

1691 chandler ave. 6 unit - houseplex development

Issued for development permit

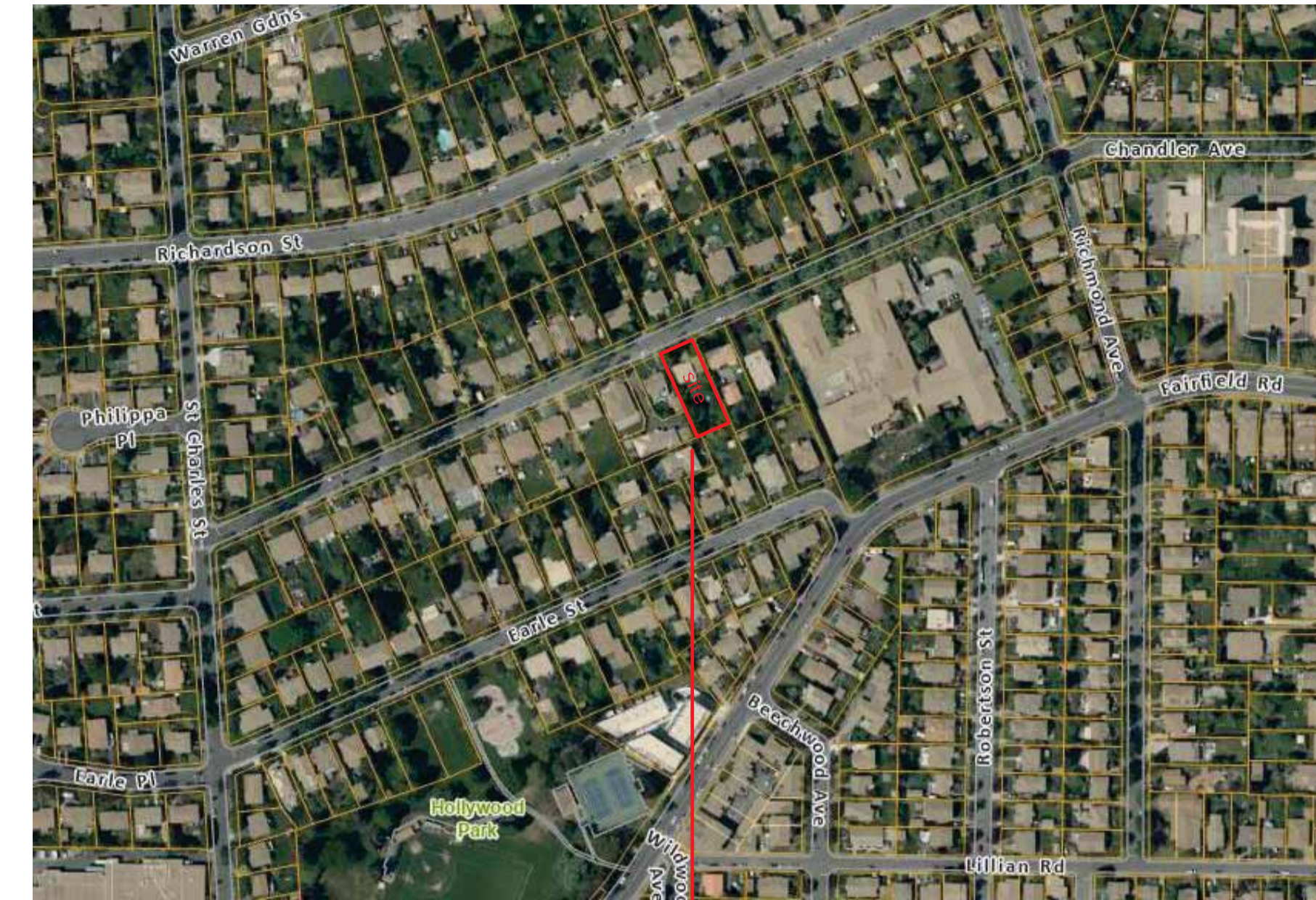
February 9th, 2026

Owner

Max Shepherdson
1950 Watkiss Way,
View Royal, BC V9B 0V6
T: 250-920-6973

Consultants

Building Designer gentlehomesco. 1007 Fort St 4th Floor, Victoria, BC V8V 3K4 T: 250-880-5991	Architect of Record Lalande + Doyle Architects Inc. 159 Holland Ave, Ottawa, ON K1Y 0Y2 T: 613-233-2900	Interior Designer Rothchild Design Planning west 251 Government Street Victoria, BC V8V 2L1 T: 778-535-5533	Landscape Biophilia Design Collective 2105 Straits View Road Saanichton, BC V8M 1T3 T: 250-216-3644	Civil Islander Engineering 623 Discovery Street Victoria, BC V8T 5G4 T: 250-590-1200	Energy Modeling Adapt Energy Advising 2740 Fifth St, Victoria, BC V8T 4B2 T: 250-516-0208
Structural Maverick BC 2009 Fernwood Rd C, Victoria, BC V8T 2Y8 T: 778-746-1224	Mechanical / Electrical Zoom Engineering 405 – 13761 96 Ave, Tower CC3, Surrey, BC, V3V 0E8 T: 604-593-1446	Geotech Ryzuk Geotechnical 100 – 771 Vernon Ave, Victoria, BC V8X 5A7 T: 250-475-3131	Arborist Capital Tree Service Inc. 7199 Lochside Dr, Victoria, BC V8M 1W4 T: 250-415-7244	Surveyor Wey Mayenburg Land Surveying 4 - 2227 James White Blvd, Sidney, BC V8L 1Z5 T: 250-656-5155	



Site location plan

1691 Chandler ave.

NTS

Drawing list

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Chandler Ave. Rendering

All work to comply with applicable City of Victoria bylaws, BC Building Code (2024), and all other authorities having jurisdiction.

Do not scale drawings. Use figured dimensions only. Contractor must verify all site dimensions and conditions prior to construction.

Discrepancies found between drawings, site conditions, or consultants' information must be reported to the designer prior to proceeding.

Drawings are to be read in conjunction with structural, mechanical, electrical, civil, and landscape consultant documents.

Contractor is responsible for the safe execution of all work on site and must comply with WorkSafeBC regulations.

Report any conflicts, errors, or omissions to the Construction Manager prior to commencing work.

All dimensions are in millimetres unless otherwise noted.

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1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision	Description	Date
01	Issued for Coordination	08.25.2025
02	Issued for Appraisal	12.04.2025
03	Issued for Dev. Permit	02.09.2026

Cover Page

not for construction

A-000

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Victoria BC, V8S 1W7

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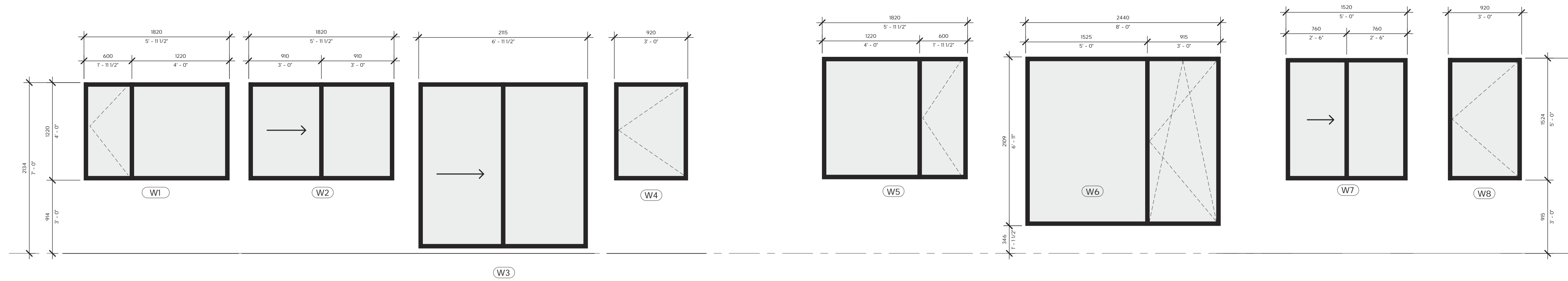
Project Gallery

not for construction

A-001

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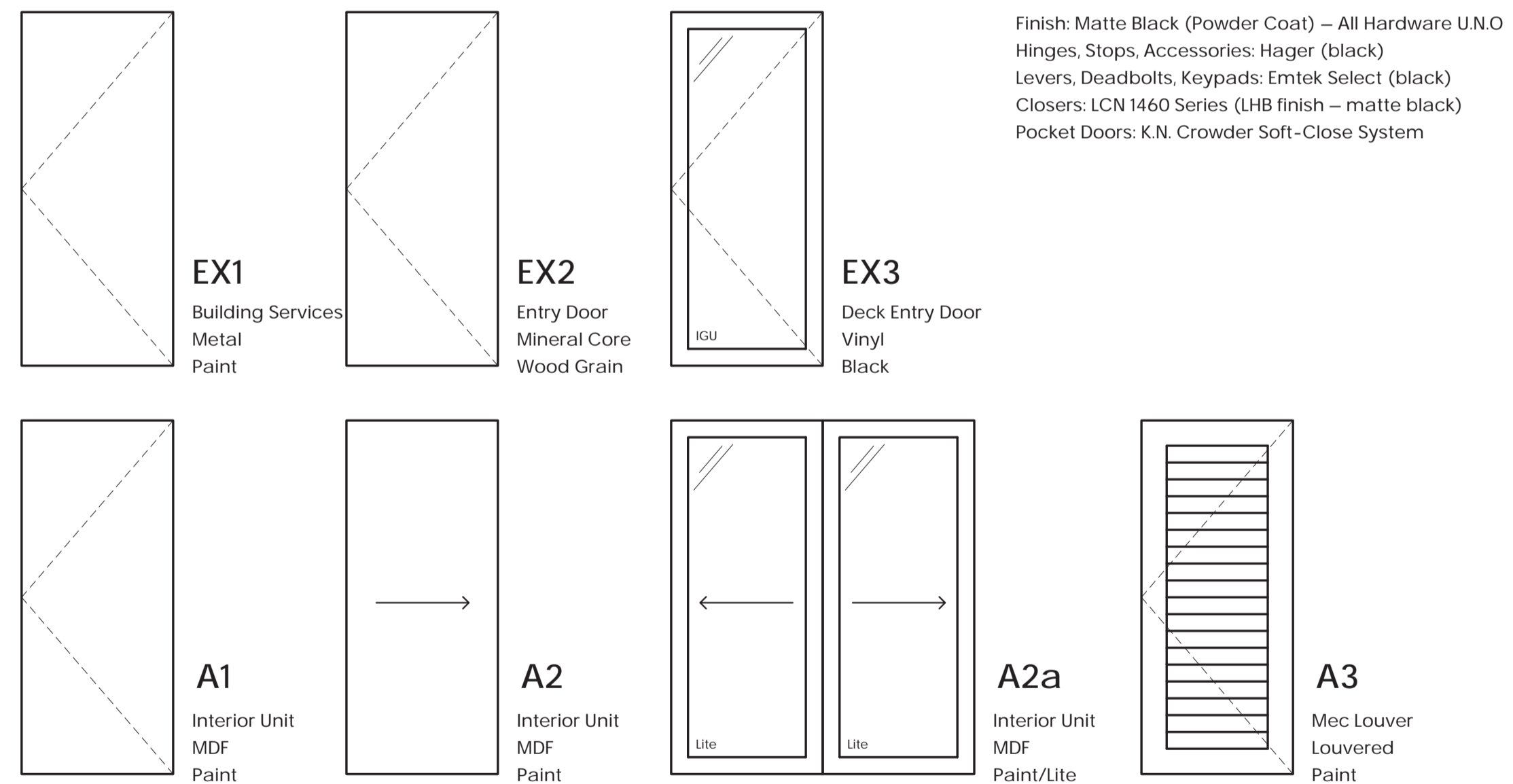
Designer



Window Schedule

NO.	MATERIAL	Finish	ROUGH OPENING		TYPE	QTY	NOTES
			Height	Width			
W1	Vinyl	Black	1220 (48")	1820 (71 5/8")	LP	4	Casements & Fixed
W2	Vinyl	Black	1220 (48")	1820 (71 5/8")	XO	2	Horizontal Sliders
W3	Vinyl	Black	2070 (81.5")	2115 (83 1/4")	XO, OX	4	Sliding Patio Door
W4	Vinyl	Black	1220 (48")	920 (36 1/4")	L	4	Casements
W5	Vinyl	Black	1520 (59 7/8")	1820 (71 5/8")	LP	12	Casements & Fixed
W6	Vinyl	Black	2440 (8')	2108 (83")	O	4	Fixed Direct Set
W7	Vinyl	Black	1520 (59 7/8")	1520 (59 7/8")	XO, OX	8	Horizontal Sliders
W8	Vinyl	Black	1520 (59 7/8")	920 (36 1/4")	L	6	Casements
W9	Vinyl	Black	1181 (46 1/2")	1181 (46 1/2")	5252	8	GL VCM Curb Mounted Skylight
W10	Vinyl	Black	927 (36 1/2")	927 (36 1/2")	4242	2	GL RAS Roof Access

NOTES



Hardware List

- | | | | |
|--|--|--|--|
| HW.01 - Bike Storage <ul style="list-style-type: none"> 4 Hager BB1199 Ball-Bearing Hinges Electric strike (fail-secure) Emtek passage lever Emtek privacy deadbolt, use indicator LCN 1460 closer, adjustable spring Do we want a Kickplate? Cylinder Floor Bumper Door Stops | HW.02 - Public WC <ul style="list-style-type: none"> 3 Hager BB1199 Hinges Emtek passage lever Emtek privacy deadbolt, use indicator Cylinder Floor Bumper Door Stops | HW.03 - Electrical Room <ul style="list-style-type: none"> 3 Hager BB1199 Hinges, black Emtek Select Lever, storeroom function LCN 1460 closer, adjustable spring Do we want a kickplate? Cylinder Floor Bumper Door Stops | HW.04 - Unit Entry <ul style="list-style-type: none"> 4 Hager BB1199 Hinges, black Emtek Keypad Deadbolt (e.g., Smart) Emtek passage lever Door Viewer, Flat black Air Tight Weather Strip LCN 1460 closer, adjustable spring Cylinder Floor Bumper Door Stops |
| HW.05 - Passage <ul style="list-style-type: none"> 3 Hager BB1199 Hinges, black Emtek Select Lever, passage function Cylinder Floor Bumper Door Stops | HW.06 - Privacy <ul style="list-style-type: none"> 3 Hager BB1199 Hinges, black Emtek Select Lever, privacy function, w. emergency release Cylinder Floor Bumper Door Stops | HW.07 - Balcony <ul style="list-style-type: none"> 3 Hager BB1199 Hinges Emtek single-cylinder deadbolt Emtek passage lever Cylinder Floor Bumper Door Stops | HW.08 - Sliding <ul style="list-style-type: none"> K.N. Crowder Type C-2X6 Flush pulls, black Privacy latch, black Edge pull (if privacy required) |

Door Schedule

DOOR NUMBER	DOOR TYPE	FROM	TO	Swing	FRAME		DOOR						Notes
					Material	Finish	Material	Finish	Height	Width	Fire Rating	Hardware	
D000	EX1	exterior	Bike Storage	RH	Metal	Paint	Metal	Paint	84"	42"	45min.	1	Insulated
D001	EX1	exterior	WC	RHR	Metal	Paint	Metal	Paint	84"	36"		2	Insulated
D002	EX1	exterior	Elec.	LHR RHR	Metal	Paint	Metal	Paint	72"	68"		3	Insulated
D003	EX1	exterior	SPRINKLER	LHR	Metal	Paint	Metal	Paint	84"	42"	45min.	3	Insulated
D004	EX1	exterior	DWS	RHR	Metal	Paint	Metal	Paint	84"	42"	45min.	3	Insulated
D100	EX2	exterior	Living Room	RH	Metal	Paint	White Oak	Clear	84"	36"	45min.	4	Comp. Mineral Core
D101	A2	Living Room	Bedroom 2	SL/SR	MDF	Paint	MDF	Paint/Lite	84"	64"		8	Glass
D102	A1	Living Room	Bedroom 1	RH	MDF	Paint	MDF	Paint	84"	34"		5	
D103	A1	Living Room	Washroom	RH	MDF	Paint	MDF	Paint	84"	34"		6	
D200	EX2	exterior	Entry	RH	Metal	Paint	White Oak	Clear	84"	36"	45min.	4	Comp. Mineral Core
D202	EX3	Dinning	exterior	LH	Vinyl	Black	Vinyl	Black/IGU	96"	36"		4	IGU
D203	A1	Living	Bedroom 2	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D204	A1	Living	Bathroom	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D205	A2a	Living	Bedroom 3	SL/SR	MDF	Paint	MDF	Paint	96"	64"		8	Lite
D206	A1	Living	Bedroom 1	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D207	A2a	Onsuite	Bedroom 1	SL/SR	MDF	Paint	MDF	Paint/Lite	96"	64"		8	Lite
D208	A2	Onsuite	Toilet	SR	MDF	Paint	MDF	Paint	96"	32"		8	
D209	A1	Laundry	Living	RH	MDF	Paint	MDF	Paint	96"	34"		5	
D210	A3	Laundry	Mec	LHR	MDF	Paint	MDF	Paint	96"	30"		5	
D300	EX2	exterior	Entry	LH	Metal	Paint	White Oak	Clear	84"	36"	45min.	4	Comp. Mineral Core
D302	EX3	Dinning	exterior	LH	Vinyl	Black	Vinyl	Black/IGU	96"	36"		4	IGU
D303	A1	Living	Bedroom 2	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D304	A1	Living	Bathroom	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D305	A2a	Living	Bedroom 3	SL/SR	MDF	Paint	MDF	Paint/Lite	96"	64"		8	Lite
D306	A1	Living	Bedroom 1	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D307	A2a	OnSuite	Bedroom 1	SL/SR	MDF	Paint	MDF	Paint/Lite	96"	64"		8	Lite
D308	A2	OnSuite	Toilet	SR	MDF	Paint	MDF	Paint	96"	32"		8	
D309	A1	Laundry	Living	RH	MDF	Paint	MDF	Paint	96"	34"		5	
D310	A3	Laundry	Mec	LHR	MDF	Paint	MDF	Paint	96"	30"		5	
D400	EX2	exterior	Entry	RH	Metal	Paint	White Oak	Clear	84"	36"	45min.	4	Comp. Mineral Core
D402	EX3	Dinning	exterior	RH	Vinyl	Paint	Vinyl	Black/IGU	96"	36"		4	IGU
D403	A1	Bedroom 2	Living	RH	MDF	Paint	MDF	Paint	96"	34"		5	
D404	A1	Living	Bathroom	RH	MDF	Paint	MDF	Paint	96"	34"		5	
D405	A2a	Bedroom 3	Living	SL/SR	MDF	Paint	MDF	Paint/Lite	96"	64"		8	Lite
D406	A1	Bedroom 1	Living	RH	MDF	Paint	MDF	Paint	96"	34"		5	
D407	A2a	Bedroom 1	OnSuite	SL/SR	MDF	Paint	MDF	Paint/Lite	96"	64"		8	Lite
D408	A2	OnSuite	Toilet	SL	MDF	Paint	MDF	Paint	96"	32"		8	
D409	A1	Living	Laundry	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D410	A3	Laundry	Mec	LHR	MDF	Paint	MDF	Paint	96"	30"		5	
D500	EX2	exterior	Entry	LH	Metal	Paint	White Oak	Clear	84"	36"	45min.	4	Comp. Mineral Core
D502	EX3	Dinning	exterior	RH	Vinyl	Black	Vinyl	Black/IGU	96"	36"		4	IGU
D503	A1	Bedroom 2	Living	RH	MDF	Paint	MDF	Paint	96"	34"		5	
D504	A1	Bathroom	Living	RH	MDF	Clear	MDF	Paint	96"	34"		5	
D505	A2a	Bedroom 3	Living	SL/SR	MDF	Clear	MDF	Paint/Lite	96"	64"		8	Lite
D506	A1	Bedroom 1	Living	RH	MDF	Clear	MDF	Paint	96"	34"		5	
D507	A2a	Bedroom 1	OnSuite	SL/SR	MDF	Clear	MDF	Paint/Lite	96"	64"		8	Lite
D508	A2	OnSuite	Toilet	SR	MDF	Clear	MDF	Paint	96"	32"		8	
D509	A1	Living	Laundry	LH	MDF	Paint	MDF	Paint	96"	34"		5	
D510	A3	Laundry	Mec	LHR	MDF	Paint	MDF	Paint	96"	30"		5	
D600	EX2	exterior	Living	LH	Metal	Paint	White Oak	Clear	84"	36"	45min.	4	Comp. Mineral Core
D601	A2	Living	Bedroom 2	SL/SR	MDF	Paint	MDF	Paint/Lite	84"	64"		8	Glass
D602	A1	Living	Bedroom 1	LH	MDF	Paint	MDF	Paint	84"	34"		5	
D603	A1	Living	Washroom	LH	MDF	Paint	MDF	Paint	84"	34"		6	

Verify all rough openings on site prior to fabrication.

Supply and install per BC Building Code and manufacturer instructions.

Windows: Double-glazed, Low-E, argon-filled, thermally broken. Comply with CSA A440. Include insect screens at operable units. Install with air barrier, flashing, and insulation continuity. Provide safety glazing per BCBC 9.6.1.3. Ensure egress sizing where required.

Doors: Exterior doors to be insulated, weather-stripped, and suitable for exterior use. Safety glazing required in door glazing and sidelights as per code.

Coordinate with structure for headers and framing

Hardware and finish by owner/architect. Confirm accessible hardware where applicable.

1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision	Description	Date
02	Issued for Approval	12.04.2025
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Windows & Doors Schedules

not for construction

A-010

As indicated

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**BC Land Surveyor's Site Plan Of:
The East 1/2 of Lot 29, Section 68,
Victoria District, Plan 290.
P.I.D. 009-209-590**

Civic Address: 1691 Chandler Avenue

Dated this 10th day of February, 2025.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from OCM 10-124.

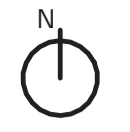
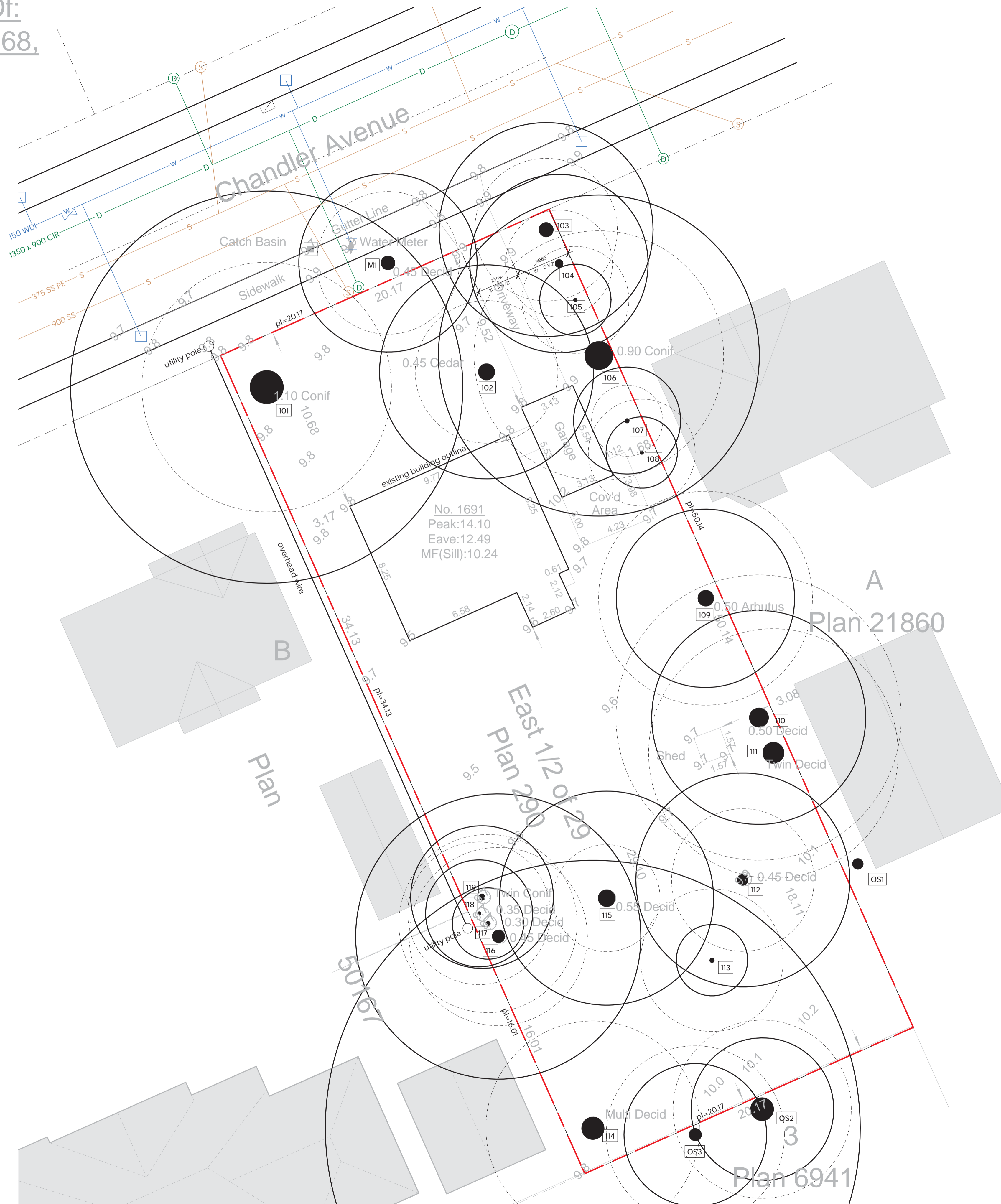
This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 250029\Sit\LE



Property lines, dimensions, and orientation to be verified on site prior to design or construction.

Existing topography based on survey by [Surveyor Name], dated [Survey Date].

All existing trees, structures, and utility locations shown are based on available records and site observation. Confirm exact location and condition on site.

Existing driveways, walkways, and service connections to be removed, relocated, or protected as noted. (Refer to Civil)

Refer to arborist report and civil plans for tree protection and grading information.

All existing easements and rights-of-way to be confirmed by legal survey.

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Victoria BC, V8S 1W7

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Existing Site Plan

not for construction

A-100

1:125

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Project Information Table

Legal Address:
THE EAST 1/2 OF LOT 29, SECTION 68, VICTORIA, PLAN 290

Civic Address:
1691 Chandler Ave Victoria V8S 1N7

Existing OCP:
Legal type - Land
Zoning - GRD-1 (RIA): General Residential District (Residential Infill Area)
Heritage - No
Development permits area - DPA 1 / TDPA 1 - GENERAL URBAN DESIGN / TENANT PROTECTION

Redevelop in accordance w. Zoning Bylaw 2018

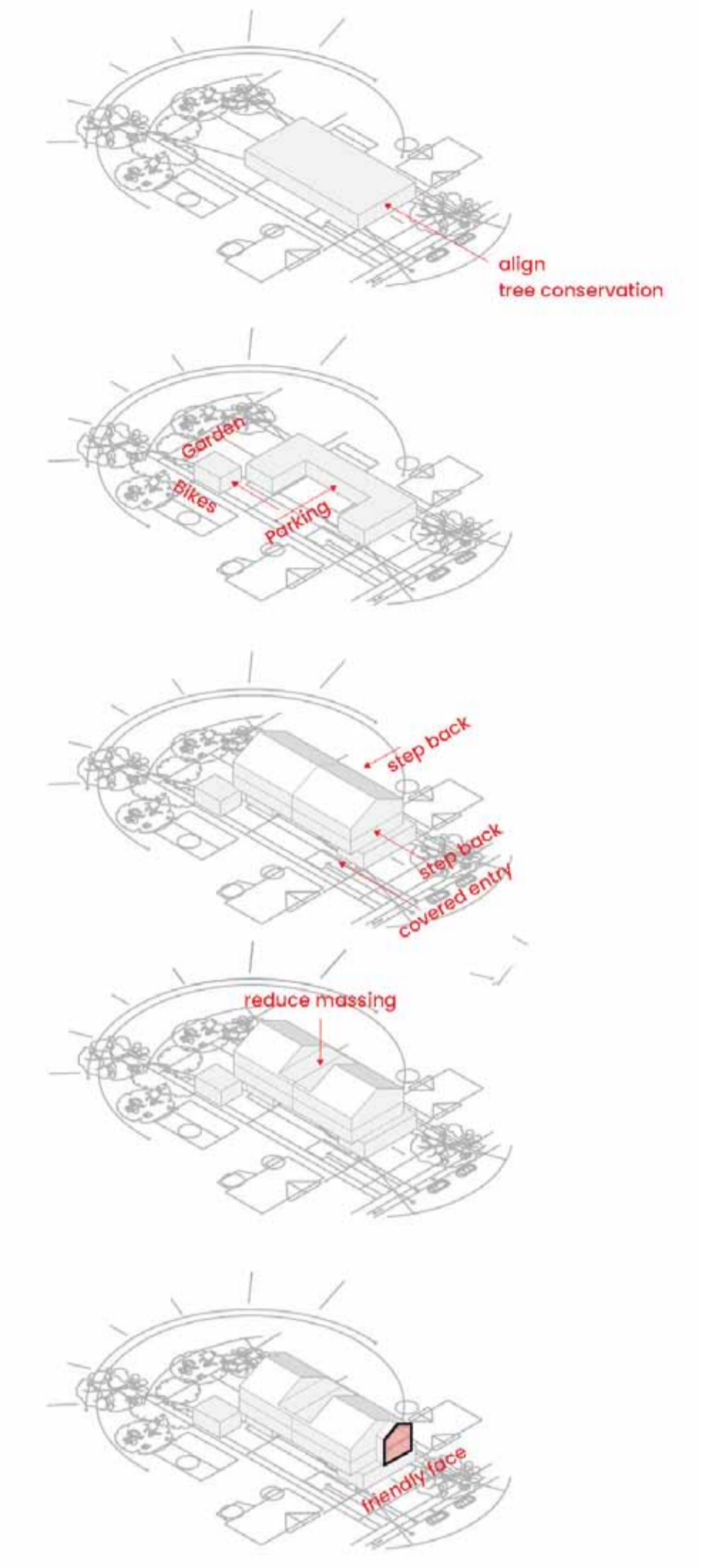
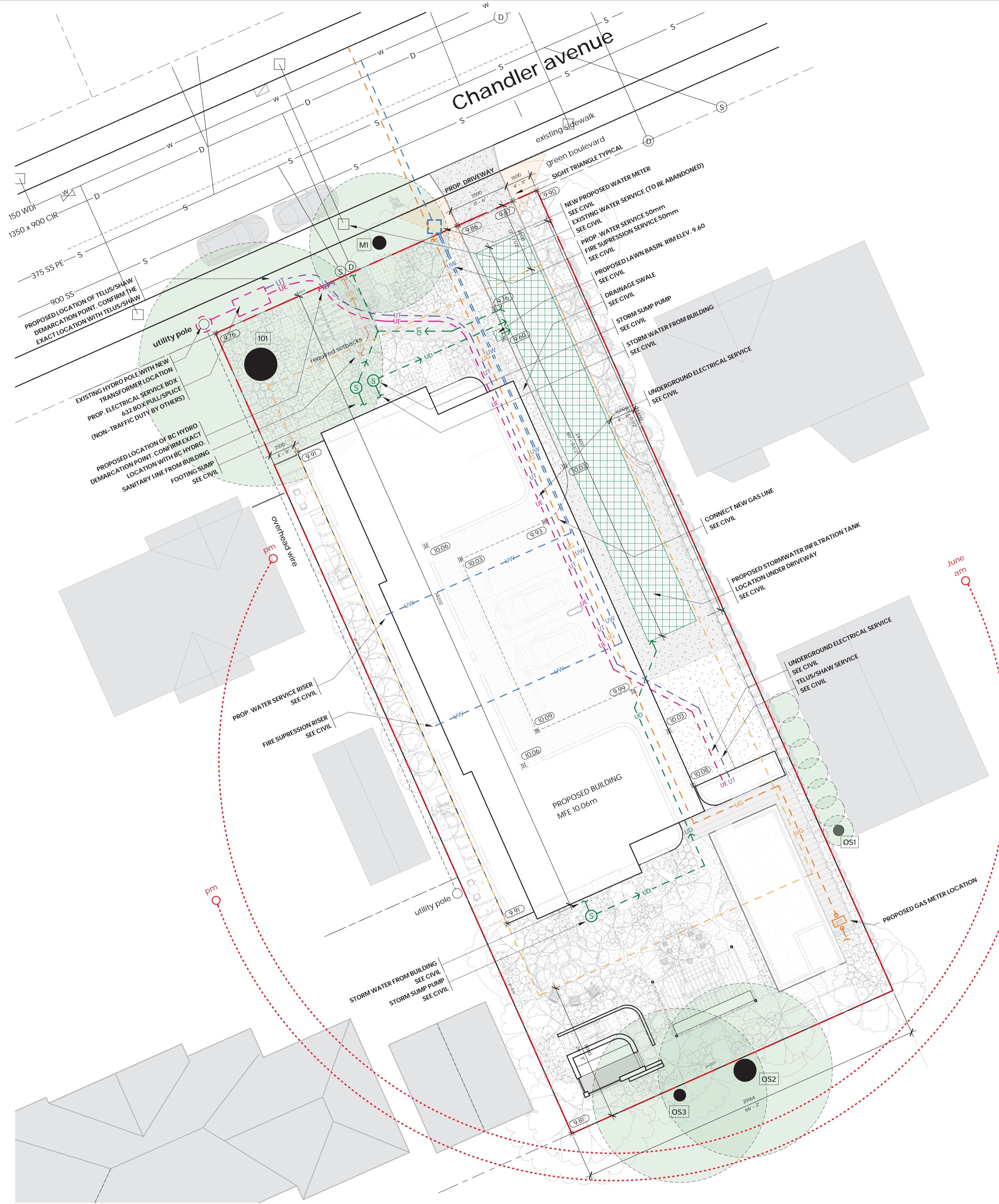
Description	Proposed	Required/Existing	Comments
Site Area (m2)		1011.14m2	
Houseplex Regulations			
Lot Area	1011.14m2	460m2 (min.)	
Lot Width	20.17m	14m (min.)	
Lot Depth	50.14m		
Flat Roof height	9.27m	11m	
Sloped Roof height	11.18m	12m	
3 bed units	4	2 (min)	
Setbacks (m)			
Main Building			
Front	7.5m	4m	
Side (E)	1.5m	1.5m	
Side (W Lower)	1.5m	4m	Variance Required
Side (W Upper)	3m	4m	Variance Required
Rear	12.5m	8m	
Floor Area			
Main + 2nd + 3rd	762m2		
Floor area Ratio (max)	0.76 : 1	1.6 : 1	
Site Coverage			
Lot coverage (max)	43.9%	45%	
Open Site Space (min.)	41%	30%	
Landscape Area (min.)	105m2	101.11m2	10% of lot area min.
Acc. Building			
Side	0.6m	0.6m	
Rear	0.6m	0.6m	
Height	2.6m	3.5m	

Parking per part 5 - Table 1
0.77 stalls per dwelling unit

Description	Proposed	Required/Existing	Comments
parking minimum	6	5	
Accessible Parking	0	0	
Van Acc. Parking	0	0	
Ev. Chagers	6	1 per space	

Bicycle Parking per part 5

Description	Proposed	Required/Existing	Comments
Long Term	12	6	1 per unit
Oversized long term	2	1.8	15%
Electric long term	6	6	50%
Repair Station	Yes	No	<6 units
Short Term	6	6	



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Site Plan

not for construction

A-101

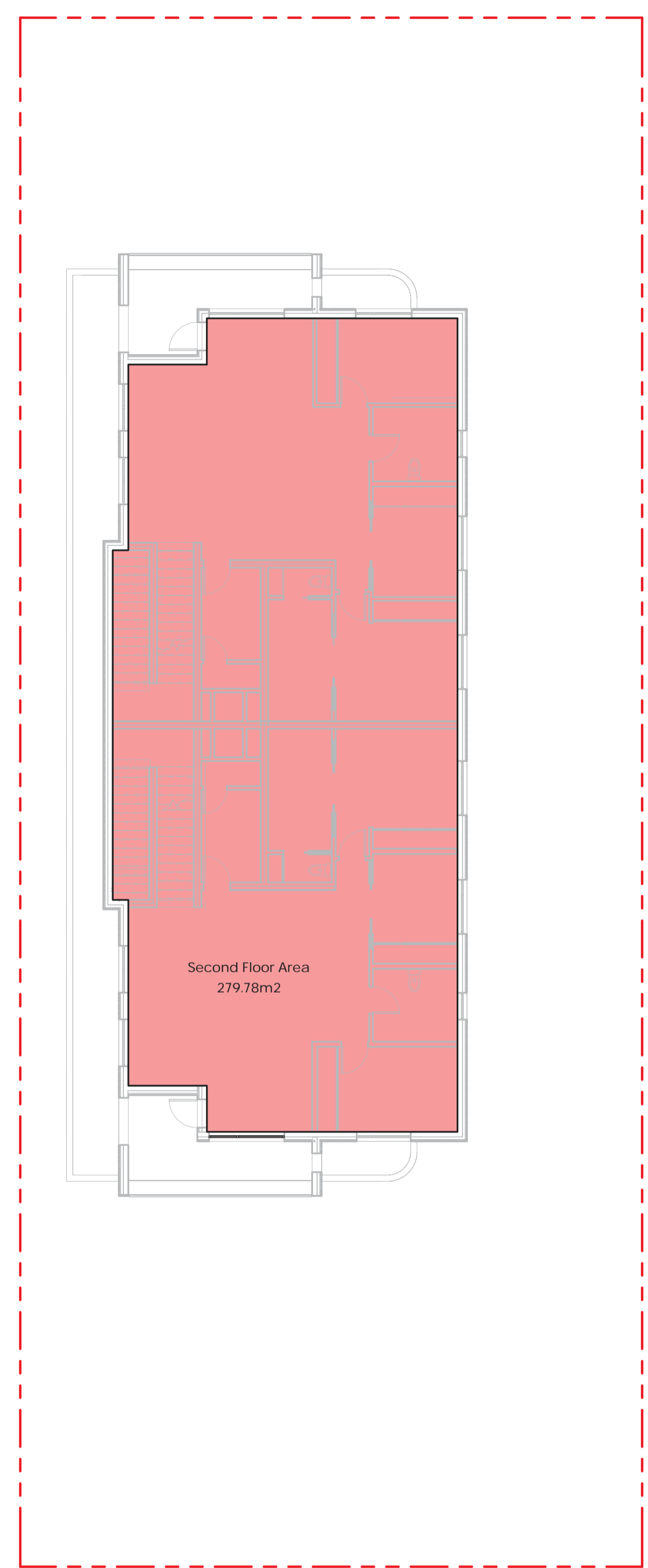
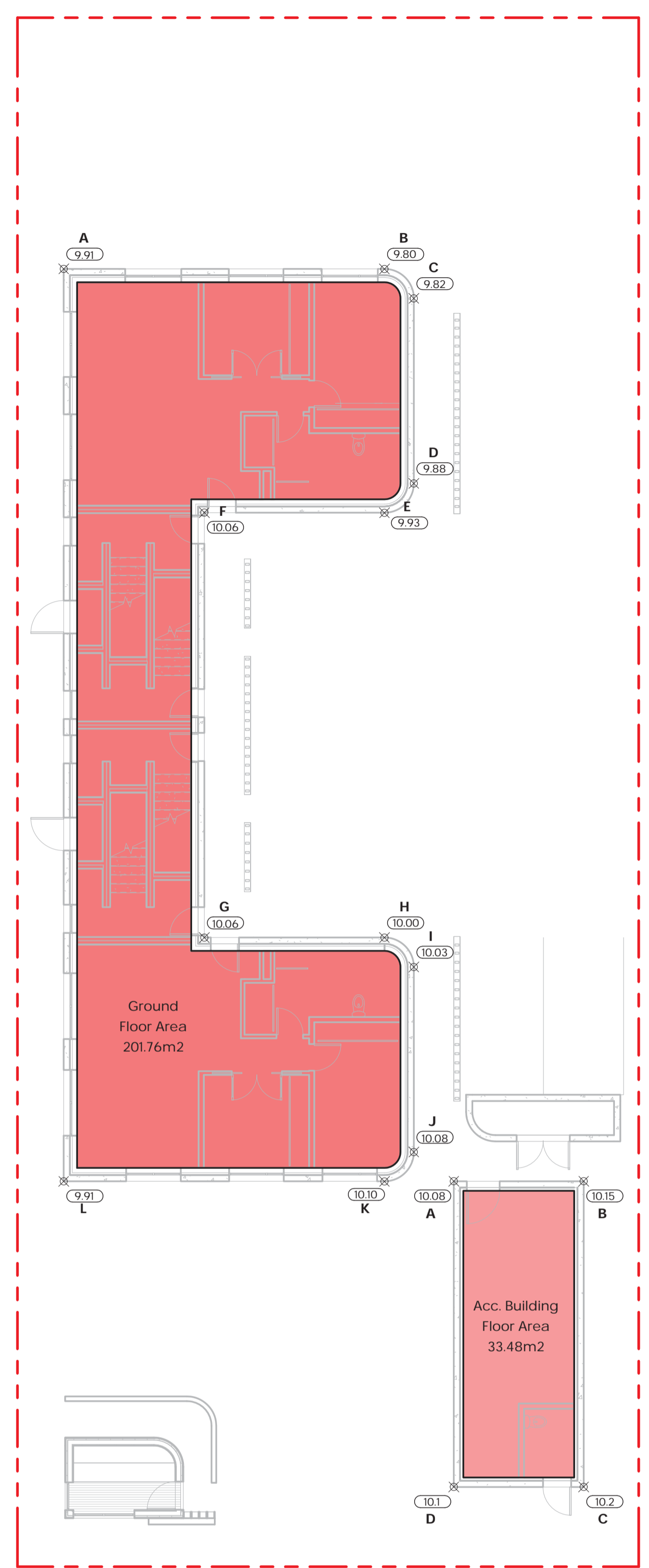
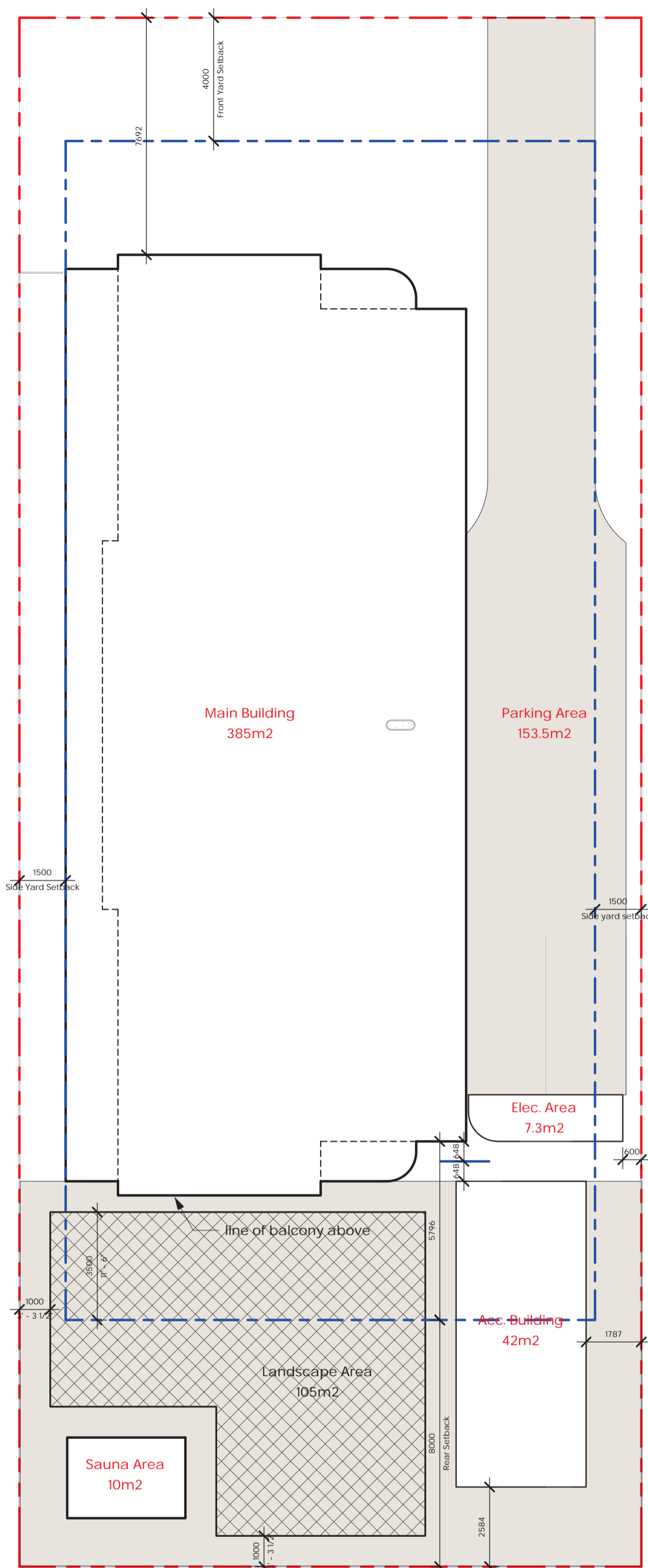
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notes



1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision 03
Description Issued for Dev. Permit
Date 02.09.2026

Site Data

not for construction

Open Site Space	Area
Main Building	385m2 +
Acc. Building (Bike Storage)	42m2 +
Parking Area	153.5m2 +
Electrical Area	7.3m2 +
Sauna Area	10m2 =
Total	597.8m2
Lot size	1011.14m2 -
Building + Parking	597.8m2
Open Site Space	413.34m2
Proposed	41%
Required	30% Min.

Lot Coverage	Area
Main Building	385m2 +
Acc. Building (Bike Storage)	42m2 +
Electrical Area	7.3m2 +
Sauna Area	10m2 =
Total	444.3m2
Lot size	1011.14m2
Proposed	43.9%
Required	45% Max.

Floor Space Ratio	Area
Ground Floor	202m2 +
Second Floor	280m2 +
Third Floor	280m2 +
Acc. Building (Bike Storage)	42m2 +
Electrical Area	7.3m2 +
Sauna Area	10m2 +
Total	821.3m2 =
Lot size	1011.14m2
Proposed	0.81:1
Required	1.6:1

Average Grade Calculation MAIN BUILDING

	Avg. of PTS	Distance	Total
A + B	9.86 x	10.41 m	102.64
B + C	9.81 x	1.49 m	14.62
C + D	9.85 x	6.00 m	59.10
D + E	9.91 x	1.49 m	14.77
E + F	10.00 x	5.85 m	58.50
F + G	10.06 x	13.78 m	138.63
G + H	10.03 x	5.85 m	58.68
H + I	10.15 x	1.49 m	15.12
I + J	10.05 x	6.00 m	60.30
J + K	10.09 x	1.49 m	15.03
K + L	10.00 x	10.41 m	104.10
L + A	10.91 x	29.60 m	322.94
Total		95.96 m	964.43

Total Average Grade (Total/Total distance) = 10.06m

Average Grade Calculation - Accessory Building

	Avg. of PTS	Distance	Total
A + B	10.12 x	4.21 m	42.60
B + C	10.17 x	9.92 m	100.89
C + D	10.15 x	4.21 m	42.73
D + A	10.09 x	9.92 m	100.09
Total		28.26 m	286.31

Total Average Grade (Total/Total distance) = 10.13m

A-102

1 : 125

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Designer

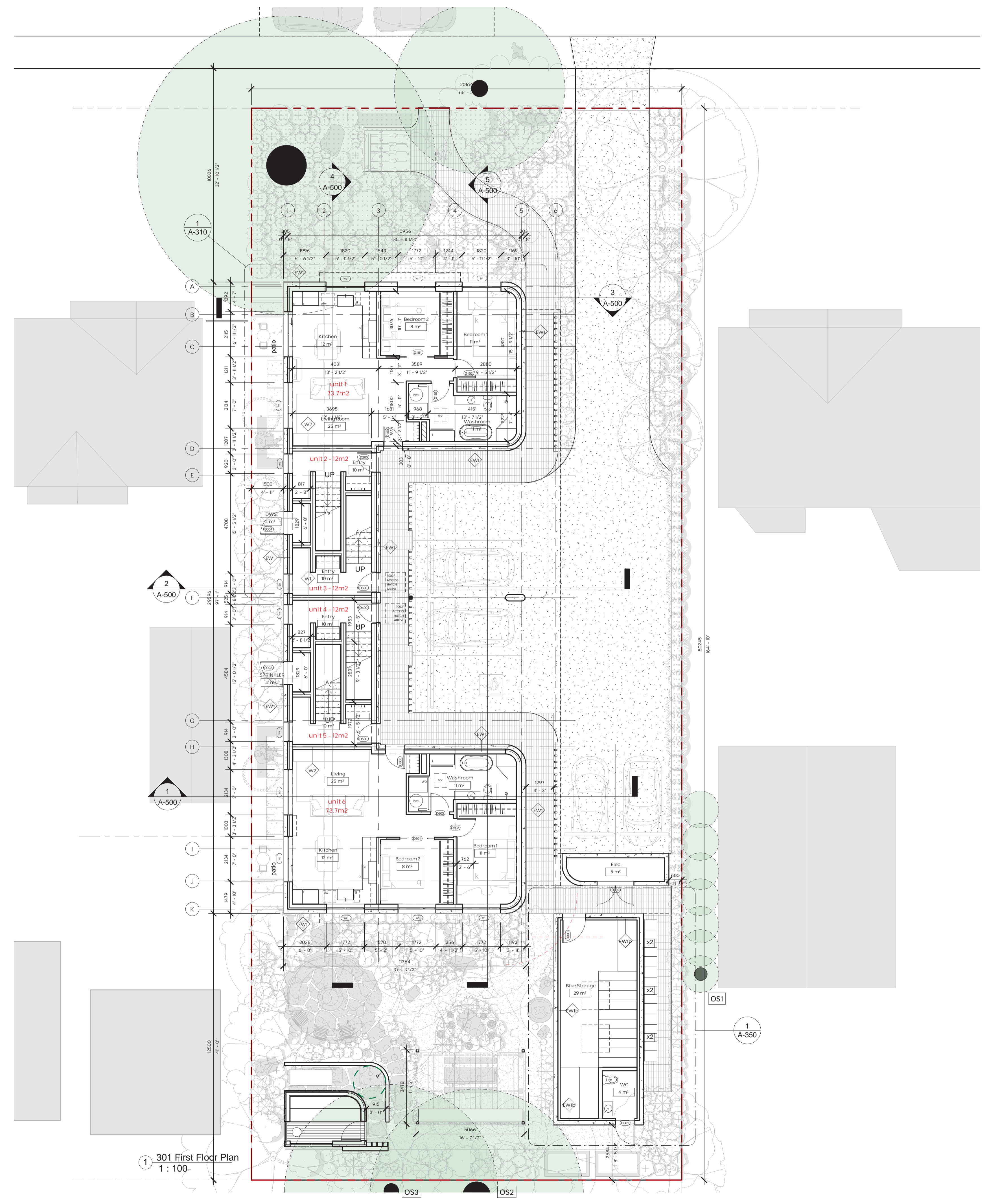
revisions

scale page

drawn



notes



1691 Chandler Ave.
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First Floor Plan

not for construction

A-301

1 : 100

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301 First Floor Plan
1 : 100

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revisions

scale page

drawn



notes

Do not scale drawings; written dimensions govern.

Verify all dimensions, levels, and site conditions prior to construction.

Wall types and fire ratings as indicated on wall legend.

Door and window sizes and types per schedules.

Refer to Structural drawings for beams, lintels, and shear walls.

Coordinate all openings with Mechanical, Electrical, and Plumbing drawings.

Coordinate wall locations, finishes, and built-ins with Interior Design drawings.

Maintain fire separations and acoustic ratings at demising walls and floor assemblies.

Provide required blocking for millwork handrails, and wall-mounted equipment.

Ensure accessibility clearances and exit widths comply with BCBC 2024.

Report all discrepancies and conflicts to Architect before proceeding.

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Second & Third Floor Plans

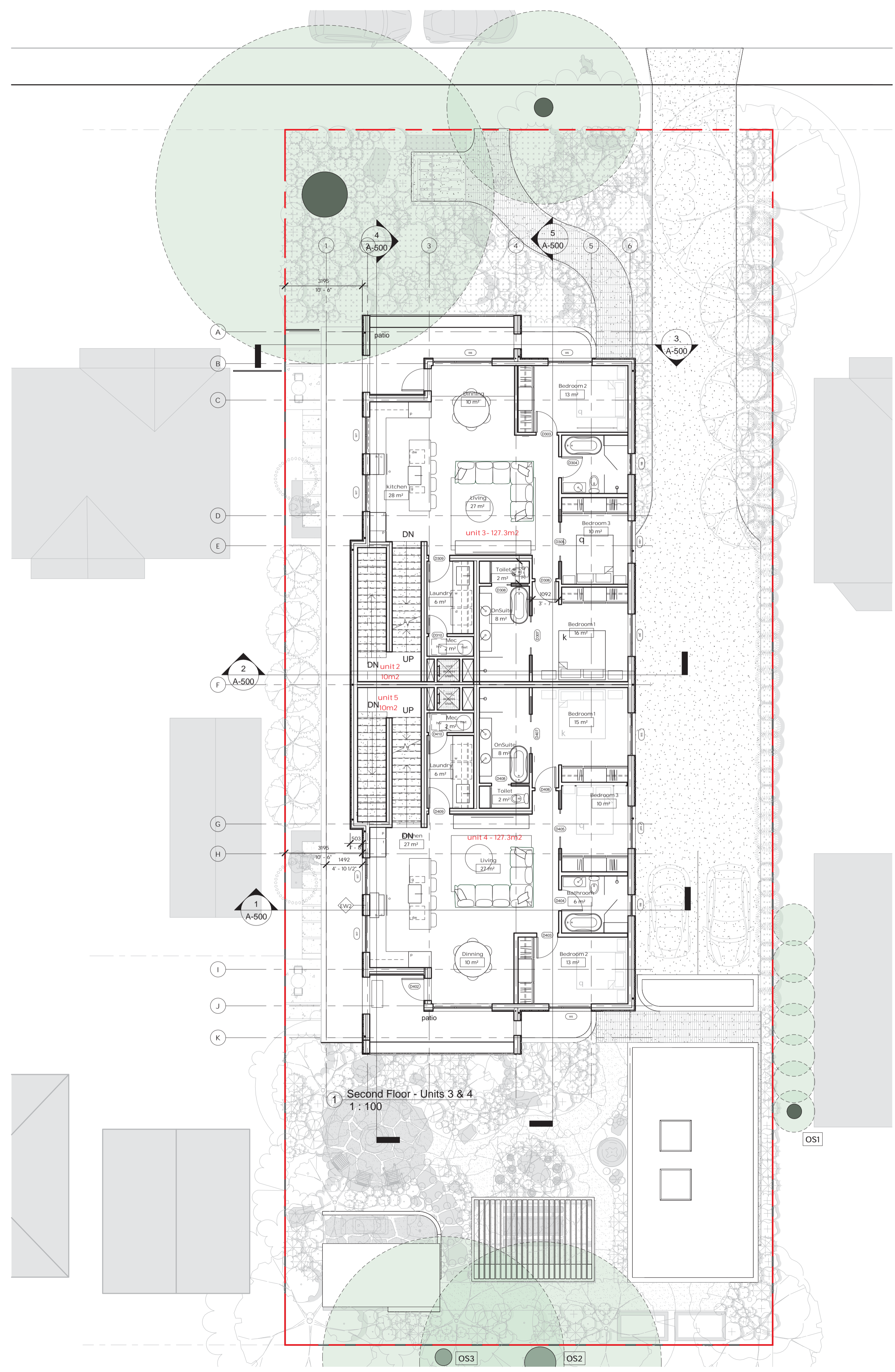
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A-302

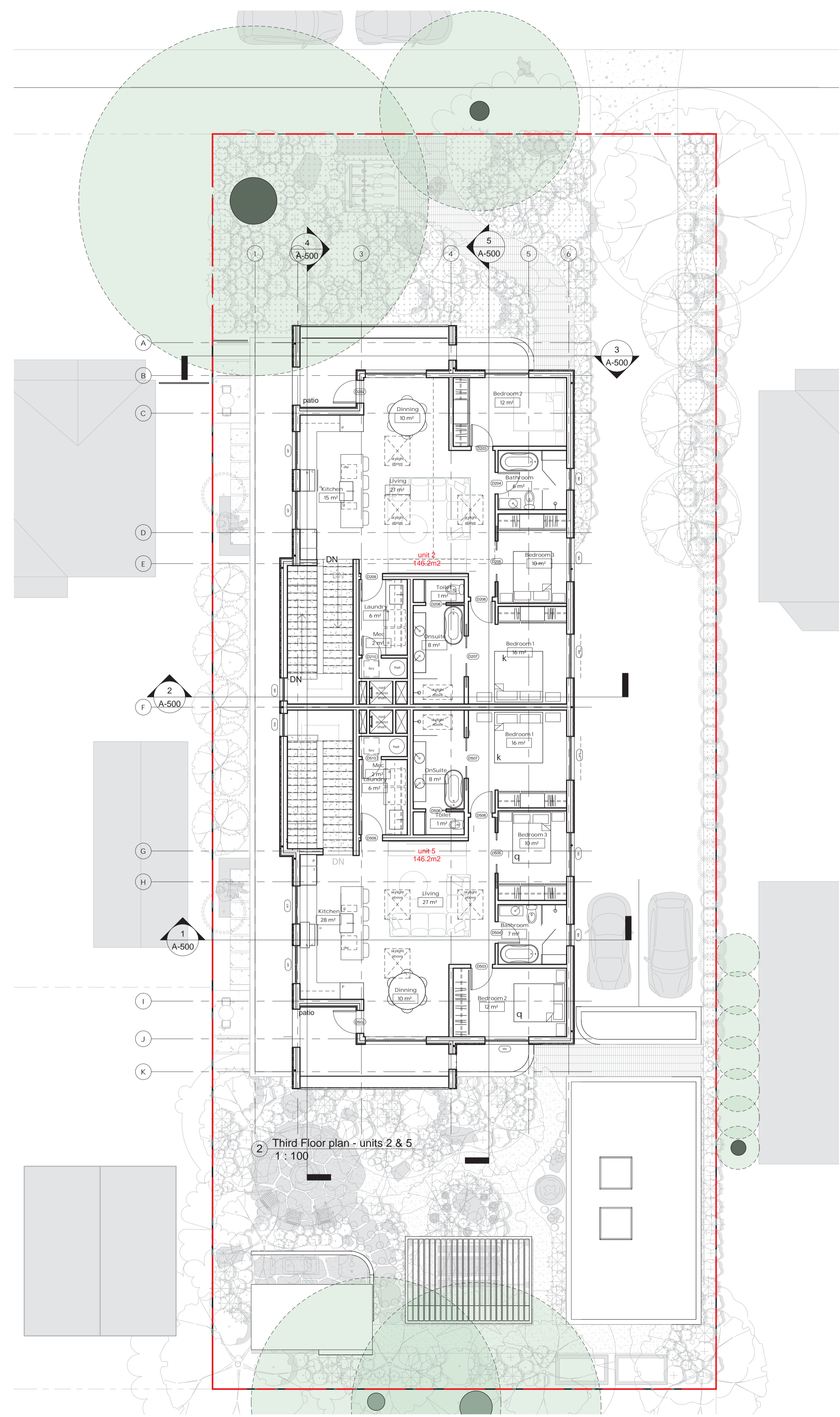
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1 Second Floor - Units 3 & 4
1:100

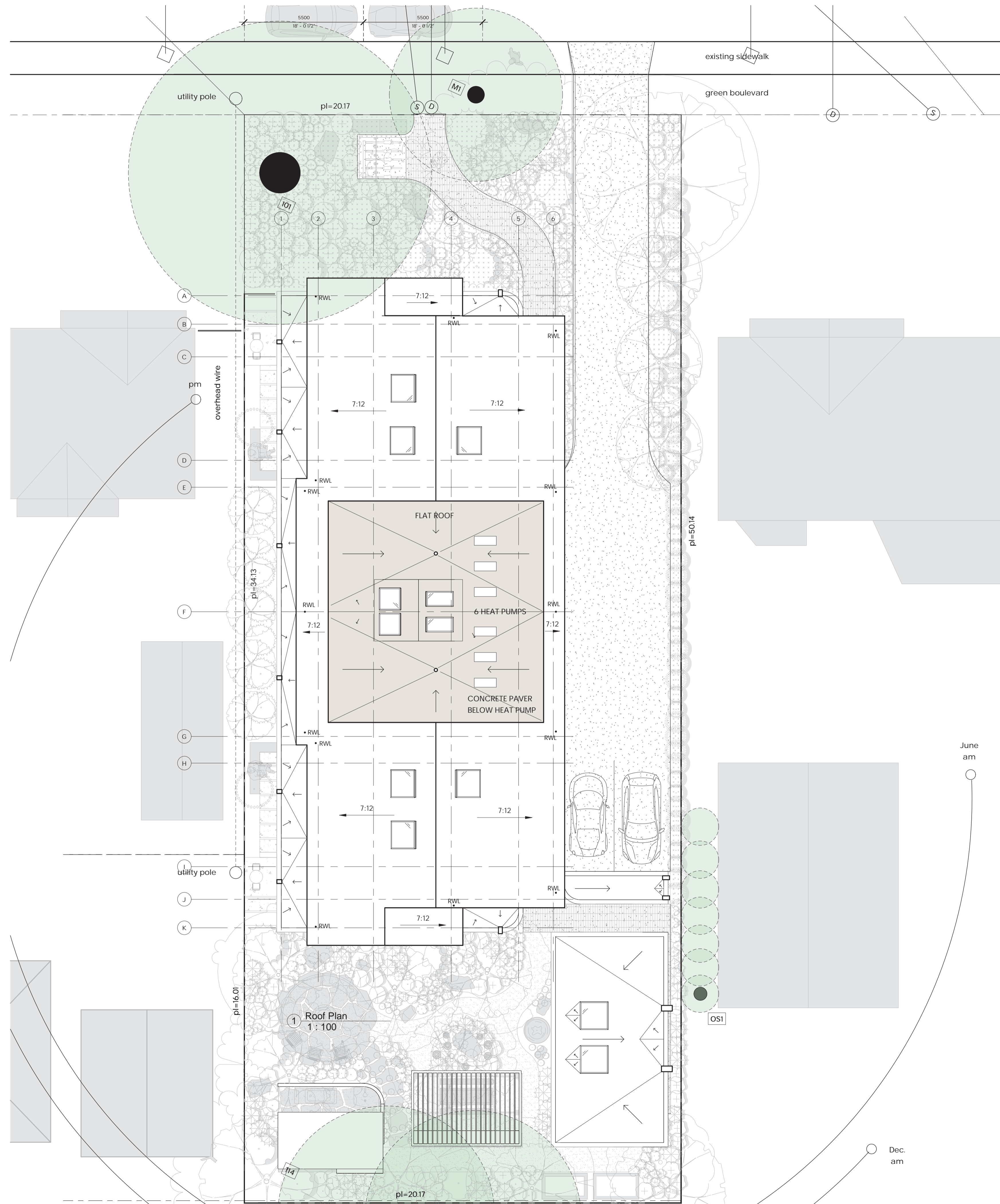


2 Third Floor plan - units 2 & 5
1:100

revisions

scale page

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notes

- Do not scale drawings; written dimensions govern.
- Verify all dimensions, slopes, and site conditions prior to construction.
- Roof slopes, drains, scuppers, and overflows per drawings; confirm locations with Civil/Plumbing.
- Coordinate roof structure, parapets, and openings with Structural drawings.
- Coordinate roof penetrations, curbs, and equipment with Mechanical, Electrical, and Plumbing drawings.
- Roof assemblies, insulation, vapour/air barriers, and membranes as specified; install per manufacturer's instructions.
- Maintain continuity of air, vapour, and thermal barriers at all transitions.
- Flashing, counter-flashing, and sealants per details and specifications.
- Verify clearances for HVAC, exhaust, and roof access with consultants.
- Report all discrepancies and conflicts to Architect before proceeding.

1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision	Description	Date
02	Issued for Appraisal	12.04.2025
03	Issued for Dev. Permit	02.09.2026

Roof Plan

not for construction

A-330

1:100

gentlehomes.

Jason Talbot

revisions

scale page

drawn

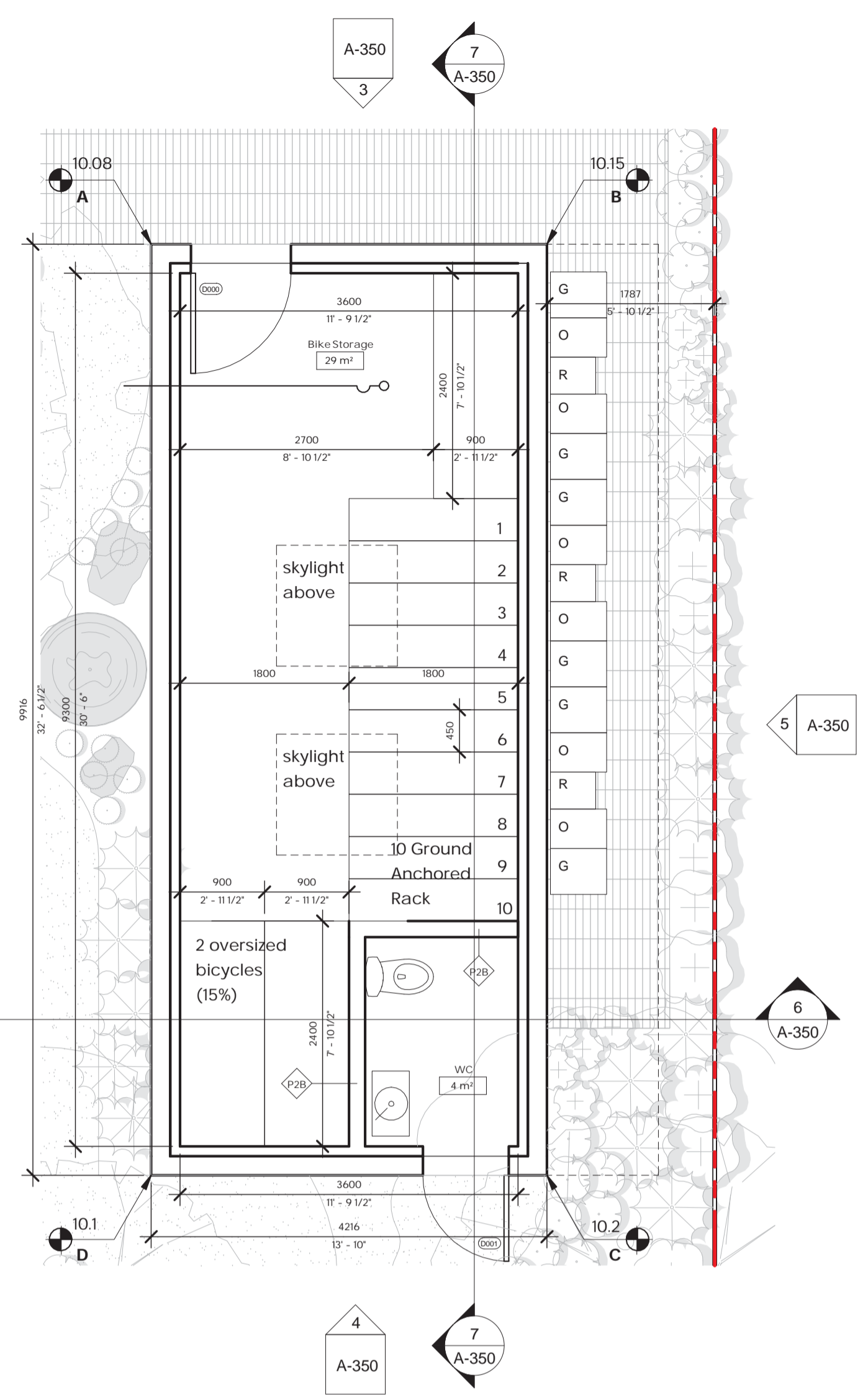


notes

revisions

page scale

drawn

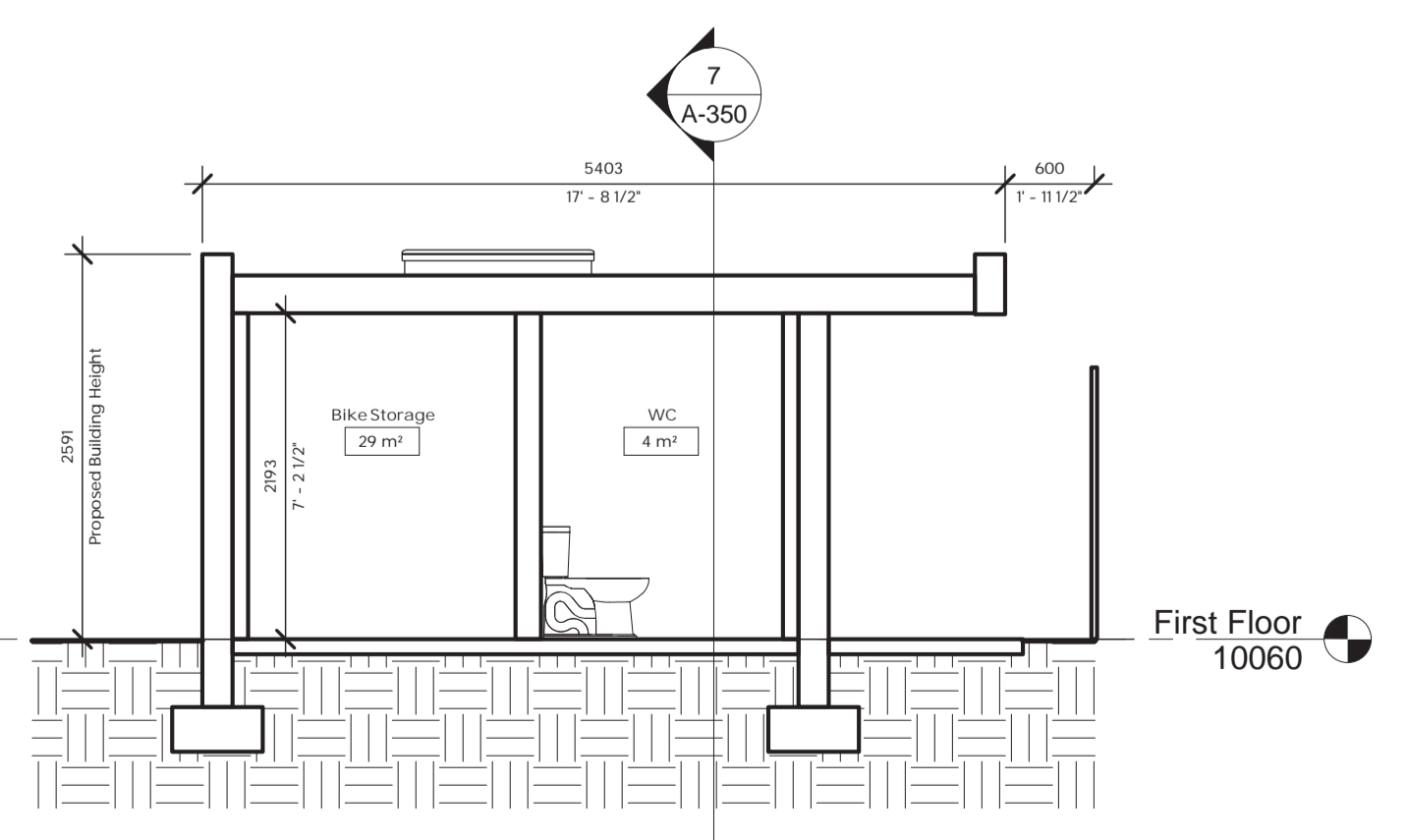


1 Bike Storage Acc. Building
1 : 50

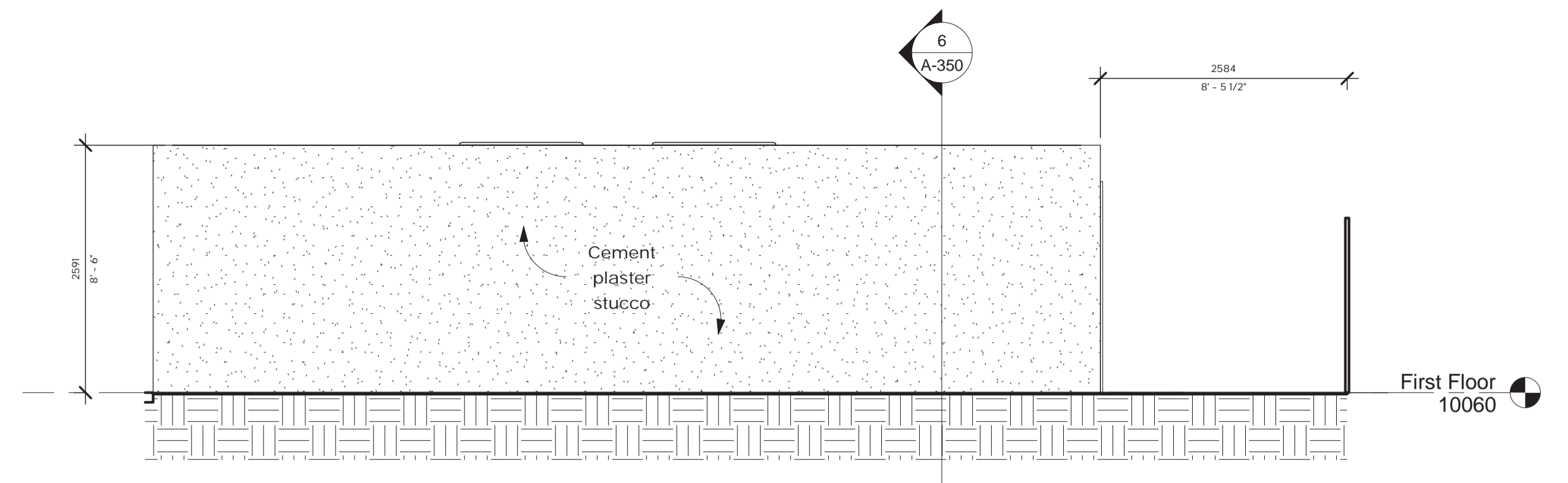
Average Grade Calculation - Accessory Building

	Avg. of PTS		Distance	Total
A + B	10.12	x	4.21 m	42.60
B + C	10.17	x	9.92 m	100.89
C + D	10.15	x	4.21 m	42.73
D + A	10.09	x	9.92 m	100.09
Total			28.26 m	286.31

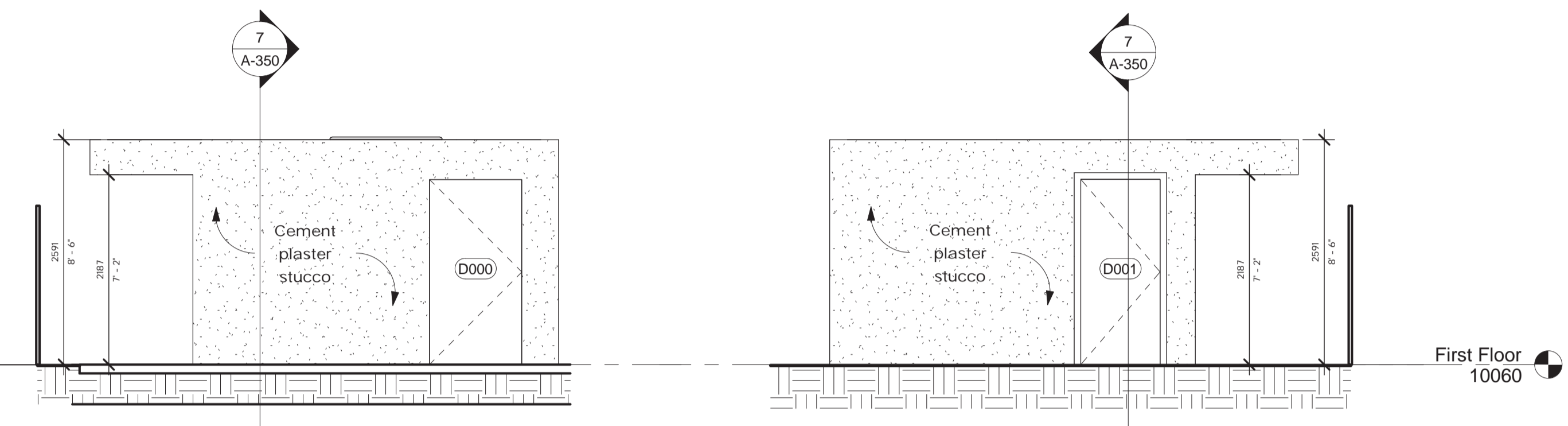
Total Average Grade (Total/Total distance) = 10.13m



6 Cross Section
1 : 50

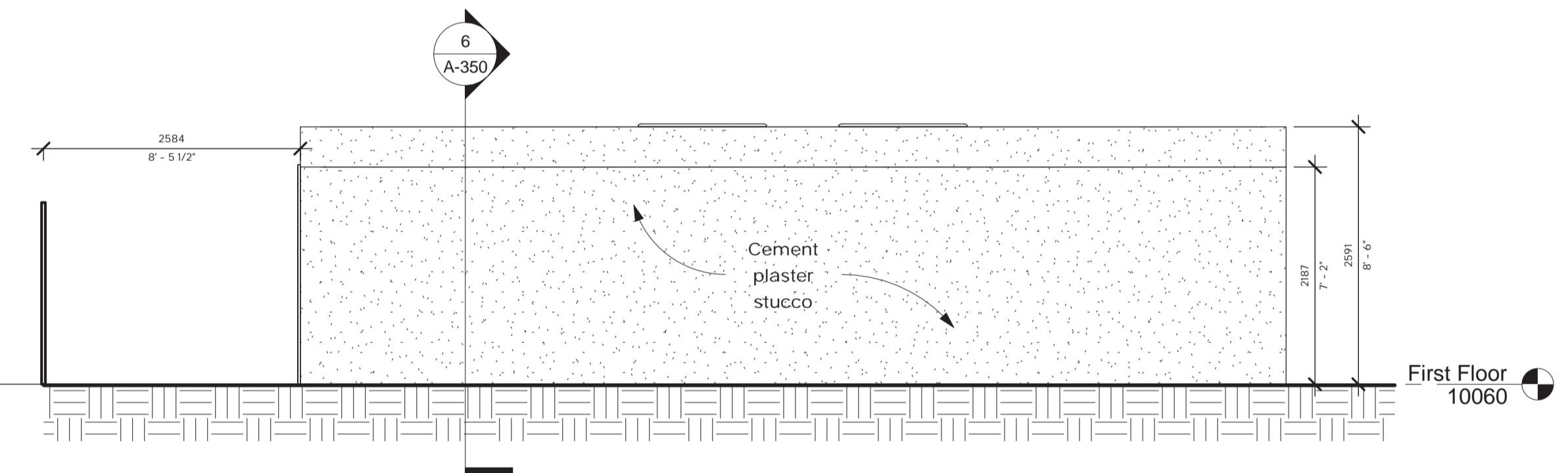


2 West Elevation - Bike Storage
1 : 50

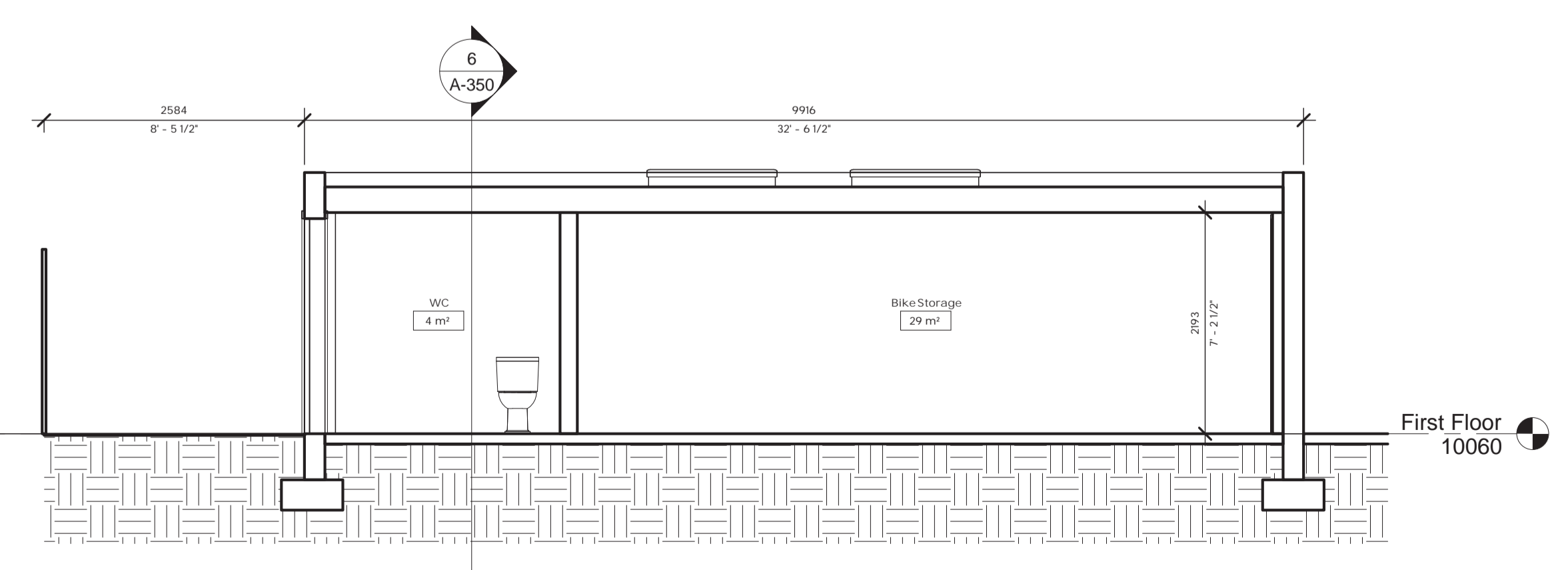


3 North Elevation - Bike Storage
1 : 50

4 South Elevation - Bike Storage
1 : 50



5 East Elevation - Bike Storage
1 : 50



7 Longitudinal Section
1 : 50

1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision 03
Description Issued for Dev. Permit
Date 02.09.2026

Acc. Building
(Bike Storage)

not for construction

A-350

1 : 50

gentlehomes.

Designer



1 North Elevation
1 : 100



3 South Elevation
1 : 100



2 East Elevation
1 : 100



4 West Elevation
1 : 100

Do not scale drawings; written dimensions govern.

Verify all dimensions, levels, and site conditions prior to construction.

Exterior materials, profiles, and finishes per specifications and schedules.

Coordinate cladding, trim, and soffits with Architectural details and Interior Design where applicable.

Window and door sizes, types, and finishes per schedules; confirm rough openings with Structural.

Maintain continuity of air, vapour, and thermal barriers at all assemblies.

Provide required flashings, sealants, and control joints as detailed.

Coordinate penetrations for Mechanical, Electrical, and Plumbing services with elevations and details.

Confirm parapet heights, roof edges, and guard locations with Structural and Roof Plans.

Report all discrepancies and conflicts to Architect before proceeding.

1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision	Description	Date
01	Issued for Coordination	08.25.2025
02	Issued for Appraisal	12.04.2025
03	Issued for Dev. Permit	02.09.2026



Cement plaster stucco



Fiber Cement Cladding
Iron Grey



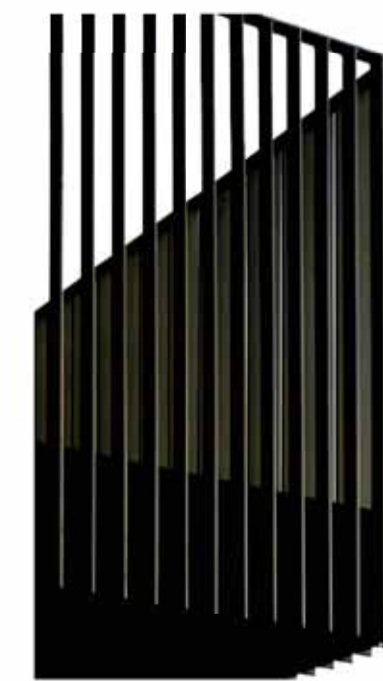
Wood Cladding
Natural



Standing Seam Metal Roof
Charcoal grey



Windows and Doors
VINYL - Black



Powder Coated Steel Guardrail
Charcoal

Building Elevations

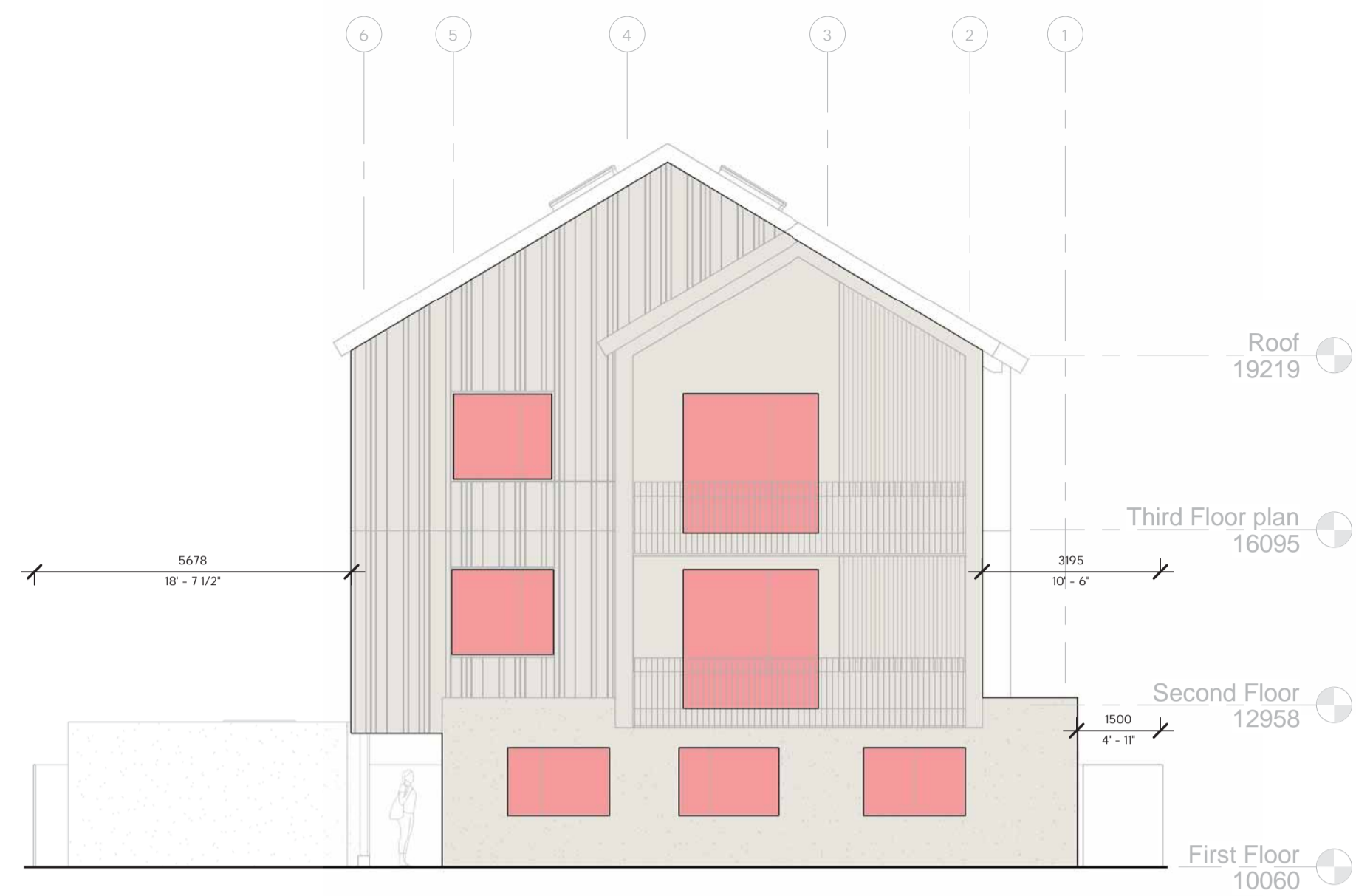
not for construction

A-400

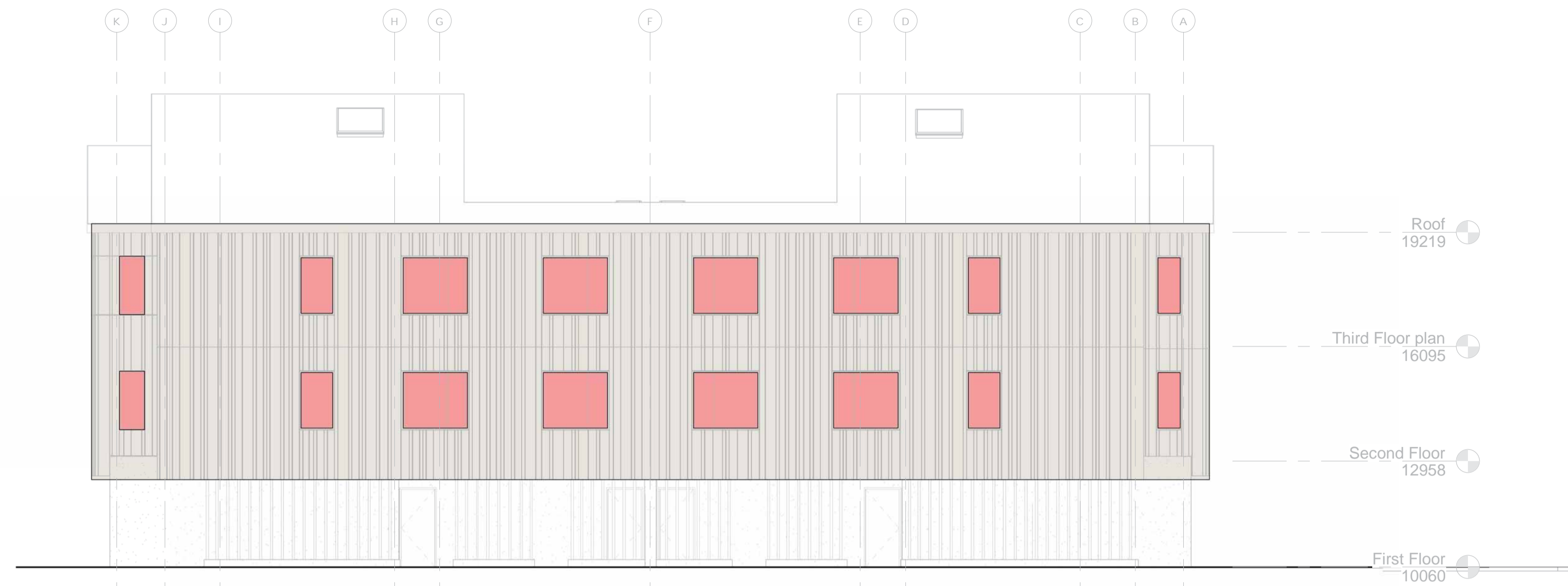
1 : 100

gentlehomes.

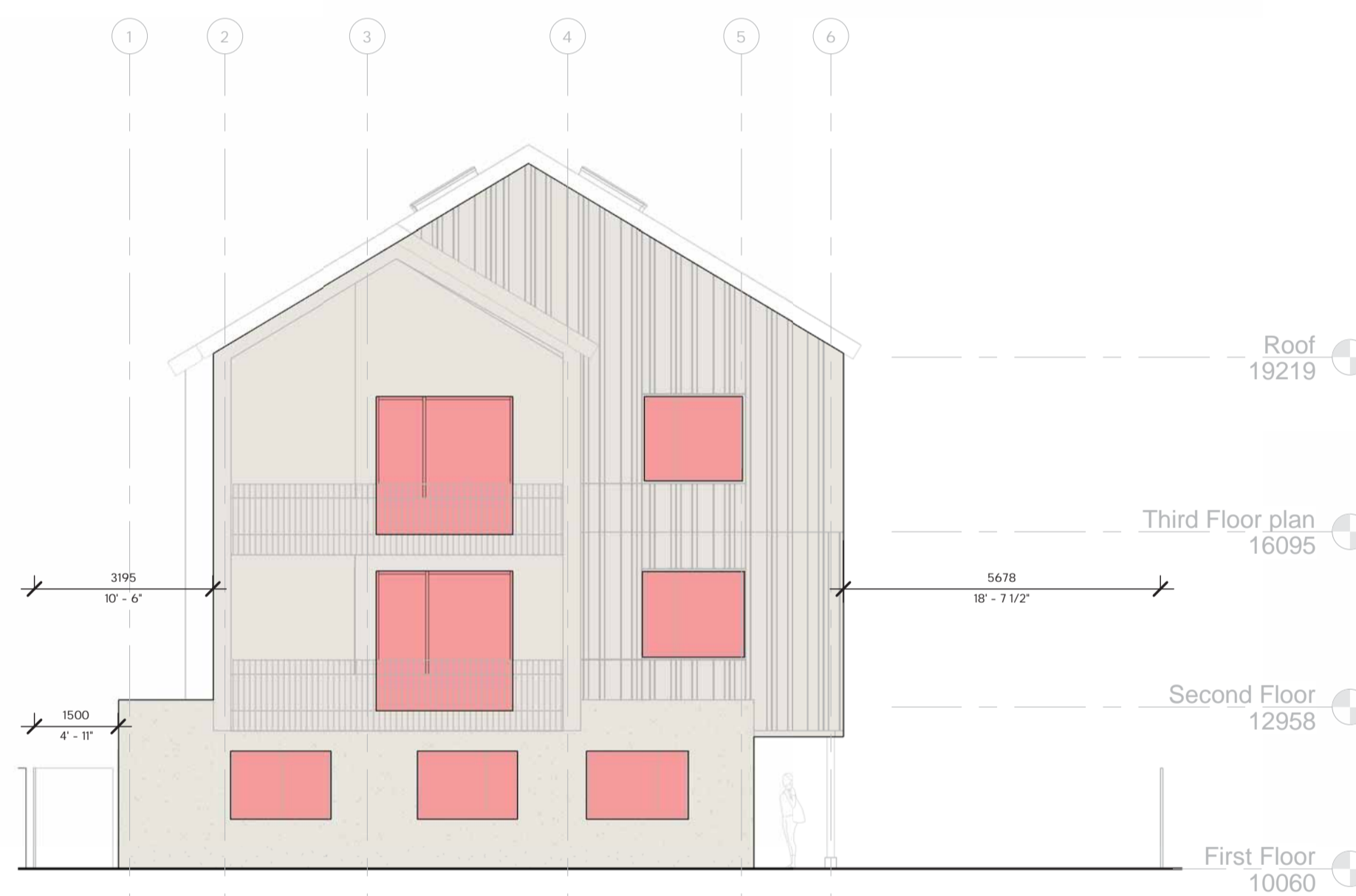
Designer



② North Elevation LD
1 : 100



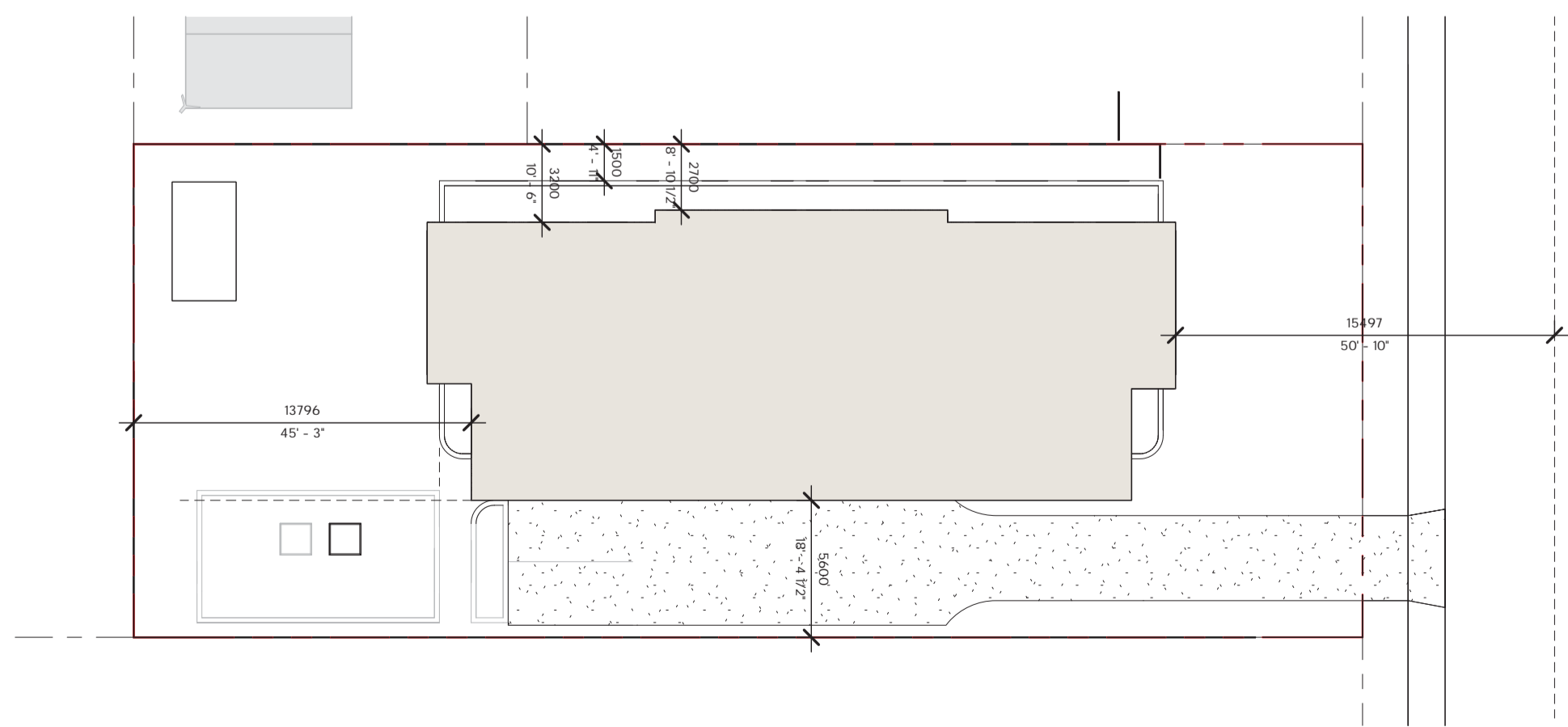
③ East Elevation LD
1 : 100



④ South Elevation LD
1 : 100



⑤ West Elevation LD
1 : 100



Spatial Separation (BCBC 9.10.14.4)

Item	Wall Area (m2)	Proposed Opening Area (m2)	Limiting distance (m)	Max Opening per B.C.B.C (%)	Proposed Opening (%)	F.R.R	Construction Type	Cladding Type
North	125m2	24.2m2	12m	100%(55%)	19.5%	45min.	Both	Both
East	215m2	31m2	4m	24%(12%)	14.5%	1h	Both	noncombustable
South	125m2	24.2m2	12m	100%(55%)	19.5%	45min.	Both	Both
West (ground)	90m2	22.1m2	1.5m	14%(7%)	24.55%	1h	Both	noncombustable
West (second-third)	195m2	30.1m2	2m	16%(8%)	15.5%	1h	Both	noncombustable

9.10.14.4.(7) - Where the building is sprinklered, the maximum aggregate area of unprotected openings shall be not more than twice the area determined according to Sentence (1), provided all rooms, including closets and bathrooms, that are adjacent to the exposing building face and that have unprotected openings are sprinklered, notwithstanding any exemptions in the sprinkler standards referenced in Article 3.2.5.12.

Alternate Solutions:
The **west ground elevation** exceed the maximum allowable unprotected opening percentages per BCBC Table 9.10.14.4.-A. This condition will be addressed by the fire suppression consultant at the Building Permit stage through an alternative solution involving window sprinkler protection, designed in accordance with NFPA 13.

1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision 03
Description Issued for Dev. Permit
Date 02.09.2026

Spatial Separations

not for construction

A-401

As indicated

gentlehomes.

Designer



1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision 03
Description Issued for Dev. Permit
Date 02.09.2026

Street Context
Elevation

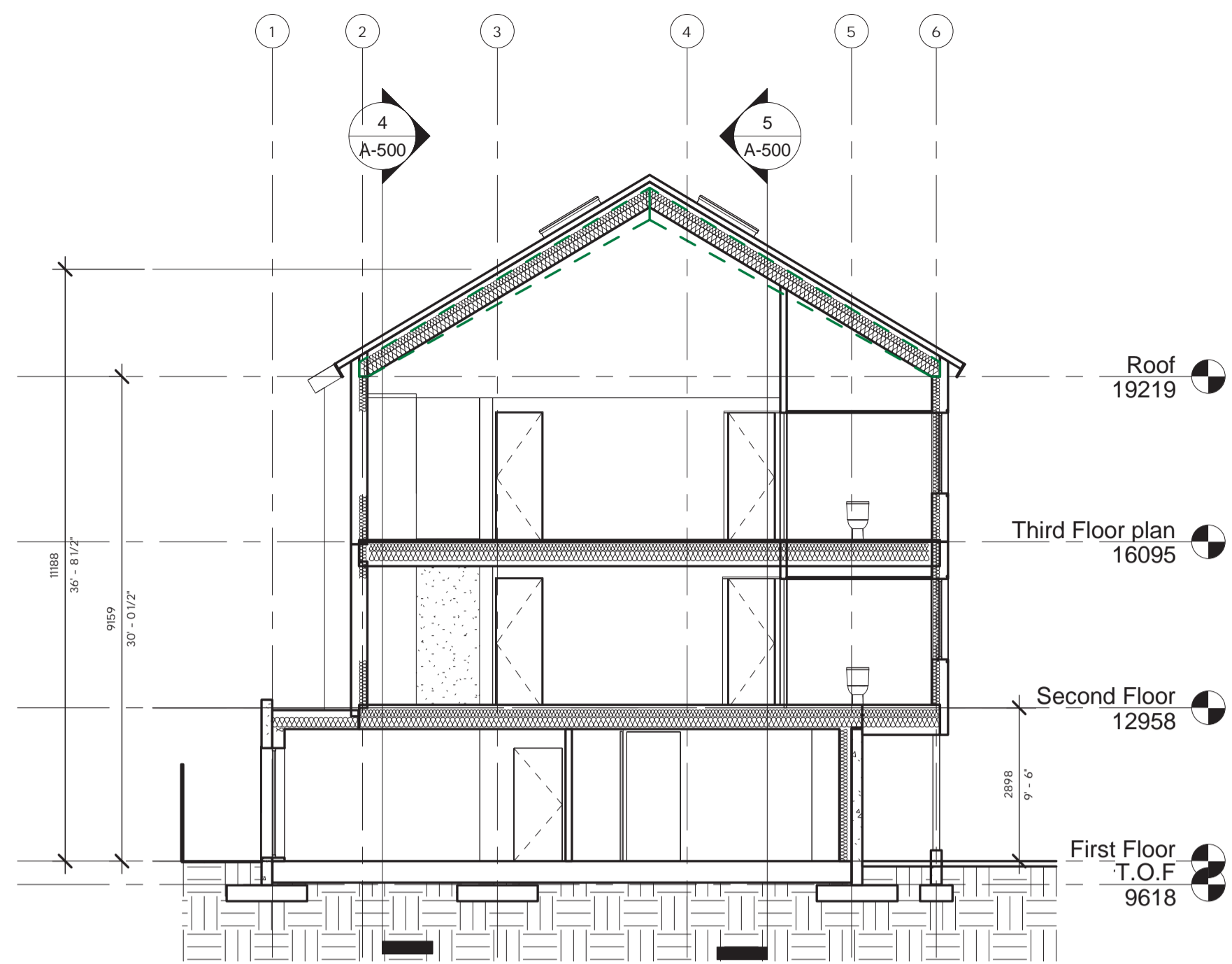
not for construction

A-405

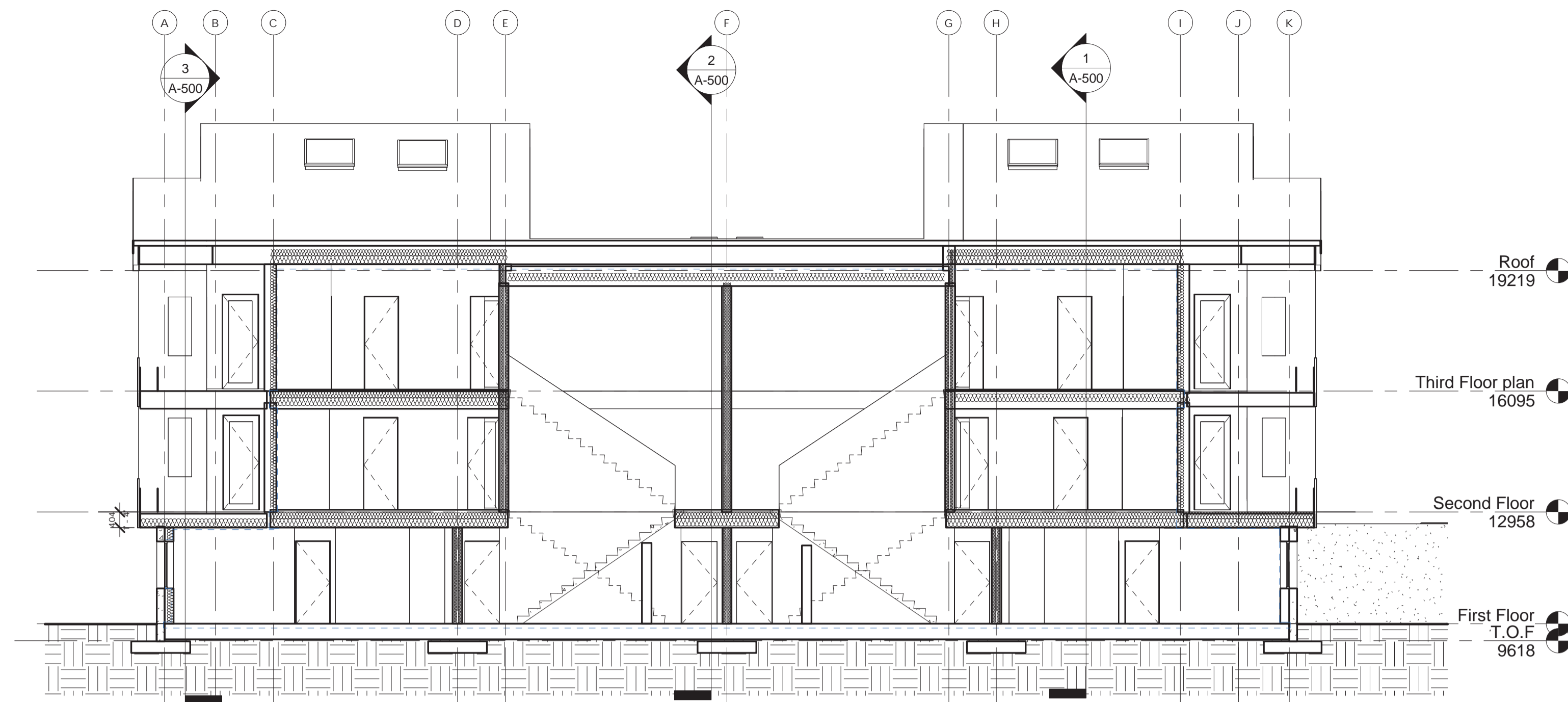
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gentlehomes.

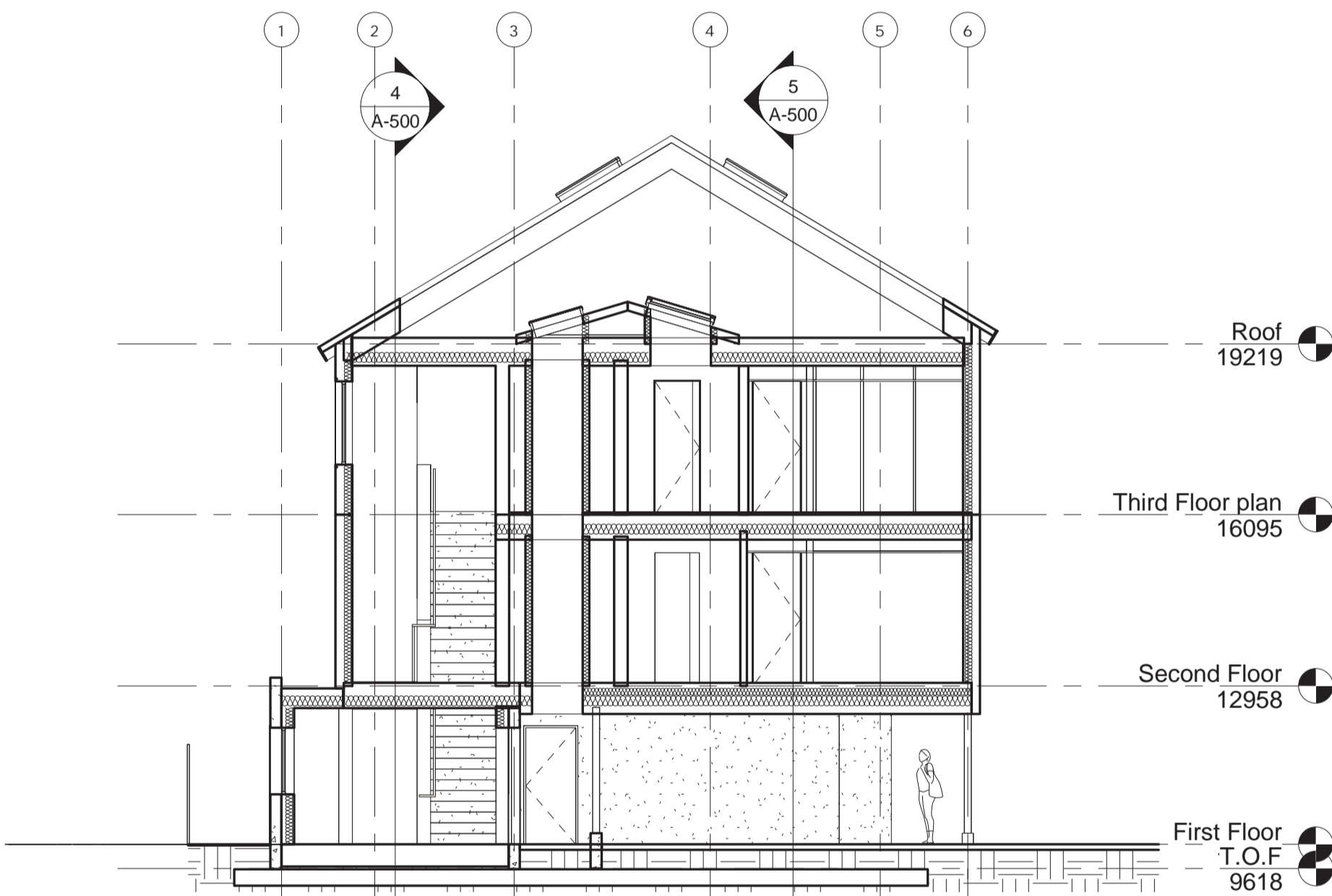
Designer



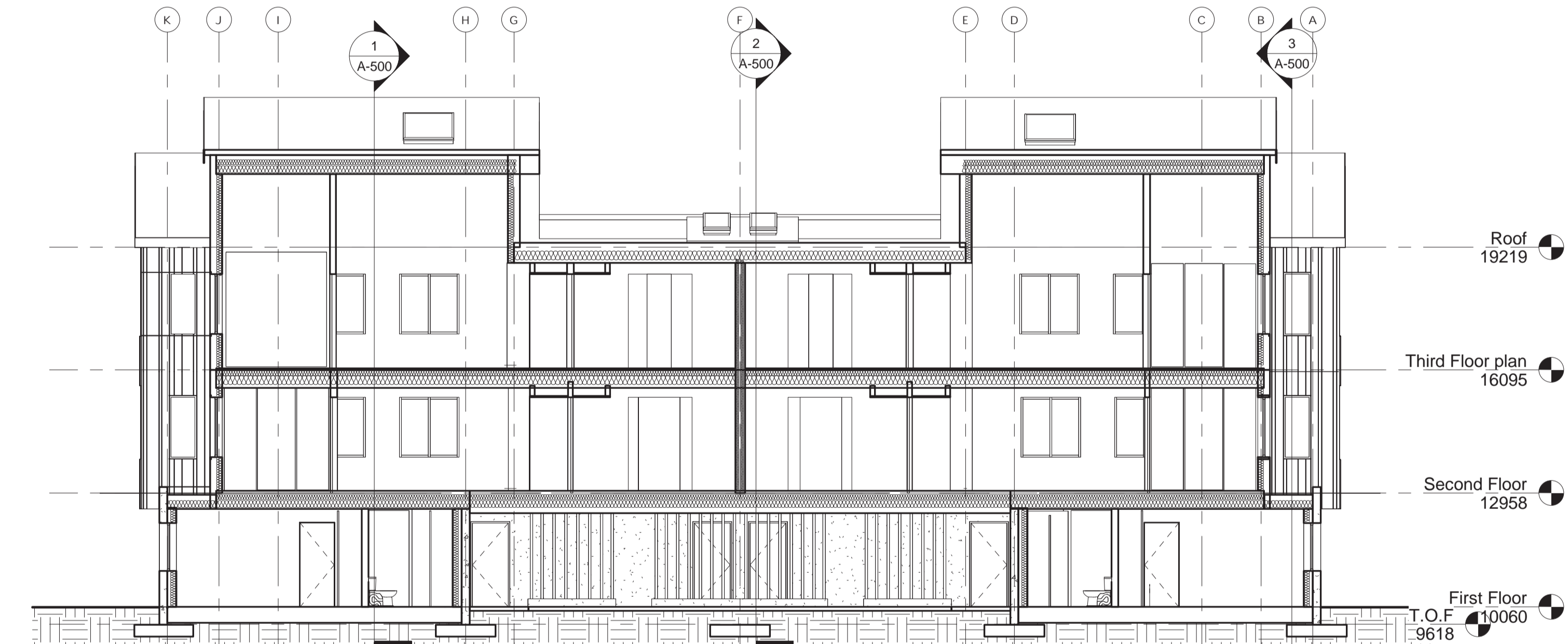
1 Cross Section A
1 : 100



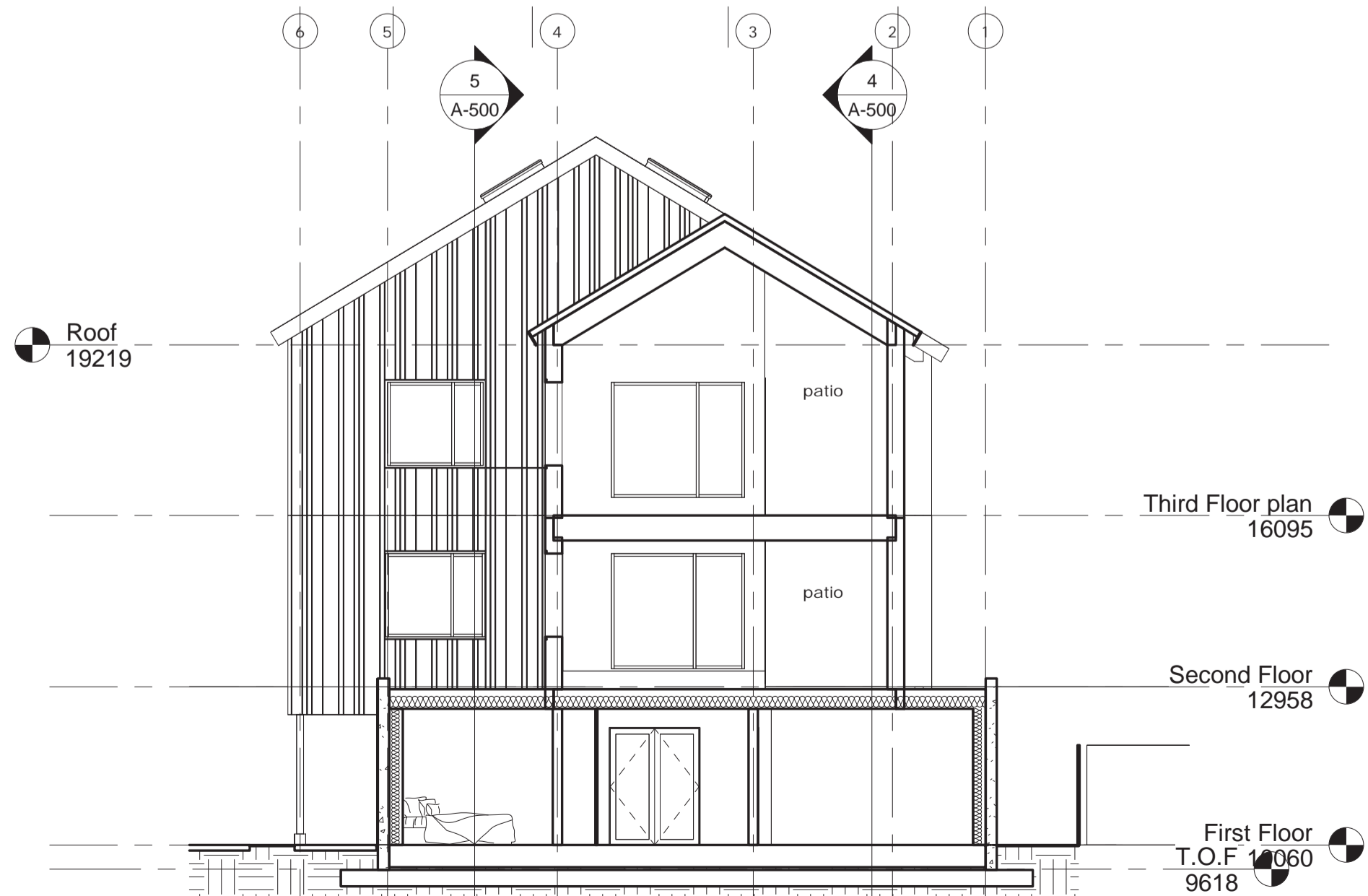
4 Longitudinal Section A
1 : 100



2 Cross Section B
1 : 100



5 Section 14
1 : 100



3 Section 16
1 : 100

Do not scale drawings; written dimensions govern.

Verify all dimensions, levels, and site conditions prior to construction.

Structural elements (footings, slabs, beams, joists) per Structural drawings.

Wall, floor, and roof assemblies per details and specifications; maintain fire, acoustic, and thermal continuity.

Coordinate insulation, vapour/air barriers, and weather barriers across all assemblies.

Flashings, sealants, and control joints as detailed; install per manufacturer's instructions.

Confirm parapet, guard, and roof edge conditions with Structural and Roof Plans.

Coordinate vertical shafts and service penetrations with MEP drawings.

Provide blocking and backing as required for millwork, equipment, and fixtures.

Report all discrepancies and conflicts to Architect before proceeding.

1691 Chandler Ave.
Victoria BC, V8S 1W7

Revision	Description	Date
02	Issued for Appraisal	12/04/2025
03	Issued for Dev. Permit	02/09/2026

Building Sections

not for construction

A-500

1 : 100

gentlehomes.

Designer

1691 CHANDLER AVE

1691 CHANDLER AVE, VICTORIA, BC

SHEET LIST

L0.00 COVER SHEET

L0.01 TREE MANAGEMENT PLAN

L1.01 MATERIALS PLAN

L2.01 TREE PLANTING PLAN

L2.02 PLANTING PLAN

L2.03 PLANTING PALETTE

L3.01 LIGHTING PLAN

GENERAL LANDSCAPE NOTES

GENERAL:

1. DO NOT PROCEED IN UNCERTAINTY.
2. DO NOT SCALE DRAWINGS.
3. DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS/SPECIFICATIONS IN THIS PROJECT SET. ANY DISCREPANCIES AMONG DRAWINGS, SPECIFICATIONS AND INDUSTRY BEST PRACTICES TO BE REPORTED TO THE PROJECT / CONSTRUCTION MANAGER AND THE LANDSCAPE CONSULTANT FOR DIRECTION.
4. ALL LANDSCAPE SPECIFICATION SECTIONS AND DRAWINGS ARE AFFECTED BY REQUIREMENTS OF DIVISION 01 SECTIONS (PROVIDED IN THE PROJECT MANUAL).
5. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS, INCLUDING THE LIMITS OF WORK AND EXISTING FEATURES TO BE PROTECTED, PRIOR TO SUBMITTING BIDS/QUOTES.
6. CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES/FEATURES PRIOR TO COMMENCING WORK.
7. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT SITE FEATURES / CONDITIONS, WITHIN AND BEYOND THE LIMITS OF WORK EXISTING AT THE TIME OF CONSTRUCTION. ALL DISTURBED SURFACES, AREAS, STRUCTURES, VEGETATION, HABITAT ETC. ON PUBLIC / PRIVATE PROPERTY TO PROMPTLY BE RESTORED TO EQUAL OR BETTER CONDITION THAN EXISTING AND TO THE SATISFACTION OF THE MUNICIPALITY HAVING JURISDICTION / PROPERTY OWNER.
8. CONTRACTOR TO MAINTAIN THE SITE IN A SAFE AND TIDY CONDITION AT ALL TIMES. DO NOT OBSTRUCT PEDESTRIAN OR VEHICULAR CIRCULATION. DO NOT LEAVE UNPROTECTED HOLES / PITS / OPENINGS OVERNIGHT. ALL EXCESS MATERIALS AND REFUSE TO BE REMOVED FROM THE SITE DAILY UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.

STANDARDS:

1. ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF VICTORIA DEVELOPMENT STANDARDS (AUTHORITY HAVING JURISDICTION) INCLUDING BUT NOT LIMITED TO:
 - 1.1. CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS SCHEDULE 'B' TO THE SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042
 - 1.2. CITY OF VICTORIA SUPPLEMENTAL DRAWINGS
 - 1.3. CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C.
2. ALL LANDSCAPE WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE CURRENT EDITION AT TIME OF ISSUE OF THE *Canadian Landscape Standard* (CLS), UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
3. ALL HARD SURFACE (INCLUDING BUT NOT LIMITED TO PAVING, CONCRETE RETAINING WALLS AND CONCRETE PLANTERS) TO CONFORM TO THE *Master Municipal Construction Documents Association PLATINUM EDITION* (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
4. IN CASES OF CONFLICT BETWEEN THE CLS AND THE MMCD, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
5. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE CLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
6. GROWING MEDIUM AND GROWING MEDIUM TESTING TO CLS Section 5.
7. IRRIGATION DESIGN AND INSTALLATION TO IIABC STANDARDS AND CLS Section 10.

COORDINATION:

1. CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION AND ELECTRICAL SLEEVES WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL WORKS.

SUBMITTALS:

1. CONTRACTOR TO PROVIDE SAMPLES, TEST RESULTS AND SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW AND APPROVAL 45 DAYS PRIOR TO INSTALLATION.
2. SEE ALSO SUBMITTALS TABLE BELOW FOR ADDITIONAL INFORMATION.

GROWING MEDIUM TESTING:

1. GROWING MEDIUM TEST RESULTS ARE MANDATORY.
2. TEST RESULTS TO INCLUDE ANALYSIS OF ALL GROWING MEDIUM NUTRIENTS NOTED IN CLS 5.2.7 AND ARE TO BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
3. TEST RESULTS TO INCLUDE ANALYSIS OF SOIL TEXTURE, ORGANIC CONTENT AND ACIDITY AS PER CLS 5.3.5 AND BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
4. TEST RESULTS TO INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO MEET THE REQUIREMENTS FOR EACH GROWING MEDIUM TYPE.
5. RECOMMENDED GROWING MEDIUM TESTING FACILITY: Pacific Soil Analysis Inc. 11720 Voyageur Way, Richmond, BC V6X 3G9 OR APPROVED EQUAL.

COMPACTION TESTING:

1. COMPACTION TESTS FOR HARD SURFACE SUBGRADE, GRANULAR SUB-BASE, AND GRANULAR BASE ARE MANDATORY.

INSPECTIONS:

1. CONTRACTOR TO ALERT THE LANDSCAPE CONSULTANT A MINIMUM OF 3 WORKING DAYS PRIOR TO REQUIRED LANDSCAPE INSPECTIONS.

SUBSTITUTIONS:

1. REQUESTS FOR SUBSTITUTIONS TO CONFORM TO THE DIVISION 01 SECTION AND BE SUBMITTED TO THE LANDSCAPE CONSULTANT, THROUGH THE PROJECT ADMINISTRATOR, A MINIMUM OF 45 DAYS PRIOR TO SCHEDULED WORK.
2. PLEASE NOTE THAT SOME SUBSTITUTIONS MAY REQUIRE MUNICIPAL APPROVAL.

WARRANTY:

1. CONTRACTOR SHALL WARRANTY ALL WORKMANSHIP AND MATERIALS FOR 1 FULL YEAR FOLLOWING THE DATE OF TOTAL PERFORMANCE AS PER MMCD UNLESS SPECIFICALLY NOTED OTHERWISE. FAULTY MATERIALS AND WORKMANSHIP SHALL BE PROMPTLY REPAIRED / REPLACED TO THE SATISFACTION OF THE LANDSCAPE CONSULTANT.

ENVIRONMENTAL PROTECTION:

1. CONTRACTOR TO INSTALL AND MAINTAIN SEDIMENTATION FILTRATION MEASURES AS REQUIRED FOR LANDSCAPE WORKS TO PREVENT MATERIALS FROM LEAVING THE SITE AND / OR ENTERING STORM DRAINS; STOCKPILED LANDSCAPE MATERIALS ARE TO BE KEPT TARPED.

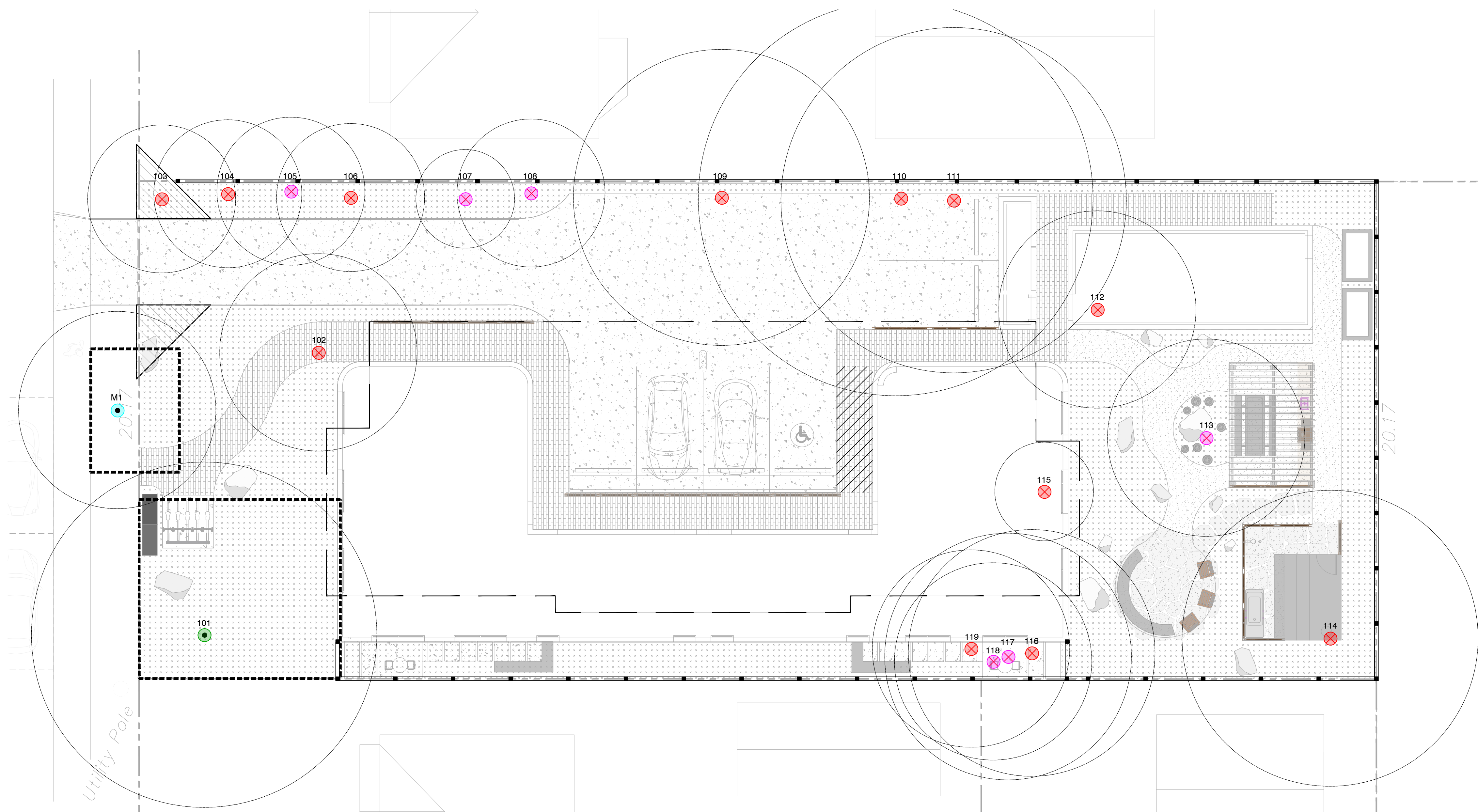


OWNER/CLIENT:

PROJECT NAME:
1691 Chandler

PROJECT ADDRESS:
**1691 Chandler Ave
 Victoria, BC V8S 1N7**

DESIGNED BY: BIANCA BODLEY
 DRAWN BY: CHARLIE TWYFORD



LEGEND

- PROPERTY LINE
- BUILDING ROOFLINE
- TREE PROTECTION FENCING
 - TO OUTSIDE OF DRIPLINE WHERE POSSIBLE (AS SHOWN)
 - TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
 - TO CITY OF VICTORIA STANDARD
- EXISTING TREE TO BE RETAINED
 - SHOWN AT EXISTING SPREAD
- EXISTING TREE TO BE REMOVED
 - SHOWN AT EXISTING SPREAD
- CRITICAL ROOT ZONE
 - TO BE RETAINED
- CRITICAL ROOT ZONE
 - TO BE REMOVED
- PROTECTED TREE FOR REMOVAL
- PROTECTED TREE TO RETAIN
- MUNICIPAL TREE FOR REMOVAL
- MUNICIPAL TREE TO RETAIN
- TREE FOR REMOVAL

SUPPLEMENTARY STANDARD DETAIL DRAWINGS

TREE PROTECTION FENCING

- FENCE WILL BE CONSTRUCTED USING 38 mm X 89mm WOOD FRAME: TOP, BOTTOM AND POSTS* USE ORANGE SNOW FENCING MESH AND SECURE THE WOOD FRAME WITH ZIP TIES OR GALVANIZED STAPLES.
- ATTACH A 500mm X 500mm SIGN WITH THE FOLLOWING WORDING: WARNING- TREE PROTECTION AREA. THIS SIGN MUST BE AFFIXED ON EVERY FENCE OR AT LEAST EVERY 10 LINEAR METERS.

* IN ROCKY AREAS, METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED

REVISIONS	DRAWING NUMBER:
	SD P1

TREE STATUS	TOTAL # OF PROTECTED TREES	# OF TREES TO BE REMOVED	# TREES TO NEW OR REPLACEMENT TREES TO BE PLANTED	# OF EXISTING NON-PROTECTED TREES COUNTED AS REPLACEMENTS	NET CHANGE (A+B+C+D)
ON-SITE TREES	13	12	7	0	TBD
OFF-SITE TREES	3	0	0	0	TBD
MUNICIPAL TREES	1	0	0	N/A	TBD
TOTAL	17	12	7	0	TBD

- #### TREE MANAGEMENT NOTES:
- SEE ARBORIST REPORT AND DRAWING FOR DETAILED INSTRUCTIONS AND REQUIREMENTS FOR WORKING AROUND EXISTING TREES TO REMAIN AS WELL AS FOR TREE PROTECTION FENCE.
 - IF REQUIRED, APPRAISED VALUE WILL BE PAID FOR TREES TO BE REMOVED ON MUNICIPAL PROPERTY.
 - CASH-IN-LIEU WILL BE PAID FOR REQUIRED REPLACEMENT TREES NOT ACCOMMODATED ON SITE.
 - SEE ARBORIST REPORT FOR TREE PROTECTION FENCING SPECIFICATIONS, LOCATION AND PHASING INSTRUCTIONS.
 - SEE TREE PLANTING PLAN FOR PROPOSED REPLACEMENT TREES.

- #### ARBORIST SUPERVISION NOTES:
- ALL EXCAVATION OCCURRING WITHIN THE CRITICAL ROOT ZONES OF PROTECTED TREES SHOULD BE COMPLETED UNDER SUPERVISION BY THE PROJECT ARBORIST. IN PARTICULAR, THE FOLLOWING ACTIVITIES SHOULD BE COMPLETED UNDER THE DIRECTION OF THE PROJECT ARBORIST:
 - ANY EXCAVATION WITHIN THE CRZS OF MUNICIPAL TREES NTT-9 FOR CONSTRUCTION OF THE NEW 6-UNIT BUILDINGS, LANDSCAPE FEATURES, OR DRIVEWAY OFF THURLOW ROAD
 - ANY EXCAVATION FOR THE ABANDONING OF EXISTING UNDERGROUND SERVICES OR INSTALLATION OF NEW SERVICES WITHIN THE CRZS OF TREES TO BE RETAINED.
 - PRUNING ROOTS: ANY SEVERED ROOTS MUST BE PRUNED BACK TO SOUND TISSUE TO REDUCE WOUND SURFACE AREA AND ENCOURAGE RAPID COMPARTMENTALIZATION OF THE WOUND. BACKFILLING THE EXCAVATED AREA AROUND THE ROOTS SHOULD BE DONE AS SOON AS POSSIBLE TO KEEP THE ROOTS MOIST AND AID IN ROOT REGENERATION. EXPOSED ROOTS SHOULD BE KEPT MOIST UNTIL THE AREA IS BACKFILLED, ESPECIALLY IF EXCAVATION OCCURS DURING A PERIOD OF DROUGHT. THIS CAN BE ACCOMPLISHED IN A NUMBER OF WAYS, INCLUDING WRAPPING THE ROOTS IN BURLAP OR INSTALLING A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP, AND KEEPING THE AREA MOIST THROUGHOUT THE CONSTRUCTION PROCESS.
 - MINIMIZING SOIL COMPACTION: IN AREAS WHERE CONSTRUCTION TRAFFIC MUST ENCROACH INTO THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED, EFFORTS MUST BE MADE TO REDUCE SOIL COMPACTION WHERE POSSIBLE BY DISPLACING THE WEIGHT OF MACHINERY AND FOOT TRAFFIC. THIS CAN BE ACHIEVED BY ONE OF THE FOLLOWING METHODS:
 - INSTALLING A LAYER OF HOG FUEL OR COARSE WOOD CHIPS AT LEAST 20 CM IN DEPTH AND MAINTAINING IT IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE.
 - PLACING MEDIUM WEIGHT GEOTEXTILE CLOTH OVER THE AREA TO BE USED AND INSTALLING A LAYER OF CRUSHED ROCK TO A DEPTH OF 15 CM OVER TOP.
 - PLACING TWO LAYERS OF 19MM PLYWOOD.
 - PLACING STEEL PLATES.
 - LANDSCAPING AND IRRIGATION SYSTEMS: THE PLANTING OF NEW TREES AND SHRUBS SHOULD NOT DAMAGE THE ROOTS OF RETAINED TREES. THE INSTALLATION OF ANY IN-GROUND IRRIGATION SYSTEM MUST TAKE INTO ACCOUNT THE CRITICAL ROOT ZONES OF THE TREES TO BE RETAINED. PRIOR TO INSTALLATION, WE RECOMMEND THE IRRIGATION TECHNICIAN CONSULT WITH THE PROJECT ARBORIST ABOUT THE MOST SUITABLE LOCATIONS FOR THE IRRIGATION LINES AND HOW BEST TO MITIGATE THE IMPACTS ON THE TREES TO BE RETAINED. THIS MAY REQUIRE THE PROJECT ARBORIST SUPERVISE THE EXCAVATIONS ASSOCIATED WITH INSTALLING THE IRRIGATION SYSTEM. EXCESSIVE FREQUENT IRRIGATION AND IRRIGATION WHICH WETS THE TRUNKS OF TREES CAN HAVE A DETRIMENTAL IMPACT ON TREE HEALTH AND CAN LEAD TO ROOT AND TRUNK DECAY.
 - ARBORIST ROLE: IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
 - LOCATING THE BARRIER FENCING
 - REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR
 - LOCATING WORK ZONES, WHERE REQUIRED
 - SUPERVISING ANY EXCAVATION WITHIN THE CRITICAL ROOT ZONES OF TREES TO BE RETAINED
 - REVIEWING AND ADVISING OF ANY PRUNING REQUIREMENTS FOR MACHINE CLEARANCES
 - REVIEW AND SITE MEETING: ONCE THE PROJECT RECEIVES APPROVAL, IT IS IMPORTANT THAT THE PROJECT ARBORIST MEET WITH THE PRINCIPALS INVOLVED IN THE PROJECT TO REVIEW THE INFORMATION CONTAINED HEREIN. IT IS ALSO IMPORTANT THAT THE ARBORIST MEET WITH THE SITE FOREMAN OR SUPERVISOR BEFORE ANY SITE CLEARING, TREE REMOVAL, DEMOLITION, OR OTHER CONSTRUCTION ACTIVITY OCCURS AND TO CONFIRM THE LOCATIONS OF THE TREE PROTECTION BARRIER FENCING.
 - SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION, REQUIREMENTS AND RECOMMENDATIONS.

1 TREE PROTECTION FENCING AND SIGNAGE DETAIL
 L0.01 NTS

NO.	ISSUE	YY/MM/DD
3	ISSUED FOR DP	26/01/28
2	ISSUED FOR COORDINATION	25/10/24
1	ISSUED FOR COORDINATION	25/09/11

SEAL

NORTH ARROW

DRAWING TITLE:

TREE MANAGEMENT PLAN

DWG NO: **L0.01**

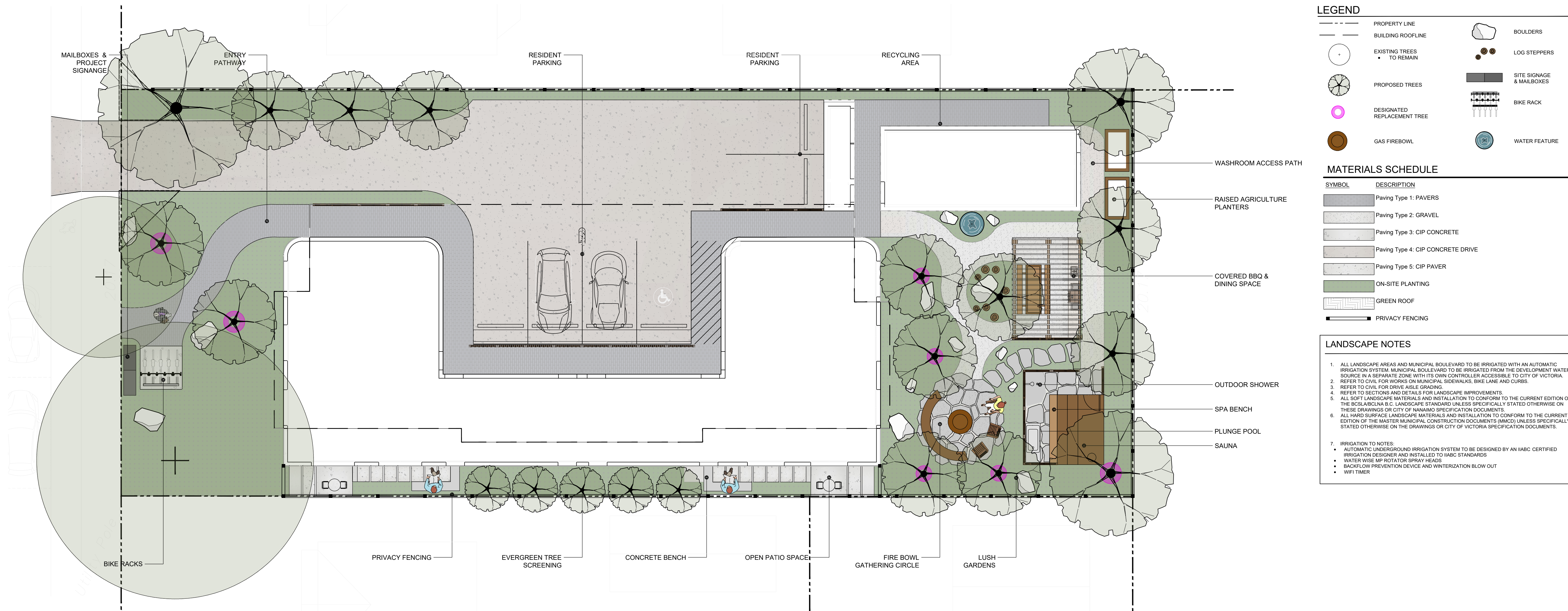
SCALE: **1:100**

OWNER/CLIENT:

PROJECT NAME:
1691 Chandler

PROJECT ADDRESS:
1691 Chandler Ave
Victoria, BC V8S 1N7

DESIGNED BY: BIANCA BODLEY
 DRAWN BY: CHARLIE TWYFORD



LEGEND

---	PROPERTY LINE		BOULDERS
- - -	BUILDING ROOFLINE		LOG STEPPERS
○	EXISTING TREES TO REMAIN		SITE SIGNAGE & MAILBOXES
⊗	PROPOSED TREES		BIKE RACK
⊕	DESIGNATED REPLACEMENT TREE		WATER FEATURE
●	GAS FIREBOWL		

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION
	Paving Type 1: PAVERS
	Paving Type 2: GRAVEL
	Paving Type 3: CIP CONCRETE
	Paving Type 4: CIP CONCRETE DRIVE
	Paving Type 5: CIP PAVER
	ON-SITE PLANTING
	GREEN ROOF
	PRIVACY FENCING

- LANDSCAPE NOTES**
- ALL LANDSCAPE AREAS AND MUNICIPAL BOULEVARD TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. MUNICIPAL BOULEVARD TO BE IRRIGATED FROM THE DEVELOPMENT WATER SOURCE IN A SEPARATE ZONE WITH ITS OWN CONTROLLER ACCESSIBLE TO CITY OF VICTORIA.
 - REFER TO CIVIL FOR WORKS ON MUNICIPAL SIDEWALKS, BIKE LANE AND CURBS.
 - REFER TO CIVIL FOR DRIVE ASLE GRADING.
 - REFER TO SECTIONS AND DETAILS FOR LANDSCAPE IMPROVEMENTS.
 - ALL SOFT LANDSCAPE MATERIALS AND INSTALLATION TO CONFORM TO THE CURRENT EDITION OF THE BCLA/BICLA/B.C. LANDSCAPE STANDARDS UNLESS SPECIFICALLY STATED OTHERWISE ON THESE DRAWINGS OR CITY OF NANAIMO SPECIFICATION DOCUMENTS.
 - ALL HARD SURFACE LANDSCAPE MATERIALS AND INSTALLATION TO CONFORM TO THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MCCD) UNLESS SPECIFICALLY STATED OTHERWISE ON THE DRAWINGS OR CITY OF VICTORIA SPECIFICATION DOCUMENTS.
 - IRRIGATION TO NOTES:
 - AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED BY AN IAABC CERTIFIED IRRIGATION DESIGNER AND INSTALLED TO IAABC STANDARDS
 - WATER WISE MP ROTATOR FOR SPRAY HEADS
 - BACKFLOW PREVENTION DEVICE AND WINTERIZATION BLOW OUT
 - WIFI TIMER

PRECEDENTS



LUSH PLANTING



PRIVATE SAUNA



SENSORY ELEMENTS



COOKING AND DINING



GATHERING SPACE



NATURAL MATERIALS



CEDAR PRIVACY FENCING

NO.	ISSUE	DATE
3	ISSUED FOR DP	26/01/28
2	ISSUED FOR COODINATION	25/10/24
1	ISSUED FOR COODINATION	25/09/11
NO.	ISSUE	YY/MM/DD

SEAL

NORTH ARROW



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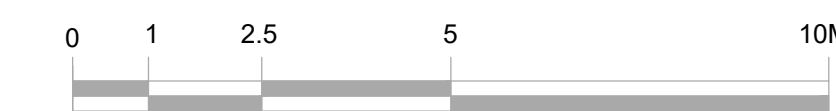
SITE PLAN - GROUND

DWG NO:

L1.01

SCALE:

1:100

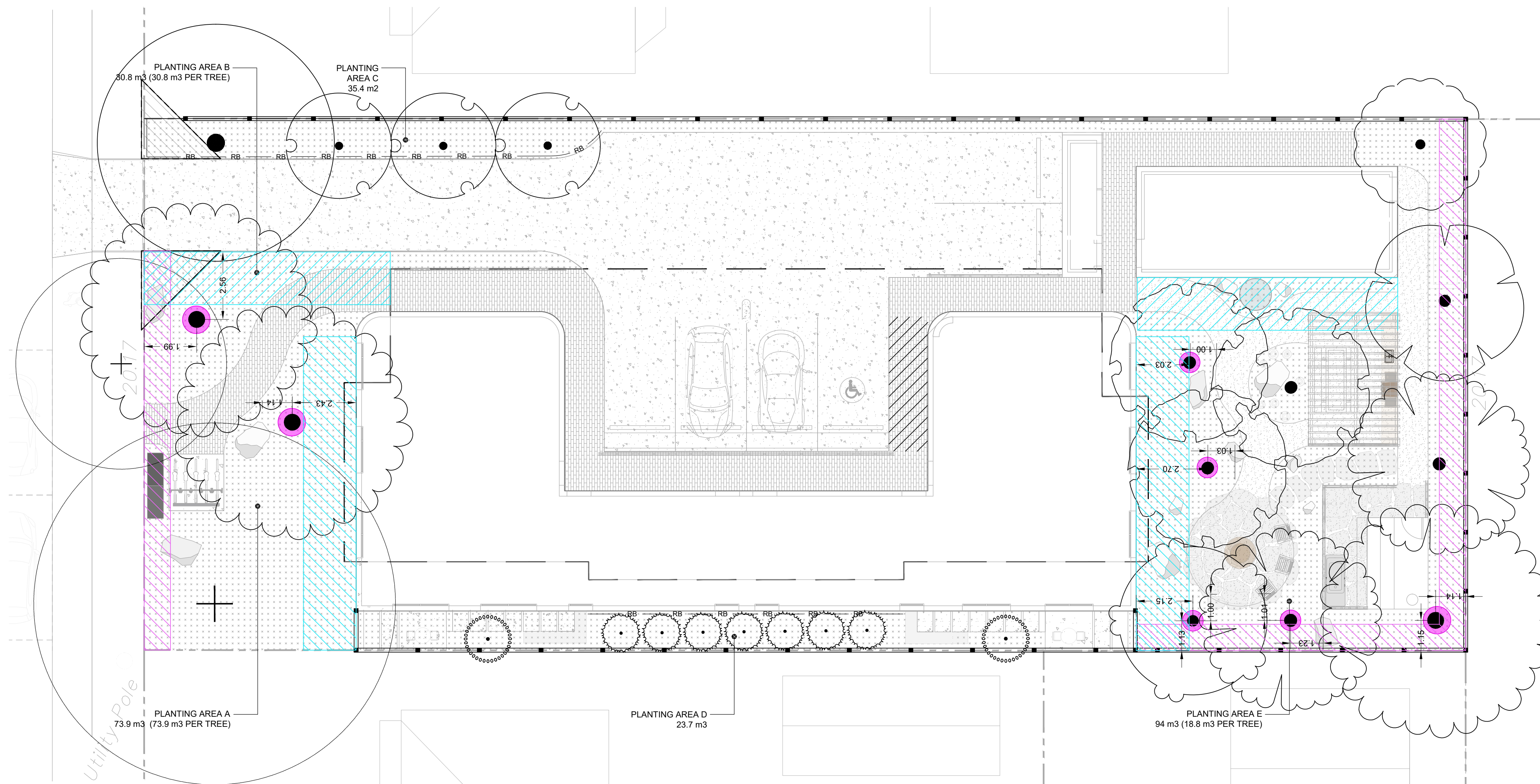


OWNER/CLIENT:

PROJECT NAME:
1691 Chandler

PROJECT ADDRESS:
1691 Chandler Ave
Victoria, BC V8S 1N7

DESIGNED BY: BIANCA BODLEY
 DRAWN BY: CHARLIE TWYFORD



LEGEND

- PROPERTY LINE
- BUILDING ROOFLINE
- EXISTING TREES
 * TO REMAIN
- RB — ROOT BARRIER
- 1:1 REPLACEMENT TREE
- ▨ 1M DISTANCE FROM PROPERTY LINE, DRIVEWAYS, & OTHER SURFACES
- ▨ 2M DISTANCE FROM BUILDING FOUNDATION WALL

TREE PLANTING SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
TREES					
●	AR	1	Acer rubrum	Red Maple	Ball & Burlap
○	AM2	1	Amelanchier canadensis	Canadian Serviceberry Multi-trunk	B&B Multi-Stem
○	BD	3	Betula nigra 'BNMTF'	Dura Heat® River Birch	B&B Multi-Stem
○	CJ	2	Cercidiphyllum japonicum	Katsura Tree	Ball & Burlap
○	CN	7	Cupressus nootkatensis 'Green Arrow'	Green Arrow Nootka Cypress	Ball & Burlap
○	ES	1	Eucalyptus lacrimans	Weeping Snow Gum	Ball & Burlap
○	GE	2	Ginkgo biloba 'Blagon'	Goldspire Maidenhair Tree	Ball & Burlap
○	GT	3	Gleditsia triacanthos	Honey Locust	Ball & Burlap
○	PT	3	Populus tremuloides	Quaking Aspen	Ball & Burlap
○	QR	1	Quercus rubra	Northern Red Oak	Ball & Burlap

SOIL VOLUME				REPLACEMENT TREES PROPOSED			SOIL VOLUME REQUIRED (m3)			
ON-SITE AREA										
PLANTING AREA ID	AREA (m2)	SOIL VOLUME MULTIPLIER	ESTIMATED SOIL VOLUME	B # SMALL	C # MEDIUM	D # LARGE	E SMALL	F MEDIUM	G LARGE	TOTAL
PLANTING AREA A	73.9 m2	1	73.9 m3	0	1	0	0	20m3	0	20m3
PLANTING AREA B	30.8 m2	1	30.8 m3	0	1	0	0	20m3	0	20m3
PLANTING AREA C	35.4 m2	1	35.4 m3	0	0	0	0	N/A	0	0
PLANTING AREA D	23.7 m2	1	23.7 m3	0	0	0	0	N/A	0	0
PLANTING AREA E	94 m2	1	94 m3	0	5	0	0	75m3	0	75m3

- PLANTING NOTES**
- ALL PLANT MATERIAL TO CLS & BC SLA STANDARDS.
 - PLANTS TO BE SOURVED FROM THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
 - CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
 - ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
 - ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS (CLS).
 - REFER TO CIVIL AND MECHANICAL FOR DRAINS.
 - ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN.
 - IF REQUIRED, MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE MUNICIPAL SOURCE.

PLANTING PALETTE



AMELANCHIER CANADENSIS | CANADIAN SERVICEBERRY



BETULA NIGRA 'BNMTF' | DURA HEAT RIVER BIRCH



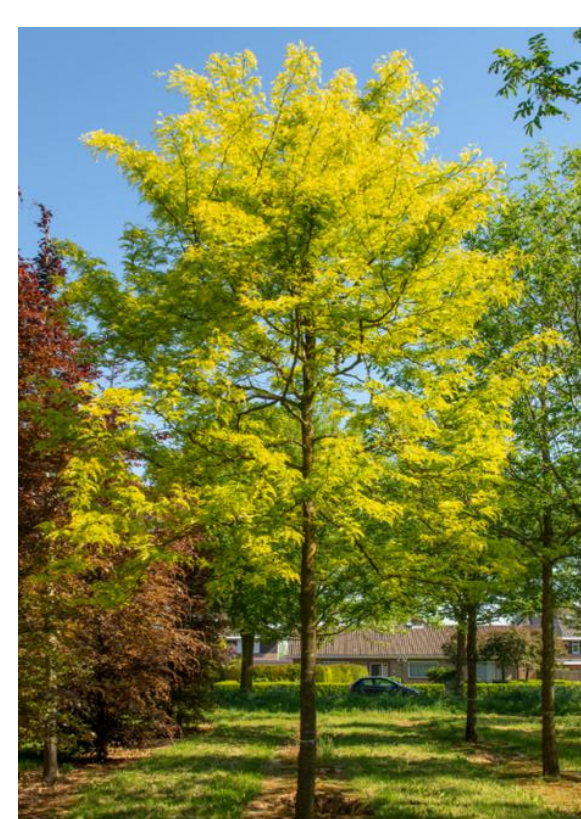
CERCIDIPHYLLUM JAPONICUM | KATSURA TREE



CUPRESSUS NOOTKATENSIS 'GREEN ARROW' | GREEN ARROW NOOTKA CYPRESS



GINKGO BILOBA 'BLAGON' | GOLDSPIRE MAIDENHAIR



GLEDITSIA TRIACANTHOS | HONEY LOCUST



POPULUS TREMULOIDES | QUAKING ASPEN



QUERCUS RUBRA | NORTHERN RED OAK

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SEAL

NORTH ARROW



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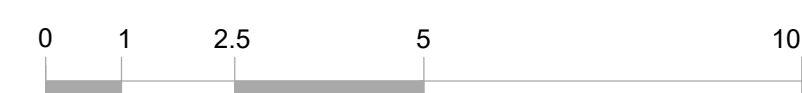
TREE PLANTING PLAN

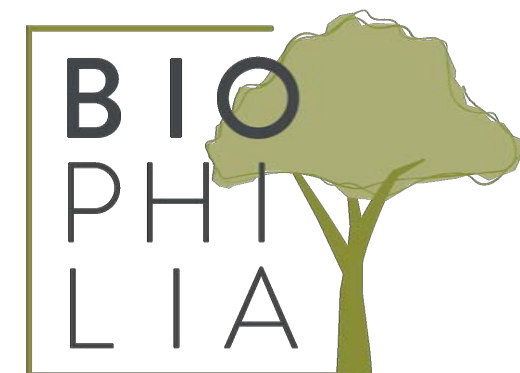
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L2.01

SCALE:

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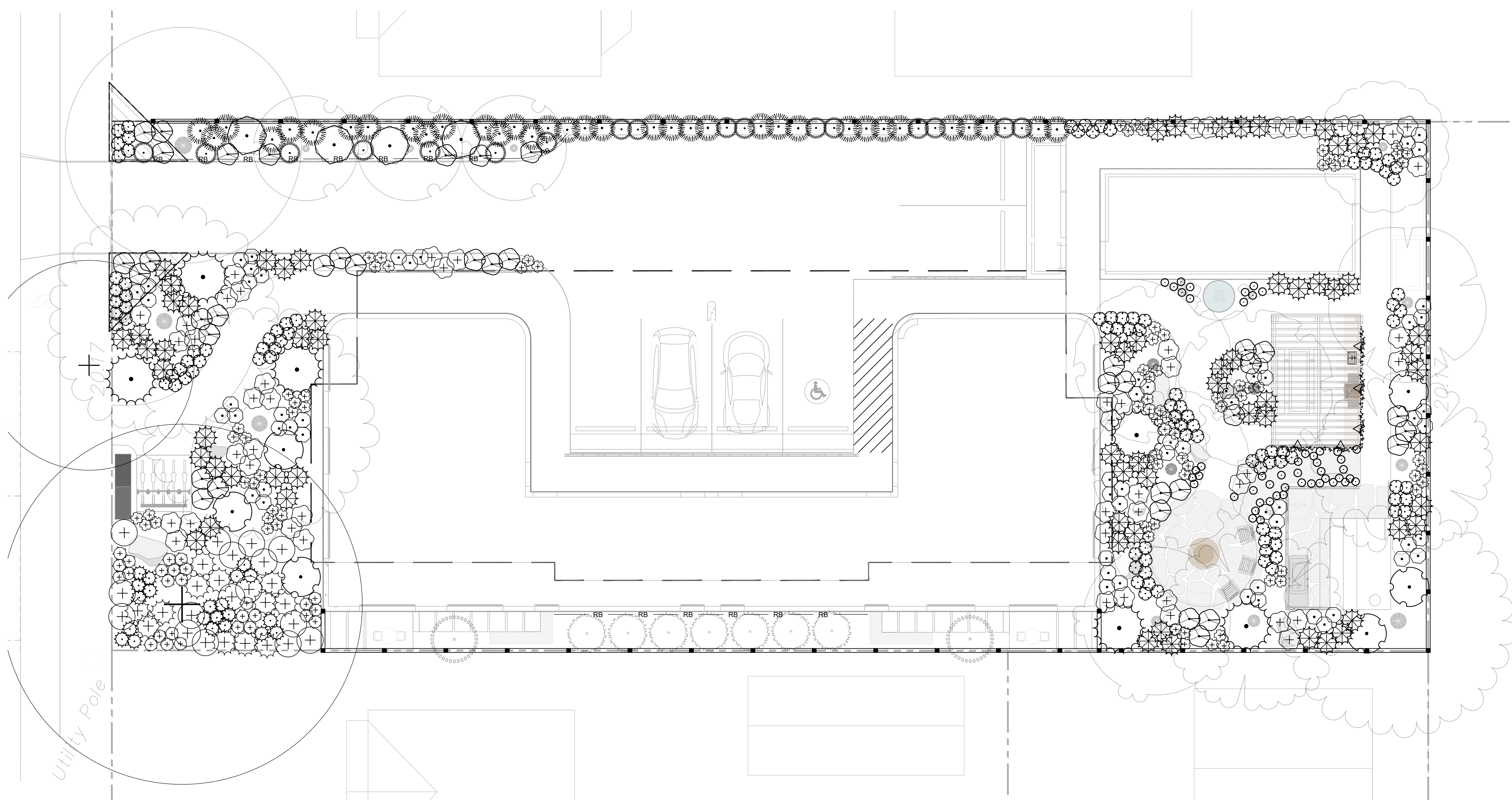
1608 Camosun Street, Victoria BC V8T 3E6
 Info@biophilcollective.ca 250 590 1156

OWNER/CLIENT:

PROJECT NAME:
1691 Chandler

PROJECT ADDRESS:
**1691 Chandler Ave
 Victoria, BC V8S 1N7**

DESIGNED BY: BIANCA BODLEY
 DRAWN BY: CHARLIE TWYFORD



LEGEND

- PROPERTY LINE
- BUILDING ROOFLINE
- EXISTING TREES
 • TO REMAIN
- RB — ROOT BARRIER

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
⊙	BS	21	Blechnum spicant	Deer Fern	#3 Container
⊙	CK	35	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#3 Container
⊙	CM	27	Convallaria majalis	Lily of the Valley	#2 Container
⊙	GS	16	Gaultheria shallon	Salal	#3 Container
⊙	JJ	5	Jasminum officinale	Poet's Jasmine	#2 Container
⊙	LA	39	Lavandula angustifolia	English Lavender	#3 Container
⊙	MD	68	Miscanthus sinensis 'Yakushima'	Yakushima Dwarf Eulalia Grass	#3 Container
⊙	NR	52	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	#3 Container
⊙	MI	17	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	#3 Container
⊙	PP	6	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#10 Container
⊙	PM	12	Polystichum munitum	Western Sword Fern	#3 Container
⊙	RC	6	Rhododendron x 'Cunningham's White'	Cunningham's White Rhododendron	#10 Container
⊙	RO	4	Rosmarinus officinalis	Rosemary	#5 Container
⊙	RH2	63	Rudbeckia hirta	Black-eyed Susan	#3 Container
⊙	SE	85	Salvia farinacea 'Victoria White'	Victoria White Mealy Sage	#2 Container
⊙	SS	103	Stachys byzantina 'Silver Carpet'	Silver Carpet Lamb's Ears	#2 Container
⊙	TP	49	Thymus pseudolanuginosus	Woolly Thyme	4 inch.

A TOTAL OF 69.4% OF THE ON-SITE PLANTING PROVIDES POLLINATOR SUPPORT AS REQUIRED PER THE DESIGN GUIDELINES FOR: MULTI-UNIT RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL (2019).

PLANTING NOTES

1. ALL PLANT MATERIAL TO CLS & BC SLA STANDARDS.
2. PLANTS TO BE SOURCED FROM THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
3. CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
4. ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
5. ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS (CLS).
6. REFER TO CIVIL AND MECHANICAL FOR DRAINS.
7. ALL LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM; SEE IRRIGATION PLAN.
8. IF REQUIRED, MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE MUNICIPAL SOURCE.

SOIL NOTES

- ORGANIC MATTER CONTENT OF 15% DRY WEIGHT IN PLANTING BEDS.
- DEPTH OF 450 mm FOR SHRUB/ TREE BEDS.
- DEPTH OF 300 mm FOR TURF.
- PH BETWEEN 6.0 TO 8.0.
- SUBSOIL SCARIFIED TO A DEPTH OF MINIMUM 100 MM WITH SOME TOPSOIL TO BE INCORPORATED INTO THE SUBSOIL.
- PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 50 mm OF ORGANIC MATERIALS UNLESS OTHERWISE SPECIFIED.
- A COMPREHENSIVE SOIL ANALYSIS WILL BE CONDUCTED TO EVALUATE THE QUALITY OF THE EXISTING SOIL AND ITS FEASIBILITY FOR SUPPORTING NEWLY PROPOSED PLANTING.

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3	ISSUED FOR DP	26/01/28
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SEAL

NORTH ARROW



DRAWING TITLE:

PLANTING PLAN

DWG NO:

L2.02

SCALE:

1:100



SHRUBS



Cistus x argenteus 'Silver Pink' | Silver Pink Rockrose



Daphne x transatlantica 'Eternal Fragrance' | Daphne 'Eternal Fragrance'



Pinus mugo var. pumilio | Dwarf Mugo Pine



Rhododendron x 'Cunningham's White' | Cunningham's White Rhododendron

GRASSES



Deschampsia cespitosa | Tufted Hairgrass



Miscanthus sinensis | Chinese Silver Grass



Nassella tenuissima | Mexican Feather Grass

SCENTED PERENNIALS



Convallaria majalis | Lily of the Valley



Jasminum officinale | Jasmine



Lavandula angustifolia | English Lavender



Salvia yangii | Russian Sage

EDIBLE



Salvia rosmarinus | Rosemary



Salvia officinalis | Sage



Thymus pseudolanuginosus | Woolly Thyme

PERENNIALS



Achillea millefolium | White Yarrow



Allium stipitatum 'White Giant' | White Flowering Onion



Nepeta racemosa 'Walker's Low' | 'Walker's Low' Catmint



Salvia farinacea 'Victoria White' | 'Victoria White' Mealy Sage



Stachys byzantina | Lamb's Ear



Verbena bonariensis | Purpletop Vervain



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilicollective.ca 250 590 1156

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DESIGNED BY: BIANCA BODLEY
DRAWN BY: CHARLIE TWYFORD

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1	ISSUED FOR COODINATION	25/09/11
NO.	ISSUE	YY/MM/DD

SEAL

NORTH ARROW

DRAWING TITLE:

PLANTING PALETTE

DWG NO:

L2.03

SCALE:

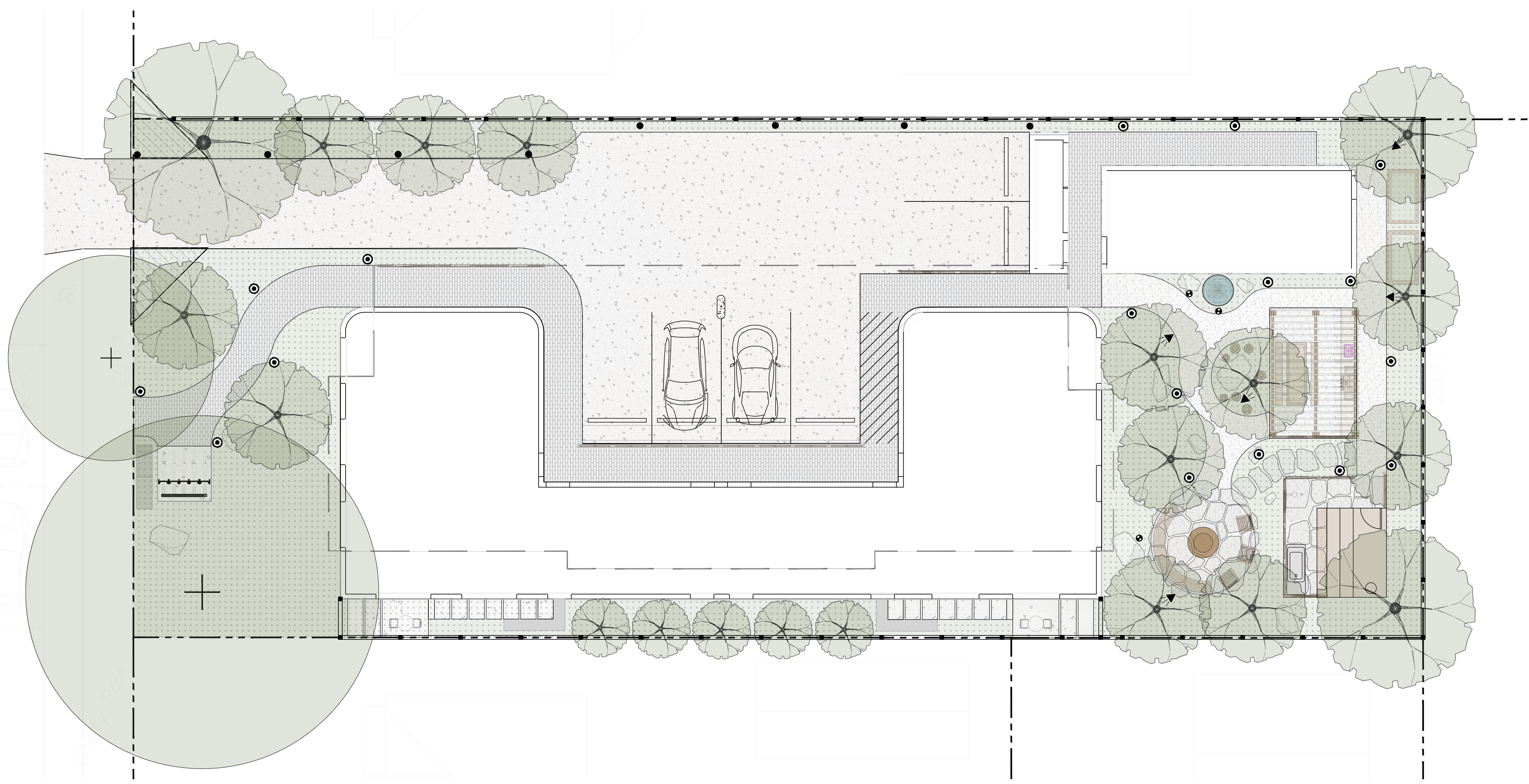
NTS

OWNER/CLIENT:

PROJECT NAME:
1691 Chandler

PROJECT ADDRESS:
1691 Chandler Ave
Victoria, BC V8S 1N7

DESIGNED BY: BIANCA BODLEY
 DRAWN BY: CHARLIE TWYFORD



LEGEND

- PROPERTY LINE
- BUILDING ROOFLINE
- EXISTING TREES
- TO REMAIN

LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	PATH LIGHT	18
	TREE UPLIGHT	5
	FEATURE LIGHT	4
	IN-GROUND LIGHT	8

LIGHTING NOTES

- LANDSCAPE LIGHTING TO BE DARK SKY COMPLIANT.
- LANDSCAPE LIGHTING TO BE COORDINATED WITH ELECTRICAL.

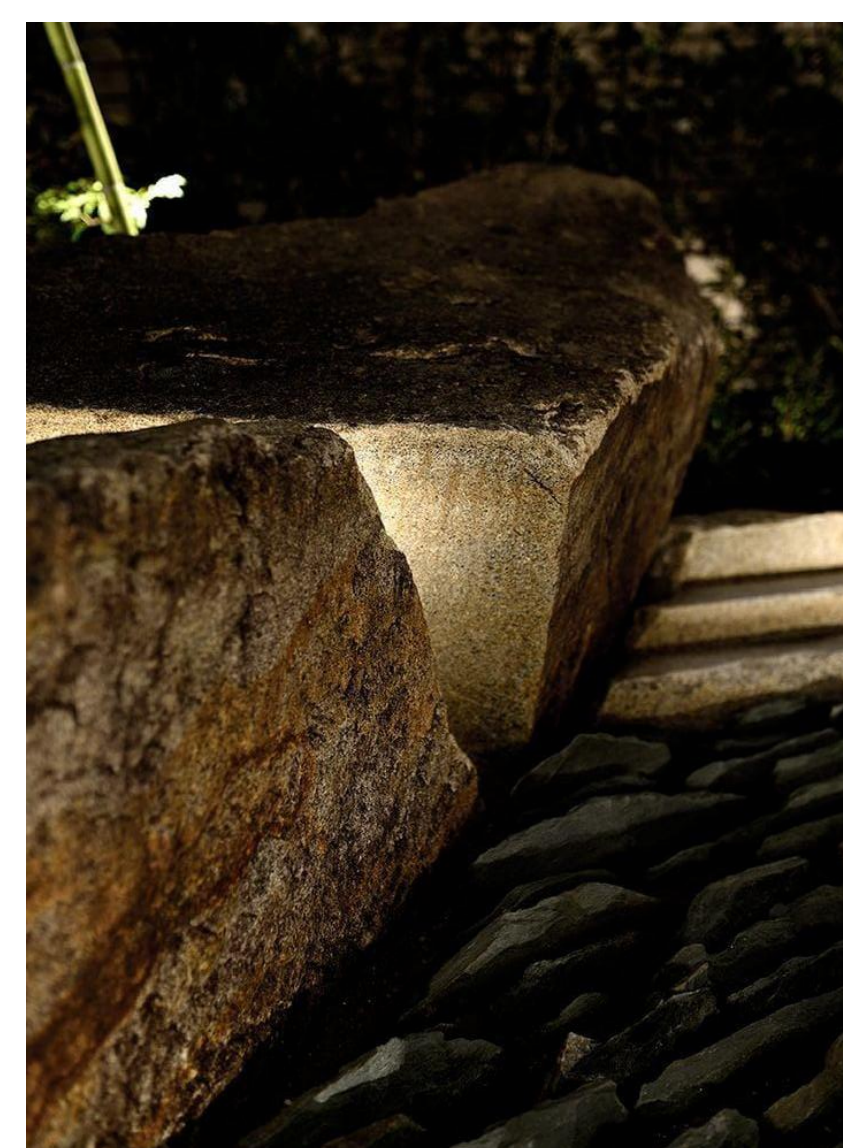
PRECEDENTS



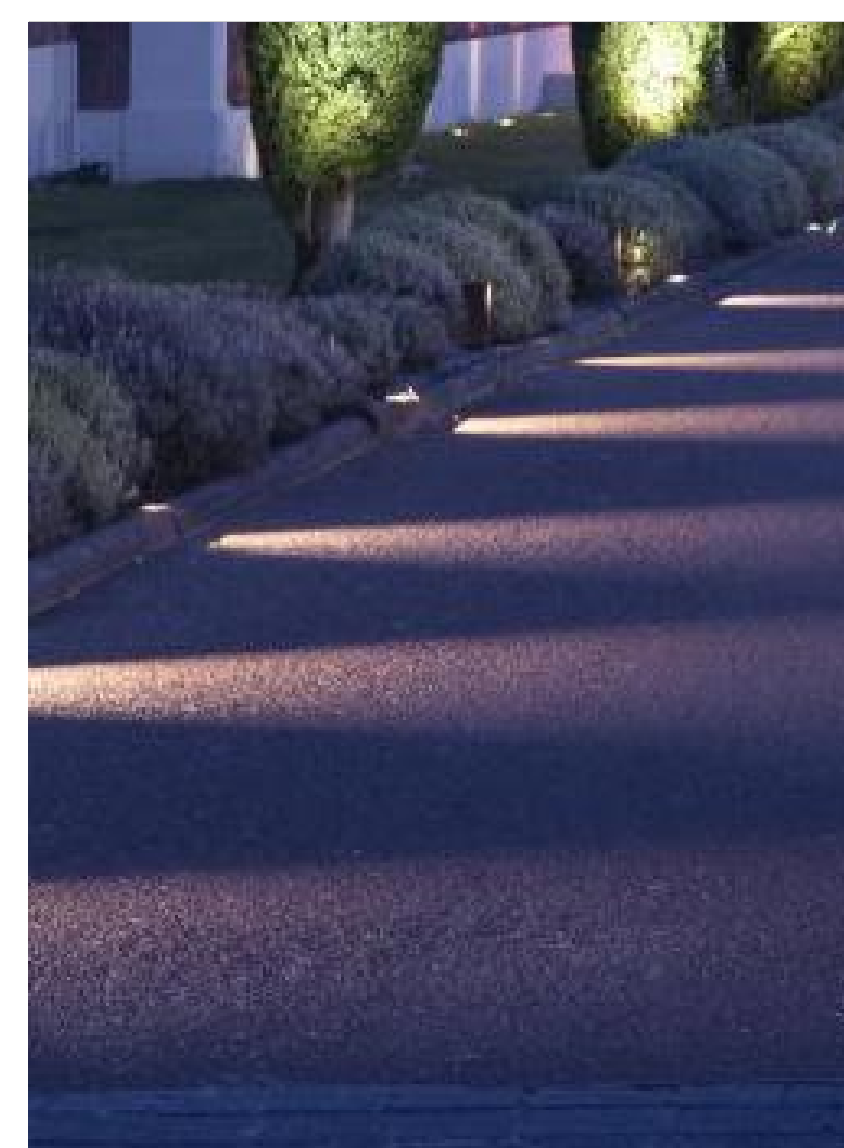
TREE UPLIGHTING



PATH LIGHTING



FEATURE LIGHTING



IN-GROUND LIGHTING

NO.	ISSUE	YY/MM/DD
3	ISSUED FOR DP	26/01/28
2	ISSUED FOR COODINATION	25/10/24
1	ISSUED FOR COODINATION	25/09/11
NO.	ISSUE	YY/MM/DD

SEAL

NORTH ARROW



DRAWING TITLE:

LIGHTING PLAN

DWG NO:

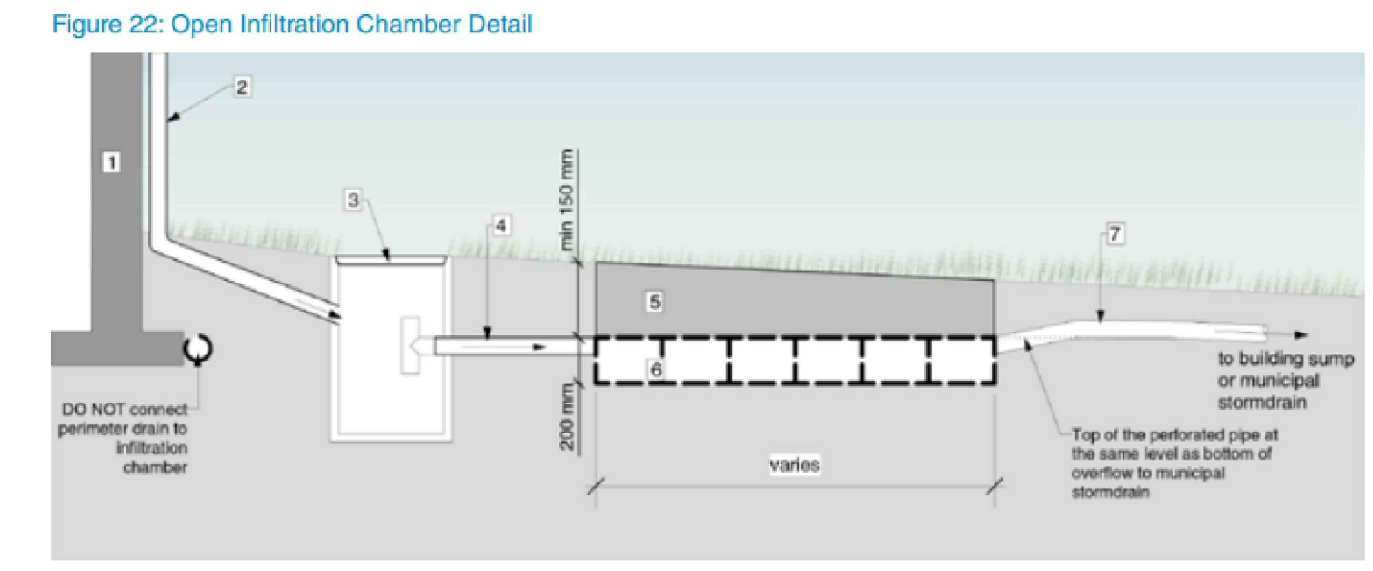
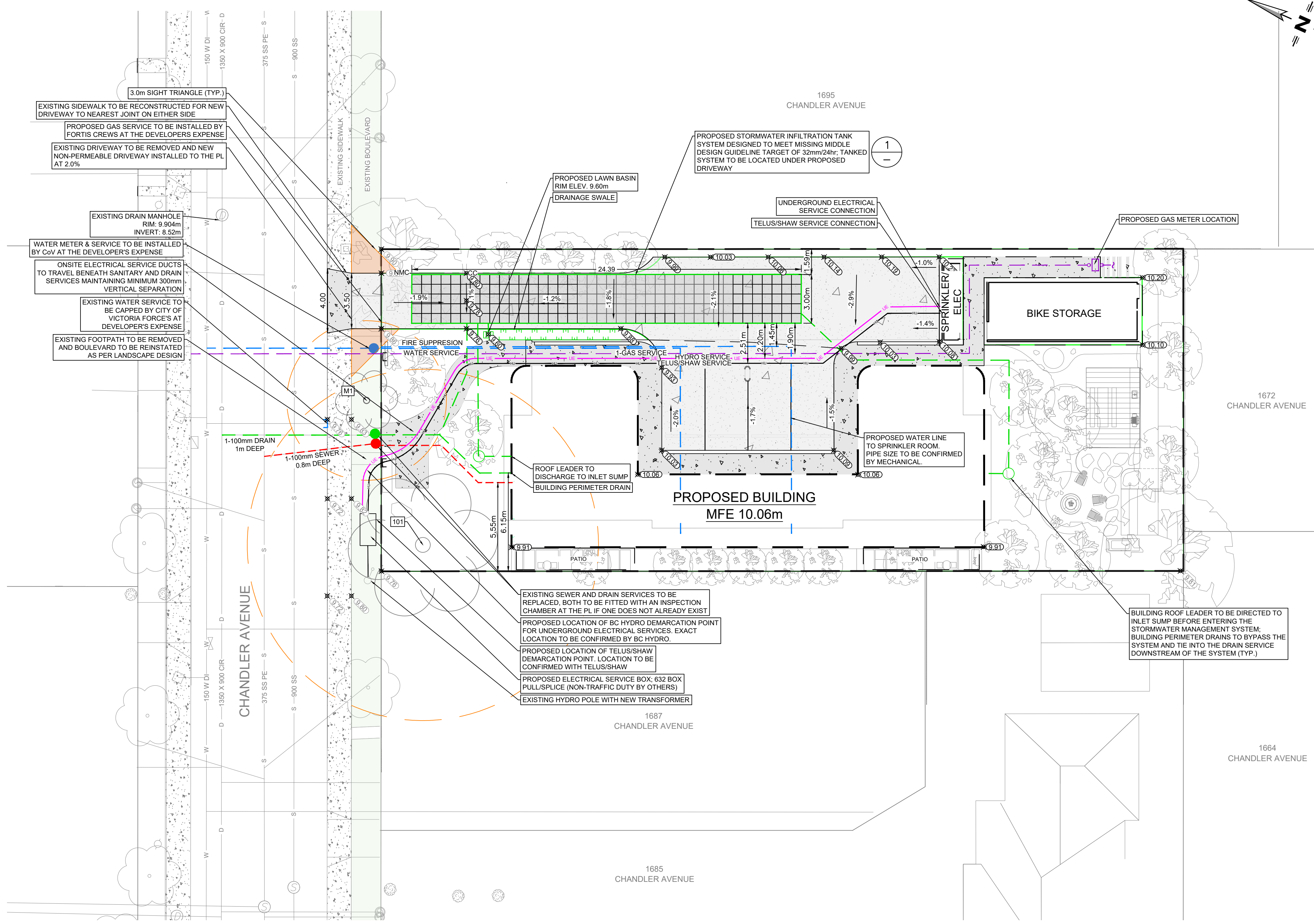
L3.01

SCALE:

1:100



1691 CHANDLER AVENUE PROPOSED 6-UNIT DEVELOPMENT



- Open Infiltration Chamber Materials**
- Structural wall
 - Building rainwater leader/downspout
 - Infiltration chamber sump
 - Solid pipe to infiltration chamber
 - Growing medium
 - Open grate chamber system, 200 mm depth
 - Non-woven geotextile on bottom, sides and top of drain rock
 - Solid overflow pipe complete with PVC backflow preventer valve (if required) as per City Plumbing Code.

STORMWATER SIZING CALCULATIONS:

MISSING MIDDLE DESIGN GUIDELINES:

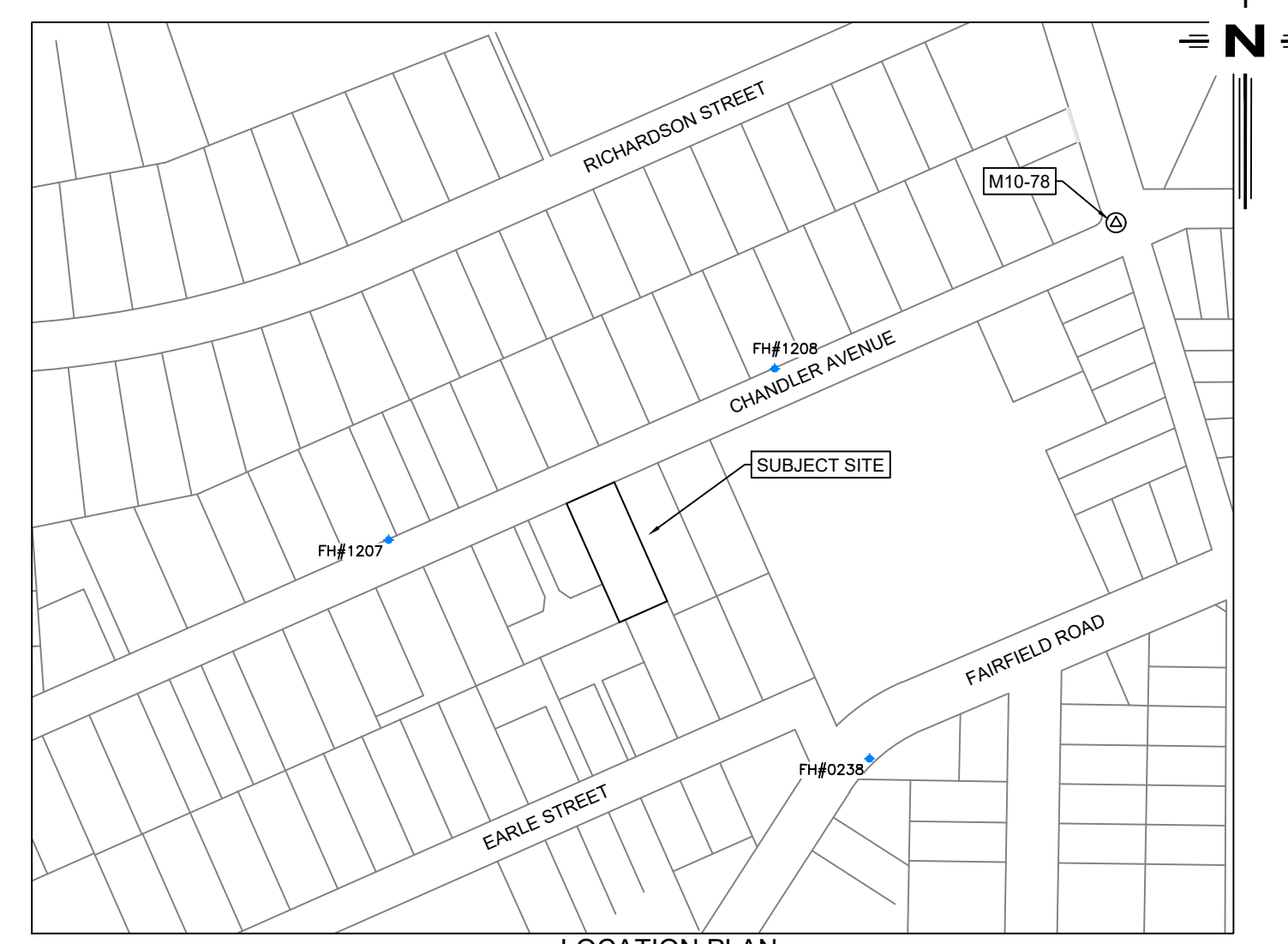
THE CITY OF VICTORIA'S TARGET IS 32mm/24hr
SUGGESTED MINIMUM HYDRAULIC CONDUCTIVITY = 2mm/hr OR 48mm/day

CHOSEN STORM WATER MANAGEMENT STRATEGY: OPEN INFILTRATION CHAMBER

PER PAGE 56 IN THE PROFESSIONAL RAINWATER MANAGEMENT STANDARDS THE SIZING CALCULATION IS: PERMEABLE BASE AREA = IMPERVIOUS TRIBUTARY AREA x SIZING FACTOR
WHERE THE SIZING FACTOR IS: 13% MINIMUM AND CALCULATED: 32 / (24 x Ks + n x Dr)
Ks = HYDRAULIC CONDUCTIVITY
Dr = DEPTH OF OPEN CHAMBER SYSTEM
n = POROSITY OF DRAIN ROCK (0.35 TYP. FOR K OR 0.95 FOR TYPICAL OPEN CRATE SYSTEM)

SIZING CALCULATIONS:
HYDRAULIC CONDUCTIVITY = 2mm/hr (ASSUMED MINIMUM)
SIZING FACTOR = 13% (MAX Dr = 200mm WHEN Ks = 2mm/hr)
IMPERVIOUS AREA = 542m²
PERMEABLE BASE AREA = 542m² x 13% = 71m² REQUIRED
PERMEABLE AREA PROVIDED = 74.4m²

DETAIL 1 CITY OF VICTORIA OPEN INFILTRATION CHAMBER DETAIL

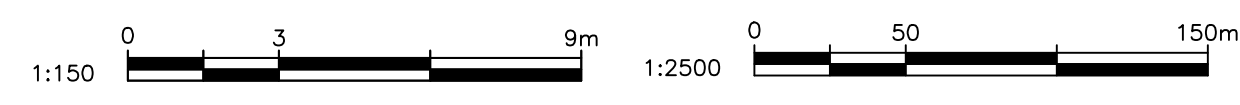


LEGAL DESCRIPTION: THE EAST 1/2 OF LOT 29, SECTION 68, VICTORIA DISTRICT, PLAN 290

BC 1 CALL

THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION

1-800-474-6886



EXISTING		PROPOSED	
○	SANITARY MANHOLE	○	SANITARY MANHOLE
○	STORM MANHOLE	○	STORM MANHOLE
○	CATCH BASIN	○	CATCH BASIN
○	GATE VALVE	○	GATE VALVE
○	FIRE HYDRANT	○	FIRE HYDRANT
○	SANITARY SEWER	○	SANITARY SEWER
○	SANITARY FORCE MAIN	○	SANITARY SEWER
○	SANITARY LOW PRESSURE	○	STORM SEWER
○	STORM MAIN	○	WATER MAIN
○	WATER MAIN	○	
○	DITCHLINE	○	DITCHLINE
○	SWALE	○	SWALE
○	INLET/OUTLET	○	INLET/OUTLET
○	HEADWALL	○	HEADWALL
○	END CAP	○	END CAP
○	GAS	○	GAS
○	COMMUNICATIONS	○	COMMUNICATIONS
○	OVERHEAD HYDRO POWER	○	OVERHEAD HYDRO POWER
○	UNDERGROUND HYDRO POWER	○	UNDERGROUND HYDRO POWER
○	OVERHEAD COMMUNICATIONS	○	OVERHEAD COMMUNICATIONS
○	UNDERGROUND COMMUNICATIONS	○	UNDERGROUND COMMUNICATIONS
○	OVERHEAD HYDRO POWER	○	OVERHEAD HYDRO POWER
○	UNDERGROUND HYDRO POWER	○	UNDERGROUND HYDRO POWER
○	OVERHEAD COMMUNICATIONS	○	OVERHEAD COMMUNICATIONS
○	UNDERGROUND COMMUNICATIONS	○	UNDERGROUND COMMUNICATIONS

ISSUE/REVISION INFORMATION				
ISSUE No.	DATE	DESIGNED	DRAWN	CHECKED
1	25/07/28	JP	JP	JRCE
2	26/01/22	JP	TM	JRCE

PERMIT No.: 1003310

SEAL

DRAFT (NOT FOR CONSTRUCTION)

CITY OF VICTORIA

1691 CHANDLER AVENUE
CONCEPTUAL SITE SERVICING PLAN

PROJECT No. 2989
DRAWING NAME C01
DRAWING No. 1 OF 1
REVISION No. 2

Design: JTA Drawn: JTA Checked: JJB
Scale: Hor: 1:150 Vertical: - Date: 2025/07/17

ISLANDER ENGINEERING
823 DISCOVERY STREET
VICTORIA, B.C. V8T5G4
PHONE 250.590.1200
www.islanderengineering.com

GWAL ENGINEERING: January 22, 2025 / C:\sharcut-targets-by-id\0901d\HY5um\T\khsd\450CLemc\Civil\Projects\2989 - 1691 Chandler Avenue\3 Drawings\2025-01-22 - 2989 - 1691 Chandler Avenue - Design Base.dwg
 1691 Chandler Avenue - Design Base.dwg