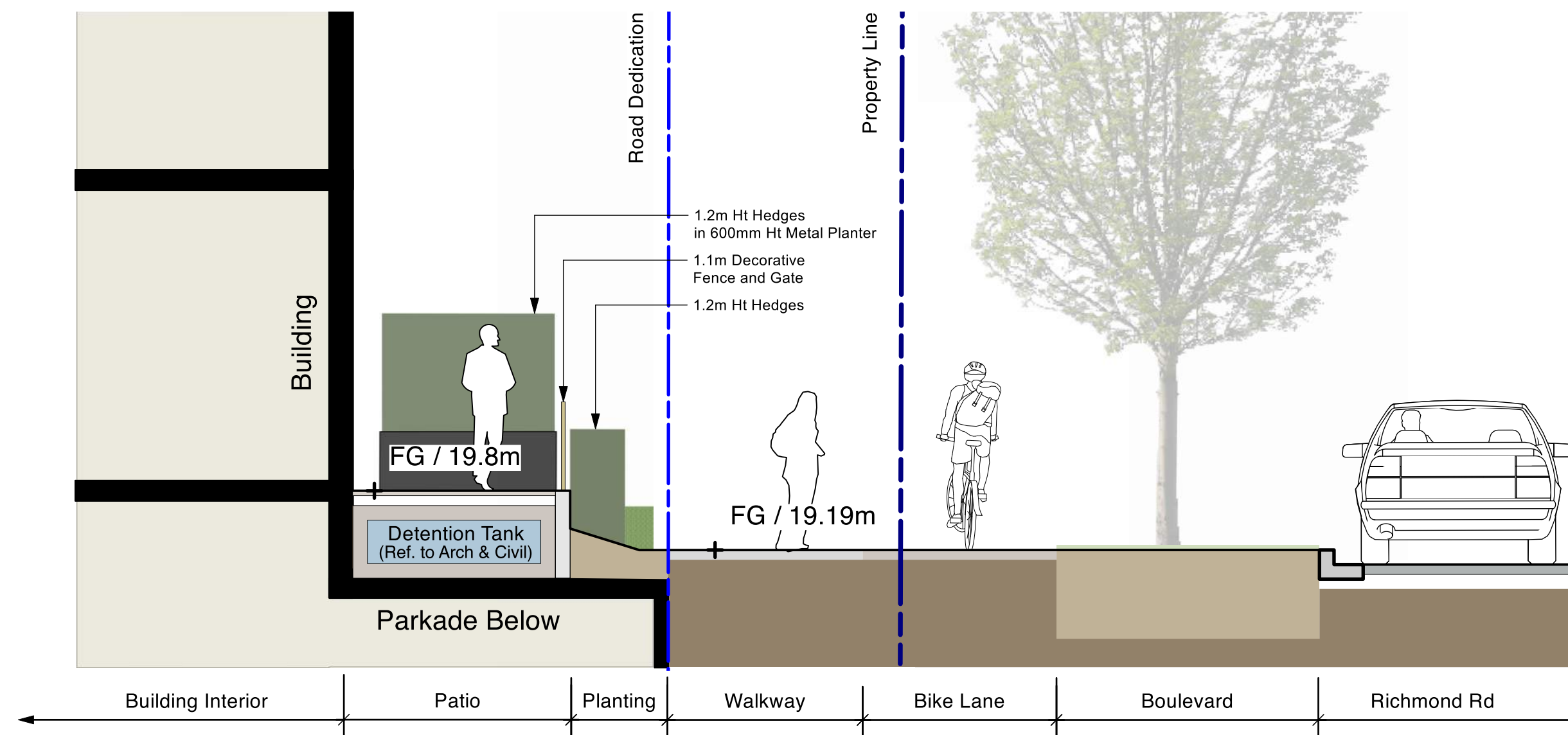
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 Checked by: SV
 Date: 17 JUN 2026
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**SOIL VOLUME
 DIAGRAM &
 REPLACEMENT
 TREE PLAN**

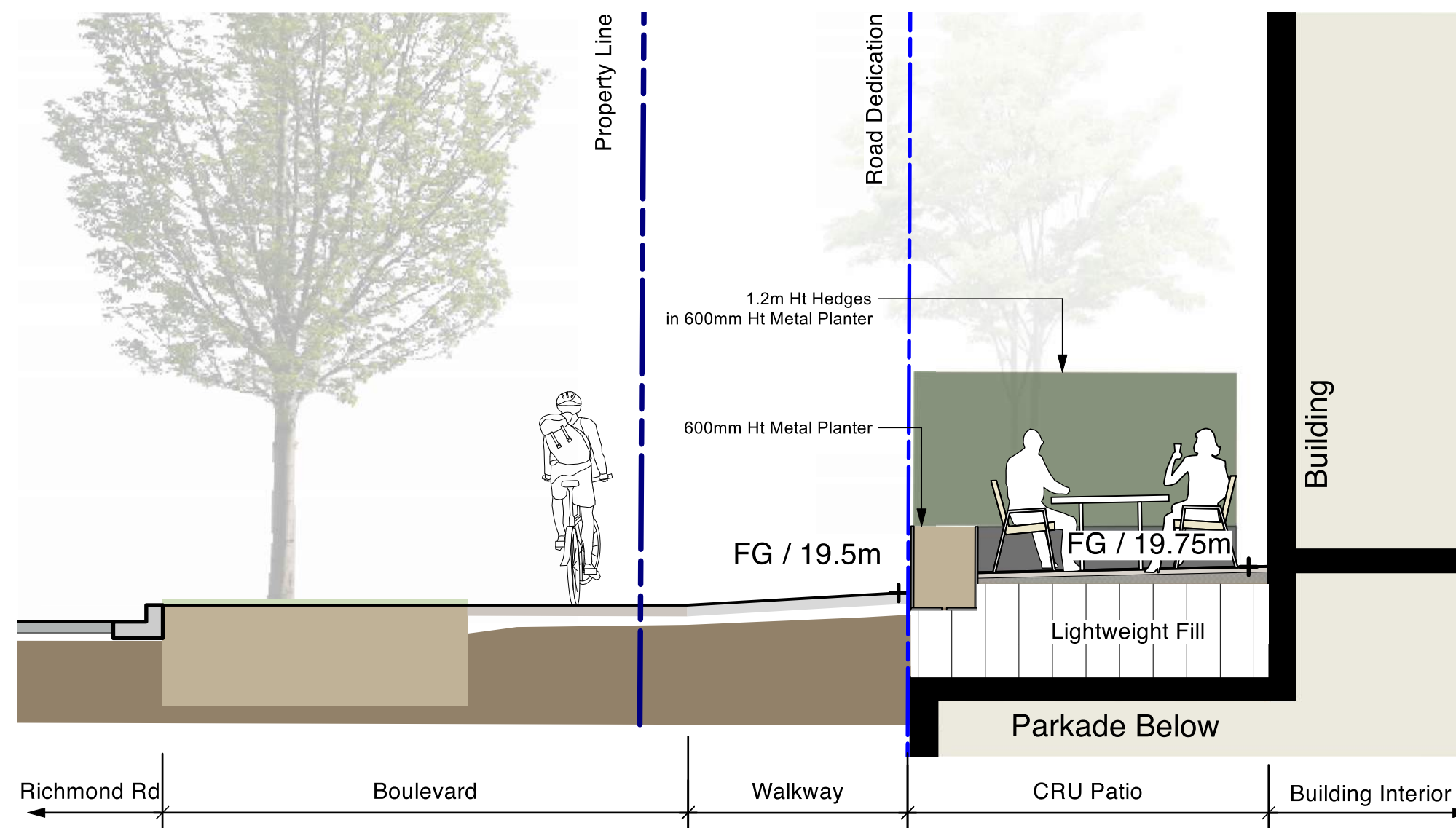
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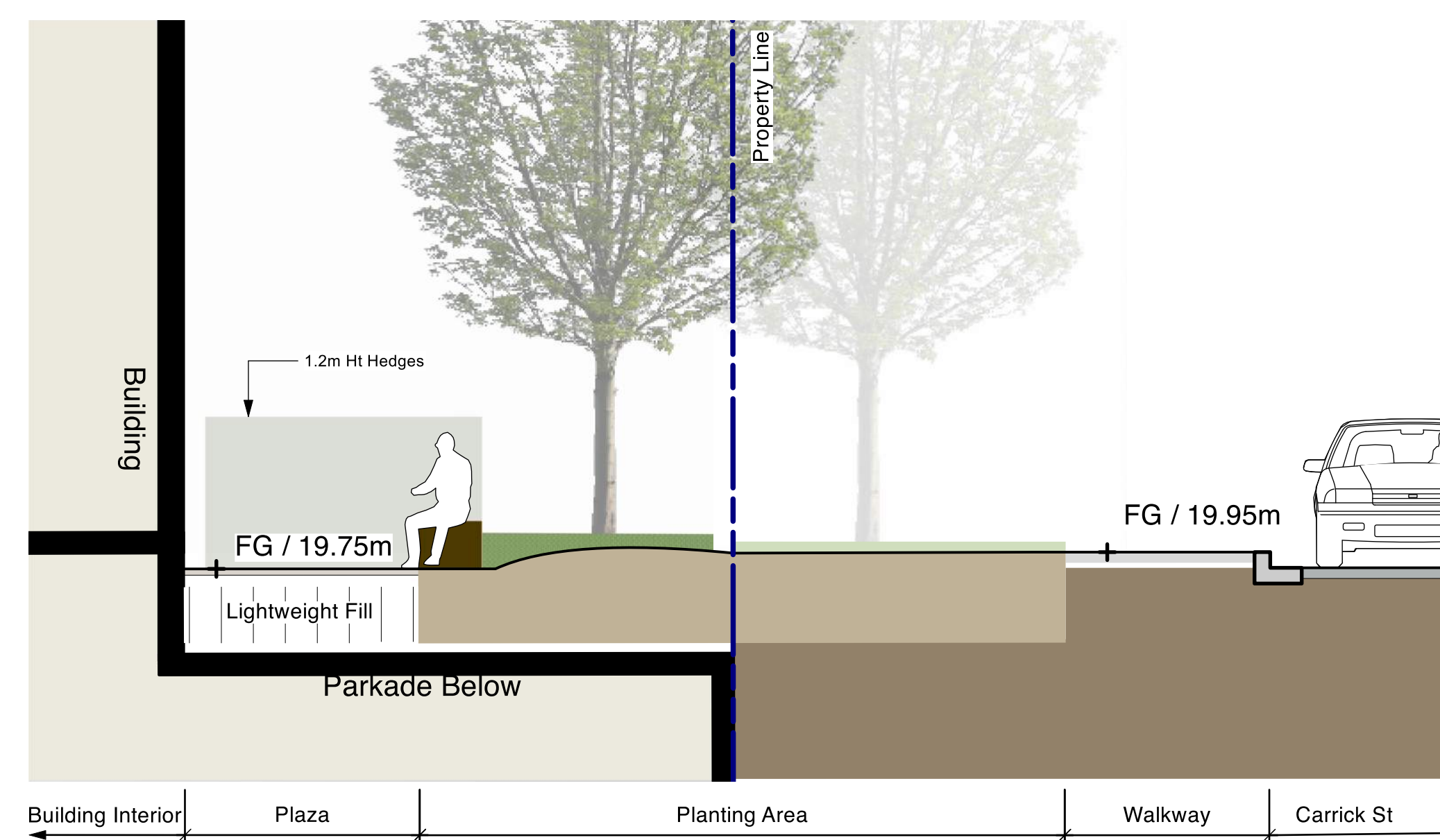
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L-2.01 Scale = 1:50



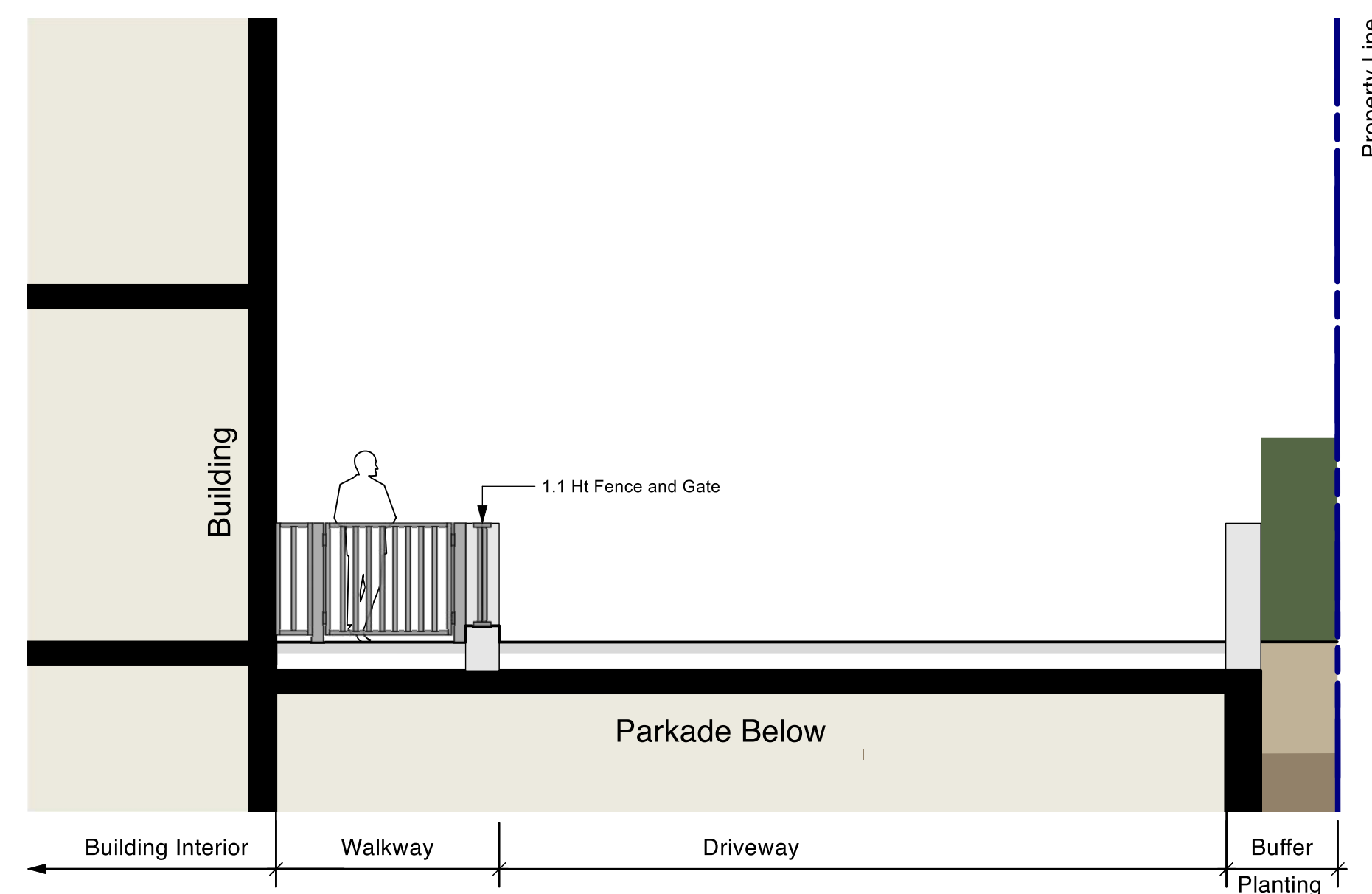
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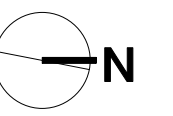
3 LEVEL 1 SECTION 3 : CRU TO RICHMOND ROAD
L-2.01 Scale = 1:50



4 LEVEL 1 SECTION 4 : CRU TO CARRICK STREET
L-2.01 Scale = 1:50



5 LEVEL 1 SECTION 5 : DRIVEWAY
L-2.01 Scale = 1:50



8	2026-06-18	Issued for DP Resubmission #3
7	2026-04-17	Issued for DP Resubmission #2
4	2025-10-31	Issued for Review

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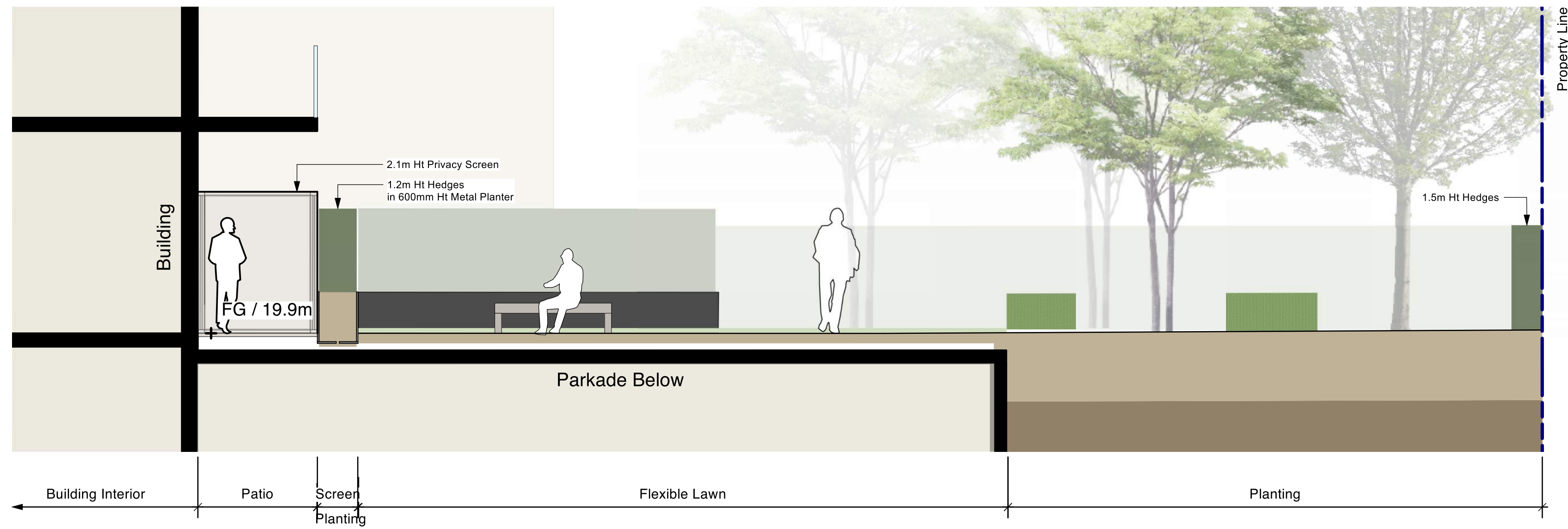
**2612, 2616, 2620, 2628
Richmond Road, Victoria**

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Checked by: SV
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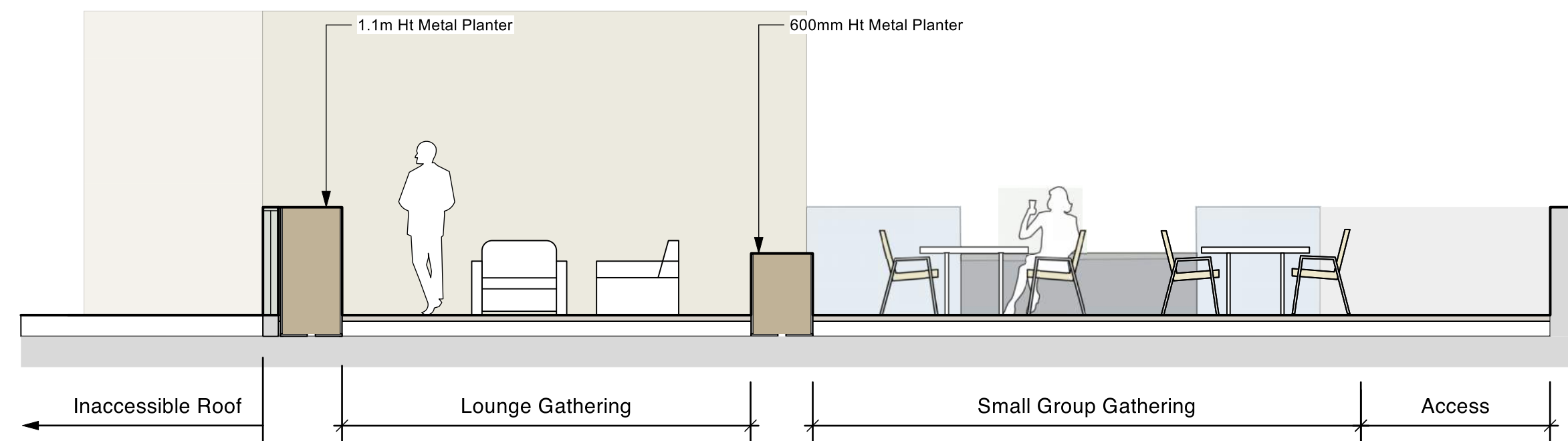
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Project No.:
25016
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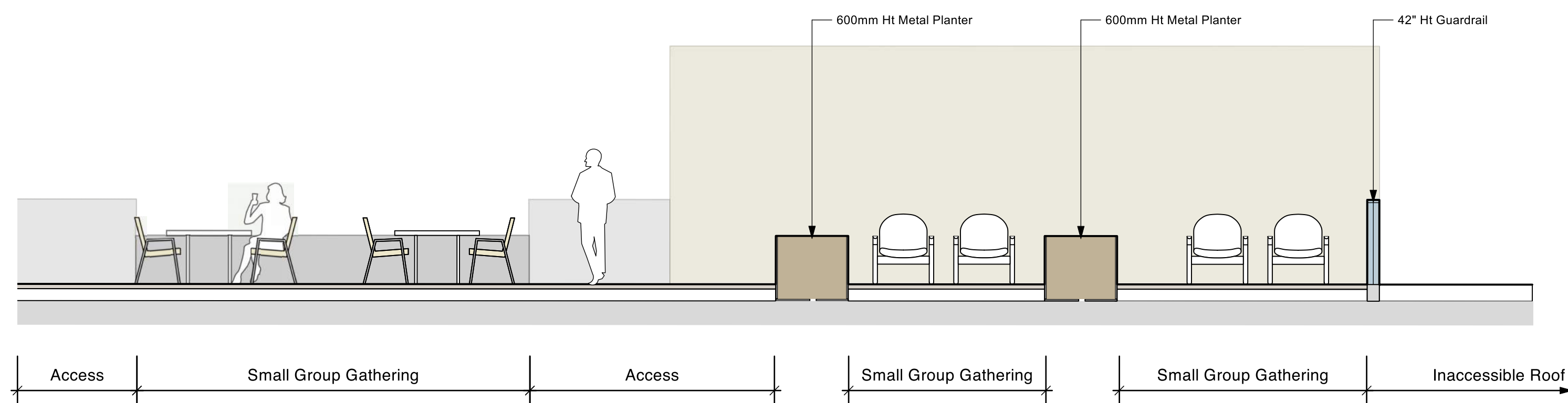
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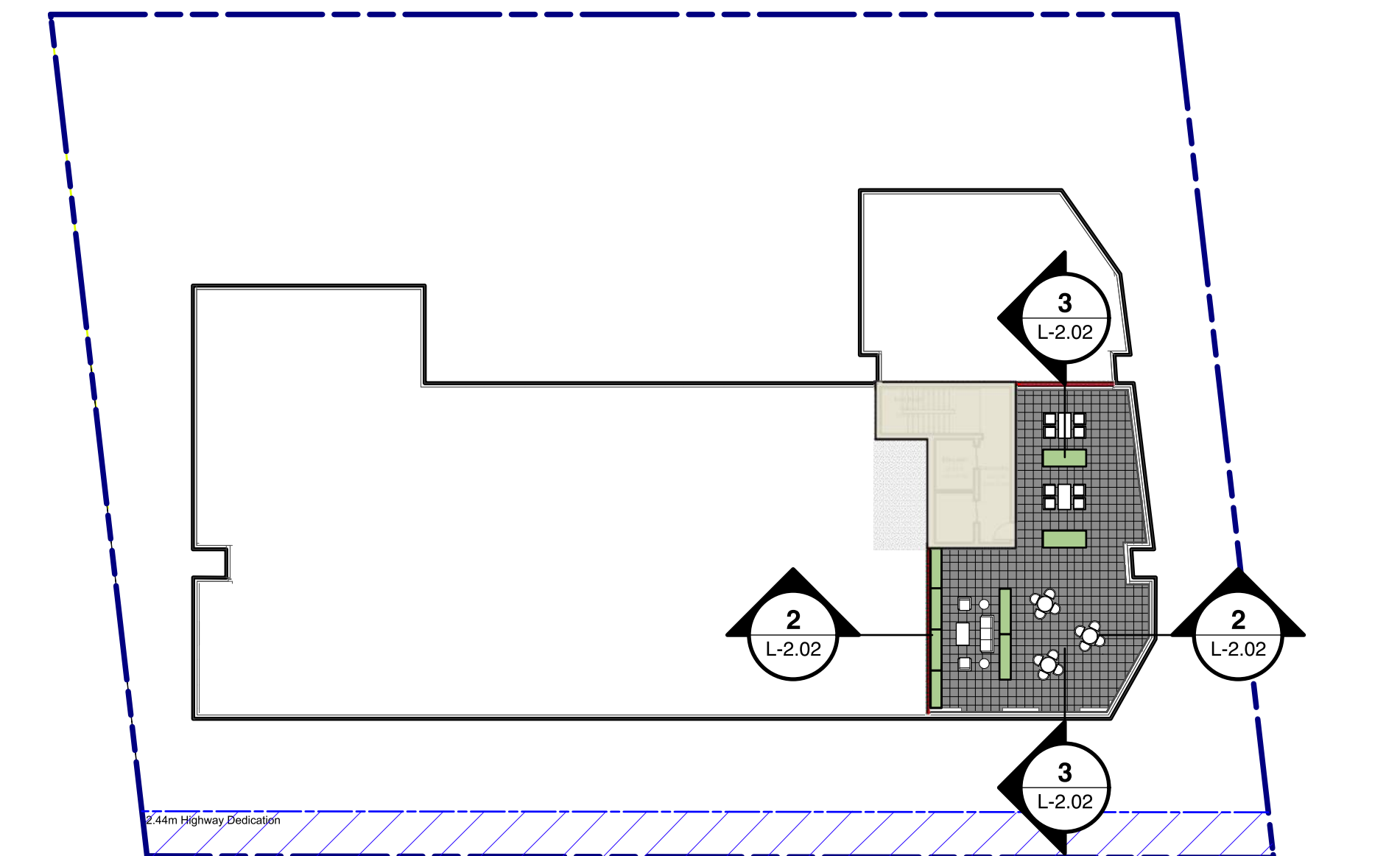
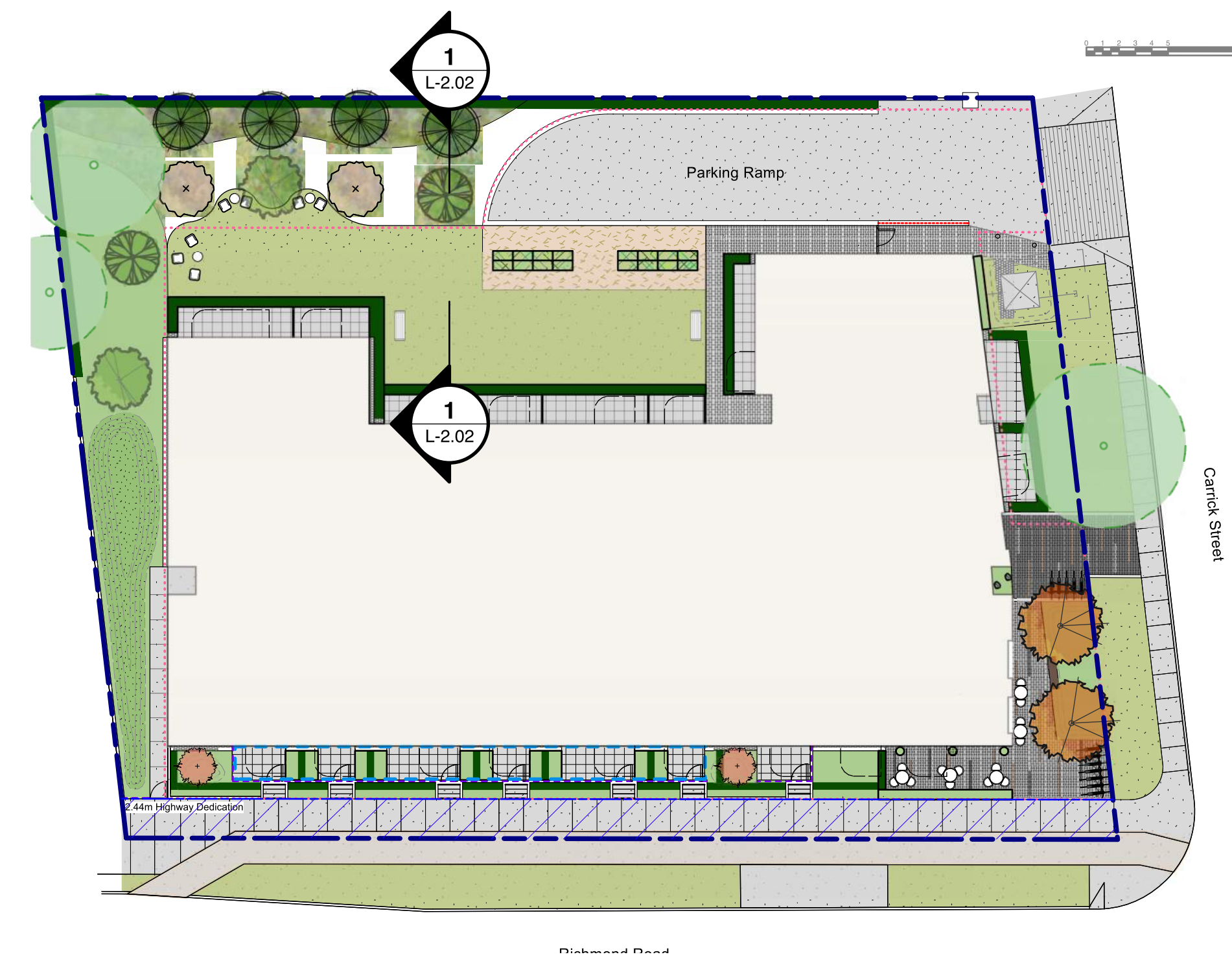
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L-2.02 Scale = 1:50



2 ROOF SECTION 1: ROOF AMENITY
L-2.02 Scale = 1:50



3 ROOF SECTION 2: ROOF AMENITY
L-2.02 Scale = 1:50



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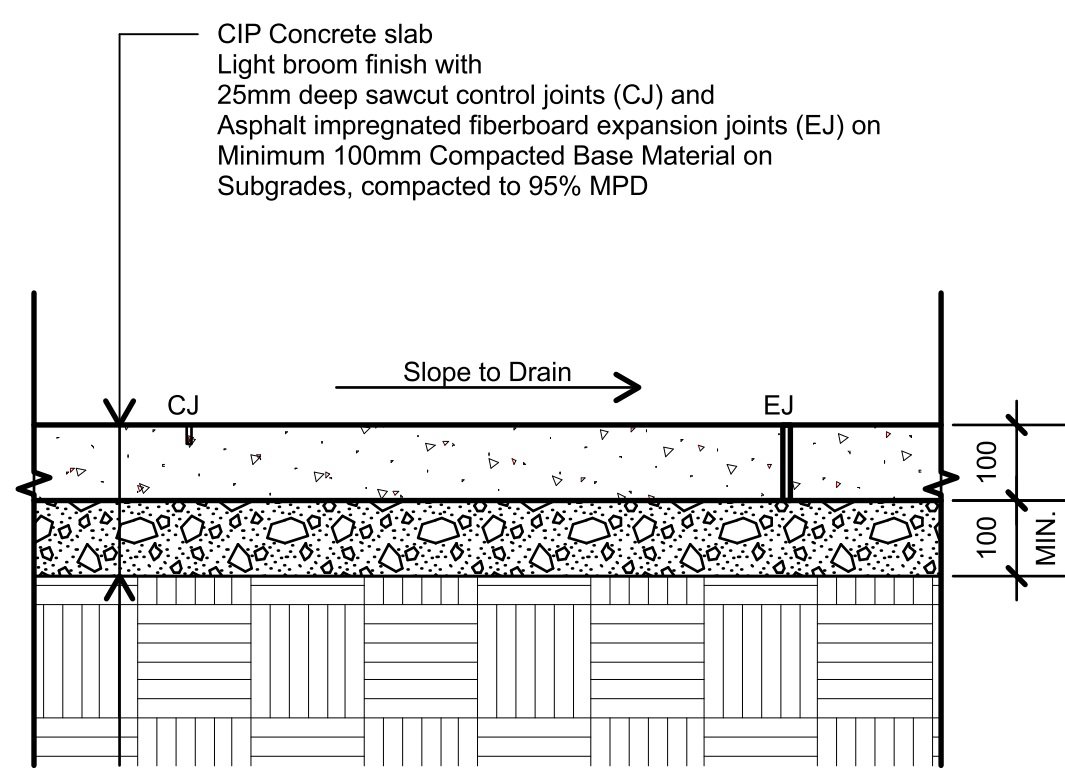
**2612, 2616, 2620, 2628
Richmond Road, Victoria**

Drawn by: KY
Checked by: SV
Date: 17 JUN 2026
Scale: 1:50
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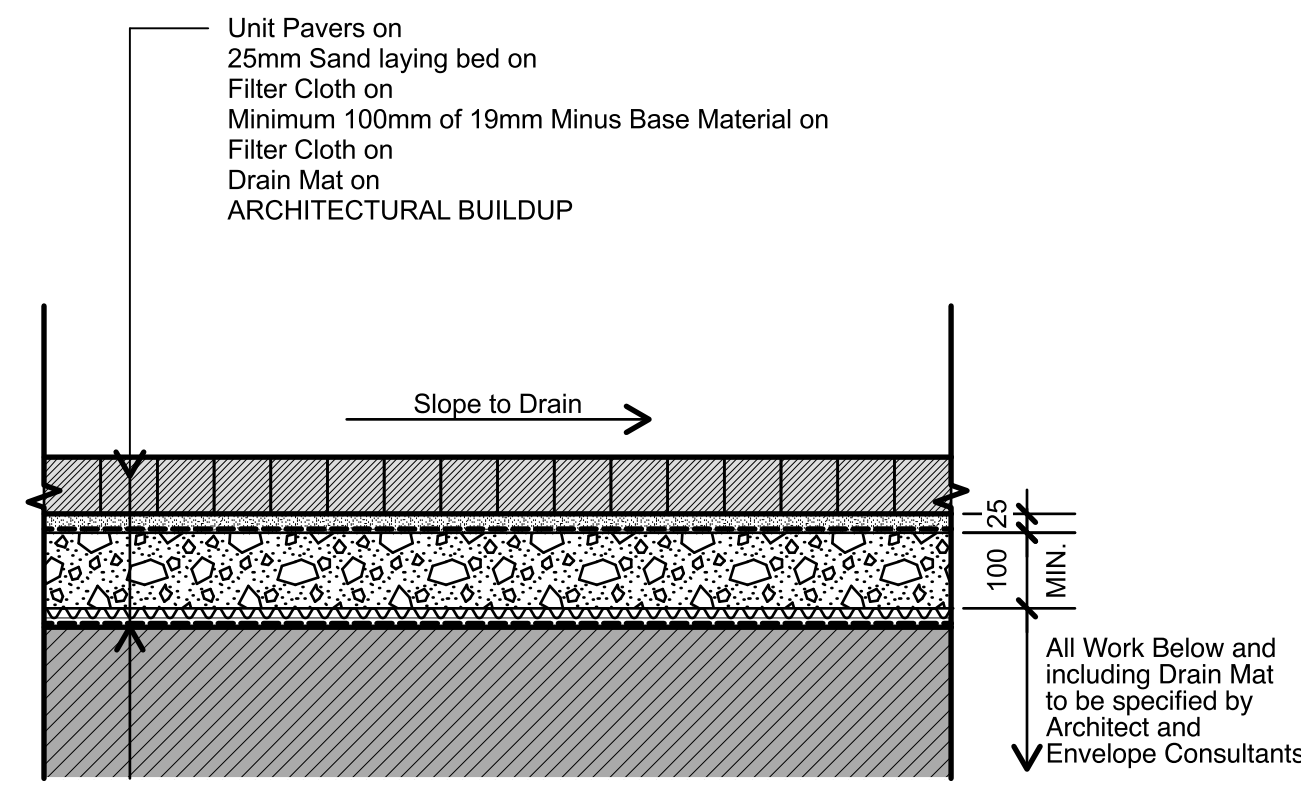
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Project No.:
25016
Sheet No.:

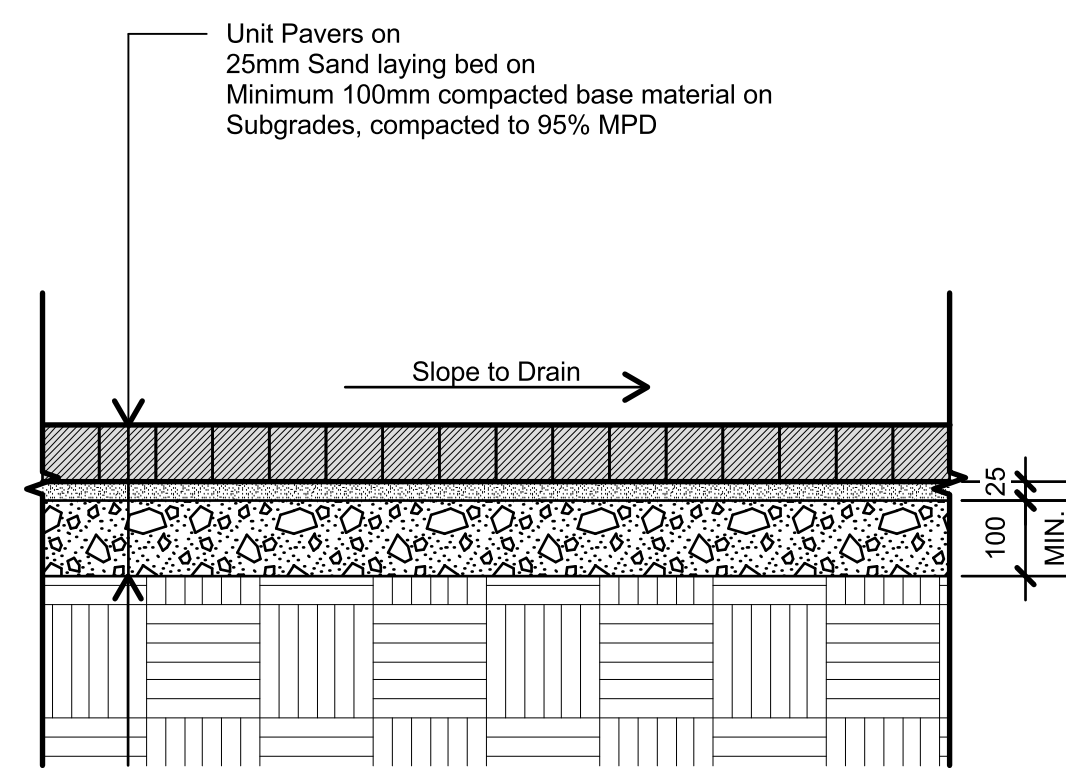
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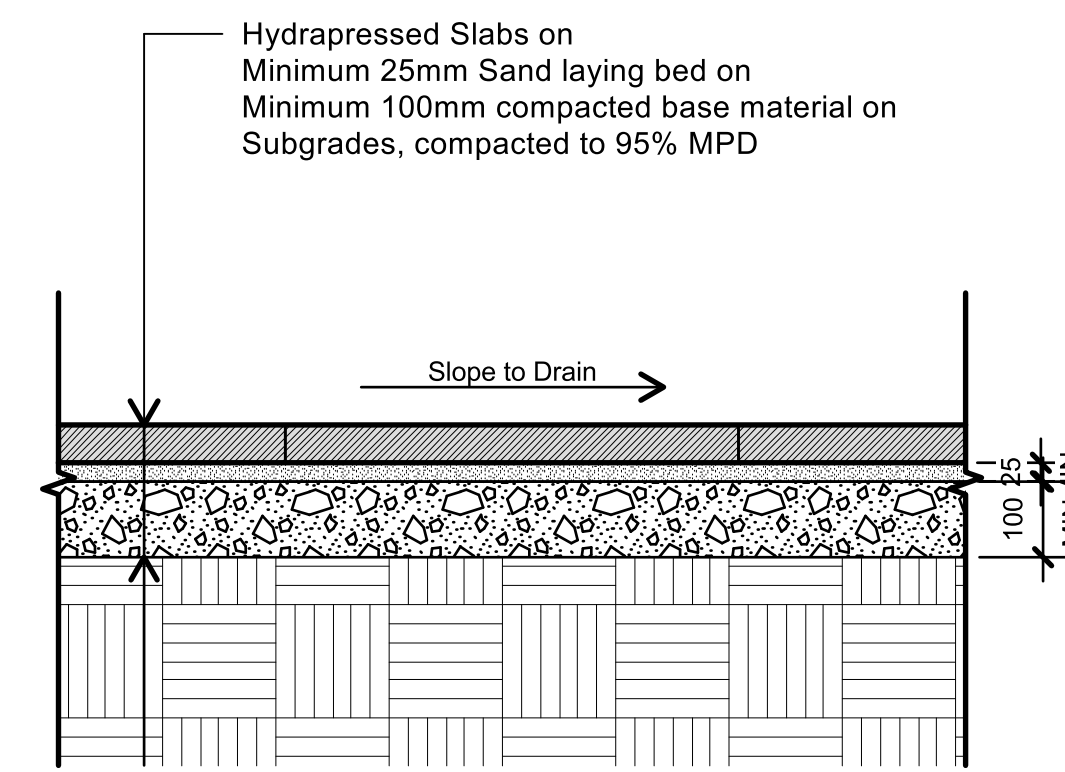
1 CIP CONCRETE - ON GRADE
L3.01 Scale = 1:10



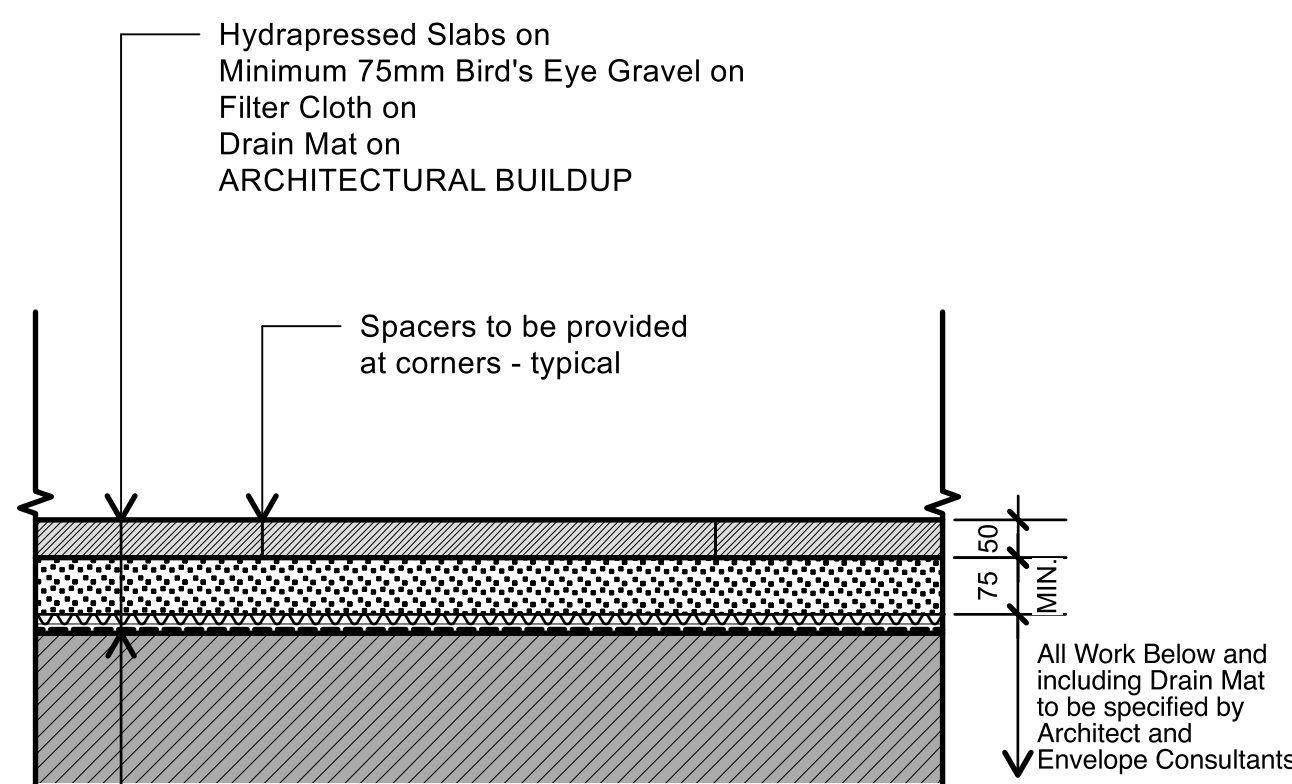
2 UNIT PAVERS - ON SLAB
3.01 Scale = 1:10



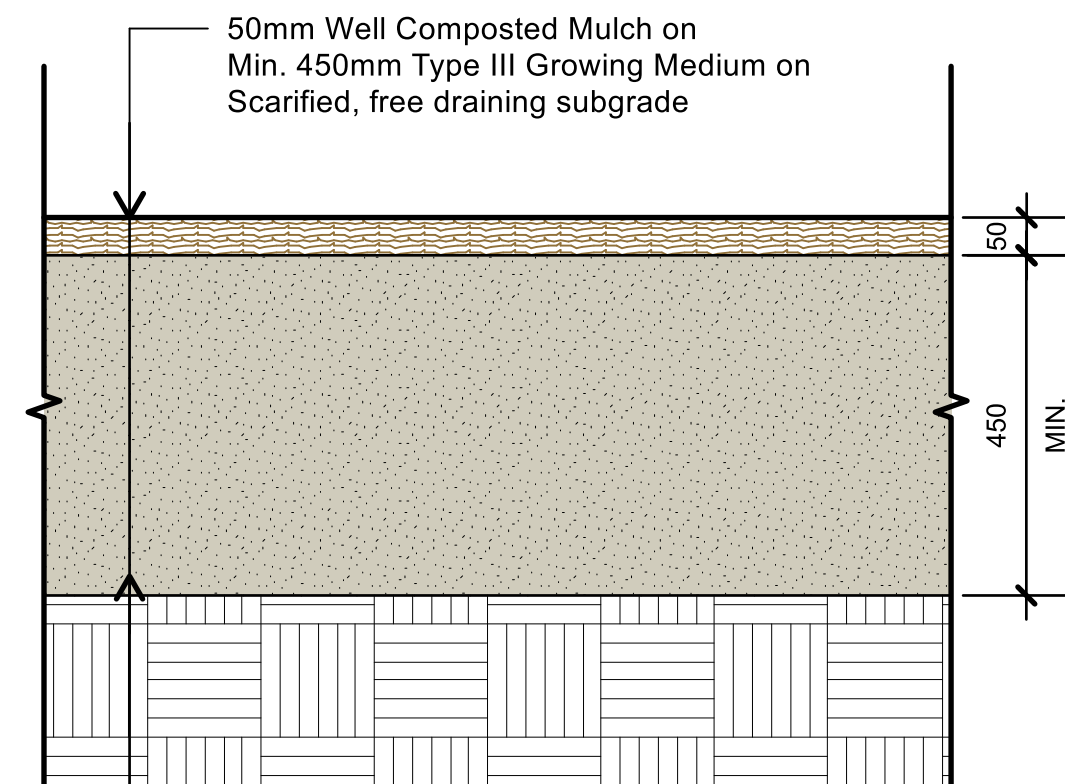
3 UNIT PAVERS - ON GRADE
3.01 Scale = 1:10



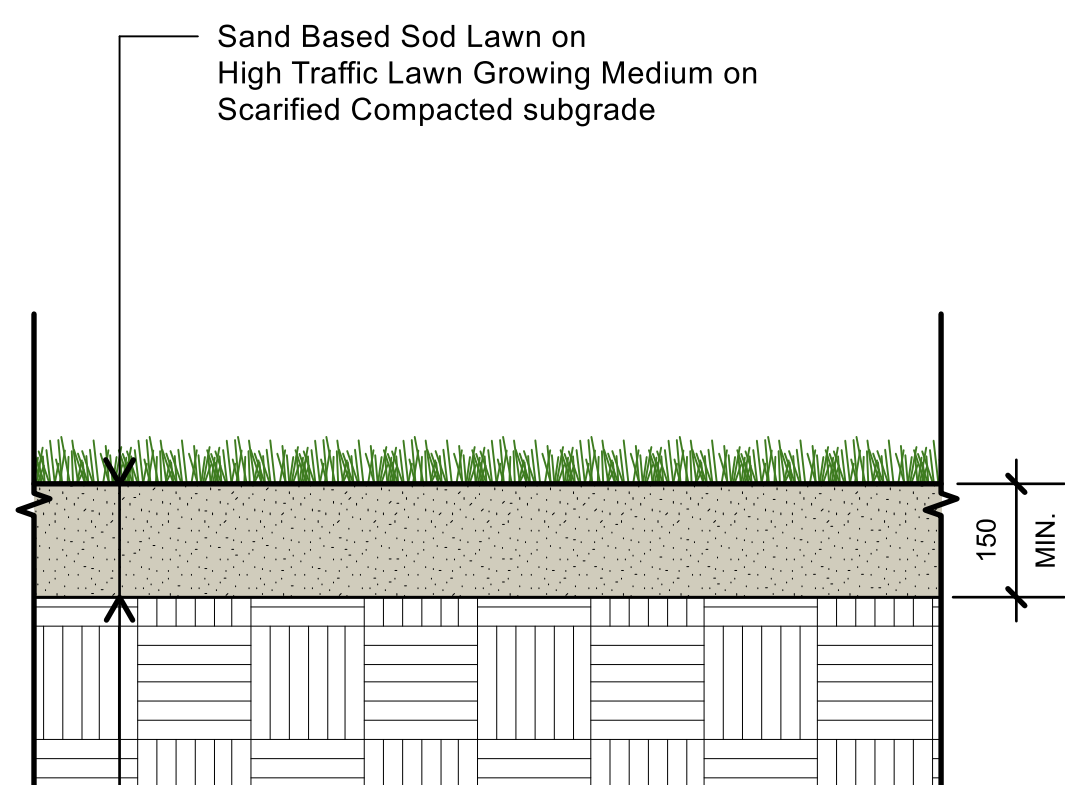
4 HYDROPPRESSED SLABS - ON GRADE
3.01 Scale = 1:10



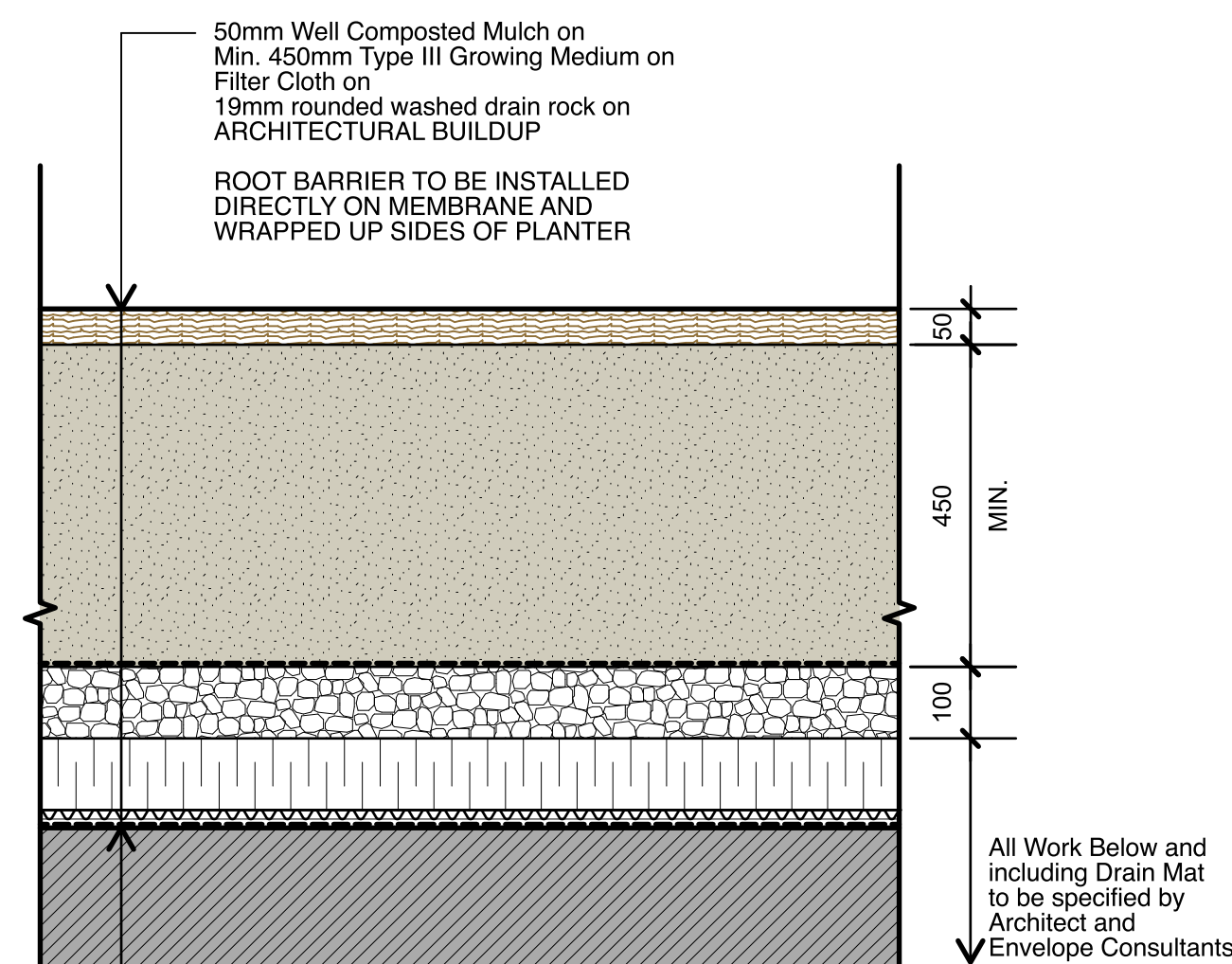
5 HYDROPPRESSED SLABS - ON SLAB
3.01 Scale = 1:10



6 PLANTING - ON GRADE
3.01 Scale = 1:10



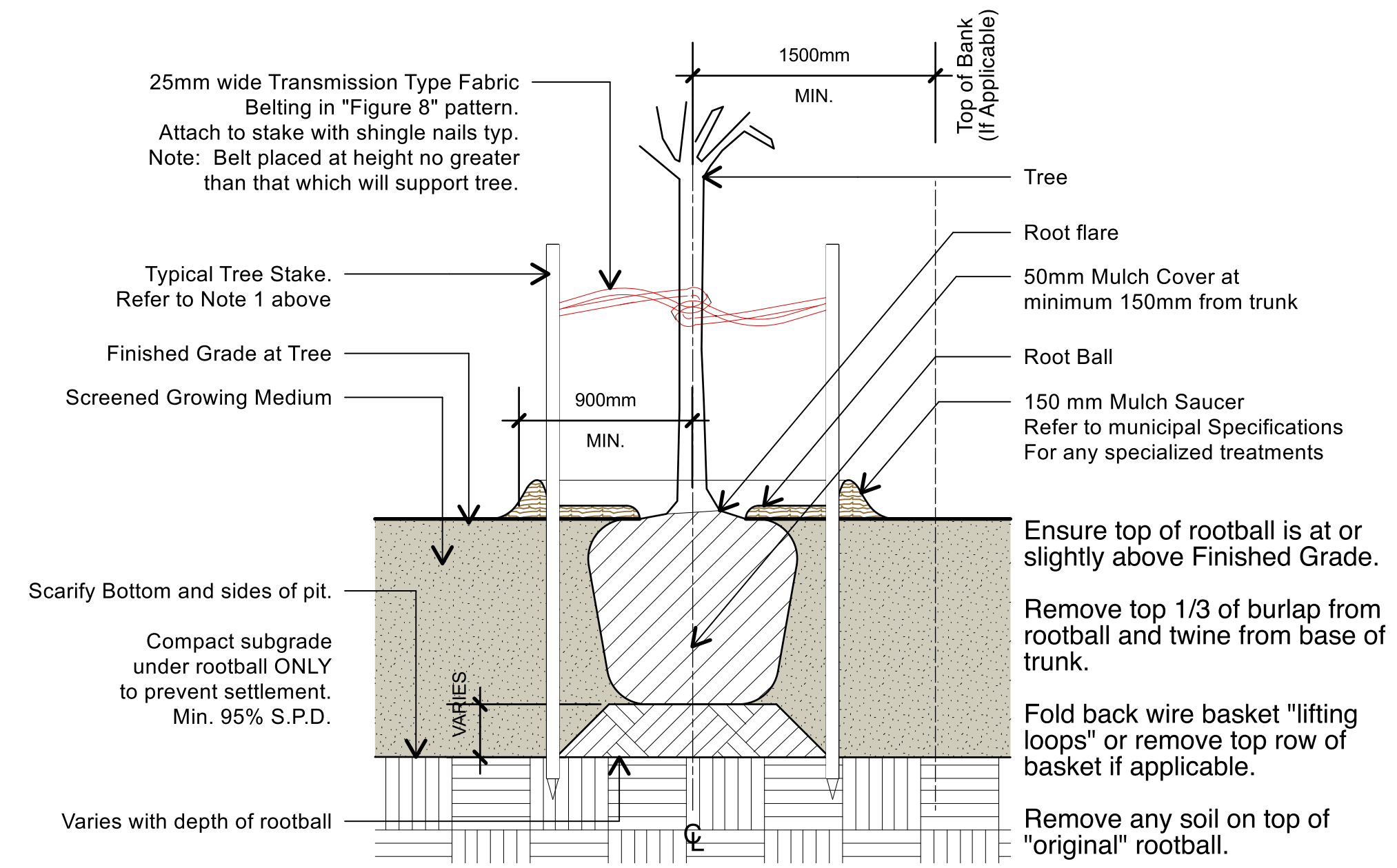
7 SOD LAWN - ON GRADE
L3.01 Scale = 1:10



8 PLANTING - ON SLAB
3.01 Scale = 1:10

TREE PLANTING NOTES

1. All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
2. Do not cut Tree Leader.
3. Ensure tree location does not conflict with Underground Services. "Call before digging".
4. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
5. Provide min. 5 cubic meters of growing medium per tree, unless otherwise stated.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



9 TYPICAL TREE PLANTING
3.01 Scale = 1:10

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DETAILS

Project No.:	25016
Sheet No.:	