

TRANSPORTATION

780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

ISSUED FOR HERITAGE ALTERATION PERMIT

ARCHITECTURAL

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 35B

LANDSCAPE

PROJECT TEAM

OWNER

Reliance Properties	office of mcfarlane biggar architects + designers	Gauthier + Associates Landscape Architects	KOR Structural	WATT Consulting Group	Ryzuk Geotechnical Ltd.
305-111 Water St Vancouver, BC V6B 1A7 604.683.2404	301 - 1825 Quebec St Vancouver, BC V5T 2Z3 604.558.6344	629 Atlantic St Vancouver, BC V6A 2J9 604.317.9682	Suite 501 - 510 Burrard St Vancouver, BC V6C 3A8 778.652.1885	302 - 740 Hillside Avenue Victoria, BC V8T 1Z4 250.208.3874	#6-40 Cadillac Avenue Victoria, BC V8Z 1T2 250.475.3131
Contact Juan Pereira juanp@relianceproperties.ca	Contact Steve McFarlane smcfarlane@officemb.ca	Contact Bryce Gauthier bryce@gauthierla.com	Contact John Markulin jmarkulin@korstructural.com	Contact Tania Wegwitz twegwitz@wattconsultinggroup.com	Contact Cameron Schellenberg cschellenberg@ryzuk.com
MECHANICAL	ELECTRICAL	ARBORIST	CIVIL	CODE	ENVELOPE
Avalon Mechanical	e2 Engineering Inc.	D. Clark Arboriculture	WSP	TCCP	JRS Engineering
#520 -1112 W Pender St Vancouver, BC V6E 2S1 250-940-2976	549 Herald Street Victoria, BC V8W 1S5 778.402.3060	2741 The Rise Victoria, BC V8T 3T4 250.208.1568	760 Enterprise Crescent Victoria, BC V8Z 6R4 250.475.1000	769 Roslyn Blv. North Vancouver, BC V7G 1P4 604.929.8520	#301 - 3450 Uptown Blvd Victoria, BC V8Z 0B9 250.475.3131
Contact Kevin Jackson kjackson@avalonmechanical.com	Contact Jay Singh jay.singh@e2eng.ca	Contact Darryl Clark clarkarbor@gmail.com	Contact Jeff Somerville Jeff.Somerville@wsp.com	Contact Barry Thorson barry@tccp.ca	Contact Adam Jarolim ajarolim@jrsengineering.com

STRUCTURAL

ARCHITECTURAL DRAWINGS

COVER SHEET

A001 3D VIEWS GENERAL NOTES + ABBREVIATIONS CONTEXT PLAN A011 PROJECT STATISTICS PROJECT STATISTICS DIAGRAMS A013 CONTEXT STREETSCAPES CODE ANALYSIS - PLANS A030 SITE PLAN EXISTING LEVEL 1 DEMOLITION/RETENTION PLAN LEVEL 2 DEMOLITION/RETENTION PLAN LEVEL 3 DEMOLITION/RETENTION PLAN LEVEL 4 DEMOLITION/RETENTION PLAN LEVEL 5 DEMOLITION/RETENTION PLAN A036 DEMOLITION/RETENTION ELEVATION NORTH DEMOLITION/RETENTION ELEVATION SOUTH DEMOLITION/RETENTION ELEVATIONS A039 DEMOLITION/RETENTION ELEVATIONS

> SITE PLAN PROPOSED LEVEL 1 FLOOR PLAN LEVEL 2 FLOOR PLAN LEVEL 3 FLOOR PLAN

ARCHITECTURAL DRAWINGS

LEVEL 4 FLOOR PLAN LEVEL 5 FLOOR PLAN A106 **ROOF PLAN ELEVATION NORTH** ELEVATION SOUTH (FAIRFIELD ROAD) A202 EAST ELEVATION A203 WEST ELEVATION

TYPICAL OPENINGS BUILDING LONGITUDINAL SECTION EAST-WEST

BUILDING CROSS SECTIONS EAST-WEST BUILDING CROSS SECTIONS NORTH-SOUTH

LANDSCAPE DRAWINGS

L0.0 COVER SHEET L0.1 TREE SURVEY L0.2 TREE MANAGEMENT PLAN

L1.0 OVERALL SITE PLAN L1.1 WEST ENLARGEMENT PLAN L1.2 NORTH ENLARGEMENT PLAN

L1.3 SOUTH ENLARGEMENT PLAN L2.0 LEVEL 5: MATERIALS AND LAYOUT PLAN

CIVIL DRAWINGS

C01 SITE AND DEMOLITION PLAN

C02 CONCEPTUAL CIVIL SERVICING PLAN C03 CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING

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GEOTECHNICAL

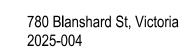
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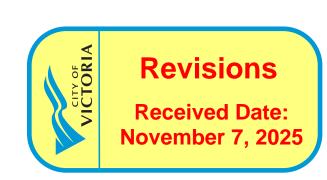
A100

1 OCTOBER 31, 2025 ISSUED FOR HERITAGE ALTERATION PERMIT















1 VIEW FROM BLANSHARD ST NORTH

A001 1:1



2 VIEW FROM BURDETT AND PENWILL
A001 1:1

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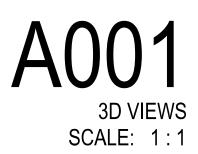
780 Blanshard Hotel



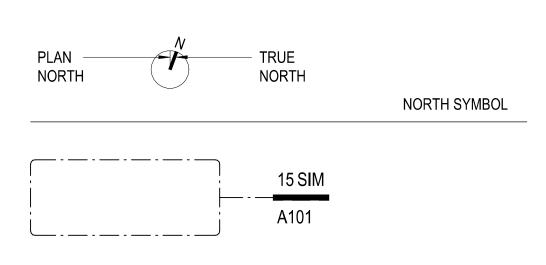


3 VIEW FROM FAIRFIELD ROAD
A001 1:1

PNN



SYMBOLS LEGEND



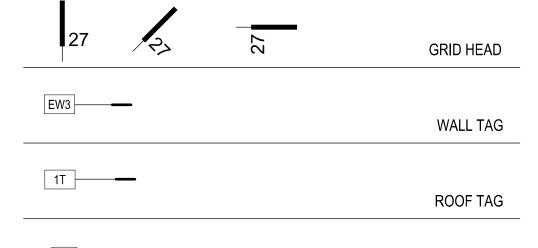


1 View Name R101 1/8" = 1'-0" DRAWING TITLE

Elevation **ELEVATION MARKER**

Elevation Name ELEVATION/GRADE SYMBOL SECTION SYMBOL

ELEVATION SYMBOL



MATERIAL TAG FIXTURES / EQUIPMENT TAG

MILLWORK TAG WINDOW TAG CW DOOR TAG

HATCHES

PLYWOOD

EARTH

SAND

DEMO

EXISTING AREA TO BE

EXISTING ELEMENT TO BE

PRESERVED + RESTORED

RETAINED + REUSED

ROOM TAG

CONCRETE EXISTING	
CONCRETE NEW	
PARTITION EXISTING	
CONCRETE MASONRY	
STEEL	
ALUMINIUM	
GB	
GB TYPE X	

MINERAL WOOL

SPRAY INSULATION RIGID INSULATION **RIGID INSULATION 02** SEMI RIGID INSULATION BATT/LOOSE FILL INSULATION

GRAVEL DRAINAGE LAYER

ENGINEERED FILL COMPACTED GRANULAR FILL

EXISTING AREA TO BE PRESERVED + RESTORED

ABBREVIATIONS

LAM LAMINATE / LAMINATED

LS LAMP STANDARD LT LIGHT

AB	BREVIATIONS		
		MAT MAX MC MECH MET MFR	MATERIAL MAXIMUM METAL CLAI MECHANICA METAL MANUFACTI
APPRO ARCH BCBC	JM ALUMINIUM DX APPROXIMATE(LY) ARCHITECTURAL BRITISH COLUMBIA BUILDING CODE	MIN MIR MISC MTD MUL	MOUNTED MULLION
BLDG BO BOH C/W		MW N/A NBC NIC	MICROWAVI NOT APPLIC NATIONAL B NOT IN CON
CJ CL CO COMM CON	CATCH BASIN CAST IN PLACE CONTROL JOINT CENTRE LINE CLEAN OUT COMMUNICATION CONCRETE CONTINUOUS	NOM NTS OC OD OH OP OPP	NOMINAL NOT TO SCA ON CENTRE OUTSIDE DI OVER HEAD OPERABLE I OPPOSITE
CPT CTR DBL DET	CARPET CENTRE DOUBLE DETAIL	OV PA PLY PL	OVEN PUBLIC ADD PLYWOOD PROPERTY
DEMO DF DIA DIM	DEMOLITION DRINKING FOUNTAIN DIAMETER DIMENSION	PT PTD PTN	PAINT PAINTED PARTITION
DR	DRAWING DOOR DRAWER DISHWASHER	REV RM RO RVL	REQUIRED REVISION O ROOM
EJ ELEC EMER ELEV ENCL EQ EQUIP EXIST EXP	EXPANSION JOINT ELEVATION ELECTRIC(AL) EMERGENCY ELEVATOR ENCLOSURE EQUAL EQUIPMENT EXISTING EXPOSED EXTERIOR	SC SCHEI SCWD SECT SH SP SPEC SQ SQ FT SQ M	SIAMESE CO SCHEDULI SOLID CORE SECTION SHELF SPRINKLER SPECIFICAT SQUARE SQUARE FE SQUARE ME STAINLESS
FA FD FF FHC FIN FLR FND FO	FLOOR DRAIN FINISHED FLOOR FIRE HOSE CABINET FINISH(ED) FLOOR FOUNDATION FACE OF	SSG ST STD STL STOR STRU SUSP	STRUCTURA STAIR STANDARD STEEL STORAGE STRUCTURA SUSPENDED
FP FR FRR FT	FRIDGE	TBD TD	TO BE CONF TO BE DETE TRENCH DR TONGUE AN TILE
G2S GA GALV GL GR	GRIDLINE GOOD ONE SIDE GOOD TWO SIDES GAUGE GALVANIZED GLASS or GLAZED GRADE GROUND	TOC TOF TOFF TOS TOW	TOP OF TOP OF CUP TOP OF FINI TOP OF STR TOP OF WAI TYPICAL
	GYPSUM BOARD HOSE BIB HOLLOW CORE WOOD DOOR	U/S UH	UNLESS NO UNDERSIDE UTITLITY HO
HPDL	HARDWARE HIGH PRESSURE DECORATIVE LAMINATE HORIZONTAL HEIGHT	VERT VEST	VANCOUVEI VERTICAL VESTIBULE VERIFY IN F
INT	INSULATION INTERIOR JANITOR CLOSET	WD WRHS	WATER CLC WOOD WAREHOUS WAREHOUS
JT	JOINT	WV W/	WOOD VENE

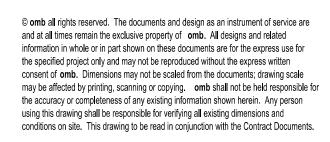
	MAX MC MECH MET MFR MIN MIR MISC MTD MUL	MATERIAL MAXIMUM METAL CLADDING MECHANICAL METAL MANUFACTURER MINIMUM MIRROR MISCELLANEOUS MOUNTED MULLION MICROWAVE
	NBC NIC	NOT APPLICABLE NATIONAL BUILDING CODE NOT IN CONTRACT NOMINAL NOT TO SCALE
	OC OD OH OP OPP OV	ON CENTRE OUTSIDE DIMENSION OVER HEAD OPERABLE PARTITION OPPOSITE OVEN
	PL PT PTD	PUBLIC ADDRESS SPEAKER PLYWOOD PROPERTY LINE PAINT PAINTED PARTITION
	REQ'D REV RM RO RVL	ROOF DRAIN REQUIRED REVISION OR REVERSE ROOM ROUGH OPENING REVEAL RAIN WATER LEADER
	SCHEE SCWD SECT SH SP SPEC SQ SQ FT SQ M SS SSG ST STD STL STOR STRU	SIAMESE CONNECTION SCHEDULE SOLID CORE WOOD DOOR SECTION SHELF SPRINKLER SPECIFICATION SQUARE SQUARE FEET SQUARE METRES STAINLESS STEEL STRUCTURALSILICONE GLASS STAIR STANDARD STEEL STORAGE STRUCTURAL SUSPENDED
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		UNLESS NOTED OTHERWISE UNDERSIDE UTITLITY HOLE
ATE	VERT VEST	VANCOUVER BUILDING BYLAW VERTICAL VESTIBULE VERIFY IN FIELD
	WD WRHS WH WV W/	WATER CLOSET WOOD WAREHOUSE WAREHOUSE WOOD VENEER WITH WITHOUT

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REVISION TAG

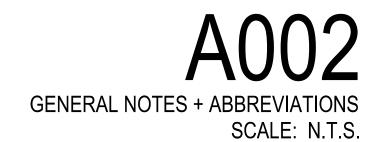


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301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 6344 E info@officemb.ca officemb.ca
1 Context Plan

A010 1:1000



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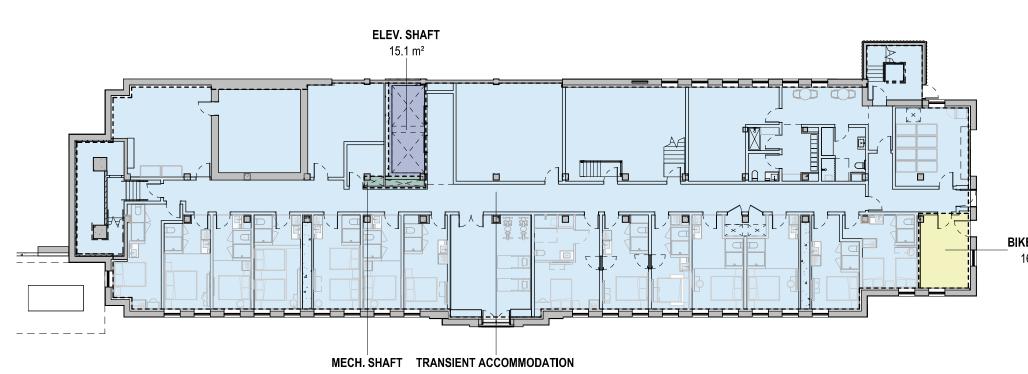
780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004

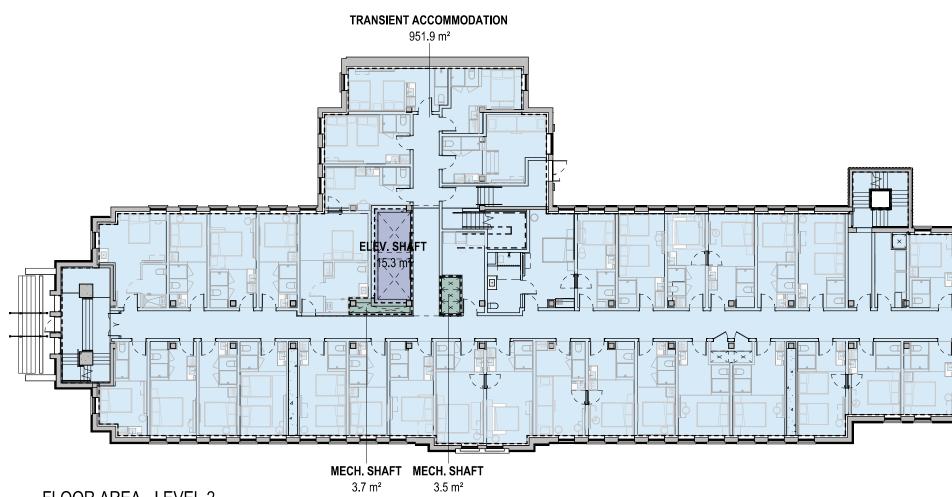


A010

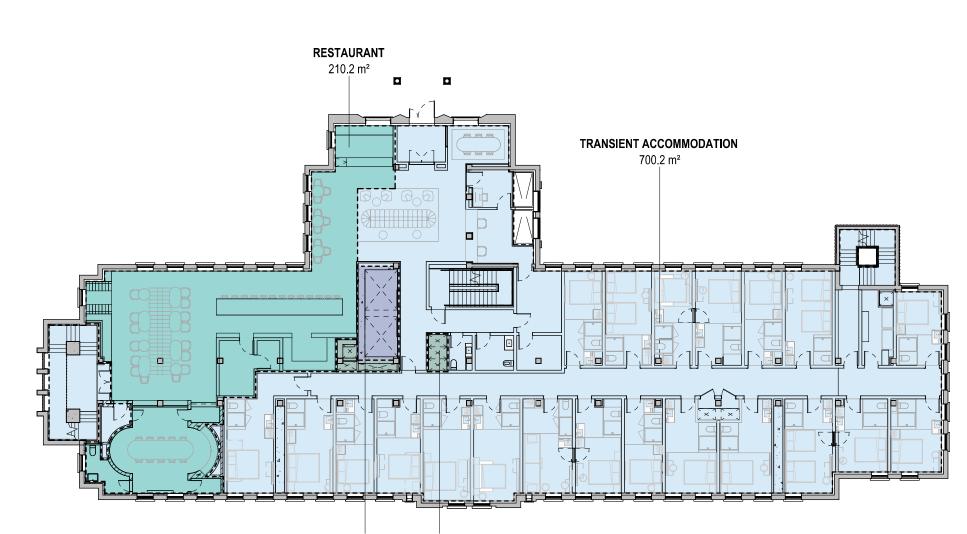
CONTEXT PLAN
SCALE: 1:1000



1 FLOOR AREA - LEVEL 1 A011 1 : 250



2 FLOOR AREA - LEVEL 2 A011 1:250



3 FLOOR AREA - LEVEL 3

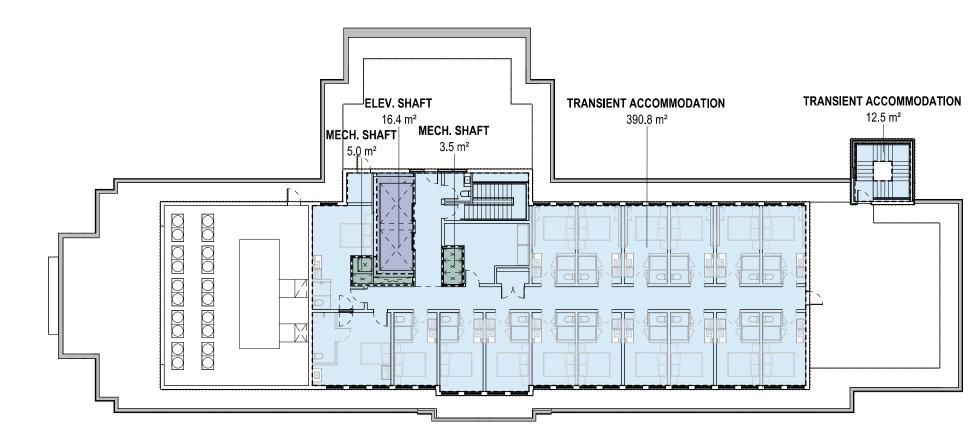
ELEV. SHAFT MECH. SHAFT 16.9 m² 3.4 m²

A011 1 : 250

TRANSIENT ACCOMMODATION MECH. SHAFT MECH. SHAFT 4.7 m² 3.5 m²

4 FLOOR AREA - LEVEL 4

A011 1:250



5 FLOOR AREA - LEVEL 5

A011 1:250

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780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004

FLOOR AREA

USE

BIKE ROOM ELEV. SHAFT MECH. SHAFT TRANSIENT ACCOMMODATION LEVEL 2 ELEV. SHAFT TRANSIENT ACCOMMODATION LEVEL 3 ELEV. SHAFT MECH. SHAFT MECH. SHAFT MECH. SHAFT TRANSIENT ACCOMMODATION 16.2 or 847.0 o	LEVEL 1	
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968.0 r	RESTAURANT	210.2 r
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ELEV. SHAFT 16.4 r MECH. SHAFT 8.5 r TRANSIENT ACCOMMODATION 403.3 r 428.2 r		
MECH. SHAFT 8.5 r TRANSIENT ACCOMMODATION 403.3 r 428.2 r	LEVEL 5 (EX.)	
TRANSIENT ACCOMMODATION 403.3 r 428.2 r	ELEV. SHAFT	16.4 r
428.2 r	MECH. SHAFT	8.5 r
	TRANSIENT ACCOMMODATION	403.3 r
TOTAL FLOOR AREA //1920 r		428.2 r
TOTAL I LOOK AINLA	TOTAL FLOOR AREA	4192.0 r

FLOOR AREA EXCLUSIONS

USE

LEVEL 1	
BIKE ROOM	16.2 r
ELEV. SHAFT	15.1 r
MECH. SHAFT	3.1 r
LEVEL 2	
ELEV. SHAFT	15.3 r
MECH. SHAFT	7.1 r
LEVEL 3	
ELEV. SHAFT	16.9 r
MECH. SHAFT	8.6 r
LEVEL 4	
ELEV. SHAFT	15.3 r
MECH. SHAFT	8.1 r
LEVEL 5 (EX.)	
ELEV. SHAFT	16.4 r
MECH. SHAFT	8.5 r
TOTAL EXCLUSIONS	130.8 r

FLOOR SPACE RATIO

SITE AREA = 2272m²

 $FSR = 4192m^2 (TOTAL AREA) - 130.8m^2 (EXCLUSIONS) = 4045.2m^2$ $FSR (TOTAL) = 4045.2m^2 / 2272m^2 = 1.78$

*TOTAL FLOOR AREA DOCUMENTED PER CITY OF VICTORIA DEFINITION, TO INSIDE FACES OF EXTERIOR WALLS.

LEGEND BIKE ROOM ELEV. SHAFT MECH. SHAFT RESTAURANT

TRANSIENT ACCOMMODATION

PARKING CALCULATIONS:

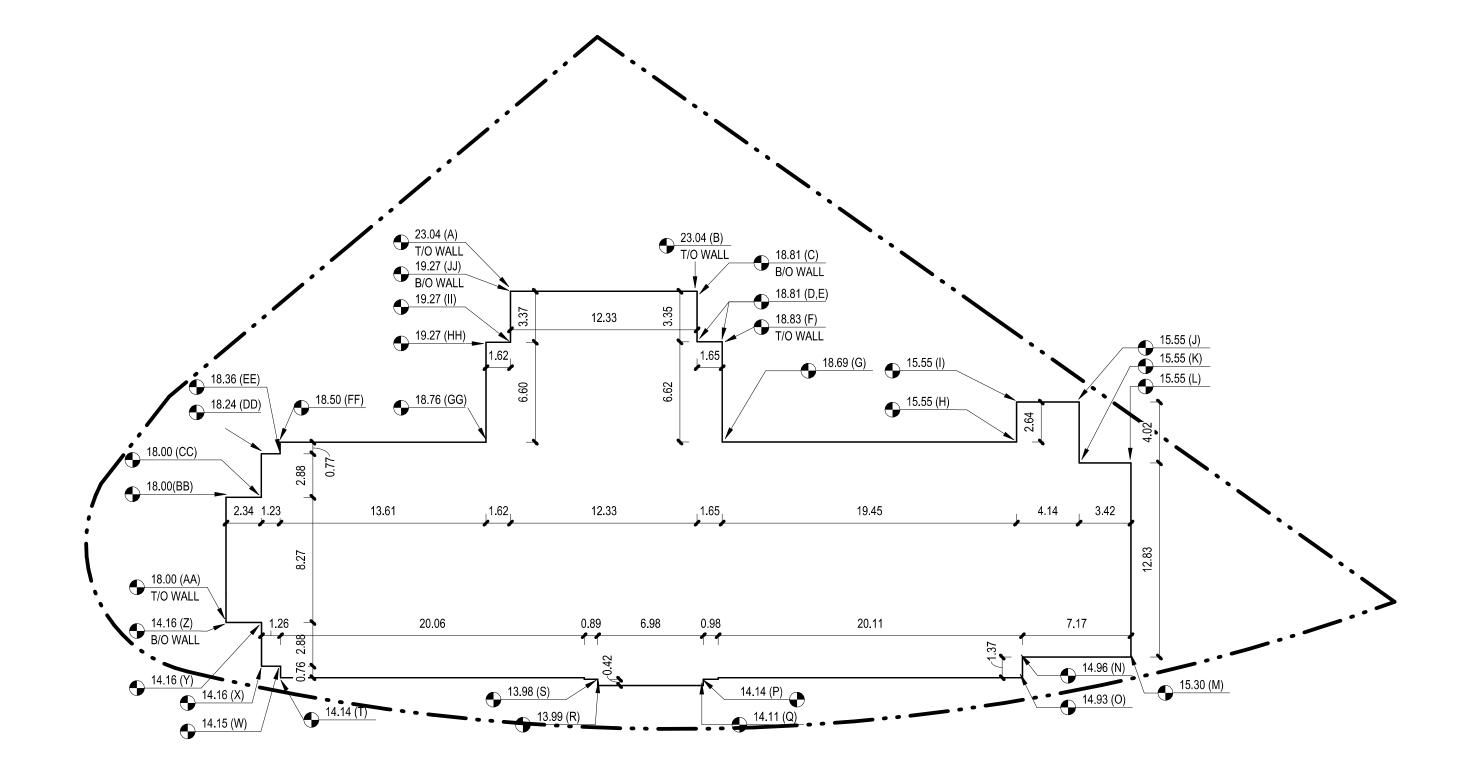
Bylaw	Use	Area (m²) / # of Suites	Required	Reference	Proposed	Reduction through TDM	Surplus
Bylaw 2018 (Part 5)	Transient Accommodation	124 Suites	31	0.25 spaces per room	27 (25 off-site) -5 inclusive of one (1) refer to TDM		+1
	Restaurant	210m ²	n/a	n/a	parking space and	memo	memo
	Total - 31	31		one (1) on-site van accessible parking space			

Note: 2 on-site accessible stalls to be electrified.

Bylaw	Use	Area (m²) / # of Suites	Required	Reference	Proposed	Surplus
Bylaw 2018 (Part 5)	Transient Accommodation	124 Suites	5	1 space per 25 rooms	11 inclusive of 1	+5
ST 95	Restaurant	210m ²	® P	1 space per 400m²	oversized stall	
	Total	÷	6	5 + 07		

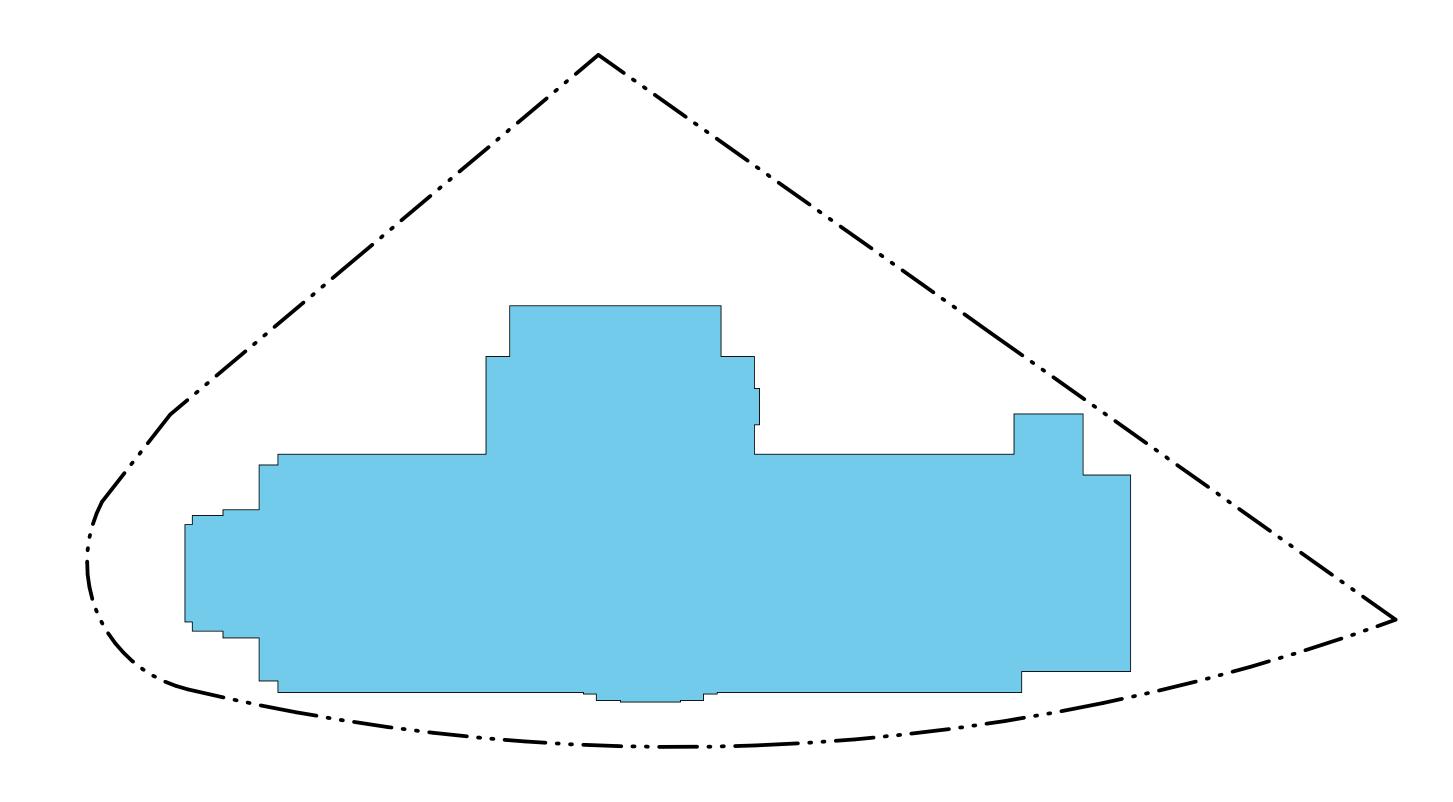
Note: all long term bicycle stalls to be electrified. Refer to TDM memo.

Bylaw	Use	Area (m²) / # of Suites	Required	Reference	Proposed	Surplus
Bylaw 2018 (Part 5)	Transient Accommodation	124 Suites	3	1 space per 40 rooms	6	+1
	Restaurant	210m²	2	1 space per 100m ²		
	Total	-	5	(+0)		



1 BUILDING AVERAGE GRADE PLAN

A012 1 : 250



2 SITE COVERAGE PLAN

POINT 1 POINT 2 DISTANCE TOTALS 3.35 1.65. 31.04 19.45 332.98 4.14 4.02 62.51 15.55 3.42 12.83 7.17 20.47 21.09 0.42 0.76 1.26 2.88 2.34 33.13 BB+CC 18.00 2.34 42.12 2.88 DD+EE EE+FF 0.77 14.19

TOTAL = 2951.84 PERIMETER = 176.78m AVERAGE PROPOSED GRADE = 16.70m

19.27

19.27

19.27

19.27 19.27 6.60

3.37

125.50

64.94

1.62 31.22

SITE COVERAGE:

FF+GG GG+HH

TOTAL (STRUCTURES) = 1,108.0 m² LOT AREA = $2,272 \text{ m}^2$

LOT COVERAGE = 48%

A012 1:250

2025-10-31 12:30:55 PM





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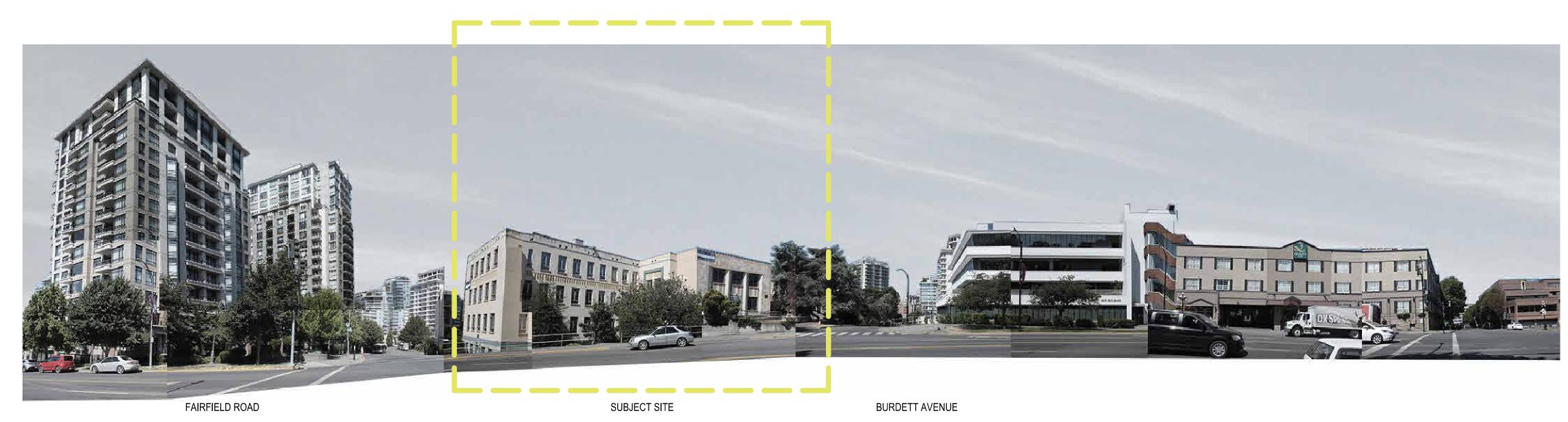
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780 Blanshard Hotel







1 STREETSCAPE ALONG BLANSHARD STREET

A013 N.T.S.



2 STREETSCAPE ALONG FAIRFIELD ROAD A013 N.T.S.

2025-10-31 12:30:56 PM





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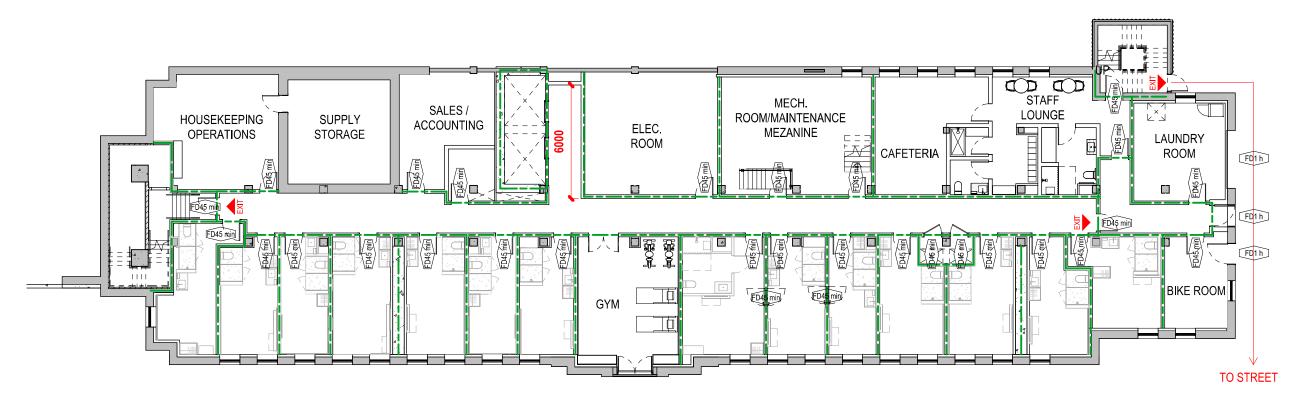
REV DATE DESCRIPTION 1 OCTOBER 31, 2025 ISSUED FOR HERITAGE ALTERATION PERMIT



780 Blanshard Hotel



CONTEXT STREETSCAPES SCALE: N.T.S.



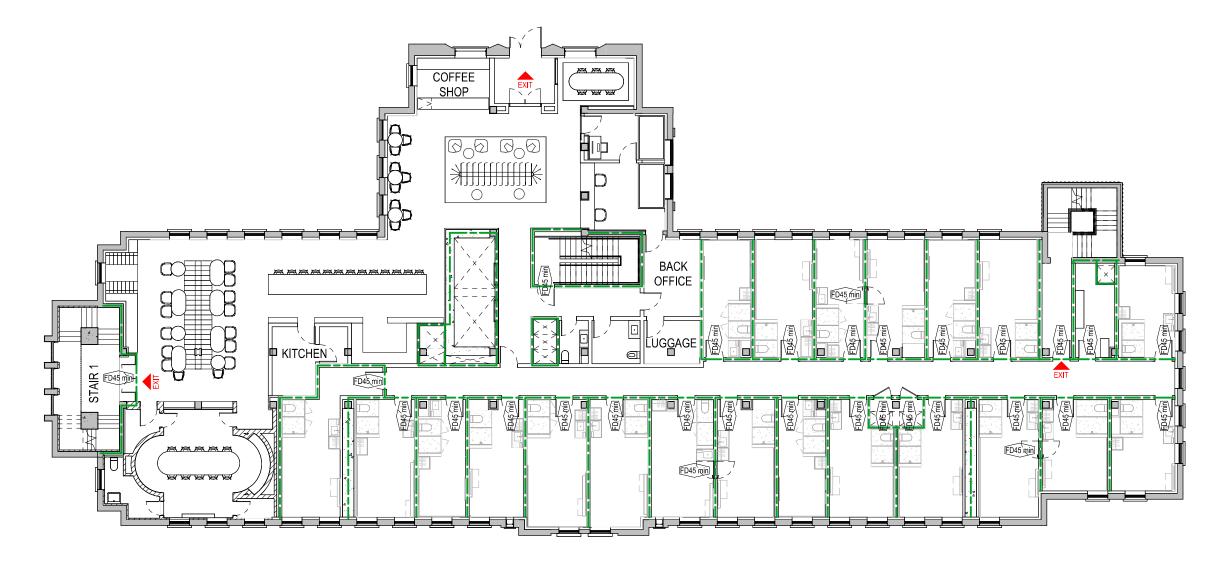
1 Code Analysis - Level 1

A021 1:200



2 Code Analysis - Level 2

A021 1:200



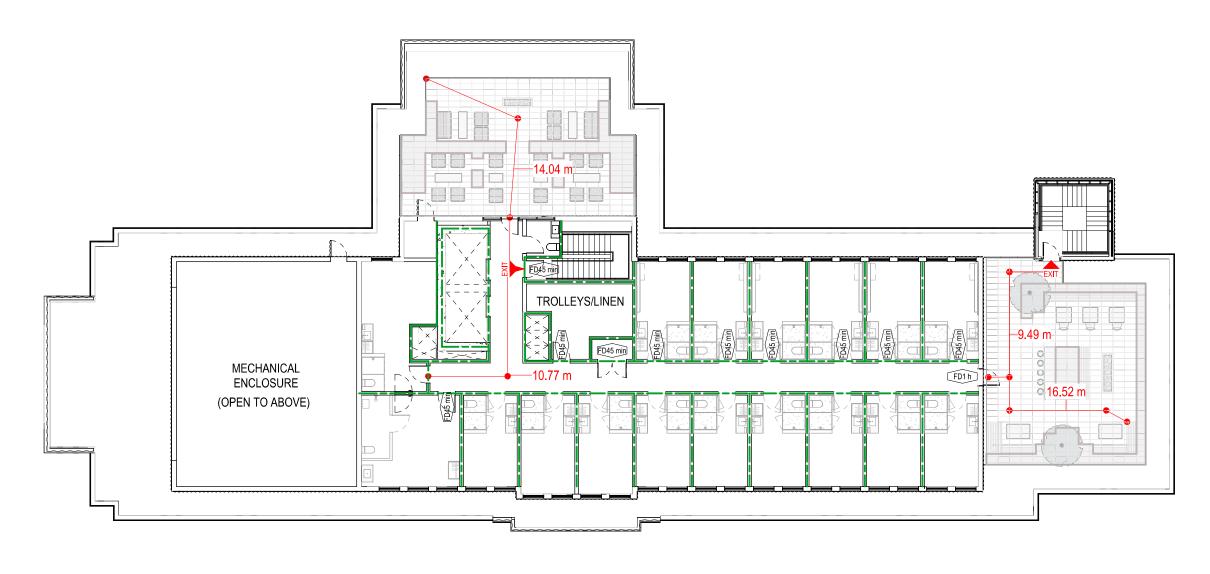
3 Code Analysis - Level 3

A021 1:200



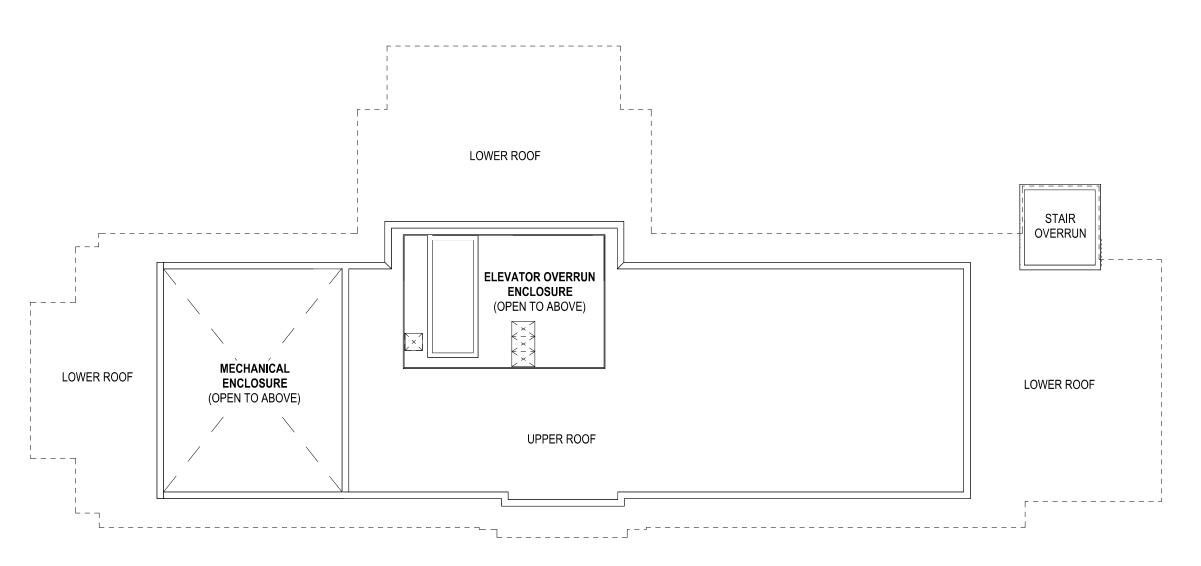
4 Code Analysis - Level 4

A021 1 : 200



5 Code Analysis - Level 5

A021 1 : 200



6 Code Analysis - Roof Level

A021 1:200

LEGEND

0 MINUTES F.R.R.
 45 MINUTE F.R.R.
 60 MINUTES F.R.R.
 90 MINUTES F.R.R.
 120 MINUTES F.R.R.
 45 MINUTE F.P.R.

FD1 h 60 MINUTES F.P.R.

NOTE:
1. DRAWING TO BE READ IN COLOUR.
2. DRAWING TO BE READ IN CONJUNCTION WITH OUTLINE CODE COMPLIANCE REPORT PROVIDED BY TCCP.

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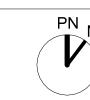
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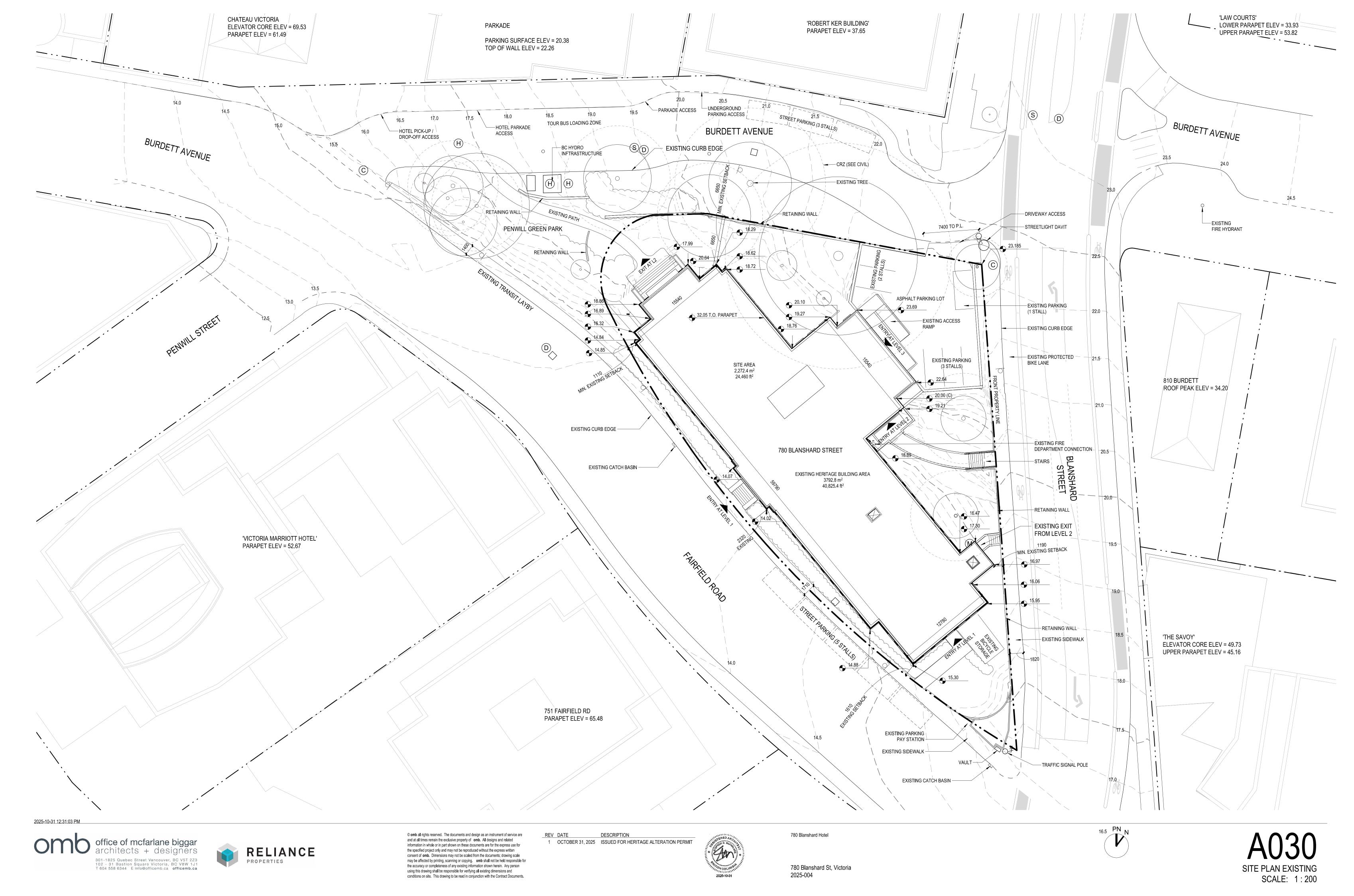


780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004







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REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

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ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

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GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS. COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

LEGEND

EXISTING AREA TO BE REMOVED

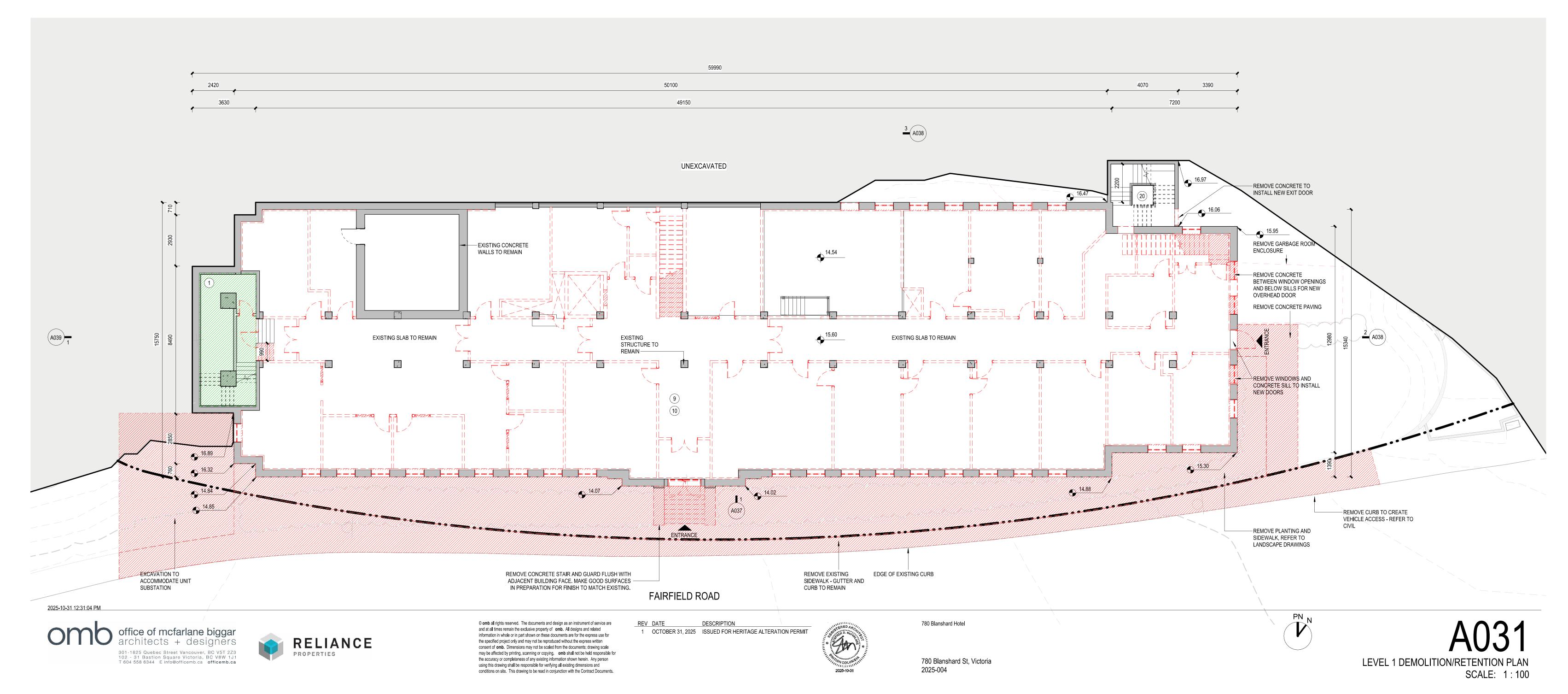
EXISTING AREA TO BE RETAINED + REUSED

EXISTING AREA TO BE PRESERVED + RESTORED

EXISTING ELEMENT TO BE PRESERVED + RESTORED

- HERITAGE CONSERVATION NOTES REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL
- EXISTING TO BE RETAINED (SEE GENERAL NOTES REGARDING FINISHES) 1) PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT
 - RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS. AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS. (2) EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM
 - (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET. ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES. THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
 - (3) PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES. THE SINK AND TOILET. AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
 - (4) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE.
 - (5) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
 - (6) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
 - (7) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
 - (8) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING. FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.

- (9) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- (10) RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE AMENITY SPACES.
- (11) REMOVE AND RETAIN WOOD PANELING WHERE NEW GLAZING IS PROPOSED BETWEEN CORRIDOR AND CONFERENCE ROOM (CHAIRMAN'S OFFICE).
- (12) REMOVE AND RETAIN WOOD PANELING WHERE NEW DOOR IS PROPOSED BETWEEN CORRIDOR AND EAST VESTIBULE. (13) REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE
- CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.
- (14) FULLY REMOVE ALL EXISTING PAINT IN PREPRATION FOR RESTORATION OF
- (15) PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.
- (16) REMOVE EXISTING WINDOWS AND REPLACE WITH NEW HIGH PERFORMANCE WINDOWS TO MATCH EXISTING STYLE OF HERITAGE WINDOWS.
- (17) RETAIN + REHABILITATE SIGNIFICANT CHARACTER DEFINING DETAILS AT ENTRANCES.
- (18) REMOVE AND REPLACE WINDOWS BEHIND THE GRILLES. PRESERVE AND RESTORE GRILLES. (19) PRESERVE AND RESTORE FLUTED GLASS
- 20 RETAIN STAIRS AND RAILING.



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ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION: ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE

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RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

LEGEND

HERITAGE CONSERVATION NOTES
REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

EXISTING AREA TO BE REMOVED

EXISTING TO BE RETAINED (SEE GENERAL NOTES REGARDING FINISHES)

EXISTING AREA TO BE RETAINED + REUSED

EXISTING AREA TO BE PRESERVED + RESTORED

EXISTING ELEMENT TO BE PRESERVED + RESTORED

PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.

2 EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.

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RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.

8 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.

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LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.

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GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE

AMENITY SPACES.

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REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.

14) FULLY REMOVE ALL EXISTING PAINT IN PREPRATION FOR RESTORATION OF

PAIN I.

PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.

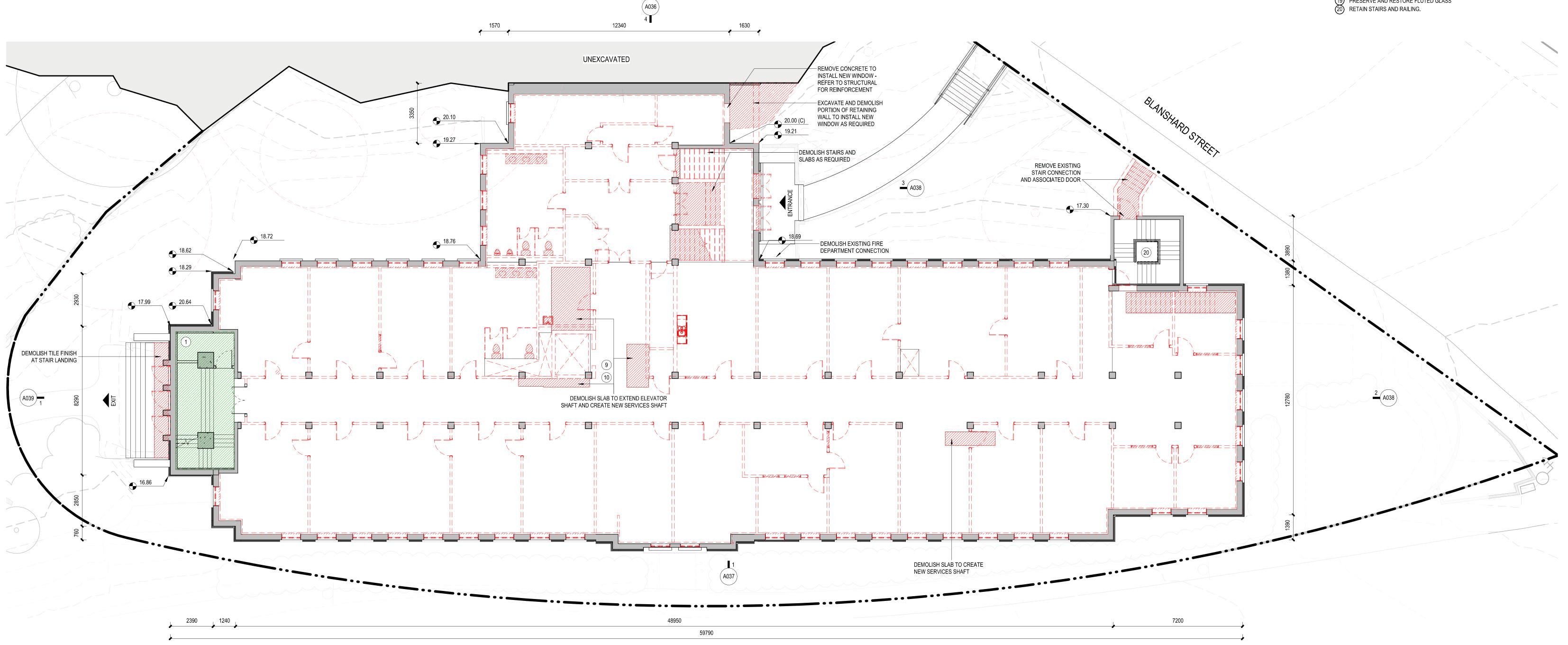
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(18) REMOVE AND REPLACE WINDOWS BEHIND THE GRILLES. PRESERVE AND RESTORE GRILLES.

(19) PRESERVE AND RESTORE FLUTED GLASS



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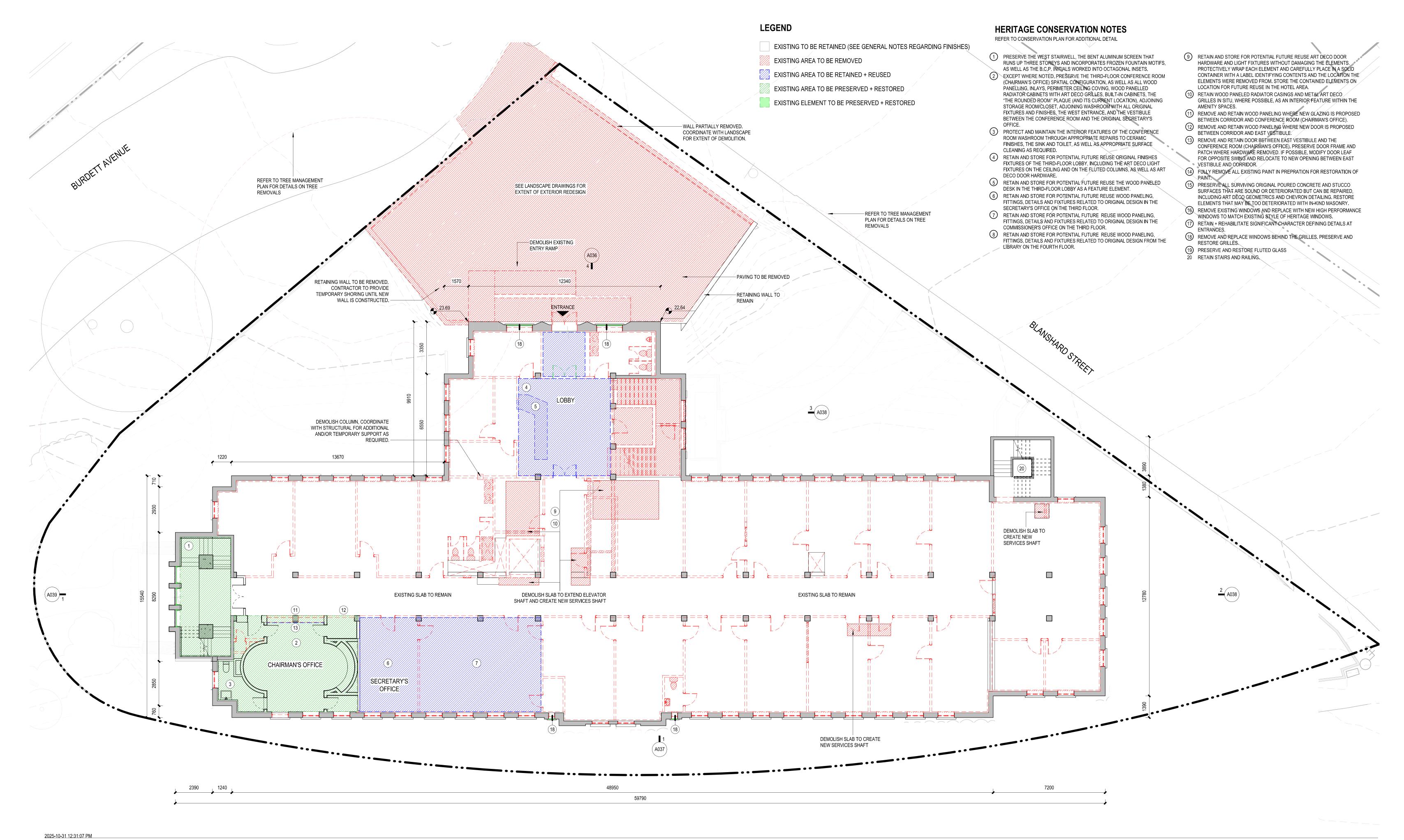


780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



A032
LEVEL 2 DEMOLITION/RETENTION PLAN
SCALE: 1:100







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780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



A033
LEVEL 3 DEMOLITION/RETENTION PLAN
SCALE: 1:100

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ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE AND CONSERVATION PLAN ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL

ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

LEGEND

EXISTING AREA TO BE REMOVED

EXISTING AREA TO BE RETAINED + REUSED

EXISTING AREA TO BE PRESERVED + RESTORED

EXISTING ELEMENT TO BE PRESERVED + RESTORED

HERITAGE CONSERVATION NOTES REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

EXISTING TO BE RETAINED (SEE GENERAL NOTES REGARDING FINISHES)

1) PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.

(2) EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE

BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S

OFFICE. (3) PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.

(4) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART

DECO DOOR HARDWARE. (5) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.

(6) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.

(7) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING. FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.

(8) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING,

(9) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.

(10) RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE

AMENITY SPACES. (11) REMOVE AND RETAIN WOOD PANELING WHERE NEW GLAZING IS PROPOSED

BETWEEN CORRIDOR AND CONFERENCE ROOM (CHAIRMAN'S OFFICE). (12) REMOVE AND RETAIN WOOD PANELING WHERE NEW DOOR IS PROPOSED BETWEEN CORRIDOR AND EAST VESTIBULE.

(13) REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.

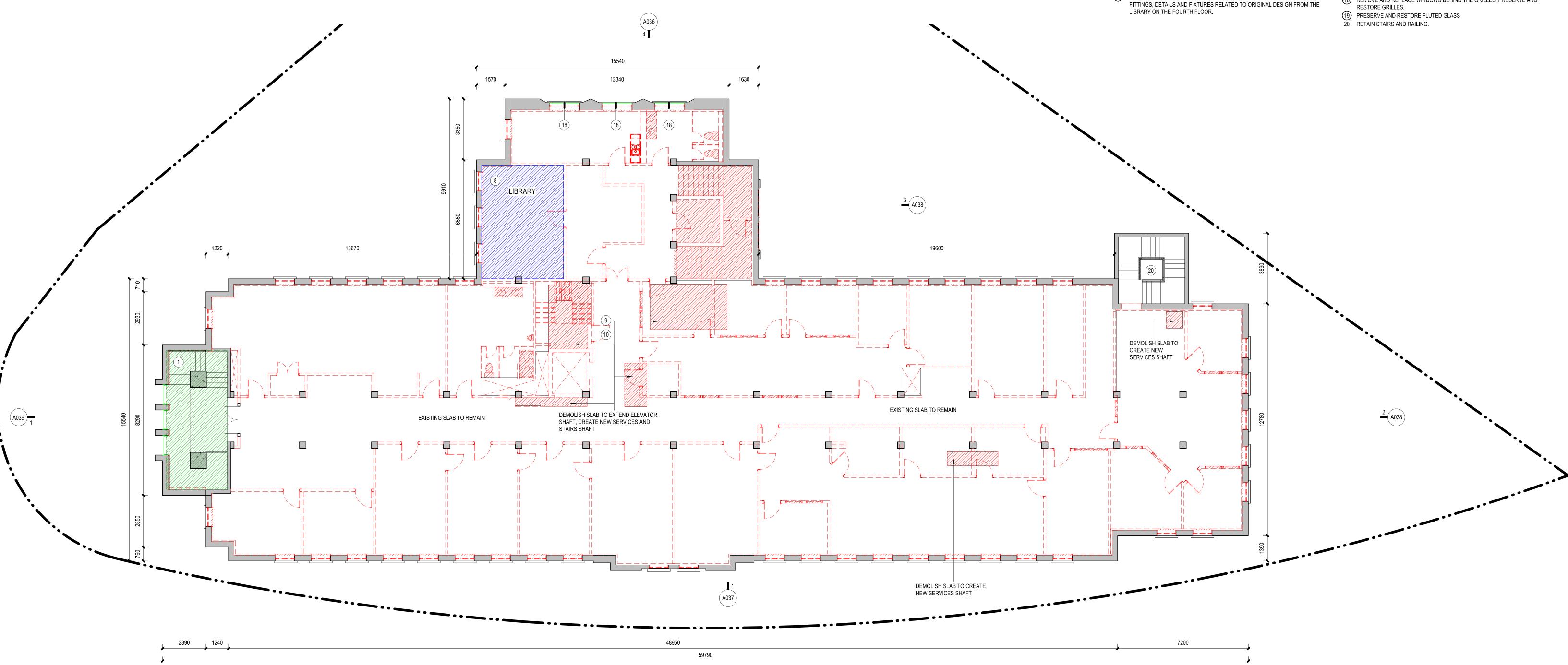
(14) FULLY REMOVE ALL EXISTING PAINT IN PREPRATION FOR RESTORATION OF

(15) PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.

(16) REMOVE EXISTING WINDOWS AND REPLACE WITH NEW HIGH PERFORMANCE WINDOWS TO MATCH EXISTING STYLE OF HERITAGE WINDOWS. (17) RETAIN + REHABILITATE SIGNIFICANT CHARACTER DEFINING DETAILS AT

ENTRANCES. (18) REMOVE AND REPLACE WINDOWS BEHIND THE GRILLES. PRESERVE AND

RESTORE GRILLES.



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DESCRIPTION 1 OCTOBER 31, 2025 ISSUED FOR HERITAGE ALTERATION PERMIT



780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



LEVEL 4 DEMOLITION/RETENTION PLAN SCALE: 1:100

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT

LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE

TO BE REMOVED. ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED, PLEASE REFER TO

SPECIALIST ADVICE AND CONSERVATION PLAN ON APPROPRIATE WORKING

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

METHODS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

REINSTALLED.

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND

GENERAL NOTES - HERITAGE RETENTION:

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

HERITAGE CONSERVATION NOTES REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

EXISTING TO BE RETAINED (SEE GENERAL NOTES REGARDING FINISHES)

LEGEND

EXISTING AREA TO BE REMOVED

EXISTING AREA TO BE RETAINED + REUSED

EXISTING AREA TO BE PRESERVED + RESTORED

EXISTING ELEMENT TO BE PRESERVED + RESTORED

1) PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS. AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.

(2) EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S

OFFICE. (3) PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.

(4) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE.

(5) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.

(6) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.

(7) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.

(9) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.

(10) RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE AMENITY SPACES.

(11) REMOVE AND RETAIN WOOD PANELING WHERE NEW GLAZING IS PROPOSED

BETWEEN CORRIDOR AND CONFERENCE ROOM (CHAIRMAN'S OFFICE). (12) REMOVE AND RETAIN WOOD PANELING WHERE NEW DOOR IS PROPOSED BETWEEN CORRIDOR AND EAST VESTIBULE.

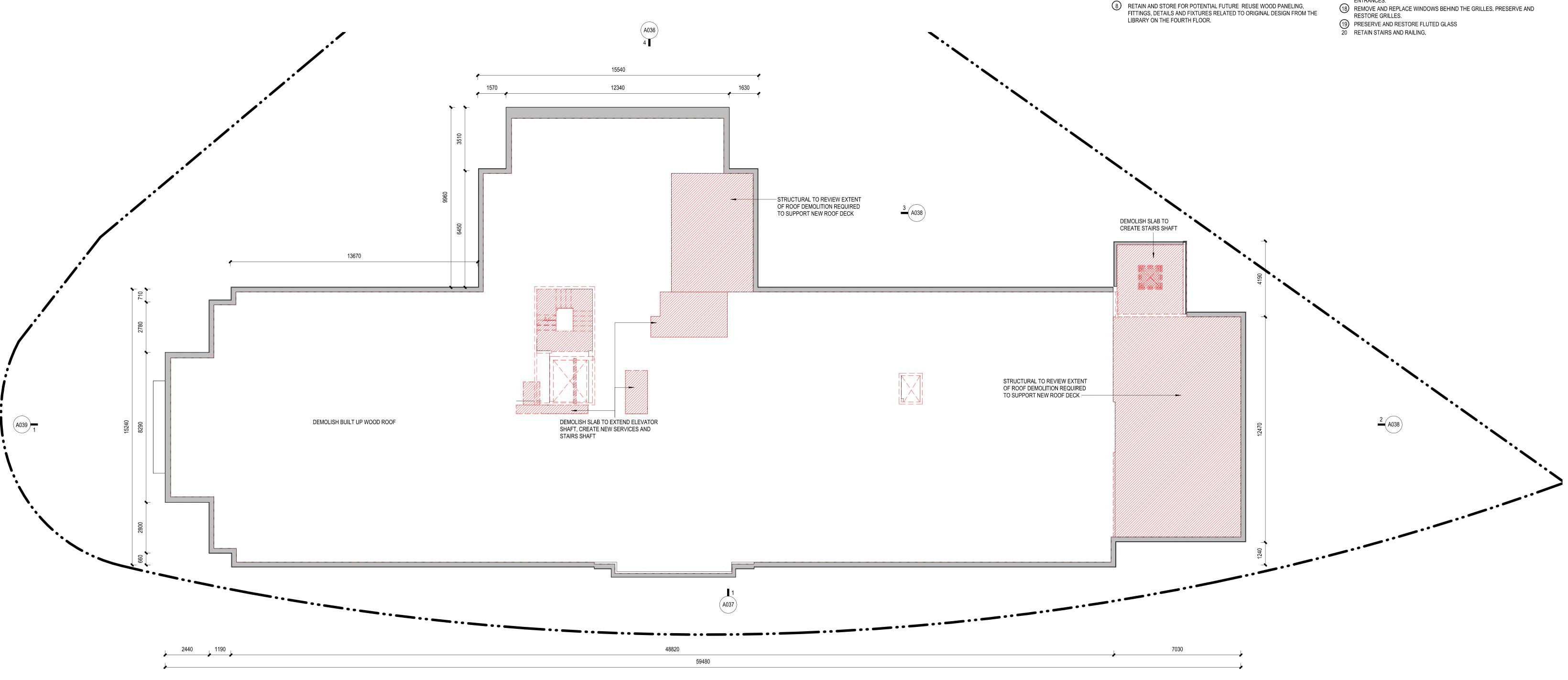
(13) REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.

(14) FULLY REMOVE ALL EXISTING PAINT IN PREPRATION FOR RESTORATION OF

(15) PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.

(16) REMOVE EXISTING WINDOWS AND REPLACE WITH NEW HIGH PERFORMANCE WINDOWS TO MATCH EXISTING STYLE OF HERITAGE WINDOWS. (17) RETAIN + REHABILITATE SIGNIFICANT CHARACTER DEFINING DETAILS AT

ENTRANCES.



Level 5 Demolition Plan

102 - 31 Bastion Square Victoria, BC V8W 1J1 T 604 558 6344 Einfo@officemb.ca officemb.ca



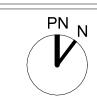
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DESCRIPTION 1 OCTOBER 31, 2025 ISSUED FOR HERITAGE ALTERATION PERMIT



780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



LEVEL 5 DEMOLITION/RETENTION PLAN SCALE: 1:100

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED

AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS. ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT

LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE

TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED, PLEASE REFER TO SPECIALIST ADVICE AND CONSERVATION PLAN ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

LEGEND

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL EXISTING TO BE RETAINED (SEE GENERAL NOTES REGARDING FINISHES)

EXISTING AREA TO BE REMOVED

EXISTING AREA TO BE RETAINED + REUSED

EXISTING AREA TO BE PRESERVED + RESTORED

EXISTING ELEMENT TO BE PRESERVED + RESTORED

BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE. (3) PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES. THE SINK AND TOILET. AS WELL AS APPROPRIATE SURFACE

HERITAGE CONSERVATION NOTES

1) PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT

AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.

(2) EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM

PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED

STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL

FIXTURES AND FINISHES. THE WEST ENTRANCE, AND THE VESTIBULE

RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING

(CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD

RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS,

CLEANING AS REQUIRED. (4) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART

DECO DOOR HARDWARE. (5) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.

(6) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.

(7) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.

(8) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.

(9) RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.

(10) RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE AMENITY SPACES.

(11) REMOVE AND RETAIN WOOD PANELING WHERE NEW GLAZING IS PROPOSED

BETWEEN CORRIDOR AND CONFERENCE ROOM (CHAIRMAN'S OFFICE). (12) REMOVE AND RETAIN WOOD PANELING WHERE NEW DOOR IS PROPOSED BETWEEN CORRIDOR AND EAST VESTIBULE.

(13) REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.

(14) FULLY REMOVE ALL EXISTING PAINT IN PREPRATION FOR RESTORATION OF

(15) PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.

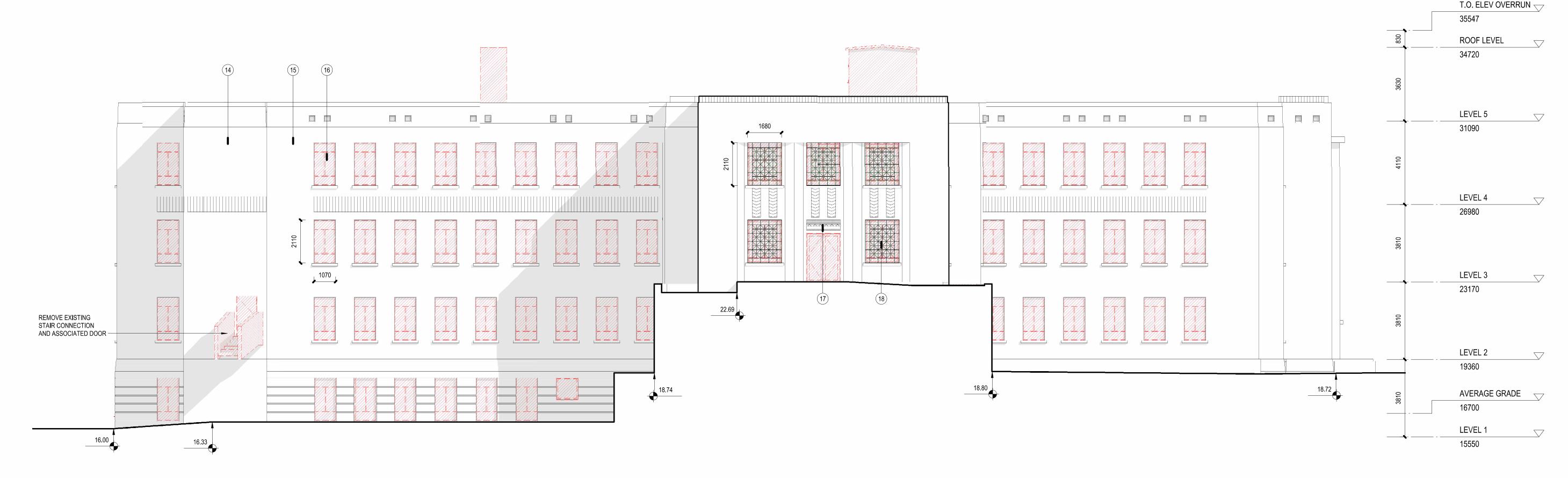
(16) REMOVE EXISTING WINDOWS AND REPLACE WITH NEW HIGH PERFORMANCE

WINDOWS TO MATCH EXISTING STYLE OF HERITAGE WINDOWS. (17) RETAIN + REHABILITATE SIGNIFICANT CHARACTER DEFINING DETAILS AT ENTRANCES.

18) REMOVE AND REPLACE WINDOWS BEHIND THE GRILLES. PRESERVE AND

RESTORE GRILLES. (19) PRESERVE AND RESTORE FLUTED GLASS

20 RETAIN STAIRS AND RAILING.



Demolition Elevation - North (Blanshard St. + Burdett Ave.)

A036 1:100



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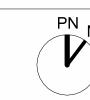


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780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



DEMOLITION/RETENTION ELEVATION NORTH SCALE: 1:100

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.
ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT

LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE

TO BE REMOVED.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE AND CONSERVATION PLAN ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR ON ALL ELEVATIONS.
ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

LEGEND

EXISTING TO BE RETAINED (SEE GENERAL NOTES REGARDING FINISHES)

EXISTING AREA TO BE REMOVED

EXISTING AREA TO BE RETAINED + REUSED

EXISTING AREA TO BE PRESERVED + RESTORED

EXISTING ELEMENT TO BE PRESERVED + RESTORED

RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.

2 EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED

(CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELLED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.

1) PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT

PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.

HERITAGE CONSERVATION NOTES
REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE.

Tetain and store for potential future reuse the wood paneled desk in the third-floor lobby as a feature element.

6 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.

7 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.

RETAIN AND STORE FOR POTENTIAL FUTURE REUSE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.

9 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.

RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE AMENITY SPACES

AMENITY SPACES.

11 REMOVE AND RETAIN WOOD PANELING WHERE NEW GLAZING IS PROPOSED

BETWEEN CORRIDOR AND CONFERENCE ROOM (CHAIRMAN'S OFFICE).

(12) REMOVE AND RETAIN WOOD PANELING WHERE NEW DOOR IS PROPOSED

BETWEEN CORRIDOR AND EAST VESTIBULE.

(13) REMOVE AND RETAIN DOOR BETWEEN EAST VESTIBULE AND THE CONFERENCE ROOM (CHAIRMAN'S OFFICE). PRESERVE DOOR FRAME AND PATCH WHERE HARDWARE REMOVED. IF POSSIBLE, MODIFY DOOR LEAF FOR OPPOSITE SWING AND RELOCATE TO NEW OPENING BETWEEN EAST VESTIBULE AND CORRIDOR.

14) FULLY REMOVE ALL EXISTING PAINT IN PREPRATION FOR RESTORATION OF

PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.

(16) REMOVE EXISTING WINDOWS AND REPLACE WITH NEW HIGH PERFORMANCE WINDOWS TO MATCH EXISTING STYLE OF HERITAGE WINDOWS.
 (17) RETAIN + REHABILITATE SIGNIFICANT CHARACTER DEFINING DETAILS AT

ENTRANCES.

18 REMOVE AND REPLACE WINDOWS BEHIND THE GRILLES. PRESERVE AND RESTORE GRILLES.

19 PRESERVE AND RESTORE FLUTED GLASS 20 RETAIN STAIRS AND RAILING.





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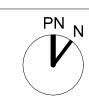
REV DATE DESCRIPTION

1 OCTOBER 31, 2025 ISSUED FOR HERITAGE ALTERATION PERMIT



780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



A037

DEMOLITION/RETENTION ELEVATION SOUTH SCALE: 1:100

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LEVEL 5

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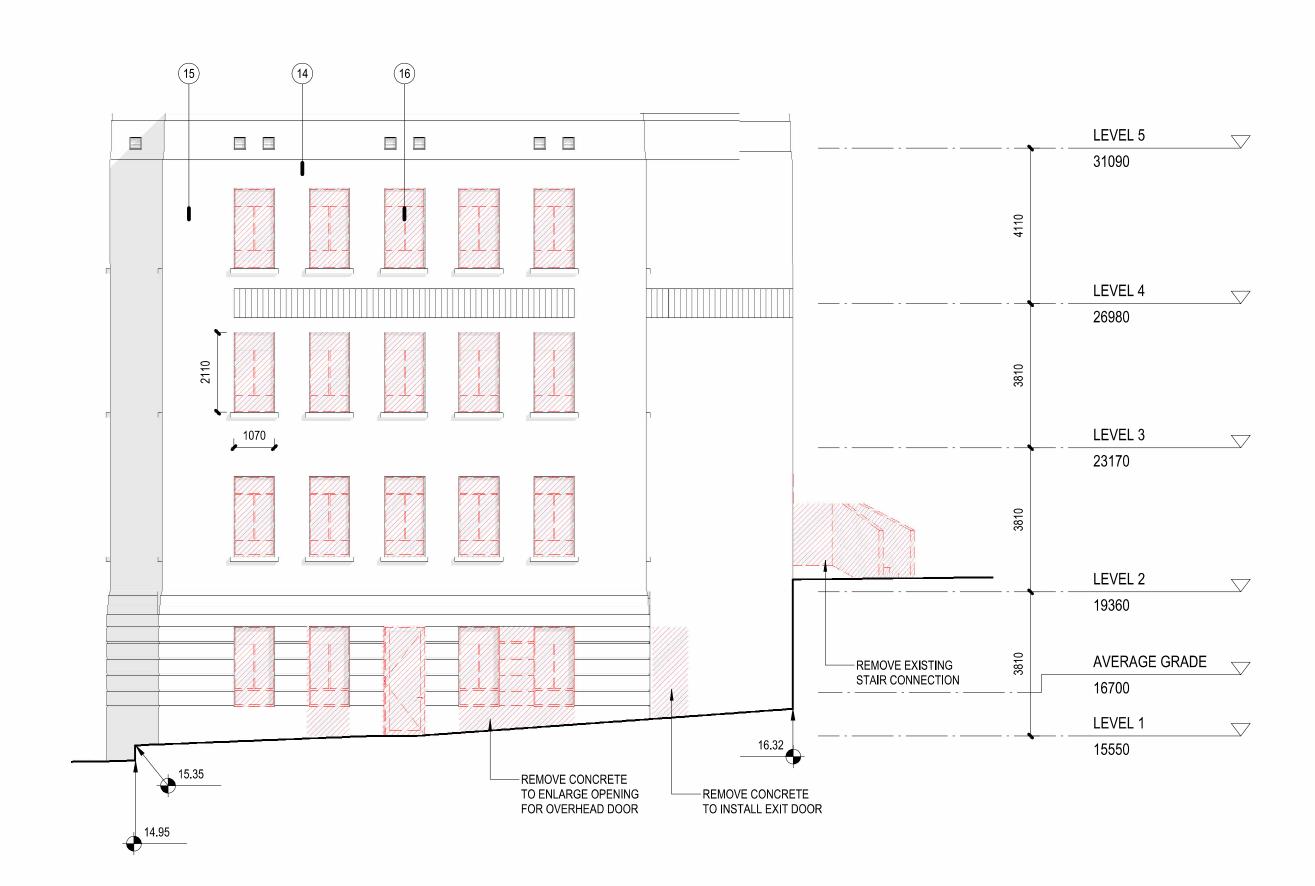
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20 RETAIN STAIRS AND RAILING.



Demolition Elevation - East (Blanshard St.)

A038 1:100

31090 LEVEL 4 LEVEL 3 23170 LEVEL 2 19360 AVERAGE GRADE $\overline{}$ REMOVE CONCRETE TO INSTALL NEW WINDOW - REFER TO STRUCTURAL FOR REINFORCEMENT -LEVEL 1 EXCAVATE AND DEMOLISH PORTION OF RETAINING WALL TO INSTALL NEW WINDOW -

Demolition Elevation NorthEast

A038 1:100

2025-10-31 12:31:29 PM





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T.O. ELEV OVERRUN 35547 **ROOF LEVEL** 34720 LEVEL 5 31090 LEVEL 4 LEVEL 3 23170 LEVEL 2 19360 AVERAGE GRADE $\overline{}$

Demolition Elevation - West (Burdett Ave.)

A039 1:100

2025-10-31 12:31:34 PM





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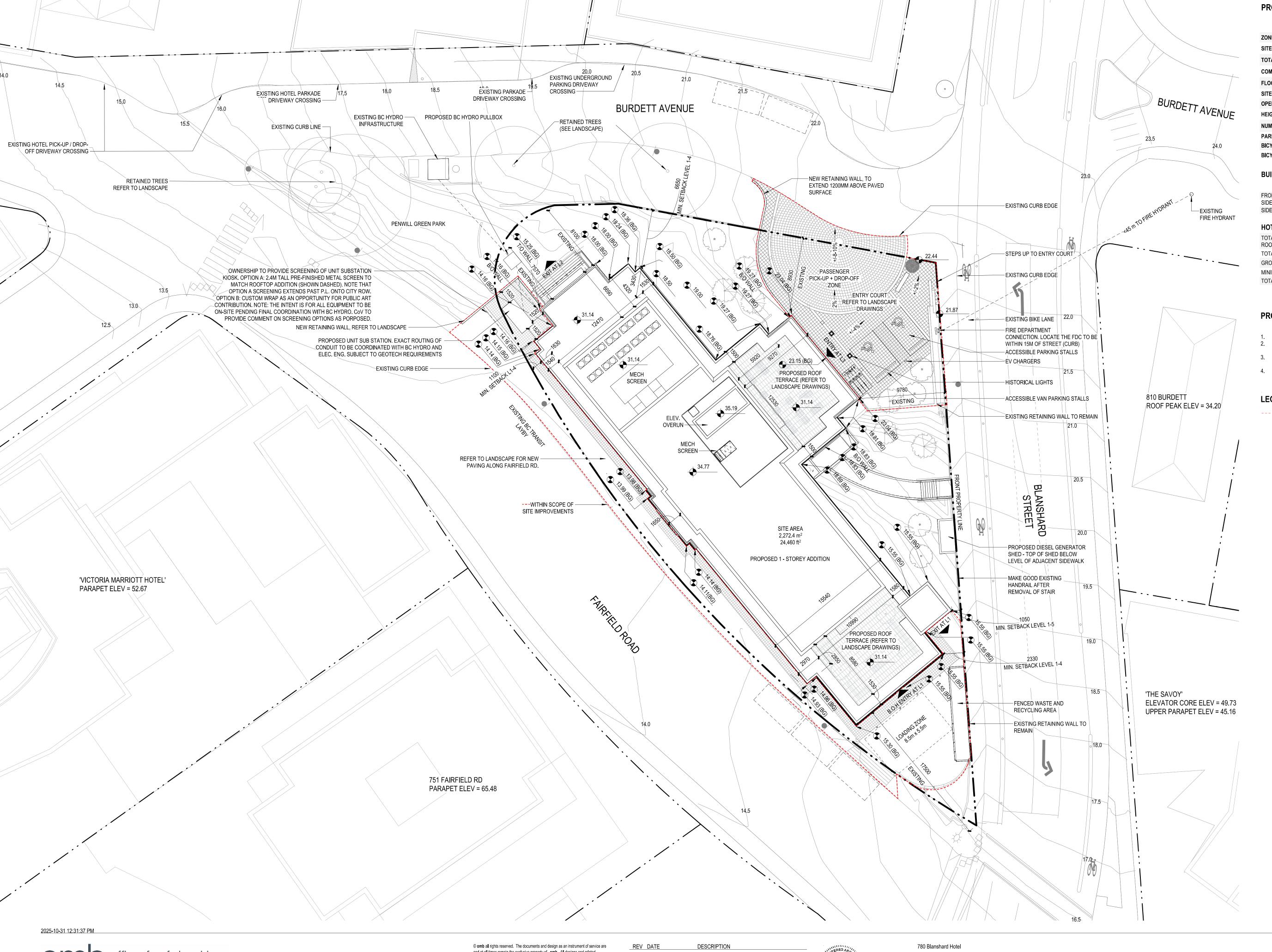
LEVEL '

780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



DEMOLITION/RETENTION ELEVATIONS SCALE: 1:100



PROJECT INFORMATION

		EXISTING	PERMITTED/REQUIRED	PROPOSED
	ZONE	CBD-1	-	CBD-1
	SITE AREA	$2,272 \text{ m}^2 / 24,460 \text{ ft}^2$	-	2,272 m² / 24,460 ft²
	TOTAL FLOOR AREA (m2)	$3,793 \text{ m}^2 / 40,827 \text{ ft}^2$	-	4,054 m² / 43,636 ft²
	COMMERCIAL FLOOR AREA (m2)	NO EXISTING BAR USE	-	210 m ² / 2,260 ft ²
	FLOOR SPACE RATIO	1.67	3.0	1.78
	SITE COVERAGE	48%	-	48%
	OPEN SITE SPACE	52%	-	52%
	HEIGHT OF BUILDING	15.01 m	43.0	18.02 m
	NUMBER OF STOREYS	4	-	5 (4 EXISTING+ 1 ADDITION)
	PARKING STALLS	5	31 STALLS	2 ON-SITE + 25 OFF-SITE STALLS
	BICYCLE PARKING (CLASS 1)	0	6	11
	BICYCLE PARKING (CLASS 2)	8	5	6

BUILDING SETBACKS

FRONT YARD - BLANSHARD STREET	1.19 m	-	1.05 m
SIDE/REAR YARD - BURDETT AVENUE	6.65 m	•	6.65 m
SIDE/REAR YARD - FAIRFIELD ROAD	1.10 m	•	1.10 m
HOTEL USE DETAILS			
TOTAL NUMBER OF 1 BEDROOM HOTEL			104

LEVELS 1-4

TOTAL NUMBER OF 1 BEDROOM HOT ROOMS	EL _	-	124
TOTAL ACCESSIBLE HOTEL ROOMS	-	-	6
GROUND ORIENTED UNITS	-	-	0
MINIMUM HOTEL UNIT FLOOR AREA	-	-	13.7 m² / 128 ft²
TOTAL HOTEL FLOOR AREA	-	-	3,857 m ² / 41,516 ft ²

PROJECT INFORMATION TABLE GENERAL NOTES

- REFER TO A012 FOR TDM STRATEGY TO REDUCE TOTAL PARKING NUMBERS REQUIRED.
- IT IS ASSUMED GROUND ORIENTED SUITES ARE SUITES THAT HAVE DIRECT ACCESS OUTSIDE AT GRADE, WHICH FOR THIS BUILDING THERE ARE NO HOTEL SUITES WITH GROUND FLOOR ACCESS.
- THE EXISTING BUILDING IS NOT PARALLEL TO THE PROPERTY LINE. SETBACKS IN THE TABLE ABOVE ARE THE MINIMUM SETBACKS ON THE THREE EDGES OF THE PROPERTY LINE.
- ZONE CBD-1 DOES NOT OUTLINE ANY SETBACKS FOR BUILDINGS UNDER 20M.

LEGEND

----- SCOPE OF SITE IMPROVEMENTS

office of mcfarlane biggar architects + designers 301-1825 Quebec Street Vancouver, BC V5T 2Z3 102 - 31 Bastion Square Victoria, BC V8W 1J1 T 604 558 6344 Einfo@officemb.ca officemb.ca



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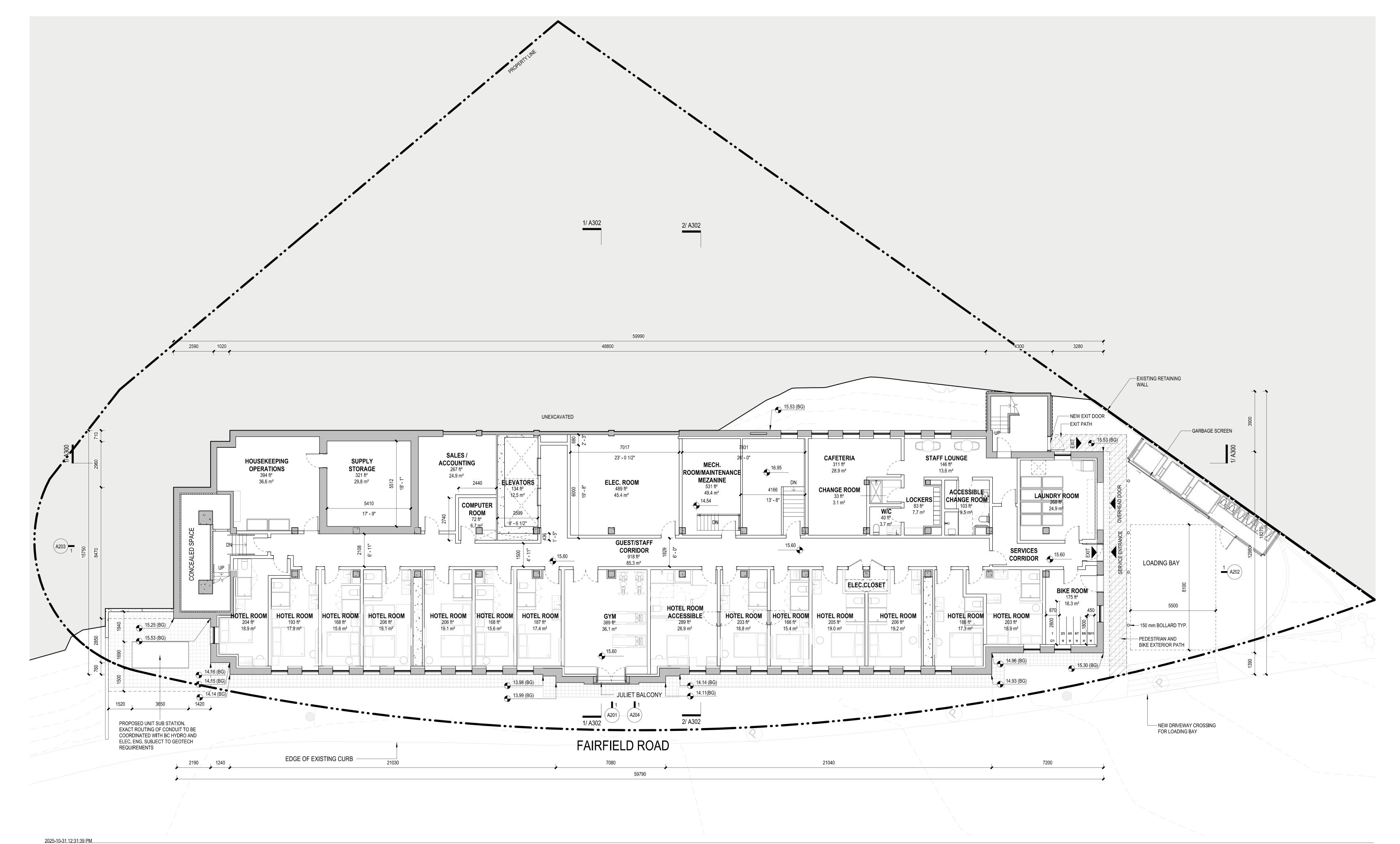
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780 Blanshard St, Victoria 2025-004



SITE PLAN PROPOSED SCALE: As indicated



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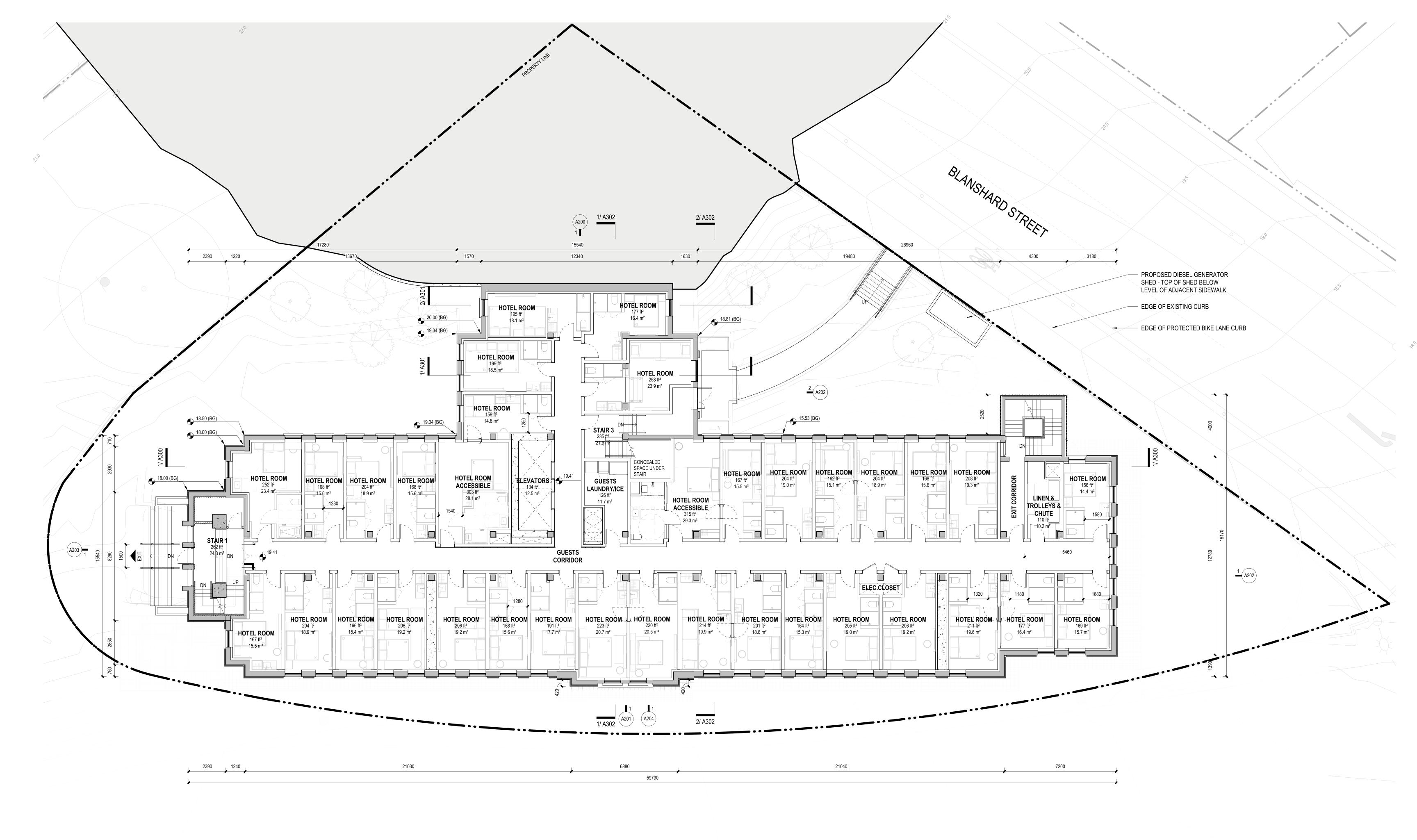


780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004



A101
LEVEL 1 FLOOR PLAN
SCALE: 1:100





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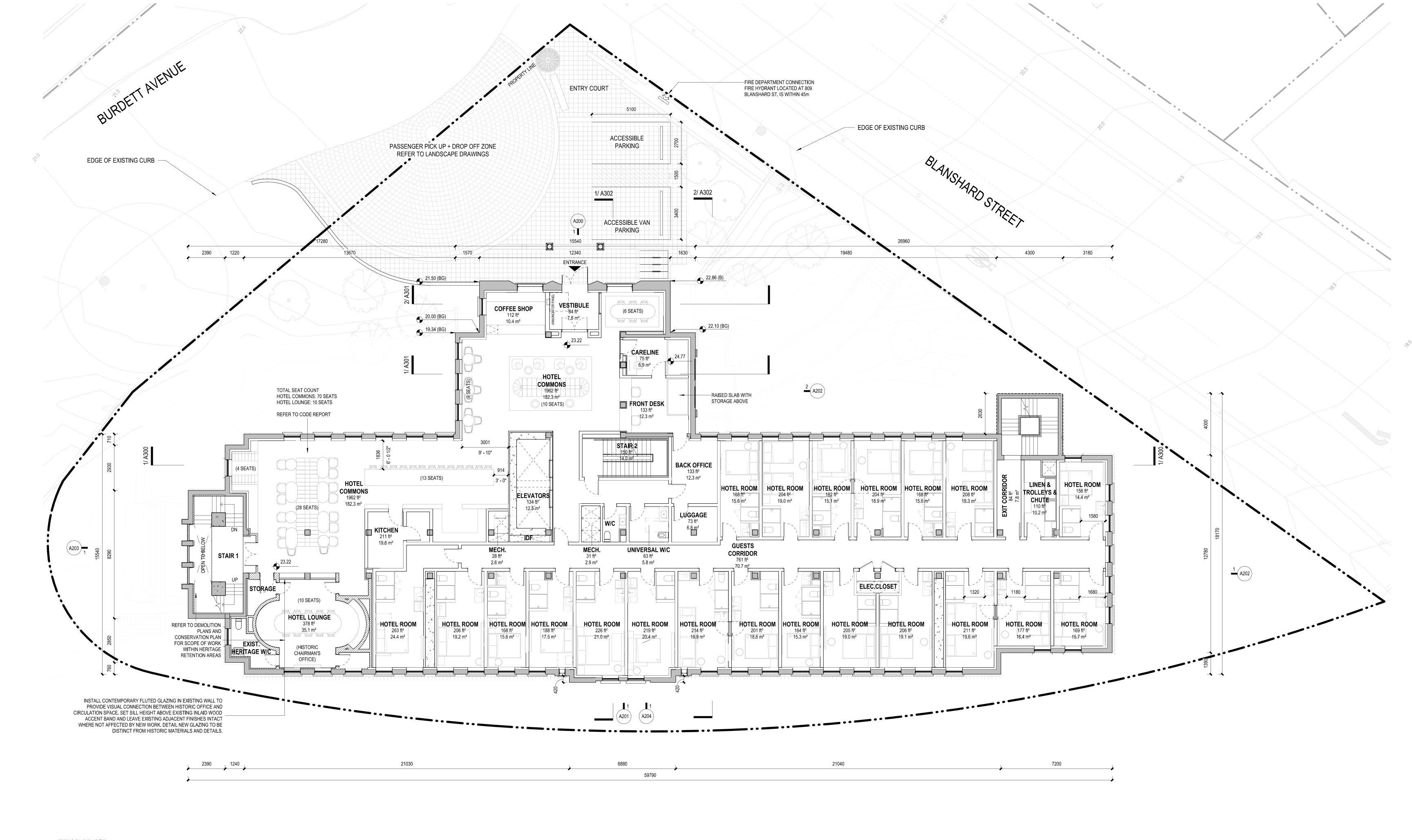
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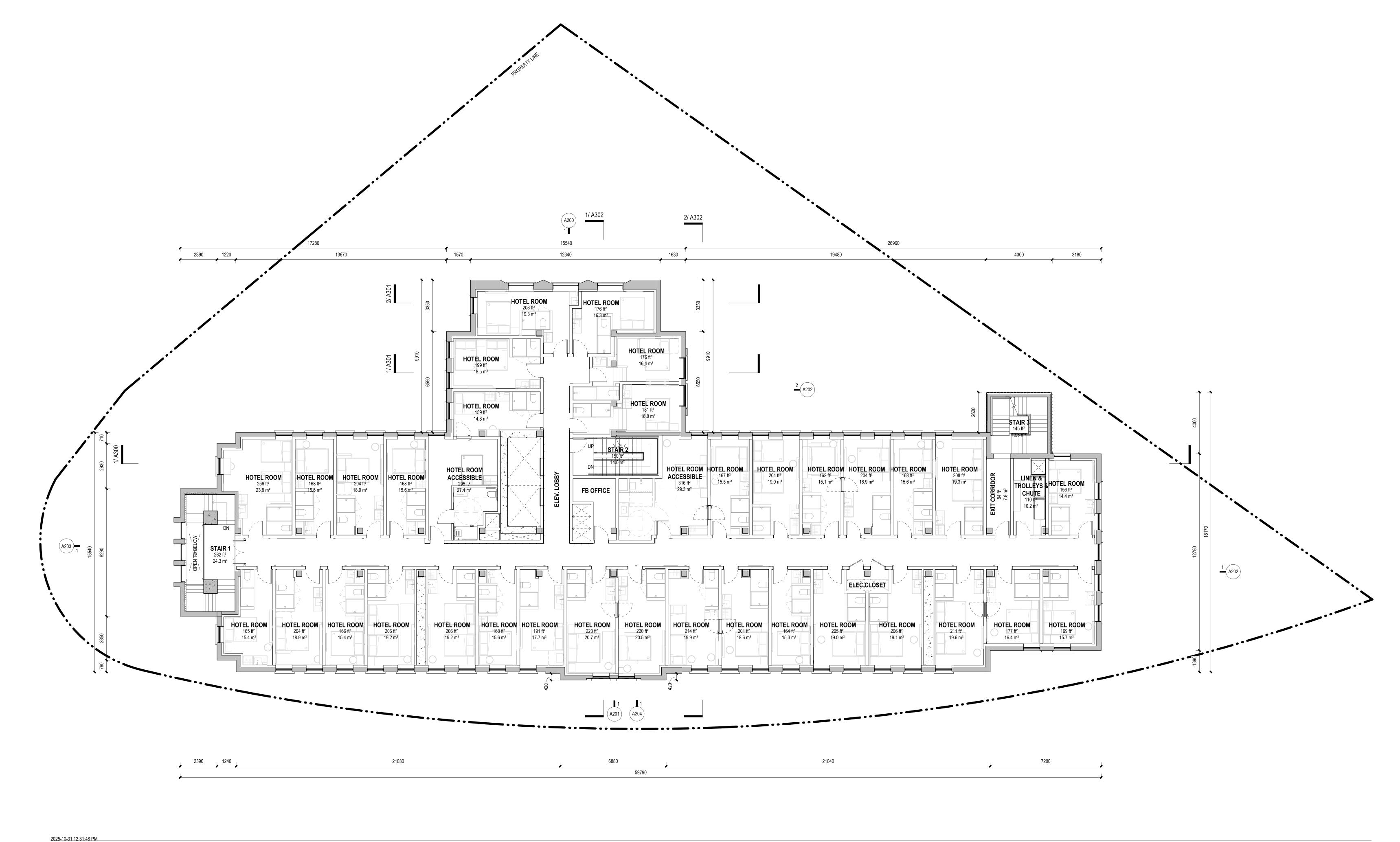
780 Blanshard Hotel

2025-004

780 Blanshard St, Victoria



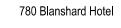
A103
LEVEL 3 FLOOR PLAN
SCALE: 1:100









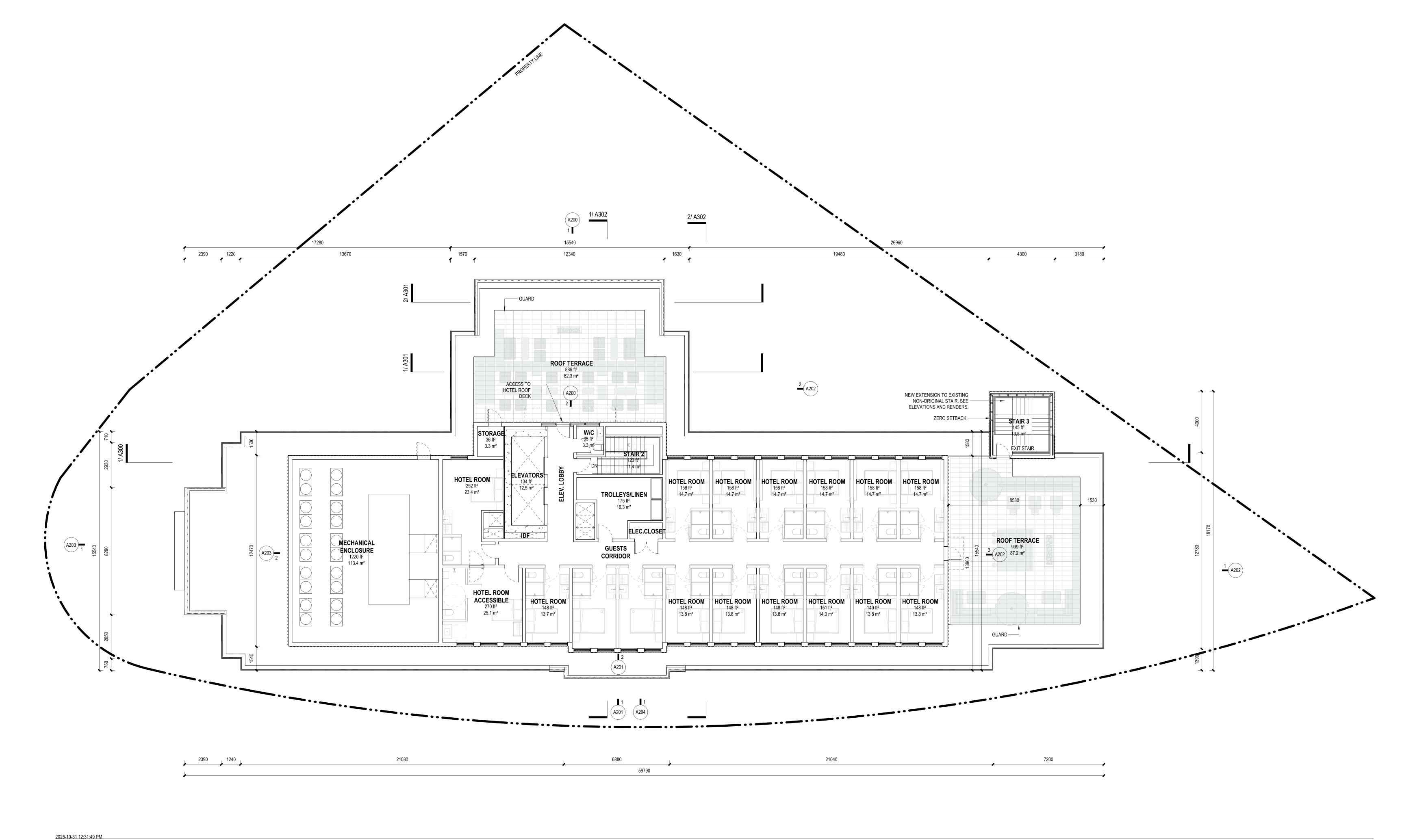


2025-004





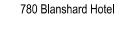








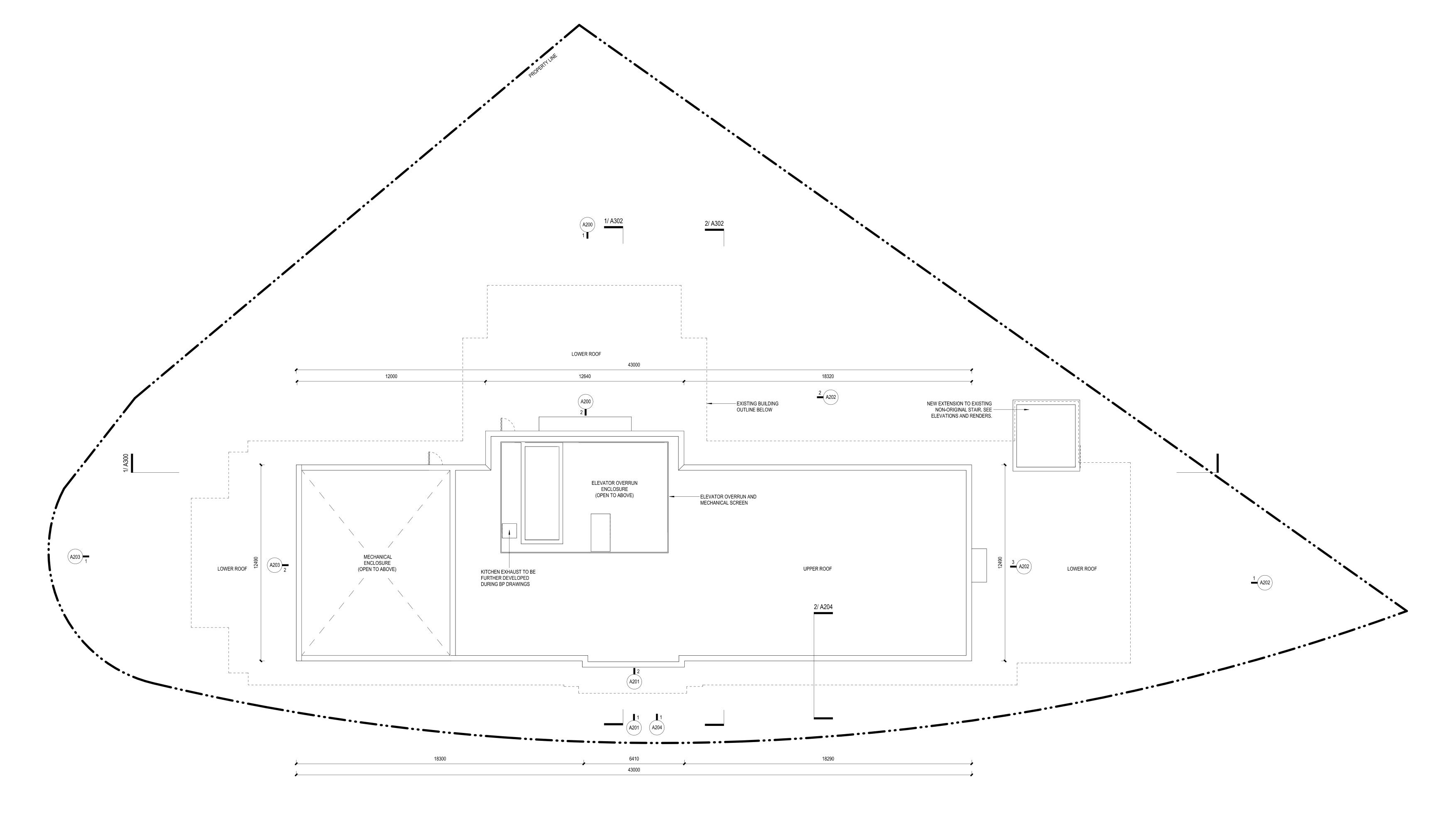




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780 Blanshard St, Victoria



4106ROOF PLAN
SCALE: 1:100

13 3960 11 3960 9 4570 8 4550 7 3710 6 3960 5 3960 3 3960 2 ELEVATOR OVERRUN SCREEN CLADDING FINISH CALADING FINISH CHETT) (METT) (METT

T.O. ELEV OVERRUN

35547

ROOF LEVEL

34720

LEVEL 5

31090

MATERIAL PALETTE

GL1 CLEAR GLASS W/ ANODIZED ALUMINUM FRAME

EXISTING FLUTED GLASS

PREFINISHED METAL PANEL

MET2 BLACK PAINTED METAL SCREEN

MET3
PERFORATED PREFINISHED
METAL PANEL

PAINT HERITAGE COLOUR

PAINT TO MATCH ANODIZED

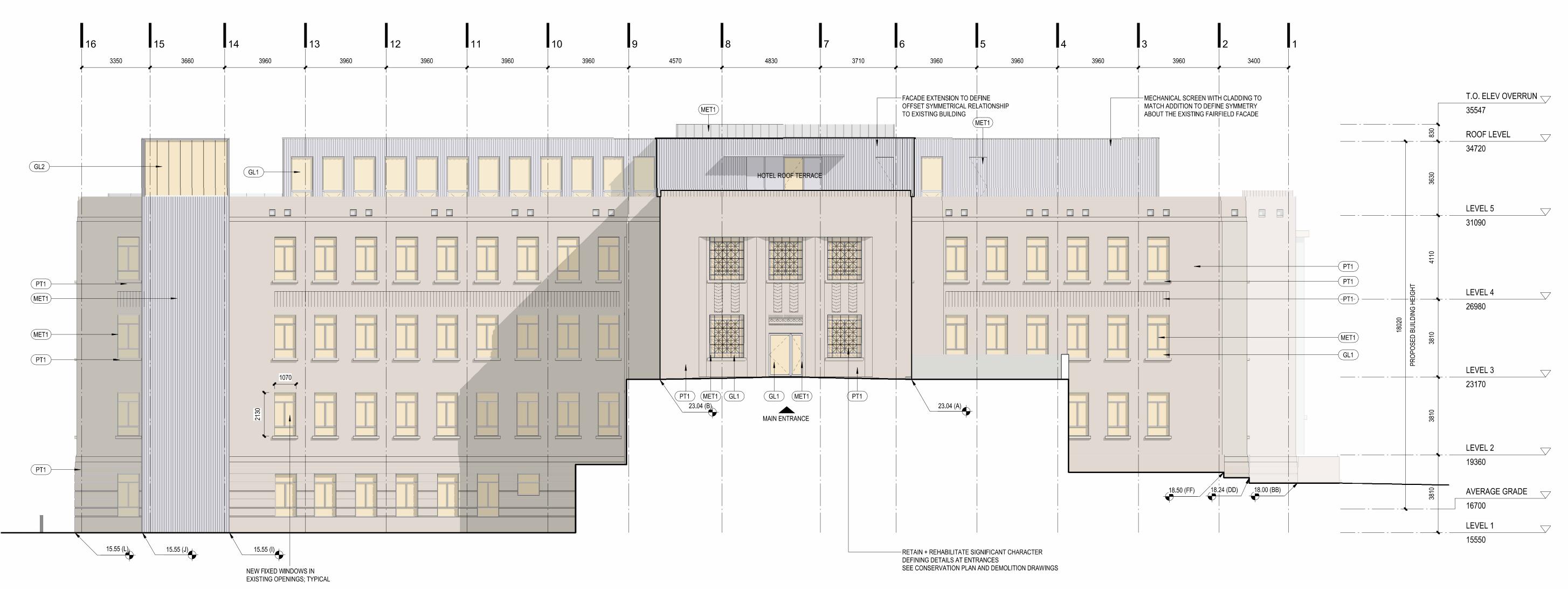
BERBER WHITE

ALUMINUM

GL2 FROSTED GLASS W/ SSG FRAME

2 ROOFTOP ADDITION - NORTH ELEVATION

A200 1:100



1 NORTH ELEVATION
A200 1:100

2025-10-31 12:32:00 PM





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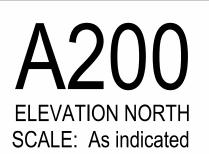
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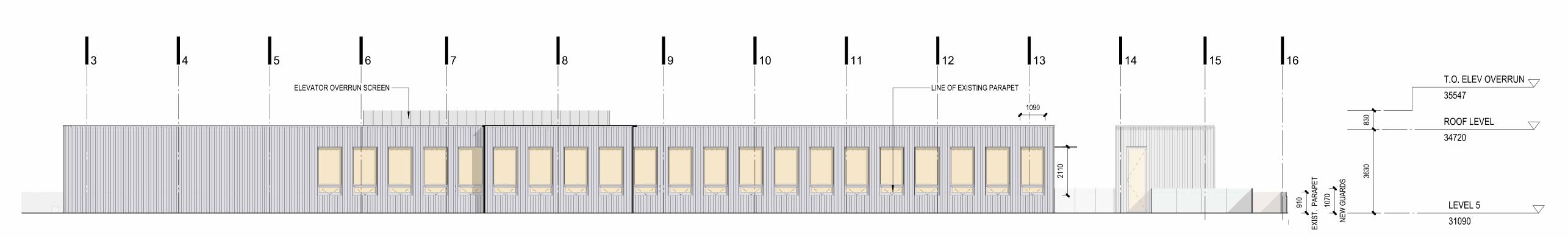


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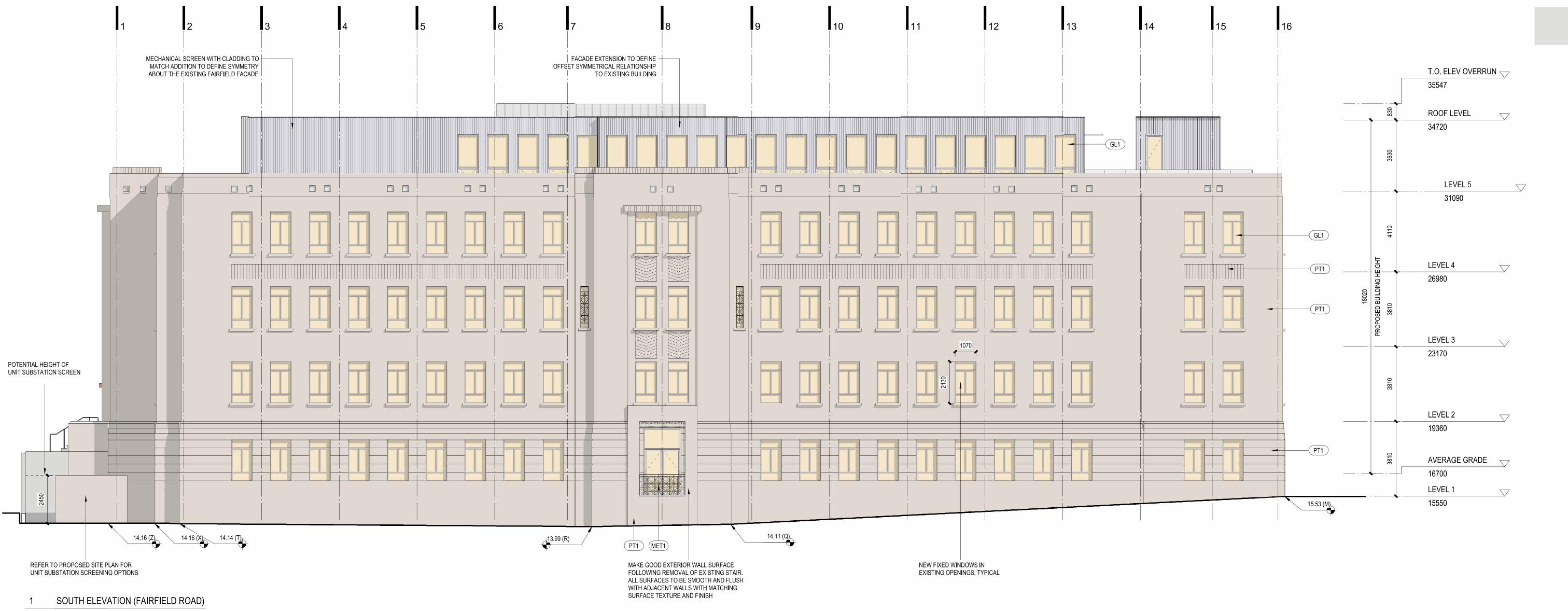






2 BUILDING L5 ADDITION - SOUTH ELEVATION

A201 1:100



A201 1:100

2025-10-31 12:32:09 PM



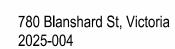


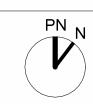
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780 Blanshard Hotel





MATERIAL PALETTE

GL1

CLEAR GLASS W/ ANODIZED ALUMINUM FRAME

GL2 FROSTED GLASS W/ SSG FRAME

EXISTING FLUTED GLASS

PREFINISHED METAL PANEL

BLACK PAINTED METAL SCREEN

PERFORATED PREFINISHED

PAINT HERITAGE COLOUR

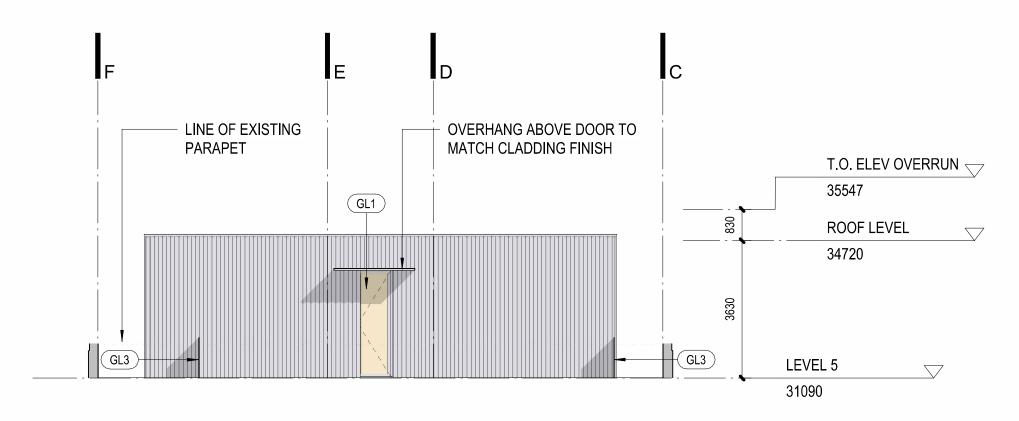
PAINT TO MATCH ANODIZED

MET3

METAL PANEL

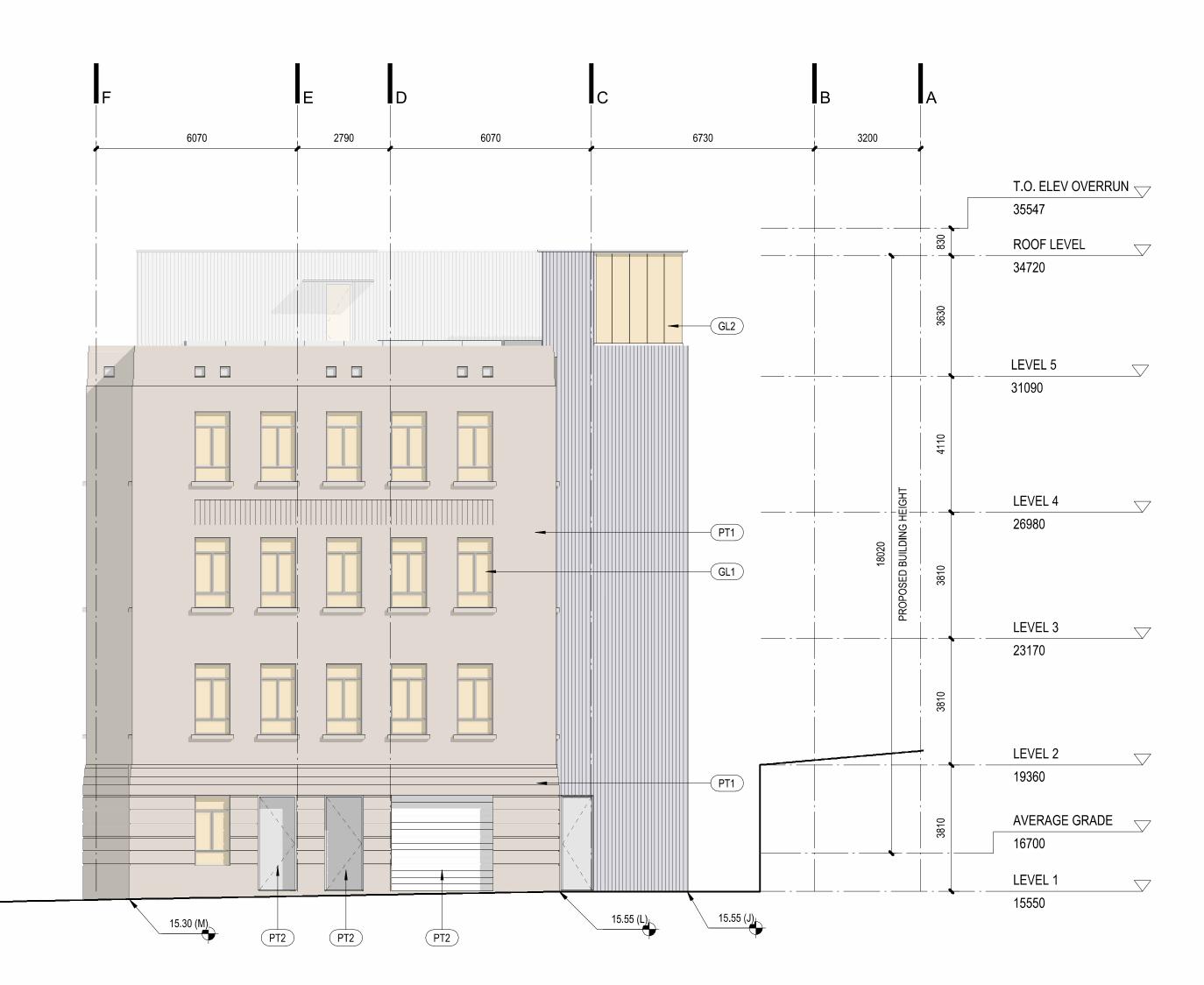
BERBER WHITE

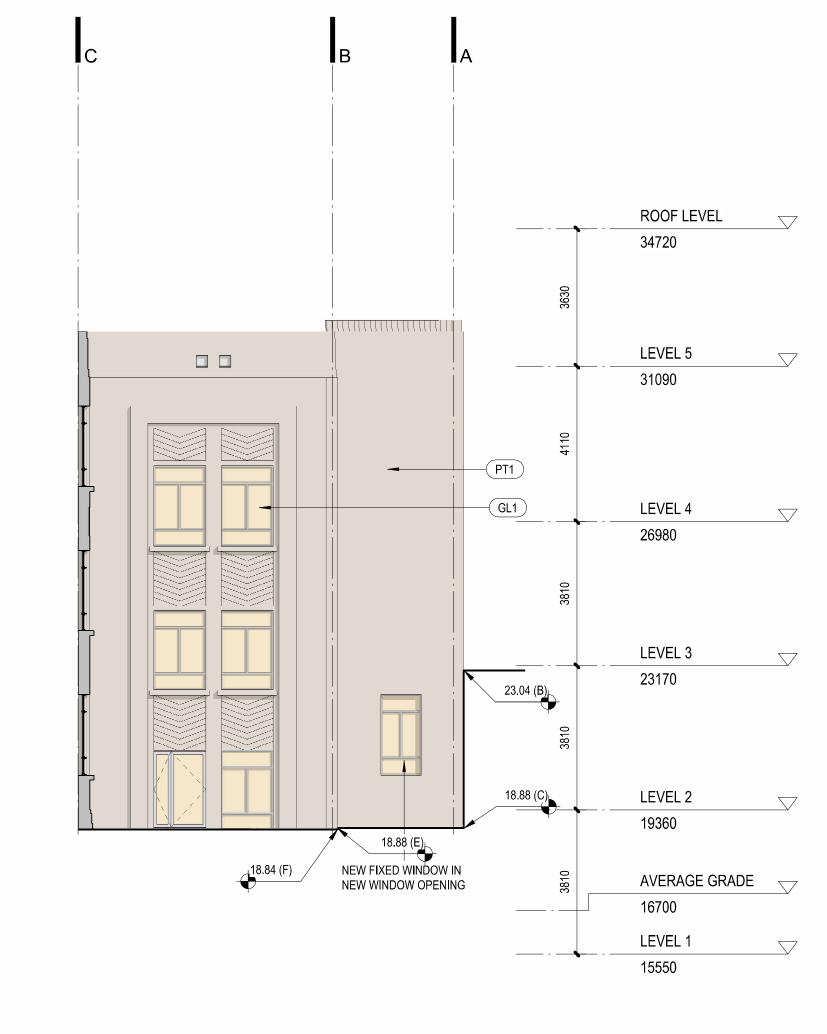
ALUMINUM



3 BUILDING L5 ADDITION - EAST ELEVATION

A202 1 : 100





1 East Elevation (Fairfield + Blanshard St.)

A202 1:100

2 East Elevation
A202 1:100

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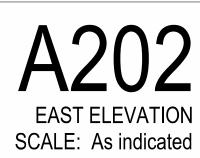
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780 Blanshard Hotel

780 Blanshard St, Victoria 2025-004





MATERIAL PALETTE

GL1 CLEAR GLASS W/ ANODIZED ALUMINUM FRAME

GL2 FROSTED GLASS W/ SSG FRAME

EXISTING FLUTED GLASS

PREFINISHED METAL PANEL

MET2 BLACK PAINTED METAL SCREEN

PERFORATED PREFINISHED METAL PANEL

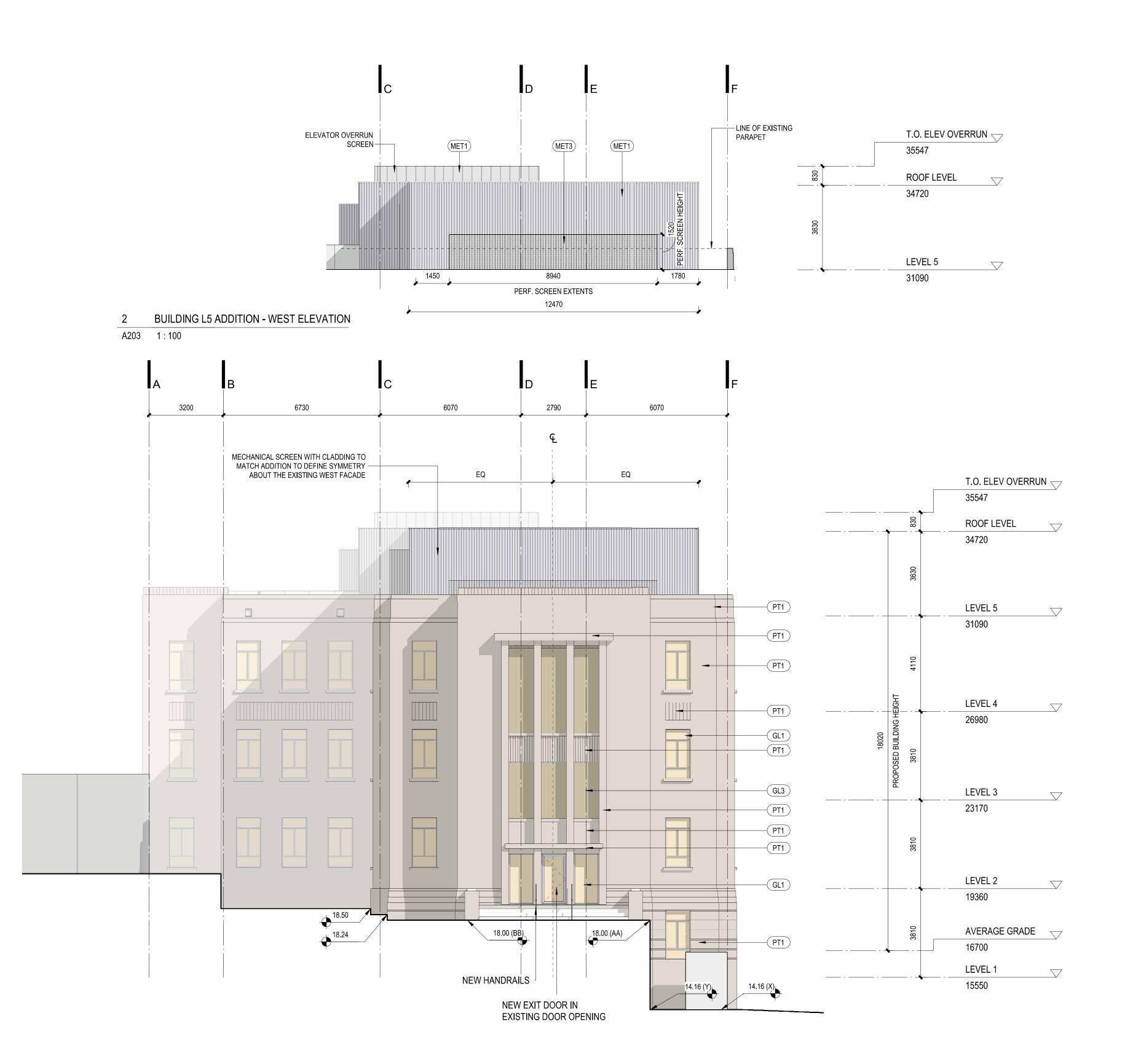
PAINT HERITAGE COLOUR

PAINT TO MATCH ANODIZED

BERBER WHITE

ALUMINUM

MET3



West Elevation (Burdett Ave.) A203 1 : 100

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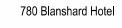


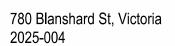


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MATERIAL PALETTE









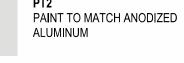


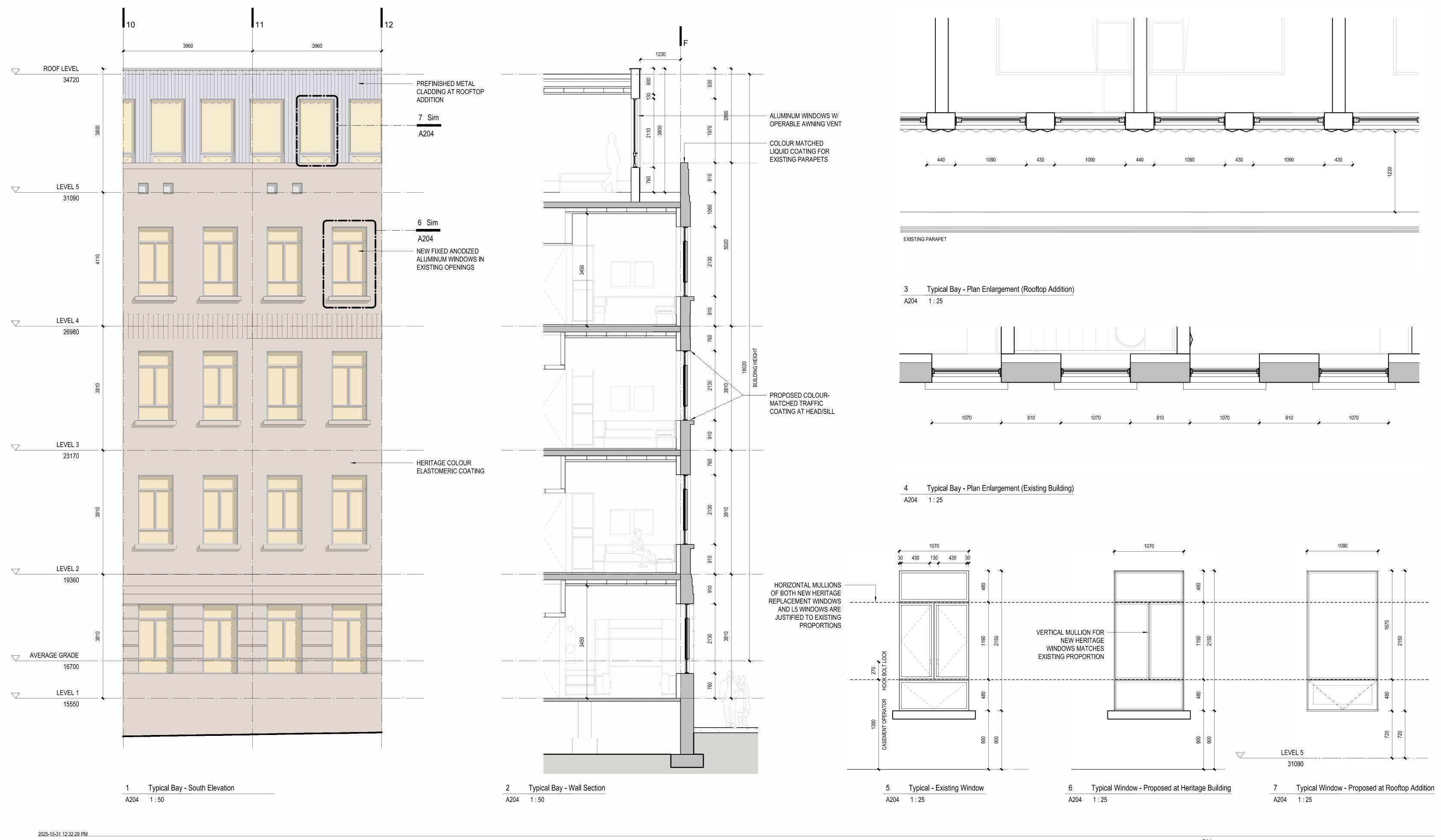






BERBER WHITE





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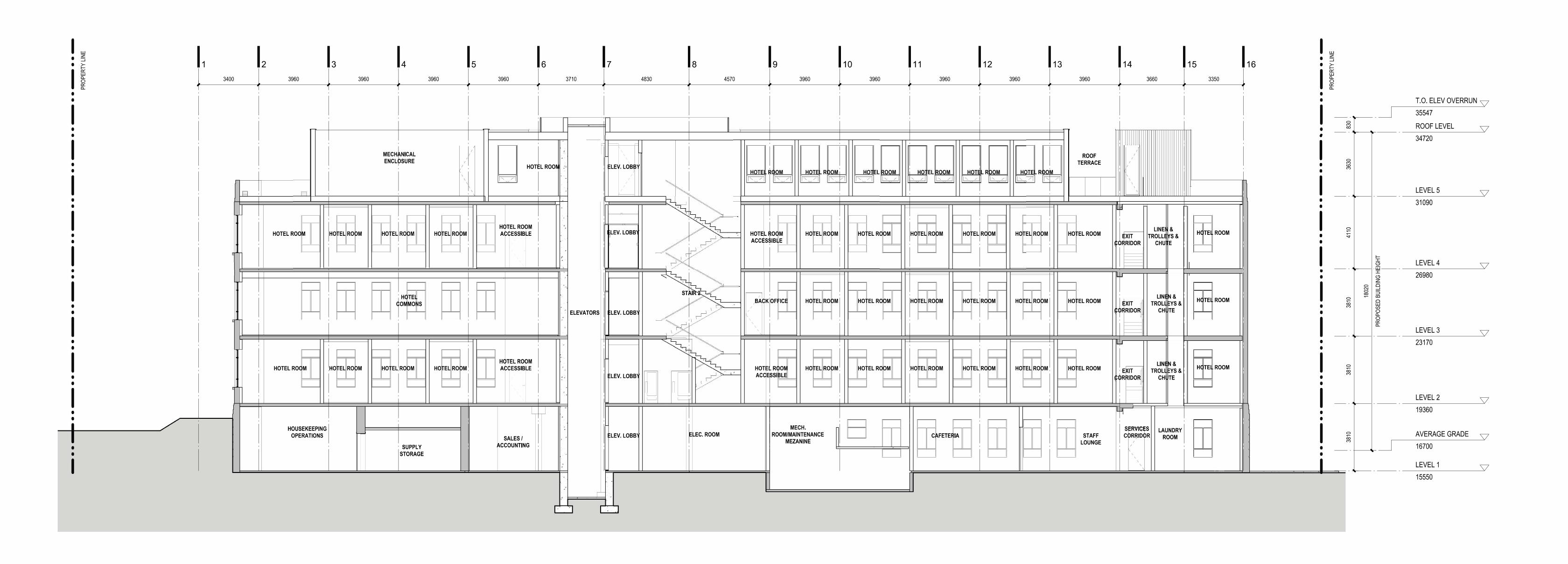
780 Blanshard Hotel

2025-004

780 Blanshard St, Victoria



A204
TYPICAL OPENINGS
SCALE: As indicated



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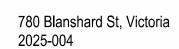
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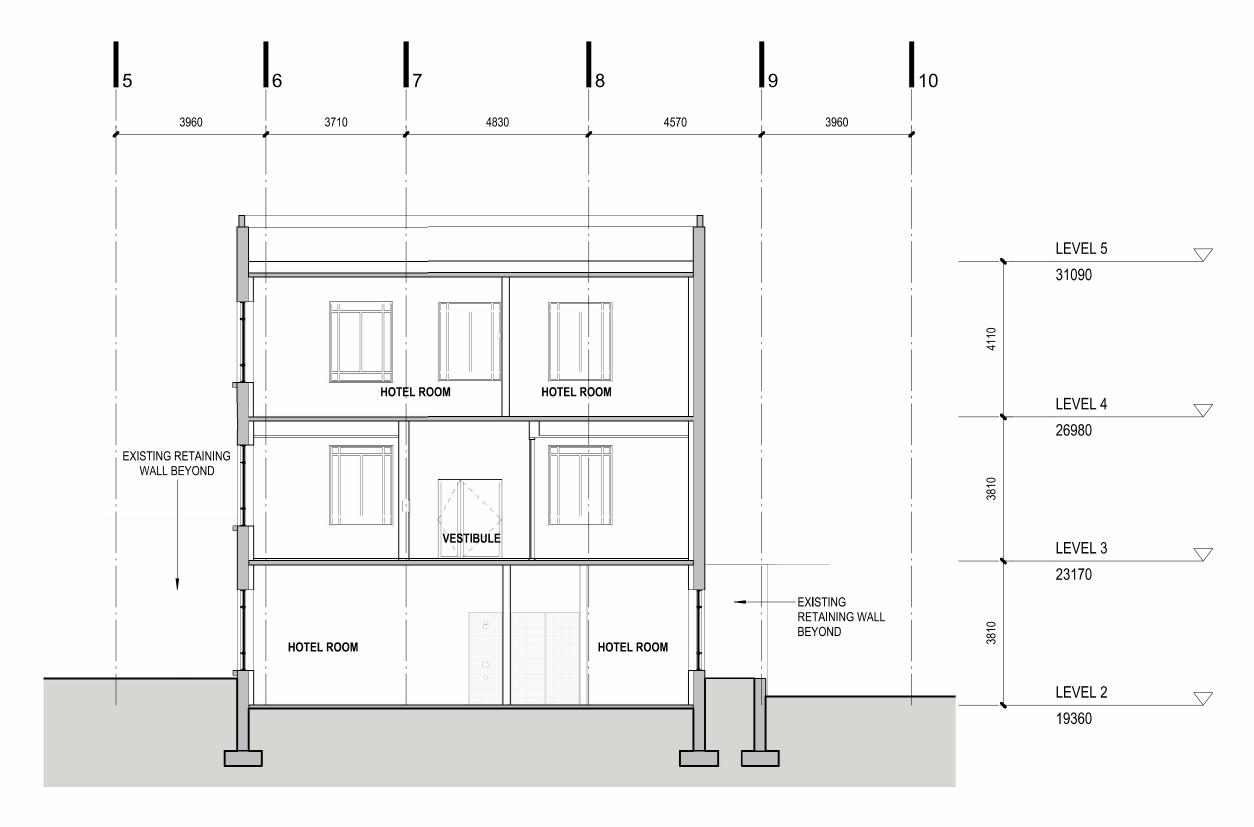


780 Blanshard Hotel



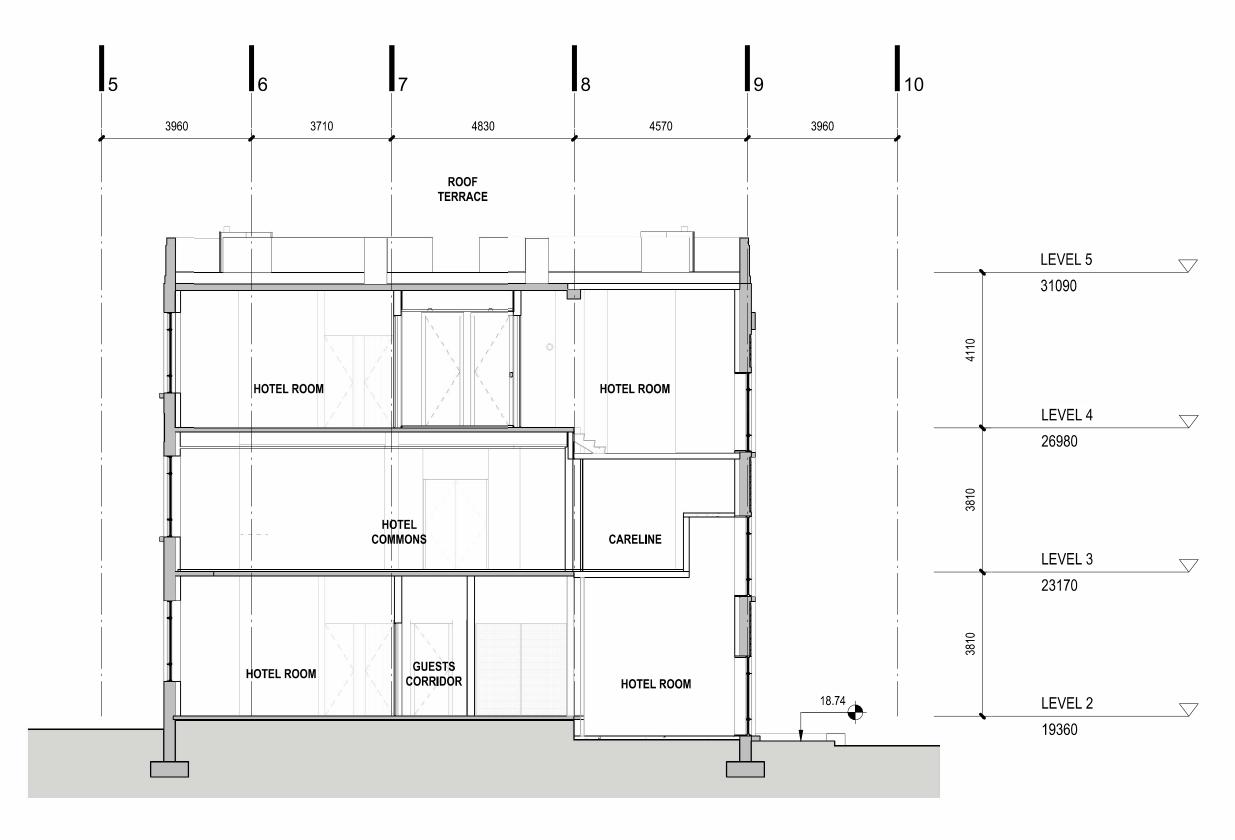


A300
BUILDING LONGITUDINAL SECTION EAST-WEST SCALE: 1:100



2 CROSS SECTION - ENTRY VESTIBULE

A301 1:100



1 CROSS SECTION AT ENTRY LOBBY

A301 1:100

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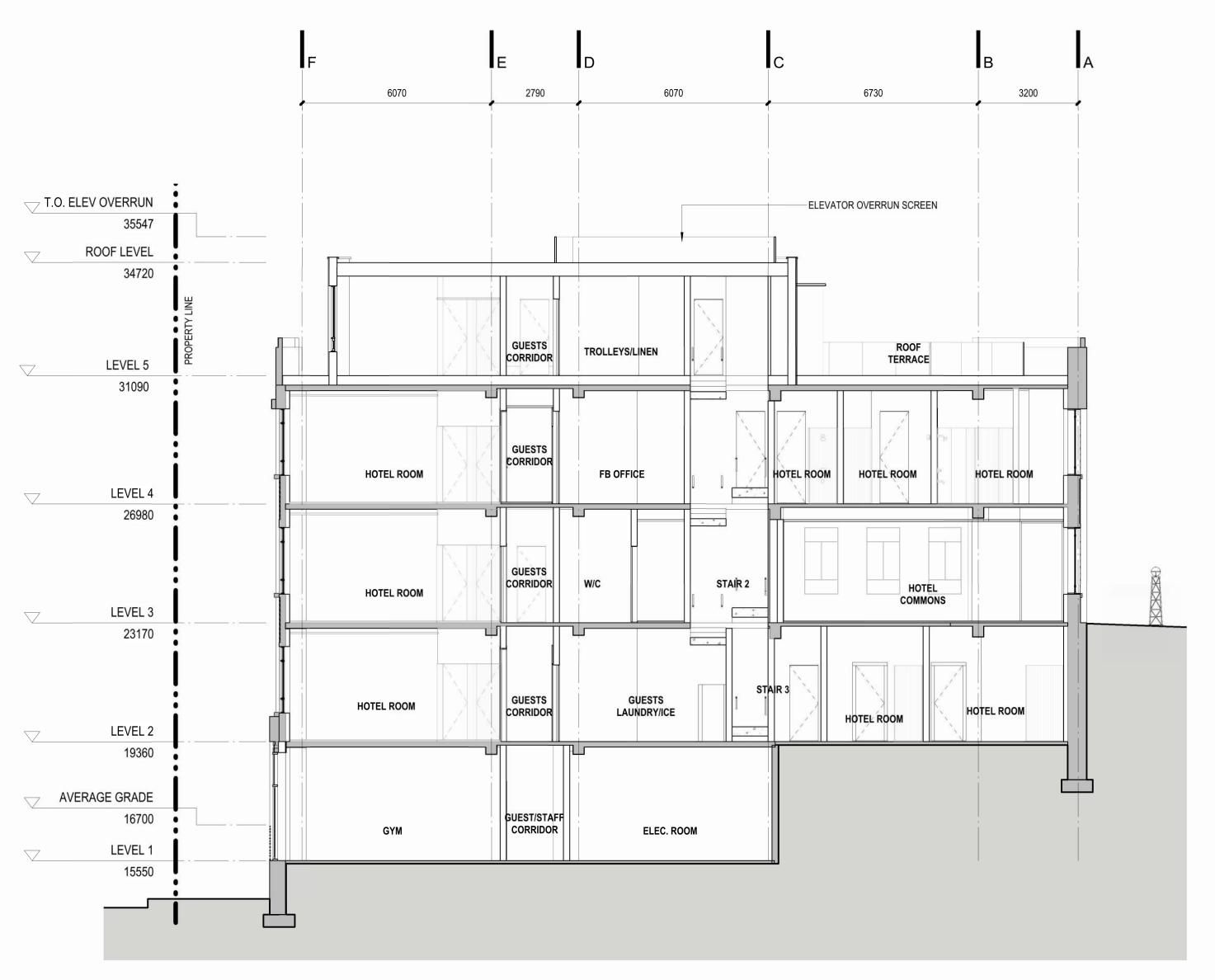


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780 Blanshard Hotel





T.O. ELEV OVERRUN ROOF LEVEL 34720 HOTEL ROOM **HOTEL ROOM** LEVEL 5 HOTEL ROOM ACCESSIBLE GUESTS **HOTEL ROOM** GUESTS CORRIDOR **HOTEL ROOM** LUGGAGE BACK OFFICE LEVEL 3 23170 GUESTS HOTEL ROOM CORRIDOR ACCESSIBLE **HOTEL ROOM** LEVEL 2 • 19360 AVERAGE GRADE S GUEST/STAFF HOTEL ROOM MECH. CORRIDOR **ACCESSIBLE** ROOM/MAINTENANCE MEZANINE LEVEL 1 15550

1 CROSS SECTION NORTH SOUTH AT ENTRY
A302 1:100

CROSS SECTION NORTH-SOUTH AT RIGHT WING

A302 1:100

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780 Blanshard Hotel

6070

2790

6070



780 BLANSHARD STREET

ISSUED FOR DP/HAP

CLIENT:

RELIANCE PROPERTIES LTD.

JUAN PEREIRA juanp@reliancproperties.ca 604.694.8680

ARCHITECTS:

OFFICE OF MCFARLANE BIGGAR ARCHITECTS + DESIGNERS INC.

RORY FULBER rfulber@officemb.ca 604.558.6256

LANDSCAPE ARCHITECT:

G|ALA GAUTHIER + ASSOCIATES LANDSCAPE

ARCHITECTS INC.

BRYCE GAUTHIER bryce@gauthierla.com 604.317.9682

RODRIGO RODRIGUES rodrigo@gauthierla.com 778.714.0123

LANDSCAPE DRAWING INDEX PERMIT

Sheet No. Sheet Name
L0.0 COVER SHEET
L0.1 TREE SURVEY
L0.2 TREE MANAGEMENT PLAN
L1.0 OVERALL SITE PLAN
L1.1 WEST ENLARGEMENT PLAN
L1.2 NORTH ENLARGEMENTPLAN
L1.3 SOUTH ENLARGEMENT PLAN
L2.0 LEVEL 5: MATERIALS AND LAYOUT PLAN









Reliance Properties 2148

TYPICAL TREE PROTECTION FOR VICTORIA

- 1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
- 2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPERATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
- 3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
- 4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
- 5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
- 6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
- 7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SSUPERVISION OF CERTIFIED ARBORIST:
- 8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
- 9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
- 10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
- 11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
- 12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
- 13. BYLAW APPLIES TO ALL LANDS IN CITY.
- 14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
- 15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
- 16. THE FOLLOWING SPECIES ARE PROTECTED:
- 17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESSII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER:
- 18. A SIGNIFICANT TREE;
- 19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
- 20. A TREE ON A STEEP SLOPE;
- 21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
- 22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M).:
- 23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
- 24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
- 25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
- 26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.









SYMBOL

780 Blanshard Street Victoria, BC

Reliance Properties 2148

TREE SURVEY

290 - 1275 Venables Street, Vancouver, BC V6A 2C9 www.gauthierla.com

2025-10-31

TYPICAL TREE PROTECTION FOR VICTORIA

- 1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
- 2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPERATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
- 3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
- 4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
- 5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
- 6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
- 7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SSUPERVISION OF CERTIFIED ARBORIST;
- 8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
- 9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
- 10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
- 11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
- 12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
- 13. BYLAW APPLIES TO ALL LANDS IN CITY.
- 14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
- 15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
- 16. THE FOLLOWING SPECIES ARE PROTECTED:
- 17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESSII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
- 18. A SIGNIFICANT TREE;
- 19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
- 20. A TREE ON A STEEP SLOPE;
- 21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
- 22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M).:
- 23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
- 24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
- 25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
- 26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.









SYMBOL

780 Blanshard Street Victoria, BC

Reliance Properties 2148

L0.2 TREE MANAGEMENT PLAN

2025-10-31









780 Blanshard Street Victoria, BC Reliance Properties 2148 L1.0

OVERALL SITE PLAN

Y Issued for DP/HAP

2025-10-31

290 - 1275 Venables Street, Vancouver, BC V6A 2C9 www.gauthierla.com









780 Blanshard Street Victoria, BC Reliance Properties 2148 L1.1
WEST ENLARGEMENT PLAN



LEGEND

SYMBOL

DESCRIPTION

EXISTING CURB LINE

EXISTING PAVING TO REMAIN



CIP Concrete Paving

PAVING TYPE 1



PAVING TYPE 3

Cobblestone, TBD



PLANTING TYPE 1 Existing Planting Area



EXISTING TREE TO REMAIN

SITE FURNISHING Stone elements with low-level lighting

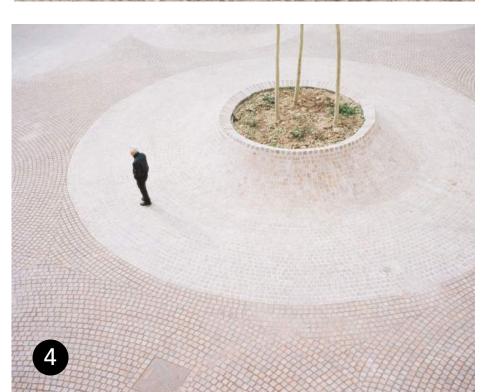
SITE FURNISHING Standard Bike Rack as per New Town Public Realm Design

SITE FURNISHING Stone Bench, TBD

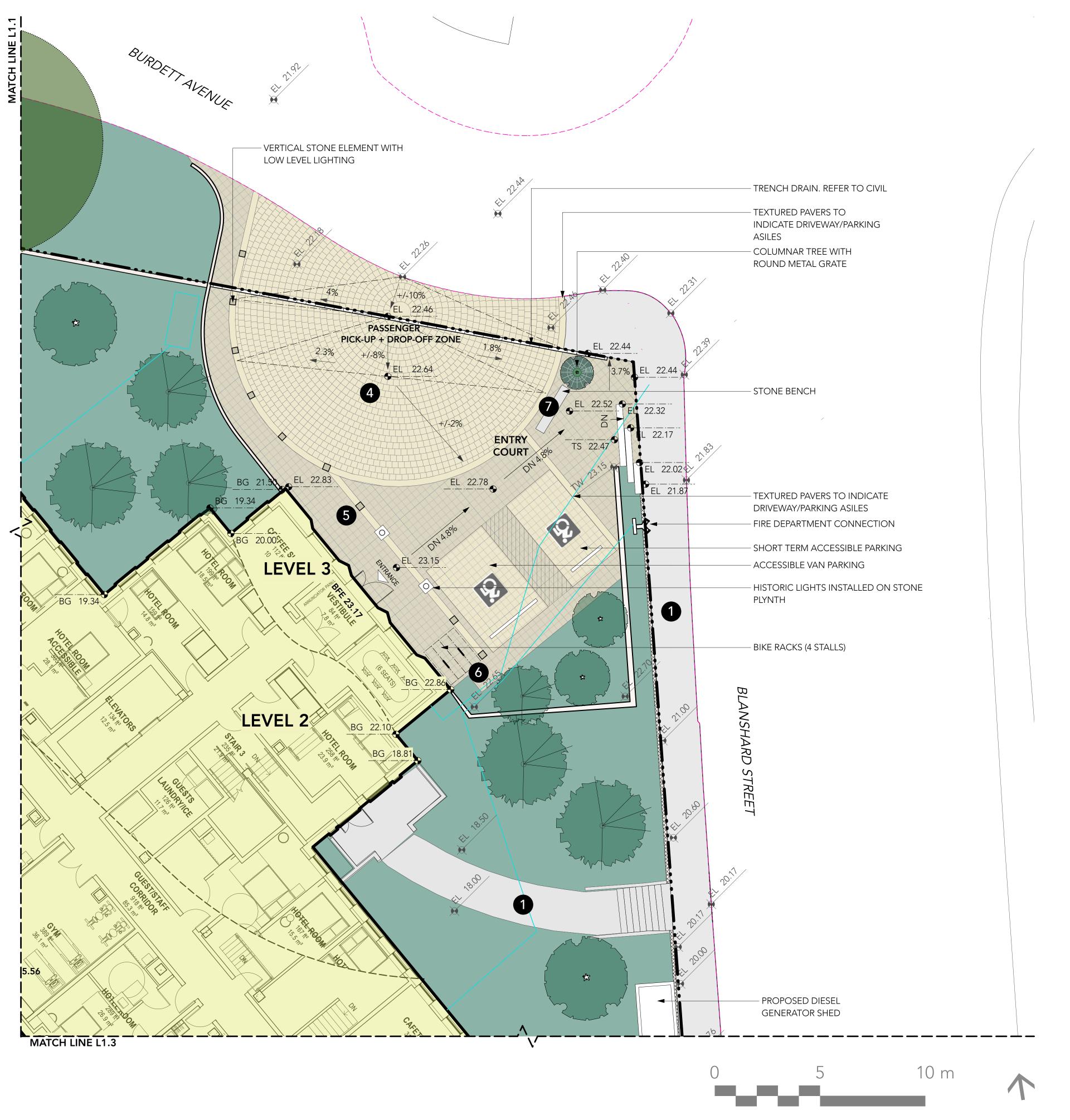
PROPOSED UTILITIES. REFER TO CIVIL

















780 Blanshard Street Victoria, BC

Reliance Properties 2148

NORTH ENLARGEMENTPLAN

Y Issued for DP/HAP

2025-10-31



LEGEND

SYMBOL

DESCRIPTION

EXISTING CURB LINE

PAVING TYPE 1 CIP Concrete Paving

EXISTING PAVING TO REMAIN



PAVING TYPE 3 Cobblestone, TBD



PLANTING TYPE 1 Existing Planting Area



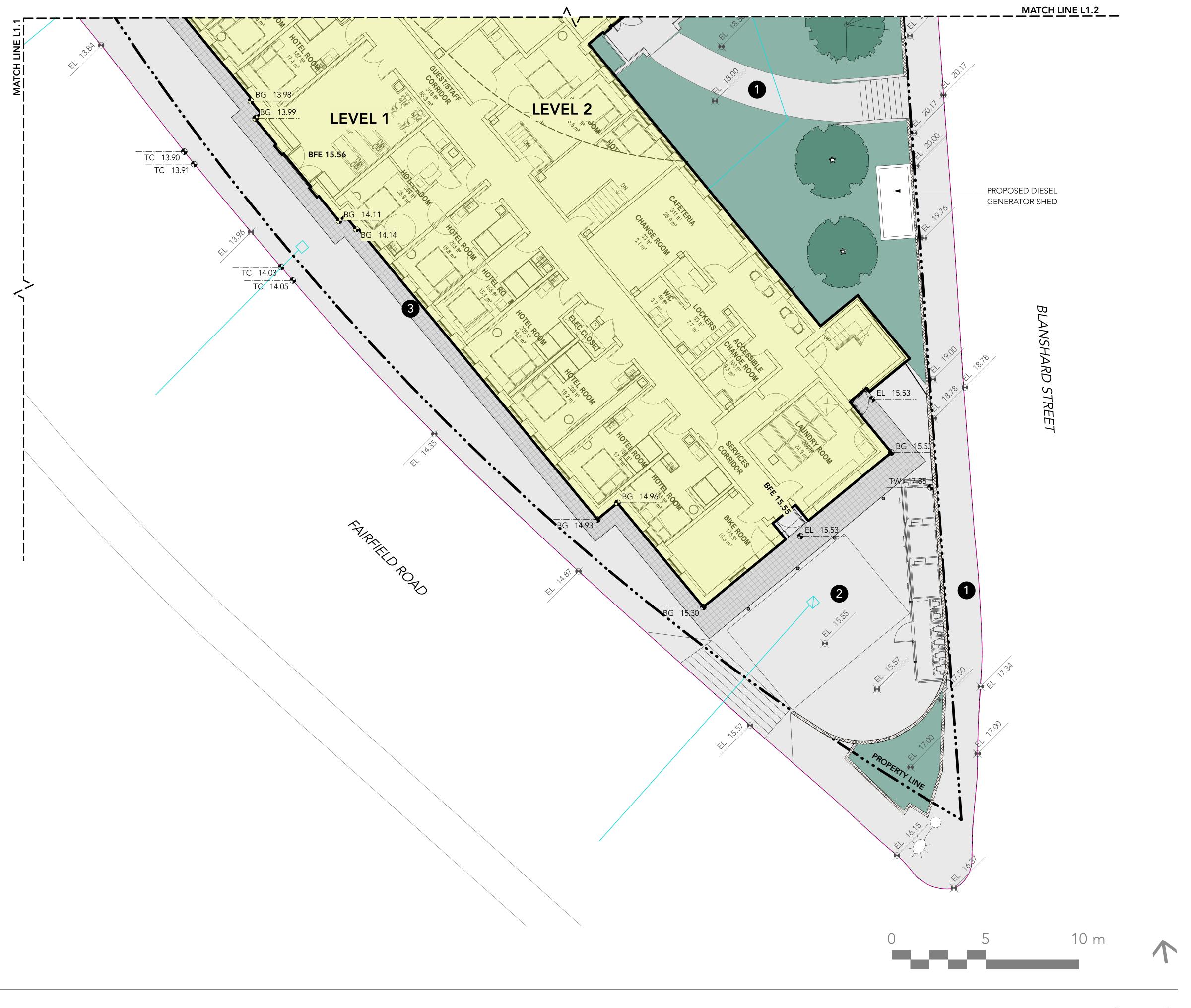
EXISTING TREE TO REMAIN

SITE FURNISHING Stone elements with low-level lighting

SITE FURNISHING Standard Bike Rack as per New Town Public Realm Design

SITE FURNISHING Stone Bench, TBD

PROPOSED UTILITIES. REFER TO CIVIL









780 Blanshard Street Victoria, BC

Reliance Properties 2148

SOUTH ENLARGEMENT PLAN

